

KEYED NOTES

EXISTING EASEMENTS

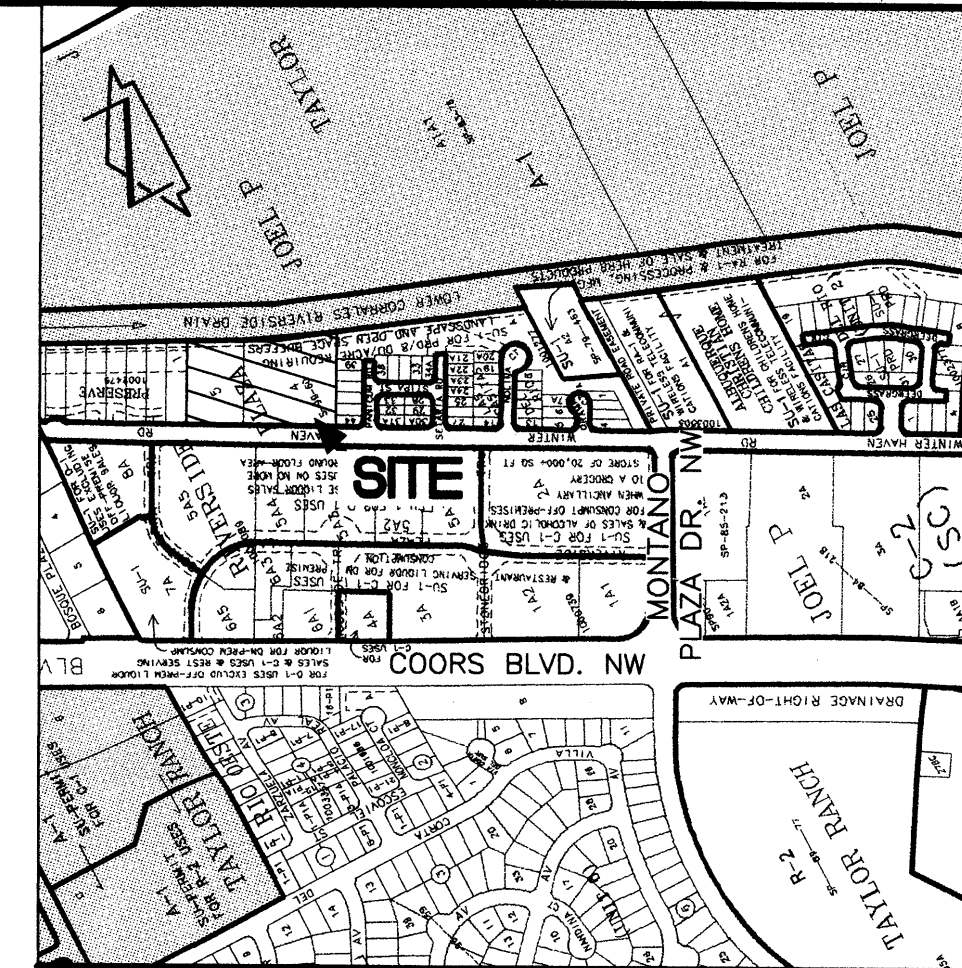
- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER AS PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑤ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑥ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

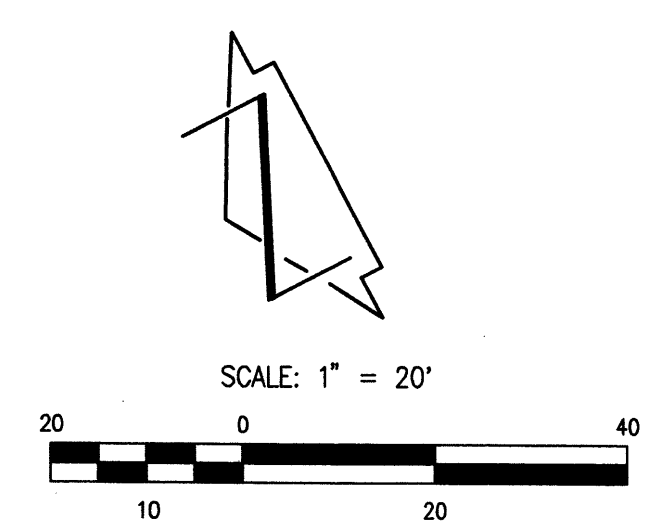
- ⑤ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑥ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑦ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑪ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑫ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION
- ⑬ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑭ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑮ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION



VICINITY MAP
SCALE: 1" = 750'



LEGAL DESCRIPTION

LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

EXISTING ZONING

SU-1 FOR PRD/8 DU/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS.

DENSITY

2.85 du/ac (GROSS)
4.21 du/ac (NET, EXCLUDING TRACTS A & B)

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.

PROJECT NUMBER: 1004161

Application Number 05 EPC 00740 05 DRB 01729

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated JUNE 16, 2005 and the Findings and Conditions in the Official Notifications of Decision are satisfied.

