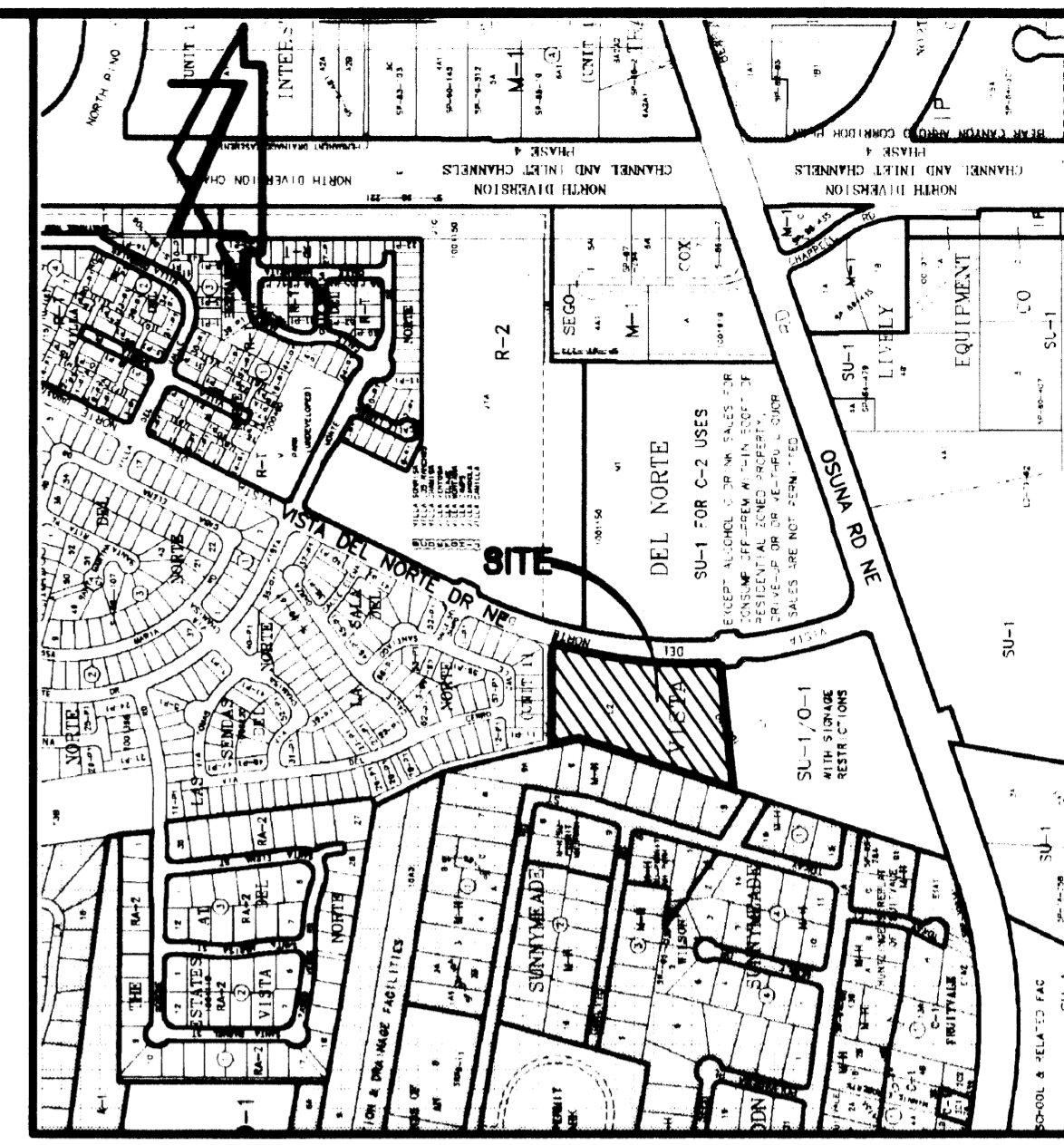
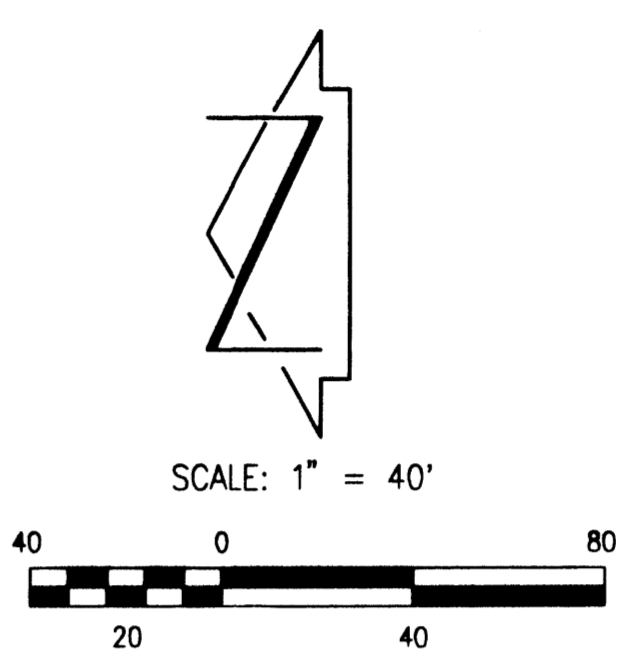
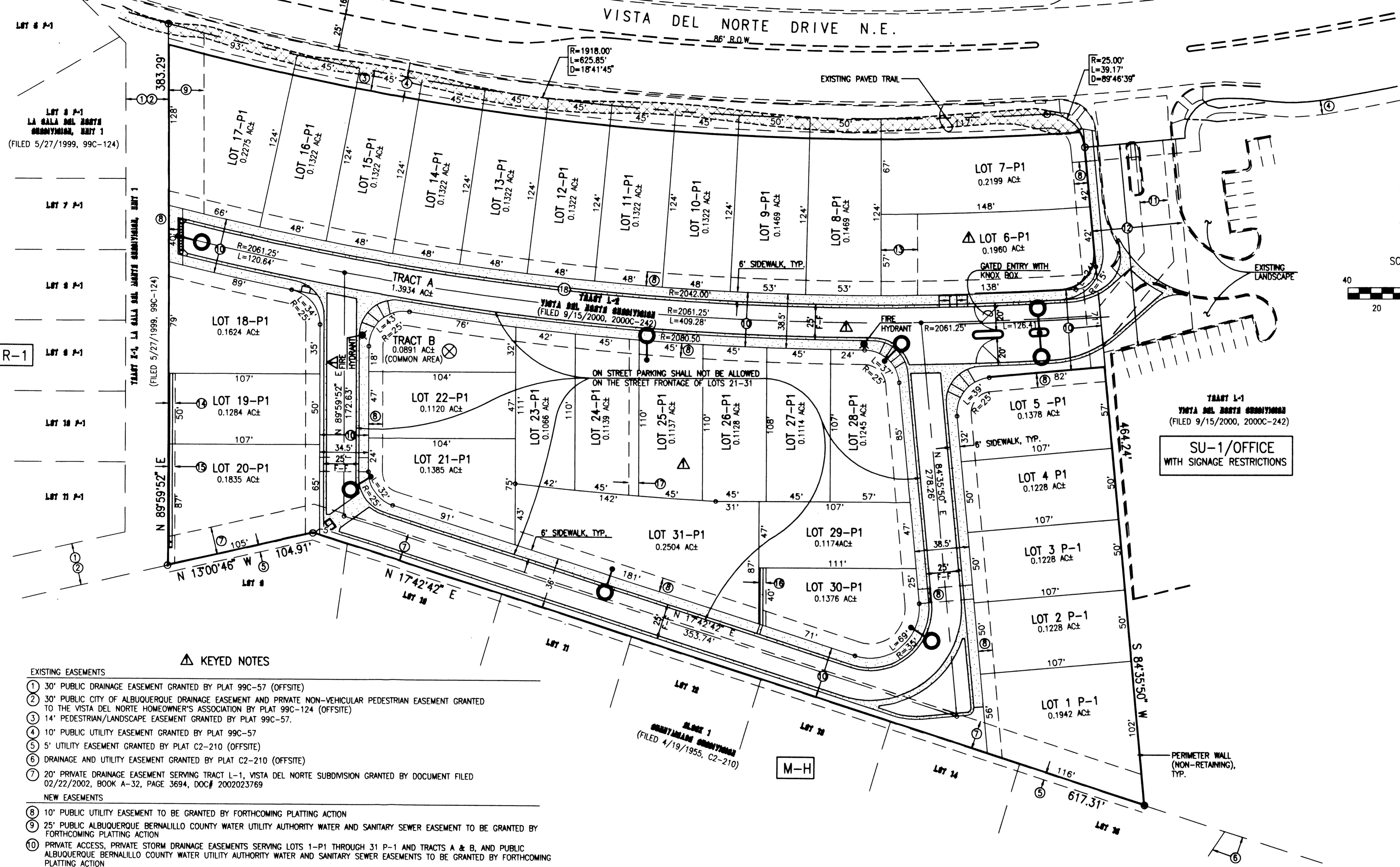


TRACT M-1  
VISTA DEL NORTE  
(FILED 3/31/2003, 3C-87) SU-1 FOR C-2 USES



VICINITY MAP  
NOT TO SCALE E-16

**LEGAL DESCRIPTION:**  
TRACT L-2, VISTA DEL NORTE SUBDIVISION  
FILED 9/15/2000, 2000C-242

**EXISTING ZONING:**  
SU-1/G-1 WITH SIGNAGE RESTRICTIONS

**PROPOSED ZONING:**  
SU-1/PRD

PROJECT NUMBER: 1004162

Application Number: 05 EPC 00742 / 05DRB0275

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 18, 2005, and the Findings and Conditions in the Official Notifications of Decision are satisfied.

