

KEYED NOTES

EXISTING EASEMENTS

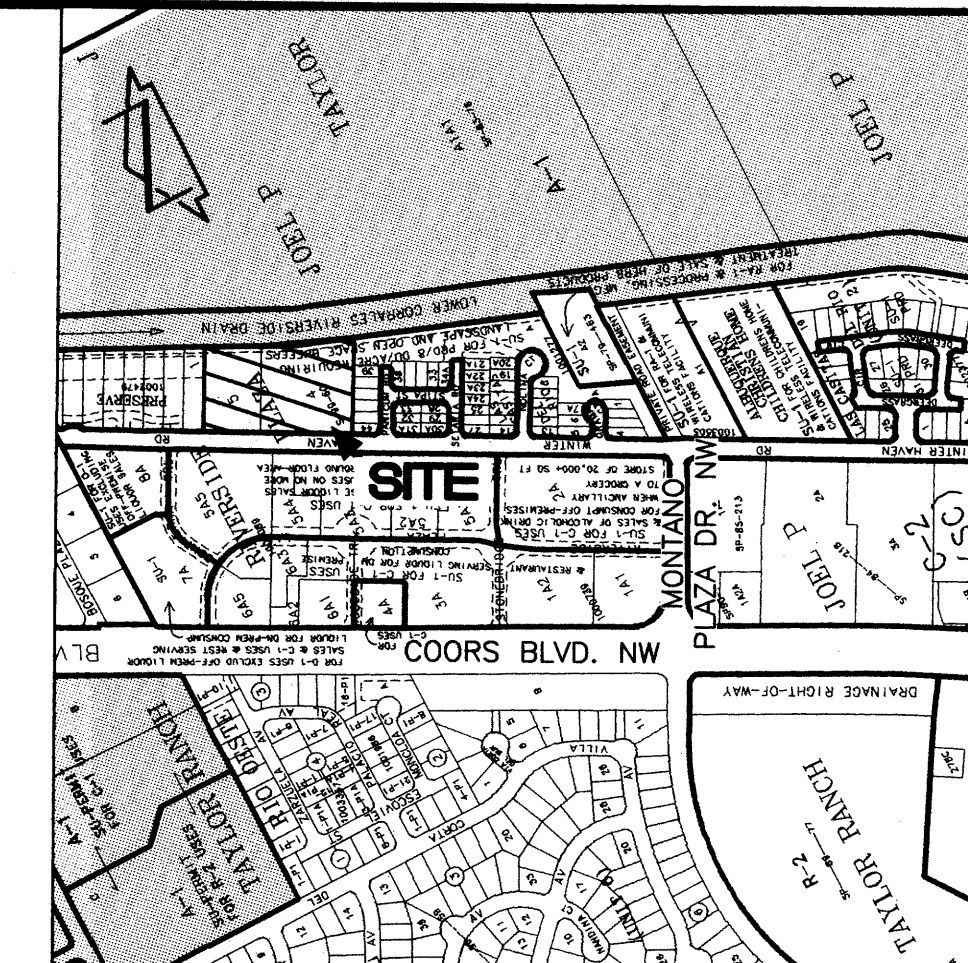
- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435 - TO BE VACATED BY FORTHCOMING ACTION.
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER AS PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑤ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑥ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

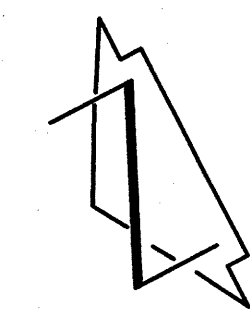
- ⑤ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑥ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑦ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED ON TRACT B BY FORTHCOMING ACTION.
- ⑮ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON TRACT A BY FORTHCOMING ACTION.



VICINITY MAP
SCALE: 1" = 750'



SCALE: 1" = 20'

LEGAL DESCRIPTION

LOTS 4 & 5, RIVERSIDE PLAZA,
FILED 5/18/1999, BOOK 99C, PAGE 121.

EXISTING ZONING

SU-1 FOR PRD/B DU/ACRE
REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS.

DENSITY

2.85 du/ac (GROSS)
4.21 du/ac (NET, EXCLUDING TRACTS A & B)

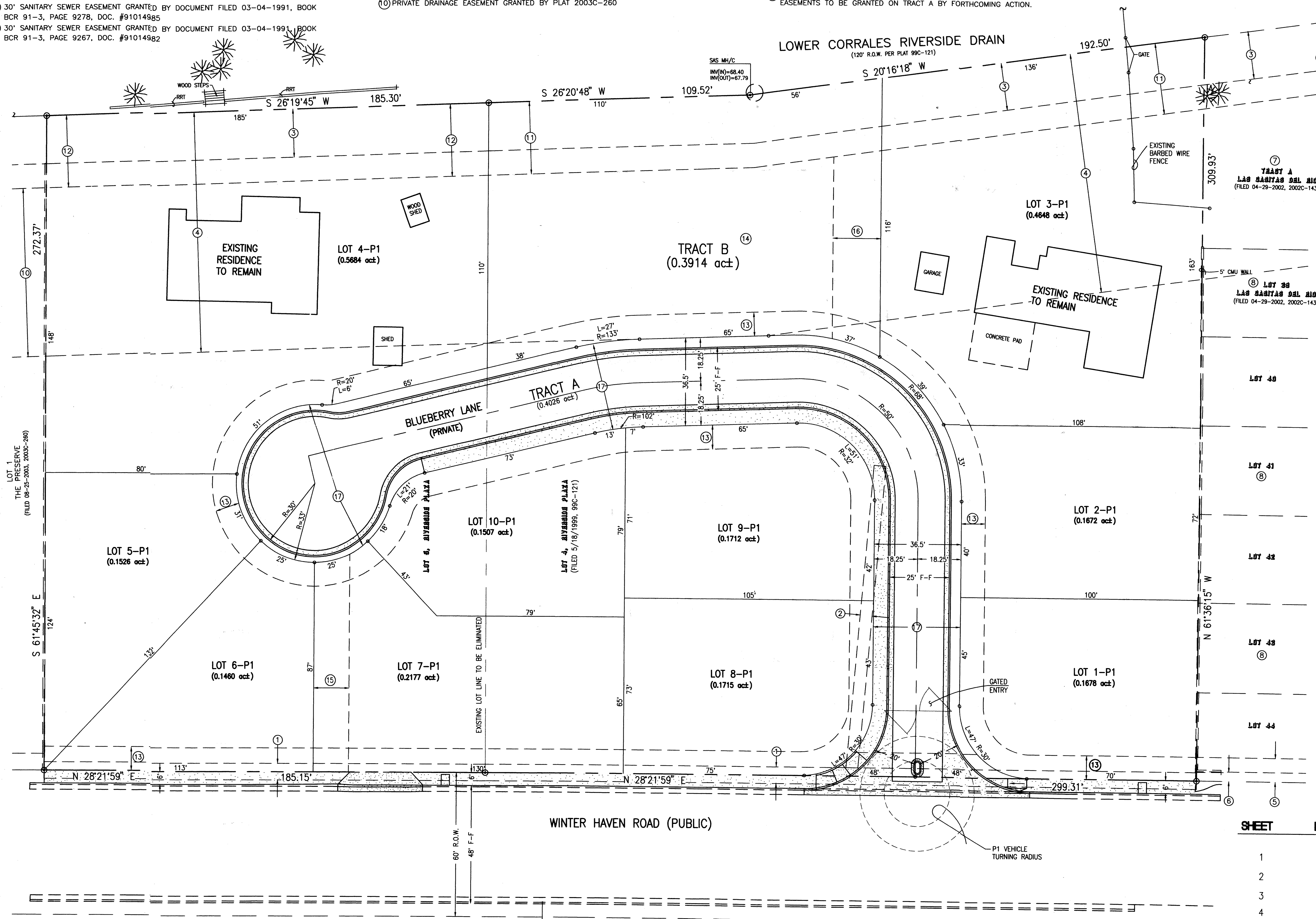
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.

PROJECT NUMBER: _____
Application Number _____
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notifications of Decision are satisfied.
Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	_____	Date
Utility Development	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department (conditional)	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

INDEX OF DRAWINGS

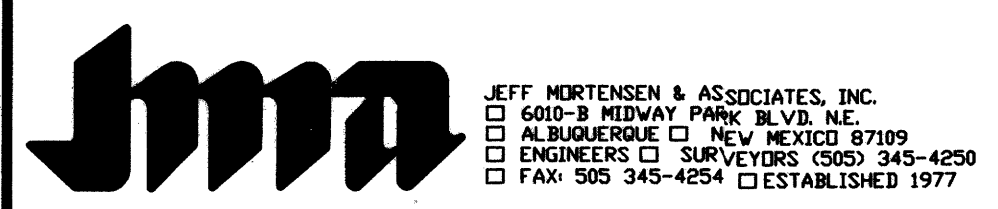
SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
2	CONCEPTUAL GRADING AND UTILITY PLAN
3	CALCULATIONS, DRAINAGE PLAN, SECTIONS AND DETAILS
4	SUBDIVISION DESIGN STANDARDS (BY OWNER)



SITE PLAN FOR SUBDIVISION
PLAZA ESCONDIDO

DESIGNED BY	G.M.	DATE	BY	REVISIONS	JOB NO.	2005.008.2
DRAWN BY	S.G.H./G.M.				DATE	05-2005
APPROVED BY	G.M.				SHEET	1 OF 4

File Path: E:\JMA\WORK\2005\05-02-2005 Plot Date: 05-02-2005 Plot Time: 07:32 am
File Name: 50082SPR.DWG



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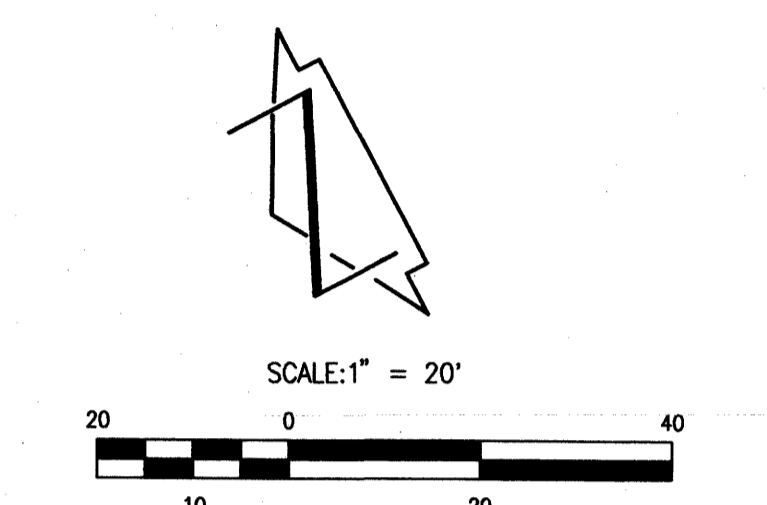
PROJECT BENCHMARK

A STANDARD US&GS BRASS TABLET, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COORS RD. APPROXIMATELY 6.1 MILES NORTH OF THE INTERSECTION OF COORS AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)

T.B.M.

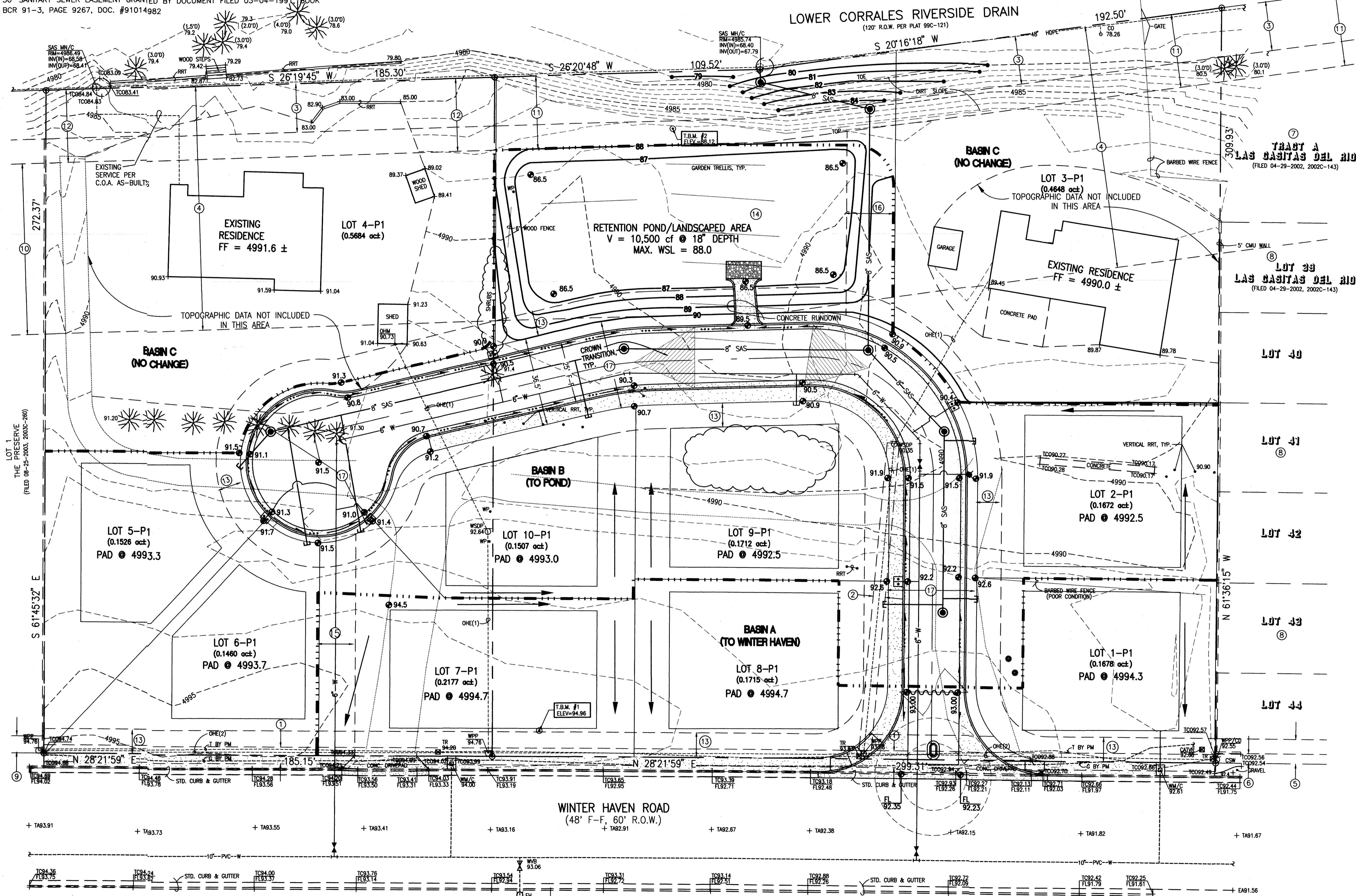
T.B.M. #1: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 240' SOUTH OF THE PL AND 16' (EAST) OF THE BACK OF THE CURB. ELEVATION = 4994.96 FEET
 T.B.M. #2: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 258' SOUTH OF THE PL AND 264' (EAST) OF THE EAST BACK OF CURB. ELEVATION = 4988.10 FEET

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



LEGEND

- BWF BARBED WIRE FENCE
- CATVR CABLE TELEVISION RISER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CSW CONCRETE SIDEWALK
- EA EDGE OF ASPHALT
- FL FLOWLINE
- G BY PM GAS LINE BY PAINT MARK
- HOPE HIGH DENSITY POLYETHYLENE PIPE
- INV INVERT
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- OHM OVERHEAD ELECTRIC MAST
- PVC POLYVINYL CHLORIDE PIPE
- RRT RAILROAD TIE
- SAS MH SANITARY SEWER MANHOLE IN CONCRETE
- SAS MH/C STANDARD
- STD TELEPHONE LINE BY PAINT MARK
- T BY PM TOP OF ASPHALT
- TA TOP OF CONCRETE
- TCO TOP OF CURB
- TR TELEPHONE RISER
- TYP TYPICAL
- W WATER LINE
- WM/C WATER METER IN CONCRETE
- WP WOOD POST
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WSDP WOOD SERVICE DROP POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (CALIPER SIZE)
- EXISTING YUCCA
- SHRUB/TREE LINE
- PROPOSED SPOT ELEVATION
- FLOW LINE
- DIRECTION OF FLOW
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE



Plot Date: 05-02-2005
 Plot Time: 08:28 am
 File Path: J:\MOUNTAIN\2005\050086\DWG
 File Name: 50086G.DWG

JEFF MORTENSEN & ASSOCIATES, INC.
 6800-B HIGHLAND PARK BLVD, NE
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (505) 345-4250
 FAX: (505) 345-4254 • ESTABLISHED 1977

CONCEPTUAL GRADING AND UTILITY PLAN
 PLAZA ESCONDIDO

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	05-2005	S.G.H./G.M.		2005.008.6
APPROVED BY				DATE
				05-2005
				SHEET
				2 OF 4

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN ALBUQUERQUE'S NORTH COORS CORRIDOR WITHIN THE RIVERSIDE PLAZA SUBDIVISION AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH EPC AND DRB. THE SITE CURRENTLY CONSISTS OF TWO EXISTING HOMES ON TWO ADJACENT LOTS. 8 ADDITIONAL RESIDENTIAL HOME SITES ARE PROPOSED ALONG WITH A NEW PRIVATE GATED STREET AND A COMMON AREA TRACT LOCATED WITHIN A 100 FT BUFFER ZONE ALONG THE EASTERN BOUNDARY OF THE SITE. A PORTION OF THE REDEVELOPED SITE WILL DISCHARGE FREELY TO AN EXISTING DOWNSTREAM PUBLIC STORM DRAIN WITHIN WINTER HAVEN ROAD NW. THE TWO EXISTING HOMES WILL CONTINUE TO DRAIN TO MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE REMAINDER OF THE SITE, CURRENTLY DRAINING TO MRGCD RIGHT-OF-WAY, WILL NOW DRAIN TO A PROPOSED ONSITE RETENTION POND. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS CONCEPTUAL DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-12 ON SHEET 2, THE SITE IS LOCATED IN THE RIVERSIDE PLAZA SUBDIVISION ON THE EAST SIDE OF WINTER HAVEN ROAD NW. THE SITES TO THE NORTH AND SOUTH ARE DEVELOPED RESIDENTIALLY. TO THE EAST OF THE SITE IS MRGCD RIGHT OF WAY AND THE RIO GRANDE BOSQUE. THE EXISTING LEGAL DESCRIPTION IS LOTS 4 AND 5, RIVERSIDE PLAZA. THE SITE IS ZONED SU-1/PRD. THE PROPOSED DEVELOPMENT WILL REQUIRE A ZONE MAP AMENDMENT. THE PROPOSED ZONING SU-1/PRD 80U/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS. AS SHOWN BY PANEL 116 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. GRADING AND DRAINAGE PLANS FOR BOSQUE MONTANO BY TIERRA WEST DATED 9/14/2000 (FILE E12/D12), LAS CASITAS DEL RIO, UNITS 1 AND 2 BY ISAACSON & ARFMAN DATED 12/18/2001 AND 6/02/2003 (FILES E12/D17 AND E12/D17A), AND THE PRESERVE SUBDIVISION BY ISAACSON & ARFMAN DATED 06/02/03 (FILE E12/D21). THESE FOUR RECENT SUBDIVISIONS, LOCATED ON THE SAME WEST SIDE OF WINTER HAVEN RD NW NORTH AND SOUTH OF THE SUBJECT SITE, ARE SIMILARLY IMPACTED BY THE 100 FOOT BOSQUE BUFFER AND ESTABLISHED THE DRAINAGE CONCEPT FOR THE AREA WHEREBY FLOWS THAT CAN BE DIRECTED TO WINTER HAVEN, SHOULD BE, AND THE BALANCE IS RETAINED WITHIN LANDSCAPED RETENTION PONDS WITHIN THE 100 FT BUFFER.

THE PROPOSED CONSTRUCTION DRAINING TO A LANDSCAPED RETENTION POND LOCATED WITHIN THE 100 FT BOSQUE BUFFER AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

IV. EXISTING CONDITIONS:

THE SITE IS DEVELOPED WITH TWO SINGLE FAMILY RESIDENCES, ONE ON EACH LOT. THE RESIDENCES HAVE RELATED LANDSCAPING AND APPURTENANCES. THE LOTS TAKE ACCESS FROM WINTER HAVEN ROAD NW, A 48 FT FACE-FACE PAVED PUBLIC STREET WITH CURB AND GUTTER. THERE ARE RESIDENTIAL SUBDIVISIONS TO THE NORTH AND SOUTH. THE RIO GRANDE BOSQUE AND THE MRGCD LOWER CORRALES RIVERSIDE DRAIN LIE TO THE EAST.

V. DEVELOPED CONDITIONS

IN ADDITION TO THE TWO EXISTING HOMES TO REMAIN, 8 NEW RESIDENTIAL SINGLE FAMILY LOTS ARE PROPOSED WITH A PRIVATE INTERNAL STREET AND A COMMON AREA LANDSCAPING AND RETENTION POND AREA WITHIN THE BUFFER ZONE. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN A WILL DRAIN TO THE EAST TO WINTER HAVEN ROAD NW. BASIN B IS THE LARGEST BASIN AND IT WILL DRAIN TO THE ONSITE RETENTION POND. BASIN C IS THE EXISTING HOMES WHICH WILL CONTINUE TO DRAIN TO THE MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE PRIVATE STREET AND POND TRACT WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

VI. CONCEPTUAL GRADING PLAN

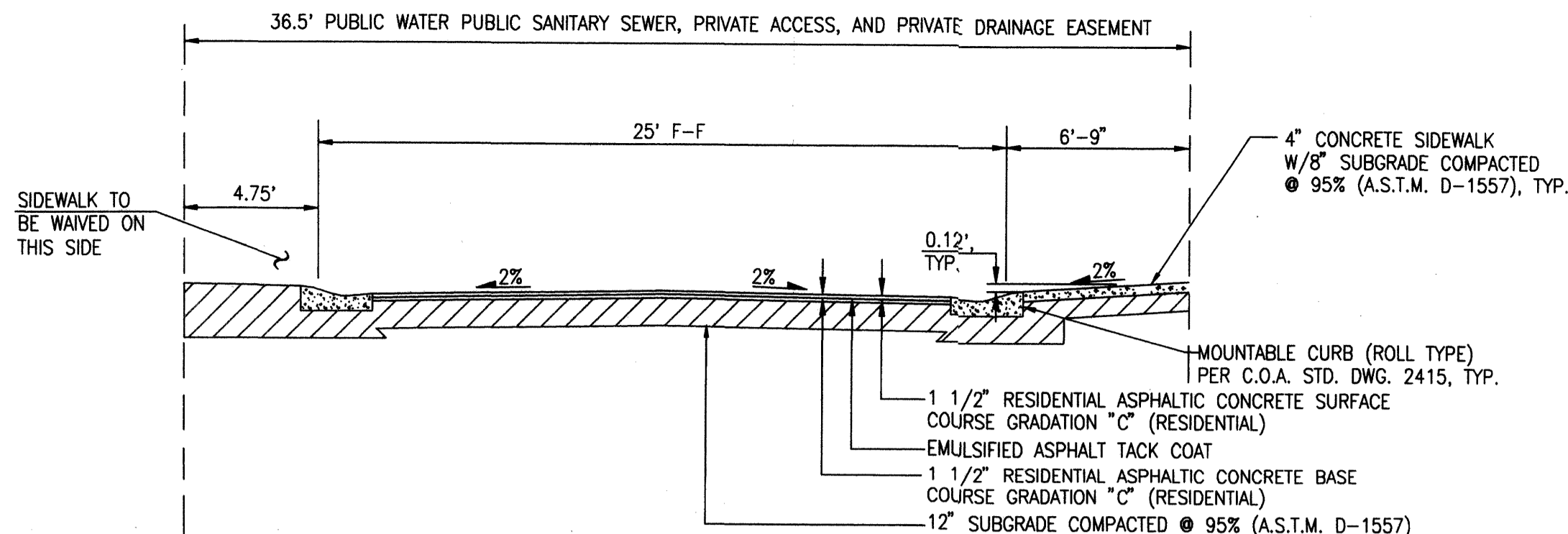
THE GRADING PLAN ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM AN APRIL, 2005 TOPOGRAPHIC SURVEY BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS IN THIS AREA
- 2) DEVELOPED RUNOFF FROM A PORTION OF THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS IN WINTER HAVEN. THE REMAINING RUNOFF WILL BE RETAINED IN A PRIVATE RETENTION POND TO BE OWNED OPERATED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES ANTICIPATED AT THIS TIME.
- 4) THE PROPOSED RETENTION POND WILL REQUIRE A DRAINAGE EASEMENT AND AN AGREEMENT AND COVENANT.
- 5) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR PRELIMINARY PLAT APPROVAL. THIS SUBMITTAL WILL NEED TO DEMONSTRATE STREET AND PONDING CAPACITIES



TYPICAL PRIVATE STREET SECTION

SCALE: 1" = 5'

CALCULATIONS

I. PRECIPITATION ZONE = 1

II. $P_{6,100} = P_{360} = 2.20$

III. TOTAL AREA (A_T) = 3.1716 AC

IV. EXISTING LAND TREATMENT

TREATMENT	AREA (AC)	%
B	2.6960	85
C	0.3171	10
D	0.1585	05

V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	1.1100	35
C	0.7929	25
D	1.2687	40

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(2.6960) + 0.99(0.3171) + 1.97(0.1585)] / 3.1716 = 0.76 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.76 / 12) 3.1716 = 0.2001 \text{ ac-ft} = 8716 \text{ CF}$$

$$V_{10} = V_{100} + A_T [(P_{10} - P_{100}) / 12] =$$

$$0.2001 + 0.1585 [(3.67 - 2.20) / 12] = 0.2195 \text{ ac-ft} = 9561 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.03(2.6960) + 2.87(0.1371) + 4.37(0.1585) = 6.6 \text{ cfs}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(1.1100) + 0.99(0.7929) + 1.97(1.2687)] / 3.1716 = 1.27 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.27 / 12) 3.1716 = 0.3356 \text{ ac-ft} = 14619 \text{ CF}$$

$$V_{10} = V_{100} + A_T [(P_{10} - P_{100}) / 12] =$$

$$0.3356 + 1.2687 [(3.67 - 2.20) / 12] = 0.4910 \text{ ac-ft} = 21388 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{PB} A_B + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.03(1.1100) + 2.87(0.7929) + 4.37(1.2687) = 10.1 \text{ cfs}$$

VIII. COMPARISON

A. VOLUME

$$\Delta V_{100} = 14619 - 8716 = 5903 \text{ CF (INCREASE)}$$

$$\Delta V_{10} = 21388 - 9561 = 11827 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

$$\Delta Q_{100} = 10.1 - 6.6 = 3.5 \text{ cfs (INCREASE)}$$

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

POND VOLUME CALCULATIONS

LOTS 1, 7 AND 8 WILL DRAIN TO WINTER HAVEN. EXISTING HOMES (LOTS 3 & 4) WILL NOT BE DISTURBED AND WILL CONTINUE TO DRAIN TO BOSQUE.

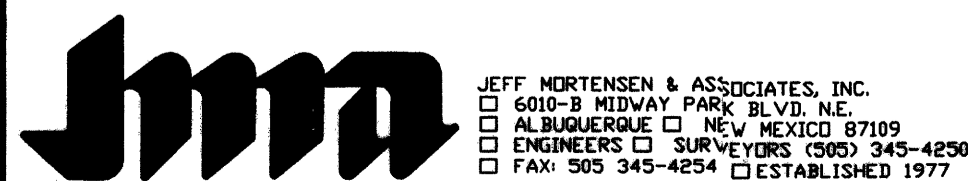
REMAINING SITE AREA IS 1.52 ac (BASIN B)

$$1.52 \text{ ac} / 3.17 \text{ ac} = 0.48\% \text{ OF SITE}$$

$$Q_{100} (\text{POND}) = (0.48)(0.100) = (0.1) = 4.8 \text{ cfs}$$

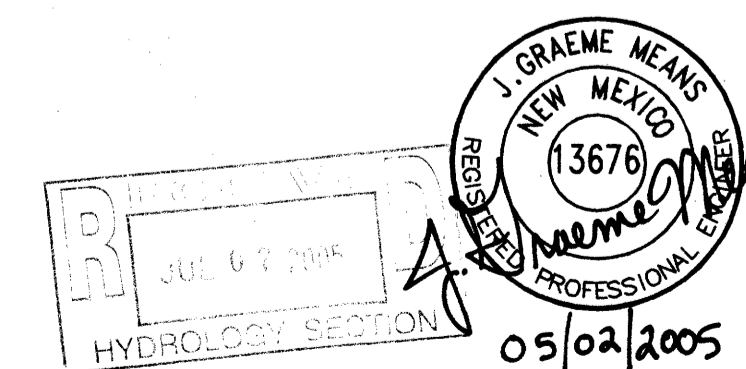
$$V_{10 \text{ DAY}} (\text{POND}) = (0.48)(V_{10 \text{ DAYS}}) = (0.48)(21,388) = 10,270 \text{ cf}$$

File Path: E:\JMA\WORK\0008A
File Name: 5008BET.DWG
Plot Date: 04-29-2005
Plot Time: 3:48 pm



DRAINAGE PLAN, CALCULATIONS, SECTIONS AND DETAILS
PLAZA ESCONDIDO

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.008.6
DRAWN BY	R.R.W.					DATE	05-2005
APPROVED BY	G.M.					SHEET	3 OF 4



Design Standards

For:

Plaza Escondido

Riverside Plaza Lots 4 & 5

The following design standards are for eight custom-designed single family residences in addition to the two existing residences grandfathered on the site for a total of ten to be built in Riverside Plaza Subdivision. Tract 4 & 5 are located to the east of the Riverside Plaza commercial development on Winter Haven Road NW. Plaza Escondido subdivision is envisioned to offer potential residents the unique opportunity to live and recreate in a natural setting adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision of high quality and in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Plaza Escondido shall encourage contemporary architectural design creatively in harmony with its natural setting adjacent to the Rio Grande Bosque. As a unique high-quality development, builders and designers shall use architectural details and materials consistent with this goal. To promote a natural and unique look to this subdivision, no particular architectural style shall be prescribed. Architectural styles approved, but not limited to, shall include Territorial, Pueblo, Pueblo Revival, Contemporary Pueblo, Northern New Mexican, Spanish Colonial, Regional and Contemporary Modern and Victorian. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have a garage of not less than two car spaces and sufficient parking for an additional two vehicles on the site, so a minimum of four parking spaces are provided. Independent garage structures are permissible on each lot.

C. Setbacks

1. Front Yard setback - 20 feet
2. Side Yard setback - 5 feet
3. Rear Yard Setback - 15 feet

D. Building Materials

Building materials for homes in Plaza Escondido shall be consistent with the architectural character and style of each homes design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, wood, stone, adobe, concrete masonry unit, glass, glass block, natural tile, ceramic tile, copper and galvanized metal.

E. Building Height and Density

The maximum allowed height is 26 feet or as permitted by the City of Albuquerque Zoning Code.

F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the property line of the residences). Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof mounted equipment shall be screened with materials architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All electrical distribution lines shall be placed underground.
4. Transformers, utility pads, and telephone risers shall be appropriately screened with walls and/or vegetation when viewed from the Private Street Easement.

G. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, Coors Corridor Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

1. Street trees shall be provided along Winter Haven at the rate of one tree per 50 lineal feet. The may be random or consistently placed.
2. Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
3. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Street Easement.
4. Minimum sizes of required plants at time of installation shall be as follows:
 - Trees 2 1/2" cal.
 - Shrubs and Groundcover 1-5 Gal.
5. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
6. Streetscape is to be covered in landscaping since all lots are bordering a street and sizes and types are already specified within these specifications.
7. Interior Landscape Each individual lot will be landscaped using the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
8. Buffer Zone Open Space Area 2-1/2 cal Rio Grande Cottonwood groves shall be placed in this area, (a minimum of 6 total trees) with groupings of Fourwing Saltbush and Deergass (a combined minimum of 25). The above plantings shall be on an automatic trickle irrigation system. The trees will not be located within the public sanitary sewer easements. The balance of the area shall be crimped straw/native seed with wildflower mix. The space is also designated to have a community type gazebo or small outbuilding for the benefit of all residents within the subdivision to promote community activities within the subdivision.

H. Bosque Open Space

This subdivision promotes the goals of the Coors Corridor Plan in providing a 100-foot buffer zone from the Rio Grande State Park, with the exception of the two grandfathered non-compliant sites within the subdivision that have occupied their respective sites for several years prior to the enactment of the Coors Corridor Plan. Therefore, the middle easterly lot has been designated Open Space and is intended for the enjoyment of all residents of the subdivision while preserving the natural habitat of the Bosque and providing access to the Rio Grande State Park.

1. Recreational and agricultural uses and improvements shall be permitted within this lot and be accessible to all residents of the subdivision.

2. Apparatus for viewing for birds and wildlife shall be permitted within the Bosque Open Space. A gazebo or other such outbuilding shall be permitted within the Bosque Open Space to allow community type activities within the Open Space Area.

3. Walls at each adjacent property line within the Open Space Area shall be permitted.

I. Pedestrian Circulation

1. A five (5) foot sidewalk shall be installed by the developer along Winter Haven Road NW per City Standards to blend in at each end with the connecting sidewalks already in place.

2. Sidewalk to be installed along internal Private Street on the north and west sides only.

J. Wall/ Fences

In order to mitigate the impact of the commercial/office activity developing at Riverside Plaza to the west, a perimeter wall shall be installed along Winter Haven Road NW.

1. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.

2. The perimeter western subdivision wall shall be decorative concrete masonry unit (CMU) or CMU with stucco finish with occasional accent openings and shall be a height of 8 feet. Wall shall be installed and paid for by the Developer.

3. An automobile entry at the private street located along Winter Haven Road NW with ingress and egress automatic gates shall be installed and paid for by the Developer.

