



OFFICIAL NOTICE OF DECISION

4. Project # 1004160

05DRB-00739 Major-Vacation of Pub Right-of-Way

PETRONELLA J POUTSMA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **GRANT TRACT**, zoned SU-3, located on 6TH ST NW, between MARBLE AVENUE NW and SLATE ST NW (J-14)

At the June 1, 2005, Development Review Board meeting, the vacation was denied based on Section 14-14-7-2 of the Subdivision Ordinance, specifically:

The majority of property owners of the front footage of land abutting the proposed vacation did not request the vacation.

Based on the testimony of neighbors, there was convincing evidence that substantial property rights would be abridged against the will of the owner of the right should the vacation be granted.

The public welfare is served by retaining the way or easement.

If you wish to appeal this decision, you must do so by June 16, 2005, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

Cc: Petronella J Poutsma, 77 Vallecitos Drive, Tijeras, NM 87059

Benny Naranjo, 509 Slate NW, 87102

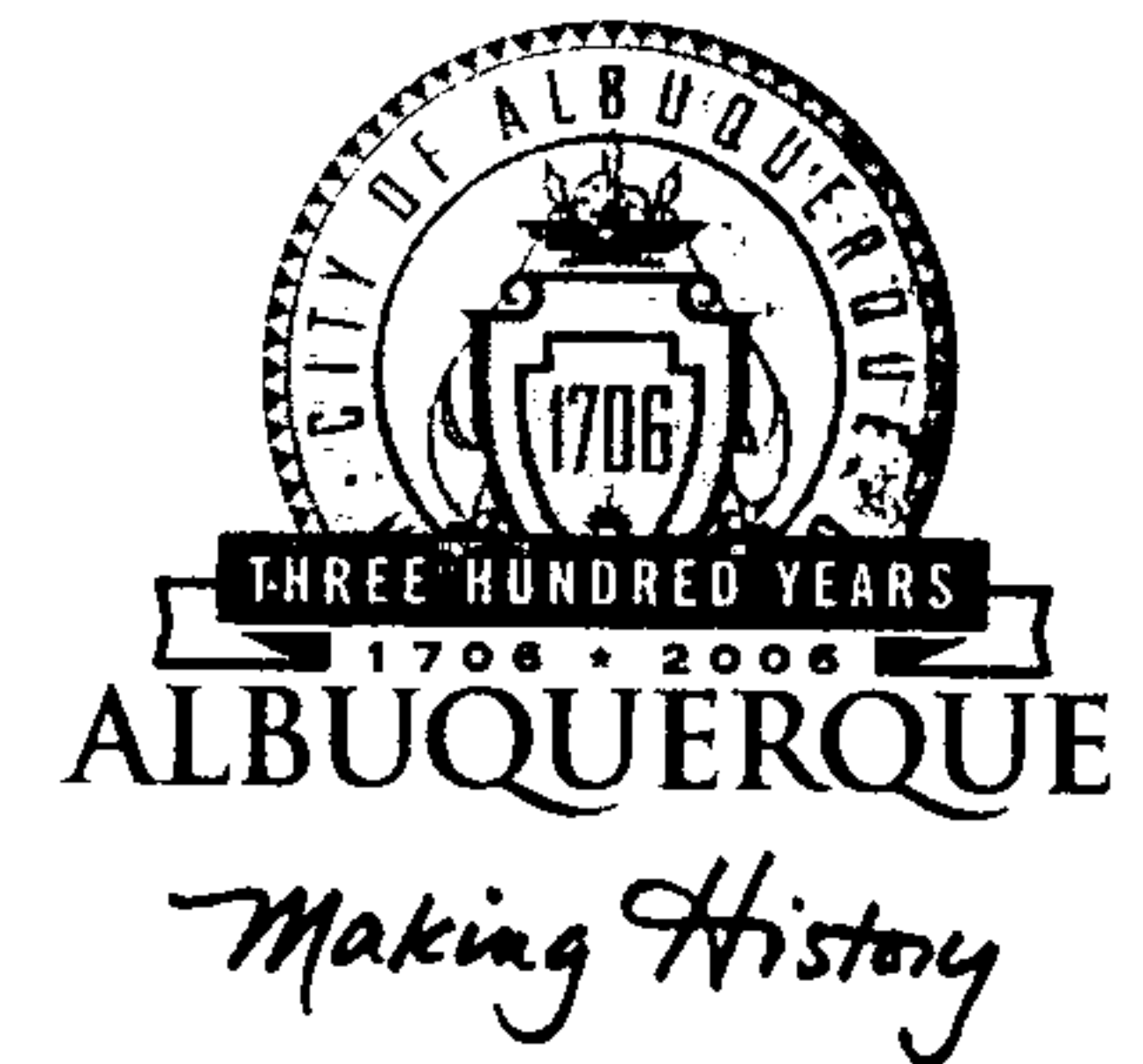
Tom Jones, 503 Slate NW, 87102

Lorraine Baca, 47 Garden Park Circle NW, 87107

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004160

AGENDA ITEM NO: 4

SUBJECT:

Vacation

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

P.O. Box 1293

The Hydrology Section has no objection to the vacation request.

Albuquerque

RESOLUTION:

New Mexico 87103

APPROVED ____; DENIED X; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 1, 2005

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004160 AGENDA#: 4 DATE: 6.1.05

✓ 1. Name: BENNY R. NARAYAN Address: 509 Slate N.W. Zip: 87102

AGENT/APPL
2. Name: P.J. Poutsma Address: 77 Vallecitos Dr Zip: 87059

✓ 3. Name: TOM JONES Address: 503 SLATE NW
(525 & 507) Zip: 87102

4. Name: Lorane Baer Address: 47 Garden PKC NW Zip: 87107

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 1, 2005

Project # 1004160
05DRB-00739 Major-Vacation of Pub Right-of-Way

PETRONELLA J POUTSMA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **GRANT TRACT**, zoned SU-3, located on 6TH ST NW, between MARBLE AVENUE NW and SLATE ST NW (J-14)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No adverse comments.
Zoning Enforcement	No adverse comments.

Neighborhood Coordination

Letters sent to Wells Park NA (R), Downtown List of NA's – Barelás, Broadway Central Corridors Partnership, Citizens Information of Martineztown, Downtown, Raynolds Addition, Huning Highland Historic District, Santa Barbara-Martineztown, South Broadway, Huning Highland, Downtown Action Team.

APS	No comments received.
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Police Department

A review of the following DRB case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic control devices: traffic should be diverted away from the alley vehicle traffic should be forced to use main streets. Other: Support request.

Fire Department	No adverse comments.
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VACATION IS NOT OKAY. The distribution line in the alley serves at least 15 customers and cannot be easily relocated. Any vacation would have to leave an easement for PNM facilities.

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer The Hydrology section has no objection to the vacation request.

Transportation Development

Object to the vacation action. A portion of the alley cannot be vacated.

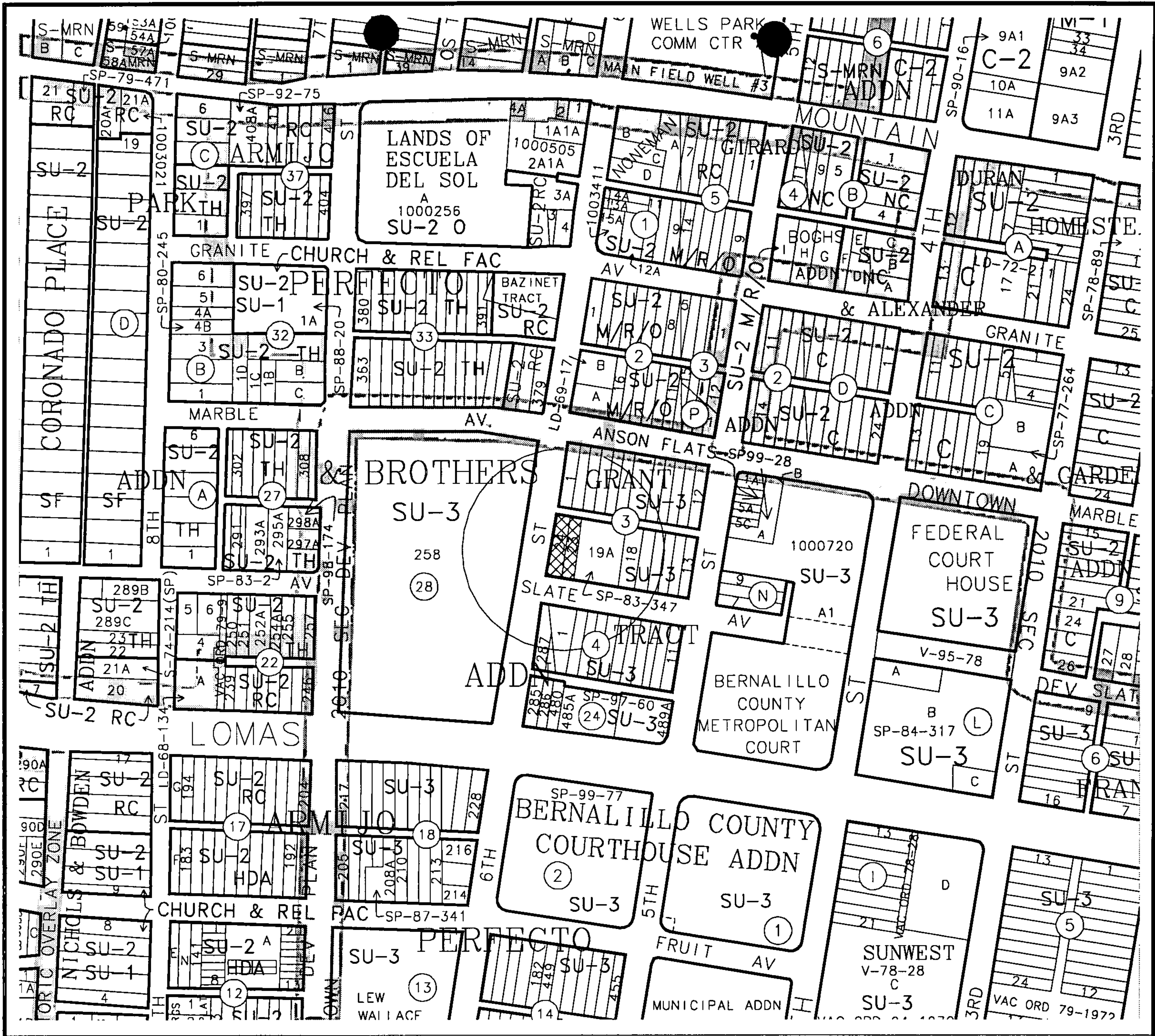
Parks & Recreation Defer to Transportation.

Utilities Development No objection to Vacation request, defer to Transportation.

Planning Department

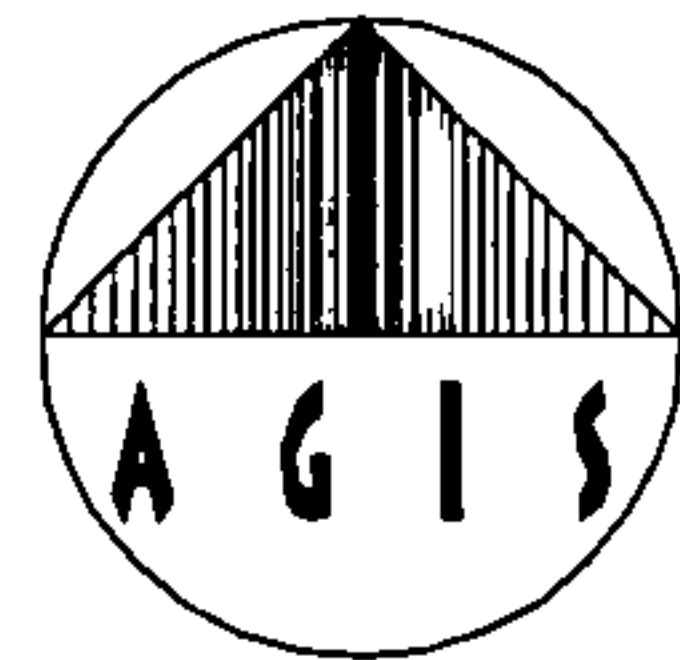
This request does not appear to meet the criteria for the vacation of the public right of way request as per Article 14 of the Subdivision Ordinance.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING
cc:Petronella J Poutsma, 77 Vallecitos Dr, Tijeras, NM 87059



Note: Shaded area indicates County Not to Scale

ZONING MAP



Scale 1"=312'

PROJECT NO.
1004160

HEARING DATE
JUNE 1, 2005

MAP NO.
J-14

ADDITIONAL CASE NUMBER(S)
05DRB-00739



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 1, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000983
05DRB-00773 Major-Two Year SIA
Procedure B

JAMES F. & DIANA K. CRABTREE request(s) the above action(s) for all or a portion of Lot(s) A through H, Block(s) 10, Unit 3, **MOJAVE TOWNHOMES**, zoned RT, located on UNSER NW, between MOJAVE NW and SANTO DOMINGO NW containing approximately 1 acre(s). (E-10)

Project # 1003080
05DRB-00765 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) A, BERNARDO TRAILS (to be known as **BERNARDO POINTE**) zoned RT, located on the northeast corner of VISTA DEL NORTE NE and LAS LOMITAS NE containing approximately 5 acre(s). [REF: 04DRB-00591, 03EPC-01851, 05DRB00701, 04DRB01146, 04DRB01147, 04DRB01148, 04DRB01149] (D-16)

Project # 1003273
05DRB-00764 Major-Vacation of Public
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 5A through 13A, **VISTA SUBDIVISION**, zoned C-2, located on CENTRAL AVE SW, between 94TH ST SW and 98TH ST SW containing approximately 2 acre(s). [REF: Z-85-93, Z-88-3, V-85-44, 04DRB00338, 04ZHE01933, 05ZHE00383] (K-9)

Project # 1004160
05DRB-00739 Major-Vacation of Pub
Right-of-Way

PETRONELLA J POUTSMA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **GRANT TRACT**, zoned SU-3, located on 6TH ST NW, between MARBLE AVENUE NW and SLATE ST NW (J-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 16, 2005.