Is an Infrastructure List required? (X) Yes ( ) No

If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering/Transportation Division	Date
<i>Roger A. River</i>	8-17-05
Utility Development	Date
<i>Christina Sandoval</i>	8/17/05
Parks and Recreation Department	Date
<i>R. J. J. J.</i>	7/17/05
City Engineer	Date
<i>MA</i>	
Environmental Health Department (conditional)	Date
<i>MA</i>	
Solid Waste Management	Date
<i>Matson</i>	8/19/05
DRB Chairperson, Planning Department	Date

**KEYED NOTES**

- EXISTING EASEMENTS**
- 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57 (OFFSITE)
  - 30' PUBLIC CITY OF ALBUQUERQUE DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED TO THE VISTA DEL NORTE HOMEOWNERS ASSOCIATION BY PLAT 99C-124 (OFFSITE)
  - 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57.
  - 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
  - 5' UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
  - DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
  - 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE SUBDIVISION GRANTED BY DOCUMENT FILED 02/22/2002, BOOK A-32, PAGE 3694, DOC# 2002023769
- NEW EASEMENTS**
- 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
  - 25' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER AND SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
  - PRIVATE ACCESS, PRIVATE STORM DRAINAGE EASEMENTS SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A & B, AND PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER AND SANITARY SEWER EASEMENTS TO BE GRANTED BY FORTHCOMING PLATTING ACTION
  - 20' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER EASEMENT TO BE GRANTED BY FORTHCOMING DOCUMENT.
  - PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A AND B TO BE GRANTED BY FORTHCOMING DOCUMENT.
  - PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SANITARY SEWER EASEMENT SERVING LOT 7-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
  - 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 18-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION.
  - 5' PRIVATE DRAINAGE EASEMENT SERVING LOTS 18-P1 AND 19-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION.
  - PRIVATE DRAINAGE EASEMENT SERVING LOT 29-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
  - 7' PRIVATE SANITARY SEWER SERVICE EASEMENT SERVING LOT 31-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION.
- EXISTING EASEMENT TO BE VACATED**
- EXISTING RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND L-2 GRANTED BY PLAT 2000C-242 TO BE VACATED FROM TRACT L-2 BY VACATION REQUEST.

**LIGHTING AND PAVING LEGEND**

- PROPOSED PERIMETER WALL
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- EXISTING ASPHALT TRAIL
- SINGLE POLE MOUNTED LIGHT
- DOUBLE HEADED POLE MOUNTED LIGHT
- BOLLARD LIGHT

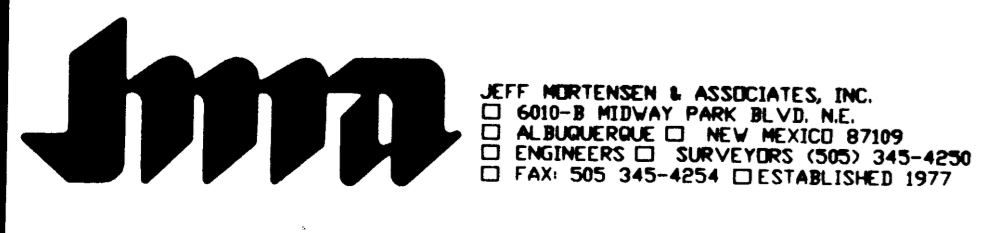
**INDEX OF DRAWINGS**

SHEET	TITLE
1	SITE PLAN FOR SUBDIVISION
2	GRADING PLAN
2A	DRAINAGE REPORT, GRADING NOTES AND CALCULATIONS
3	SECTIONS AND DETAILS
4	CONCEPTUAL UTILITY PLAN
5	SUBDIVISION DESIGN STANDARDS
6	LANDSCAPING PLAN

**GENERAL NOTES**

- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN HEREON IS FROM THE MAY, 2005 BOUNDARY SURVEY BY THIS OFFICE.
- REFER TO DESIGN STANDARDS, SHEET 5, FOR SETBACKS, BUILDING HEIGHTS AND DESIGN CRITERIA.
- OVERALL GROSS DENSITY = 31 LOTS/6.59 ac = 4.7 DWELLING UNITS PER ACRE (MEASURED TO CENTER OF VISTA DEL NORTE DRIVE).
- NET DENSITY = 31 LOTS/4.56 ac = 6.8 du/ac
- ALL PROPOSED LOTS ARE SINGLE FAMILY.
- ALL HOMES ARE RESTRICTED TO SINGLE STORY WITH A MAXIMUM HEIGHT OF 18 FT.
- NO ON STREET PARKING SHALL BE ALLOWED ON THE STREET FRONTAGE OF LOTS 21-31. SIGNS SHALL BE PROVIDED BY THE DEVELOPER.
- SEE SHEET 5 FOR LIGHTING DETAILS

File Path: E:\WORK\2005\1004162\1004162.DWG  
 Plot Date: 08-04-2005  
 Plot Time: 08:43 am



**SITE PLAN FOR SUBDIVISION  
AGAVE SUBDIVISION**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	06/05	G.M.	ADDRESS EPC CONDITIONS	2005.028.1
DRAWN BY		G.M./S.G.H.		DATE
APPROVED BY		G.M.		05-2005
				SHEET 1 OF 6

PROJECT # 1004162



**LEGAL DESCRIPTION**

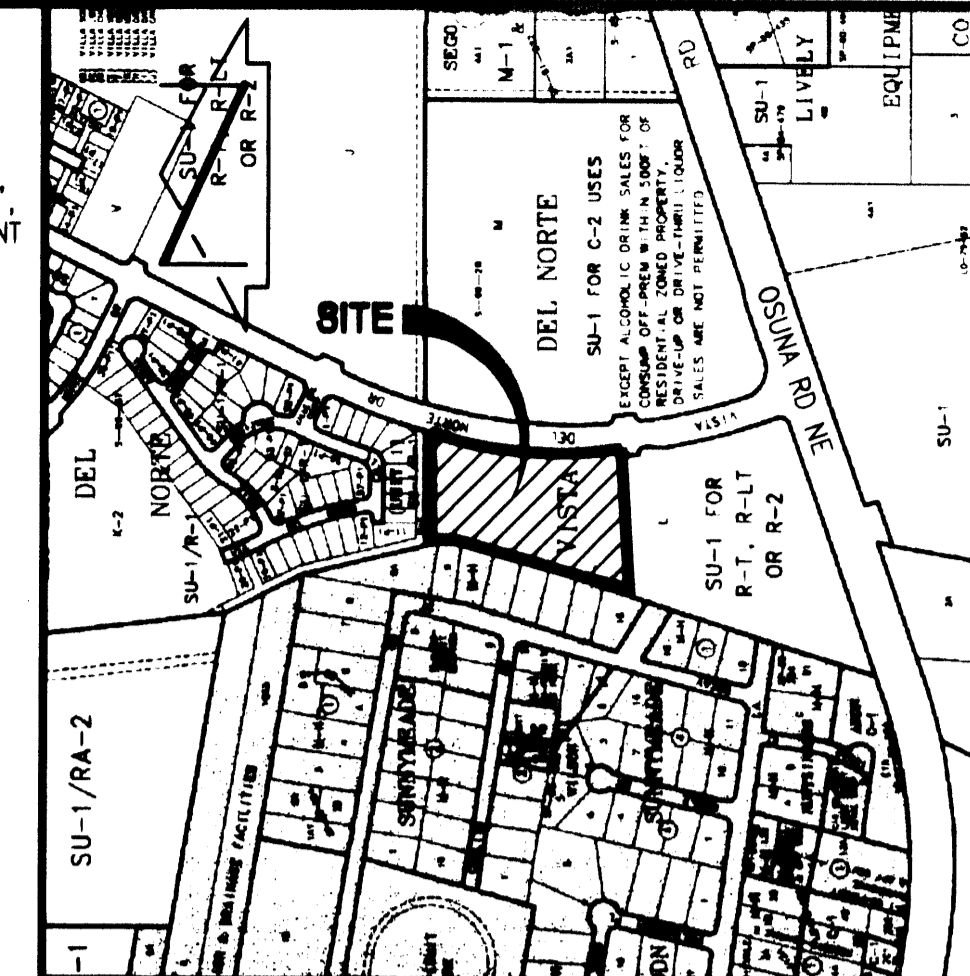
TRACT L-2, VISTA DEL NORTE SUBDIVISION

**PROJECT BENCHMARK**

ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 13-E16", EPOXIED TO TOP OF CONCRETE DROP INLET, ESE QUADRANT OF OSUNA RD. N.E. & THE MAIN ENTRANCE TO ADDRESS 700 OSUNA RD. N.E. (MEGA CORP), 0.57 MI± EAST OF CENTERLINE EDITH BLVD., CENTERED ON SAID DROP INLET. ELEVATION= 5052.36 (NGVD29)