4. No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.

K. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures shall conform to State and local safety and illumination requirements.

2. The mounting height of luminaries for site lighting at the main automobile entry shall be no higher than twelve feet.

3. Site and residential lighting shall be shielded source with no light source (lamp) visible from the site perimeter.

4. Due to the small number of residences in this subdivision and in keeping with its natural setting, no internal streetlights are proposed.

L. Signs

Entry signage shall be incorporated into or near the perimeter wall at the automobile entry along Winter Haven Road NW, which shall be consistent with the materials and architectural character of the subdivision.

M. Solid Waste

1. Each lot/home shall have a storage area for residential automated carts, not visible from the private street access.

2. Pick up locations will be determined as the need arises.

N. Review for Compliance

The developer shall review the compliance of any structure or improvement within the subdivision.

O. Vacant Lots/ Destruction

1. There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.

2. The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.

3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

P. Restricted Activities

1. The use of any trailer, motor home, boat, shack or tent as a residence either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of the house for no more than ten (10) days per year.

2. The placement of any kind of antenna (radio, short wave, television or other), either temporarily or permanently, is prohibited without the prior approval of the Developer.

3. The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer and must be of similar architectural character as the house.

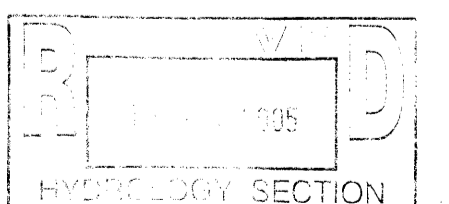
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Plot Date: 04-29-2005
Plot Time: 3:44 pm



JEFF MORTENSEN & ASSOCIATES, INC.
6810-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4200
FAX: 505 345-4654 ESTABLISHED 1977

SUBDIVISION DESIGN STANDARDS PLAZA ESCONDIDO

DESIGNED BY	OWNER	NO.	DATE	BY	REVISIONS	JOB NO.	2005.008.3
DRAWN BY	JMA					DATE	05-2005
APPROVED BY	OWNER					SHEET	4 OF 4



KEYED NOTES

EXISTING EASEMENTS

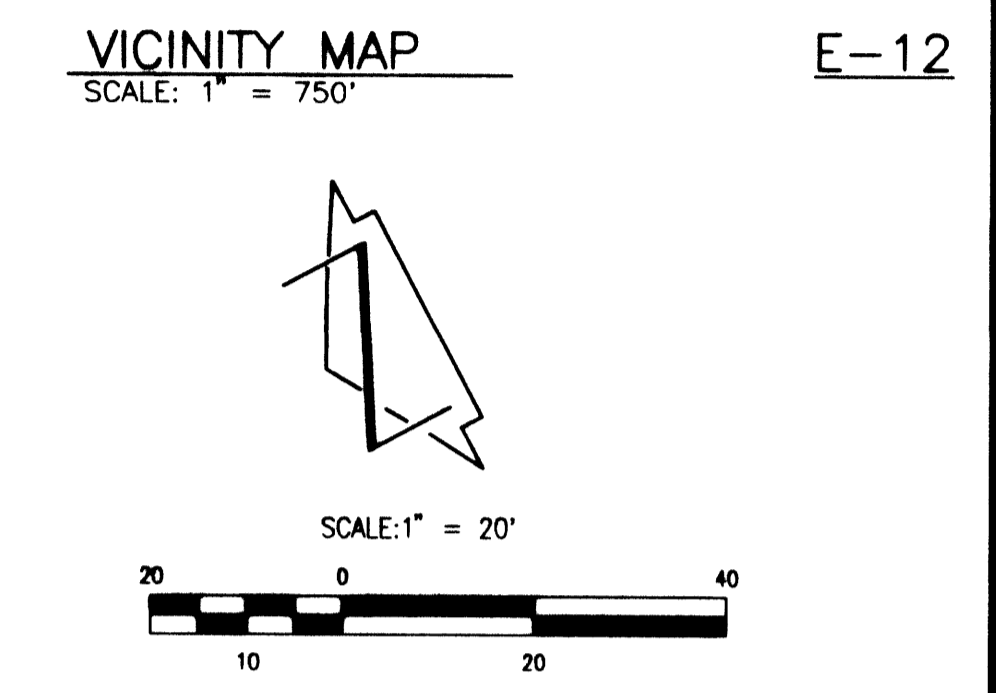
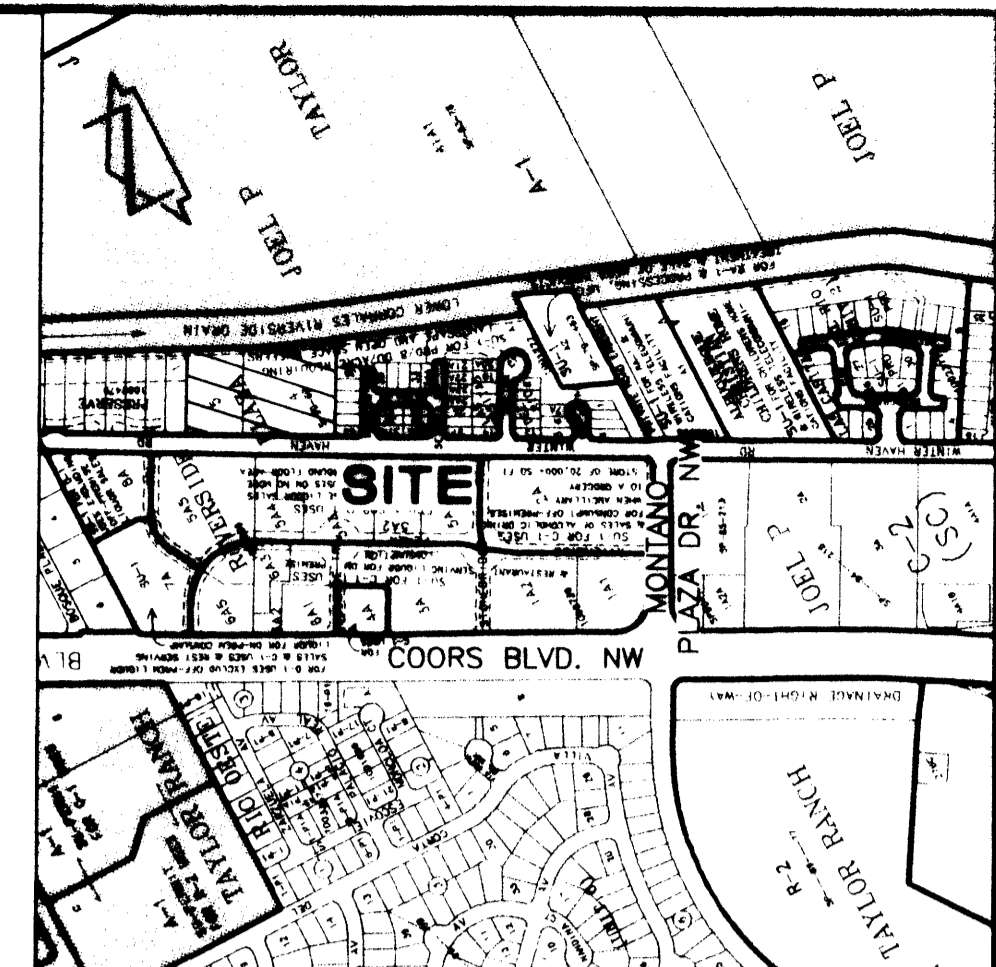
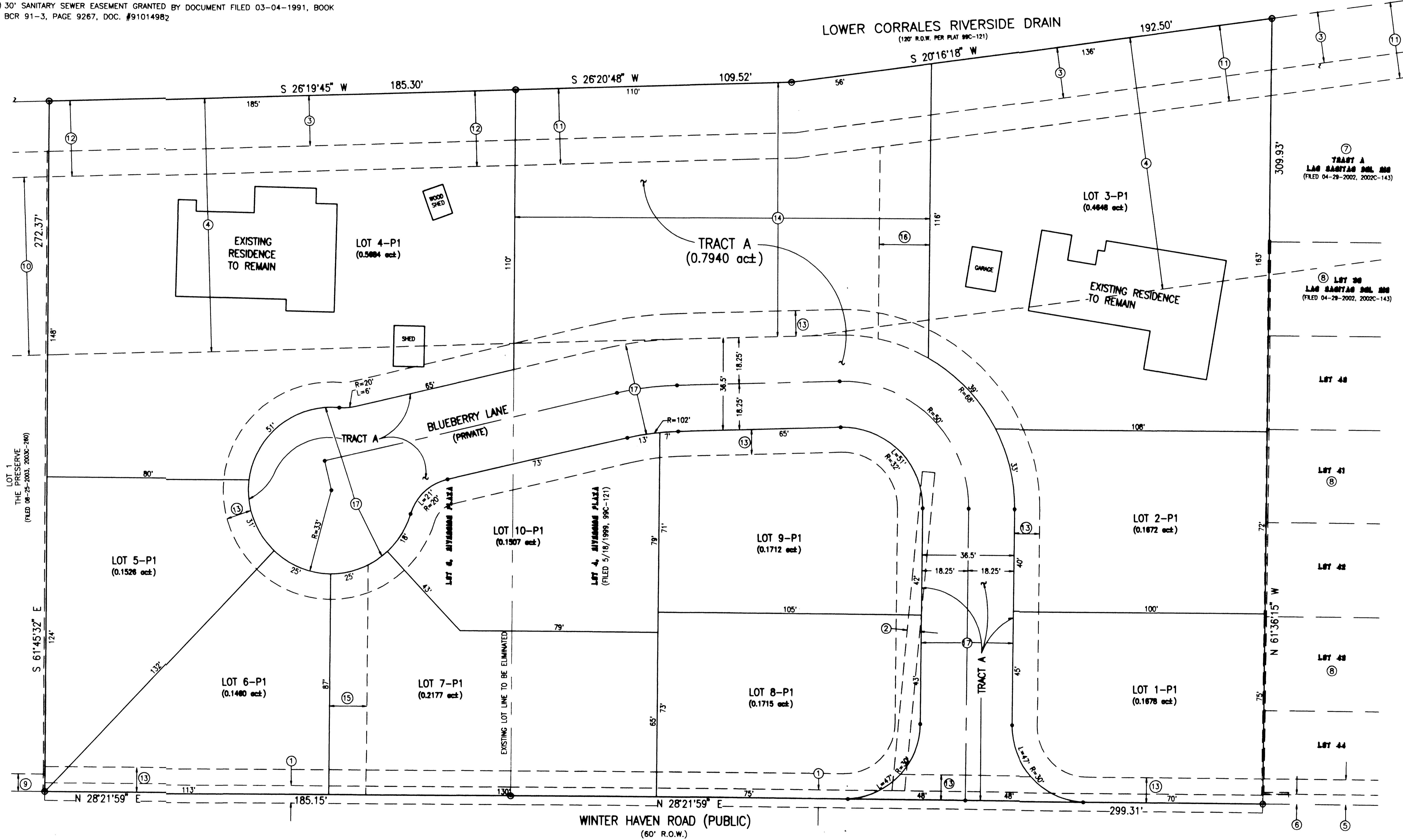
- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
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- ⑫ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

- ⑤ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑥ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑦ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ⑮ 15' PUBLIC ALBUQUERQUE BERNILLO COUNTY WATER UTILITY AUTHORITY WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ⑯ 20' PUBLIC ALBUQUERQUE BERNILLO COUNTY WATER UTILITY AUTHORITY SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC ALBUQUERQUE BERNILLO COUNTY WATER UTILITY AUTHORITY SANITARY SEWER EASEMENTS TO BE GRANTED BY FORTHCOMING PLATTING ACTION.



THE PURPOSE OF THIS SKETCH PLAT IS TO DEMONSTRATE THE CREATION OF LOTS 1-P1 THROUGH 10-P1 AND TRACT A, PLAZA ESCONDIDO, AND THE GRANTING OF EASEMENTS AS SHOWN.

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 Plot Time: 09:29 am

Jma
 JEFF HORTENSEN & ASSOCIATES, INC.
 4015-B HERMAN PARK BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (505) 243-4250
 FAX: 505 345-4254 ESTABLISHED 1977

SKETCH PLAT
 PLAZA ESCONDIDO

DESIGNED BY	G.H.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.008.4
DRAWN BY	S.G.H./G.H.					DATE	06-2005
APPROVED BY	C.G.C.					SHEET	1 OF 1

KEYED NOTES

EXISTING EASEMENTS

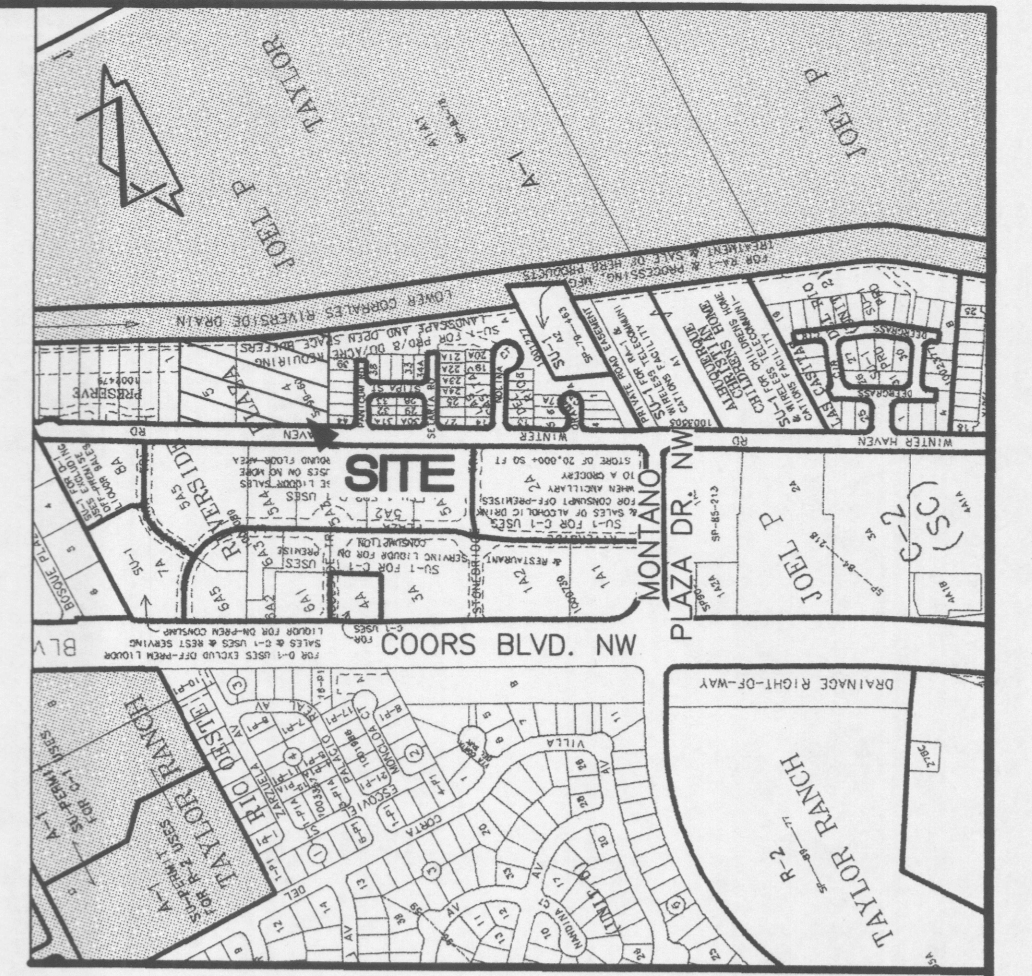
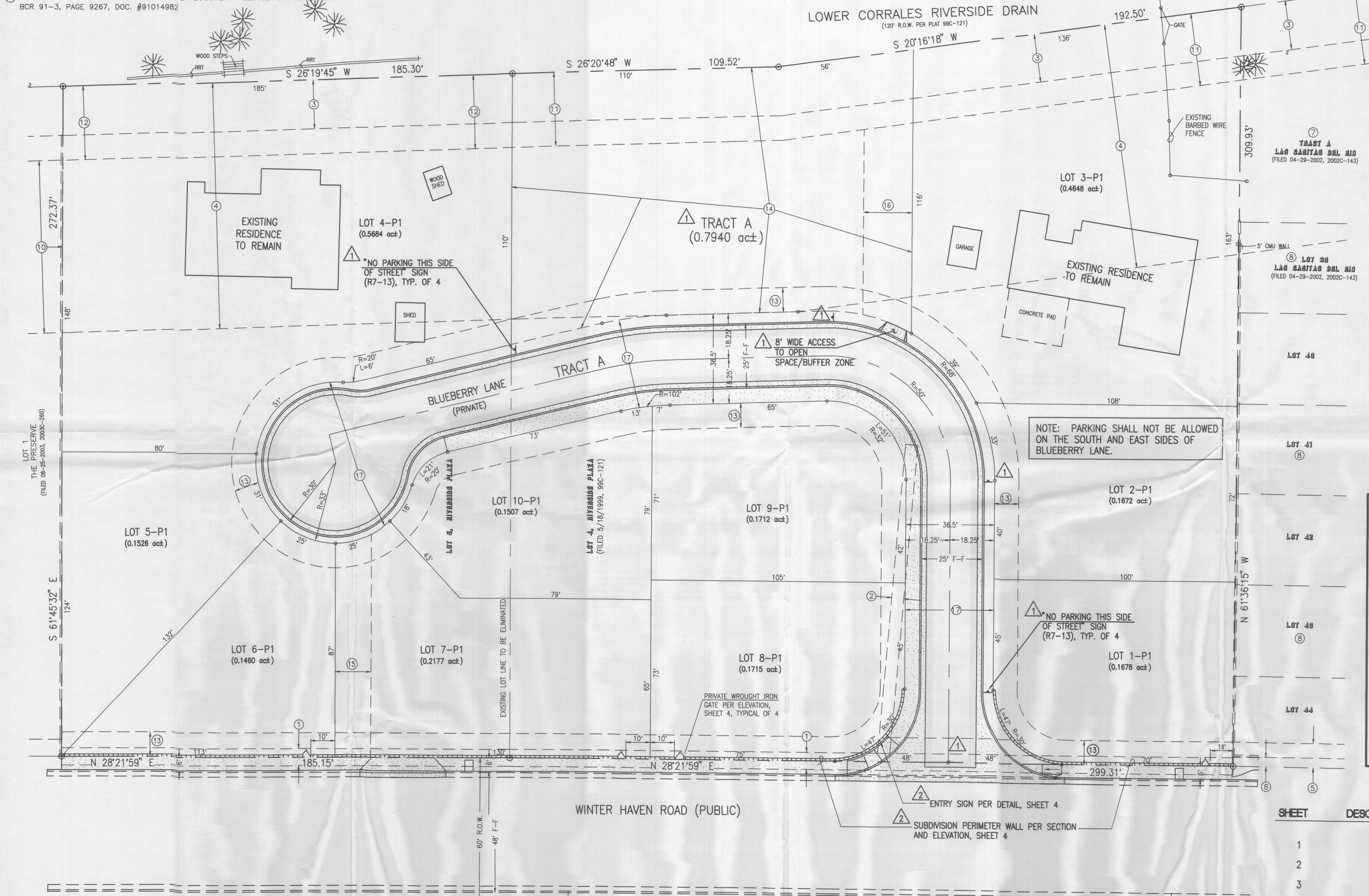
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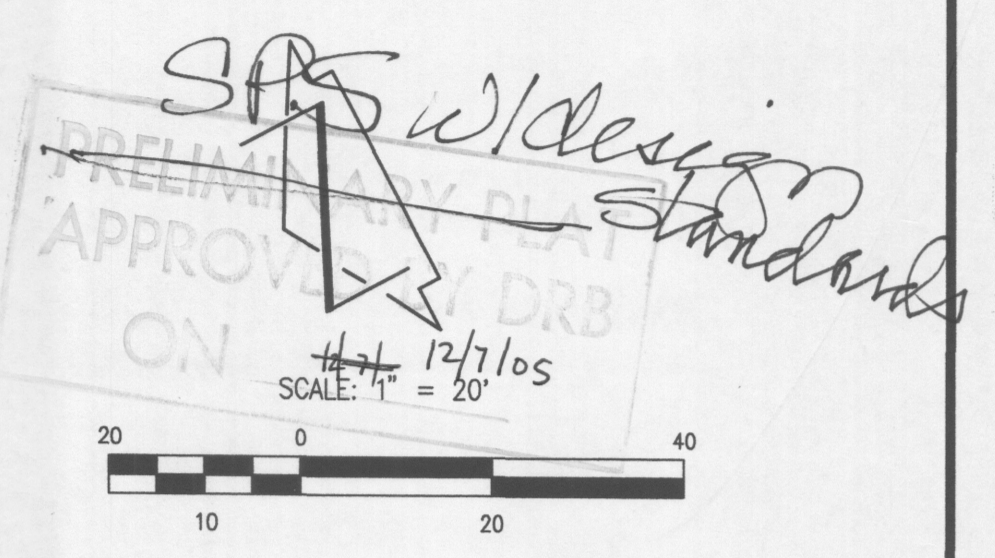
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- ⑮ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.



VICINITY MAP
SCALE: 1" = 750'



LEGAL DESCRIPTION
LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

EXISTING ZONING
SU-1 FOR PRD/8 DU/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS.

DENSITY
2.85 du/ac (GROSS)
4.21 du/ac (NET, EXCLUDING TRACTS A & B)

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.

PROJECT NUMBER: 1004161
Application Number: 05 EPC 00740

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated JUNE 16, 2005 and the Findings and Conditions in the Official Notifications of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No
If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

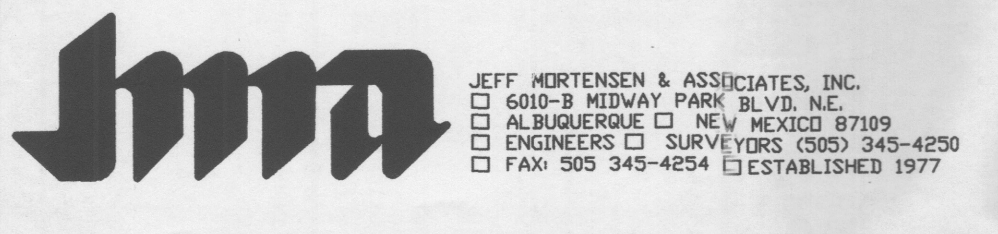
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
2	CONCEPTUAL GRADING AND UTILITY PLAN
3	CALCULATIONS, DRAINAGE PLAN, SECTIONS AND DETAILS
4	SUBDIVISION DESIGN STANDARDS

Plot Date: 11-07-2005
Plot Time: 08:49 am
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SITE PLAN FOR SUBDIVISION
PLAZA ESCONDIDO

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	08/05	G.M.	DELETE GATED ENTRY, COMBINE TRACTS A AND B, ADDRESS EPC COMMENTS	2005.008.3
G.M./RRW	10/05	G.M.	ADD WALL	DATE 05-2005
G.M.				SHEET 1 OF 4

KEYED NOTES

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LEGAL DESCRIPTION

LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

PROJECT BENCHMARK

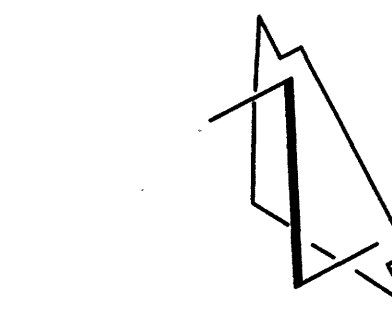
A STANDARD USC&GS BRASS TABLET, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COORS RD. APPROXIMATELY 6.1 MILES NORTH OF THE INTERSECTION OF COORS AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)

T.B.M.

T.B.M. #1: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 240' SOUTH OF THE PL AND 16' (EAST) OF THE BACK OF THE CURB. ELEVATION = 4994.96 FEET

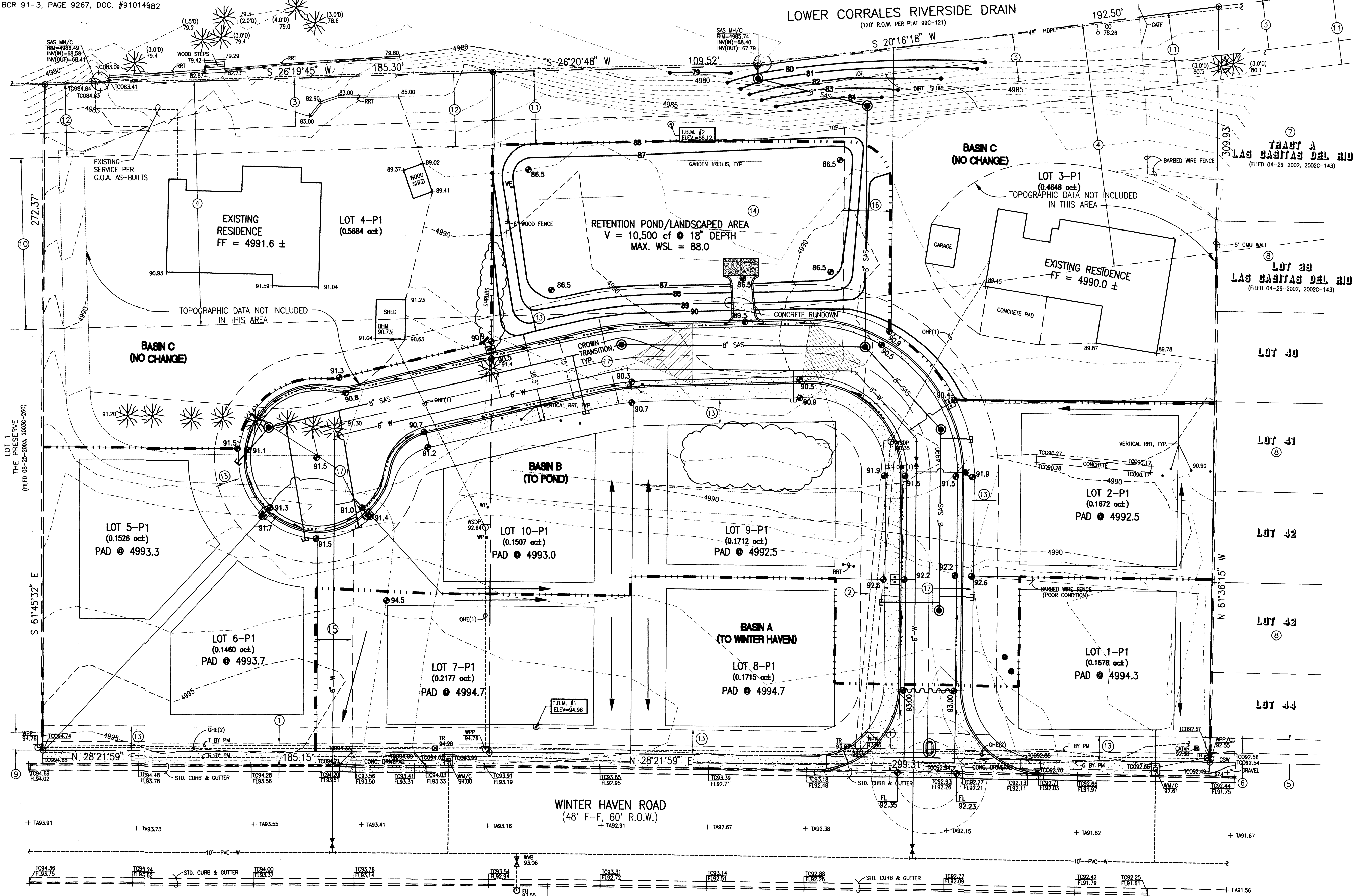
T.B.M. #2: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 258' SOUTH OF THE PL AND 264' (EAST) OF THE EAST BACK OF CURB. ELEVATION = 4988.10 FEET

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.

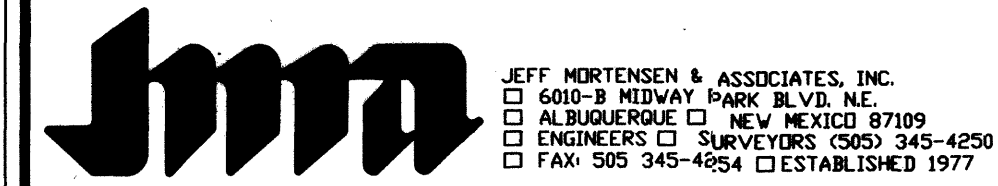


LEGEND

- BWF BARBED WIRE FENCE
- CATVR CABLE TELEVISION RISER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CSW CONCRETE SIDEWALK
- EA EDGE OF ASPHALT
- FL FLOWLINE
- G BY PM GAS LINE BY PAINT MARK
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INVERT INVERT
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- OHE(1) OVERHEAD ELECTRIC MAST
- PVC POLYVINYL CHLORIDE PIPE
- RRT RAILROAD TIE
- SAS MH SANITARY SEWER MANHOLE
- SAS MH/C SANITARY SEWER MANHOLE IN CONCRETE
- STD STANDARD
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TCO TOP OF CONCRETE
- TC TOP OF CURB
- TR TELEPHONE RISER
- TYP TYPICAL
- W WATER LINE
- WM/C WATER METER IN CONCRETE
- WP WOOD POST
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WSDP WOOD SERVICE DROP POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (CALIPER SIZE)
- EXISTING YUCCA
- SHRUB/TREE LINE
- PROPOSED SPOT ELEVATION
- FLOW LINE
- DIRECTION OF FLOW
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE



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Plot Time: 08:28 am
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CONCEPTUAL GRADING AND UTILITY PLAN
PLAZA ESCONDIDO

DESIGNED BY	G.M.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	S.G.H./G.M.				2005.008.6
APPROVED BY	G.M.				DATE
					05-2005
					SHEET 2 OF 4



CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN ALBUQUERQUE'S NORTH COORS CORRIDOR WITHIN THE RIVERSIDE PLAZA SUBDIVISION AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH EPC AND DRB. THE SITE CURRENTLY CONSISTS OF TWO EXISTING HOMES ON TWO ADJACENT LOTS. 8 ADDITIONAL RESIDENTIAL HOME SITES ARE PROPOSED ALONG WITH A NEW PRIVATE GATED STREET AND A COMMON AREA TRACT LOCATED WITHIN A 100 FT BUFFER ZONE ALONG THE EASTERN BOUNDARY OF THE SITE. A PORTION OF THE REDEVELOPED SITE WILL DISCHARGE FREELY TO AN EXISTING DOWNSTREAM PUBLIC STORM DRAIN WITHIN WINTER HAVEN ROAD NW. THE TWO EXISTING HOMES WILL CONTINUE TO DRAIN TO MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE REMAINDER OF THE SITE, CURRENTLY DRAINING TO MRGCD RIGHT-OF-WAY, WILL NOW DRAIN TO A PROPOSED ONSITE RETENTION POND. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS CONCEPTUAL DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-12 ON SHEET 2, THE SITE IS LOCATED IN THE RIVERSIDE PLAZA SUBDIVISION ON THE EAST SIDE OF WINTER HAVEN ROAD NW. THE SITES TO THE NORTH AND SOUTH ARE DEVELOPED RESIDENTIALLY. TO THE EAST OF THE SITE IS MRGCD RIGHT OF WAY AND THE RIO GRANDE BOSQUE. THE EXISTING LEGAL DESCRIPTION IS LOTS 4 AND 5, RIVERSIDE PLAZA. THE SITE IS ZONED SU-1/PRO. THE PROPOSED DEVELOPMENT WILL REQUIRE A ZONE MAP AMENDMENT. THE PROPOSED ZONING SU-1/PRO 80U/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS. AS SHOWN BY PANEL 116 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. GRADING AND DRAINAGE PLANS FOR BOSQUE MONTANO BY TIERRA WEST DATED 9/14/2000 (FILE E12/D12), LAS CASITAS DEL RIO, UNITS 1 AND 2 BY ISAACSON & ARFMAN DATED 12/18/2001 AND 6/02/2003 (FILES E12/D17 AND E12/D17A), AND THE PRESERVE SUBDIVISION BY ISAACSON & ARFMAN DATED 06/02/03 (FILE E12/D21). THESE FOUR RECENT SUBDIVISIONS, LOCATED ON THE SAME WEST SIDE OF WINTER HAVEN RD NW NORTH AND SOUTH OF THE SUBJECT SITE, ARE SIMILARLY IMPACTED BY THE 100 FOOT BOSQUE BUFFER AND ESTABLISHED THE DRAINAGE CONCEPT FOR THE AREA WHEREBY FLOWS THAT CAN BE DIRECTED TO WINTER HAVEN, SHOULD BE, AND THE BALANCE IS RETAINED WITHIN LANDSCAPED RETENTION PONDS WITHIN THE 100 FT BUFFER.

THE PROPOSED CONSTRUCTION DRAINING TO A LANDSCAPED RETENTION POND LOCATED WITHIN THE 100 FT BOSQUE BUFFER AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

IV. EXISTING CONDITIONS:

THE SITE IS DEVELOPED WITH TWO SINGLE FAMILY RESIDENCES, ONE ON EACH LOT. THE RESIDENCES HAVE RELATED LANDSCAPING AND APPURTENANCES. THE LOTS TAKE ACCESS FROM WINTER HAVEN ROAD NW, A 48 FT FACE-TO-FACE PAVED PUBLIC STREET WITH CURB AND GUTTER. THERE ARE RESIDENTIAL SUBDIVISIONS TO THE NORTH AND SOUTH. THE RIO GRANDE BOSQUE AND THE MRGCD LOWER CORRALES RIVERSIDE DRAIN LIE TO THE EAST.