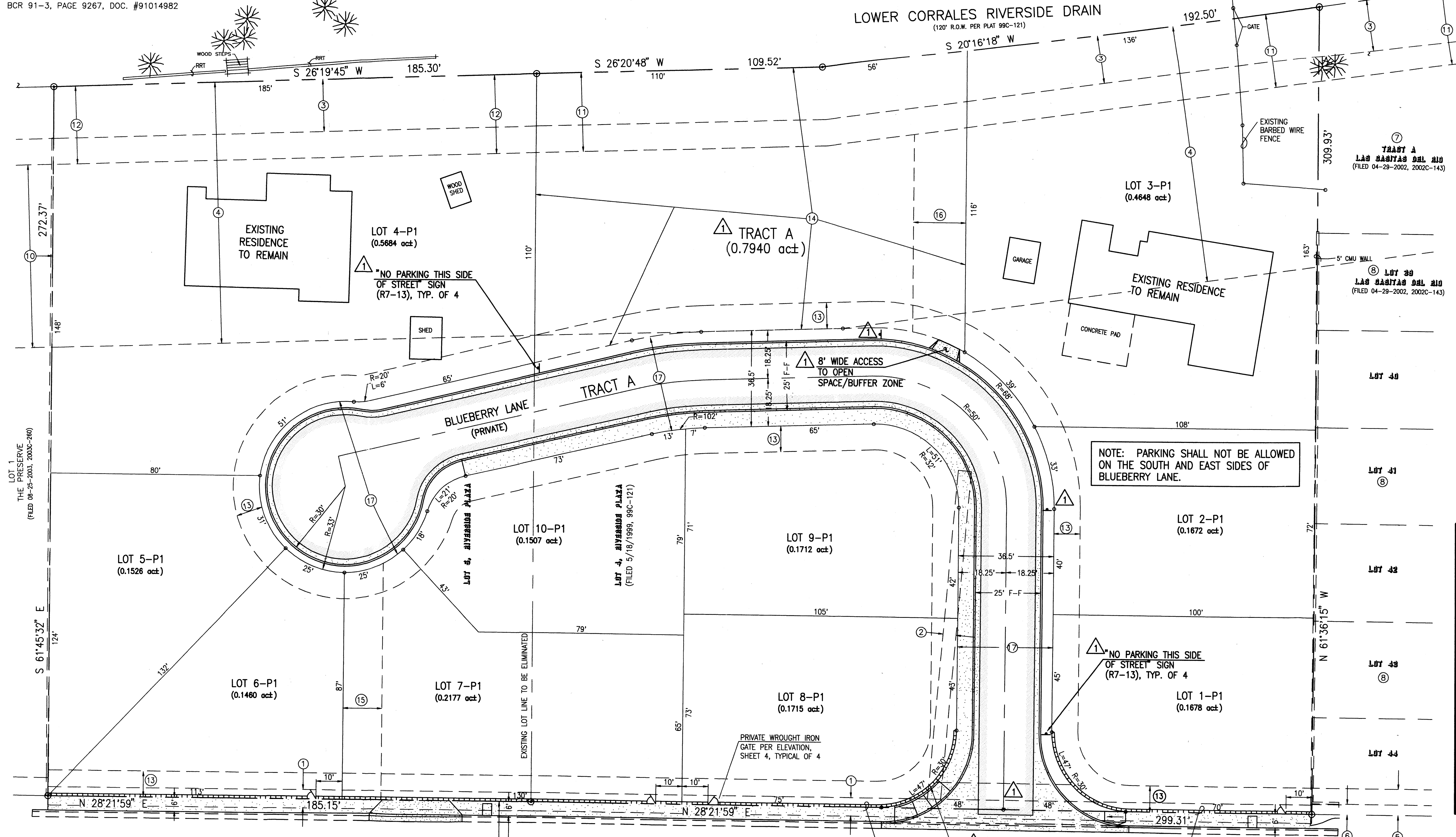
Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements. **FINANCIAL GUARANTEES REQUIRED WITH PLAT.**

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

William A. Baker	12-7-05	Date
William A. Baker	12-7-05	Date
Christina Sandoval	12/7/05	Date
Bradley D. Bingham	12/7/05	Date
N/A		Date
N/A		Date
DRB Chairperson, Planning Department	12/18/05	Date

INDEX OF DRAWINGS

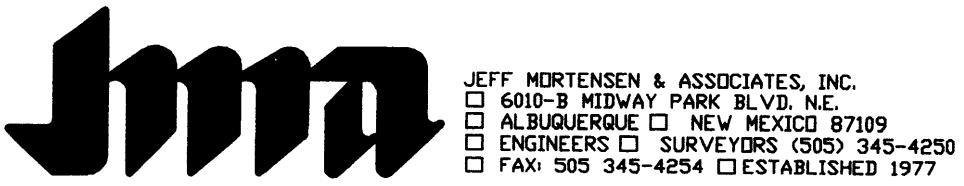
SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
2	CONCEPTUAL GRADING AND UTILITY PLAN
3	CALCULATIONS, DRAINAGE PLAN, SECTIONS AND DETAILS
4	SUBDIVISION DESIGN STANDARDS



SITE PLAN FOR SUBDIVISION
PLAZA ESCONDIDO

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	08/05	G.M.	DELETE GATED ENTRY, COMBINE TRACTS A AND B, ADDRESS EPC COMMENTS	2005.008.3
G.M./RRW	10/05	G.M.	ADD WALL	
G.M.				

Plot Date: 11-07-2005
Plot Time: 08:49 am
File Path: J:\WORK\1004161\1004161.DWG
File Name: 5008SPR.DWG



1004161

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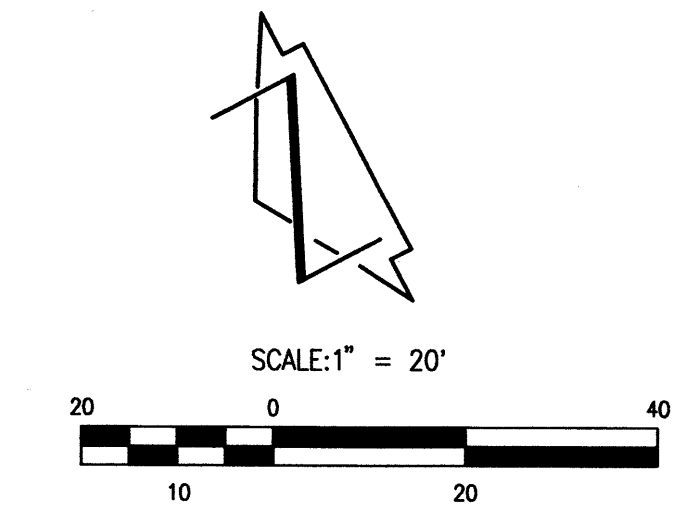
PROJECT BENCHMARK

A STANDARD USC&GS BRASS TABLE, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COORS RD. APPROXIMATELY 6.1 MILES NORTH OF THE INTERSECTION OF COORS AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)

T.B.M.