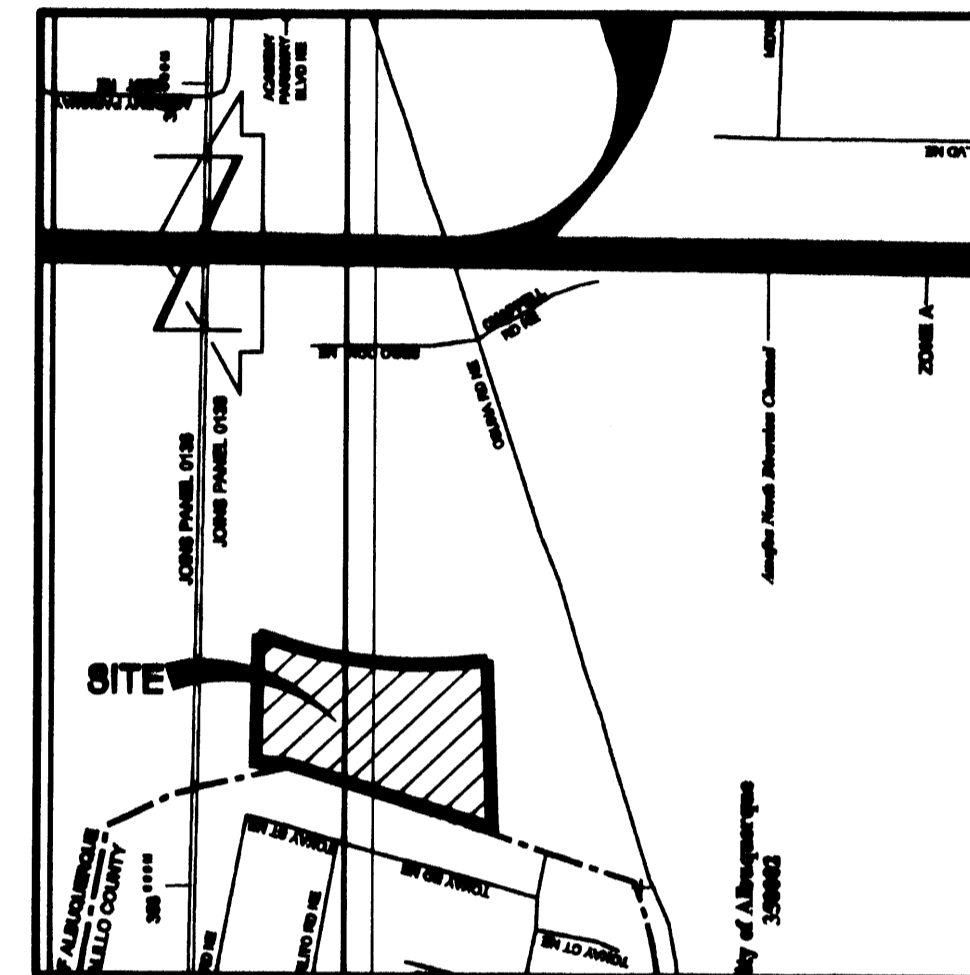
**TEMPORARY BENCHMARK**

TBM#1 = CHISELED "T" ON BACK OF CURB ELEV= 5058.39



VICINITY MAP

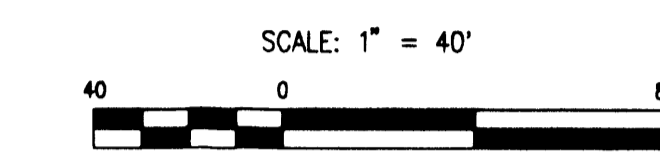
SCALE: 1" = 750'



F.I.R.M.

PANELS 136 & 138 OF 825

N.T.S.



SCALE: 1" = 40'

**LEGEND**

- C/G CURB AND GUTTER
- CLF CHAIN LINK FENCE
- CMU CONCRETE MASONRY UNIT
- CONC CONCRETE
- FH FIRE HYDRANT
- FL FLOW LINE
- GP GUARD POST
- INV INVERT
- L/S LANDSCAPE
- MGP METAL GUARD POST
- MH MANHOLE
- MLP METAL LIGHT POLE
- OHE(4) OVERHEAD ELECTRIC (NO. OF LINES)
- OHT(1) OVERHEAD TELEPHONE (NO. OF LINES)
- RCP REINFORCED CONCRETE PIPE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SI STORM INLET
- SVB SPRINKLER VALVE BOX
- TC TOP OF CURB
- V/G VALLEY GUTTER
- W/L WATER LINE
- WCR WHEELCHAIR RAMP
- WMB WATER METER BOX
- WPP WOOD POWER POLE
- WS WOOD SIGN
- WVB WATER VALVE BOX
- + 59.4 EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- DECIDUOUS TREE (CALIPER SIZE)
- CONIFEROUS TREE (CALIPER SIZE)
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT

**KEYED NOTES**

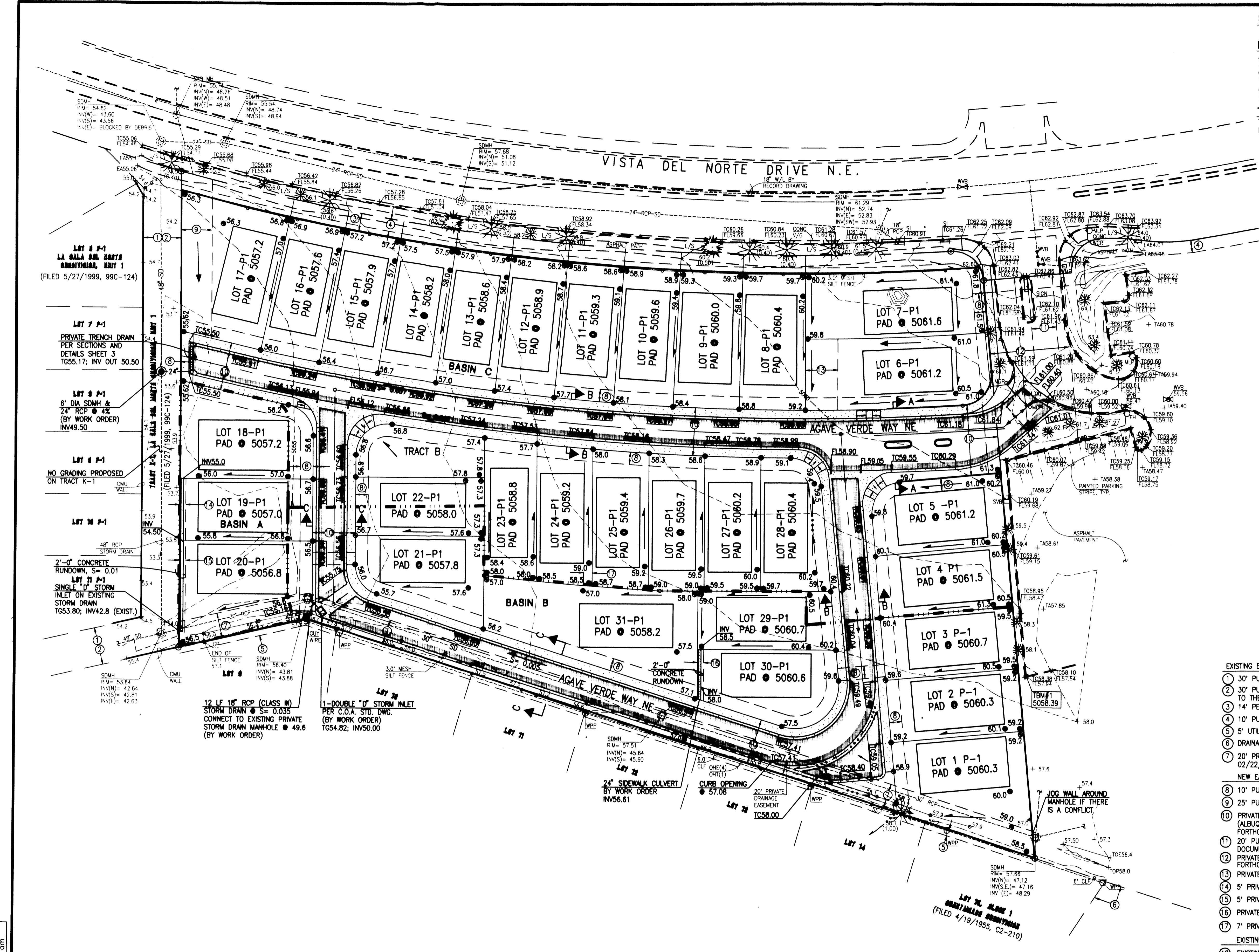
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THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR INFORMATION ONLY. BOUNDARY AND TOPOGRAPHIC DATA SHOWN HEREON IS FROM THE MAY, 2005 SURVEY CONDUCTED BY THIS OFFICE.

I, J. GRAEME MEANS, NINPE 13676, CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.