V. DEVELOPED CONDITIONS

IN ADDITION TO THE TWO EXISTING HOMES TO REMAIN, 8 NEW RESIDENTIAL SINGLE FAMILY LOTS ARE PROPOSED WITH A PRIVATE INTERNAL STREET AND A COMMON AREA LANDSCAPING AND RETENTION POND AREA WITHIN THE BUFFER ZONE. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN A WILL DRAIN TO THE EAST TO WINTER HAVEN ROAD NW. BASIN B IS THE LARGEST BASIN AND IT WILL DRAIN TO THE ONSITE RETENTION POND. BASIN C IS THE EXISTING HOMES WHICH WILL CONTINUE TO DRAIN TO THE MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE PRIVATE STREET AND POND TRACT WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

VI. CONCEPTUAL GRADING PLAN

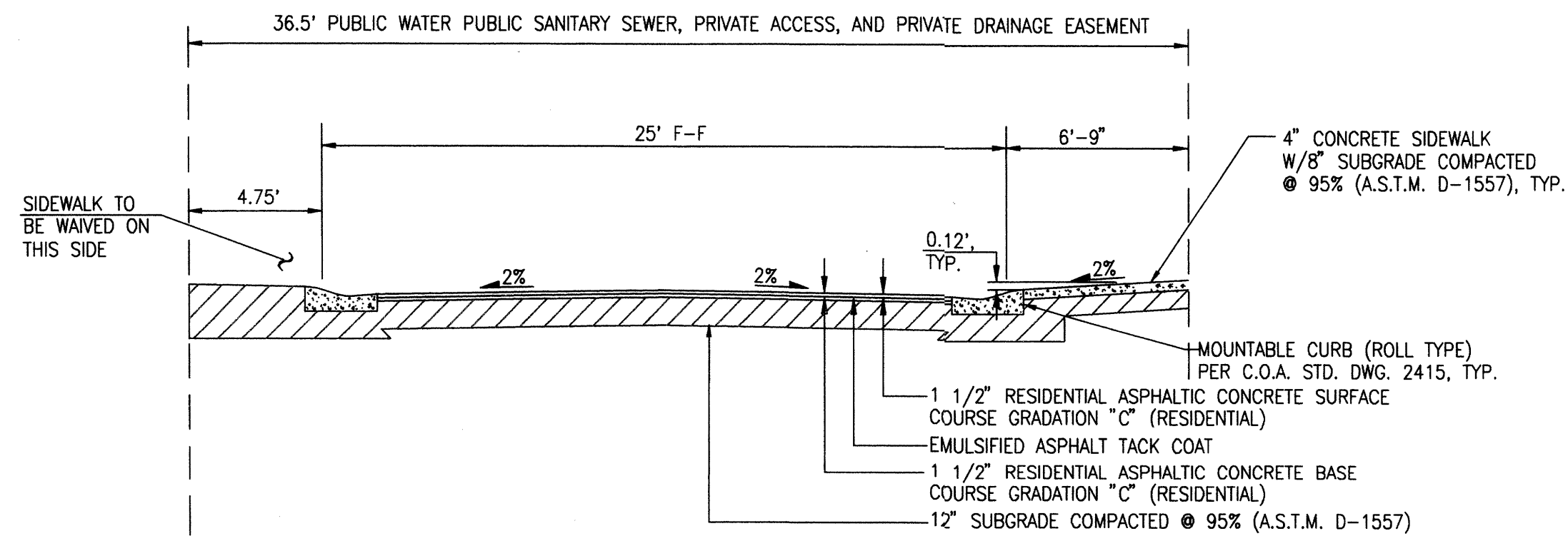
THE GRADING PLAN ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM AN APRIL, 2005 TOPOGRAPHIC SURVEY BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS IN THIS AREA.
- 2) DEVELOPED RUNOFF FROM A PORTION OF THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS IN WINTER HAVEN. THE REMAINING RUNOFF WILL BE RETAINED IN A PRIVATE RETENTION POND TO BE OWNED OPERATED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES ANTICIPATED AT THIS TIME.
- 4) THE PROPOSED RETENTION POND WILL REQUIRE A DRAINAGE EASEMENT AND AN AGREEMENT AND COVENANT.
- 5) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR PRELIMINARY PLAT APPROVAL. THIS SUBMITTAL WILL NEED TO DEMONSTRATE STREET AND PONDING CAPACITIES



TYPICAL PRIVATE STREET SECTION

SCALE: 1" = 5'

CALCULATIONS

I. PRECIPITATION ZONE = 1

II. $P_{6,100} = P_{360} = 2.20$

III. TOTAL AREA (A_T) = 3.1716 AC

IV. EXISTING LAND TREATMENT

TREATMENT	AREA (AC)	%
B	2.6960	85
C	0.3171	10
D	0.1585	05

V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	1.1100	35
C	0.7929	25
D	1.2687	40

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(2.6960) + 0.99(0.3171) + 1.97(0.1585)] / 3.1716 = 0.76 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.76 / 12) 3.1716 = 0.2001 \text{ ac-ft} = 8716 \text{ CF}$$

$$V_{10} = V_{100} + A_D [(P_{10} - P_{100}) / 12] =$$

$$0.2001 + 0.1585 [(3.67 - 2.20) / 12] = 0.2195 \text{ ac-ft} = 9561 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.03(2.6960) + 2.87(0.3171) + 4.37(0.1585) = 6.6 \text{ cfs}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(1.1100) + 0.99(0.7929) + 1.97(1.2687)] / 3.1716 = 1.27 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.27 / 12) 3.1716 = 0.3356 \text{ ac-ft} = 14619 \text{ CF}$$

$$V_{10} = V_{100} + A_D [(P_{10} - P_{100}) / 12] =$$

$$0.3356 + 1.2687 [(3.67 - 2.20) / 12] = 0.4910 \text{ ac-ft} = 21388 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$$

$$Q_p = Q_{PB} A_B + Q_{PD} A_D$$

$$Q_p = Q_{100} = 2.03(1.1100) + 2.87(0.7929) + 4.37(1.2687) = 10.1 \text{ cfs}$$

VIII. COMPARISON

A. VOLUME

$$\Delta V_{100} = 14619 - 8716 = 5903 \text{ CF (INCREASE)}$$

$$\Delta V_{10} = 21388 - 9561 = 11827 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

$$\Delta Q_{100} = 10.1 - 6.6 = 3.5 \text{ cfs (INCREASE)}$$

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDED ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

POND VOLUME CALCULATIONS

LOTS 1, 7 AND 8 WILL DRAIN TO WINTER HAVEN. EXISTING HOMES (LOTS 3 & 4) WILL NOT BE DISTURBED AND WILL CONTINUE TO DRAIN TO BOSQUE.

REMAINING SITE AREA IS 1.52 ac (BASIN B)

1.52 ac / 3.17 ac = 0.48% OF SITE

$$Q_{100} (\text{POND}) = (0.48)(Q_{100}) = (10.1) = 4.8 \text{ cfs}$$

$$V_{10 \text{ DAY}} (\text{POND}) = (0.48)(V_{10 \text{ DAYS}}) = (0.48)(21,388) = 10,270 \text{ cf}$$

Plot Date: 04-29-2005
Plot Time: 3:48 pm
File Path: E:\JMA\2005\0008\0008A
File Name: 50086DT.DWG



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (SOS) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977

DRAINAGE PLAN, CALCULATIONS, SECTIONS AND DETAILS
PLAZA ESCONDIDO

DESIGNED BY	DRAWN BY	APPROVED BY	NO. DATE BY			REVISIONS	JOB NO.
			NO.	DATE	BY		
G.M.	R.R.W.	G.M.					2005.008.6
							DATE 05-2005
							SHEET 3 OF 4



Design Standards

For:
Plaza Escondido
Riverside Plaza Lots 4 & 5

The following design standards are for eight custom-designed single family residences in addition to the two existing residences grandfathered on the site for a total of ten to be built in Riverside Plaza Subdivision, Tract 4 & 5 are located to the east of the Riverside Plaza commercial development on Winter Haven Road NW. Plaza Escondido subdivision is envisioned to offer potential residents the unique opportunity to live and recreate in a natural setting adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision of high quality and in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Plaza Escondido shall encourage contemporary architectural design creatively in harmony with its natural setting adjacent to the Rio Grande Bosque. As a unique high-quality development, builders and designers shall use architectural details and materials consistent with this goal. To promote a natural and unique look to this subdivision, no particular architectural style shall be prescribed. Architectural styles approved, but not limited to, shall include Territorial, Pueblo, Pueblo Revival, Contemporary Pueblo, Northern New Mexican, Spanish Colonial, Regional and Contemporary Modern and Victorian. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have a garage of not less than two car spaces and sufficient parking for an additional two vehicles on the site, so a minimum of four parking spaces are provided. Independent garage structures are permissible on each lot.

C. Setbacks

1. Front Yard setback - 20 feet
2. Side Yard setback - 5 feet
3. Rear Yard Setback - 15 feet

D. Building Materials

Building materials for homes in Plaza Escondido shall be consistent with the architectural character and style of each homes design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, wood, stone, adobe, concrete masonry unit, glass, glass block, natural tile, ceramic tile, copper and galvanized metal.

E. Building Height and Density

The maximum allowed height is 26 feet or as permitted by the City of Albuquerque Zoning Code.

F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the property line of the residences). Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof mounted equipment shall be screened with materials architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All electrical distribution lines shall be placed underground.
4. Transformers, utility pads, and telephone risers shall be appropriately screened with walls and/or vegetation when viewed from the Private Street Easement.

G. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, Coors Corridor Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

1. Street trees shall be provided along Winter Haven at the rate of one tree per 50 lineal feet. The may be random or consistently placed.
2. Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
3. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Street Easement.
4. Minimum sizes of required plants at time of installation shall be as follows:
 - Trees 2 1/2" cal.
 - Shrubs and Groundcover 1-5 Gal.
5. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
6. Streetscape is to be covered in landscaping since all lots are bordering a street and sizes and types are already specified within these specifications.
7. Interior Landscape Each individual lot will be landscaped using the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
8. Buffer Zone Open Space Area 2-1/2 cal Rio Grande Cottonwood groves shall be placed in this area, (a minimum of 6 total trees) with groupings of Fourwing Saltbush and Deergass (a combined minimum of 25). The above plantings shall be on an automatic trickle irrigation system. The trees will not be located within the public sanitary sewer easements. The balance of the area shall be crimped straw/native seed with wildflower mix. The space is also designated to have a community type gazebo or small outbuilding for the benefit of all residents within the subdivision to promote community activities within the subdivision.

H. Bosque Open Space

This subdivision promotes the goals of the Coors Corridor Plan in providing a 100-foot buffer zone from the Rio Grande State Park, with the exception of the two grandfathered non-compliant sites within the subdivision that have occupied their respective sites for several years prior to the enactment of the Coors Corridor Plan. Therefore, the middle easterly lot has been designated Open space and is intended for the enjoyment of all residents of the subdivision while preserving the natural habitat of the Bosque and providing access to the Rio Grande State Park.

1. Recreational and agricultural uses and improvements shall be permitted within this lot and be accessible to all residents of the subdivision.
2. Apparatus for viewing for birds and wildlife shall be permitted within the Bosque Open Space. A gazebo or other such outbuilding shall be permitted within the Bosque Open Space to allow community type activities within the Open Space Area.
3. Walls at each adjacent property line within the Open Space Area shall be permitted.

I. Pedestrian Circulation

1. A five (5) foot sidewalk shall be installed by the developer along Winter Haven Road NW per City Standards to blend in at each end with the connecting sidewalks already in place.
2. Sidewalk to be installed along internal Private Street on the north and west sides only.

J. Wall/ Fences

In order to mitigate the impact of the commercial/office activity developing at Riverside Plaza to the west, a perimeter wall shall be installed along Winter Haven Road NW.

1. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
2. The perimeter western subdivision wall shall be decorative concrete masonry unit (CMU) or CMU with stucco finish with occasional accent openings and shall be an average height of 6 feet with a maximum height of 8 feet at the northern end. Wall shall be installed and paid for by the Developer.
3. An automobile entry at the private street located along Winter Haven Road NW with ingress and egress automatic gates shall be installed and paid for by the Developer.
4. No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.

K. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures shall conform to State and local safety and illumination requirements.
2. The mounting height of luminaries for site lighting at the main automobile entry shall be no higher than twelve feet.
3. Site and residential lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
4. Due to the small number of residences in this subdivision and in keeping with its natural setting, no internal streetlights are proposed.

L. Signs

Entry signage shall be incorporated into or near the perimeter wall at the automobile entry along Winter Haven Road NW, which shall be consistent with the materials and architectural character of the subdivision.

M. Solid Waste

1. Each lot/home shall have a storage area for residential automated carts, not visible from the private street access.
2. Pick up locations will be determined as the need arises.

N. Review for Compliance

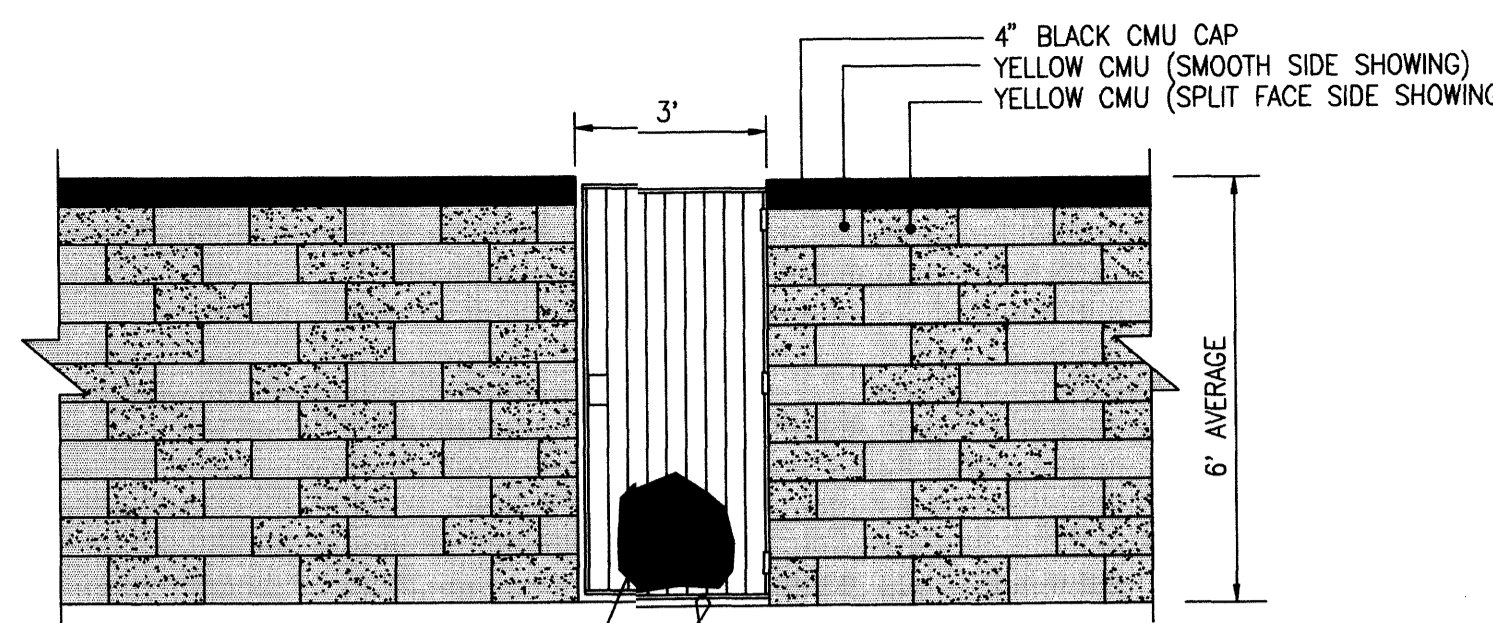
The developer shall review the compliance of any structure or improvement within the subdivision.

O. Vacant Lots/ Destruction

1. There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
2. The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

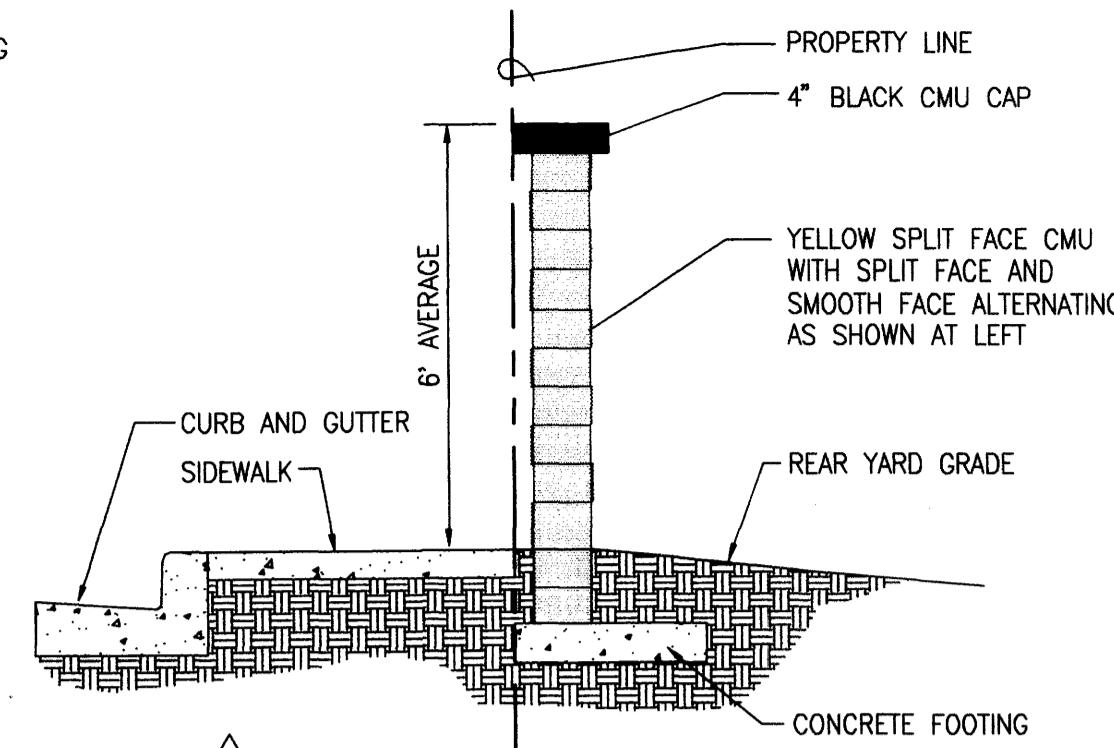
P. Restricted Activities

1. The use of any trailer, motor home, boat, shack or tent as a residence either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of the house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, short wave, television or other), either temporarily or permanently, is prohibited without the prior approval of the Developer.
3. The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer and must be of similar architectural character as the house.
4. The storage of boats, motor homes or trailers is not permitted on the cul-de-sac.



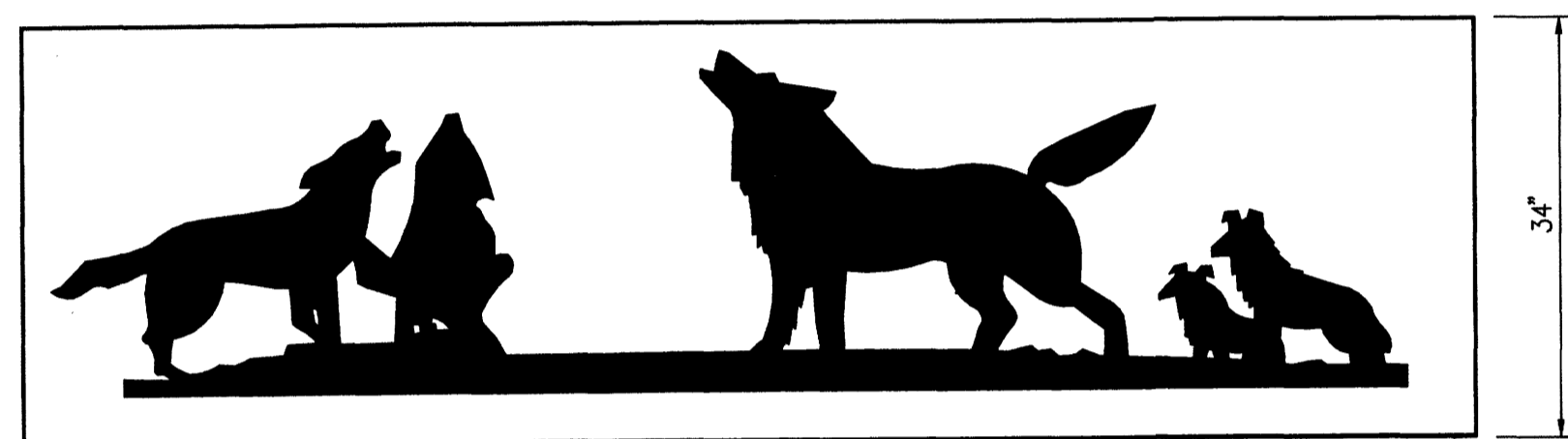
1 PERIMETER WALL ELEVATION
SCALE: 1" = 3'

ALL CMU BLOCKS TO BE YELLOW SPLIT FACE FROM UTILITY BLOCK COMPANY WITH ALTERNATING FACES FRONT AND BACK



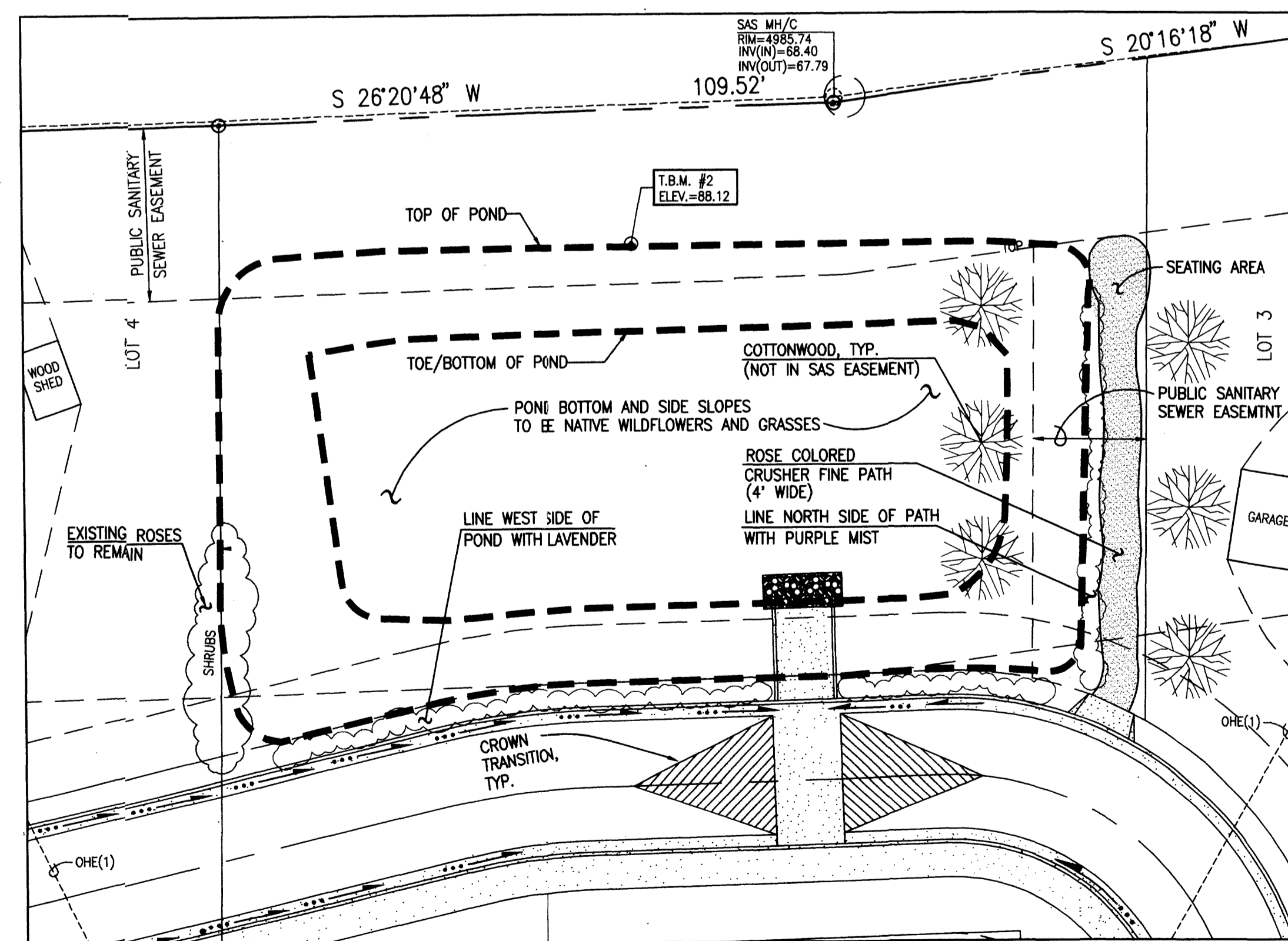
1 PERIMETER WALL SECTION
SCALE: 1" = 3'

Plaza Escondido
12" TALL LETTERS



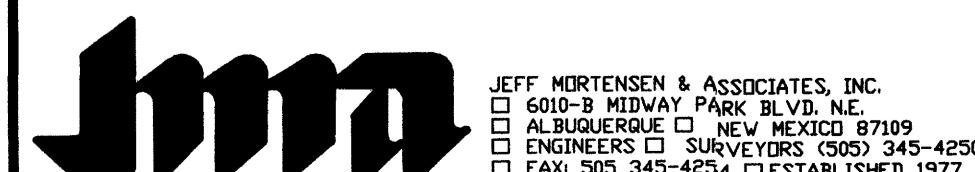
1 ENTRY SIGN DETAIL
(N.T.S.)

SIGN TO BE BLACK METAL LETTERING AND COYOTE SILHOUETTE MOUNTED ON WALL WITH HIDDEN SPACER BRACKETS TO RAISE METAL 1 1/2" FROM WALL FACE.



1 BUFFER LANDSCAPING CONCEPT
SCALE: 1" = 20'

**SUBMISSION DESIGN STANDARDS
PLAZA ESCONDIDO**



DESIGNED BY	OWNER	NO.	DATE	BY	REVISIONS		JOB NO.
					ADDRESS EPC CONDITIONS		
DRAWN BY	R.R.W.		11/05	G.M.			2005.008.3
APPROVED BY	OWNER						DATE 05-2005
							SHEET 4 OF 4

File Path: E:\JMA\WORK\05083.DWG Plot Date: 11-07-2005 Plot Time: 08:57 am

KEYED NOTES

EXISTING EASEMENTS

- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER AS PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑤ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑥ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

- ⑦ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑩ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑪ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑫ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.
- ⑮ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.

LEGAL DESCRIPTION

LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

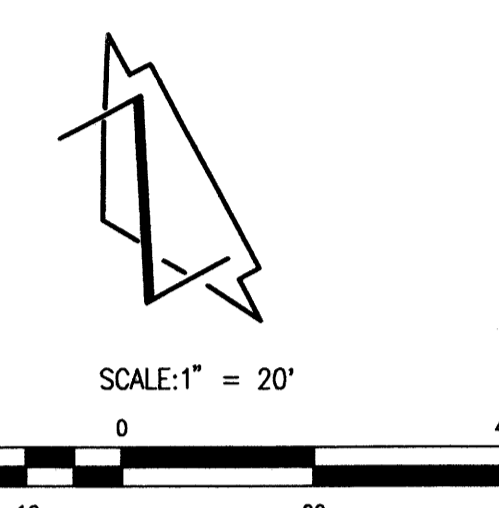
PROJECT BENCHMARK

A STANDARD USC&GS BRASS TABLE, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COORS RD. APPROXIMATELY 6.1 MILES NORTH OF THE INTERSECTION OF COORS AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)

T.B.M.

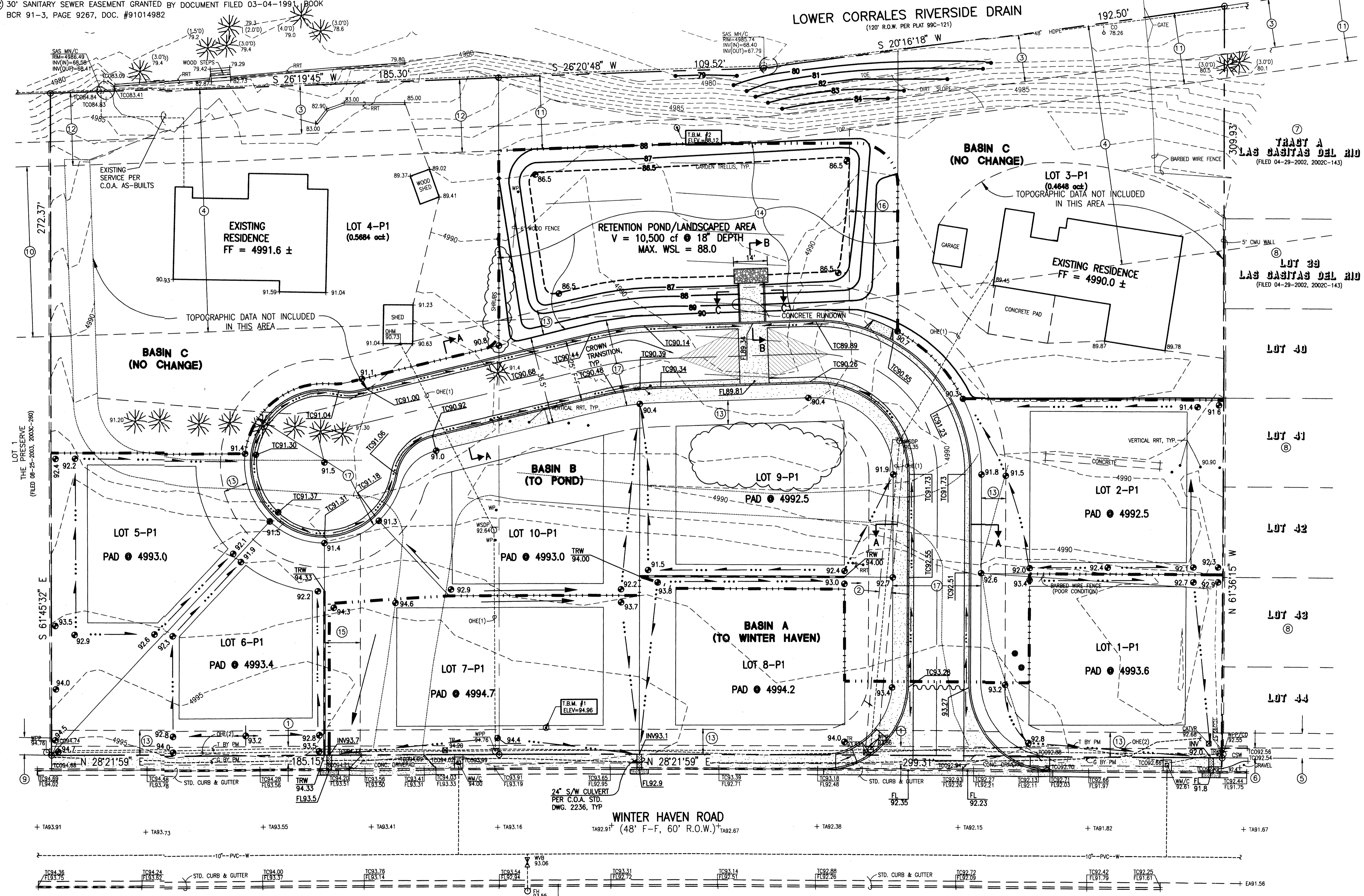
T.B.M. #1: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 240' SOUTH OF THE PL AND 16' (EAST) OF THE BACK OF THE CURB. ELEVATION = 4994.96 FEET
 T.B.M. #2: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 258' SOUTH OF THE PL AND 264' (EAST) OF THE EAST BACK OF CURB. ELEVATION = 4988.10 FEET

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



LEGEND

- BWF BARBED WIRE FENCE
- CATVR CABLE TELEVISION RISER
- CMU CONCRETE MASONRY UNIT
- CSW SANITARY SEWER CLEANOUT
- EA CONCRETE SIDEWALK
- FL EDGE OF ASPHALT
- FL FLOWLINE
- G BY PM GAS LINE BY PAINT MARK
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV INVERT
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- OHE(1) OVERHEAD ELECTRIC (NO. OF LINES)
- PVC POLYVINYL CHLORIDE PIPE
- RRT RAILROAD TIE
- SAS MH SANITARY SEWER MANHOLE
- SAS MH/C SANITARY SEWER MANHOLE IN CONCRETE
- STD STANDARD
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TCO TOP OF CONCRETE
- TC TOP OF CURB
- TR TELEPHONE RISER
- TYP TYPICAL
- W WATER LINE
- WM/C WATER METER IN CONCRETE
- WP WOOD POST
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WSDP WOOD SERVICE DROP POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (CALIPER SIZE)
- EXISTING YUCCA
- SHRUB/TREE LINE
- PROPOSED SPOT ELEVATION
- FLOW LINE
- DIRECTION OF FLOW
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- RETAINING WALL



File Path: E:\JMA\WORK\2005\08-29-2005
 File Name: 5008661.DWG
 Plot Date: 08-29-2005
 Plot Time: 4:30 pm



Jma
 JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, N.M. 87109
 ENGINEERS & SURVEYORS (SINCE 1945-4250)
 FAX: 505 343-4254 • ESTABLISHED 1977

APPROVED FOR ROUGH GRADING
 CITY HYDROLOGY DATE

**GRADING PLAN
 PLAZA ESCONDIDO**

DESIGNED BY	DATE	BY	REVISIONS
G.M.			
S.G.H./G.M.			
G.M.			