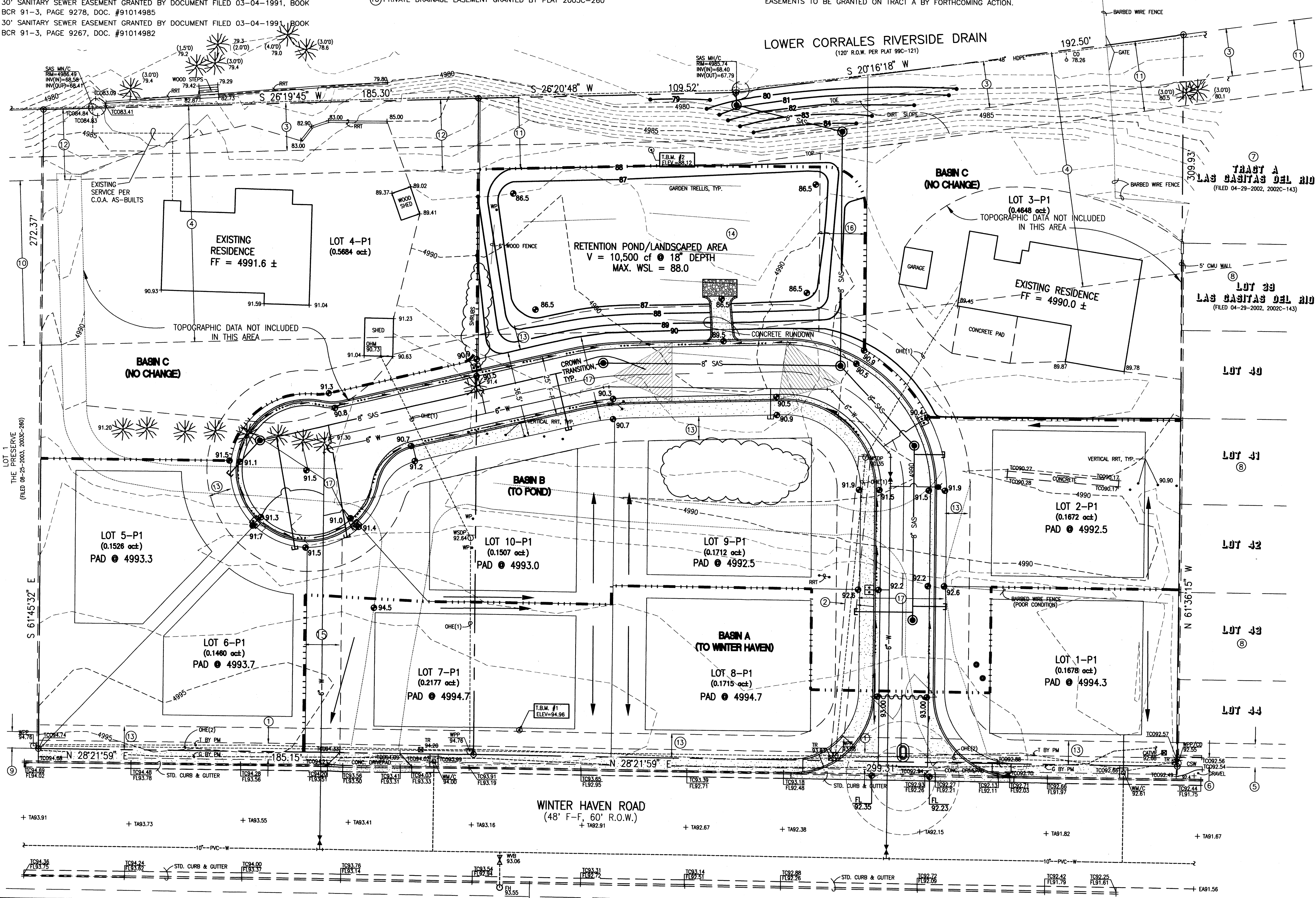
T.B.M. #1: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 240' SOUTH OF THE PL AND 16' (EAST) OF THE BACK OF THE CURB. ELEVATION = 4994.96 FEET
 T.B.M. #2: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 258' SOUTH OF THE PL AND 264' (EAST) OF THE EAST BACK OF CURB. ELEVATION = 4988.10 FEET

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



LEGEND

- BWF BARBED WIRE FENCE
- CATVR CABLE TELEVISION RISER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CSW CONCRETE SIDEWALK
- EA EDGE OF ASPHALT
- FL FLOWLINE
- G BY PM GAS LINE BY PAINT MARK
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV INVERT
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- OHM OVERHEAD ELECTRIC MAST
- PVC POLYVINYL CHLORIDE PIPE
- RRT RAILROAD TIE
- SAS MH SANITARY SEWER MANHOLE
- SAS MH/C SANITARY SEWER MANHOLE IN CONCRETE
- STD STANDARD
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TCO TOP OF CONCRETE
- TC TOP OF CURB
- TR TELEPHONE RISER
- TYP TYPICAL
- W WATER LINE
- WM/C WATER METER IN CONCRETE
- WP WOOD POST
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WSDP WOOD SERVICE DROP POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (CALIPER SIZE)
- EXISTING YUCCA
- SHRUB/TREE LINE
- PROPOSED SPOT ELEVATION
- FLOW LINE
- DIRECTION OF FLOW
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE



Plot Date: 05-02-2005
 Plot Time: 08:28 am
 File Path: J:\M\DWG\PLANS\50086CC.DWG
 File Name: 50086CC.DWG

JEFF MORTENSEN & ASSOCIATES, INC.
 600-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, N.M. 87109
 ENGINEERS & SURVEYORS (SOS) 345-4250
 FAX: 345-4254 | ESTABLISHED 1977