PROJECT #1004162



**Jma** JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, N.M. 87109  
ENGINEERS & SURVEYORS (505) 345-4250  
FAX: 505 345-4254 □ ESTABLISHED 1977

APPROVED FOR ROUGH GRADING  
*[Signature]*  
CITY HYDROLOGY DATE: 7/11/05

**GRADING PLAN  
AGAVE SUBDIVISION**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.4
DRAWN BY	J.L.P.					DATE	07-2005
APPROVED BY	G.M.					SHEET	1 OF 3



**DRAINAGE REPORT**

**I. EXECUTIVE SUMMARY AND INTRODUCTION**

THE PROPOSED DEVELOPMENT IS LOCATED IN NORTH CENTRAL ALBUQUERQUE WITHIN THE VISTA DEL NORTE SUBDIVISION. THE EPC VOTED TO APPROVE A ZONE MAP AMENDMENT AND SITE DEVELOPMENT PLAN APPROVAL WITH CONDITIONS TO BE ADDRESSED AT DRB. THE DRAINAGE OUTFALL FOR THE SITE IS TO AN EXISTING PUBLIC STORM DRAIN CONSTRUCTED BY CPN 5790.81 WITHIN AN ADJACENT PUBLIC EASEMENT SIZED FOR THIS DISCHARGE. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS DRAINAGE REPORT IS TO OBTAIN PRELIMINARY PLAT, ROUGH GRADING AND WORK ORDER APPROVALS.

**II. PROJECT DESCRIPTION:**

AS SHOWN BY VICINITY MAP E-16 ON SHEET 1, THE SITE IS LOCATED IN THE VISTA DEL NORTE SUBDIVISION ON THE NORTH SIDE OF OSUNA RD NE. A 1998 MASTER DRAINAGE PLAN PREPARED BY AVID ENGINEERING ADDRESSED SITE DRAINAGE BASINS AND STORM DRAIN SIZING. THE SITES TO THE NORTH AND WEST ARE DEVELOPED RESIDENTIALLY. THE SITE TO THE SOUTH IS DEVELOPED AS A CHURCH. THE SITE TO THE EAST IS UNDEVELOPED AND IS ZONED FOR A SHOPPING CENTER. THE EXISTING LEGAL DESCRIPTION IS TRACT L-2, VISTA DEL NORTE. THE SITE IS CURRENTLY ZONED SU-1/0-1 WITH SIGNAGE RESTRICTIONS. ON JUNE 16TH, 2005, THE EPC VOTED TO APPROVE A ZONE MAP AMENDMENT TO SU-1/PRD. AS SHOWN BY PANEL 138 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNAULLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

**III. BACKGROUND DOCUMENTS**

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

- A. DRAINAGE MASTERPLAN FOR VISTA DEL NORTE SUBDIVISION BY AVID ENGINEERING, LATEST REVISION DATED MARCH 19, 1998. THIS MASTERPLAN IDENTIFIED DRAINAGE BASINS, FLOW RATES, AND SIZED PUBLIC STORM DRAINS FOR THE SUBDIVISION. AS SHOWN BY THAT PLAN, BASIN L (THE PARENT LOT FOR TRACTS L1 AND L2) WAS ASSUMED TO BE 80% LAND TREATMENT D AND 20% LAND TREATMENT B.
- B. GRADING AND DRAINAGE PLAN FOR DESERT SPRINGS CHURCH BY JC ENGINEERING DATED DECEMBER 12, 2001 WITH REVISION DATED JULY 18, 2002. (FILE E-16/D21). THIS GRADING PLAN ADDRESSED THE CHURCH SITE TO THE SOUTH ON TRACT L-1. IT CONSTRUCTED A PRIVATE STORM DRAIN IN A 20 FT EASEMENT ACROSS THE WESTERN BOUNDARY OF TRACT L-2.
- C. GRADING AND DRAINAGE PLAN FOR RANCHO MIRAGE BY TIERRA WEST ENGINEERING, DATED 07/18/2002. (FILE E-16.D22). A PORTION OF THIS MULTIFAMILY RESIDENTIAL SITE TO THE NORTHEAST (17.6 CFS) DRAINS INTO THE SAME STORM DRAIN SYSTEM AS TRACTS L1 AND L2.
- D. AS-BUILT WORK ORDER PLANS FOR CPN 5790.81, VISTA DEL NORTE UNIT 1. THESE PLANS ADDRESSED THE CONSTRUCTION OF THE NOW-EXISTING PUBLIC STORM DRAIN SYSTEM THAT IS THE OUTFALL FOR THIS SITE. THEY INCLUDE DESIGN FLOW RATES AND HYDRAULIC GRADE LINES.
- E. CONCEPTUAL GRADING AND DRAINAGE PLAN FOR AGAVE SUBDIVISION BY JMA DATED 4/28/2005 (FILE E16/D24). THIS CONCEPTUAL PLAN FOR THIS SITE WAS APPROVED FOR SITE DEVELOPMENT PLAN APPROVAL WITH CONDITIONS TO BE ADDRESSED PRIOR TO PRELIMINARY PLAT APPROVAL. THE PROPOSED CONSTRUCTION DRAINING DIRECTLY AND FREELY TO EXISTING PUBLIC DRAINAGE IMPROVEMENTS AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

**IV. EXISTING CONDITIONS:**

THE SITE IS UNDEVELOPED WITH A SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE SLOPES FROM SOUTHEAST TO NORTHWEST. THERE IS AN EXISTING LANDSCAPED STRIP AND A PAVED MEANDERING TRAIL WITHIN AN EASEMENT ALONG THE EAST PROPERTY LINE. TO THE NORTH IS A 30 FT WIDE UNDEVELOPED TRACT ENCOMBERED BY A PEDESTRIAN ACCESS AND PUBLIC STORM DRAINAGE EASEMENT. A 48" STORM DRAIN LIES WITHIN THE EASEMENT. TO THE NORTH OF THIS TRACT IS A RESIDENTIAL SUBDIVISION. THE SITE IS FRONTED ON THE EAST BY VISTA DEL NORTE DRIVE, NE, A FULLY DEVELOPED PUBLIC STREET. EXISTING SITE RUNOFF SHEET DRAINS FROM SOUTHEAST TO NORTHWEST TO AN EXISTING SMALL RETENTION AREA AT THE NORTHWEST CORNER OF THE SITE. THE TITLE BINDER FOR THE SITE REVEALS THAT THERE IS A DRAINAGE COVENANT IN PLACE FOR THIS POND WHICH WAS CONSTRUCTED AS PART OF THE SALA DEL NORTE SUBDIVISION TO THE NORTH. RUNOFF FROM HERE OVERFLOWS INTO THE PUBLIC DRAINAGE RIGHT OF WAY TRACT TO THE NORTH AND INTO AN EXISTING DETENTION POND. DEVELOPED RUNOFF FROM THE CHURCH TO THE SOUTH IS CONVEYED ACROSS THE SITE IN A PRIVATE 30" RCP STORM DRAIN THAT LIES WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT ALONG THE WESTERN BOUNDARY OF THE SITE.

**V. DEVELOPED CONDITIONS**

31 NEW RESIDENTIAL HOMES ARE PROPOSED WITH PRIVATE INTERNAL STREETS AND PRIVATE STORM DRAINAGE FACILITIES. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN C WILL DRAIN TO THE NORTH AND WILL ENTER THE EXISTING 48" PUBLIC STORM DRAIN THROUGH A PRIVATE CATTLE GUARD STYLE INLET LOCATED AT A SUMP CONDITION. THE OVERFLOW FROM THIS SUMP IS TO THE NORTH TO THE PUBLIC DRAINAGE EASEMENT ON TRACT K-1. BASINS A AND B WILL DRAIN INTO A AN-SITE PRIVATE 30 INCH STORM DRAIN NEAR THE NW CORNER OF THE SITE. ALTHOUGH NOT ANTICIPATED BY THE PLAN THAT SUPPORTED THE PRIVATE STORM DRAIN (REF. B), THE CALCULATIONS DEMONSTRATE THAT THE PRIVATE LINE HAS CAPACITY FOR THE EXCESS FLOWS. A PROPOSED AGREEMENT BETWEEN THE OWNER OF THE STORM DRAIN AND THE DEVELOPER OF AGAVE ADDRESSES SHARED MAINTENANCE AND USE OF THIS PRIVATE STORM DRAIN. THE SUMP INLET TO THIS STORM DRAIN ALSO WILL OVERFLOW TO THE DOWNSTREAM PUBLIC DRAINAGE EASEMENT. THE DOWNSTREAM PUBLIC SYSTEM WAS SIZED IN ANTICIPATION OF MUCH DENSER DEVELOPMENT ON THIS TRACT, AND DOWNSTREAM CAPACITY THEREFORE EXISTS IN THE 48 INCH PUBLIC STORM DRAIN THAT FRONTS THE NORTH SIDE OF THE TRACT. UPON GRADING PLAN APPROVAL AND THE ESTABLISHMENT OF FINANCIAL GUARANTEES, WE WILL REQUEST RELEASE OF THE DRAINAGE COVENANT ASSOCIATED WITH THE SMALL RETENTION POND LOCATED AT THE NORTHWEST CORNER OF THE SITE.