JOB NO.	DATE	SHEET	OF
2005.008.6	08-2005	1	2

HYDROLOGY FILE E-12/D23
 DRB PROJECT #1004161

CALCULATIONS

I. PRECIPITATION ZONE = 1
 II. $P_{6,100} = P_{360} = 2.20$
 III. TOTAL AREA (A_T) = 3.1716 AC
 IV. EXISTING LAND TREATMENT

TREATMENT	AREA (AC)	%
B	2.6960	85
C	0.3171	10
D	0.1585	05

V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	1.1100	35
C	0.7929	25
D	1.2687	40

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(2.6960) + 0.99(0.3171) + 1.97(0.1585)] / 3.1716 = 0.76 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.76 / 12) 3.1716 = 0.2001 \text{ ac-ft} = 8716 \text{ CF}$$

$$V_{10} = V_{100} + A_T [(P_{10} - P_{100}) / 12] = 0.2001 + 3.1716 [(3.67 - 2.20) / 12] = 0.2195 \text{ ac-ft} = 9561 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(2.6960) + 2.87(0.3171) + 4.37(0.1585) = 6.6 \text{ cfs}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = [0.67(1.1100) + 0.99(0.7929) + 1.97(1.2687)] / 3.1716 = 1.27 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.27 / 12) 3.1716 = 0.3356 \text{ ac-ft} = 14619 \text{ CF}$$

$$V_{10} = V_{100} + A_T [(P_{10} - P_{100}) / 12] = 0.3356 + 3.1716 [(3.67 - 2.20) / 12] = 0.4910 \text{ ac-ft} = 21388 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(1.1100) + 2.87(0.7929) + 4.37(1.2687) = 10.1 \text{ cfs}$$

VIII. COMPARISON

A. VOLUME

$$\Delta V_{100} = 14619 - 8716 = 5903 \text{ CF (INCREASE)}$$

$$\Delta V_{10} = 21388 - 9561 = 11827 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

$$\Delta Q_{100} = 10.1 - 6.6 = 3.5 \text{ cfs (INCREASE)}$$

POND VOLUME CALCULATIONS

LOTS 1, 7 AND 8 WILL DRAIN TO WINTER HAVEN. EXISTING HOMES (LOTS 3 & 4) WILL NOT BE DISTURBED AND WILL CONTINUE TO DRAIN TO BOSQUE. REMAINING SITE AREA IS 1.52 ac (BASIN B) 1.52 ac / 3.17 ac = 0.48% OF SITE

$$Q_{100} (\text{POND}) = (0.48)(0.00) = (10.1) = 4.8 \text{ cfs}$$

$$V_{10 \text{ DAY}} (\text{POND}) = (0.48)(10 \text{ DAYS}) = (0.48)(21,388) = 10,270 \text{ CF}$$

DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION
 THE PROPOSED DEVELOPMENT IS LOCATED IN ALBUQUERQUE'S NORTH COOPS CORRIDOR WITHIN THE RIVERSIDE PLAZA SUBDIVISION AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH EPC AND DRB. THE SITE CURRENTLY CONSISTS OF TWO EXISTING HOMES ON TWO ADJACENT LOTS. 6 ADDITIONAL RESIDENTIAL HOME SITES ARE PROPOSED ALONG WITH A NEW PRIVATE GATED STREET AND A COMMON AREA TRACT LOCATED WITHIN A 100 FT BUFFER ZONE ALONG THE EASTERN BOUNDARY OF THE SITE. A PORTION OF THE REDEVELOPED SITE WILL DISCHARGE FREELY TO AN EXISTING DOWNSTREAM PUBLIC STORM DRAIN WITHIN WINTER HAVEN ROAD NW. THE TWO EXISTING HOMES WILL CONTINUE TO DRAIN TO MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE REMAINDER OF THE SITE, CURRENTLY DRAINING TO MRGCD RIGHT-OF-WAY, WILL NOW DRAIN TO A PROPOSED ONSITE RETENTION POND. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN PRELIMINARY PLAT, ROUGH GRADING AND WORK ORDER APPROVALS.

II. PROJECT DESCRIPTION:
 AS SHOWN BY VICINITY MAP E-12 HEREON, THE SITE IS LOCATED IN THE RIVERSIDE PLAZA SUBDIVISION ON THE EAST SIDE OF WINTER HAVEN ROAD NW. THE SITES TO THE NORTH AND SOUTH ARE DEVELOPED RESIDENTIALLY. TO THE EAST OF THE SITE IS MRGCD RIGHT OF WAY AND THE RIO GRANDE BOSQUE. THE EXISTING LEGAL DESCRIPTION IS LOTS 4 AND 5, RIVERSIDE PLAZA. THE SITE IS ZONED SU-1/PRD 80U/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS. AS SHOWN BY PANELS 116 AND 118 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 19, 2003, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS
 THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. GRADING AND DRAINAGE PLANS FOR BOSQUE MONTANO BY TIERRA WEST DATED 9/14/2000 (FILE E12/D12), LAS CASITAS DEL RIO, UNITS 1 AND 2 BY ISAACSON & ARFMAN DATED 12/18/2001 AND 6/02/2003 (FILES E12/D17 AND E12/D17A), AND THE PRESERVE SUBDIVISION BY ISAACSON & ARFMAN DATED 06/02/03 (FILE E12/D21). THESE FOUR RECENT SUBDIVISIONS, LOCATED ON THE SAME WEST SIDE OF WINTER HAVEN RD NW NORTH AND SOUTH OF THE SUBJECT SITE, ARE SIMILARLY IMPACTED BY THE 100 FOOT BOSQUE BUFFER AND ESTABLISHED THE DRAINAGE CONCEPT FOR THE AREA WHEREBY FLOWS THAT CAN BE DIRECTED TO WINTER HAVEN, SHOULD BE, AND THE BALANCE IS RETAINED WITHIN LANDSCAPED RETENTION PONDS WITHIN THE 100 FT BUFFER.

B. CONCEPTUAL GRADING PLAN FOR PLAZA ESCONDIDO BY JMA DATED 05/02/2005 (HYDROLOGY FILED E-12/D23). THIS PLAN WAS APPROVED FOR SITE PLAN APPROVAL BY THE DRB. THIS PLAN IS CONSISTENT WITH THAT PLAN.

THE PROPOSED CONSTRUCTION DRAINING TO A LANDSCAPED RETENTION POND LOCATED WITHIN THE 100 FT BOSQUE BUFFER AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

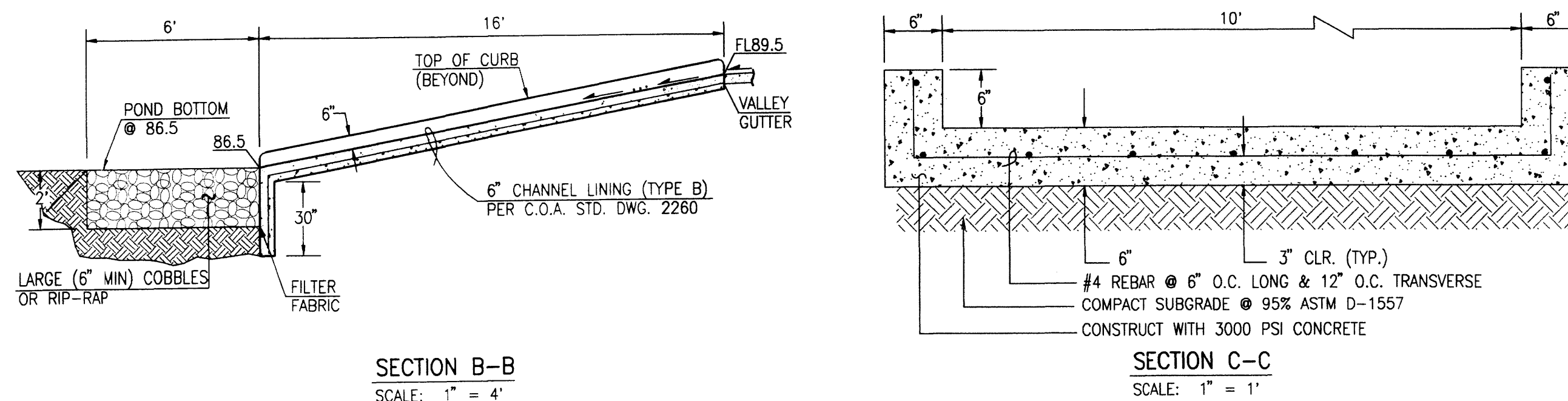
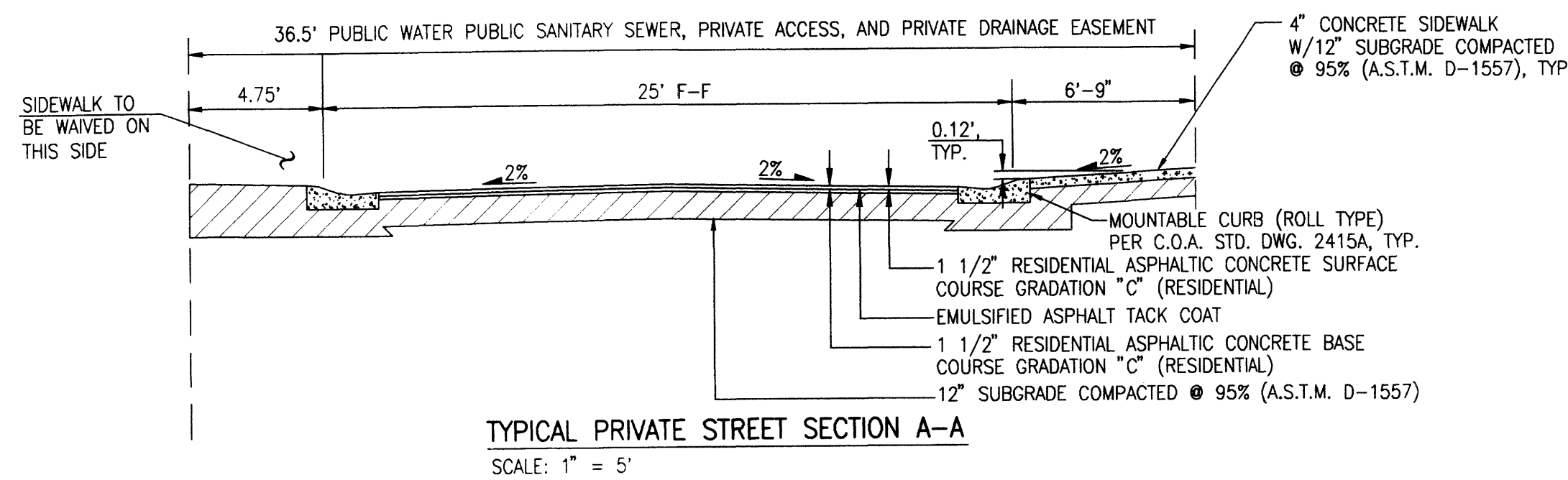
IV. EXISTING CONDITIONS:
 THE SITE IS DEVELOPED WITH TWO SINGLE FAMILY RESIDENCES, ONE ON EACH LOT. THE RESIDENCES HAVE RELATED LANDSCAPING AND APPURTENANCES. THE LOTS TAKE ACCESS FROM WINTER HAVEN ROAD NW, A 48 FT FACE-FACE PAVED PUBLIC STREET WITH CURB AND GUTTER. THERE ARE RESIDENTIAL SUBDIVISIONS TO THE NORTH AND SOUTH. THE RIO GRANDE BOSQUE AND THE MRGCD LOWER CORRALES RIVERSIDE DRAIN LIE TO THE EAST.

V. DEVELOPED CONDITIONS
 IN ADDITION TO THE TWO EXISTING HOMES TO REMAIN, 8 NEW RESIDENTIAL SINGLE FAMILY LOTS ARE PROPOSED WITH A PRIVATE INTERNAL STREET AND A COMMON AREA LANDSCAPING AND RETENTION POND AREA WITHIN THE BUFFER ZONE. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN A WILL DRAIN TO THE EAST TO WINTER HAVEN ROAD NW. BASIN B IS THE LARGEST BASIN AND IT WILL DRAIN TO THE ONSITE RETENTION POND. BASIN C IS THE EXISTING HOMES WHICH WILL CONTINUE TO DRAIN TO THE MRGCD RIGHT-OF-WAY IN HISTORIC FASHION. THE PRIVATE STREET AND POND TRACT WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

VI. GRADING PLAN
 THE GRADING PLAN ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM AN APRIL, 2005 TOPOGRAPHIC SURVEY BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, CURB ELEVATIONS, SPOT ELEVATIONS, AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

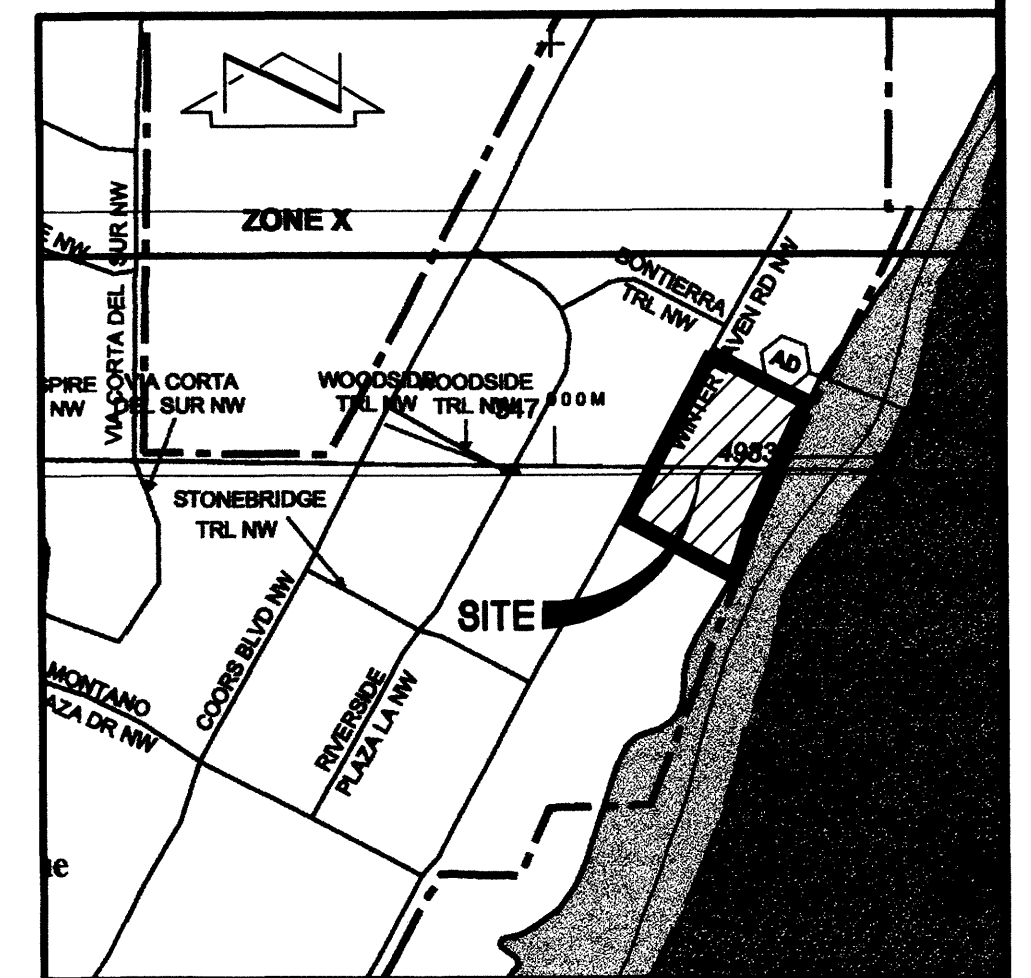
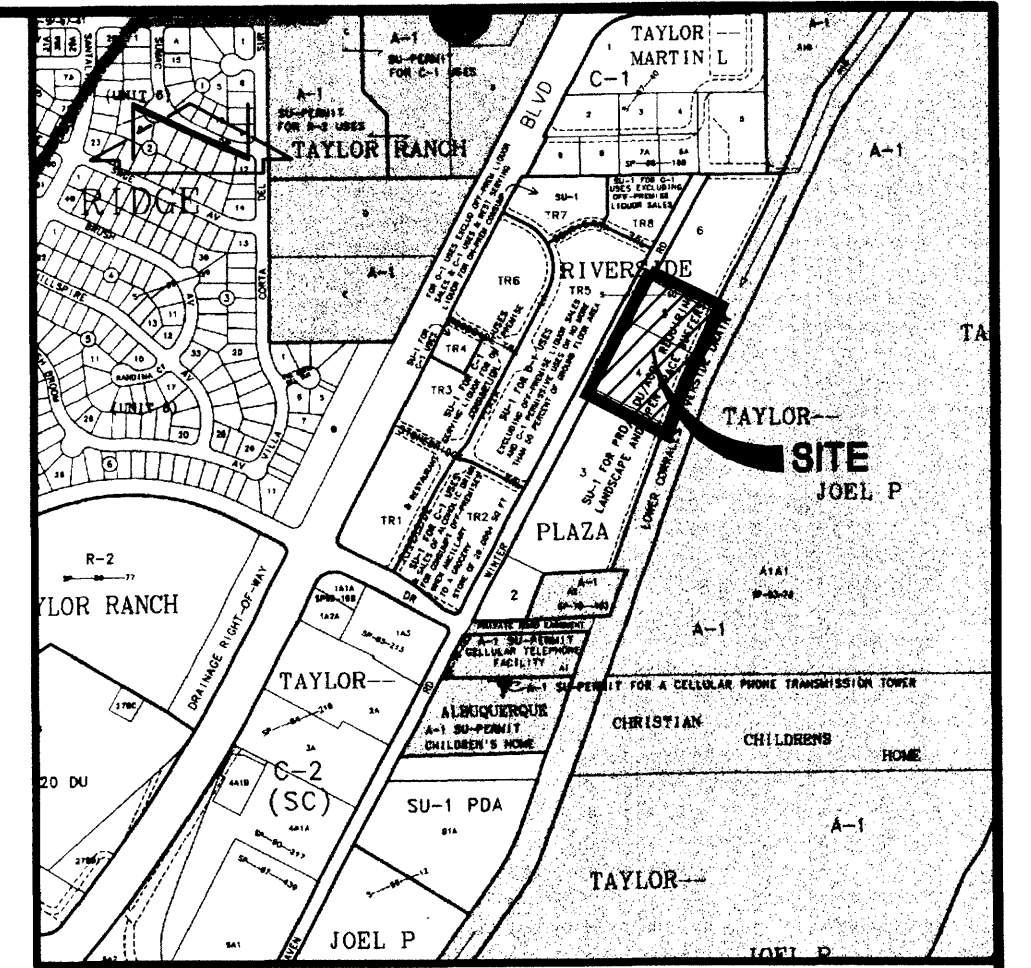
VII. CALCULATIONS
 THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. CONCLUSIONS
 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS IN THIS AREA AND THE CONCEPTUAL PLAN FOR THIS SITE.
 2) DEVELOPED RUNOFF FROM A PORTION OF THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS IN WINTER HAVEN. THE REMAINING RUNOFF WILL BE RETAINED IN A PRIVATE RETENTION POND TO BE OWNED OPERATED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES ANTICIPATED AT THIS TIME.
 4) THE PROPOSED RETENTION POND WILL REQUIRE A DRAINAGE EASEMENT AND AN AGREEMENT AND COVENANT.



GRADING NOTES

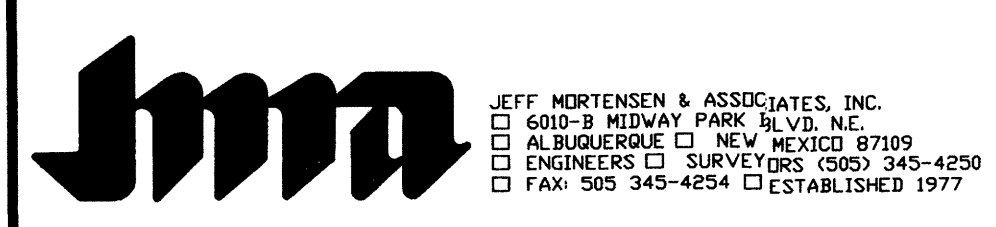
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986, UPDATE 7.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED. ALL EARTHWORK FOR BUILDING PADS SHALL BE PERFORMED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL SPECIFICATIONS WHERE AVAILABLE.
- ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
- FINISHED FLOOR ELEVATIONS MAY VARY FROM THE PAD ELEVATIONS AND WILL BE DETERMINED AS A FUNCTION OF INDIVIDUAL HOUSE DESIGN.
- FINISHED FLOOR ELEVATIONS SHOULD BE ESTABLISHED AT A MINIMUM OF FOUR INCHES ABOVE PAD ELEVATIONS; DEVIATIONS FROM THESE GUIDELINES MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
- CROSS-LOT DRAINAGE WILL NOT BE ALLOWED.
- WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER PRIOR TO DRAINAGE CERTIFICATION FOR FINANCIAL GUARANTY RELEASE. A SEPARATE PLAN REVIEW AND PERMIT PROCESS IS REQUIRED FOR ALL RETAINING AND GARDEN WALLS.
- THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. ALL DEVELOPED RUNOFF SHALL BE DIRECTED TO THE STREETS.
- MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
- ROUGH GRADING TOLERANCES SHALL BE ± 0.1 FT FOR BUILDING PADS AND STREETS AND ± 0.33' FOR ALL OTHER GRADING PROVIDED THE GRADES MEET THE INTENT OF THIS GRADING PLAN.
- UNDER FEDERAL LAW, THE OPERATOR(S) OF CONSTRUCTION SITES WHERE 1 OR MORE ACRES ARE DISTURBED MUST SUBMIT A NOTICE OF INTENT (N.O.I.) TO OBTAIN COVERAGE UNDER AN NPDES STORM WATER CONSTRUCTION GENERAL PERMIT.
- CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.



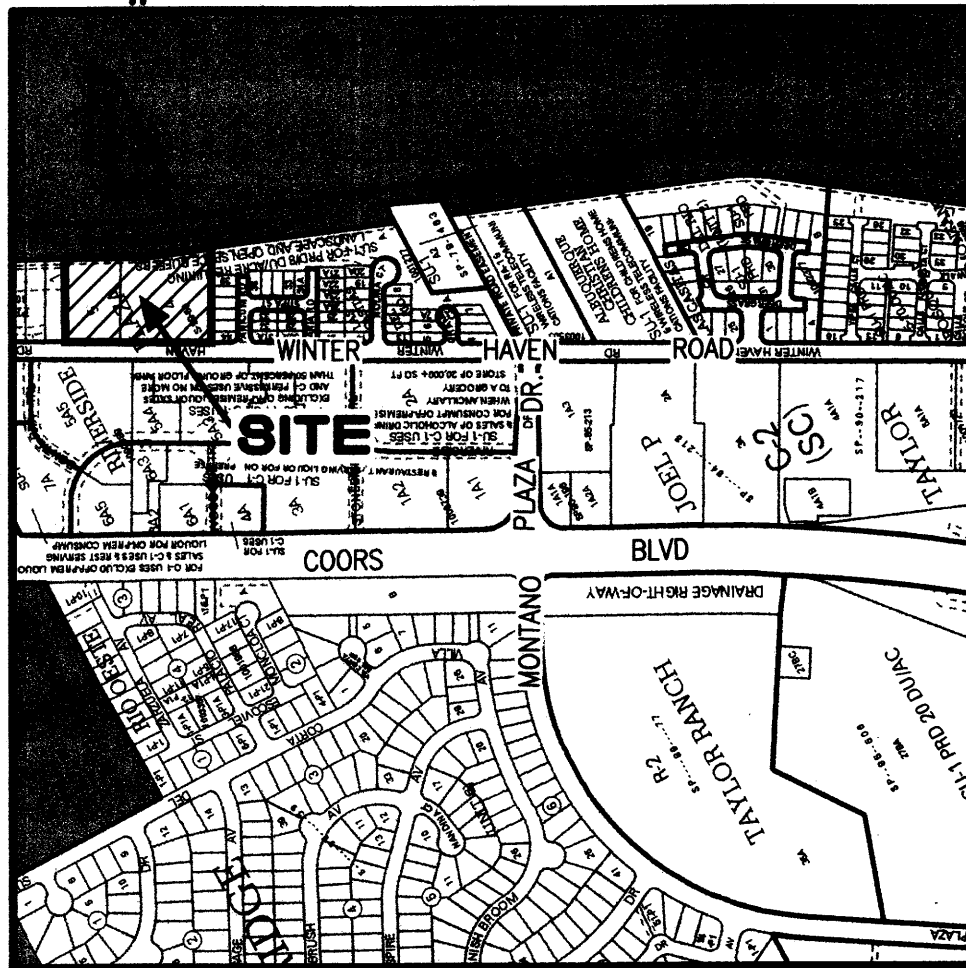
J. GRAEME MEANS
 NEW MEXICO
 13678
 REGISTERED PROFESSIONAL ENGINEER
 08/30/2005

**DRAINAGE PLAN, CALCULATIONS, SECTIONS AND DETAILS
 PLAZA ESCONDIDO**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.008.6
DRAWN BY	R.R.W.					DATE	08-2005
APPROVED BY	G.M.					SHEET	2 OF 2



Plot Date: 08-29-2005
 Plot Time: 12:10 pm
 File Path: E:\WORK\2005\0829\0829.DWG
 File Name: 50066SD.DWG



VICINITY MAP
SCALE: 1" = 750'

E-12

PRELIMINARY SUBDIVISION PLAT OF
PLAZA ESCONDIDO
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2005

WILLIAM T. BRENNAN
BENITA BRENNAN
OWNER
SEC. 25, T 11 N, R 2 E, N.M.P.M.
LOCATION
PLAZA ESCONDIDO
SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER: 1004161

APPLICATION NUMBERS: 05EPC-00740, 05DRB-01091

12/1/05

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

A.M.A.F.C.A. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

N/A
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

P.N.M. ELECTRIC SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

P.N.M. GAS SERVICES DATE

COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

LEGAL DESCRIPTION

Lots 4 and 5, Riverside Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 18, 1999, Book 99C, Page 121.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that we hold complete and indefeasible title in fee simple to the land subdivided, hereon.

William T. Brennan
William T. Brennan
7/1/05
Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



OFFICIAL SEAL
CHARLES G. CALA, JR.
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Bond Filed with Secretary of State
My Commission Expires: 8-8-2009

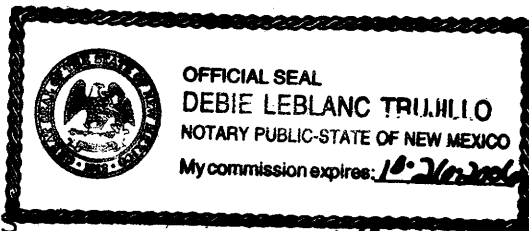
This instrument was acknowledged before me on this 7th day of November, 2005, by William T. Brennan.

Charles G. Cala, Jr.
Notary Public

Benita Brennan
Benita Brennan
11/7/05
Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



OFFICIAL SEAL
DEBIE LEBLANC TRUJILLO
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 12-31-2008

This instrument was acknowledged before me on this 7th day of November, 2005, by Benita Brennan.

Debie LeBlanc Trujillo
Notary Public

APPROVED:

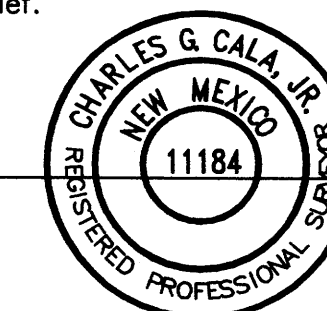
John B. Hunt
CITY SURVEYOR, DEPARTMENT OF MUNICIPAL DEVELOPMENT,
CITY OF ALBUQUERQUE, NEW MEXICO
11-8-05
DATE

FOR FINAL PLAT SIGN-OFF ONLY

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



11-04-2005
Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.008.7 50087platA.DWG

**PRELIMINARY SUBDIVISION PLAT OF
PLAZA ESCONDIDO
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2005**

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑤ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑥ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

- ⑦ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑩ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑪ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑫ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

NEW EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY THIS PLAT.
- ⑭ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE DRAINAGE EASEMENT, PRIVATE NON-VEHICULAR ACCESS EASEMENT AND PRIVATE LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUSIVE. MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON _____-20 05, BOOK _____, PAGES _____.
- ⑮ 15' PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑰ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUSIVE, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. MAINTENANCE OF THE PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON _____-2005, BOOK _____, PAGES _____.

MONUMENTS

- (A) #5 REBAR W/CAP STAMPED "111808 HUGG", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) #5 REBAR W/CAP STAMPED "HUGG 9750", TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (D) COULD NOT SET (ON MANHOLE COVER)
- (E) SET CHISELED "+" ON CONCRETE

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
L1	N 28°21'59" E	70.00'	L15	S 14°50'38" W	73.19'
L2	S 61°38'01" E	45.00'	L16	N 61°38'01" W	79.17'
L3	S 28°21'59" W	100.04'	L17	S 26°20'48" W	64.86'
L4	S 61°38'01" E	40.25'	L18	N 61°38'01" W	42.25'
L5	S 28°21'59" W	107.91'	L19	S 28°21'59" W	105.00'
L6	S 61°38'01" E	115.96'	L20	N 61°38'01" W	43.00'
L7	N 61°44'54" W	110.37'	L21	S 14°50'38" W	37.76'
L8	N 14°50'38" E	64.62'	L22	S 26°20'48" W	64.86'
L9	N 28°21'59" E	80.17'	L23	S 61°38'01" E	115.25'
L10	N 18°28'06" W	131.70'	L24	N 26°20'48" E	64.86'
L11	N 61°38'01" W	87.13'	L25	N 14°50'38" E	119.23'
L12	S 75°11'32" W	42.60'	L26	N 75°09'22" W	12.00'
L13	S 28°21'59" W	78.56'	L27	S 61°38'01" E	73.00'
L14	N 61°38'01" W	65.00'	L28	S 61°38'01" E	71.17'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.12'	42.43'	N 73°21'59" E	90°00'00"
C2	68.25'	33.03'	32.71'	S 75°29'48" E	27°43'34"
C3	68.25'	39.28'	38.74'	N 74°09'10" E	32°58'31"
C4	68.25'	37.31'	36.84'	N 42°00'21" E	31°19'07"
C5	20.00'	6.47'	6.44'	N 24°06'46" E	18°32'17"
C6	33.00'	50.85'	45.96'	N 10°45'33" W	88°16'55"
C7	33.00'	30.85'	29.74'	N 81°41'03" W	53°34'05"
C8	33.00'	24.86'	24.28'	S 49°56'49" W	43°10'11"
C9	33.00'	24.86'	24.28'	S 06°46'37" W	43°10'11"
C10	33.00'	17.66'	17.45'	S 30°08'16" E	30°39'36"
C11	20.00'	21.05'	20.09'	S 15°18'43" E	60°18'42"
C12	101.75'	13.10'	13.09'	S 18°31'56" W	07°22'37"
C13	101.75'	7.33'	7.33'	S 24°17'02" W	04°07'33"
C14	31.75'	50.99'	45.69'	S 72°21'24" W	92°01'11"
C15	30.00'	47.12'	42.43'	N 16°38'01" W	90°00'00"
C16	138.25'	27.76'	27.71'	S 20°35'43" W	11°30'10"
C17	50.00'	80.30'	71.95'	N 72°21'24" E	92°01'11"
C18	120.00'	24.09'	24.05'	N 20°35'43" E	11°30'10"

PURPOSE OF PLAT

The purpose of this plat is to:

- a. Eliminate the internal property line and create 11 (eleven) new tracts of land.
- b. Grant the necessary public utility easement, private drainage easements, private access easements, private landscaping easement, public water easements and public sanitary sewer easements as shown.

Notes:

1. A boundary and topographic survey was performed in March, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within Section 25, Township 11 North, Range 2 East, N.M.P.M.
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "HUGHES".
5. Record bearings and distances are shown in parenthesis.
6. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Riverside Plaza, filed 05-18-1999, Book 99C, Page 121, Records of Bernalillo County, New Mexico.
 - b. Plat of Las Casitas Del Rio, filed 04-29-2002, Book 2002C, Page 143, Records of Bernalillo County, New Mexico.
 - c. Plat of The Preserve, filed 08-25-2003, Book 2003C, Page 260, Records of Bernalillo County, New Mexico.
 - d. Plat of Riverside Plaza, filed 09-06-2000, Book 2000C, Page 231, Records of Bernalillo County, New Mexico.
 - e. Plat of Survey of Lot 4, Riverside Plaza, prepared by Cartesian Surveys, Inc. dated 10-15-2004 (unrecorded).
 - f. Special Warranty Deed executed 11-23-2004 for Lot 4, Riverside Plaza.
 - g. Improvement Location Report of Lot 5, Riverside Plaza, prepared by Scannell Surveying, Inc. dated 06-19-2001 (unrecorded).
 - h. Policy of Title Insurance, Policy No. O-9701-383446, File No. 4090552, prepared by Stewart Title of Albuquerque, LLC dated 12-01-2004 (Lot 4).
 - i. Policy of Title Insurance, Policy No. 266595, File No. 06010483, prepared by First American Title Co. of New Mexico dated 08-17-2001 (Lot 5).
 - j. Quitclaim Deed filed 07-31-2001, Book A22, Page 6323, Doc. #2001088004, Records of Bernalillo County, New Mexico (Lot 5).
 - k. Boundary & Topographic Survey of Lots 4 and 5 Riverside Plaza prepared by this office, certified April 18, 2005. (unrecorded) JMA#2005.008.1
7. The property surveyed hereon is subject to the By-Laws of the Riverside Plaza Owners Association, Inc. filed 10-11-1999, Book 99-13, Page 9299, Doc. #1999129703, Records of Bernalillo County, New Mexico.
8. Private street mileage created by this plat = 0.08 miles (full width)
9. Gross subdivision acreage = 3.1719 acres ±.
10. Current zoning on site is SU-1 for PRD/8 DU/ACRE Requiring Landscape and Open Space Buffers, base on review of the City Of Albuquerque Zone Atlas.
11. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.