753

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JUNE 1, 2005
Zone Atlas Page: J-14-Z
Notification Radius: 100 Ft.

Project# 1004160
App# 05DRB-00739

Cross Reference and Location:

Applicant: PETRONELLA J. POUTSMA
Address: 77 VALLECITOS DR.
TIJERAS NM 87059

Agent:
Address:

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: MAY 13, 2005

Signature: KYLE TSETHLIKAI

RECORDS WITH LABELS

PAGE 1

101405811818533804	LEGAL: 258 028A RMIJO BROS ADD L 258 TO 271B 23&L310&325 PROPERTY ADDR: 00000 6TH OWNER NAME: FIRST STATES INVESTORS 5000A L OWNER ADDR: 01725 THE FAIRWAY	JENKINTOWN PA	19046
101405815120934415	LEGAL: 001 003G RANT TR ADD N 80FT OF LOTS 1 2 X 3 PROPERTY ADDR: 00000 06TH OWNER NAME: BACA ERNEST M & OWNER ADDR: 02045 CALLE DE ALONDRA	NW ALBUQUERQUE NM	87120
101405815620534414	LEGAL: 004 003G RANT TRACT ADD L 4 &W10FT L5 PROPERTY ADDR: 00000 MARBLE OWNER NAME: MONTOYA JUAN B OWNER ADDR: 00514 MARBLE	AV NW ALBUQUERQUE NM	87102
101405815920534413	LEGAL: 003E AST 15 FT LOT 5 AND ALL LOT 6 GRANT TRACT ADDN PROPERTY ADDR: 00000 MARBLE OWNER NAME: CHAVEZ CASTILLO BETTY E OWNER ADDR: 00410 SILVER ROCK	RD ROCKVILLE MD	20851
101405816220434412	LEGAL: 007 003G RANT TRACT ADD W 34FT L 7 PROPERTY ADDR: 00000 MARBLE OWNER NAME: LE PORE CECILIA OWNER ADDR: 00000	GLORIETA NM	87535
101405815020234416	LEGAL: 003S OUTH 62 FT DF LOTS 1 TO 3 GRANT TRACT ADDN PROPERTY ADDR: 00000 6TH OWNER NAME: BECKER ROBERT R & WANDA J OWNER ADDR: 00820 6TH	ST NW ALBUQUERQUE NM	87102
101405814719534417	LEGAL: 023 003G RANT TRACT ADD N 62FT L 23&24 PROPERTY ADDR: 00000 6TH OWNER NAME: GARCIA STEVE OWNER ADDR: 00816 6TH	ST NW ALBUQUERQUE NM	87102
101405815419234403	LEGAL: 19-A 3 S UMMARY PLAT LT 19-A BLK 3 GRANT TR ADDN CO PROPERTY ADDR: 00000 SLATE OWNER NAME: VELASQUEZ FRANCISCO AND EVA OWNER ADDR: 00510 SLATE	AV NW ALBUQUERQUE NM	87102
101405816018934404	LEGAL: 018 003G RANT TRACT ADD PROPERTY ADDR: 00000 SLATE OWNER NAME: NARANJO BENNY R ETUX OWNER ADDR: 00509 SLATE	AV NW ALBUQUERQUE NM	87102
101405814618734401	LEGAL: 023 003G RANT TRACT ADD S 80FT L 23&24 PROPERTY ADDR: 00000 SLATE OWNER NAME: CASTELLANO JOSE LEROY & PATRIC OWNER ADDR: 09714 ASPEN	NE ALBUQUERQUE NM	87112
101405814316933913	LEGAL: 001 004G RANT TRACT W PORT L1 B4&L287&FRAC B24 PROPERTY ADDR: 00000 6TH OWNER NAME: BANDONI FRANK J OWNER ADDR: 00716 6TH	ST NW ALBUQUERQUE NM	87102

RECORDS WITH LABELS

PAGE 2

101405814917033912	LEGAL: 002 004G RANT TRACT E FRAC L1&ALL L 2 & 3 PROPERTY ADDR: 00000 SLATE OWNER NAME: STEJSKAL RICHARD G ETUX OWNER ADDR: 00520 SLATE	AV NW ALBUQUERQUE NM	87102
101405815516733911	LEGAL: 004 004G RANT TRACT L 4 & W1/2 L 5 PROPERTY ADDR: 00000 SLATE OWNER NAME: VELASQUEZ FRANCISCO OWNER ADDR: 00510 SLATE	AV NW ALBUQUERQUE NM	87102
101405816016633910	LEGAL: 006 004G RANT TRACT E 1/2 L5 & ALL L 6 TO 8 PROPERTY ADDR: 00000 SLATE OWNER NAME: VELASQUEZ FRANCISCO OWNER ADDR: 00510 SLATE	NW ALBUQUERQUE NM	87102

"Attachment A"

4/27/05

P. J. POUTSMA

77 VALLECITOS DRIVE

TIJERAS, NM 87059-7302

PHONE: 286-4872

ZONE MAP: J-14

Wells Park NA (R)

*Fred Sais ✓

1508 Los Tomases NW / 87102 242-8457 (h)

Mark Clayburgh ✓

1310 5th St. NW / 87102 242-6278 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92,
you are most welcomed to notify the following "*Unrecognized*" neighborhood
associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

DOWNTOWN NEIGHBORHOOD ASSOCIATIONS LIST

Updated: April 4, 2005

BARELAS NEIGHBORHOOD ASSOCIATION (R)

Steve Meyer ✓
911 Santa Fe Ave. SW/87102 247-2697 (h)

Robert Vigil ✓
919 Santa Fe SW/87102 243-0413 (h)

BROADWAY CENTRAL CORRIDORS PARTNERSHIP, INC. (R)

Terrance Keene
424 Central Ave. SE/87102 238-1213 (w)

Margaret T. Keener
312 Central Ave. SE/87102 842-5030 (w)

CITIZENS INFORMATION COMMITTEE OF MARTINEZTOWN (R)

Jess R. Martinez ✓
501 Edith NE/87102 228-0102 (h)

Frank H. Martinez ✓
501 Edith NE/87102 243-5267 (h)

DOWNTOWN NEIGHBORHOODS ASSOCIATION (R)

Greg Blackwell ✓
1418 Roma Ave. NW/87102 242-0862 (h)

Ford Davis ✓
415 Marble NW/87102 301-0835 (h)

RAYNOLDS ADDITION NEIGHBORHOOD ASSOCIATION (R)

Barbara Grothus ✓
905 Silver SW/87102 842-8305 (h)

Debbie Foster ✓
P.O. Box 7112/87194-7112 243-4865 (h)

HUNING HIGHLAND HISTORIC DISTRICT ASSOCIATION (R)

Kay Adams ✓
816 Silver Ave. SE/87102 224-9535 (h)

Charles Incendio ✓
201 High St. NE/87102 242-1284 (h)

SANTA BARBARA-MARTINEZTOWN ASSOCIATION (R)

Robert Sanchez ✓
508 Aspen NE/87102 243-9271 (h)

Christina Chavez ✓
517 Marble NE/87102 459-4521 (cell)

SOUTH BROADWAY NEIGHBORHOOD ASSOCIATION (R)

Susan Dixon
1213 Edith SE/87102 242-4013 (h)

Jessica Rodelas
1719 Walter SE/87102 261-9404 (h)

PLEASE NOTE: ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY THE O-92 ORDINANCE, the associations listed below are "Unrecognized" associations/groups and don't need to be "officially" notified of the project, but as a common courtesy you are welcomed to let them know.

HUNING HIGHLAND NEIGHBORHOOD ASSOCIATION

Bill Hoch ✓
205 Highland Park Cir. SE/87102 242-7338 (h)

Ann Carson ✓
416 Walter SE/87102 242-1143 (h)

DOWNTOWN ACTION TEAM

Luisa Casso ✓
309 Gold Ave. SW/87102 243-2230 (w)

H-15-Z

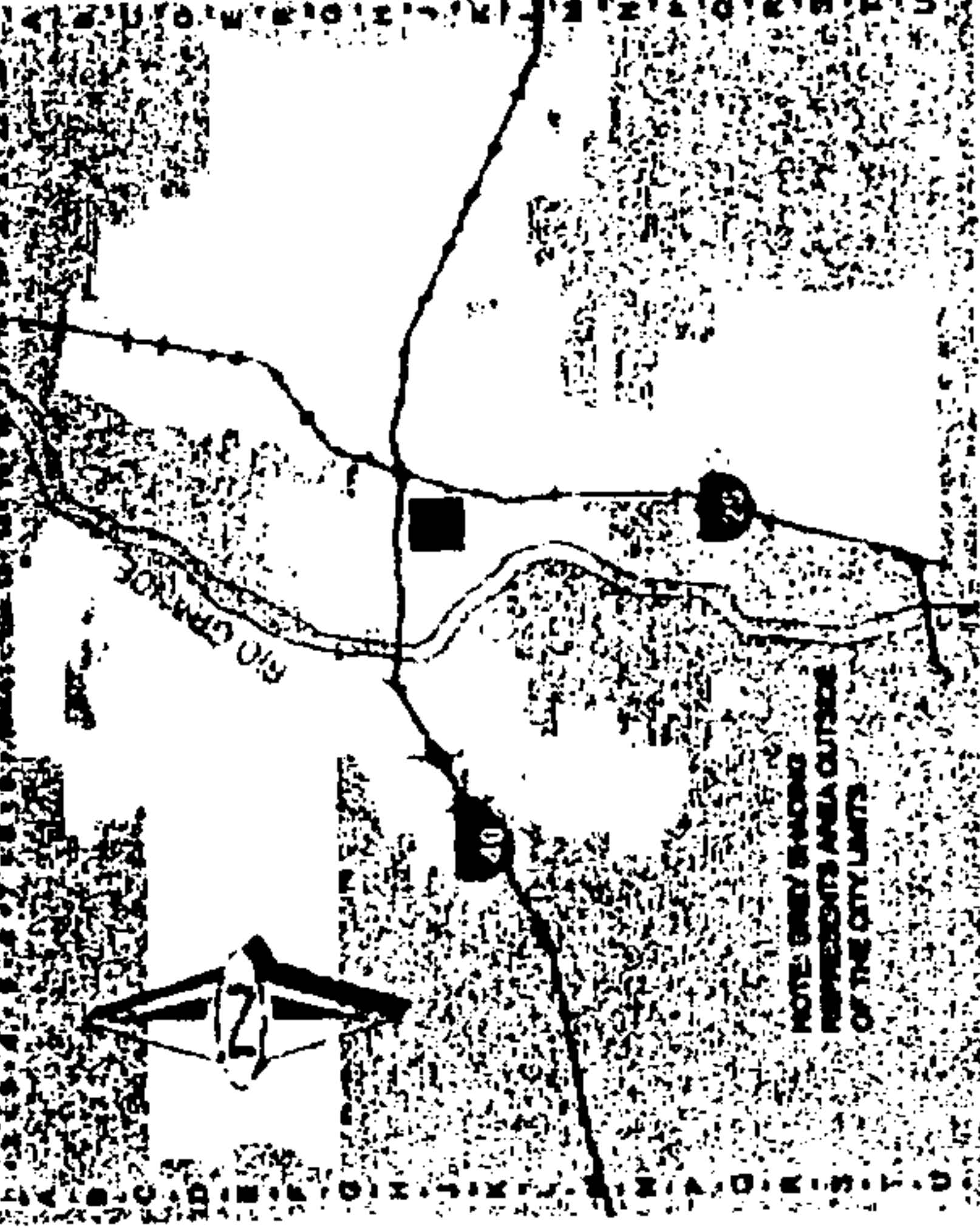
J-15-Z

K-15-Z

H-14-Z



K-14-Z



Zone Atlas Page: J-14-Z

Map amended through: Aug 06, 2004

Selected Symbols

- Unincorporated Areas X — Grant Boundaries
- Sector Plan Boundaries (C) Petroglyph
- Parcel Boundaries — H-1 Buffer Zone
- Easement Lines — Arroyos
- Freeway Lanes — LDN Noise Level
- Jurisdictional Boundaries (4) Airport Clearance Zone
- Wetgate Wall (•••) Design Overlay Zones
- Escarpment: (—) (—)



THREE HUNDRED YEARS
1706 - 2006
ALBUQUERQUE

Alabundo Historia

A Albuquerque **G** **I** **S**
Planning Department

© Copyright 2004

H-13-Z

J-13-Z

K-13-Z

City of Albuquerque, Dev. Review Board
600 2nd St., Plaza Del Sol
Albuquerque, NM 87102

Petronella J. Poutsma
77 Vallecitos Drive
Tijeras, NM 87059
Tel.: 286-4872

May 2, 2005

TO WHOM IT MAY CONCERN

**SUBJECT: Vacation of Public Right-of-Way
for Property located on 816 6th St NW**

**LEGAL DESCRIPTION: Lots 23 and 24 Block 3 of the
GRANT TRACT,**

I hereby respectfully request that the alley running alongside above-named property, from 6th to 5th streets and vice versa, be declared a dead-end or a NO THOROUGH FARE, and that said alley be blocked off to vehicle traffic from the property line(s) to 6th street.