A PERIMETER WALL IS PROPOSED. THE DEVELOPER WILL CONSTRUCT THE WALL AND IT WILL RETAIN NO MORE THAN 18 INCHES AT ANY LOCATION. THE INTENT OF THE PLAN IS TO BLEND IN WITH EXISTING GRADES TO THE MAXIMUM EXTENT POSSIBLE. IT IS NOTED, THAT THE ADJACENT PRIVATE PROPERTY NEAR THE SOUTHWEST CORNER OF THE SITE LIES TOPOGRAPHICALLY LOWER THAN THE SITE. IT IS THE INTENT OF THE DEVELOPER TO COORDINATE WITH THE ADJACENT PROPERTY OWNER REGARDING THE FINAL GRADING AND WALL LOCATIONS TO ACCOMMODATE THE APPROXIMATE 2.5 FT GRADE CHANGE WITH THE ADJACENT PROPERTY.

**VI. GRADING PLAN**

THE GRADING PLAN HEREON SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM A MAY, 2005 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, TOP OF CURB ELEVATIONS AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY AND SUPPLEMENTED WITH AS-BUILT DRAWINGS OF THE DESERT SPRINGS CHURCH AND CITY INFRASTRUCTURE PLANS, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

**VII. CALCULATIONS**

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. MANNING'S EQUATION FOR PRESSURE FLOW WAS USED TO EVALUATE THE EXISTING PRIVATE STORM DRAIN, AND HAESTAD FLOWMASTER 6.0 WAS USED TO ANALYZE THE STORM INLET CAPACITIES.

**IX. CONCLUSIONS**

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS FOR VISTA DEL NORTE.
- 2) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME.
- 4) THERE IS AN EXISTING DRAINAGE COVENANT ASSOCIATED WITH A SMALL ON-SITE RETENTION POND THAT WILL NOT BE REQUIRED IF THIS PROJECT IS CONSTRUCTED. A RELEASE REQUEST WILL BE FORTHCOMING AT THE APPROPRIATE TIME.
- 5) AN AGREEMENT BETWEEN THE OWNERS OF TRACTS L-1 AND L-2 IS IN PROGRESS THAT WILL ADDRESS SHARED USE OF THE PRIVATE STORM DRAIN. A RECORDED COPY WILL BE PROVIDED PRIOR TO WORK ORDER APPROVAL.

**SUMMARY OF HYDROLOGIC CALCULATIONS (ZONE 2)**

$A_T = 5.95$  ac

TREATMENT	EXISTING	PROPOSED
B	-	15
C	100	30
D	-	55

	EXISTING	PROPOSED	INCREASE
VOLUME, $V_{100}$	24,395 cf	34,850 cf	10,455 cf
PEAK FLOW, $Q_{100}$	18.2 cfs	20.0 cfs	1.3 cfs

BASIN	% AREA	$Q_{100}$
A	7	1.4 cfs
B	32	6.4 cfs
C	61	12.2 cfs

**GRADING NOTES**

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986, UPDATE 7.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 FOR LOCATION OF EXISTING UTILITIES.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
8. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
9. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
11. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
13. THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
14. ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
16. ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
17. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED. ALL EARTHWORK FOR BUILDING PADS SHALL BE PERFORMED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL SPECIFICATIONS WHERE AVAILABLE.
18. ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
19. THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
20. FINISHED FLOOR ELEVATIONS MAY VARY FROM THE PAD ELEVATIONS AND WILL BE DETERMINED AS A FUNCTION OF INDIVIDUAL HOUSE DESIGN.
21. FINISHED FLOOR ELEVATIONS SHOULD BE ESTABLISHED AT A MINIMUM OF FOUR INCHES ABOVE PAD ELEVATIONS; DEVIATIONS FROM THESE GUIDELINES MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
22. CROSS-LOT DRAINAGE WILL BE PERMITTED AS SHOWN ON THE GRADING PLAN.
23. WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER PRIOR TO DRAINAGE CERTIFICATION FOR FINANCIAL GUARANTY RELEASE. A SEPARATE PLAN REVIEW AND PERMIT PROCESS IS REQUIRED FOR ALL RETAINING AND GARDEN WALLS.
24. THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. ALL DEVELOPED RUNOFF SHALL BE DIRECTED TO THE STREETS.
25. MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
26. ROUGH GRADING TOLERANCES SHALL BE  $\pm 0.1$  FT FOR BUILDING PADS AND STREETS AND  $\pm 0.33'$  FOR ALL OTHER GRADING PROVIDED THE GRADES MEET THE INTENT OF THIS GRADING PLAN.
27. UNDER FEDERAL LAW, THE OPERATOR(S) OF CONSTRUCTION SITES WHERE 1 OR MORE ACRES ARE DISTURBED MUST SUBMIT A NOTICE OF INTENT (N.O.I.) TO OBTAIN COVERAGE UNDER AN NPDES STORM WATER CONSTRUCTION GENERAL PERMIT.
28. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

I, J. GRAEME MEANS, NPCE 13676, CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.



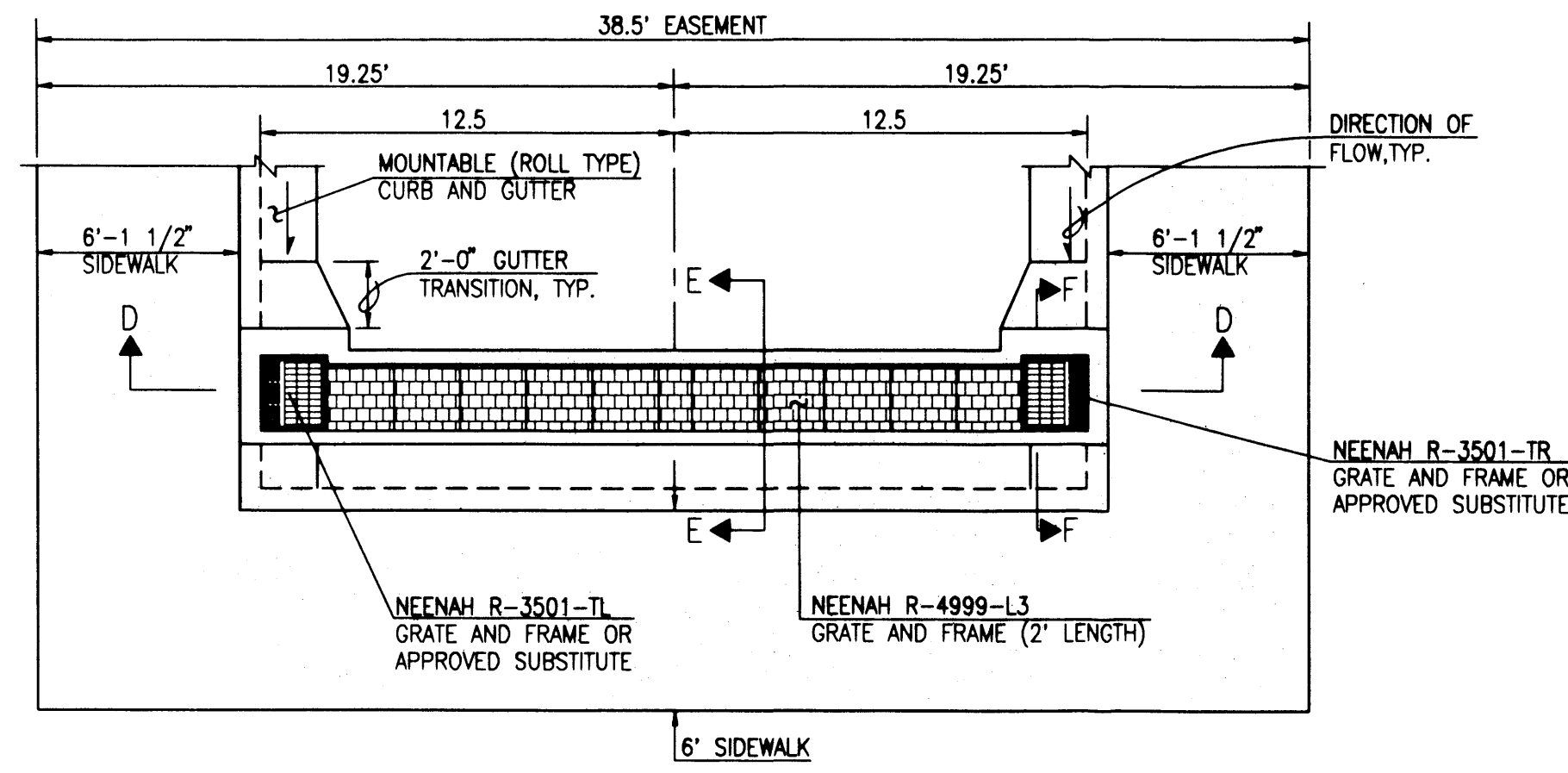
File Path: E:\JMA\WORK\050805A File Name: 502B+DCAL.DWG Plot Date: 07-11-2005 Plot Time: 08:22 am

**Jma** JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. NE.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS SURVEYORS (C) 345-4250  
FAX: 505 345-4254 ESTABLISHED 1977