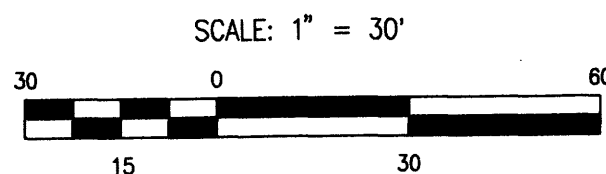
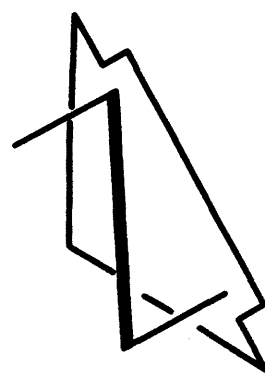
JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.008.7 50087platA.DWG

PRELIMINARY SUBDIVISION PLAT OF

PLAZA ESCONDIDO

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2005

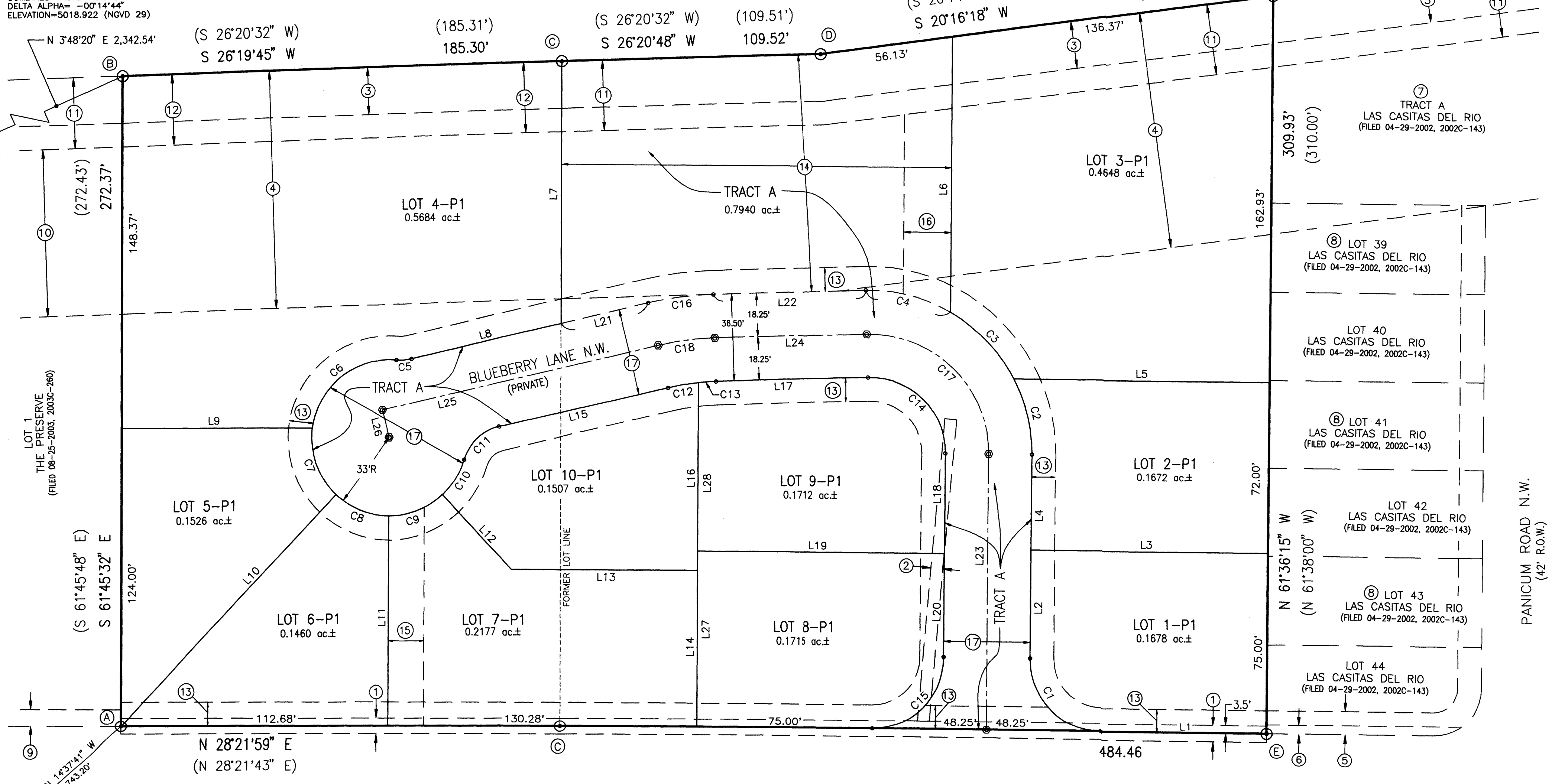
COUNTY CLERK FILING DATA



LOWER CORRALES RIVERSIDE DRAIN

(120' R.O.W. PER PLAT 99C-121)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NM448-N8"
X=372,524.25
Y=1,514,838.11
COMBINED FACTOR=0.99967854
DELTA ALPHA=-00°14'44"
ELEVATION=5018.922 (NGVD 29)



WINTER HAVEN ROAD N.W.

(60' R.O.W. PER PLAT 99C-121)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "HUGHES"
X=371,888.59
Y=1,514,316.32
COMBINED FACTOR=0.99967726
DELTA ALPHA=-00°14'50"
ELEVATION=5049.93 (NGVD 29)

TRACT 5-A5
RIVERSIDE PLAZA
(FILED 09-08-2000, 2000C-231)

TRACT 5-A3
RIVERSIDE PLAZA
(FILED 09-06-2000, 2000C-231)



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.008.7 50087plotA.DWG

KEYED NOTES

EXISTING EASEMENTS

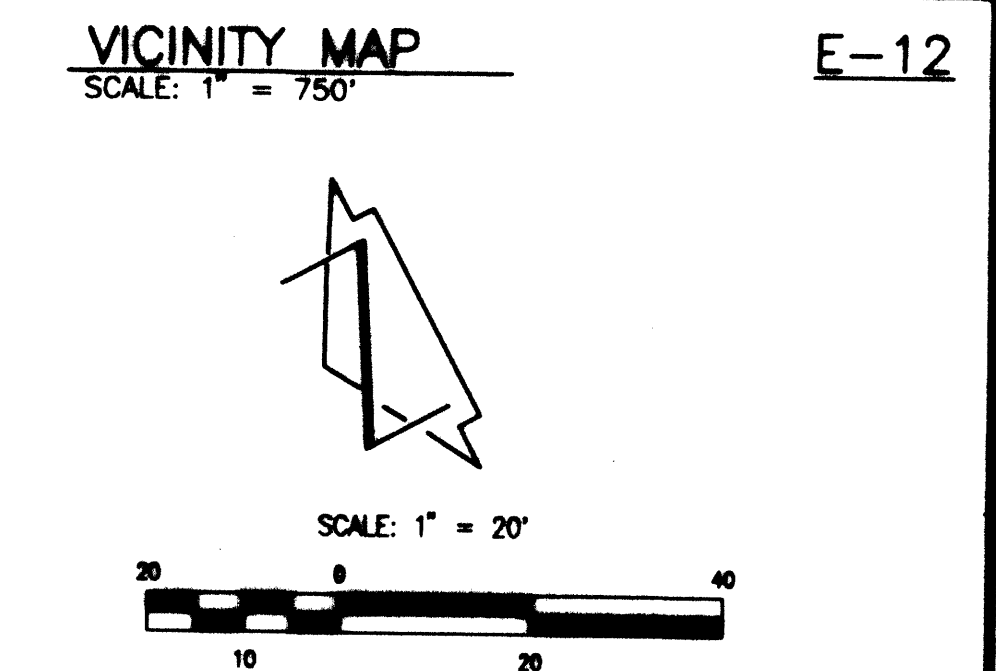
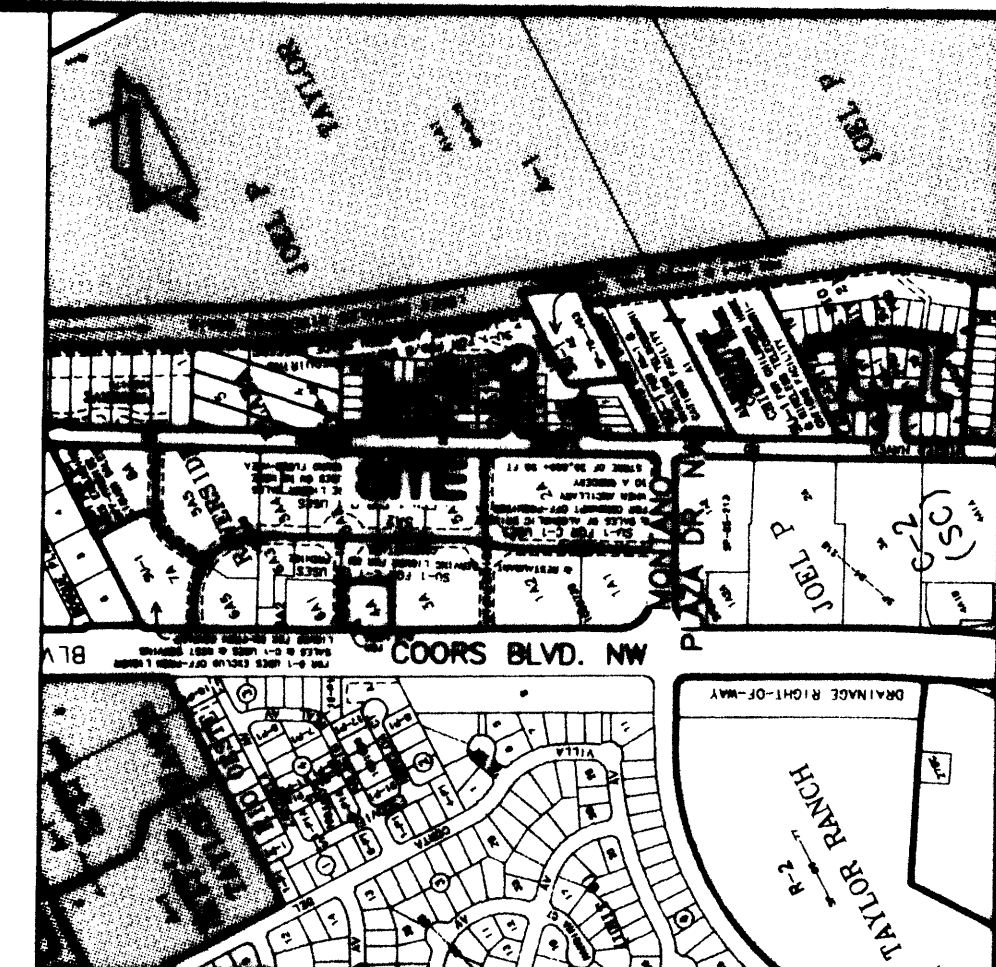
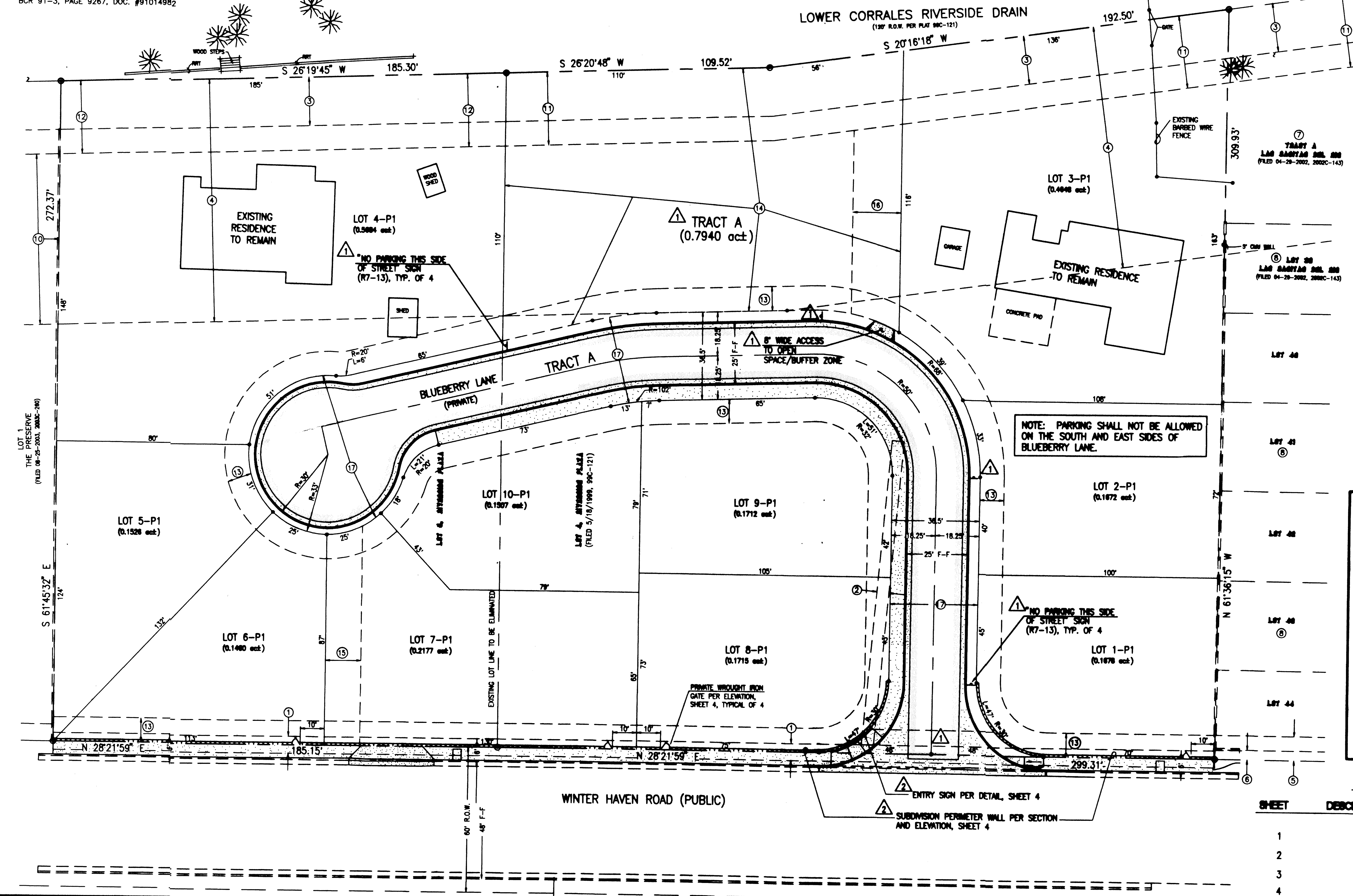
- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER AS PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑤ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑥ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

- ⑦ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑩ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑪ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑫ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.
- ⑮ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.



LEGAL DESCRIPTION
LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

EXISTING ZONING
SU-1 FOR PRD/8 DU/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS.

DENSITY
2.85 du/ac (GROSS)
4.21 du/ac (NET, EXCLUDING TRACTS A & B)

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.

PROJECT NUMBER: 1004181

Application Number: 05 EPC 00740 05 DRB 01728

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated LINE 18 2005 and the Findings and Conditions in the Official Notifications of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No

If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements. **FINANCIAL GUARANTEES ELIAD**

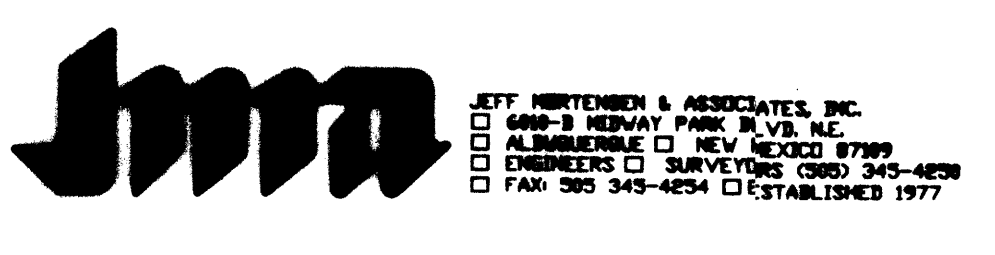
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	12-7-05
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	12-7-05
Utility Development	Date
<i>[Signature]</i>	12/7/05
Parks and Recreation Department	Date
<i>[Signature]</i>	12/7/05
City Engineer	Date
N/A	
Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
<i>[Signature]</i>	12/15/05
DRB Chairperson, Planning Department	Date

INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDIVISION
2	CONCEPTUAL GRADING AND UTILITY PLAN
3	CALCULATIONS, DRAINAGE PLAN, SECTIONS AND DETAILS
4	SUBDIVISION DESIGN STANDARDS

Plot Date: 11-07-2005
Plot Time: 08:49 am
File Path: E:\WORK\1004181\11-07-2005
File Name: 50083SPR.DWG



SITE PLAN FOR SUBDIVISION
PLAZA ESCONDIDO

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	05/05	G.M.	DELETE GROUND ENTRY, COMBINE TRACTS A AND B, ADDRESS EPC COMMENTS	2005.008.3
G.M./R.V.	10/05	G.M.	ADD WALL	DATE 05-2005
G.M.				SHEET 1 OF 4

KEYED NOTES

EXISTING EASEMENTS

- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
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- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON TRACT A BY FORTHCOMING ACTION.

LEGAL DESCRIPTION

LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

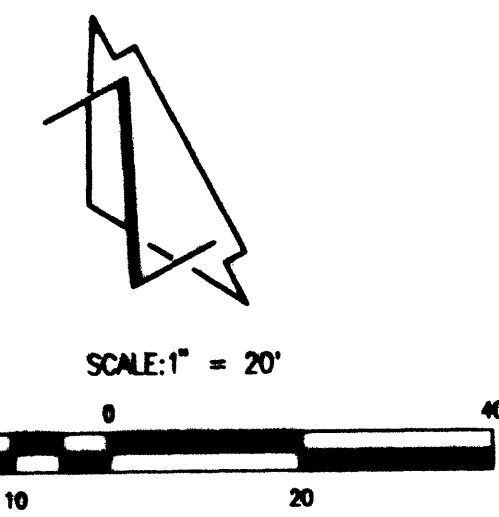
PROJECT BENCHMARK

A STANDARD USGCS BRASS TABLET, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COORS RD. APPROXIMATELY 8.1 MILES NORTH OF THE INTERSECTION OF COORS AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)

T.B.M.

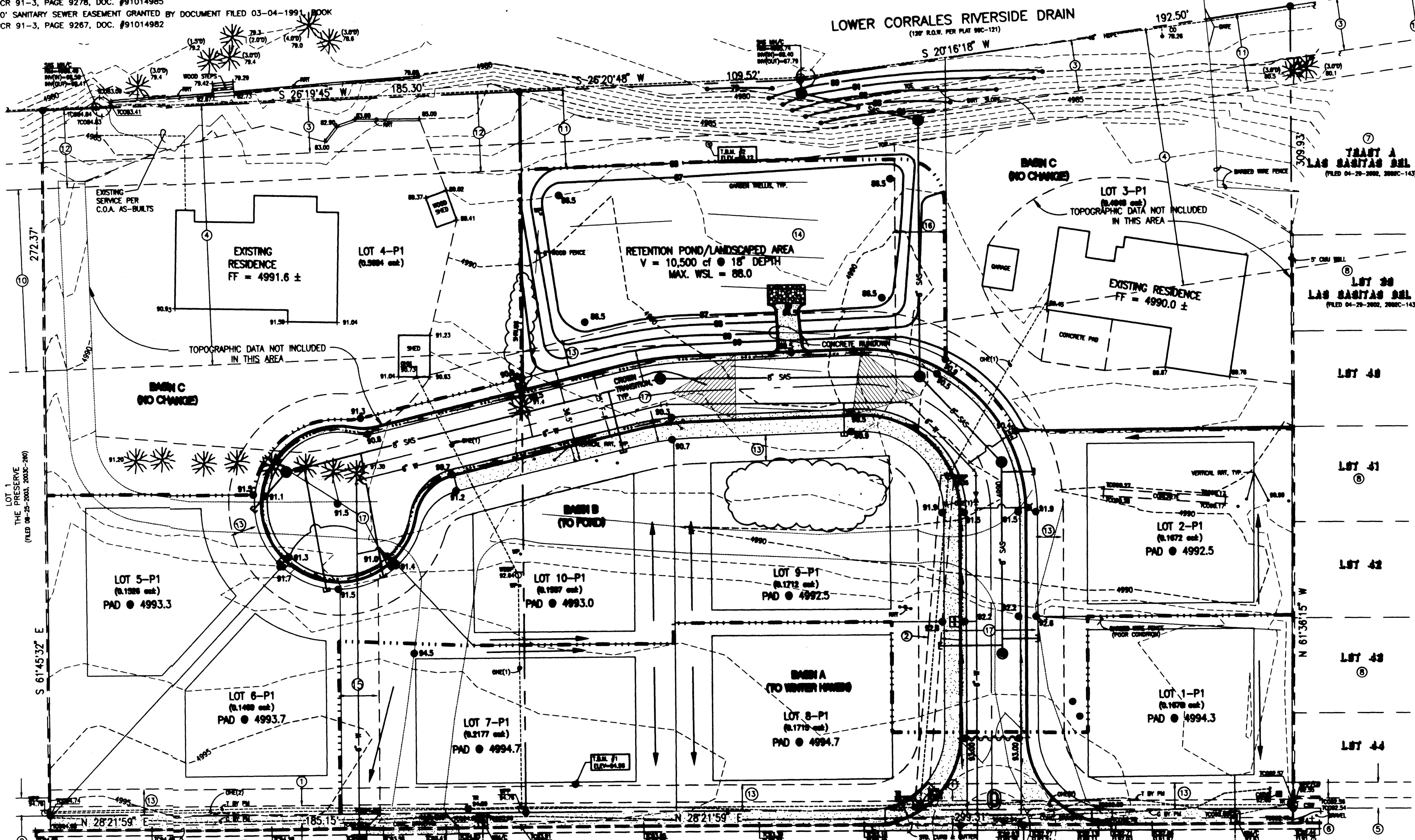
T.B.M. #1: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 240' SOUTH OF THE PL AND 16' (EAST) OF THE BACK OF THE CURB. ELEVATION = 4994.96 FEET
 T.B.M. #2: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 258' SOUTH OF THE PL AND 264' (EAST) OF THE EAST BACK OF CURB. ELEVATION = 4988.10 FEET

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



LEGEND

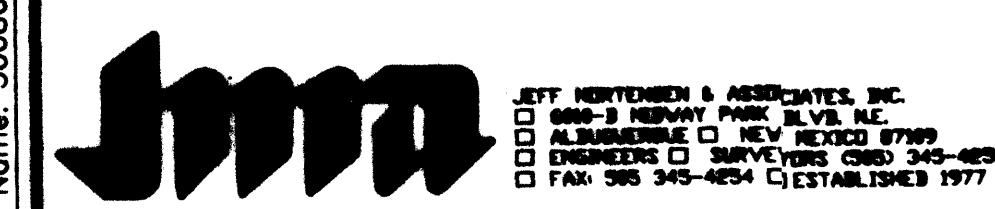
- BWF BARBED WIRE FENCE
- CATVR CABLE TELEVISION RISER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CSW CONCRETE SIDEWALK
- EA EDGE OF ASPHALT
- FL FLOWLINE
- G BY PM GAS LINE BY PAINT MARK
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- HWY HIGHWAY
- ONE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- ONE OVERHEAD ELECTRIC MIST
- PVC POLYVINYL CHLORIDE PIPE
- RRT RAILROAD TIE
- SAS MH SANITARY SEWER MANHOLE
- SAS MH/C SANITARY SEWER MANHOLE IN CONCRETE
- STD STANDARD
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TCO TOP OF CONCRETE
- TC TOP OF CURB
- TR TELEPHONE RISER
- TYP TYPICAL
- W WATER LINE
- WM/C WATER METER IN CONCRETE
- WP WOOD POST
- WPP WOOD POWER POLE
- WPP/CO WOOD POWER POLE WITH CONDUIT
- WSOP WOOD SERVICE DROP POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (CALIPER SIZE)
- EXISTING YUCCA
- SHRUB/TREE LINE
- PROPOSED SPOT ELEVATION
- FLOW LINE
- DIRECTION OF FLOW
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE



WINTER HAVEN ROAD (48' F-F, 60' R.O.W.)

CONCEPTUAL GRADING AND UTILITY PLAN
 PLAZA ESCONDIDO

DESIGNED BY	G.M.	DATE		REVISIONS	JOB NO.	2005.008.6
DRAWN BY	S.G.H./G.M.				DATE	05-2005
APPROVED BY	G.M.				SHEET	2 OF 4



JEFF HENTZEN & ASSOCIATES, INC.
 8800-3 HERMAN BLVD. NE
 ALBUQUERQUE, N.M. 87114
 ENGINEERS & SURVEYORS (C) 345-8829
 FAX: 345-345-4054 (ESTABLISHED 1977)

Plot Date: 05-02-2005
 Plot Time: 08:28 am
 File Name: 50086CG.DWG

CONCEPTUAL DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN ALBUQUERQUE'S NORTH COORS CORRIDOR WITHIN THE RIVERSIDE PLAZA SUBDIVISION AND REQUIRES SITE DEVELOPMENT PLAN APPROVAL THROUGH EPC AND DRB. THE SITE CURRENTLY CONSISTS OF TWO EXISTING HOMES ON TWO ADJACENT LOTS. 8 ADDITIONAL RESIDENTIAL HOME SITES ARE PROPOSED ALONG WITH A NEW PRIVATE GATED STREET AND A COMMON AREA TRACT LOCATED WITHIN A 100 FT BUFFER ZONE ALONG THE EASTERN BOUNDARY OF THE SITE. A PORTION OF THE REDEVELOPED SITE WILL DISCHARGE FREELY TO AN EXISTING DOWNSTREAM PUBLIC STORM DRAIN WITHIN WINTER HAVEN ROAD NW. THE TWO EXISTING HOMES WILL CONTINUE TO DRAIN TO MORGOD RIGHT-OF-WAY IN HISTORIC FASHION. THE REMAINDER OF THE SITE, CURRENTLY DRAINING TO MORGOD RIGHT-OF-WAY, WILL NOW DRAIN TO A PROPOSED ONSITE RETENTION POND. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS CONCEPTUAL DRAINAGE PLAN IS TO OBTAIN SITE DEVELOPMENT PLAN FOR SUBDIVISION APPROVAL.

II. PROJECT DESCRIPTION:

AS SHOWN BY MORTUARY MAP E-12 ON SHEET 2, THE SITE IS LOCATED IN THE RIVERSIDE PLAZA SUBDIVISION ON THE EAST SIDE OF WINTER HAVEN ROAD NW. THE SITES TO THE NORTH AND SOUTH ARE DEVELOPED RESIDENTIALLY. TO THE EAST OF THE SITE IS MORGOD RIGHT OF WAY AND THE RIO GRANDE BOSQUE. THE EXISTING LEGAL DESCRIPTION IS LOTS 4 AND 5, RIVERSIDE PLAZA. THE SITE IS ZONED SU-1/PRO. THE PROPOSED DEVELOPMENT WILL REQUIRE A ZONE MAP AMENDMENT. THE PROPOSED ZONING SU-1/PRO 80U/ACRE REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS. AS SHOWN BY PANEL 118 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

A. GRADING AND DRAINAGE PLANS FOR BOSQUE MONTANO BY TERRA WEST DATED 9/14/2000 (FILE E12/D12), LAS CASTAS DEL RIO, UNITS 1 AND 2 BY ISAACSON & ARFMAN DATED 12/18/2001 AND 8/02/2003 (FILES E12/D17 AND E12/D17A), AND THE PRESERVE SUBDIVISION BY ISAACSON & ARFMAN DATED 08/02/03 (FILE E12/D21). THESE FOUR RECENT SUBDIVISIONS, LOCATED ON THE SAME WEST SIDE OF WINTER HAVEN RD NW NORTH AND SOUTH OF THE SUBJECT SITE, ARE SIMILARLY IMPACTED BY THE 100 FOOT BOSQUE BUFFER AND ESTABLISHED THE DRAINAGE CONCEPT FOR THE AREA WHEREBY FLOWS THAT CAN BE DIRECTED TO WINTER HAVEN, SHOULD BE, AND THE BALANCE IS RETAINED WITHIN LANDSCAPED RETENTION PONDS WITHIN THE 100 FT BUFFER.

THE PROPOSED CONSTRUCTION DRAWING TO A LANDSCAPED RETENTION POND LOCATED WITHIN THE 100 FT BOSQUE BUFFER AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

IV. EXISTING CONDITIONS:

THE SITE IS DEVELOPED WITH TWO SINGLE FAMILY RESIDENCES, ONE ON EACH LOT. THE RESIDENCES HAVE RELATED LANDSCAPING AND APPURTENANCES. THE LOTS TAKE ACCESS FROM WINTER HAVEN ROAD NW, A 48 FT FACE-TO-FACE PAVED PUBLIC STREET WITH CURB AND GUTTER. THERE ARE RESIDENTIAL SUBDIVISIONS TO THE NORTH AND SOUTH. THE RIO GRANDE BOSQUE AND THE MORGOD LOWER CORRALES RIVERSIDE DRAIN LIE TO THE EAST.

V. DEVELOPED CONDITIONS

IN ADDITION TO THE TWO EXISTING HOMES TO REMAIN, 8 NEW RESIDENTIAL SINGLE FAMILY LOTS ARE PROPOSED WITH A PRIVATE INTERNAL STREET AND A COMMON AREA LANDSCAPING AND RETENTION POND AREA WITHIN THE BUFFER ZONE. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN A WILL DRAIN TO THE EAST TO WINTER HAVEN ROAD NW. BASIN B IS THE LARGEST BASIN AND IT WILL DRAIN TO THE ONSITE RETENTION POND. BASIN C IS THE EXISTING HOMES WHICH WILL CONTINUE TO DRAIN TO THE MORGOD RIGHT-OF-WAY IN HISTORIC FASHION. THE PRIVATE STREET AND POND TRACT WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

VI. CONCEPTUAL GRADING PLAN

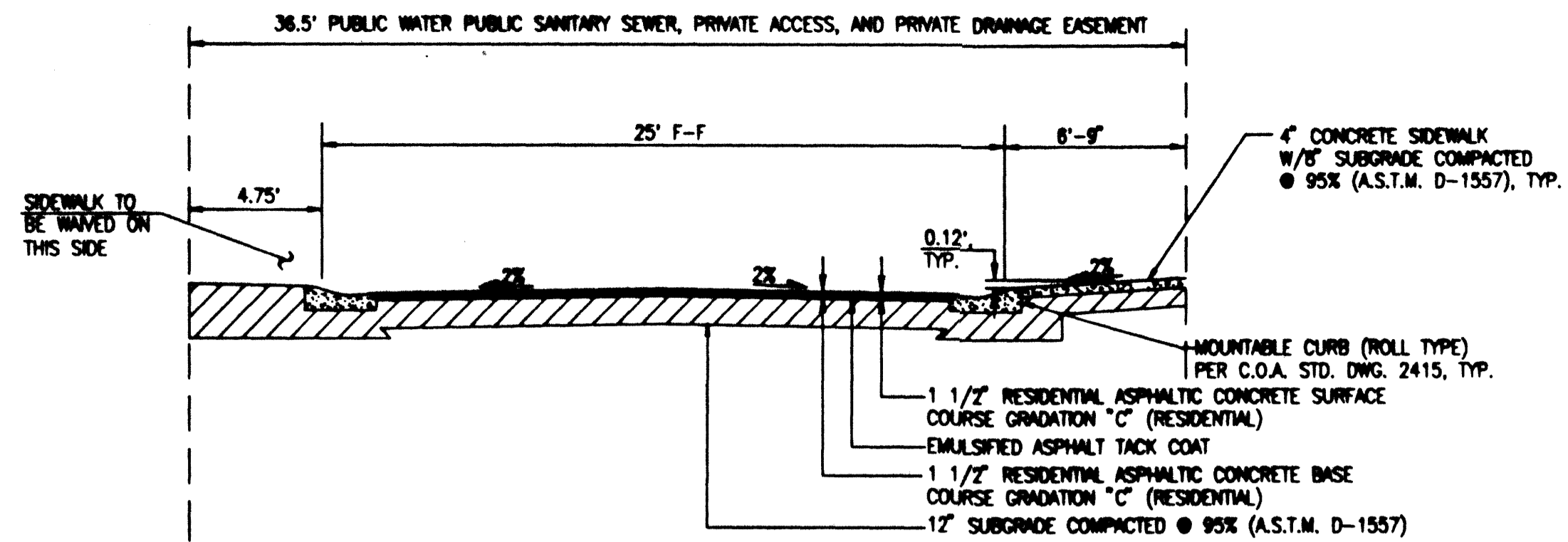
THE GRADING PLAN ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM AN APRIL, 2005 TOPOGRAPHIC SURVEY BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

VIII. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS IN THIS AREA.
- 2) DEVELOPED RUNOFF FROM A PORTION OF THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAIN IMPROVEMENTS IN WINTER HAVEN. THE REMAINING RUNOFF WILL BE RETAINED IN A PRIVATE RETENTION POND TO BE OWNED OPERATED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES ANTICIPATED AT THIS TIME.
- 4) THE PROPOSED RETENTION POND WILL REQUIRE A DRAINAGE EASEMENT AND AN AGREEMENT AND COVENANT.
- 5) A SEPARATE DRAINAGE SUBMITTAL WILL BE MADE FOR PRELIMINARY PLAT APPROVAL. THIS SUBMITTAL WILL NEED TO DEMONSTRATE STREET AND PONDING CAPACITIES.