CONCEPTUAL GRADING AND UTILITY PLAN
 PLAZA ESCONDIDO

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2005.008.6
DRAWN BY				DATE
S.G.H./G.M.				05-2005
APPROVED BY				SHEET
G.M.				2 OF 4

J. GREME MEJIA
 STATE OF NEW MEXICO
 PROFESSIONAL ENGINEER
 13678
 05/02/2005

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN ALBUQUERQUE'S NORTH COORS CORRIDOR WITHIN THE RIVERSIDE PLAZA SUBDIVISION AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH EPC AND DRB. THE SITE CURRENTLY CONSISTS OF TWO EXISTING HOMES ON TWO ADJACENT LOTS. 8 ADDITIONAL RESIDENTIAL HOME SITES ARE PROPOSED ALONG WITH A NEW PRIVATE GATED STREET AND A COMMON AREA TRACT LOCATED WITHIN A 100 FT BUFFER ZONE ALONG THE EASTERN BOUNDARY OF THE SITE. A PORTION OF THE REDEVELOPED SITE WILL DISCHARGE FREELY TO AN EXISTING DOWNSTREAM PUBLIC STORM DRAIN WITHIN WINTER HAVEN ROAD NW. THE TWO EXISTING HOMES WILL CONTINUE TO DRAIN TO MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE REMAINDER OF THE SITE, CURRENTLY DRAINING TO MRGCD RIGHT-OF-WAY, WILL NOW DRAIN TO A PROPOSED ON-SITE RETENTION POND. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS CONCEPTUAL DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-12 ON SHEET 2, THE SITE IS LOCATED IN THE RIVERSIDE PLAZA SUBDIVISION ON THE EAST SIDE OF WINTER HAVEN ROAD NW. THE SITES TO THE NORTH AND SOUTH ARE DEVELOPED RESIDENTIALLY. TO THE EAST OF THE SITE IS MRGCD RIGHT OF WAY AND THE RIO GRANDE BOSQUE. THE EXISTING LEGAL DESCRIPTION IS LOTS 4 AND 5, RIVERSIDE PLAZA. THE SITE IS ZONED SU-1/PRD. THE PROPOSED DEVELOPMENT WILL REQUIRE A ZONE MAP AMENDMENT. THE PROPOSED ZONING SU-1/PRD 80U/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS. AS SHOWN BY PANEL 116 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. GRADING AND DRAINAGE PLANS FOR BOSQUE MONTANO BY TIERRA WEST DATED 9/14/2000 (FILE E12/D12), LAS CASITAS DEL RIO, UNITS 1 AND 2 BY ISAACSON & ARFMAN DATED 12/18/2001 AND 6/02/2003 (FILES E12/D17 AND E12/D17A), AND THE PRESERVE SUBDIVISION BY ISAACSON & ARFMAN DATED 06/02/03 (FILE E12/D21). THESE FOUR RECENT SUBDIVISIONS, LOCATED ON THE SAME WEST SIDE OF WINTER HAVEN RD NW NORTH AND SOUTH OF THE SUBJECT SITE, ARE SIMILARLY IMPACTED BY THE 100 FOOT BOSQUE BUFFER AND ESTABLISHED THE DRAINAGE CONCEPT FOR THE AREA WHEREBY FLOWS THAT CAN BE DIRECTED TO WINTER HAVEN, SHOULD BE, AND THE BALANCE IS RETAINED WITHIN LANDSCAPED RETENTION PONDS WITHIN THE 100 FT BUFFER.

THE PROPOSED CONSTRUCTION DRAINING TO A LANDSCAPED RETENTION POND LOCATED WITHIN THE 100 FT BOSQUE BUFFER AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

IV. EXISTING CONDITIONS:

THE SITE IS DEVELOPED WITH TWO SINGLE FAMILY RESIDENCES, ONE ON EACH LOT. THE RESIDENCES HAVE RELATED LANDSCAPING AND APPURTENANCES. THE LOTS TAKE ACCESS FROM WINTER HAVEN ROAD NW, A 48 FT FACE-FACE PAVED PUBLIC STREET WITH CURB AND GUTTER. THERE ARE RESIDENTIAL SUBDIVISIONS TO THE NORTH AND SOUTH. THE RIO GRANDE BOSQUE AND THE MRGCD LOWER CORRALES RIVERSIDE DRAIN LIE TO THE EAST.

V. DEVELOPED CONDITIONS

IN ADDITION TO THE TWO EXISTING HOMES TO REMAIN, 8 NEW RESIDENTIAL SINGLE FAMILY LOTS ARE PROPOSED WITH A PRIVATE INTERNAL STREET AND A COMMON AREA LANDSCAPING AND RETENTION POND AREA WITHIN THE BUFFER ZONE. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN A WILL DRAIN TO THE EAST TO WINTER HAVEN ROAD NW. BASIN B IS THE LARGEST BASIN AND IT WILL DRAIN TO THE ON-SITE RETENTION POND. BASIN C IS THE EXISTING HOMES WHICH WILL CONTINUE TO DRAIN TO THE MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE PRIVATE STREET AND POND TRACT WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