From the attached sketch it may be noticed that there is really no need for this alley, as there are perfectly goods streets allowing traffic to pass safely from 5th to 6th streets and vice versa via Marble Avenue and Slate Street.

The reasons for this request are as follows:

The alley is being used as a public road. Cars race through the alley blowing up a lot of dust and sand and splashing mud after a heavy rain. Also, cars racing through the alley cut across 6th St., against the traffic, to the Bank of America's parking lot across the street. The neighbor on the other side of the alley was once almost hit by a truck barreling across her small front yard.

Since purchasing the property (a triplex, with the main house and one studio apartment facing 6th street whereas the upstairs apartment can only be entered from the alley) in September 2003, I have invested a considerable amount of money to clean it up and bring this property up to code. This also involved getting rid of the drug dealing tenants and a registered sex offender listed to be living at this address.

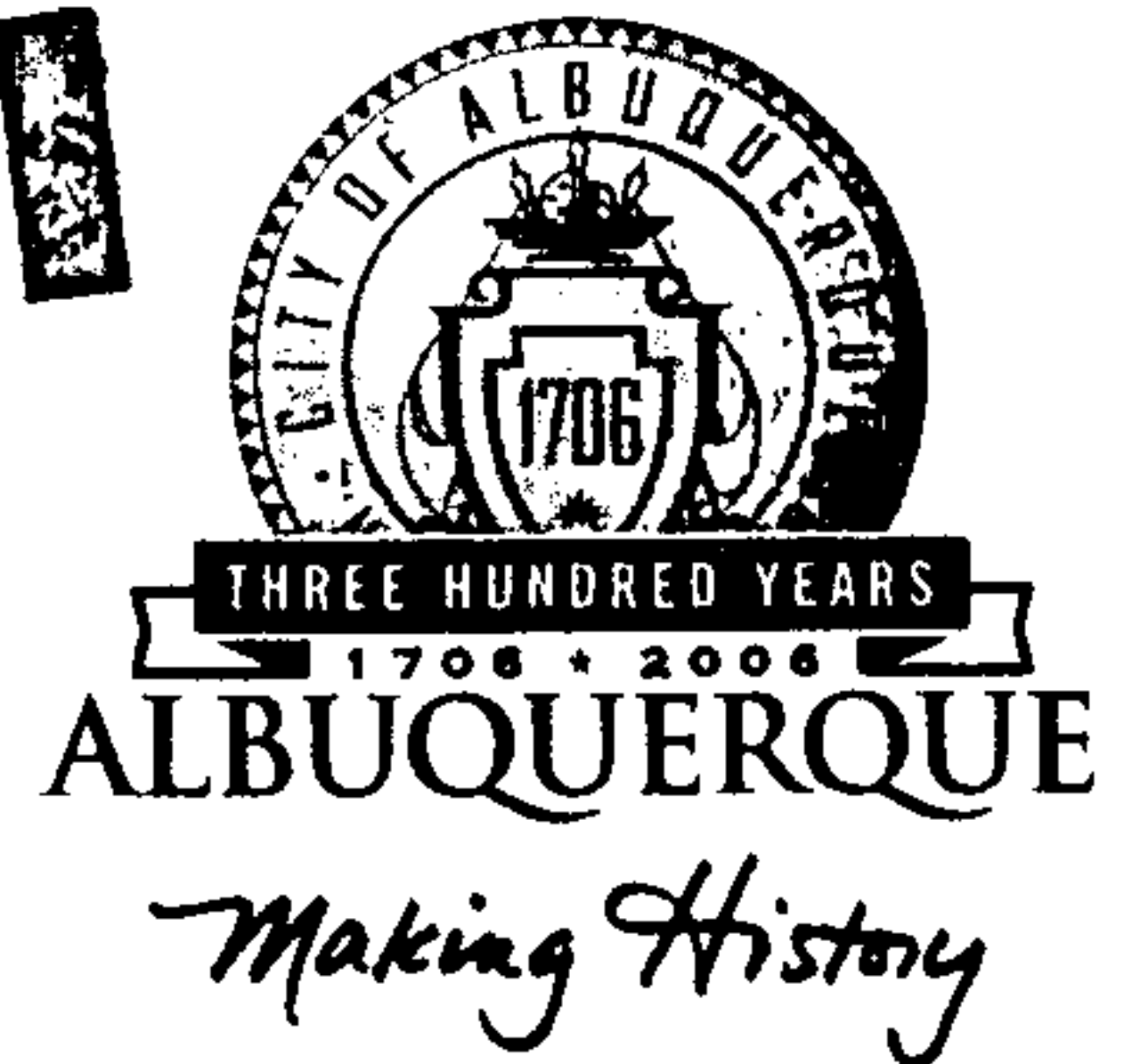
Therefore, for the safety of my tenants, as well as to protect my investment, and in the spirit of cleaning up and revitalizing downtown Albuquerque, I would greatly appreciate the City approving this request.

Thanking the City in anticipation, I remain,

Sincerely yours,


Petronella J. Poutsma

ENCLOSURES: *Completed DEV/PLAN REVIEW APPLIC FOR*
- 24 copies of drawing
- Certified Receipts with sample letter sent to ALL members of NAs as per attached lists
- 1 copy of Zone Atlas J-14-Z



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

May 16, 2005

TO: See Attached Distribution List of "R" Neighborhood Association(s):

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following Major Vacation of Public Right-of-Way requesting that access to alley between 6th and 5th Streets NW be blocked off/closed to traffic from the back of property.**

Proposed by: Petronella J. Poutsma at 286-4872

Agent for: Petronella J. Poutsma

For property located: On or near the 816 6th Street NW between Marble Avenue NW and Slate Street NW.

The case number(s) assigned is: 05DRB- 00739, Project # ~~1004160~~.

City Planning accepted application for this request on May 3, 2005.

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, June 1, 2005 in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DISTRIBUTION LIST:

Steve Meyer and Robert Vigil, Barelás Neighborhood Association

Terrance Keene and Margaret T. Keener, Broadway Central Corridors Partnership, Inc.

Jess R. Martinez and Frank H. Martinez, Citizens Information Committee of
Martineztown

Greg Blackwell and Ford Davis, Downtown Neighborhoods Association

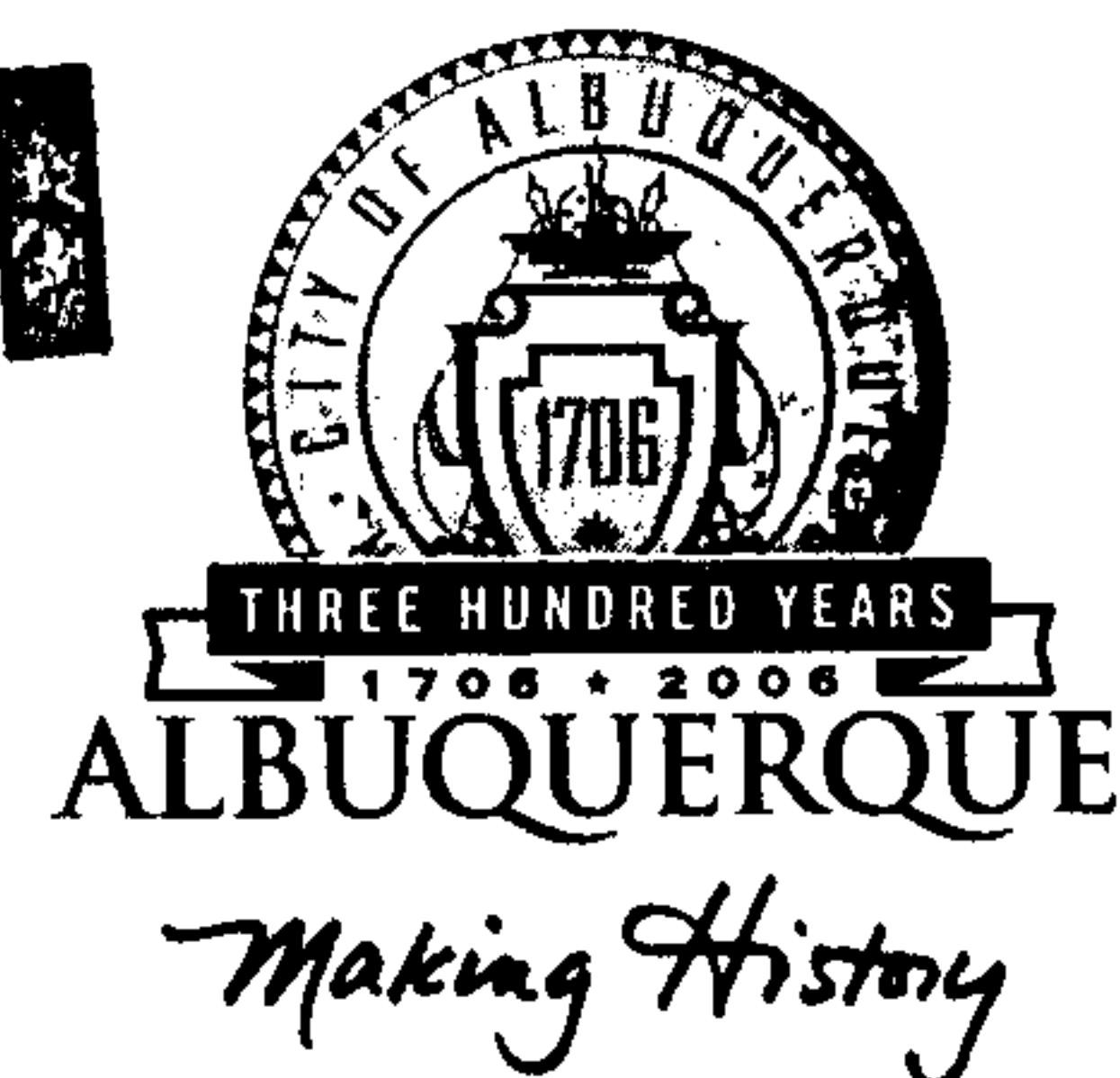
Barbara Grothus and Debbie Foster, Raynolds Addition Neighborhood Association

Kay Adams and Charles Incendio, Huning Highland Historic District Association

Robert Sanchez and Christina Chavez, Santa Barbara-Martineztown Association

Susan Dixon and Jessica Rodelas, South Broadway Neighborhood Association

Fred Sais and Mark Clayburgh, Wells Park Neighborhood Association



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

May 16, 2005

TO: Bill Hoch and Ann Carson, Huning Highland Neighborhood Association
Luisa Casso, Downtown Action Team

This letter is a **COURTESY NOTIFICATION** from the City of Albuquerque pertaining to a request for: Requests the following Major Vacation of Public Right-of-Way requesting that access to alley between 6th and 5th Streets NW be blocked off/closed to traffic from the back of property.

Proposed by: Petronella J. Poutsma at 286-4872

Agent for: Petronella J. Poutsma

P.O. Box 1293

For property located: On or near the 816 6th Street NW between Marble Avenue NW and Slate Street NW.

Albuquerque

The case number(s) assigned is: 05DRB- 00739, Project # 1004160.

City Planning accepted application for this request on May 3, 2005.

New Mexico 87103

The owner, applicant, and/or agent **WAS NOT** required notifying you of the proposed action by *certified mail, return receipt requested*.