TYPICAL PRIVATE STREET SECTION
SCALE: 1" = 5'

CALCULATIONS

I. PRECIPITATION ZONE = 1

II. $P_{8,100} = P_{300} = 2.20$

III. TOTAL AREA (A_T) = 3.1716 AC

IV. EXISTING LAND TREATMENT

TREATMENT	AREA (AC)	%
B	2.0900	65
C	0.3171	10
D	0.1585	05

V. DEVELOPED LAND TREATMENT

TREATMENT	AREA (SF/AC)	%
B	1.1100	35
C	0.7929	25
D	1.2687	40

VI. EXISTING CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (0.87(2.0900) + 0.99(0.3171) + 1.97(0.1585)) / 3.1716 = 0.78 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (0.78 / 12) 3.1716 = 0.2001 \text{ ac-ft} = 8716 \text{ CF}$$

$$V_{10} = V_{100} + A_T [(P_{10} - P_{100}) / 12] = 0.2001 + 3.1716 [(3.67 - 2.20) / 12] = 0.2195 \text{ ac-ft} = 9561 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(2.0900) + 2.87(0.3171) + 4.37(0.1585) = 6.6 \text{ cfs}$$

VII. DEVELOPED CONDITION

A. VOLUME

$$E_w = (E_A A_A + E_B A_B + E_C A_C + E_D A_D) / A_T$$

$$E_w = (0.87(1.1100) + 0.99(0.7929) + 1.97(1.2687)) / 3.1716 = 1.27 \text{ IN}$$

$$V_{100} = (E_w / 12) A_T$$

$$V_{100} = (1.27 / 12) 3.1716 = 0.3356 \text{ ac-ft} = 14819 \text{ CF}$$

$$V_{10} = V_{100} + A_T [(P_{10} - P_{100}) / 12] = 0.3356 + 3.1716 [(3.67 - 2.20) / 12] = 0.4910 \text{ ac-ft} = 21388 \text{ CF}$$

B. PEAK DISCHARGE

$$Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D$$

$$Q_p = Q_{pB} A_B + Q_{pD} A_D$$

$$Q_p = Q_{100} = 2.03(1.1100) + 2.87(0.7929) + 4.37(1.2687) = 10.1 \text{ cfs}$$

VIII. COMPARISON

A. VOLUME

$$\Delta V_{100} = 14819 - 8716 = 5903 \text{ CF (INCREASE)}$$

$$\Delta V_{10} = 21388 - 9561 = 11827 \text{ CF (INCREASE)}$$

B. PEAK DISCHARGE

$$\Delta Q_{100} = 10.1 - 6.6 = 3.5 \text{ cfs (INCREASE)}$$

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.
4. UNLESS FINAL STABILIZATION IS OTHERWISE PROVIDED FOR, ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

POND VOLUME CALCULATIONS

LOTS 1, 7 AND 8 WILL DRAIN TO WINTER HAVEN. EXISTING HOMES (LOTS 3 & 4) WILL NOT BE DISTURBED AND WILL CONTINUE TO DRAIN TO BOSQUE.

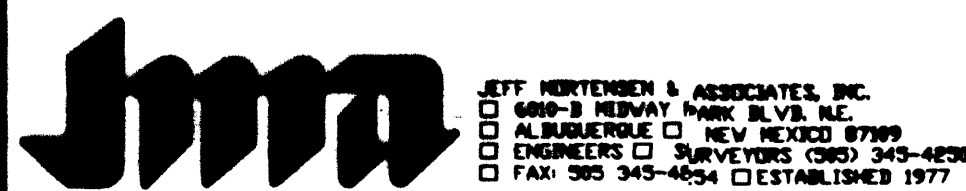
REMAINING SITE AREA IS 1.52 ac (BASIN B)

1.52 ac / 3.17 ac = 0.48% OF SITE

$$Q_{100} (\text{POND}) = (0.48)(Q_{100}) = (0.48)(10.1) = 4.8 \text{ cfs}$$

$$V_{10 \text{ DAY}} (\text{POND}) = (0.48)(V_{10 \text{ DAYS}}) = (0.48)(21,388) = 10,270 \text{ cf}$$

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File Name: 50066D.DWG
Plot Date: 04-29-2005
Plot Time: 3:48 PM



DRAINAGE PLAN, CALCULATIONS, SECTIONS AND DETAILS
PLAZA ESCONDIDO

DESIGNED BY	DRAWN BY	APPROVED BY	REVISIONS				JOB NO.
			NO.	DATE	BY	DESCRIPTION	
G.L.	R.E.V.	G.L.					2005.008.6
							DATE 05-2005
							SHEET 3 OF 4



Design Standards

For:
Plaza Escondido
Riverside Plaza Lots 4 & 5

The following design standards are for eight custom-designed single family residences in addition to the two existing residences grandfathered on the site for a total of ten to be built in Riverside Plaza Subdivision. Tract 4 & 5 are located to the east of the Riverside Plaza commercial development on Winter Haven Road NW. Plaza Escondido subdivision is envisioned to offer potential residents the unique opportunity to live and recreate in a natural setting adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision of high quality and in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Plaza Escondido shall encourage contemporary architectural design creatively in harmony with its natural setting adjacent to the Rio Grande Bosque. As a unique high-quality development, builders and designers shall use architectural details and materials consistent with this goal. To promote a natural and unique look to this subdivision, no particular architectural style shall be prescribed. Architectural styles approved, but not limited to, shall include Territorial, Pueblo, Pueblo Revival, Contemporary Pueblo, Northern New Mexican, Spanish Colonial, Regional and Contemporary Modern and Victorian. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have a garage of not less than two car spaces and sufficient parking for an additional two vehicles on the site, so a minimum of four parking spaces are provided. Independent garage structures are permissible on each lot.

C. Setbacks

1. Front Yard setback - 20 feet
2. Side Yard setback - 5 feet
3. Rear Yard Setback - 15 feet

D. Building Materials

Building materials for homes in Plaza Escondido shall be consistent with the architectural character and style of each homes design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, wood, stone, adobe, concrete masonry unit, glass, glass block, natural tile, ceramic tile, copper and galvanized metal.

E. Building Height and Density

The maximum allowed height is 26 feet or as permitted by the City of Albuquerque Zoning Code.

F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the property line of the residences). Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof mounted equipment shall be screened with materials architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All electrical distribution lines shall be placed underground.
4. Transformers, utility pods, and telephone risers shall be appropriately screened with walls and/or vegetation when viewed from the Private Street Easement.

G. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, Coors Corridor Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

1. Street trees shall be provided along Winter Haven at the rate of one tree per 50 lineal feet. The may be random or consistently placed.
2. Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
3. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Street Easement.
4. Minimum sizes of required plants at time of installation shall be as follows:
- Trees 2 1/2" cal.
- Shrubs and Groundcover 1-5 Gal.
5. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
6. Streetscape is to be covered in landscaping since all lots are bordering a street and sizes and types are already specified within these specifications.
7. Interior Landscape Each individual lot will be landscaped using the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
8. Buffer Zone Open Space Area 2-1/2 cal Rio Grande Cottonwood groves shall be placed in this area, (a minimum of 6 total trees) with groupings of Fourwing Saltbush and Deergrass (a combined minimum of 25). The above plantings shall be on an automatic trickle irrigation system. The trees will not be located within the public sanitary sewer easements. The balance of the area shall be crimped straw/native seed with wildflower mix. The space is also designated to have a community type gazebo or small outbuilding for the benefit of all residents within the subdivision to promote community activities within the subdivision.

H. Bosque Open Space

This subdivision promotes the goals of the Coors Corridor Plan in providing a 100-foot buffer zone from the Rio Grande State Park, with the exception of the two grandfathered non-compliant sites within the subdivision that have occupied their respective sites for several years prior to the enactment of the Coors Corridor Plan. Therefore, the middle easterly lot has been designated Open space and is intended for the enjoyment of all residents of the subdivision while preserving the natural habitat of the Bosque and providing access to the Rio Grande State Park.

1. Recreational and agricultural uses and improvements shall be permitted within this lot and be accessible to all residents of the subdivision.
2. Apparatus for viewing for birds and wildlife shall be permitted within the Bosque Open Space. A gazebo or other such outbuilding shall be permitted within the Bosque Open Space to allow community type activities within the Open Space Area.
3. Walls at each adjacent property line within the Open Space Area shall be permitted.

I. Pedestrian Circulation

1. A five (5) foot sidewalk shall be installed by the developer along Winter Haven Road NW per City Standards to blend in at each end with the connecting sidewalks already in place.
2. Sidewalk to be installed along internal Private Street on the north and west sides only.

J. Wall/ Fences

In order to mitigate the impact of the commercial/office activity developing at Riverside Plaza to the west, a perimeter wall shall be installed along Winter Haven Road NW.

1. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
2. The perimeter western subdivision wall shall be decorative concrete masonry unit (CMU) or CMU with stucco finish with occasional accent openings and shall be an average height of 6 feet with a maximum height of 8 feet at the northern end. Wall shall be installed and paid for by the Developer.
3. An automobile entry of the private street located along Winter Haven Road NW with ingress and egress automatic gates shall be installed and paid for by the Developer.

4. No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.

K. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures shall conform to State and local safety and illumination requirements.
2. The mounting height of luminaries for site lighting at the main automobile entry shall be no higher than twelve feet.
3. Site and residential lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
4. Due to the small number of residences in this subdivision and in keeping with its natural setting, no internal streetlights are proposed.

L. Signs

Entry signage shall be incorporated into or near the perimeter wall at the automobile entry along Winter Haven Road NW, which shall be consistent with the materials and architectural character of the subdivision.

M. Solid Waste

1. Each lot/home shall have a storage area for residential automated carts, not visible from the private street access.
2. Pick up locations will be determined as the need arises.

N. Review for Compliance

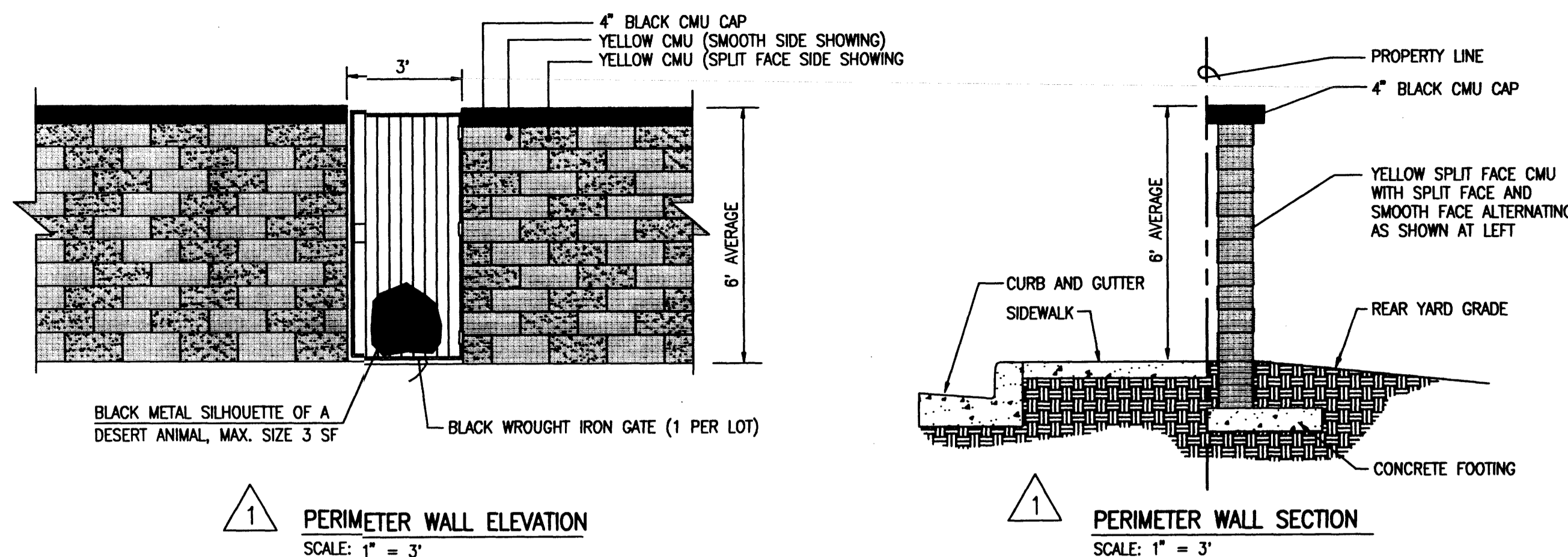
The developer shall review the compliance of any structure or improvement within the subdivision.

O. Vacant Lots/ Destruction

1. There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
2. The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

P. Restricted Activities

1. The use of any trailer, motor home, boat, shack or tent as a residence either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of the house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, short wave, television or other), either temporarily or permanently, is prohibited without the prior approval of the Developer.
3. The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer and must be of similar architectural character as the house.
4. The storage of boats, motor homes or trailers is not permitted on the cul-de-sac.

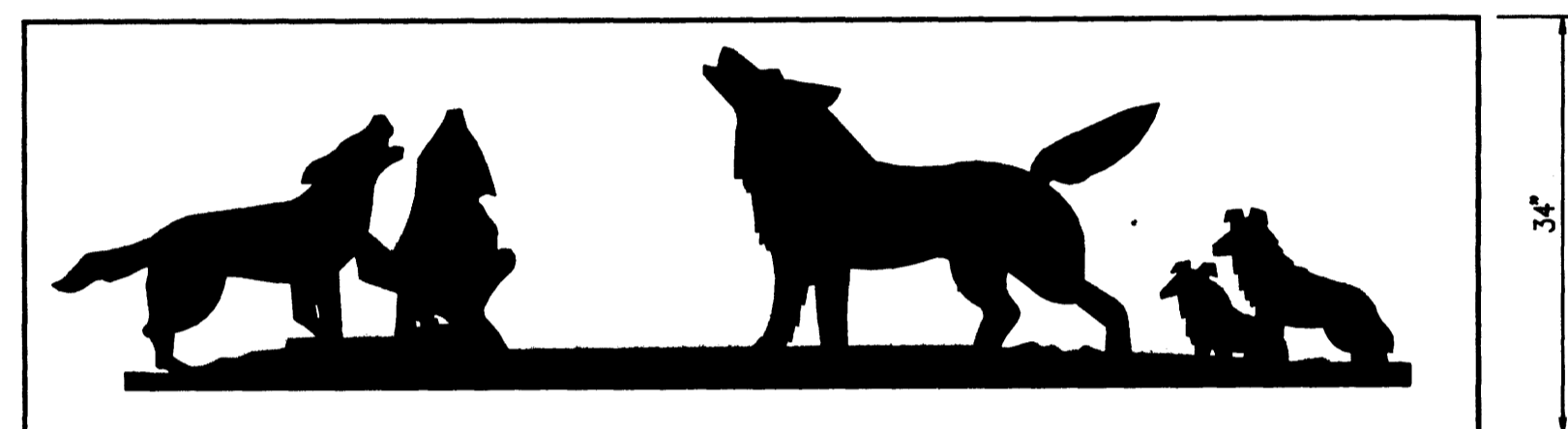


1 PERIMETER WALL ELEVATION
SCALE: 1" = 3'

1 PERIMETER WALL SECTION
SCALE: 1" = 3'

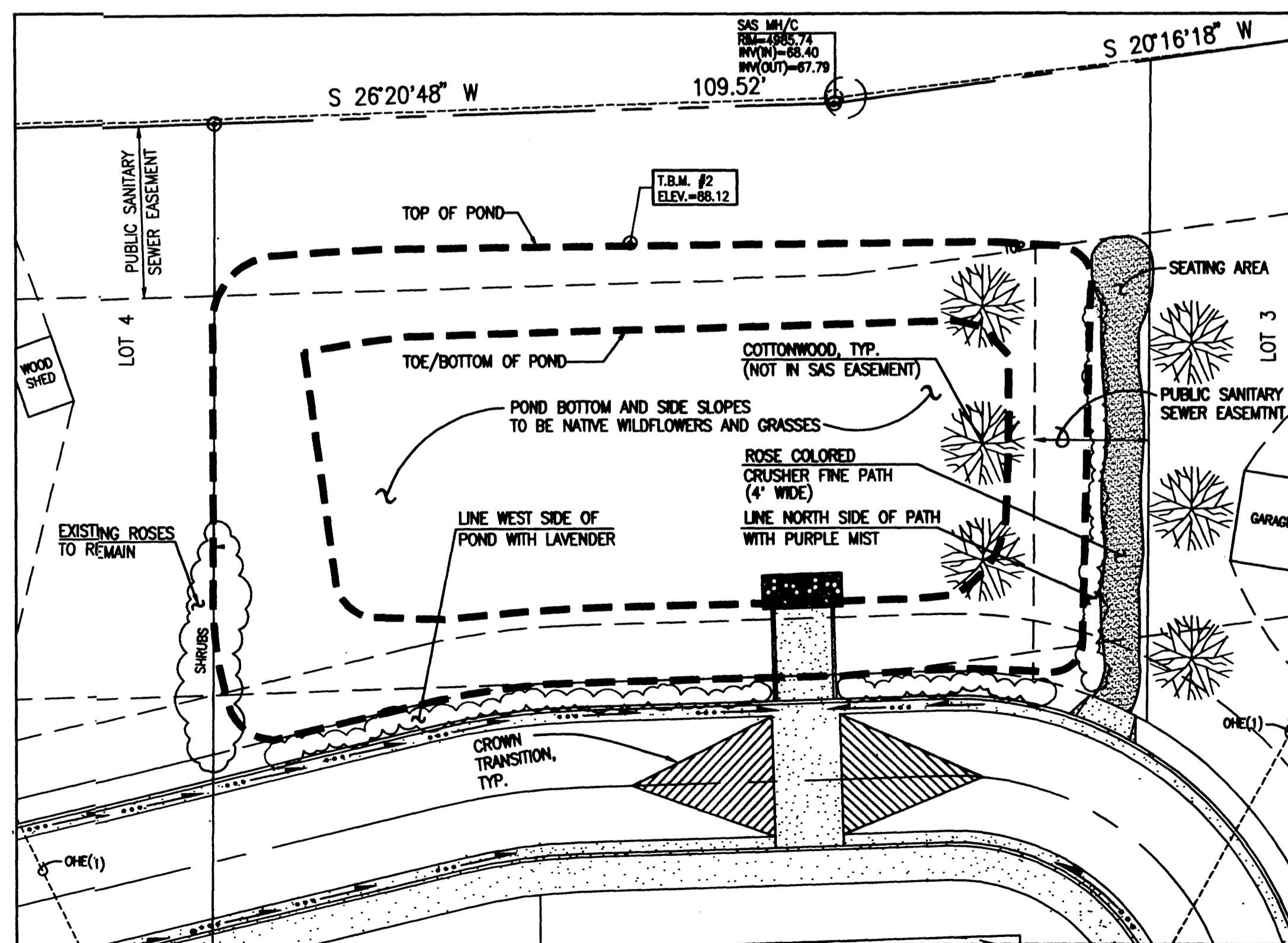
ALL CMU BLOCKS TO BE YELLOW SPLIT FACE FROM UTILITY BLOCK COMPANY WITH ALTERNATING FACES FRONT AND BACK

Plaza Escondido
12" TALL LETTERS



1 ENTRY SIGN DETAIL
(N.T.S.)

SIGN TO BE BLACK METAL LETTERING AND COYOTE SILHOUETTE MOUNTED ON WALL WITH HIDDEN SPACER BRACKETS TO RAISE METAL 1 1/2" FROM WALL FACE.



1 BUFFER LANDSCAPING CONCEPT
SCALE: 1" = 20'

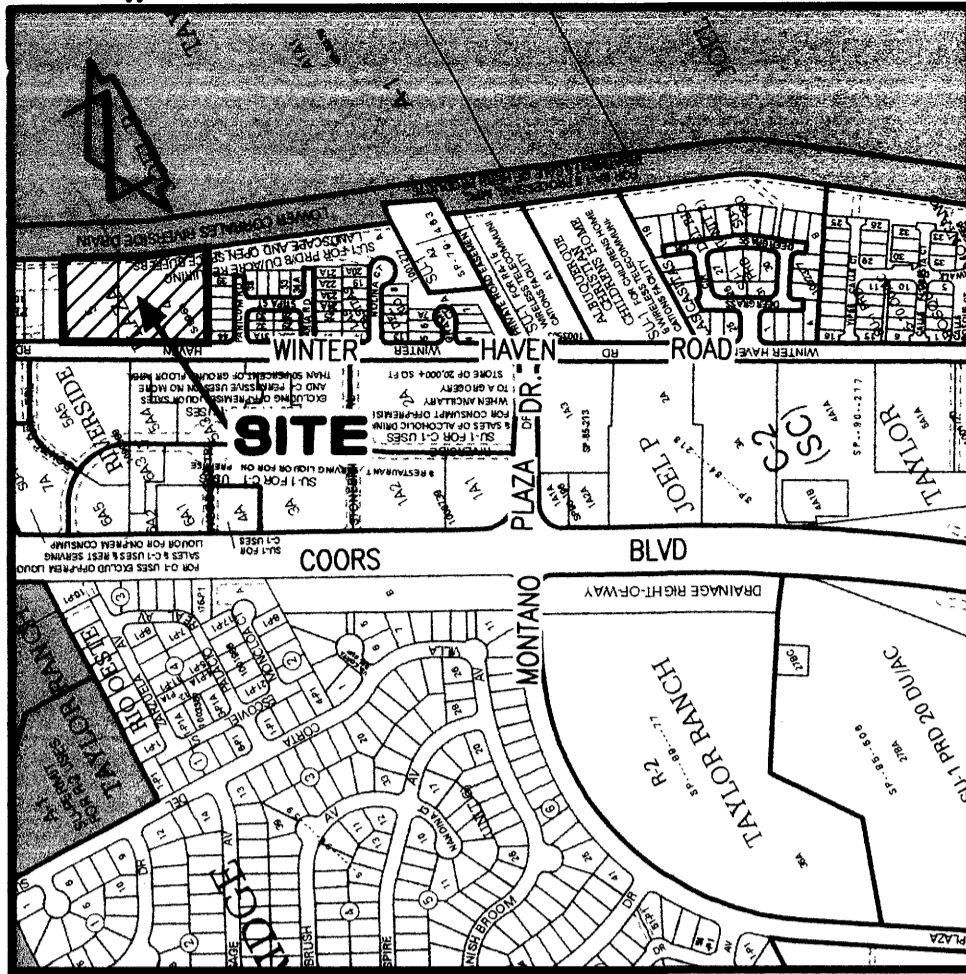
Plot Date: 12-06-2005
Plot Time: 3:59 pm
File Path: E:\WORK\2005\50083DC.DWG
File Name: 50083DC.DWG



JEFF HERTENSEN & ASSOCIATES, INC.
6100-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (S) 343-4250
FAX: 505-343-4254 (ESTABLISHED 1977)

SUBDIVISION DESIGN STANDARDS PLAZA ESCONDIDO

DESIGNED BY	OWNER	ML	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	R.R.W.	11/05	G.M.	ADDRESS EPC CONDITIONS	2005.008.3	
APPROVED BY	OWNER	12/05	G.M.	DELETE GATED ENTRY	DATE 05-2005	
					SHEET 4 OF 4	



VICINITY MAP

SCALE: 1" = 750'

E-12

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that we hold complete and indefeasible title in fee simple to the land subdivided, hereon.

William T. Brennan
 William T. Brennan 25 May 07
 Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS



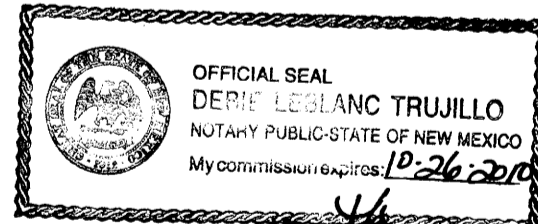
This instrument was acknowledged before me on this 25th day of May, 2007, by William T. Brennan.

Debie LeBlanc Trujillo
 Notary Public

Benita Brennan
 Benita Brennan 5/25/07
 Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS



This instrument was acknowledged before me on this 25 day of May, 2007, by Benita Brennan.

Debie LeBlanc Trujillo
 Notary Public

LEGAL DESCRIPTION

Lots 4 and 5, Riverside Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 18, 1999, Book 99C, Page 121.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

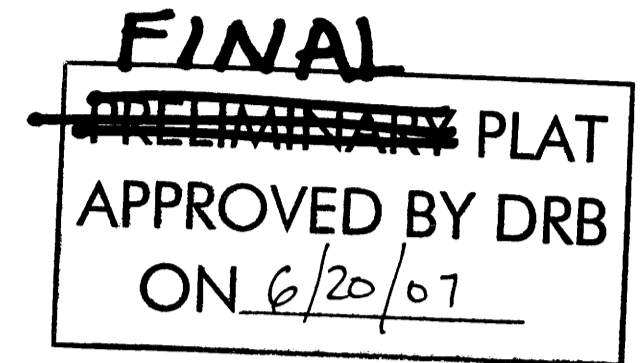
1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

SUBDIVISION PLAT OF
PLAZA ESCONDIDO
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MAY, 2007

WILLIAM T. BRENNAN
 BENITA BRENNAN
 OWNER
 SEC. 25, T 11 N, R 2 E, N.M.P.M.
 LOCATION
 PLAZA ESCONDIDO
 SUBDIVISION

COUNTY CLERK FILING DATA



DRB PROJECT NUMBER: 1004161

APPLICATION NUMBERS: 05EPC-00740, 05DRB-01091

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

A.M.A.F.C.A. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Charles G. Cala, Jr.
 CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO 5-29-07
 DATE

N/A
 REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

P.N.M. ELECTRIC SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

P.N.M. GAS SERVICES DATE

COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
 Charles G. Cala, Jr., NMPS 11184



05-25-2007
 Date



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.008.8 50088final.DWG

SUBMISION PLAT OF
PLAZA ESCONDIDO
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑪ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑫ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

- ⑤ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑥ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑦ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

NEW EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY THIS PLAT.
- ⑭ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE DRAINAGE EASEMENT, PRIVATE NON-VEHICULAR ACCESS EASEMENT AND PRIVATE LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUSIVE. MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON _____-2007, BOOK _____, PAGES _____.
- ⑮ 15' PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑰ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUSIVE, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. MAINTENANCE OF THE PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON _____-2007, BOOK _____, PAGES _____.
- ⑱ 10' CITY OF ALBUQUERQUE PUBLIC ACCESS EASEMENT GRANTED BY THIS PLAT.
- ⑲ PUBLIC WATER METER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑳ PUBLIC VEHICULAR TURN-AROUND EASEMENT GRANTED BY THIS PLAT. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING HOMEOWNER.

MONUMENTS

- (A) #5 REBAR W/CAP STAMPED "111808 HUGG", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) #5 REBAR W/CAP STAMPED "HUGG 9750", TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (D) COULD NOT SET (ON MANHOLE COVER)
- (E) SET CHISELED "+" ON CONCRETE

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
L1	N 28°21'59" E	70.00'	L15	S 14°50'38" W	73.19'
L2	S 61°38'01" E	45.00'	L16	N 61°38'01" W	79.17'
L3	S 28°21'59" W	100.04'	L17	S 26°20'48" W	64.86'
L4	S 61°38'01" E	40.25'	L18	N 61°38'01" W	42.25'
L5	S 28°21'59" W	107.91'	L19	S 28°21'59" W	105.00'
L6	S 61°38'01" E	115.96'	L20	N 61°38'01" W	43.00'
L7	N 61°44'54" W	110.37'	L21	S 14°50'38" W	37.76'
L8	N 14°50'38" E	64.62'	L22	S 26°20'48" W	64.86'
L9	N 28°21'59" E	80.17'	L23	S 61°38'01" E	115.25'
L10	N 18°28'06" W	131.70'	L24	N 26°20'48" E	64.86'
L11	N 61°38'01" W	87.13'	L25	N 14°50'38" E	119.23'
L12	S 75°11'32" W	42.60'	L26	N 75°09'22" W	12.00'
L13	S 28°21'59" W	78.56'	L27	S 61°38'01" E	73.00'
L14	N 61°38'01" W	65.00'	L28	S 61°38'01" E	71.17'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	30.00'	47.12'	42.43'	N 73°21'59" E	90°00'00"
C2	68.25'	33.03'	32.71'	S 75°29'48" E	27°43'34"
C3	68.25'	39.28'	38.74'	N 74°09'10" E	32°58'31"
C4	68.25'	37.31'	36.84'	N 42°00'21" E	31°19'07"
C5	20.00'	6.47'	6.44'	N 24°06'46" E	18°32'17"
C6	33.00'	50.85'	45.96'	N 10°45'33" W	88°16'55"
C7	33.00'	30.85'	29.74'	N 81°41'03" W	53°34'05"
C8	33.00'	24.86'	24.28'	S 49°56'49" W	43°10'11"
C9	33.00'	24.86'	24.28'	S 06°46'37" W	43°10'11"
C10	33.00'	17.66'	17.45'	S 30°08'16" E	30°39'36"
C11	20.00'	21.05'	20.09'	S 15°18'43" E	60°18'42"
C12	101.75'	13.10'	13.09'	S 18°31'56" W	07°22'37"
C13	101.75'	7.33'	7.33'	S 24°17'02" W	04°07'33"
C14	31.75'	50.99'	45.69'	S 72°21'24" W	92°01'11"
C15	30.00'	47.12'	42.43'	N 16°38'01" W	90°00'00"
C16	138.25'	27.76'	27.71'	S 20°35'43" W	11°30'10"
C17	50.00'	80.30'	71.95'	N 72°21'24" E	92°01'11"
C18	120.00'	24.09'	24.05'	N 20°35'43" E	11°30'10"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
E1	N 76°05'56" E	17.30'	E4	S 18°28'06" E	3.01'
E2	S 76°05'56" W	17.30'	E5	S 28°21'59" W	51.78'
E3	N 18°28'06" W	3.01'			

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
T1	33.00'	19.67'	19.38'	N 16°18'31" E	34°08'47"
EC1	50.00'	15.06'	15.00'	N 13°54'04" W	17°15'14"
EC2	33.00'	15.13'	15.00'	S 13°54'04" E	26°16'23"
EC3	33.00'	3.00'	3.00'	N 74°08'23" E	05°12'58"
EC4	36.00'	6.01'	6.00'	S 71°31'54" W	09°33'37"
EC5	33.00'	3.00'	3.00'	N 68°55'26" E	05°12'57"
EC6	30.00'	25.23'	24.50'	S 04°16'18" W	48°11'23"
EC7	30.00'	25.23'	24.50'	S 52°27'41" W	48°11'23"

Notes:

- 1. A boundary and topographic survey was performed in March, 2005. Property corners were found or set as indicated.
- 2. All distances are ground distances.
- 3. Site located within Section 25, Township 11 North, Range 2 East, N.M.P.M.
- 4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "HUGHES".
- 5. Record bearings and distances are shown in parenthesis.
- 6. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Riverside Plaza, filed 05-18-1999, Book 99C, Page 121, Records of Bernalillo County, New Mexico.
 - b. Plat of Las Casitas Del Rio, filed 04-29-2002, Book 2002C, Page 143, Records of Bernalillo County, New Mexico.
 - c. Plat of The Preserve, filed 08-25-2003, Book 2003C, Page 260, Records of Bernalillo County, New Mexico.
 - d. Plat of Riverside Plaza, filed 09-06-2000, Book 2000C, Page 231, Records of Bernalillo County, New Mexico.
 - e. Plat of Survey of Lot 4, Riverside Plaza, prepared by Cartesian Surveys, Inc. dated 10-15-2004 (unrecorded).
 - f. Special Warranty Deed executed 11-23-2004 for Lot 4, Riverside Plaza.
 - g. Improvement Location Report of Lot 5, Riverside Plaza, prepared by Scannell Surveying, Inc. dated 06-19-2001 (unrecorded).
 - h. Policy of Title Insurance, Policy No. O-9701-383446, File No. 4090552, prepared by Stewart Title of Albuquerque, LLC dated 12-01-2004 (Lot 4).
 - i. Policy of Title Insurance, Policy No. 266595, File No. 06010483, prepared by First American Title Co. of New Mexico dated 08-17-2001 (Lot 5).
 - j. Quitclaim Deed filed 07-31-2001, Book A22, Page 6323, Doc. #2001088004, Records of Bernalillo County, New Mexico (Lot 5).
 - k. Boundary & Topographic Survey of Lots 4 and 5 Riverside Plaza prepared by this office, certified April 18, 2005. (unrecorded) JMA#2005.008.1
- 7. The property surveyed hereon is subject to the By-Laws of the Riverside Plaza Owners Association, Inc. filed 10-11-1999, Book 99-13, Page 9299, Doc. #1999129703, Records of Bernalillo County, New Mexico.
- 8. Private street mileage created by this plat = 0.08 miles (full width)
- 9. Gross subdivision acreage = 3.1719 acres ±.
- 10. Current zoning on site is SU-1 for PRD/8 DU/ACRE Requiring Landscape and Open Space Buffers, base on review of the City Of Albuquerque Zone Atlas.
- 11. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
- 12. The purpose of this plat is to:
 - a. Eliminate the internal property line and create 11 (eleven) new lots.
 - b. Grant the necessary public utility easement, private drainage easements, private access easements, private landscaping easement, public water easements, public sanitary sewer easements and public access easements as shown.