VI. CONCEPTUAL GRADING PLAN

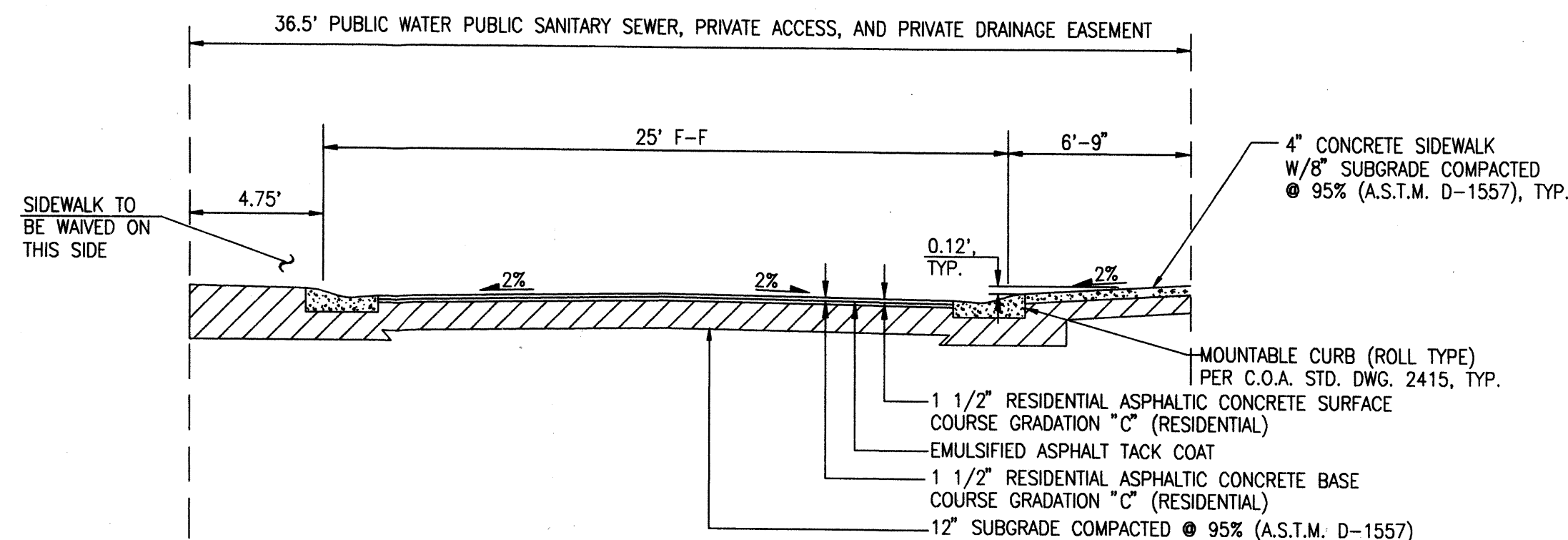
THE GRADING PLAN ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM AN APRIL, 2005 TOPOGRAPHIC SURVEY BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS IN THIS AREA.
- 2) DEVELOPED RUNOFF FROM A PORTION OF THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS IN WINTER HAVEN. THE REMAINING RUNOFF WILL BE RETAINED IN A PRIVATE RETENTION POND TO BE OWNED OPERATED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES ANTICIPATED AT THIS TIME.
- 4) THE PROPOSED RETENTION POND WILL REQUIRE A DRAINAGE EASEMENT AND AN AGREEMENT AND COVENANT.
- 5) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR PRELIMINARY PLAT APPROVAL. THIS SUBMITTAL WILL NEED TO DEMONSTRATE STREET AND PONDING CAPACITIES



TYPICAL PRIVATE STREET SECTION

SCALE: 1" = 5'

CALCULATIONS

- I. PRECIPITATION ZONE = 1
- II. $P_{6,100} = P_{360} = 2.20$
- III. TOTAL AREA (A_T) = 3.1716 AC
- IV. EXISTING LAND TREATMENT

TREATMENT	AREA (AC)	%
B	2.6960	85
C	0.3171	10
D	0.1585	05
- V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	1.1100	35
C	0.7929	25
D	1.2687	40
- VI. EXISTING CONDITION
 - A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(2.6960) + 0.99(0.3171) + 1.97(0.1585)] / 3.1716 = 0.76 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.76 / 12) 3.1716 = 0.2001 \text{ ac-ft} = 8716 \text{ CF}$$

$$V_{10} = V_{100} + A_D [(P_{10} - P_{100}) / 12] = 0.2001 + 0.1585 [(3.67 - 2.20) / 12] = 0.2195 \text{ ac-ft} = 9561 \text{ CF}$$
 - B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(2.6960) + 2.87(0.1371) + 4.37(0.1585) = 6.6 \text{ cfs}$$
- VII. DEVELOPED CONDITION
 - A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(1.1100) + 0.99(0.7929) + 1.97(1.2687)] / 3.1716 = 1.27 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.27 / 12) 3.1716 = 0.3356 \text{ ac-ft} = 14619 \text{ CF}$$

$$V_{10} = V_{100} + A_D [(P_{10} - P_{100}) / 12] = 0.3356 + 1.2687 [(3.67 - 2.20) / 12] = 0.4910 \text{ ac-ft} = 21388 \text{ CF}$$
 - B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(1.1100) + 2.87(0.7929) + 4.37(1.2687) = 10.1 \text{ cfs}$$
- VIII. COMPARISON
 - A. VOLUME

$$\Delta V_{100} = 14619 - 8716 = 5903 \text{ CF (INCREASE)}$$

$$\Delta V_{10} = 21388 - 9561 = 11827 \text{ CF (INCREASE)}$$
 - B. PEAK DISCHARGE

$$\Delta Q_{100} = 10.1 - 6.6 = 3.5 \text{ cfs (INCREASE)}$$

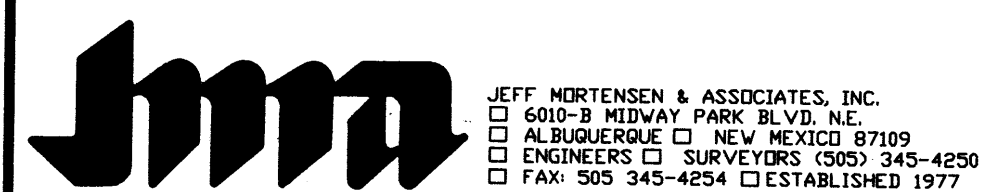
EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (NO.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