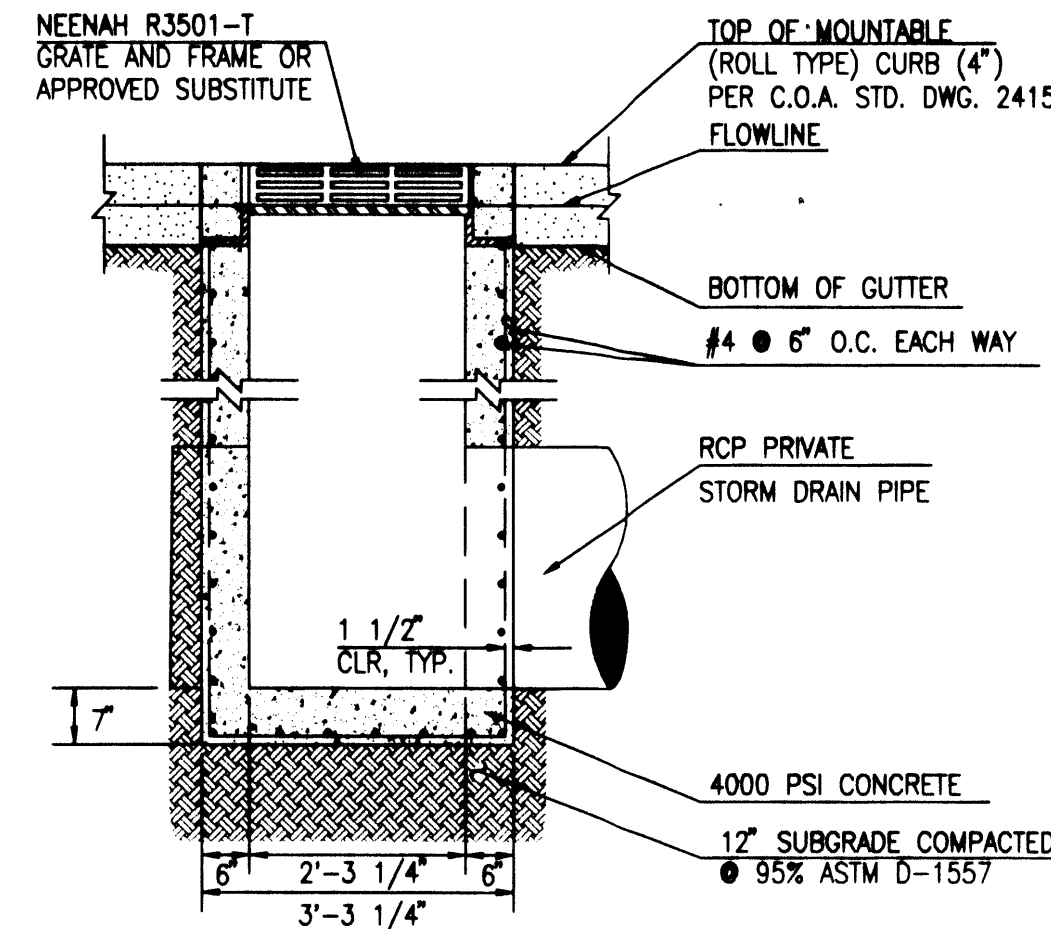
**DRAINAGE REPORT, GRADING NOTES AND CALCULATIONS  
AGAVE SUBDIVISION**

DESIGNED BY	NO.	DATE	BY	REVISIONS		JOB NO.
				NO.	DATE	
G.M.						2005.028.4
JLP						DATE 07-2005
G.M.						SHEET 2 OF 3

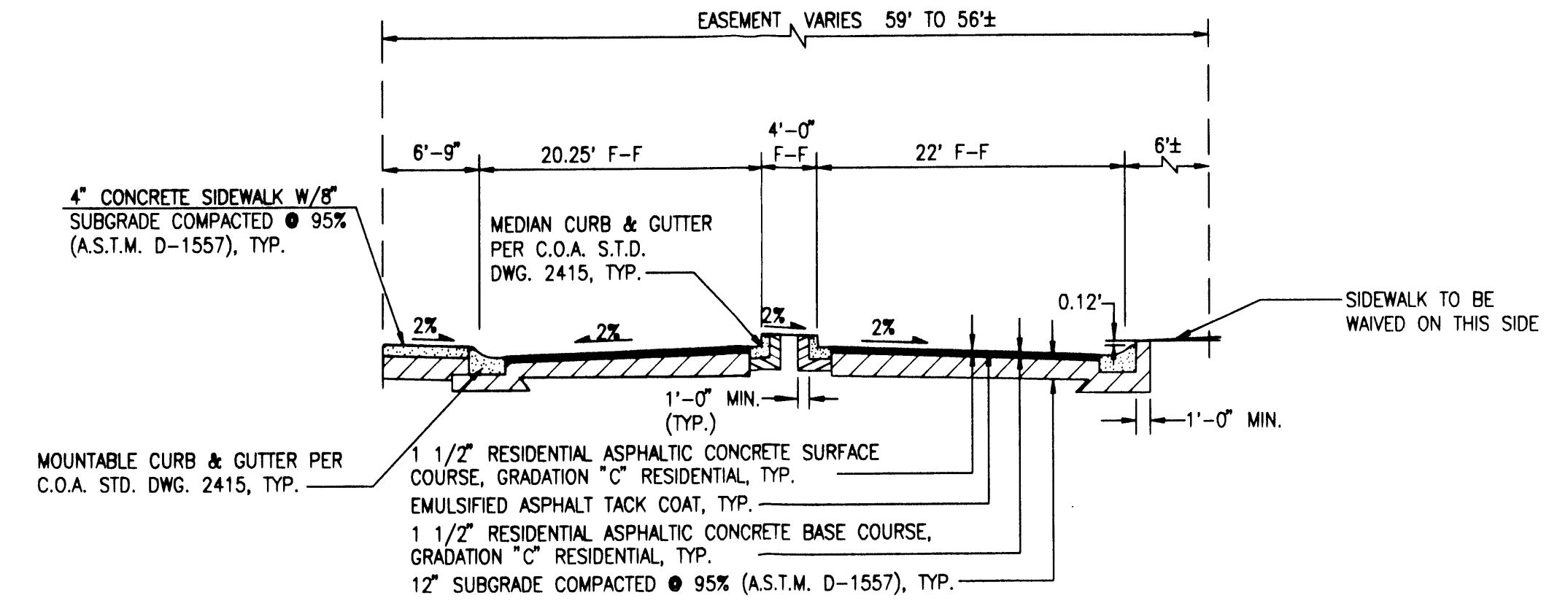




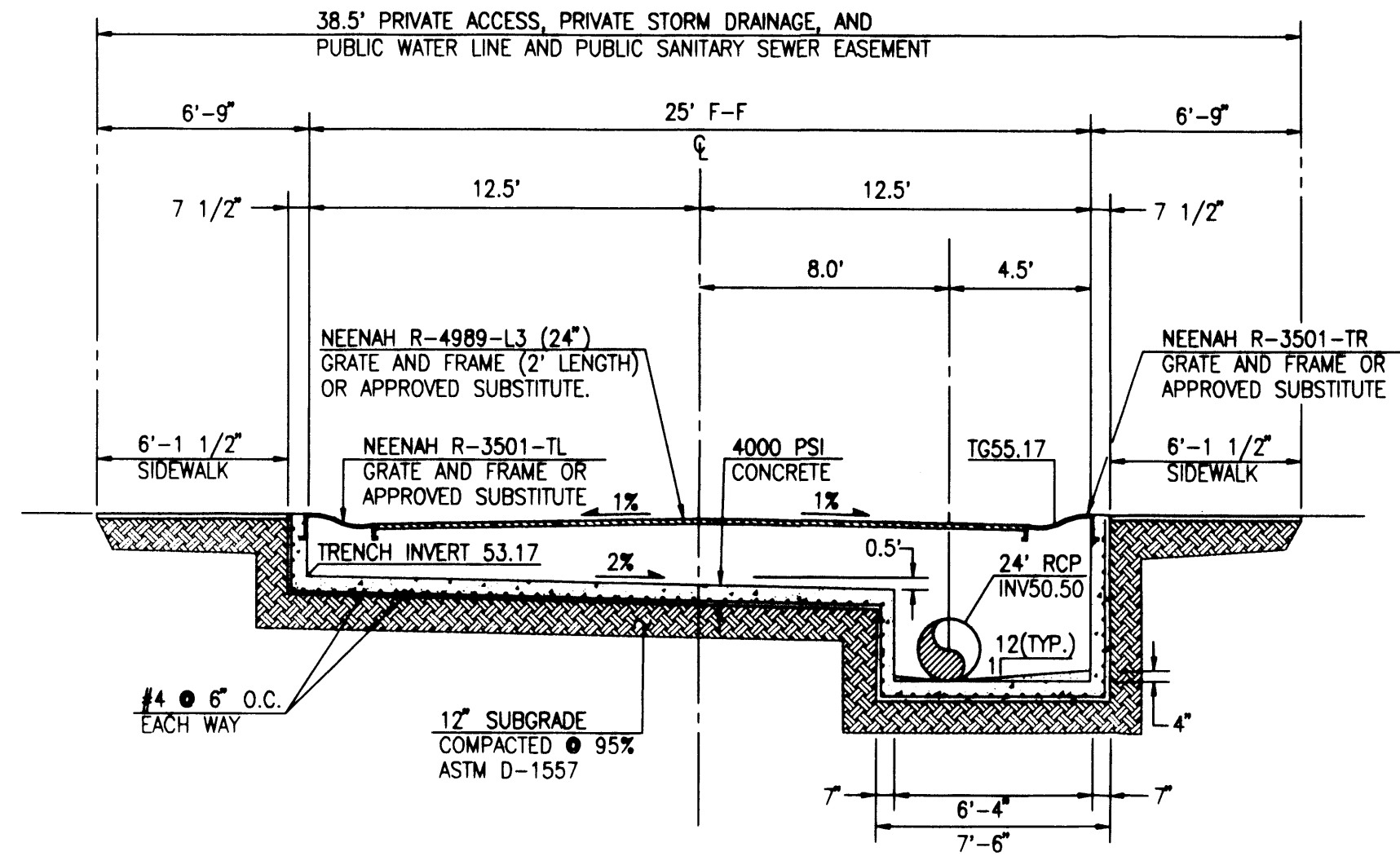
TRENCH DRAIN DETAIL (PRIVATE)  
SCALE: 1" = 5'-0"