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.008.8 50088final.DWG

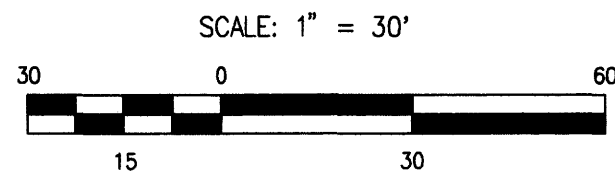
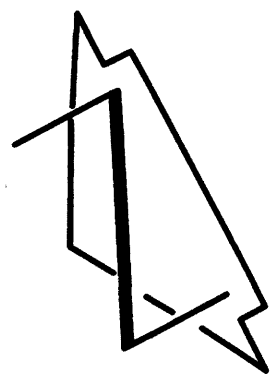
SUBDIVISION PLAT OF

PLAZA ESCONDIDO

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

MAY, 2007

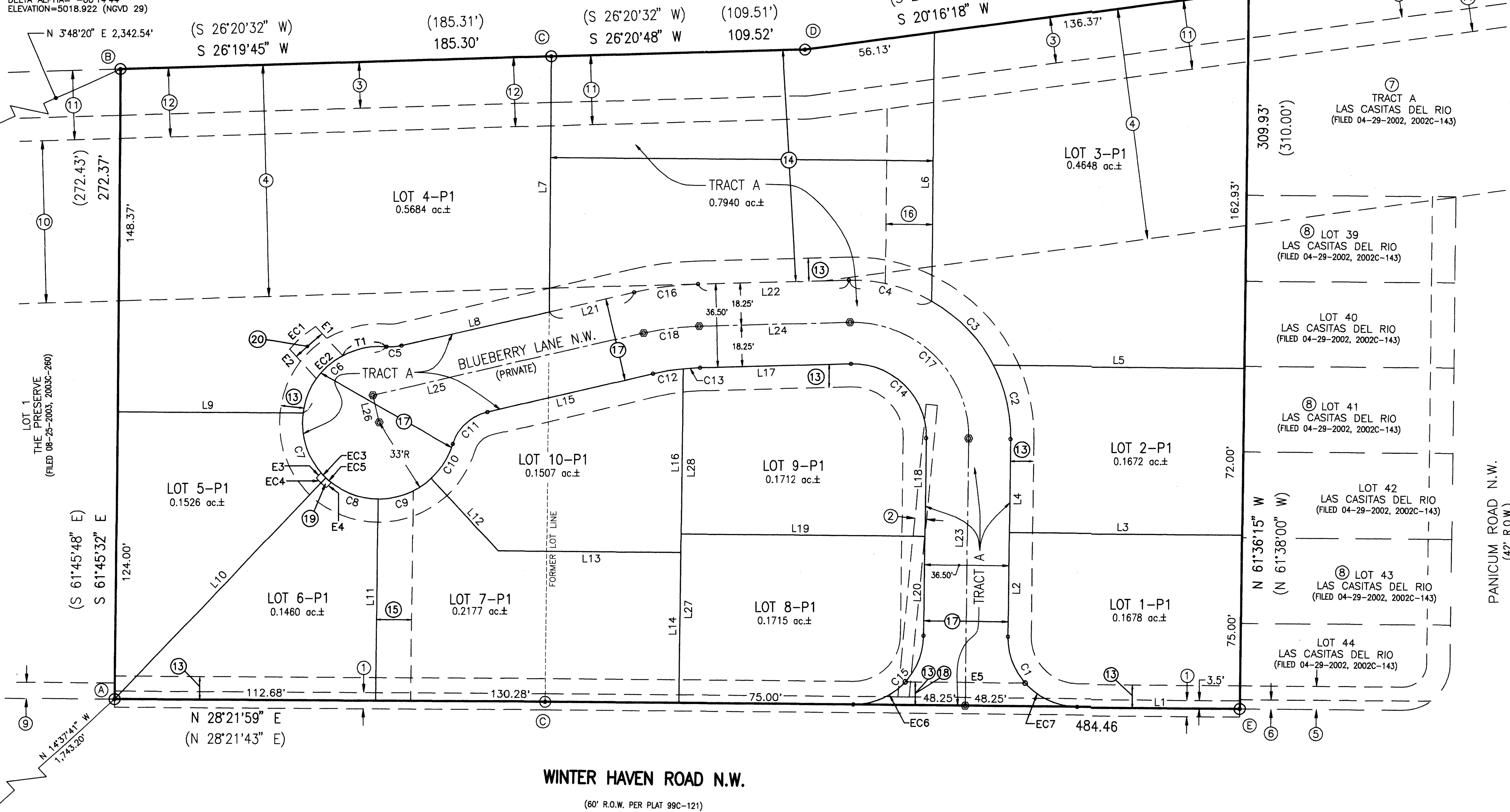
COUNTY CLERK FILING DATA



LOWER CORRALES RIVERSIDE DRAIN

(120' R.O.W. PER PLAT 99C-121)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NM448-N8"
X=372,524.25
Y=1,514,838.11
COMBINED FACTOR=0.99967854
DELTA ALPHA=-00°14'44"
ELEVATION=5018.922 (NGVD 29)



LOT 1
THE PRESERVE
(FILED 08-25-2005, 2003C-260)

(S 61°45'48" E)
S 61°45'32" E

LOT 5-P1
0.1526 ac.±

LOT 6-P1
0.1460 ac.±

LOT 7-P1
0.2177 ac.±

LOT 10-P1
0.1507 ac.±

LOT 9-P1
0.1712 ac.±

LOT 8-P1
0.1715 ac.±

LOT 9-P1
0.1712 ac.±

LOT 2-P1
0.1672 ac.±

LOT 1-P1
0.1678 ac.±

LOT 4-P1
0.5684 ac.±

TRACT A
0.7940 ac.±

LOT 3-P1
0.4648 ac.±

TRACT A
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 39
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 40
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 41
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 42
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 43
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 44
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

WINTER HAVEN ROAD N.W.

(60' R.O.W. PER PLAT 99C-121)

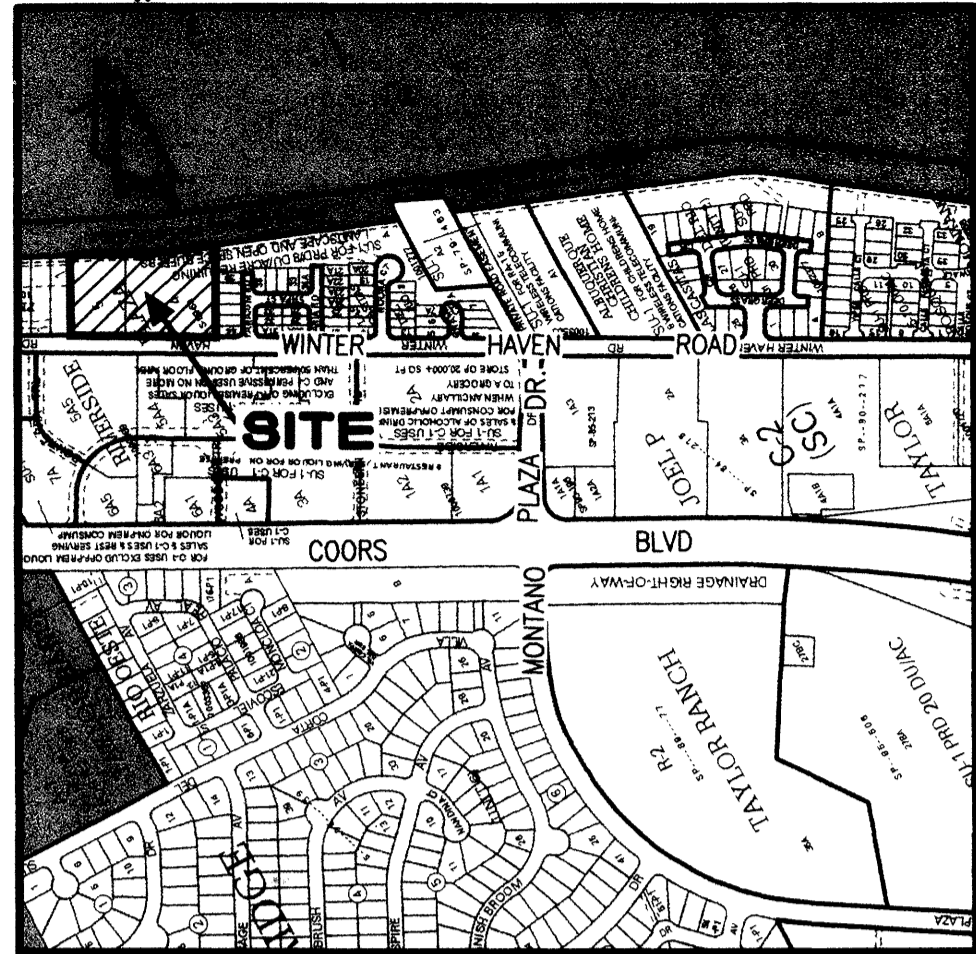
NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "HUGHES"
X=371,688.59
Y=1,514,316.32
COMBINED FACTOR=0.99967726
DELTA ALPHA=-00°14'50"
ELEVATION=5049.93 (NGVD 29)

TRACT 5-A5
RIVERSIDE PLAZA
(FILED 09-06-2000, 2000C-231)

TRACT 5-A3
RIVERSIDE PLAZA
(FILED 09-06-2000, 2000C-231)



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VICINITY MAP
SCALE: 1" = 750'

E-12

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and does hereby grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. We hereby warrant that we hold complete and indefeasible title in fee simple to the land subdivided, hereon.

William T. Brennan
William T. Brennan
25 May 07
Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



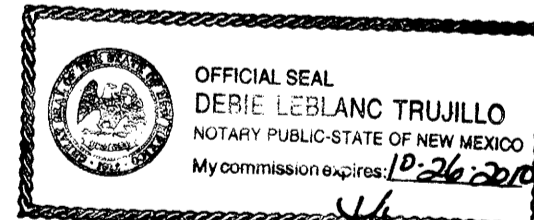
This instrument was acknowledged before me on this 25th day of May, 2007, by William T. Brennan.

Debbie LeBlanc Trujillo
Notary Public

Benita Brennan
Benita Brennan
5/25/07
Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS



This instrument was acknowledged before me on this 25th day of May, 2007, by Benita Brennan.

Debbie LeBlanc Trujillo
Notary Public

SUBMISSION PLAT OF
PLAZA ESCONDIDO
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007

WILLIAM T. BRENNAN
BENITA BRENNAN
OWNER
SEC. 25, T 11 N, R 2 E, N.M.P.M.
LOCATION
PLAZA ESCONDIDO
SUBDIVISION

DOC# 2007126086
08/30/2007 03:59 PM Page 1 of 3
PLAT # 317.00 B - 2007C P. 0241 N
Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER: 1004161

APPLICATION NUMBERS: 05EPC-00740, 05DRB-01091, 07DRB-70041

APPROVALS:

- Andrew J. J...* 8/28/07
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Roger A. Green* 6-22-07
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- W. A. R...* 6/20/07
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Bradley L. Brigham* 6/21/07
A.M.A.F.C.A. DATE
- H. J. ...* 6-20-07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Christina Sandoval* 6/20/07
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- W. B. ...* 5-29-07
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- N/A
REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE
- Leah D. Mark* 6-21-07
P.N.M. ELECTRIC SERVICES DATE
- Donnell ...* 6/19/07
QWEST TELECOMMUNICATIONS DATE
- Leah D. Mark* 6-21-07
P.N.M. GAS SERVICES DATE
- Sonni ...* 6-19-07
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

LEGAL DESCRIPTION

Lots 4 and 5, Riverside Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 18, 1999, Book 99C, Page 121.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

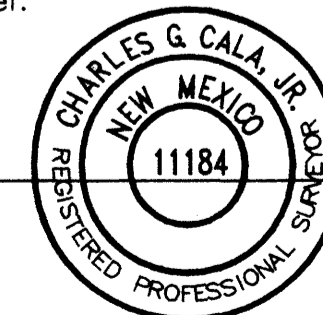
1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



05-25-2007
Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON THE
PROPERTY OWNER OF RECORD
Benita Brennan
Bernalillo County Treasurer's Office
5/29/07



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.008.8 50088final.DWG

SUBMISSION PLAT OF
PLAZA ESCONDIDO
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007

DOCH 2007126086
05/30/2007 03:59 PM Page 2 of 3
PLAT R 117.00 B 2007C P 0241 M Toulouse, Bernalillo County

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑪ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑫ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

- ⑤ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑥ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑦ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

NEW EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY THIS PLAT.
- ⑭ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE DRAINAGE EASEMENT, PRIVATE NON-VEHICULAR ACCESS EASEMENT AND PRIVATE LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUSIVE. MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNER ASSOCIATION, INC., PURSUANT TO THE DECLARATION OF COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON 30th August -2007, BOOK NO. 2007126087, PAGES 1-13.
- ⑮ 15' PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑰ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUSIVE, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. MAINTENANCE OF THE PRIVATE ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNER ASSOCIATION, INC., PURSUANT TO THE DECLARATION OF COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON 30th August -2007, BOOK NO. 2007126087, PAGES 1-13.
- ⑱ 10' CITY OF ALBUQUERQUE PUBLIC ACCESS EASEMENT GRANTED BY THIS PLAT.
- ⑲ PUBLIC WATER METER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑳ PUBLIC VEHICULAR TURN-AROUND EASEMENT GRANTED BY THIS PLAT. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING HOMEOWNER.

MONUMENTS

- (A) #5 REBAR W/CAP STAMPED "111808 HUGG", TAGGED W/WASHER STAMPED "NMPS 11184"
- (B) #5 REBAR W/CAP STAMPED "HUGG 9750", TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (D) COULD NOT SET (ON MANHOLE COVER)
- (E) SET CHISELED "+" ON CONCRETE

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C4	68.25'	37.31'	36.84'	N 42°00'21" E	31°19'07"
C5	20.00'	6.47'	6.44'	N 24°06'46" E	18°32'17"
C6	33.00'	50.85'	45.96'	N 10°45'33" W	88°16'55"
C7	33.00'	30.85'	29.74'	N 81°41'03" W	53°34'05"
C8	33.00'	24.86'	24.28'	S 49°56'49" W	43°10'11"
C9	33.00'	24.86'	24.28'	S 06°46'37" W	43°10'11"
C10	33.00'	17.66'	17.45'	S 30°08'16" E	30°39'36"
C11	20.00'	21.05'	20.09'	S 15°18'43" E	60°18'42"
C12	101.75'	13.10'	13.09'	S 18°31'56" W	07°22'37"
C13	101.75'	7.33'	7.33'	S 24°17'02" W	04°07'33"
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C15	30.00'	47.12'	42.43'	N 16°38'01" W	90°00'00"
C16	138.25'	27.76'	27.71'	S 20°35'43" W	11°30'10"
C17	50.00'	80.30'	71.95'	N 72°21'24" E	92°01'11"
C18	120.00'	24.09'	24.05'	N 20°35'43" E	11°30'10"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
E1	N 76°05'56" E	17.30'	E4	S 18°28'06" E	3.01'
E2	S 76°05'56" W	17.30'	E5	S 28°21'59" W	51.78'
E3	N 18°28'06" W	3.01'			

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
T1	33.00'	19.67'	19.38'	N 16°18'31" E	34°08'47"
EC1	50.00'	15.06'	15.00'	N 13°54'04" W	17°15'14"
EC2	33.00'	15.13'	15.00'	S 13°54'04" E	26°16'23"
EC3	33.00'	3.00'	3.00'	N 74°08'23" E	05°12'58"
EC4	36.00'	6.01'	6.00'	S 71°31'54" W	09°33'37"
EC5	33.00'	3.00'	3.00'	N 68°55'26" E	05°12'57"
EC6	30.00'	25.23'	24.50'	S 04°16'18" W	48°11'23"
EC7	30.00'	25.23'	24.50'	S 52°27'41" W	48°11'23"

Notes:

1. A boundary and topographic survey was performed in March, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within Section 25, Township 11 North, Range 2 East, N.M.P.M.
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from N.G.S. Control Station "HUGHES".
5. Record bearings and distances are shown in parenthesis.
6. The following documents and instruments were used for the performance and preparation of this survey:
 - a. Plat of Riverside Plaza, filed 05-18-1999, Book 99C, Page 121, Records of Bernalillo County, New Mexico.
 - b. Plat of Las Casitas Del Rio, filed 04-29-2002, Book 2002C, Page 143, Records of Bernalillo County, New Mexico.
 - c. Plat of The Preserve, filed 08-25-2003, Book 2003C, Page 260, Records of Bernalillo County, New Mexico.
 - d. Plat of Riverside Plaza, filed 09-06-2000, Book 2000C, Page 231, Records of Bernalillo County, New Mexico.
 - e. Plat of Survey of Lot 4, Riverside Plaza, prepared by Cartesian Surveys, Inc. dated 10-15-2004 (unrecorded).
 - f. Special Warranty Deed executed 11-23-2004 for Lot 4, Riverside Plaza.
 - g. Improvement Location Report of Lot 5, Riverside Plaza, prepared by Scannell Surveying, Inc. dated 06-19-2001 (unrecorded).
 - h. Policy of Title Insurance, Policy No. 0-9701-383446, File No. 4090552, prepared by Stewart Title of Albuquerque, LLC dated 12-01-2004 (Lot 4).
 - i. Policy of Title Insurance, Policy No. 266595, File No. 06010483, prepared by First American Title Co. of New Mexico dated 08-17-2001 (Lot 5).
 - j. Quitclaim Deed filed 07-31-2001, Book A22, Page 6323, Doc. #2001088004, Records of Bernalillo County, New Mexico (Lot 5).
 - k. Boundary & Topographic Survey of Lots 4 and 5 Riverside Plaza prepared by this office, certified April 18, 2005. (unrecorded) JMA#2005.008.1
7. The property surveyed hereon is subject to the By-Laws of the Riverside Plaza Owners Association, Inc. filed 10-11-1999, Book 99-13, Page 9299, Doc. #1999129703, Records of Bernalillo County, New Mexico.
8. Private street mileage created by this plat = 0.08 miles (full width)
9. Gross subdivision acreage = 3.1719 acres ±.
10. Current zoning on site is SU-1 for PRD/8 DU/ACRE Requiring Landscape and Open Space Buffers, based on review of the City Of Albuquerque Zone Atlas. Open space requirements of 2400 square feet per lot are met within the 100 foot buffer easement.
11. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
12. The purpose of this plat is to:
 - a. Eliminate the internal property line and create 11 (eleven) new lots.
 - b. Grant the necessary public utility easement, private drainage easements, private access easements, private landscaping easement, public water easements, public sanitary sewer easements and public access easements as shown.



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. NE.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.008.8 50088final.DWG

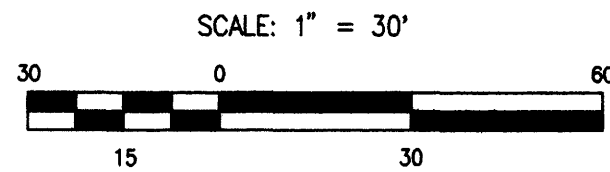
SUBDIVISION PLAT OF

PLAZA ESCONDIDO

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007

DOCH 2007126086
08/30/2007 03:59 PM Page 3 of 3
PLAT R: \$17.00 S: 2007C P: 0241 M. Toulouse, Bernalillo County

COUNTY CLERK FILING DATA



LOWER CORRALES RIVERSIDE DRAIN

(120' R.O.W. PER PLAT 99C-121)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NM448-N8"
X=372,524.25
Y=1,514,838.11
COMBINED FACTOR=0.99967854
DELTA ALPHA= -00°14'44"
ELEVATION=5018.922 (NGVD 29)

N 3°48'20" E 2,342.54'

(S 26°20'32" W) (185.31')
S 26°19'45" W 185.30'

(S 26°20'32" W) (109.51')
S 26°20'48" W 109.52'

(S 20°14'23" W) (192.37')
S 20°16'18" W 192.50'

(192.37')

LOT 3-P1
0.4648 ac.±

LOT 4-P1
0.5684 ac.±

TRACT A
0.7940 ac.±

TRACT A
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 39
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 40
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 41
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 42
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 43
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 44
LAS CASITAS DEL RIO
(FILED 04-29-2002, 2002C-143)

LOT 5-P1
0.1526 ac.±

LOT 10-P1
0.1507 ac.±

LOT 9-P1
0.1712 ac.±

LOT 2-P1
0.1672 ac.±

LOT 6-P1
0.1460 ac.±

LOT 7-P1
0.2177 ac.±

LOT 8-P1
0.1715 ac.±

LOT 1-P1
0.1678 ac.±

(S 61°45'48" E)
S 61°45'32" E

124.00'

N 28°21'59" E
(N 28°21'43" E)

WINTER HAVEN ROAD N.W.

(60' R.O.W. PER PLAT 99C-121)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "HUGHES"
X=371,688.59
Y=1,514,316.32
COMBINED FACTOR=0.99967726
DELTA ALPHA= -00°14'50"
ELEVATION=5049.93 (NGVD 29)

TRACT 5-A5
RIVERSIDE PLAZA
(FILED 09-06-2000, 2000C-231)

TRACT 5-A3
RIVERSIDE PLAZA
(FILED 09-06-2000, 2000C-231)



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4250
JOB #2005.008.8 50088final.DWG



LOT 6 GATE PHOTO



LOT 7 GATE PHOTO



LOT 8 GATE PHOTO



LOT 1 GATE PHOTO

PERIMETER WALL CERTIFICATION

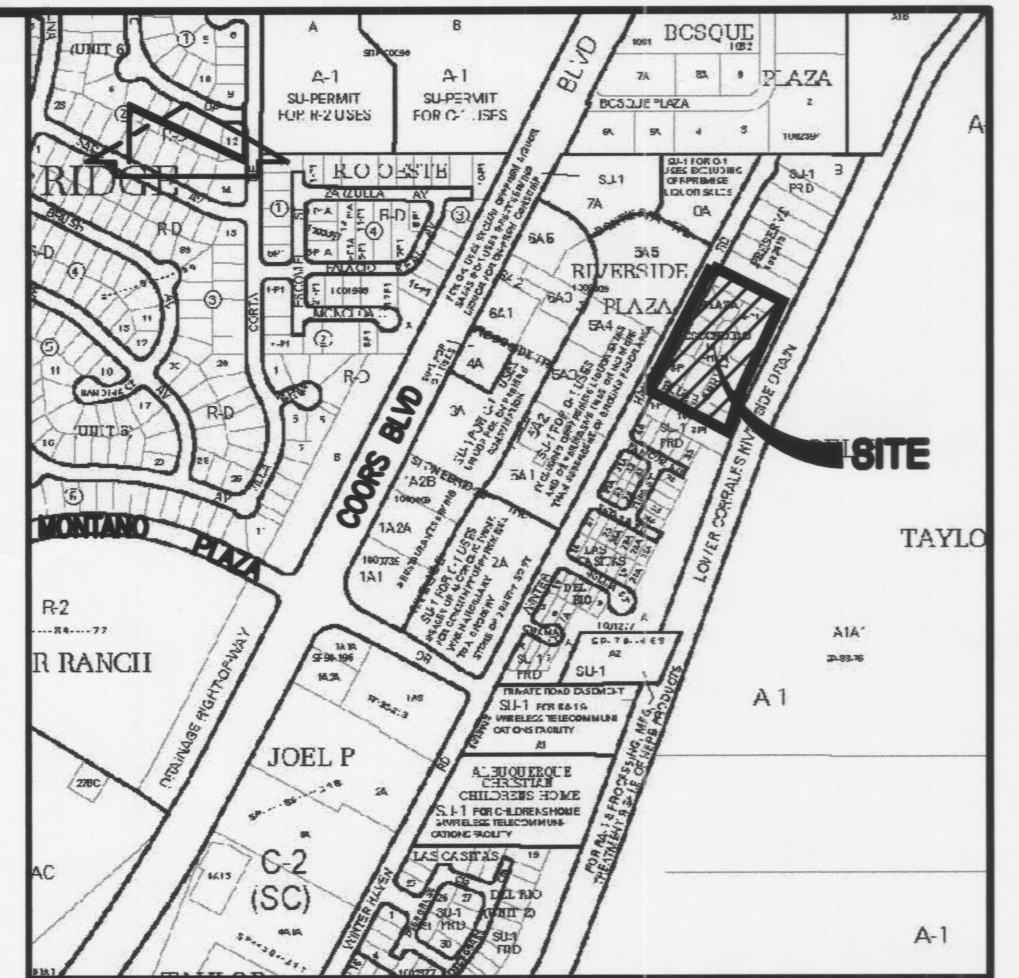
I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THE SUBDIVISION PERIMETER WALL FOR THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED SITE DEVELOPMENT PLAN WITH THE EXCEPTIONS NOTED BELOW. THE INFORMATION EDITED ONTO THE APPROVED DOCUMENT WAS OBTAINED AUGUST 27, 2008 UNDER MY RESPONSIBLE CHARGE. I CERTIFY THAT I HAVE VISITED THE SITE AND THE DATA PROVIDED APPEARS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINANCIAL GUARANTY RELEASE.

EXCEPTIONS:

- 1) THE GATES FOR LOTS 6 AND 7 WERE CONSTRUCTED NEAR DIFFERENT ENDS OF THE LOTS THAN DEPICTED ON THE SITE DEVELOPMENT PLAN. THESE CHANGES RESULT IN BETTER GATE SPACING AND STILL MEET THE INTENT OF THE DESIGN WHEREBY EACH LOT ADJACENT TO WINTERHAVEN HAS GATED DIRECT ACCESS TO WINTERHAVEN.
- 2) THE ENTRY SIGN WITH SILHOUETTE HAS YET TO BE INSTALLED. THE DEVELOPER IS STILL WORKING WITH ARTISTS TO GET THE ENTRY SIGN CONSTRUCTED. IT IS RECOGNIZED THAT THE SIGN IS SHOWN ON THE APPROVED DEVELOPMENT PLAN AND THEREFORE WILL ULTIMATELY BE REQUIRED TO SATISFY ZONING REQUIREMENTS AND MAY BE A PRE-REQUISITE FOR SUBSEQUENT APPROVALS SUCH AS BUILDING PERMITS.

THIS CERTIFICATION EVALUATES THE DESIGN INTENT OF THE PERIMETER WALL. THE RECORD INFORMATION IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE PERIMETER WALL FOR FINANCIAL GUARANTY RELEASE PURPOSES. THOSE RELYING ON THIS PLAN ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

J. Graeme Means 9/02/2008
 J. GRAEME MEANS, NMPE 13676 DATE



VICINITY MAP
 SCALE: 1"=750'

E-12

LEGAL DESCRIPTION

LOTS 1-P1 THROUGH 10-P1 AND TRACT A, PLAZA ESCONDIDO (FILED 8/30/2007, 2007C-241)



RECORD DRAWING

DRB PROJECT #1004161

File Path: E:\DWG\2007\0313\ Plot Date: 08-29-2008
 File Name: 70313ECCR3.DWG Plot Time: 2:00 pm

HIGH MESA Consulting Group
 FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

**PERIMETER WALL CERTIFICATION
 PLAZA ESCONDIDO**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2007.031.3
DRAWN BY	DMH/JLP	1	09/08	G.M.	PERIMETER WALL CERTIFICATION	DATE	08-2008
APPROVED BY	G.M.					SHEET	1 OF 3

KEYED NOTES

EXISTING EASEMENTS

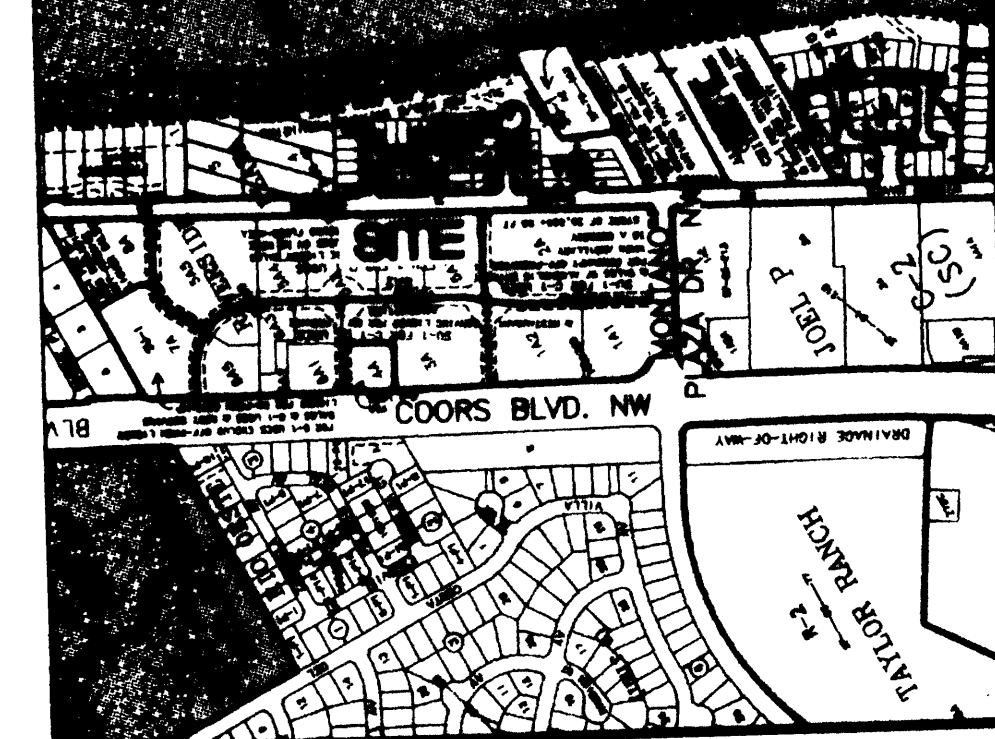
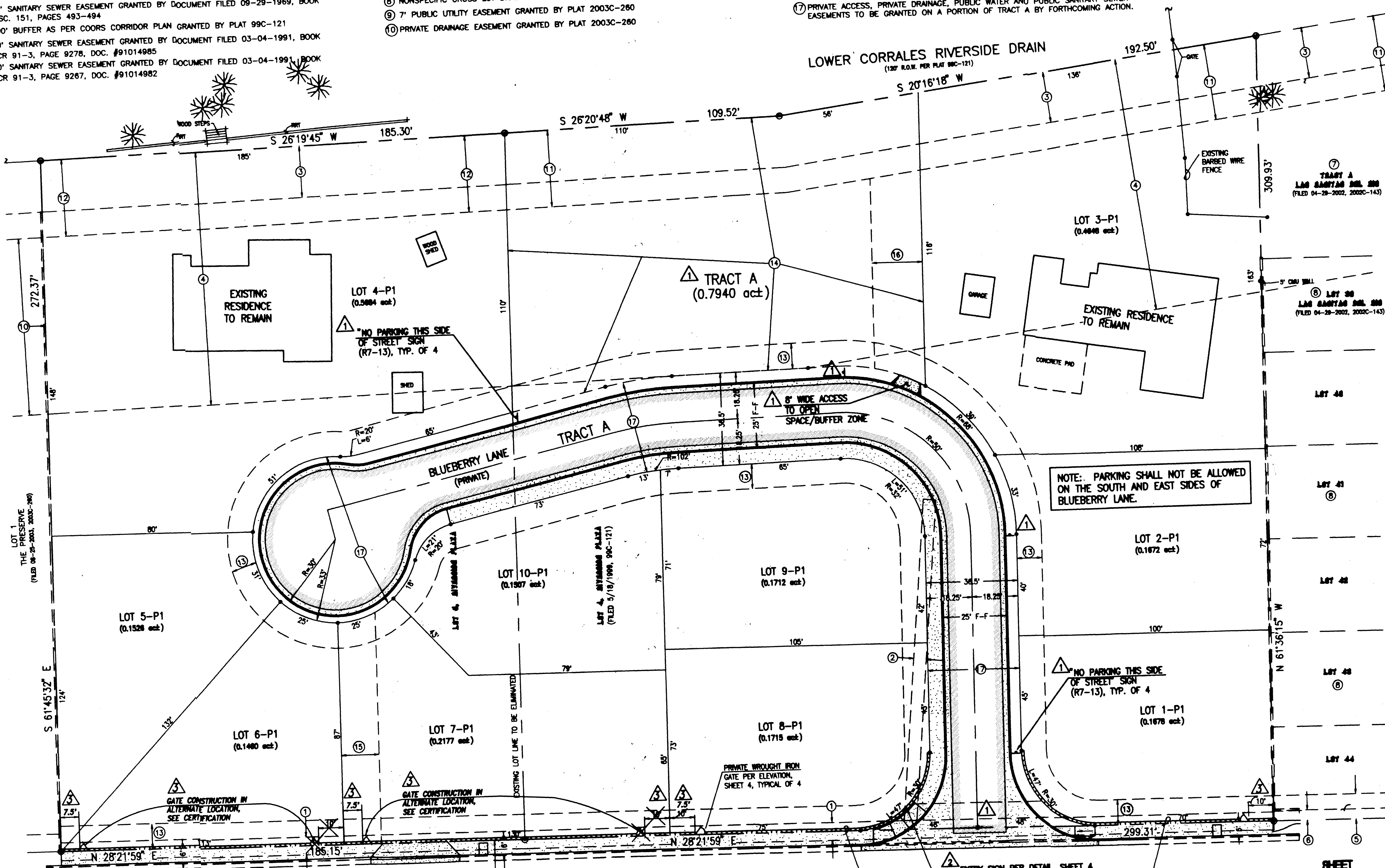
- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 08-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER AS PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑪ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑫ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

EXISTING EASEMENTS - OFFSITE

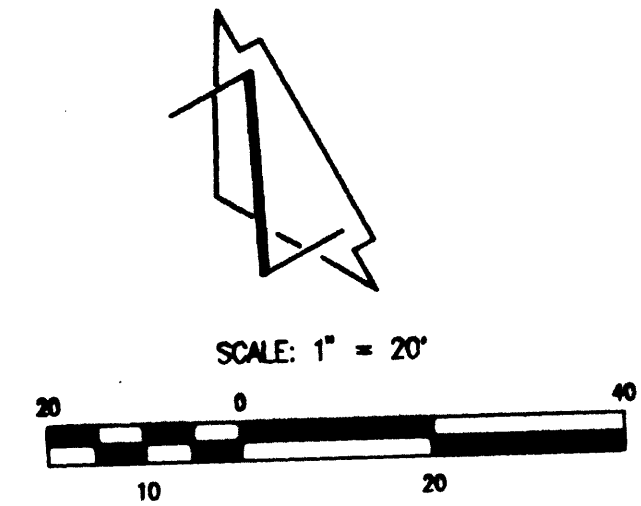
- ⑤ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑥ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑦ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.
- ⑮ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION.
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION.



VICINITY MAP
SCALE: 1" = 750'



LEGAL DESCRIPTION
LOTS 4 & 5, RIVERSIDE PLAZA,
FILED 5/18/1999, BOOK 99C, PAGE 121.