POND VOLUME CALCULATIONS

LOTS 1, 7 AND 8 WILL DRAIN TO WINTER HAVEN. EXISTING HOMES (LOTS 3 & 4) WILL NOT BE DISTURBED AND WILL CONTINUE TO DRAIN TO BOSQUE.
 REMAINING SITE AREA IS 1.52 ac (BASIN B)
 $1.52 \text{ ac} / 3.17 \text{ ac} = 0.48\% \text{ OF SITE}$
 $Q_{100} (\text{POND}) = (0.48)(Q_{100}) = (10.1) = 4.8 \text{ cfs}$
 $V_{10 \text{ DAY}} (\text{POND}) = (0.48)(V_{10 \text{ DAYS}}) = (0.48)(21,388) = 10,270 \text{ cf}$

File Path: E:\M\WORK\DRAMA\Plot Date: 04-29-2005
 File Name: 50D96DT.DWG Plot Time: 3:48 pm



DRAINAGE PLAN, CALCULATIONS, SECTIONS AND DETAILS
 PLAZA ESCONDIDO

DESIGNED BY	NO.	DATE	BY	REVISIONS		JOB NO.
				DESCRIPTION	DATE	
G.M.						2005.008.6
R.R.W.						DATE 05-2005
G.M.						SHEET 3 OF 4



Design Standards

For:
Plaza Escondido
Riverside Plaza Lots 4 & 5

The following design standards are for eight custom-designed single family residences in addition to the two existing residences grandfathered on the site for a total of ten to be built in Riverside Plaza Subdivision. Tract 4 & 5 are located to the east of the Riverside Plaza commercial development on Winter Haven Road NW. Plaza Escondido subdivision is envisioned to offer potential residents the unique opportunity to live and recreate in a natural setting adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision of high quality and in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Plaza Escondido shall encourage contemporary architectural design creatively in harmony with its natural setting adjacent to the Rio Grande Bosque. As a unique high-quality development, builders and designers shall use architectural details and materials consistent with this goal. To promote a natural and unique look to this subdivision, no particular architectural style shall be prescribed. Architectural styles approved, but not limited to, shall include Territorial, Pueblo, Pueblo Revival, Contemporary Pueblo, Northern New Mexican, Spanish Colonial, Regional and Contemporary Modern and Victorian. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have a garage of not less than two car spaces and sufficient parking for an additional two vehicles on the site, so a minimum of four parking spaces are provided. Independent garage structures are permissible on each lot.

C. Setbacks

1. Front Yard setback - 20 feet
2. Side Yard setback - 5 feet
3. Rear Yard Setback - 15 feet

D. Building Materials

Building materials for homes in Plaza Escondido shall be consistent with the architectural character and style of each homes design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, wood, stone, adobe, concrete masonry unit, glass, glass block, natural tile, ceramic tile, copper and galvanized metal.

E. Building Height and Density

The maximum allowed height is 26 feet or as permitted by the City of Albuquerque Zoning Code.

F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the property line of the residences). Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof mounted equipment shall be screened with materials architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All electrical distribution lines shall be placed underground.
4. Transformers, utility pads, and telephone risers shall be appropriately screened with walls and/or vegetation when viewed from the Private Street Easement.

G. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, Coors Corridor Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

1. Street trees shall be provided along Winter Haven at the rate of one tree per 50 lineal feet. They may be random or consistently placed.
2. Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
3. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Street Easement.
4. Minimum sizes of required plants at time of installation shall be as follows:
- Trees 2 1/2" cal.
- Shrubs and Groundcover 1-5 Gal.
5. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
6. Streetscape is to be covered in landscaping since all lots are bordering a street and sizes and types are already specified within these specifications.
7. Interior Landscape Each individual lot will be landscaped using the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
8. Buffer Zone Open Space Area 2-1/2 cal Rio Grande Cottonwood groves shall be placed in this area, (a minimum of 6 total trees) with groupings of Fourwing Saltbush and Deergress (a combined minimum of 25). The above plantings shall be on an automatic trickle irrigation system. The trees will not be located within the public sanitary sewer easements. The balance of the area shall be crimped straw/native seed with wildflower mix. The space is also designated to have a community type gazebo or small outbuilding for the benefit of all residents within the subdivision to promote community activities within the subdivision.

H. Bosque Open Space

This subdivision promotes the goals of the Coors Corridor Plan in providing a 100-foot buffer zone from the Rio Grande State Park, with the exception of the two grandfathered non-compliant sites within the subdivision that have occupied their respective sites for several years prior to the enactment of the Coors Corridor Plan. Therefore, the middle easterly lot has been designated Open Space and is intended for the enjoyment of all residents of the subdivision while preserving the natural habitat of the Bosque and providing access to the Rio Grande State Park.

1. Recreational and agricultural uses and improvements shall be permitted within this lot and be accessible to all residents of the subdivision.
 2. Apparatus for viewing for birds and wildlife shall be permitted within the Bosque Open Space. A gazebo or other such outbuilding shall be permitted within the Bosque Open Space to allow community type activities within the Open Space Area.
 3. Walls at each adjacent property line within the Open Space Area shall be permitted.
- I. Pedestrian Circulation**
1. A five (5) foot sidewalk shall be installed by the developer along Winter Haven Road NW per City Standards to blend in at each end with the connecting sidewalks already in place.
 2. Sidewalk to be installed along internal Private Street on the north and west sides only.

J. Wall/ Fences

In order to mitigate the impact of the commercial/office activity developing at Riverside Plaza to the west, a perimeter wall shall be installed along Winter Haven Road NW.

1. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
2. The perimeter western subdivision wall shall be decorative concrete masonry unit (CMU) or CMU with stucco finish with occasional accent openings and shall be an average height of 6 feet with a maximum height of 8 feet at the northern end. Wall shall be installed and paid for by the Developer.
3. An automobile entry at the private street located along Winter Haven Road NW with ingress and egress automatic gates shall be installed and paid for by the Developer.
4. No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.

K. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures shall conform to State and local safety and illumination requirements.
2. The mounting height of luminaries for site lighting at the main automobile entry shall be no higher than twelve feet.
3. Site and residential lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
4. Due to the small number of residences in this subdivision and in keeping with its natural setting, no internal streetlights are proposed.