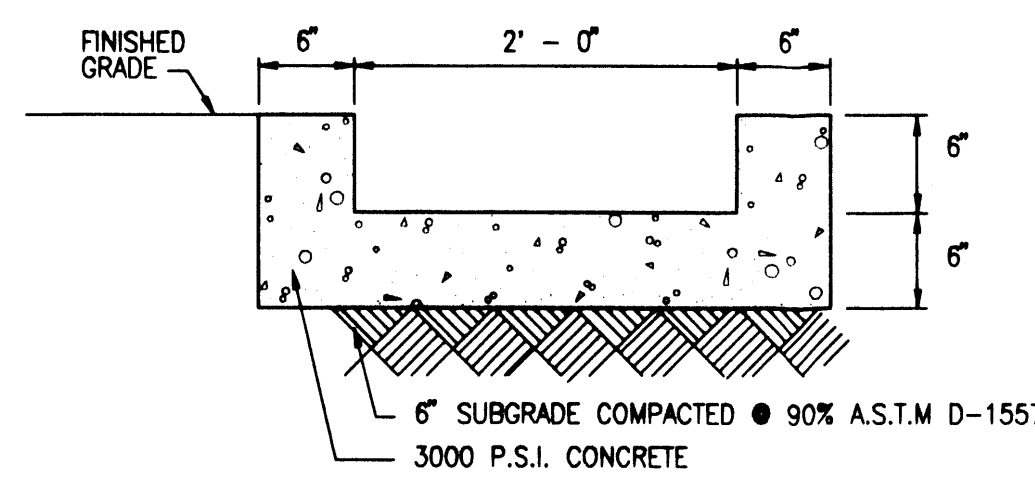
SECTION F-F  
SCALE: 1" = 2'-0"



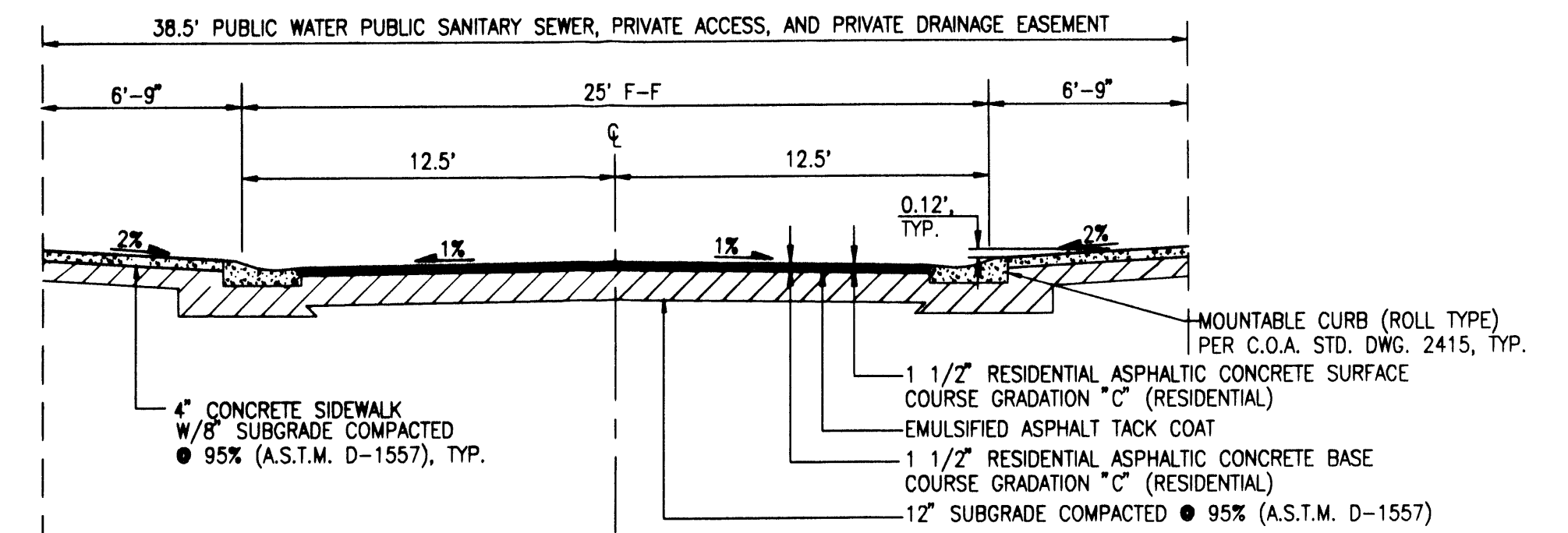
SECTION A - A (ENTRANCE STREET)  
SCALE: 1" = 10' HORIZONTAL  
1" = 6" VERTICAL



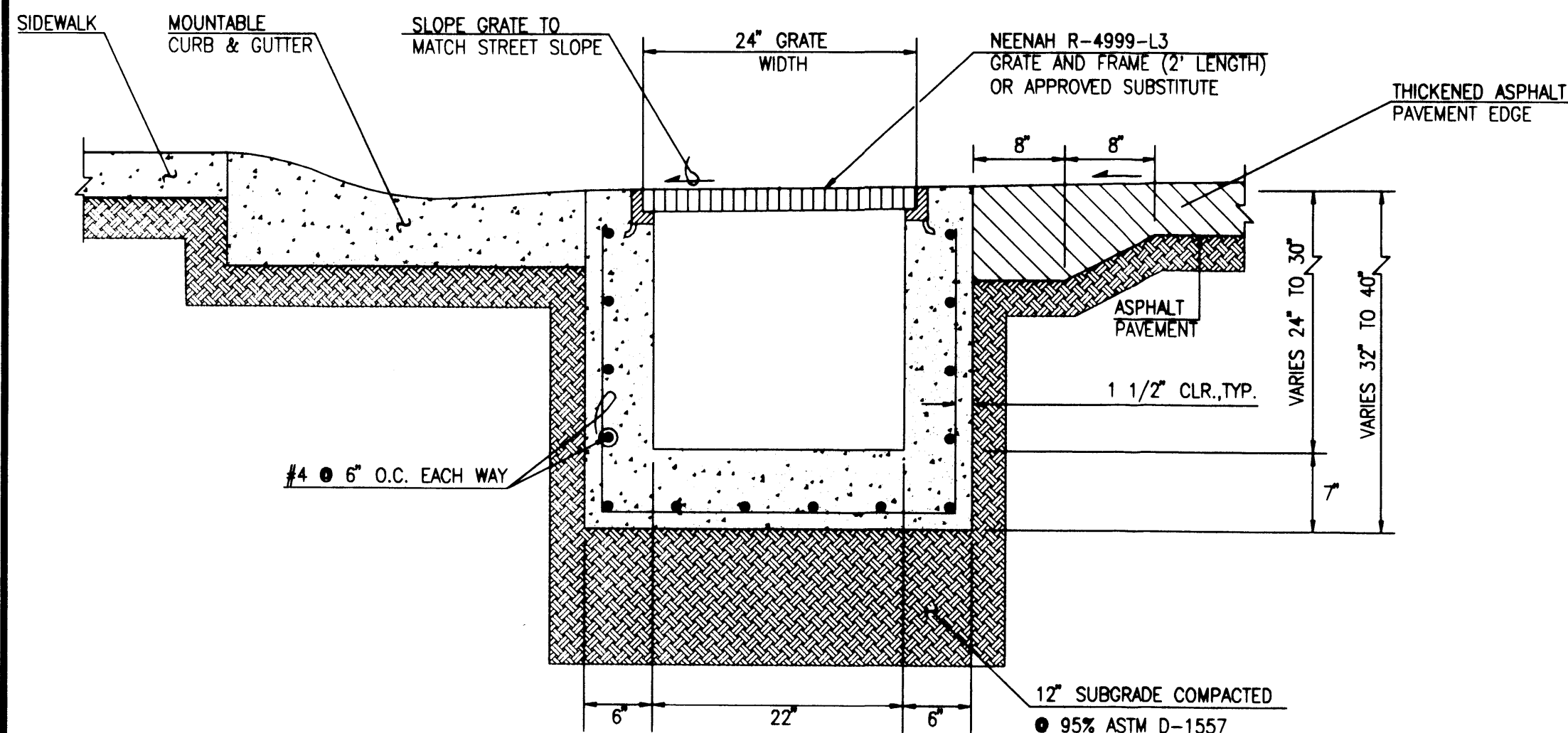
SECTION D-D  
SCALE: 1" = 5'-0"