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board at 9 a.m. on Wednesday, June 1, 2005 at the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani I. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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Project # 1004160

05DRB-00739 Major-Vacation of Pub
Right-of-Way

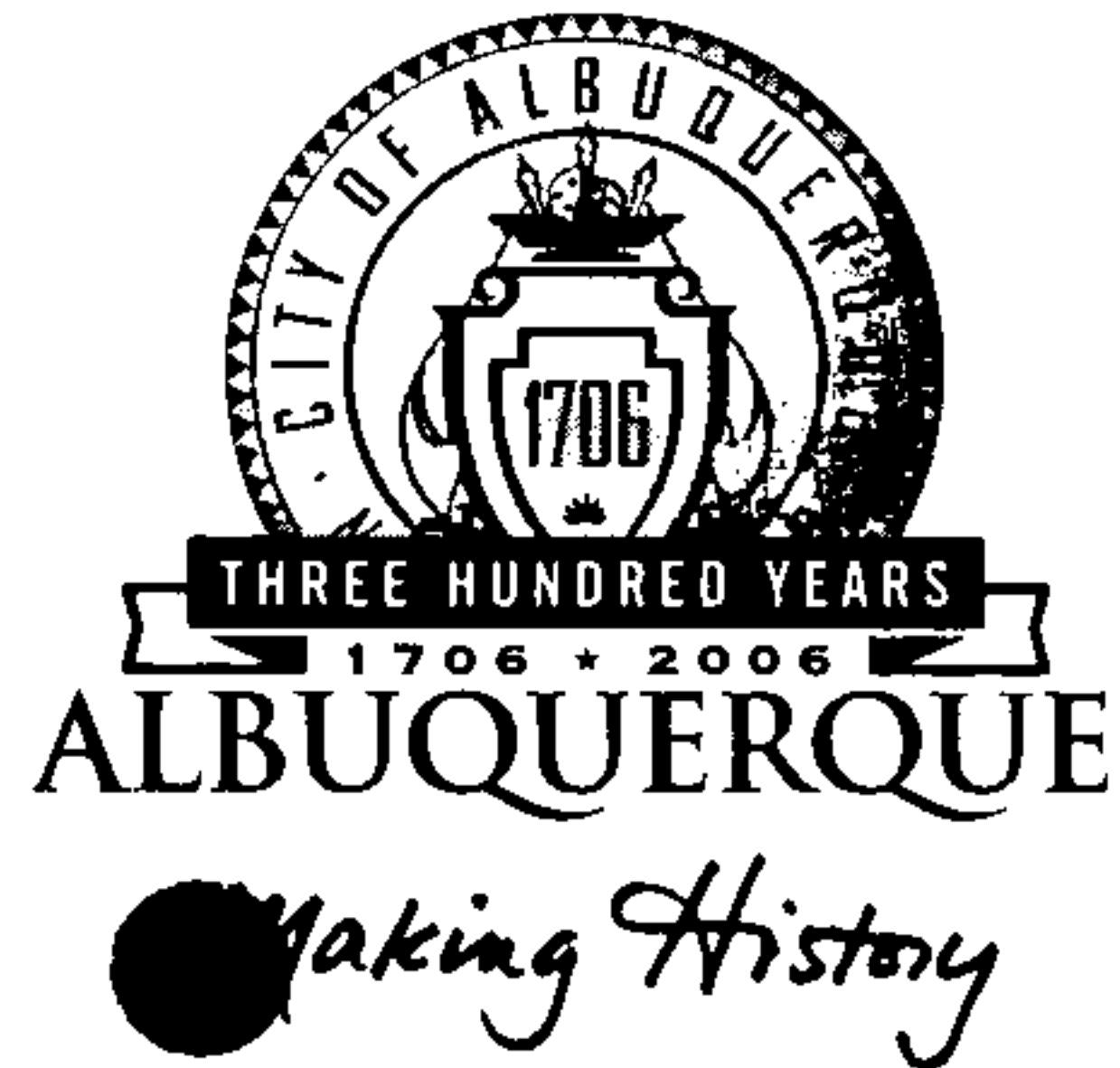
PETRONELLA J POUTSMA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **GRANT TRACT**, zoned SU-3, located on 6TH ST NW, between MARBLE AVENUE NW and SLATE ST NW (J-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

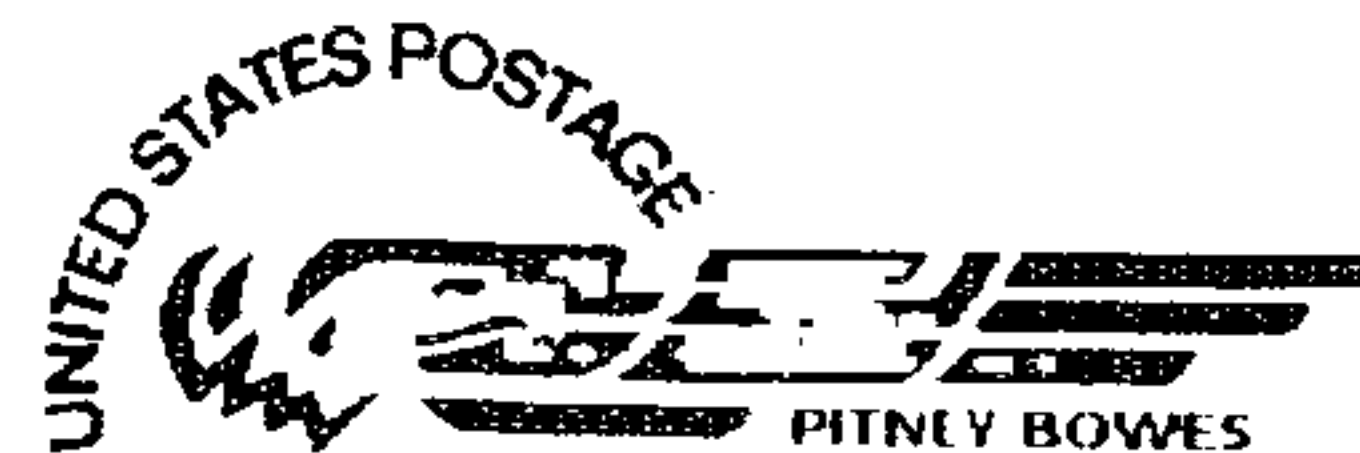
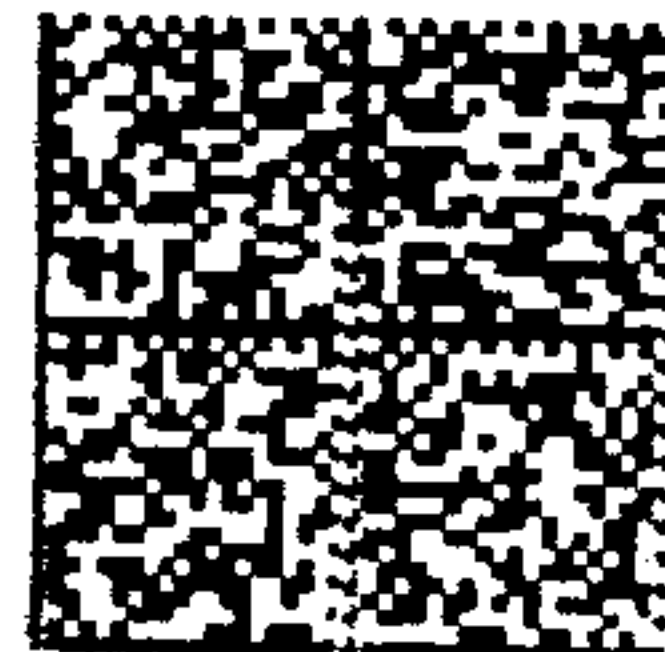
Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 16, 2005.

CITY OF ALBUQUERQUE



DRB



02 1A \$ 00.37⁰
0004329277 MAY 13 2005
MAILED FROM ZIP CODE 87102

101405814719534417

GARCIA STEVE
816 6TH ST NW
ALBUQUERQUE NM 87102

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

GARCIA STEVE 871022042 IN 10 05/24/05
RETURN TO SENDER

NO FORWARD ORDER ON FILE
UNABLE TO FORWARD
RETURN TO SENDER

87102+8740381293

ALBUQUERQUE, NM 87102



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 1, 2005**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1000983

05DRB-00773 Major-Two Year SIA
Procedure B

JAMES F. & DIANA K. CRABTREE request(s) the above action(s) for all or a portion of Lot(s) A through H, Block(s) 10, Unit 3, **MOJAVE TOWNHOMES**, zoned RT, located on UNSER NW, between MOJAVE NW and SANTO DOMINGO NW containing approximately 1 acre(s). (E-10)

Project # 1003080

05DRB-00765 Major-Vacation of Public
Easements

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) A, BERNARDO TRAILS (to be known as **BERNARDO POINTE**) zoned RT, located on the northeast corner of VISTA DEL NORTE NE and LAS LOMITAS NE containing approximately 5 acre(s). [REF: 04DRB-00591, 03EPC-01851, 05DRB00701, 04DRB01146, 04DRB01147, 04DRB01148, 04DRB01149] (D-16)

Project # 1003273

05DRB-00764 Major-Vacation of Public
Easements

TIERRA WEST LLC agent(s) for ARC INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 5A through 13A, **VISTA SUBDIVISION**, zoned C-2, located on CENTRAL AVE SW, between 94TH ST SW and 98TH ST SW containing approximately 2 acre(s). [REF: Z-85-93, Z-88-3, V-85-44, 04DRB00338, 04ZHE01933, 05ZHE00383] (K-9)

Project # 1004160

05DRB-00739 Major-Vacation of Pub
Right-of-Way

PETRONELLA J POUTSMA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **GRANT TRACT**, zoned SU-3, located on 6TH ST NW, between MARBLE AVENUE NW and SLATE ST NW (J-14)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

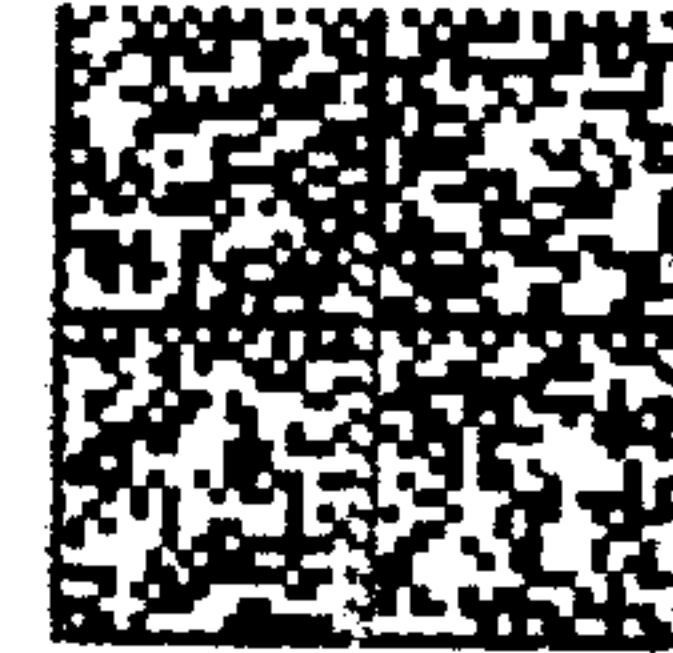
Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 16, 2005.

CITY OF ALBUQUERQUE



DRB



02 1A \$ 00.37⁰
0004329277 MAY 13 2005
MAILED FROM ZIP CODE 87102

101405815620534414

~~MONTOYA JUAN B
514 MARBLE AV NW
ALBUQUERQUE NM 87102~~

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

MONT514* A71025018 1204 23 05/25/05
FORWARD TIME EXP RTN TO SEND
: MONTOYA & MARTINEZ
7536 ROSETTE DR NW
ALBUQUERQUE NM 87120-5280

RETURN TO SENDER

87102+2148 07

#100412

Benny Naranzo

- in middle of block
- construction caused increase in traffic

Tom Jones
letter

• opposed

Lorraine Pica

- owns 510 Marlboro
- opposed

TO: Wilfred Gallegos, City of Albuquerque Development Review Board
FAX #: 924-3864
FROM: Robert and Wanda Becker
FAX #: 242-4565

RE: Project # 1004160
05DRB-00739 Major-Vacation of Pub Right-of-Way

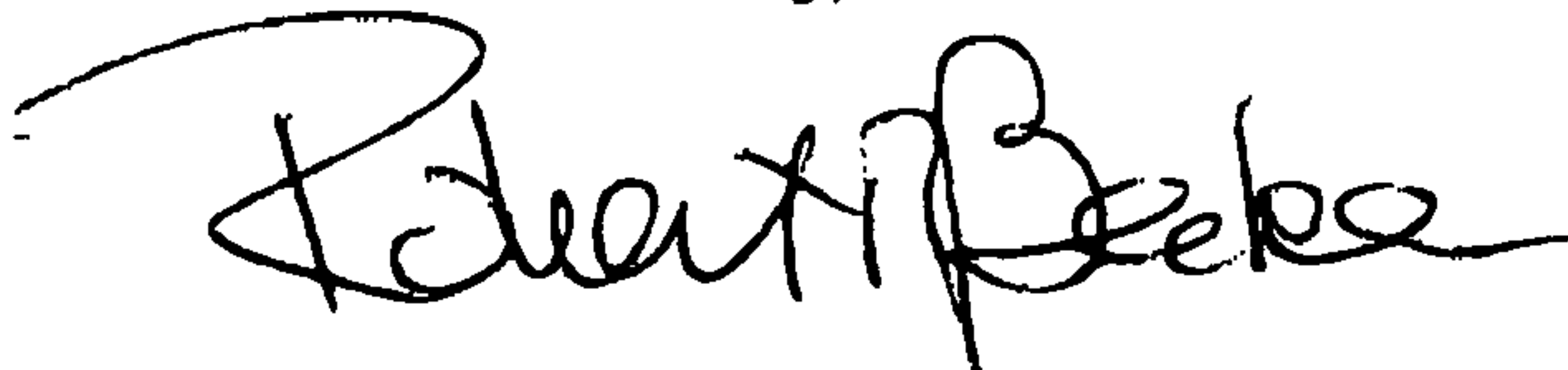
We spoke to you recently at the planning desk regarding the request by our neighbor, Petronella Poutsma to vacate the portion of our alley which borders our neighbors' property. We own the property directly across the alley, to the north. After much consideration and having learned the full implications of this proposal from our discussion with you, we have made the decision to oppose the request.