L. Signs

Entry signage shall be incorporated into or near the perimeter wall at the automobile entry along Winter Haven Road NW, which shall be consistent with the materials and architectural character of the subdivision.

M. Solid Waste

1. Each lot/home shall have a storage area for residential automated carts, not visible from the private street access.
2. Pick up locations will be determined as the need arises.

N. Review for Compliance

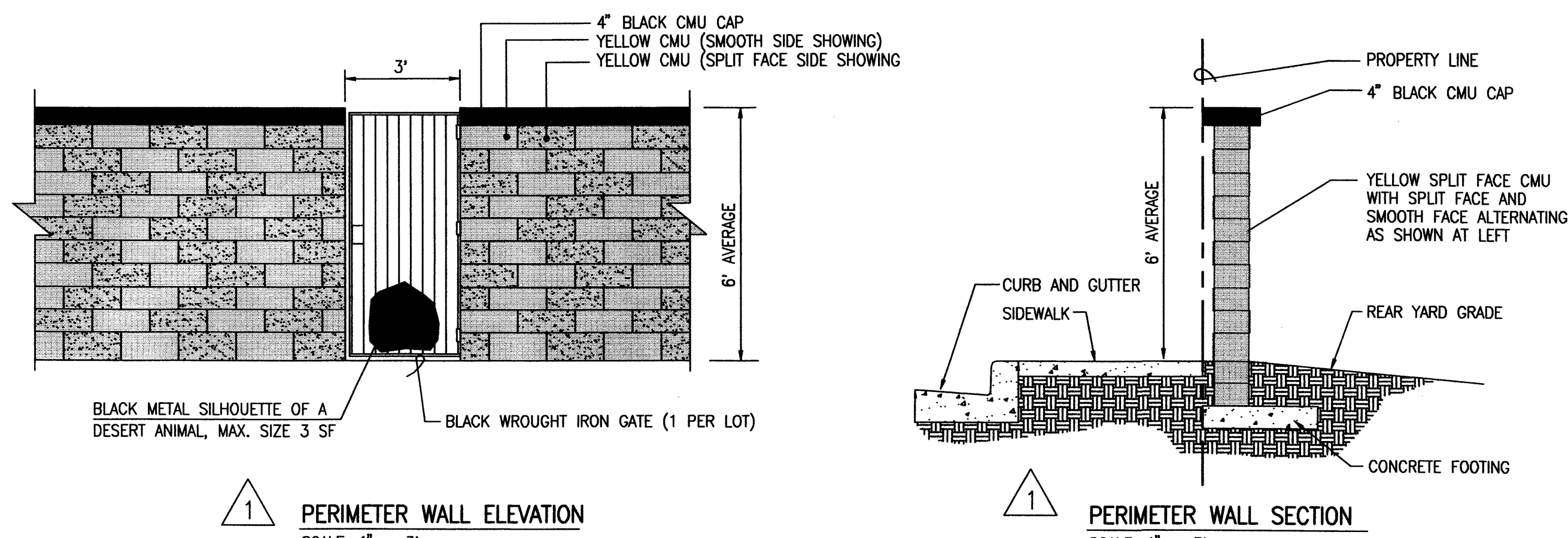
The developer shall review the compliance of any structure or improvement within the subdivision.

O. Vacant Lots/ Destruction

1. There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
2. The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

P. Restricted Activities

1. The use of any trailer, motor home, boat, shack or tent as a residence either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of the house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, short wave, television or other), either temporarily or permanently, is prohibited without the prior approval of the Developer.
3. The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer and must be of similar architectural character as the house.
4. The storage of boats, motor homes or trailers is not permitted on the cul-de-sac.