EXISTING ZONING
SU-1 FOR PRD/B DU/ACRE
REQUIRING LANDSCAPE AND OPEN SPACE BUFFERS.

DENSITY
2.85 du/ac (GROSS)
4.21 du/ac (NET, EXCLUDING TRACTS A & B)

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.

PROJECT NUMBER: 1004181
Application Number: 05 EPC 00740 05 DR 0128

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated **JUNE 16, 2005** and the Findings and Conditions in the Official Notifications of Decision are satisfied.

Is an infrastructure List required? (X) Yes () No
If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements. **FINANCIAL GUARANTEES REQUIRED WITH PLAT.**

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	12-7-05	Date
Traffic Engineering, Transportation Division	12-7-05	Date
<i>[Signature]</i>	12-7-05	Date
Utility Development	12-7-05	Date
<i>[Signature]</i>	12-7-05	Date
Parks and Recreation Department	12-7-05	Date
<i>[Signature]</i>	12-7-05	Date
City Engineer	12-7-05	Date
N/A		Date
Environmental Health Department (conditional)		Date
N/A		Date
<i>[Signature]</i>	12/13/05	Date
DRB Chairperson, Planning Department		Date

INDEX OF DRAWINGS

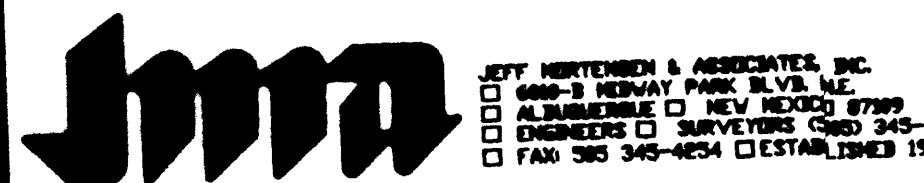
SHEET	DESCRIPTION
1	SITE PLAN FOR SUBDMISION
2	CONCEPTUAL GRADING AND UTILITY PLAN
3	CALCULATIONS, DRAINAGE PLAN, SECTIONS AND DETAILS
4	SUBDMISION DESIGN STANDARDS

RECORD DRAWING
FOR CERTIFICATION, SEE SHEET 1

SITE PLAN FOR SUBDMISION
PLAZA ESCONDIDO

DESIGNED BY	DRAWN BY	APPROVED BY	NO.	DATE	BY	REVISIONS	JOB NO.
G.M.	G.M./REV	G.M.	1	08/05	G.M.	DELETE GATED ENTRY, COMBINE TRACTS A AND B, ADDRESS EPC COMMENTS	2005.008.3
			2	10/05	G.M.	ADD WALL	05-2005
			3	08/05	G.M.	PERIMETER WALL CERTIFICATION	2X OF A3

Plot Date: 11-07-2005
Plot Time: 08:49 am
File Path: E:\Projects\1004181\1004181.dwg
File Name: 500835PR.DWG



Design Standards

For:
Plaza Escondido
Riverside Plaza Lots 4 & 5

The following design standards are for eight custom-designed single family residences in addition to the two existing residences grandfathered on the site for a total of ten to be built in Riverside Plaza Subdivision. Tract 4 & 5 are located to the east of the Riverside Plaza commercial development on Winter Haven Road NW. Plaza Escondido subdivision is envisioned to offer potential residents the unique opportunity to live and recreate in a natural setting adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision of high quality and in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Plaza Escondido shall encourage contemporary architectural design creatively in harmony with its natural setting adjacent to the Rio Grande Bosque. As a unique high-quality development, builders and designers shall use architectural details and materials consistent with this goal. To promote a natural and unique look to this subdivision, no particular architectural style shall be prescribed. Architectural styles approved, but not limited to, shall include Territorial, Pueblo, Pueblo Revival, Contemporary Pueblo, Northern New Mexican, Spanish Colonial, Regional and Contemporary Modern and Victorian. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have a garage of not less than two car spaces and sufficient parking for an additional two vehicles on the site, so a minimum of four parking spaces are provided. Independent garage structures are permissible on each lot.

C. Setbacks

1. Front Yard setback - 20 feet
2. Side Yard setback - 5 feet
3. Rear Yard Setback - 15 feet

D. Building Materials

Building materials for homes in Plaza Escondido shall be consistent with the architectural character and style of each homes design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, wood, stone, adobe, concrete masonry unit, glass, glass block, natural tile, ceramic tile, copper and galvanized metal.

E. Building Height and Density

The maximum allowed height is 26 feet or as permitted by the City of Albuquerque Zoning Code.

F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the property line of the residences). Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof mounted equipment shall be screened with materials architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All electrical distribution lines shall be placed underground.
4. Transformers, utility pods, and telephone risers shall be appropriately screened with walls and/or vegetation when viewed from the Private Street Easement.

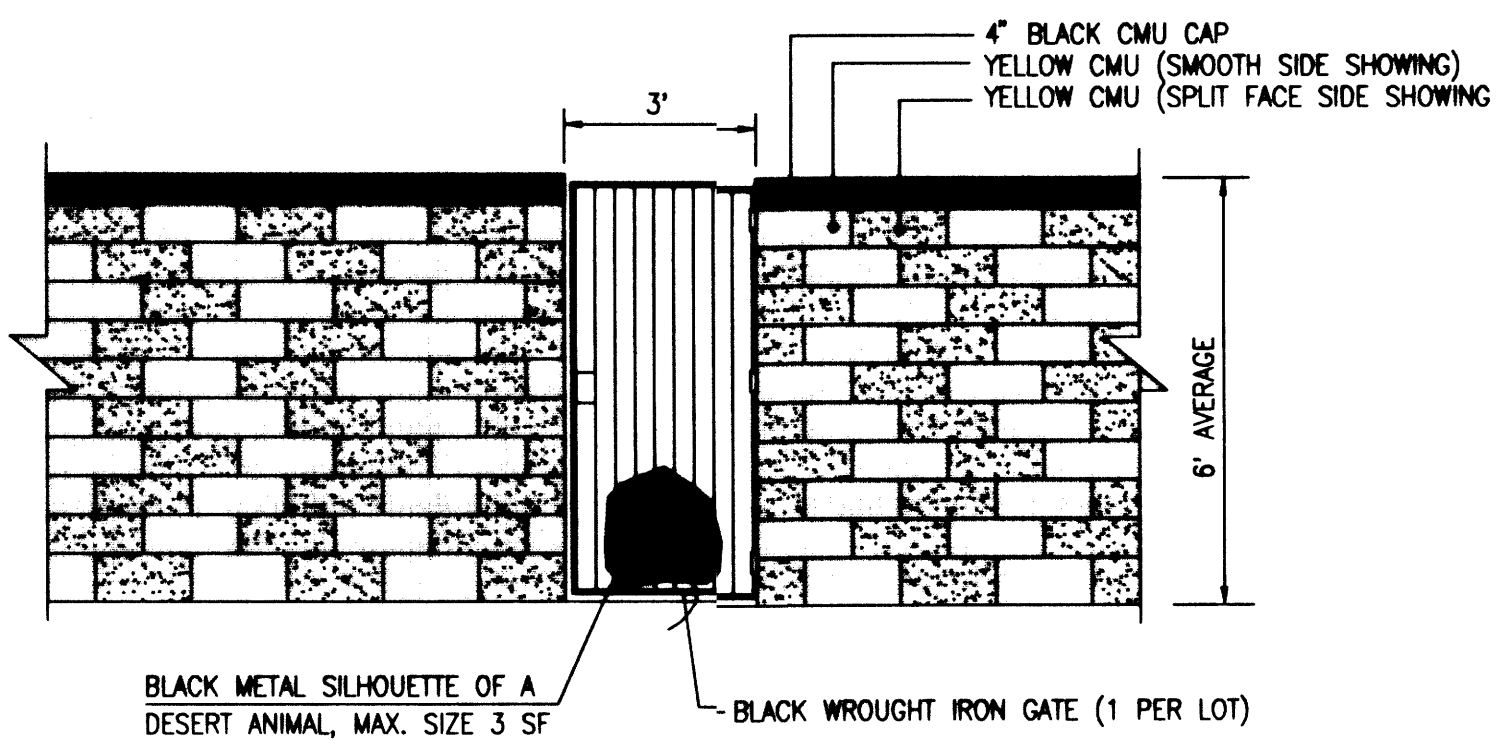
G. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, Coors Corridor Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

1. Street trees shall be provided along Winter Haven at the rate of one tree per 50 lineal feet. The may be random or consistently placed.
2. Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
3. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Street Easement.
4. Minimum sizes of required plants at time of installation shall be as follows:
- Trees 2 1/2" cal.
- Shrubs and Groundcover 1-5 Gal.
5. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
6. Streetscape is to be covered in landscaping since all lots are bordering a street and sizes and types are already specified within these specifications.
7. Interior Landscape Each individual lot will be landscaped using the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
8. Buffer Zone Open Space Area 2-1/2 cal Rio Grande Cottonwood groves shall be placed in this area, (a minimum of 6 total trees) with groupings of Fourwing Saltbush and Deergrass (a combined minimum of 25). The above plantings shall be on an automatic trickle irrigation system. The trees will not be located within the public sanitary sewer easements. The balance of the area shall be crimped straw/native seed with wildflower mix. The space is also designated to have a community type gazebo or small outbuilding for the benefit of all residents within the subdivision to promote community activities within the subdivision.

H. Bosque Open Space

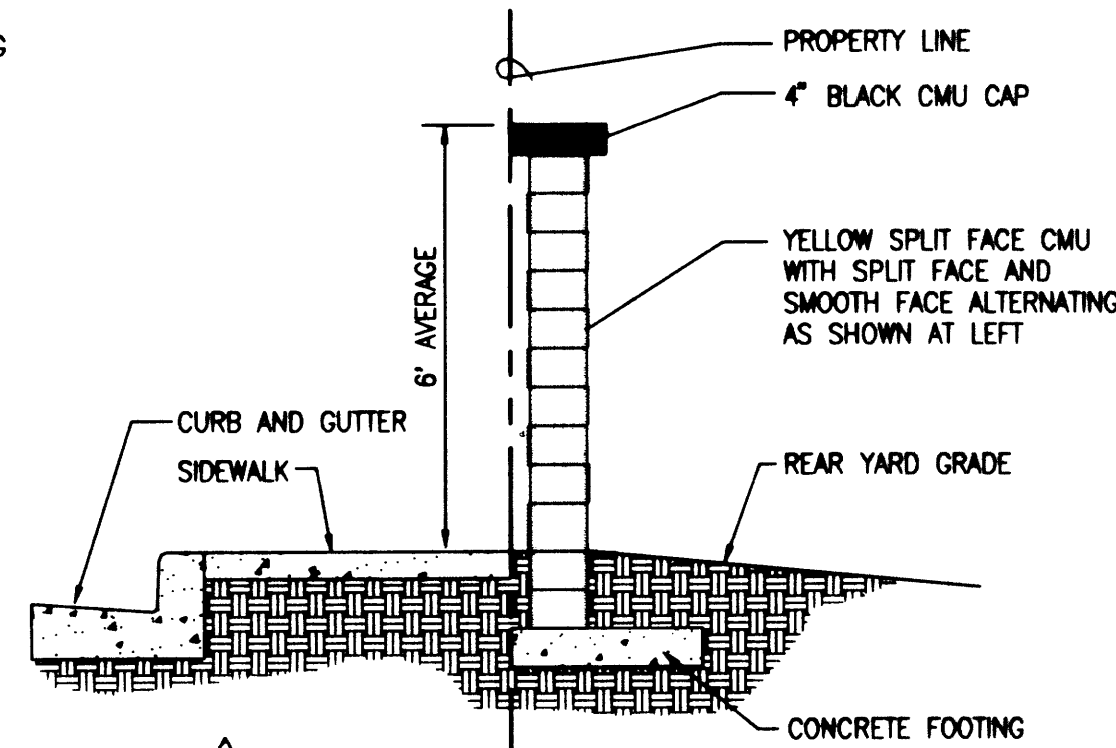
This subdivision promotes the goals of the Coors Corridor Plan in providing a 100-foot buffer zone from the Rio Grande State Park, with the exception of the two grandfathered non-compliant sites within the subdivision that have occupied their respective sites for several years prior to the enactment of the Coors Corridor Plan. Therefore, the middle easterly lot has been designated Open space and is intended for the enjoyment of all residents of the subdivision while preserving the natural habitat of the Bosque and providing access to the Rio Grande State Park.



1 PERIMETER WALL ELEVATION
SCALE: 1" = 3'

ALL CMU BLOCKS TO BE YELLOW SPLIT FACE FROM UTILITY BLOCK COMPANY WITH ALTERNATING FACES FRONT AND BACK

3 SEE SHEET 1 FOR AS-BUILT GATE LOCATIONS AND PHOTOS



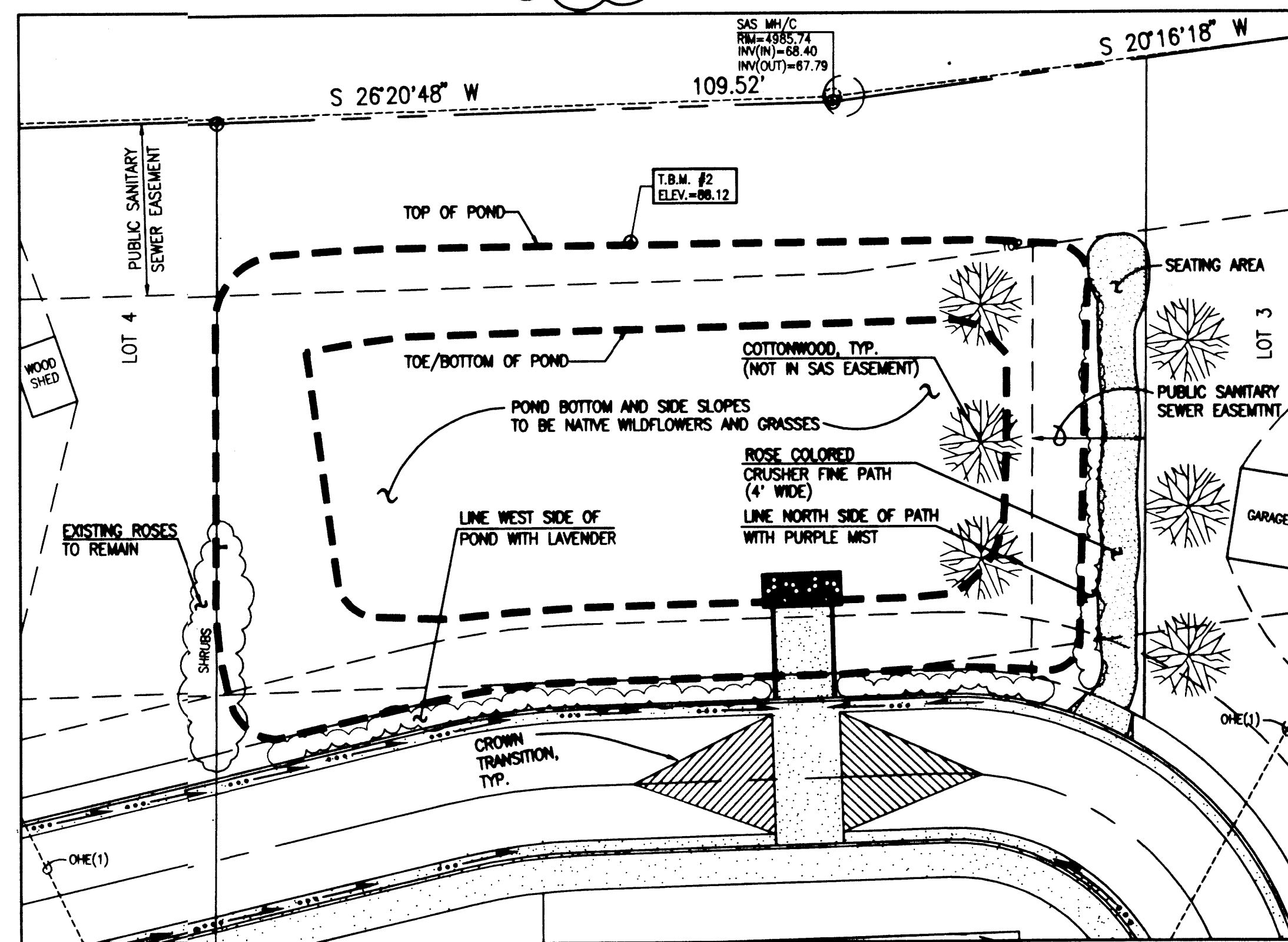
1 PERIMETER WALL SECTION
SCALE: 1" = 3'

3 WALL CONSTRUCTED PER PLAN, SEE CERTIFICATION, SHEET 1



1 ENTRY SIGN DETAIL
(N.T.S.)

3 SIGN TO BE BLACK METAL LETTERING AND COYOTE SILHOUETTE MOUNTED ON WALL WITH HIDDEN SPACER BRACKETS TO RAISE METAL 1 1/2" FROM WALL FACE. LETTERING AND SILHOUETTE NOT YET INSTALLED AT TIME OF WALL CERTIFICATION. SEE CERTIFICATION, SHEET 1



1 BUFFER LANDSCAPING CONCEPT
SCALE: 1" = 20'

1. Recreational and agricultural uses and improvements shall be permitted within this lot and be accessible to all residents of the subdivision.
2. Apparatus for viewing for birds and wildlife shall be permitted within the Bosque Open Space. A gazebo or other such outbuilding shall be permitted within the Bosque Open Space to allow community type activities within the Open Space Area.
3. Walls of each adjacent property line within the Open Space Area shall be permitted.

J. Wall/ Fences

In order to mitigate the impact of the commercial/office activity developing at Riverside Plaza to the west, a perimeter wall shall be installed along Winter Haven Road NW.

1. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
2. The perimeter western subdivision wall shall be decorative concrete masonry unit (CMU) or CMU with stucco finish with occasional accent openings and shall be an average height of 6 feet with a maximum height of 8 feet at the northern end. Wall shall be installed and paid for by the Developer.
3. An automobile entry of the private street located along Winter Haven Road NW with ingress and egress automatic gates shall be installed and paid for by the Developer.
4. No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.

K. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures shall conform to State and local safety and illumination requirements.
2. The mounting height of luminaries for site lighting at the main automobile entry shall be no higher than twelve feet.
3. Site and residential lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
4. Due to the small number of residences in this subdivision and in keeping with its natural setting, no internal streetlights are proposed.

L. Signs

Entry signage shall be incorporated into or near the perimeter wall at the automobile entry along Winter Haven Road NW, which shall be consistent with the materials and architectural character of the subdivision.

M. Solid Waste

1. Each lot/home shall have a storage area for residential automated carts, not visible from the private street access.
2. Pick up locations will be determined as the need arises.

N. Review for Compliance

The developer shall review the compliance of any structure or improvement within the subdivision.

O. Vacant Lots/ Destruction

1. There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
2. The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

P. Restricted Activities

1. The use of any trailer, motor home, boat, shack or tent as a residence either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of the house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, short wave, television or other), either temporarily or permanently, is prohibited without the prior approval of the Developer.
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Plot Date: 09-02-2008
Plot Name: 50083063.DWG
Plot Time: 06:50 am

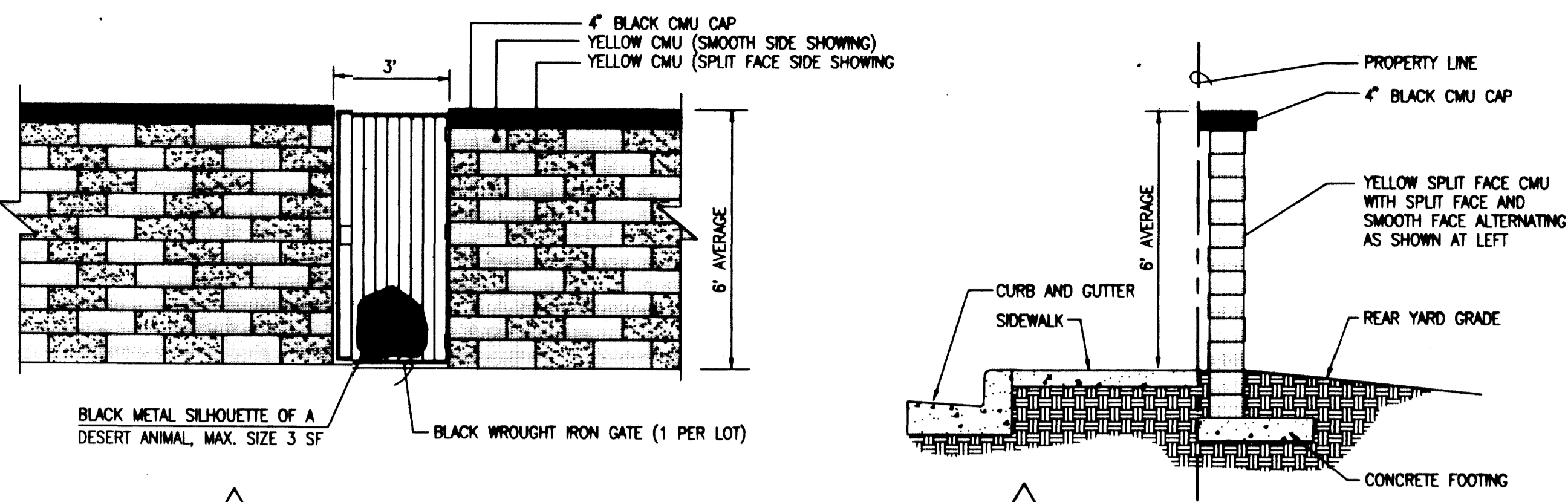


JEFF NORTENSEN & ASSOCIATES, INC.
10405-B RIVINGTON PARK N.W. AVE.
ALBUQUERQUE, N.M. 87199
ENGINEERS & SURVEYORS (SINCE 1945-46)
FAX: 505 345-4854 ESTABLISHED 1977

SUBDIVISION DESIGN STANDARDS PLAZA ESCONDIDO

DESIGNED BY	OWNER	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	R.R.V.	11/05	G.M.	ADDRESS EPC CONDITIONS	2005-008-3
APPROVED BY	OWNER	12/05	G.M.	DELETE GATED ENTRY	DATE 05-2005
		09/08	G.M.	PERIMETER WALL CERTIFICATION	SHEET 3A OF 3A

2007.013.3



1 PERIMETER WALL ELEVATION
SCALE: 1" = 3'

1 PERIMETER WALL SECTION
SCALE: 1" = 3'

ALL CMU BLOCKS TO BE YELLOW SPLIT FACE FROM UTILITY BLOCK COMPANY WITH ALTERNATING FACES FRONT AND BACK

3 WALL CONSTRUCTED PER PLAN, SEE CERTIFICATION, SHEET 1

3 SEE SHEET 1 FOR AS-BUILT GATE LOCATIONS AND PHOTOS



1 ENTRY SIGN DETAIL
(N.T.S.)

3 SIGN TO BE BLACK METAL LETTERING AND COYOTE SILHOUETTE MOUNTED ON WALL WITH HIDDEN SPACER BRACKETS TO RAISE METAL 1 1/2" FROM WALL FACE. LETTERING AND SILHOUETTE NOT YET INSTALLED AT TIME OF WALL CERTIFICATION. SEE CERTIFICATION, SHEET 1

Design Standards

For:
Plaza Escondido
Riverside Plaza Lots 4 & 5

The following design standards are for eight custom-designed single family residences in addition to the two existing residences grandfathered on the site for a total of ten to be built in Riverside Plaza Subdivision. Tract 4 & 5 are located to the east of the Riverside Plaza commercial development on Winter Haven Road NW. Plaza Escondido subdivision is envisioned to offer potential residents the unique opportunity to live and recreate in a natural setting adjacent to the Rio Grande Bosque. Builders will construct all homes within this subdivision of high quality and in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Plaza Escondido shall encourage contemporary architectural design creatively in harmony with its natural setting adjacent to the Rio Grande Bosque. As a unique high-quality development, builders and designers shall use architectural details and materials consistent with this goal. To promote a natural and unique look to this subdivision, no particular architectural style shall be prescribed. Architectural styles approved, but not limited to, shall include Territorial, Pueblo, Pueblo Revival, Contemporary Pueblo, Northern New Mexican, Spanish Colonial, Regional and Contemporary Modern and Victorian. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have a garage of not less than two car spaces and sufficient parking for an additional two vehicles on the site, so a minimum of four parking spaces are provided. Independent garage structures are permissible on each lot.

C. Setbacks

1. Front Yard setback - 20 feet
2. Side Yard setback - 5 feet
3. Rear Yard Setback - 15 feet

D. Building Materials

Building materials for homes in Plaza Escondido shall be consistent with the architectural character and style of each homes design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, wood, stone, adobe, concrete masonry unit, glass, glass block, natural tile, ceramic tile, copper and galvanized metal.

E. Building Height and Density

The maximum allowed height is 26 feet or as permitted by the City of Albuquerque Zoning Code.

F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view by parapets that are an integral part of the house (as viewed from the property line of the residences). Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof mounted equipment shall be screened with materials architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
3. All electrical distribution lines shall be placed underground.
4. Transformers, utility pads, and telephone risers shall be appropriately screened with walls and/or vegetation when viewed from the Private Street Easement.

G. Landscaping

These standards are to be used as a supplement to the City requirements in the Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, Coors Corridor Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

1. Street trees shall be provided along Winter Haven at the rate of one tree per 50 lined feet. The may be random or consistently placed.
2. Living vegetative materials shall cover a minimum of 75 percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
3. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property and within the adjacent Private Street Easement.
4. Minimum sizes of required plants at time of installation shall be as follows:
- Trees 2 1/2" cal.
- Shrubs and Groundcover 1-5 Gal.
5. Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
6. Streetscape is to be covered in landscaping since all lots are bordering a street and sizes and types are already specified within these specifications.
7. Interior Landscape Each individual lot will be landscaped using the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
8. Buffer Zone Open Space Area 2-1/2 cal Rio Grande Cottonwood groves shall be placed in this area, (a minimum of 6 total trees) with groupings of Fournishing Saltbush and Deergrass (a combined minimum of 25). The above plantings shall be on an automatic trickle irrigation system. The trees will not be located within the public sanitary sewer easements. The balance of the area shall be crimped straw/native seed with wildflower mix. The space is also designated to have a community type gazebo or small outbuilding for the benefit of all residents within the subdivision to promote community activities within the subdivision.

H. Bosque Open Space

This subdivision promotes the goals of the Coors Corridor Plan in providing a 100-foot buffer zone from the Rio Grande State Park, with the exception of the two grandfathered non-compliant sites within the subdivision that have occupied their respective sites for several years prior to the enactment of the Coors Corridor Plan. Therefore, the middle easterly lot has been designated Open space and is intended for the enjoyment of all residents of the subdivision while preserving the natural habitat of the Bosque and providing access to the Rio Grande State Park.

1. Recreational and agricultural uses and improvements shall be permitted within this lot and be accessible to all residents of the subdivision.
2. Apparatus for viewing for birds and wildlife shall be permitted within the Bosque Open Space. A gazebo or other such outbuilding shall be permitted within the Bosque Open Space to allow community type activities within the Open Space Area.
3. Walls at each adjacent property line within the Open Space Area shall be permitted.

I. Pedestrian Circulation

1. A five (5) foot sidewalk shall be installed by the developer along Winter Haven Road NW per City Standards to blend in at each end with the connecting sidewalks already in place.
2. Sidewalk to be installed along internal Private Street on the north and west sides only.

J. Wall/ Fences

In order to mitigate the impact of the commercial/office activity developing at Riverside Plaza to the west, a perimeter wall shall be installed along Winter Haven Road NW.

1. All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
2. The perimeter western subdivision wall shall be decorative concrete masonry unit (CMU) or CMU with stucco finish with occasional accent openings and shall be an average height of 6 feet with a maximum height of 8 feet at the northern end. Wall shall be installed and paid for by the Developer.
3. An automobile entry at the private street located along Winter Haven Road NW with ingress and egress automatic gates shall be installed and paid for by the Developer.
4. No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.

K. Site Lighting

In order to comply with the Coors Corridor Plan, site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

1. Placement of fixtures shall conform to State and local safety and illumination requirements.
2. The mounting height of luminaries for site lighting at the main automobile entry shall be no higher than twelve feet.
3. Site and residential lighting shall be shielded source with no light source (lamp) visible from the site perimeter.
4. Due to the small number of residences in this subdivision and in keeping with its natural setting, no internal streetlights are proposed.

L. Signs

Entry signage shall be incorporated into or near the perimeter wall at the automobile entry along Winter Haven Road NW, which shall be consistent with the materials and architectural character of the subdivision.

M. Solid Waste

1. Each lot/home shall have a storage area for residential automated carts, not visible from the private street access.
2. Pick up locations will be determined as the need arises.

N. Review for Compliance

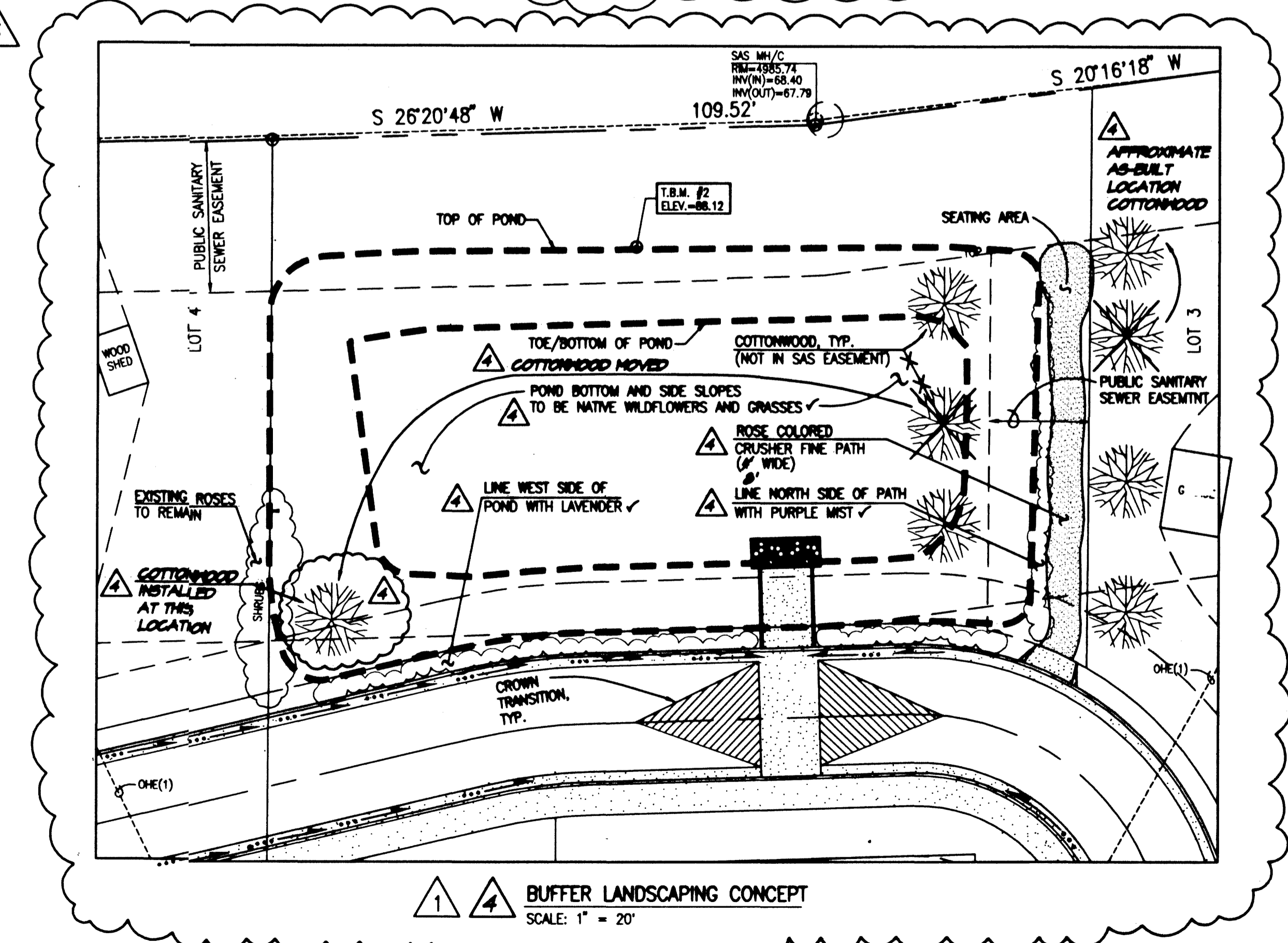
The developer shall review the compliance of any structure or improvement within the subdivision.

O. Vacant Lots/ Destruction

1. There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
2. The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

P. Restricted Activities

1. The use of any trailer, motor home, boat, shack or tent as a residence either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of the house for no more than ten (10) days per year.
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1 4 BUFFER LANDSCAPING CONCEPT
SCALE: 1" = 20'

Plot Date: 09-17-2008
Plot Time: 2:54 pm
File Name: S0083DCR4.DWG



JEFF MONTENISH & ASSOCIATES, INC.
6810-B MIDWAY PARK, N.W. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (CMB) 343-4299
FAX: 343-4254-4254 ESTABLISHED 1977

**SUBDIVISION DESIGN STANDARDS
PLAZA ESCONDIDO**

DESIGNED BY	OWNER	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	R.R.V./ALE	1	11/05	G.M.	ADDRESS EPC CONDITIONS	2005-008-3
APPROVED BY	OWNER	2	12/05	G.M.	DELETE GATED ENTRY	DATE 05-2005
		3	09/08	G.M.	PERIMETER WALL CERTIFICATION	SHEET 3A OF 3A
		4	09/08	G.M.	LANDSCAPING CERTIFICATION	

3 2007.013.3