Our acquired feeling is that, while we appreciate our neighbors' efforts to improve their property and would like nothing better than to assist them with their very positive plans, we have come to the conclusion that the closing off of that portion of the alley would impinge on our property use and could, in effect, restrict the free access to our location.

We have recently changed entry access to our rental apartment from Sixth Street to the alley itself and we feel that, if our neighbors began using that portion of the alley for their proposed parking purposes, it might make it more difficult to find renters willing to agree to such an arrangement. Additionally, we do make occasional deliveries using the alley entrance and would no longer be able to do so if the alley were altered as proposed.

Thank you for your time and excellent assistance.

Sincerely,



Robert R. Becker
820 Sixth NW
Albuquerque, NM



Wanda Becker

5-19-05

WILLIAM E. PARNALL
ATTORNEY AT LAW
503 SLATE N.W.
ALBUQUERQUE, NEW MEXICO 87102

(505) 247-2972

fax (505) 842-6945

My 19, 2005

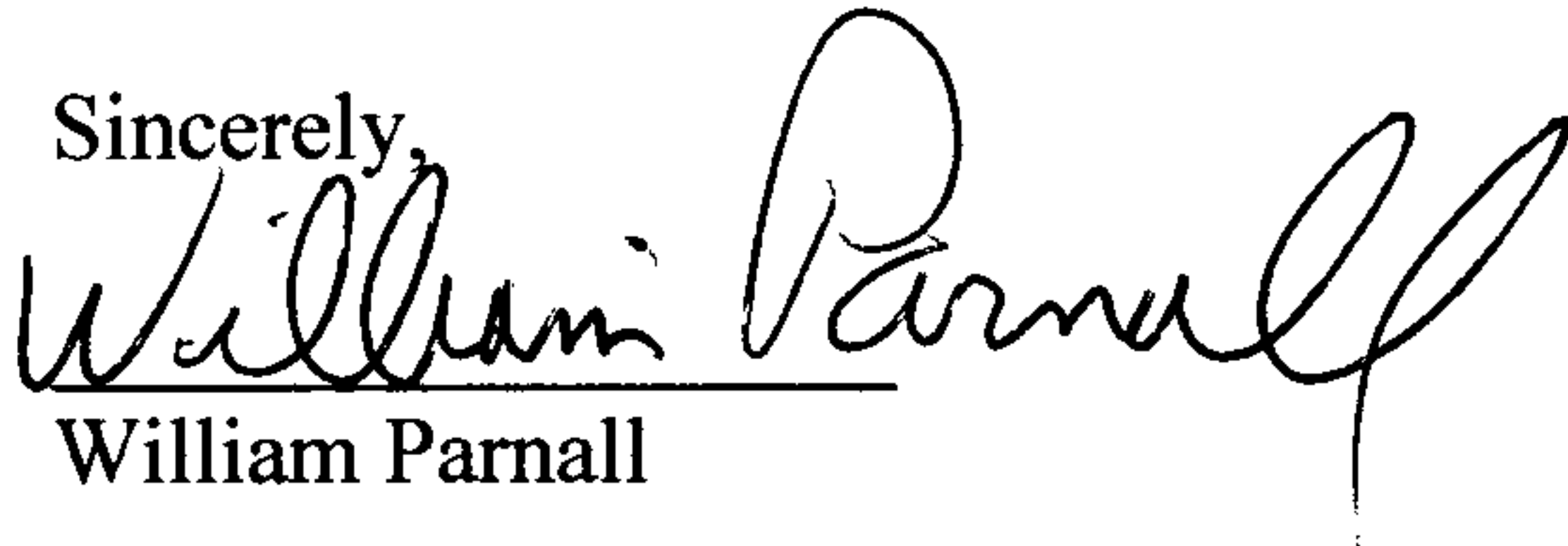
DRB Chairman
Sharon Matson
City Planning Department
Development and Building Services
600 2nd Street NW
Albuquerque, NM 87102

Re: Request to vacate alley #100416005 DRB 00739

Dear Ms. Matson,

I am a tenant of the law offices at 503 Slate NW and want to voice my strong objection to blocking off the alley under consideration. Our parking lot is behind the building and the only access to that lot is through the alley. Closing the alley will make an already difficult parking situation impossible.

Sincerely,


William Parnall

THOMAS NANCE JONES
Attorney at Law
503 Slate NW
Albuquerque, New Mexico 87102
(505) 247-2972 • FAX (505) 842-6945

May 17, 2005

DRB Chairman
Sharon Matson
City Planning Department
Development and Building Services
600 2nd Street NW
Albuquerque, NM 87102

Faxed: 924-3864

Re: Request to vacate alley, #100 4160/05 DRB 00739

Dear Ms. Matson,

I am the owner of the law office at 503 Slate NW and the residential duplex at 507 Slate NW. My property is on the northwest corner of the intersection of 5th Street and Slate NW and is bordered on the north by an alley running between 5th Street and 6th Street, bisecting the block bordered on the south by Slate and on the north by Marble. It is my understanding that the application referenced above seeks to vacate the west (6th Street) end of the alley.

I am writing to express my strong objection to the granting of the application. My reasons are several:

a) From the prospective of the City and the services it provides (for which I pay), our weekly garbage pickup occurs by the truck entering the alley from 6th Street (the portion sought to be vacated) from which it services my dumpster and I believe one other, both of which face towards the west and would be inaccessible should the truck be required to enter from 5th Street. In fact, in the past we have occasionally missed garbage service because of parked vehicles at the 6th Street end blocking access by the garbage truck. This has not been a problem recently, however, but only after repeated requests by me and other residents.

b) 5th Street in a one way going north and 6th Street in a one way going south. I have two parking lots serving my law office. One is accessible off of 5th Street but the other is in the middle of the block accessible only off of the alley. Therefore, both my tenants, employees and clients seeking to park in my second lot who are coming from the north or west usually do so by accessing the lot by entering the alley off of 6th Street. Vacating that alley would severely disrupt access to my property from any such persons and is also objectionable on that basis.

THOMAS NANCE JONES

c) Residential properties on the north side of the alley facing on to Marble have parking for their vehicles (and, I believe their garbage pickup on occasion) through the backs of their lots which face onto the alley. Again, blocking off access from 6th Street would severely inhibited access to and egress from their properties for these purposes.

d) The same problem with access would apply to my neighbor, Benny Naranjo, who is at 511 Slate NW. Benny and his wife recently moved into the property which was formerly his law office at have done extensive renovations behind the property (facing onto the alley) including fencing and building a garage accessible only from the alley. I believe he would also be severely adversely impacted by cutting off his access to 6th Street from his property if the request is granted.

e) When I, my employees or my tenants leave my property intending to head west or south, our usually route is to exit the alley onto 6th Street, the one way street going south. To cut off this egress would require waiting to get onto 5th Street and having to go around the block in order to do the same thing, an unnecessary inconvenience in my opinion.

f) There is another law office directly to the north of mine on 5th Street belonging to Ahmed Assad. Despite my postings, unfortunately his clients sometimes block the alley from the east by parking while they run in to see him. When this occurs, the only means of ingress or egress is to use the 6th Street end of the alley. Vacating it would eliminate this occasionally necessary route, to the detriment of my employees, staff and tenants.

I hope to be able to attend the June 1 meeting on the application. If I am not, I respectfully request that this letter be read into the record and taken into account in deciding upon the application. I am unaware of the exact reasons for which the application has been made, but if it is simply for ease in parking by the applicant, that seems to be far outweighed by the inconvenience and problems which it would inevitably cause for me, my staff, my tenants, my customers, my neighbors and the city departments providing services to the property. Thank you for your consideration in this matter and I assume my objection to the application is hereby noted.

Sincerely,


Thomas Nance Jones

cc: Wilfred Gallegos

May 30, 2005

DRB Chairman
Sharon Matson
City Planning Department
Development and Building Services
600 2nd Street NW
Albuquerque, NM 87102

Re: Request to vacate alley #100 4160/05 DRB 00739

Dear Ms. Matson

I have occupied, and now am, the owner of 509 Slate Ave. N.W. my property for more than 25 years. The owner of the property seeking the vacation when I first moved on to my property became my client. He had no parking problems back then. He had parking in his driveway off of 6th St in front of his property, and one spot at the rear of the residence.

The changes that have occurred presently, and for several years now, are caused by the new District Court House, the new Metropolitan Court House and the new District Attorney's office. None of these buildings were designed to provide parking for their employees.

These employees trying to park as close to their jobs now line every available parking along all the streets, 5th, 6th 4th, etc.

The applicant still has one parking slot behind her house and one in the driveway, as did the prior owner. However, I do not doubt that the parking on 6th St in front of her property is now taken daily, excepting weekends by the employees.

To resolve this same problem the land owners on Slate Ave NW combined and joined together to establish controlled parking on both sides of Slate Ave. NW, between 5th and 6th streets. Not only were the employees of the two courts, but also the employees of the D.A. office were filling all the parking space available, so we asked the city to impose restricted parking (2 hrs. only). However, other people having business with the courts also were parking along this street, in driveways or wherever they could.

Now, today, at my address on Slate Ave we have parking by permit only in front of our residence for two slots or two cars. However, even now those slots are taken daily by violators. I suspect the problem existing within a 10 block area of the courts. I have always parked at the rear of my property since I occupied this address more than 25 years ago and still do. I have since invested in a garage (one car) at the rear of my property fronting the alley. Today at least our family and friends or anyone visiting can park in front, if not occupied by violators or enter the alley, after circling the block and park at back by entering the alley either through 6th or 5th St.

The problem is extreme during the weekdays. It is not uncommon for the applicant or her guests to block the alley at 6th St, as did previous occupants before her. On occasion the exit from the alley is blocked by illegally parked cars at both ends. I have found myself sitting in my vehicle honking my horn hoping that whoever is blocking to come out and move their vehicles to no avail.

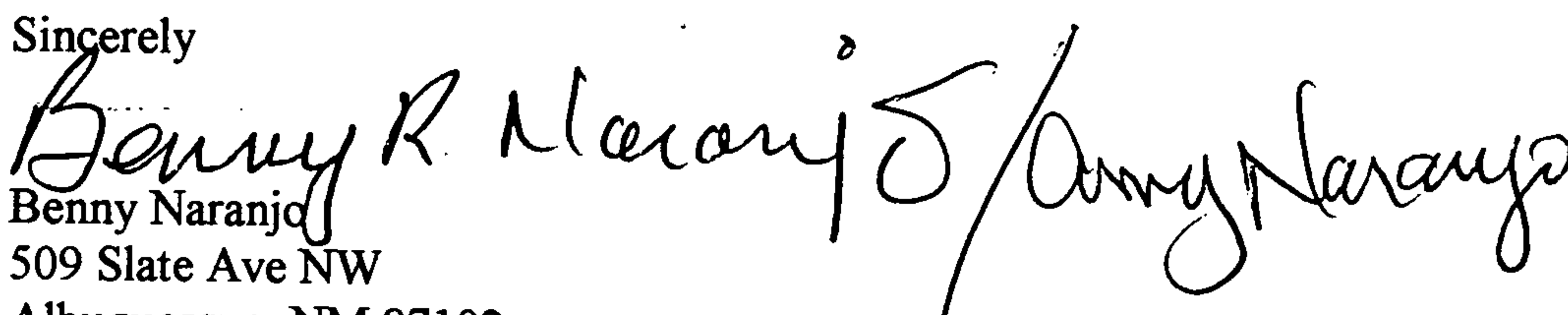
There is also a transformer here that the Electric Co. services from time to time, as well as dumpsters which the city services, coming in off of 6th St and exiting to 5th.

Bottom line is; the applicant knew or should have known when she purchased that she would have only two parking spaces on her property, and at least four spaces front on 6th St. in front of her property. The solution to her problem is to apply for restricted parking in front of her property, perhaps parking by permit only.

Therefore I strongly object the granting of her application as it would severely restrict the use of my property, as well as that of my neighbors, both north of the alley and south of the alley. Applicant has ample parking available to her now. That city employees or others take all the parking in front of her property is her problem.

A convenience to her is a great inconvenience to all others having use and need of the alley as ingress and egress from their properties

Sincerely


Benny Naranjo
509 Slate Ave NW
Albuquerque, NM 87102
505 268 5297



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 1, 2005

Project # 1004160
05DRB-00739 Major-Vacation of Pub Right-of-Way

PETRONELLA J POUTSMA request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 3, **GRANT TRACT**, zoned SU-3, located on 6TH ST NW, between MARBLE AVENUE NW and SLATE ST NW (J-14)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No adverse comments.
Zoning Enforcement	No adverse comments.