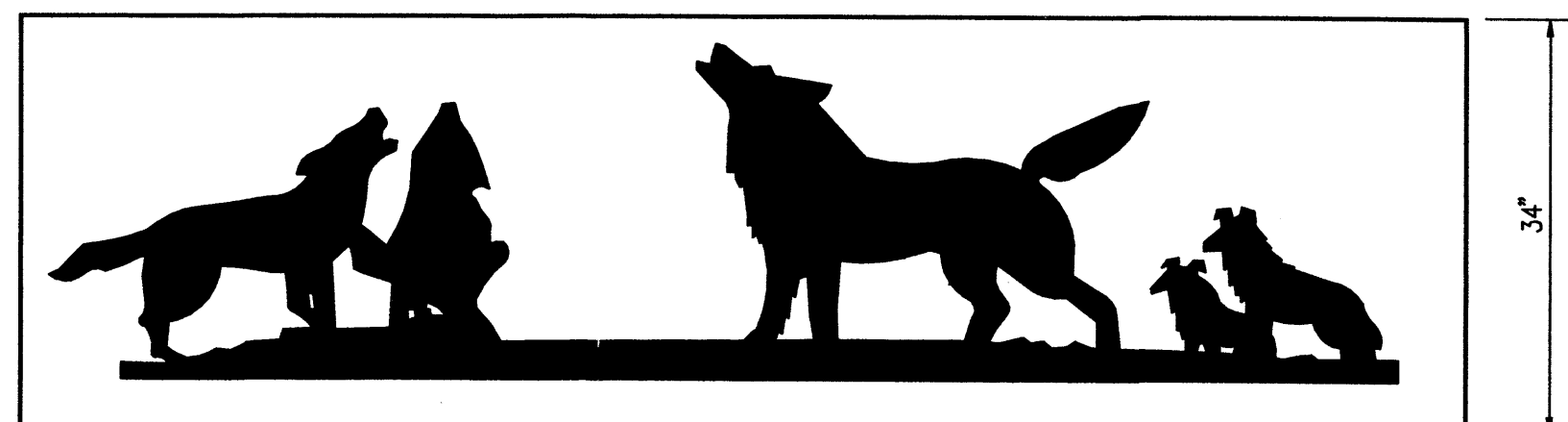


1 PERIMETER WALL ELEVATION
SCALE: 1" = 3'

1 PERIMETER WALL SECTION
SCALE: 1" = 3'

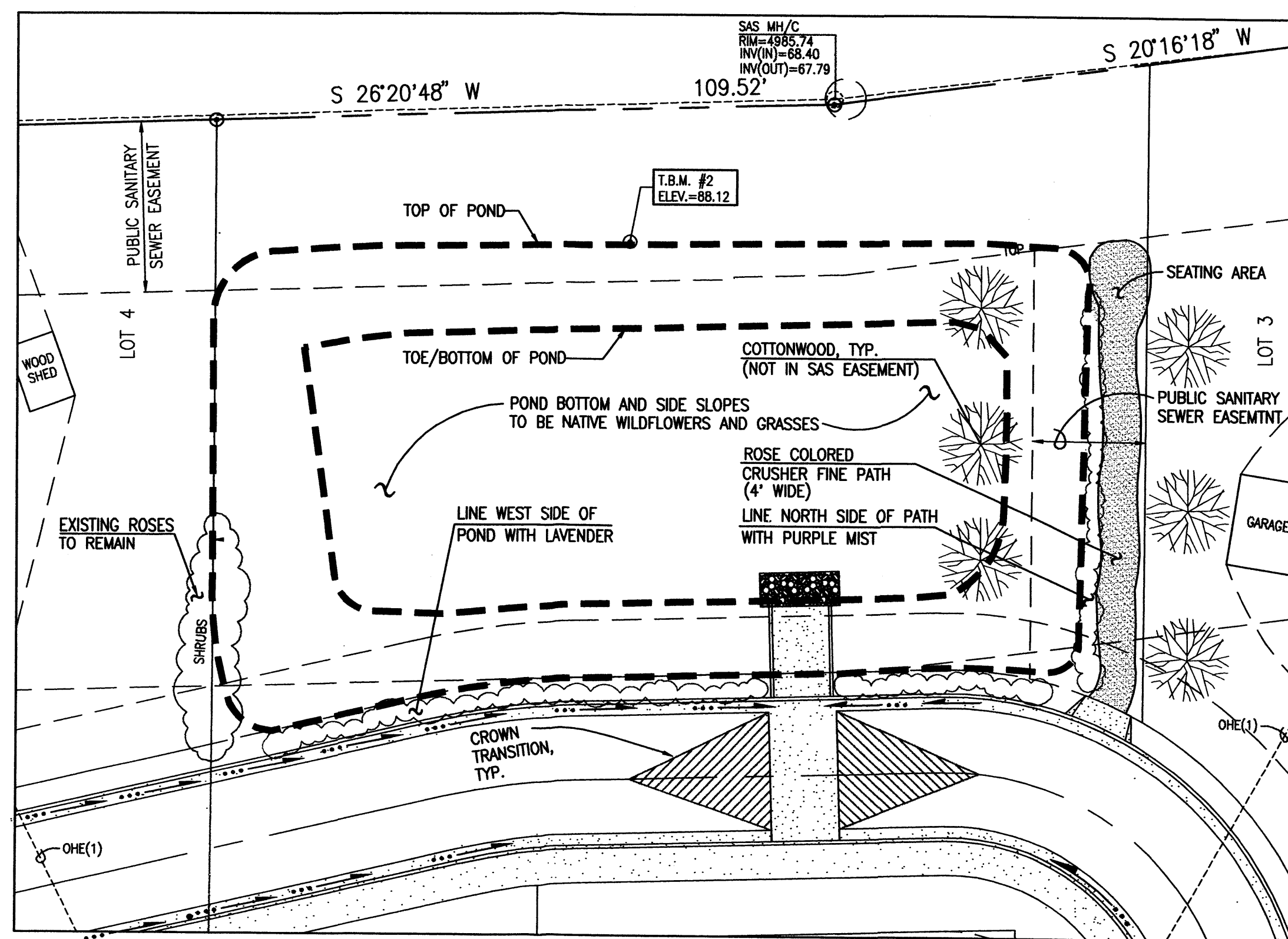
ALL CMU BLOCKS TO BE YELLOW SPLIT FACE FROM UTILITY BLOCK COMPANY WITH ALTERNATING FACES FRONT AND BACK

Plaza Escondido
12" TALL LETTERS



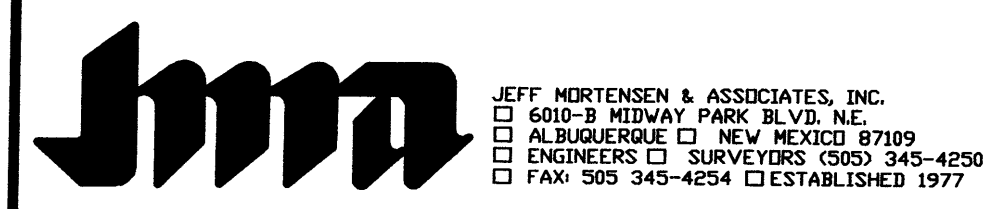
1 ENTRY SIGN DETAIL
(N.T.S.)

SIGN TO BE BLACK METAL LETTERING AND COYOTE SILHOUETTE MOUNTED ON WALL WITH HIDDEN SPACER BRACKETS TO RAISE METAL 1 1/2" FROM WALL FACE.



1 BUFFER LANDSCAPING CONCEPT
SCALE: 1" = 20'

Plot Date: 12-06-2005
Plot Time: 13:59 pm
File Path: E:\JMA\2005\081
File Name: 50083DC.DWG



**SUBDIVISION DESIGN STANDARDS
PLAZA ESCONDIDO**

DESIGNED BY	OWNER	NO.	DATE	BY	REVISIONS	JOB NO.	2005.008.3
DRAWN BY	R.R.W.	1	11/05	G.M.	ADDRESS EPC CONDITIONS	DATE	05-2005
APPROVED BY	OWNER	2	12/05	G.M.	DELETE GATED ENTRY	SHEET	4 OF 4