Neighborhood Coordination

Letters sent to Wells Park NA (R), Downtown List of NA's – Barelás, Broadway Central Corridors Partnership, Citizens Information of Martineztown, Downtown, Raynolds Addition, Huning Highland Historic District, Santa Barbara-Martineztown, South Broadway, Huning Highland, Downtown Action Team.

APS	No comments received.
-----	-----------------------

Police Department

A review of the following DRB case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Traffic control devices: traffic should be diverted away from the alley vehicle traffic should be forced to use main streets. Other: Support request.

Fire Department	No adverse comments.
-----------------	----------------------

PNM Electric & Gas

VACATION IS NOT OKAY. The distribution line in the alley serves at least 15 customers and cannot be easily relocated. Any vacation would have to leave an easement for PNM facilities.

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer The Hydrology section has no objection to the vacation request.

Transportation Development

Object to the vacation action. A portion of the alley cannot be vacated.

Parks & Recreation Defer to Transportation.

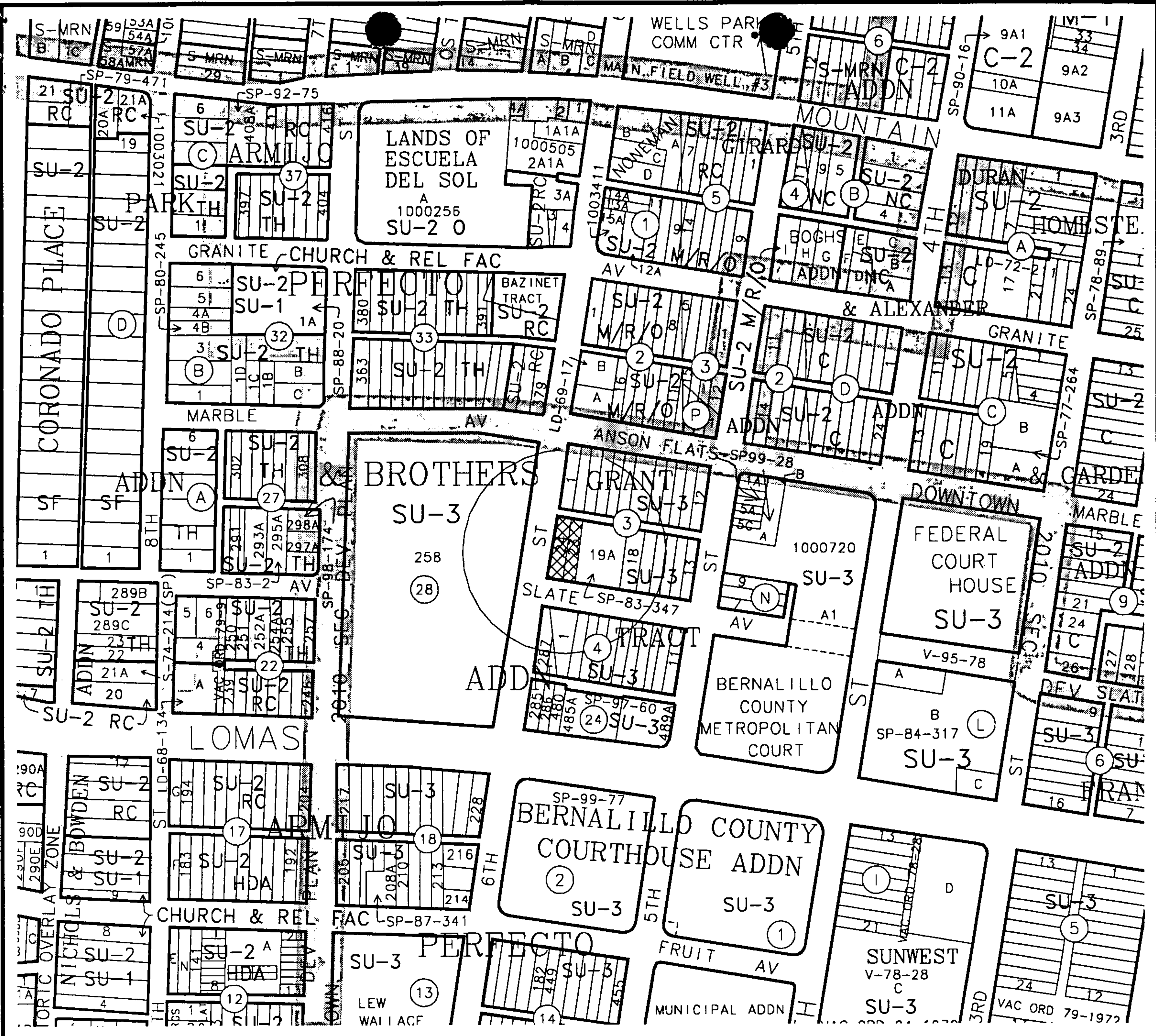
Utilities Development No objection to Vacation request, defer to Transportation.

Planning Department

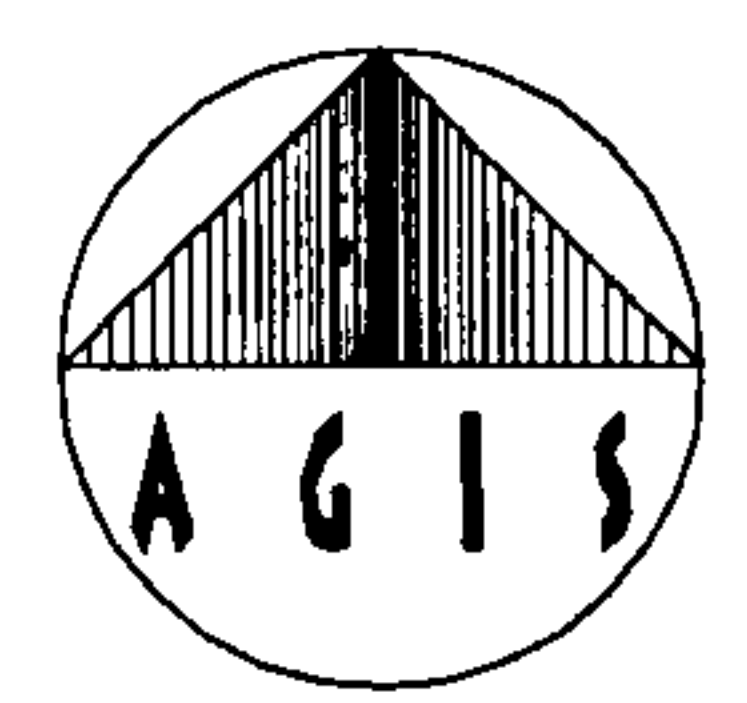
This request does not appear to meet the criteria for the vacation of the public right of way request as per Article 14 of the Subdivision Ordinance.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Petronella J Poutsma, 77 Vallecitos Dr, Tijeras, NM 87059



ZONING MAP



Scale 1" = 312'

PROJECT NO. 1004160
HEARING DATE JUNE 1, 2005
MAP NO. J-14
ADDITIONAL CASE NUMBER(S) 05DRB-00739

Note: Shaded area indicates County Not to Scale

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

- | | | |
|----------------------------|----------------------------|--|
| <input type="checkbox"/> S | <input type="checkbox"/> Z | ZONING & PLANNING |
| | | <input type="checkbox"/> Annexation |
| | | <input type="checkbox"/> County Submittal |
| <input type="checkbox"/> V | | <input type="checkbox"/> EPC Submittal |
| | | <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning) |
| <input type="checkbox"/> P | | <input type="checkbox"/> Sector Plan (Phase I, II, III) |
| | | <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan |
| | | <input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs) |
| | | <input type="checkbox"/> Street Name Change (Local & Collector) |
| <input type="checkbox"/> L | <input type="checkbox"/> A | APPEAL / PROTEST of... |
| <input type="checkbox"/> D | | <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Petronella J. POUTSMA PHONE: 286.4872
 ADDRESS: 77 Vallecitos Drive FAX: _____
 CITY: Tijeras STATE NM ZIP 87059 E-MAIL: petrapoutsma@earthlink.net
 Proprietary interest in site: Sole owner List all owners: _____
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: Vacation of Right of Way. Requesting that access to alley between 6th and 5th Sts be blocked off / closed to traffic from the back of my property line at 816 6th St. See letter for details.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots #23 + 24 Block: _____ Unit: _____
 Subdiv. / Addn. Block 3 of the GRANT TRACT
 Current Zoning: SU3 Proposed zoning: _____
 Zone Atlas page(s): J-14 No. of existing lots: _____ No. of proposed lots: _____
 Total area of site (acres): _____ Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within-city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 1 014 058 147195 34417 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 816 6th street NW
 Between: MARBLE Avenue and SLATE Street

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE P. J. Poutsma DATE May 2nd 2005
 (Print) P. J. POUTSMA Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

05DRB 00739

Action

VRW
AD Fee
CMF

S.F.

V

Fees

\$ 300.00
\$ 75.00
\$ 20.00

Total

\$ 395.00

Hearing date June 1

[Signature] 5-3-05
Planner signature / date

Project #

1004160

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- ___ Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- ___ Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- ___ The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the vacation
 - ___ Letter of authorization from the grantors and the beneficiaries
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Petronella J. Poutsma
Applicant name (print)

[Signature]
Applicant signature / date



Form revised 4/03 and October 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB - 00739

[Signature] 5-3-03
Planner signature / date

Project # 1004160

City of Albuquerque, Dev. Review Board
600 2nd St., Plaza Del Sol
Albuquerque, NM 87102

Petronella J. Poutsma
77 Vallecitos Drive
Tijeras, NM 87059
Tel.: 286-4872

May 2, 2005

TO WHOM IT MAY CONCERN

**SUBJECT: Vacation of Public Right-of-Way
for Property located on 816 6th St NW**

**LEGAL DESCRIPTION: Lots 23 and 24 Block 3 of the
GRANT TRACT,**

I hereby respectfully request that the alley running alongside above-named property, from 6th to 5th streets and vice versa, be declared a dead-end or a NO THOROUGH FARE, and that said alley be blocked off to vehicle traffic from the property line(s) to 6th street.

From the attached sketch it may be noticed that there is really no need for this alley, as there are perfectly goods streets allowing traffic to pass safely from 5th to 6th streets and vice versa via Marble Avenue and Slate Street.

The reasons for this request are as follows:

The alley is being used as a public road. Cars race through the alley blowing up a lot of dust and sand and splashing mud after a heavy rain. Also, cars racing through the alley cut across 6th St., against the traffic, to the Bank of America's parking lot across the street. The neighbor on the other side of the alley was once almost hit by a truck barreling across her small front yard.

Since purchasing the property (a triplex, with the main house and one studio apartment facing 6th street whereas the upstairs apartment can only be entered from the alley) in September 2003, I have invested a considerable amount of money to clean it up and bring this property up to code. This also involved getting rid of the drug dealing tenants and a registered sex offender listed to be living at this address.

Therefore, for the safety of my tenants, as well as to protect my investment, and in the spirit of cleaning up and revitalizing downtown Albuquerque, I would greatly appreciate the City approving this request.

Thanking the City in anticipation, I remain,

Sincerely yours,


Petronella J. Poutsma

ENCLOSURES: *Completed DEV/PLAN REVIEW APPLIC. FORM*
- 24 copies of drawing
- Certified Receipts with sample letter sent to ALL members of NAs as per attached lists
- 1 copy of Zone Atlas J-14-Z

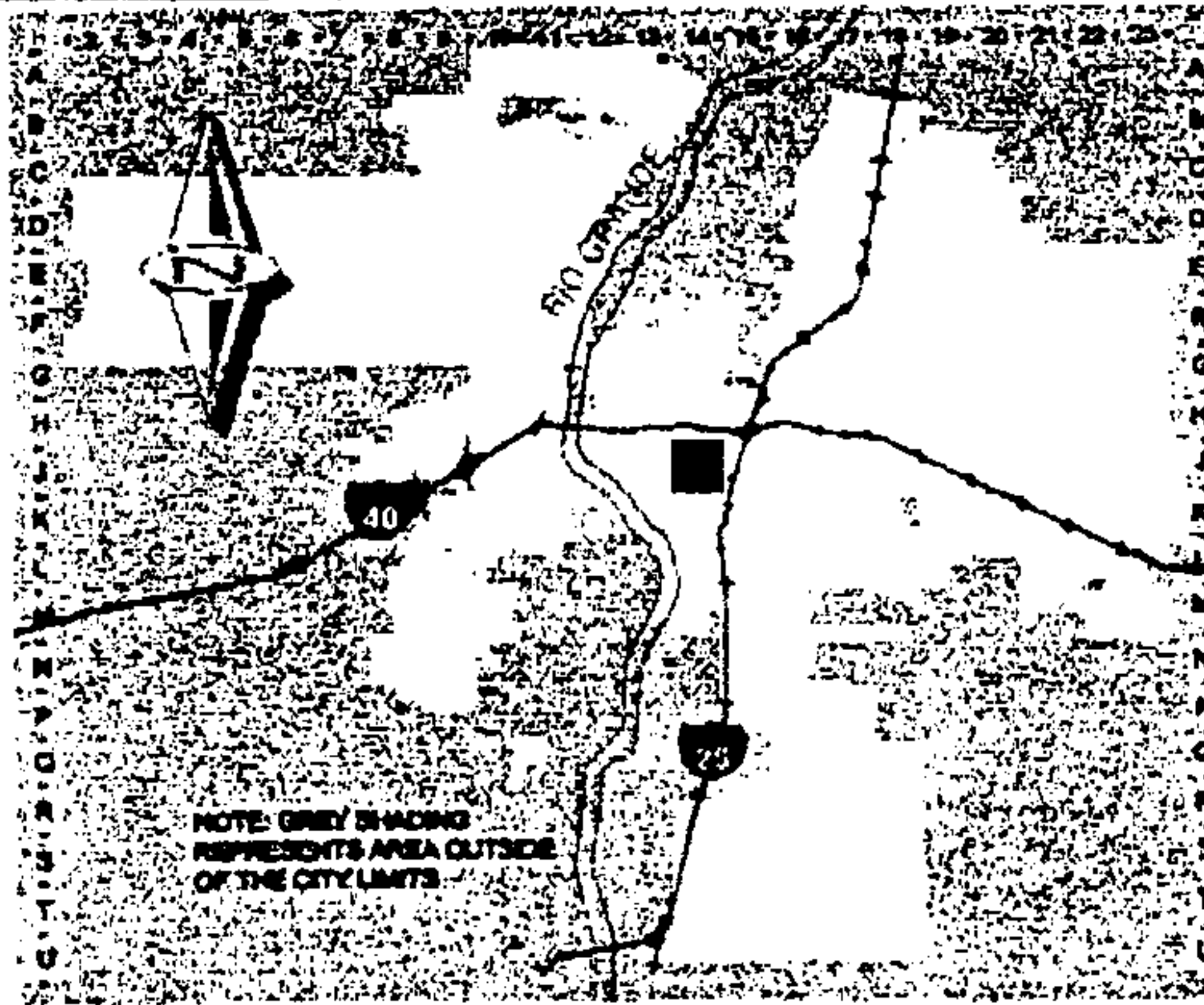
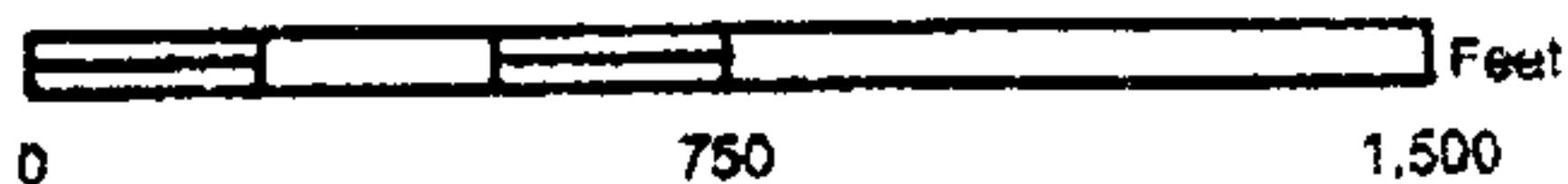


Zone Atlas Page: J-14-Z

Map amended through: Aug 06, 2004

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



THREE HUNDRED YEARS
1706 - 2006
ALBUQUERQUE

Hacienda Historia

A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT

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Postage	\$ 0.37	UNIT ID: 0047 SANDIA PARK NM 87047 Postmark Here MAY - 2 2005 Clerk: K5B18B 05/02/05 USPS
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: Mark Clayburgh Wells Plc NA
 Street, Apt. No.; or PO Box No.: 1310 5th St NW
 City, State, ZIP+4: Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: Fred Soria Wells Plc NA
 Street, Apt. No.; or PO Box No.: 1508 Los Tomases NW
 City, State, ZIP+4: Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 8741

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: Robert Vigil Banelas NA
 Street, Apt. No.; or PO Box No.: 919 Santa Fe SW
 City, State, ZIP+4: Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 8734

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: Steve Meyer Banelas NA
 Street, Apt. No.; or PO Box No.: 911 Santa Fe Ave SW
 City, State, ZIP+4: Albuquerque NM 87102

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: Margaret T. Keener BCCP, Inc
 Street, Apt. No.; or PO Box No.: 312 Central Ave SE
 City, State, ZIP+4: Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 8758

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To: Terrance Keene BCCP, ship Inc.
 Street, Apt. No.; or PO Box No.: 424 Central Ave SE
 City, State, ZIP+4: Albuquerque NM

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7005 0390 0003 1462 8789

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	Certified Fee	2.30	
	Return Receipt Fee (Endorsement Required)		
	Restricted Delivery Fee (Endorsement Required)		
	Total Postage & Fees	\$ 2.67	

Sent To Greg Blackwell - Downtown NA
 Street, Apt. No., or PO Box No. 1418 Roma Ave NW
 City, State, ZIP+4 Albuquerque NM 87102

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	Certified Fee	2.30	
	Return Receipt Fee (Endorsement Required)		
	Restricted Delivery Fee (Endorsement Required)		
	Total Postage & Fees	\$ 2.67	

Sent To Jess R. and Frank H Martinez
 Street, Apt. No., or PO Box No. 501 Edith NE
 City, State, ZIP+4 Albuquerque NM 87102

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	Return Receipt Fee (Endorsement Required)		
	Restricted Delivery Fee (Endorsement Required)		
	Total Postage & Fees	\$ 2.67	

Sent To Barbara Grothman RANA
 Street, Apt. No., or PO Box No. 905 Silver SW
 City, State, ZIP+4 Albuquerque NM 87102

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	Certified Fee	2.30	
	Return Receipt Fee (Endorsement Required)		
	Restricted Delivery Fee (Endorsement Required)		
	Total Postage & Fees	\$ 2.67	

Sent To Fred Davis Downtown NA
 Street, Apt. No., or PO Box No. 415 Marble NW
 City, State, ZIP+4 Albuquerque N.M. 87102

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	Certified Fee	2.30	
	Return Receipt Fee (Endorsement Required)		
	Restricted Delivery Fee (Endorsement Required)		
	Total Postage & Fees	\$ 2.67	

Sent To Kay Adams HHH D Assoc
 Street, Apt. No., or PO Box No. 816 Silver Ave SE
 City, State, ZIP+4 Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

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	Certified Fee	2.30	
	Return Receipt Fee (Endorsement Required)		
	Restricted Delivery Fee (Endorsement Required)		
	Total Postage & Fees	\$ 2.67	

Sent To Debbie Foster RANA
 Street, Apt. No., or PO Box No. P.O. Box 7112
 City, State, ZIP+4 Albuquerque NM 87194-7112

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 8703

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To Robert Sanchez SB M. town Assoc
 Street, Apt. No., or PO Box No. 508 Aspen NE
 City, State, ZIP+4 Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 7522

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To Susan Dixon S. B'way NA
 Street, Apt. No., or PO Box No. 1213 Edith SE
 City, State, ZIP+4 Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To Bill Hoch HH N.A.
 Street, Apt. No., or PO Box No. 205 Highland Park Cir. SE
 City, State, ZIP+4 Albuquerque N.M. 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 8864

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To Charles Incendio HHD Assoc.
 Street, Apt. No., or PO Box No. 201 High St NE
 City, State, ZIP+4 Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 7515

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To Christina Chavez SB M. town Ass
 Street, Apt. No., or PO Box No. 517 Marble NE
 City, State, ZIP+4 Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

7005 0390 0003 1462 7539

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Postage	\$ 0.37	UNIT ID: 0047 Postmark Here Clerk: K5B18B 05/02/05
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 2.67	

Sent To Jessica Rodelas S. B'way NA
 Street, Apt. No., or PO Box No. 1719 Walter SE
 City, State, ZIP+4 Albuquerque NM 87102

PS Form 3800, June 2002 See Reverse for Instructions

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Postage	\$ 0.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 2.67

UNIT ID: 0047
 SANDIA PARK, NM 87102
 Postmark Here
 Clerk: K5B18B
 05/02/05

Sent To Ann Carson - HH NA.
 Street, Apt. No.,
 or PO Box No. 416 Walter SE
 City, State, ZIP+4 Albuquerque NM 87102

7005 0390 0003 1462 7560

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ALBUQUERQUE, NM 87102

Postage	\$ 0.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 2.67

UNIT ID: 0047
 SANDIA PARK, NM 87102
 Postmark Here
 Clerk: K5B18B
 05/02/05

Sent To Luisa Casso Downt. Action Team
 Street, Apt. No.,
 or PO Box No. 309 Gold Ave SW
 City, State, ZIP+4 Albuquerque NM 87102

"Attachment A"

4/27/05

P. J. POUTSMA

77 VALLECITOS DRIVE

TIJERAS, NM 87059-7302

PHONE: 286-4872

ZONE MAP: J-14

Wells Park NA (R)

*Fred Sais ✓

1508 Los Tomases NW / 87102 242-8457 (h)

Mark Clayburgh ✓

1310 5th St. NW / 87102 242-6278 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY 0-92,
you are most welcomed to notify the following "*Unrecognized*" neighborhood
associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

DOWNTOWN NEIGHBORHOOD ASSOCIATIONS LIST

Updated: April 4, 2005

BARELAS NEIGHBORHOOD ASSOCIATION (R)

Steve Meyer ✓
911 Santa Fe Ave. SW/87102 247-2697 (h)

Robert Vigil ✓
919 Santa Fe SW/87102 243-0413 (h)

BROADWAY CENTRAL CORRIDORS PARTNERSHIP, INC. (R)

Terrance Keene
424 Central Ave. SE/87102 238-1213 (w)

Margaret T. Keener
312 Central Ave. SE/87102 842-5030 (w)

CITIZENS INFORMATION COMMITTEE OF MARTINEZTOWN (R)

Jess R. Martinez ✓
501 Edith NE/87102 228-0102 (h)

Frank H. Martinez ✓
501 Edith NE/87102 243-5267 (h)

DOWNTOWN NEIGHBORHOODS ASSOCIATION (R)

Greg Blackwell ✓
1418 Roma Ave. NW/87102 242-0862 (h)

Ford Davis ✓
415 Marble NW/87102 301-0835 (h)

RAYNOLDS ADDITION NEIGHBORHOOD ASSOCIATION (R)

Barbara Grothus ✓
905 Silver SW/87102 842-8305 (h)

Debbie Foster ✓
P.O. Box 7112/87194-7112 243-4865 (h)

HUNING HIGHLAND HISTORIC DISTRICT ASSOCIATION (R)

Kay Adams ✓
816 Silver Ave. SE/87102 224-9535 (h)

Charles Incendio ✓
201 High St. NE/87102 242-1284 (h)

SANTA BARBARA-MARTINEZTOWN ASSOCIATION (R)

Robert Sanchez ✓
508 Aspen NE/87102 243-9271 (h)

Christina Chavez ✓
517 Marble NE/87102 459-4521 (cell)

SOUTH BROADWAY NEIGHBORHOOD ASSOCIATION (R)

Susan Dixon
1213 Edith SE/87102 242-4013 (h)

Jessica Rodelas
1719 Walter SE/87102 261-9404 (h)

PLEASE NOTE: **ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY THE O-92 ORDINANCE, the associations listed below are "Unrecognized" associations/groups and don't need to be "officially" notified of the project, but as a common courtesy you are welcomed to let them know.**

HUNING HIGHLAND NEIGHBORHOOD ASSOCIATION

Bill Hoch ✓
205 Highland Park Cir. SE/87102 242-7338 (h)

Ann Carson ✓
416 Walter SE/87102 242-1143 (h)

DOWNTOWN ACTION TEAM

Luisa Casso ✓
309 Gold Ave. SW/87102 243-2230 (w)

Mr. Fred Sais, Wells Park NA ®
1508 Los Tomases NW
Albuquerque, NM 87102

Mr. Mark Clayburg, Wells Park NA ®
1310 5th St. NW
Albuquerque, NM 87102

April 30, 2005

Dear Sirs,

Subject: Vacation of Public Right-of-Way for the property located
on 816 6th St NW. (Zone Atlas page J-14)

Legal Description: Lots 23 & 24 Block 3 of the GRANT TRACT

This serves to inform you of my intent to file the above request with the City of Albuquerque.

The reasons for this request are as follows:

- 1.) The alley running between 5th and 6th streets is being used as a public road/short cut. Cars race through the alley blowing up a lot of dust during the dry season and splashing lots of mud after a heavy rain.
- 2.) Also, cars racing through the alley cut across 6th street, against traffic, to the Bank of America Parking lot across the street). The neighbor on the other side of the alley and also facing 6th St. was once almost hit by a truck barreling across her small front lawn. These people moved there in 1975 and had asked the City to block off the 6th St. entrance to the alley. They were told that they did not own that part of the alley but that it belonged to the then (original) proprietor of 816 6th St.
- 3.) To protect the investment I made in this property (a triplex), which I purchased in September 2003. Since its purchase, I made a lot of costly improvements inside and out and painted the main house white on the outside. I also managed, after some time to get rid of the tenants who proved to be drug dealers. while a registered sex offender was also listed as residing at that address.

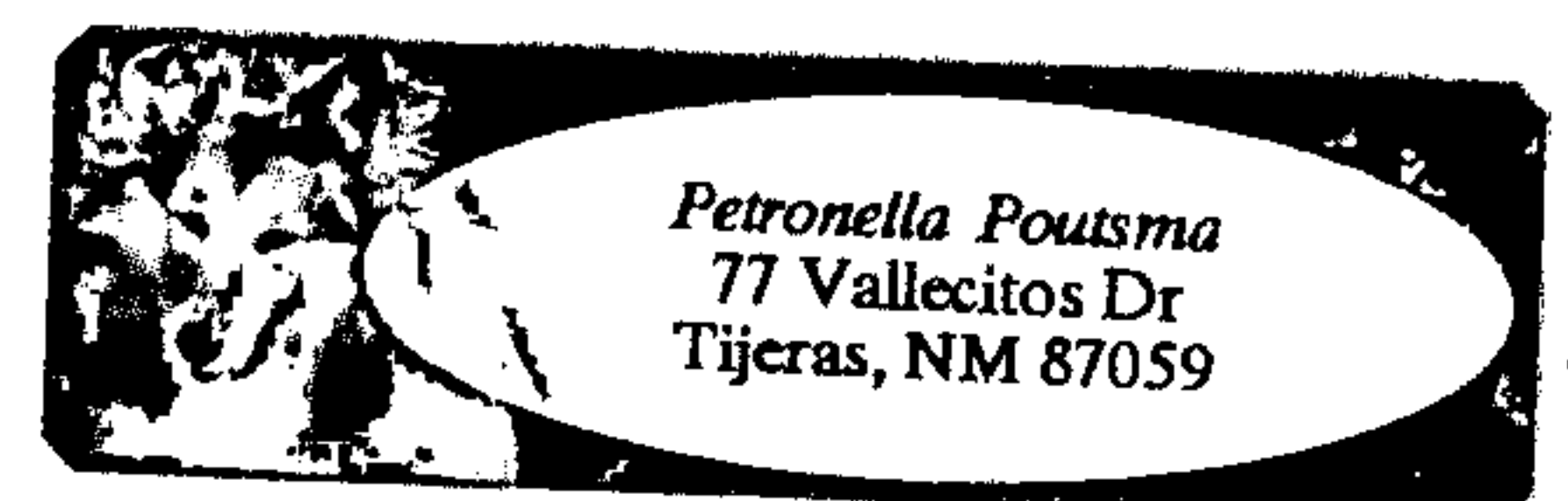
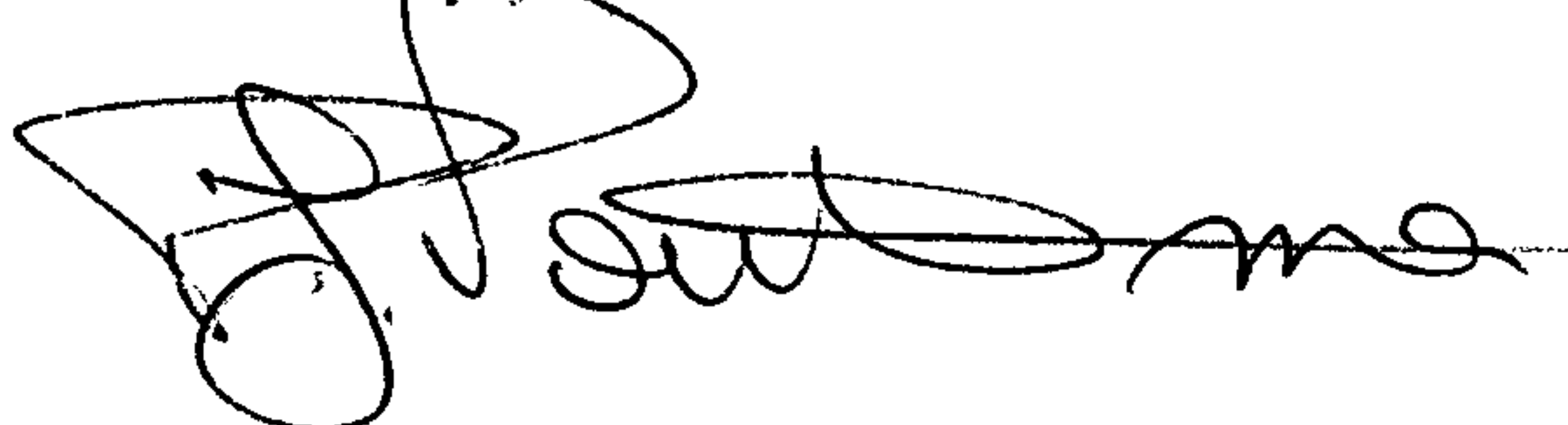
However, with the traffic moving up and down this alley, it is difficult to keep the place clean. The sand settles in between the (new) windows, and mud is being splashed along the wall, not to mention the danger of being hit when using the alley and only entrance to the upstairs apartment.

Since there are two perfectly good public streets running one block from the property, i.e. Slate Street and Marble Avenue, there is absolutely no need for this alley to be used as a public road also. May be it served its purpose at one stage, but not now.

In the spirit of the revitalization and cleaning up of downtown Albuquerque and to protect my investment, I hope that my request will be granted.

Please do not hesitate to call me if you have any questions

Sincerely yours,



Tel: 286-4872

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME Petronella J. Poutsma
 AGENT SAME
 ADDRESS _____
 PROJECT & APP # 1004160/05 DRB 00739
 PROJECT NAME Grant Tract

DUPLICATE
 City of Albuquerque
 Treasury Division

5/3/2005 3:16PM LOC: ANNX
 RECEIPT# 00041840 WS# 007 TRANS# 0052
 Account 441032 Fund 0110
 Activity 3424000 TRSLJS
 Trans Amt \$395.00
 J24 Misc \$20.00

Thank You

- \$ 20⁰⁰ 441032/3424000 Conflict Management Fee
- \$ 300⁰⁰ 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75⁰⁰ 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study
- \$ 395⁰⁰ TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

Activity 4983000
 Account 441006
 Fund 0110
 Trans Amt \$395.00
 J24 Misc \$20.00

City of Albuquerque
 1479
 95-8366/3070
 5.03.05 Date
 \$395.00
 City of Albuquerque
 Treasury Division
 Golden Key Account
 RECEIPT# 00041842 WS# 007 TRANS# 0052
 Account 441018 Fund 0110
 Activity 3424000
 Trans Amt \$395.00
 J24 Misc \$75.00
 CK \$395.00
 CHANGE \$0.00

NEW MEXICO EDUCATORS FEDERAL CREDIT UNION
 P.O. Box 8530
 Albuquerque, NM 87198-8530

816 6th St/Vacation of R of Way
 001755001811
 1479

Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

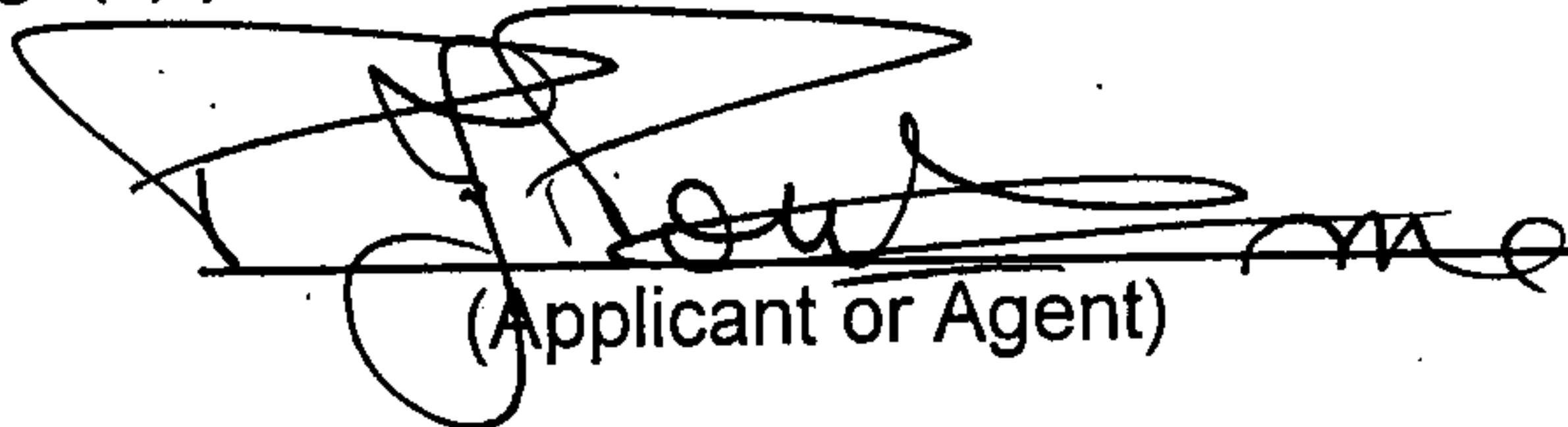
4. TIME

Signs must be posted from 5-17-05 To 6-1-05


5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

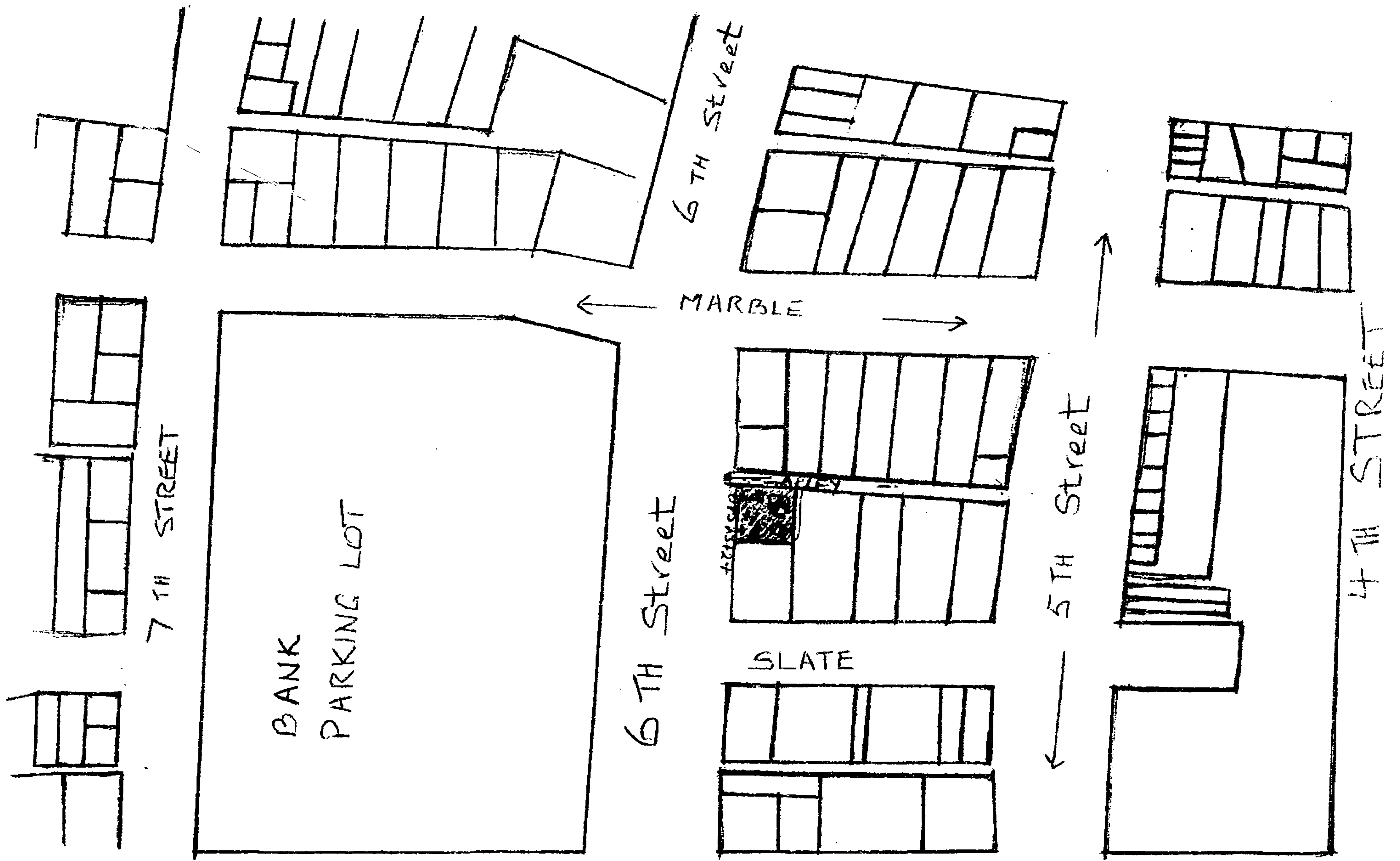
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent) 5-03-05
(Date)

I issued 2 signs for this application, 5-3-05 
(Date) (Staff Member)

DRB PROJECT NUMBER: 100 4160



← LOMAS →

Remainder of alley
 Section to be closed off
 Lots 23+24=816 6th St.

EXHIBIT B
 Date 6/01/05