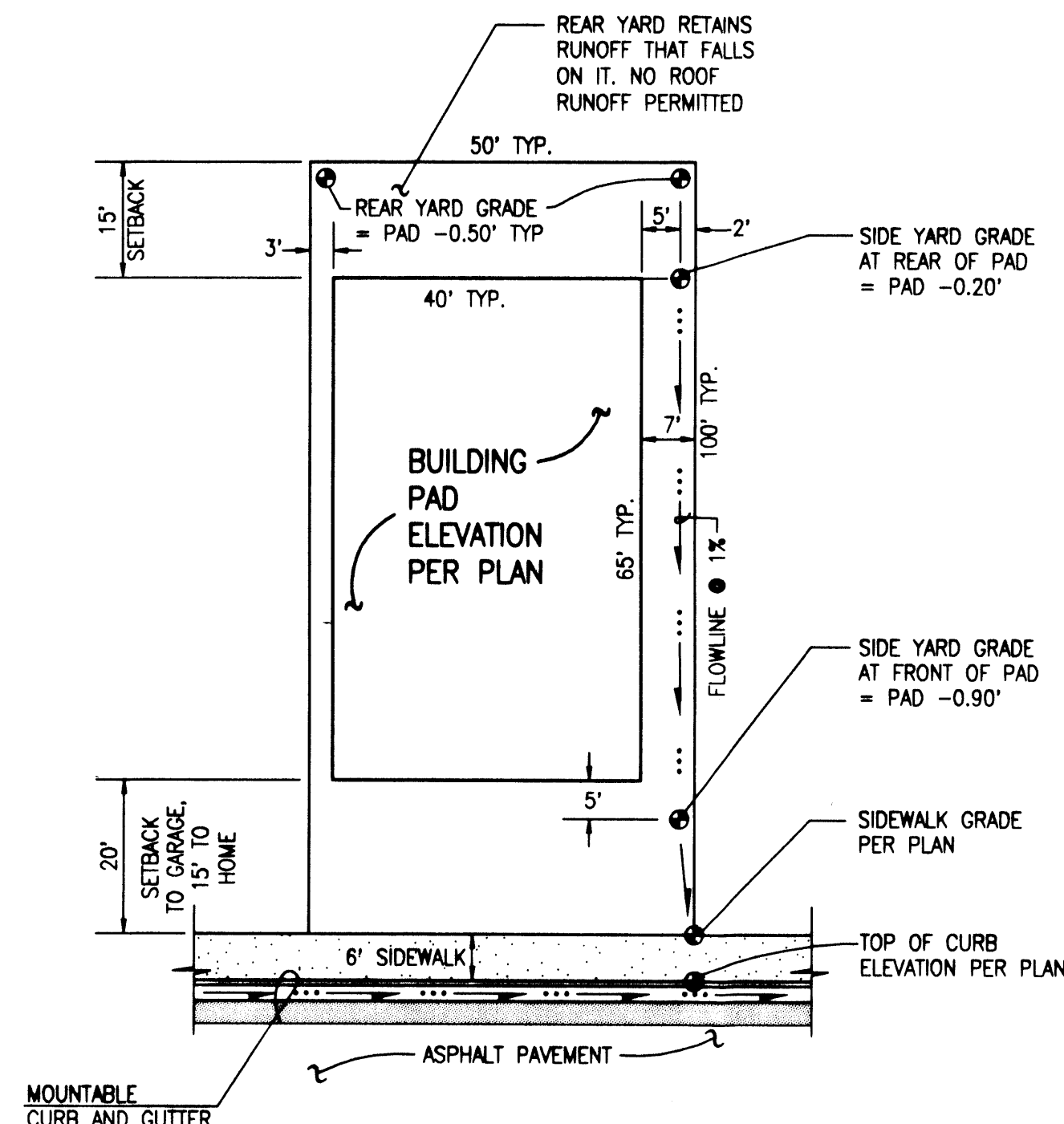
TYPICAL RUNDOWN SECTION  
SCALE: 1" = 1' - 0"



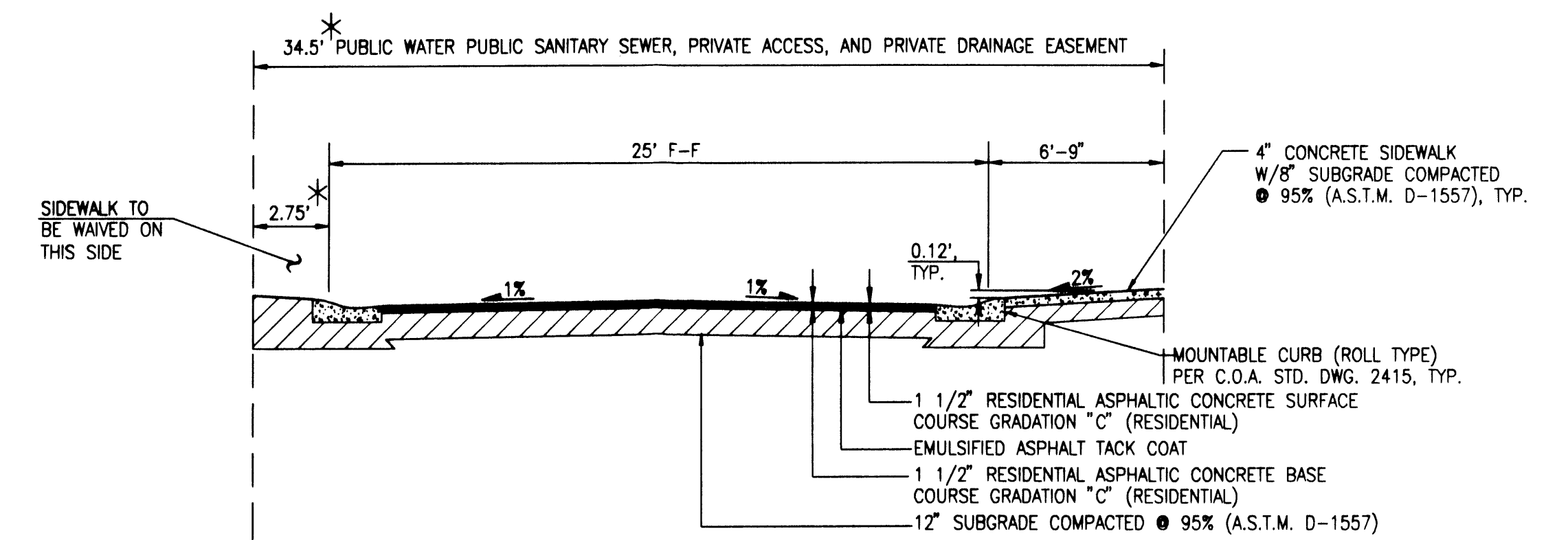
SECTION B-B (PRIVATE STREET WITH HALF CROWN)  
SCALE: 1" = 5'



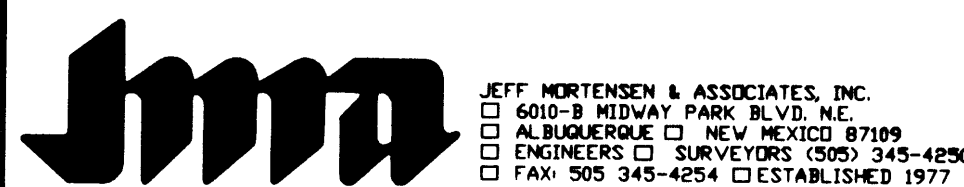
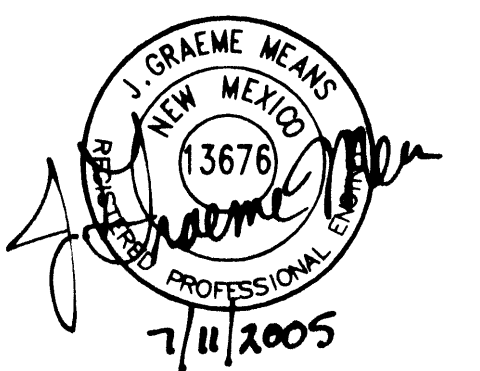
SECTION E-E  
SCALE: 1" = 1'-0"



TYPICAL LOT GRADING DETAIL  
SCALE: 1" = 20'



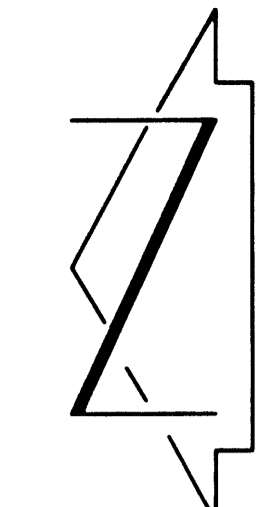
SECTION C-C (PRIVATE STREET WITH HALF CROWN)  
SCALE: 1" = 5'  
\* WIDTHS INCREASE TO 36 FT AND 4 FT ALONG WEST PROPERTY LINE.



SECTIONS AND DETAILS  
AGAVE SUBDIVISION

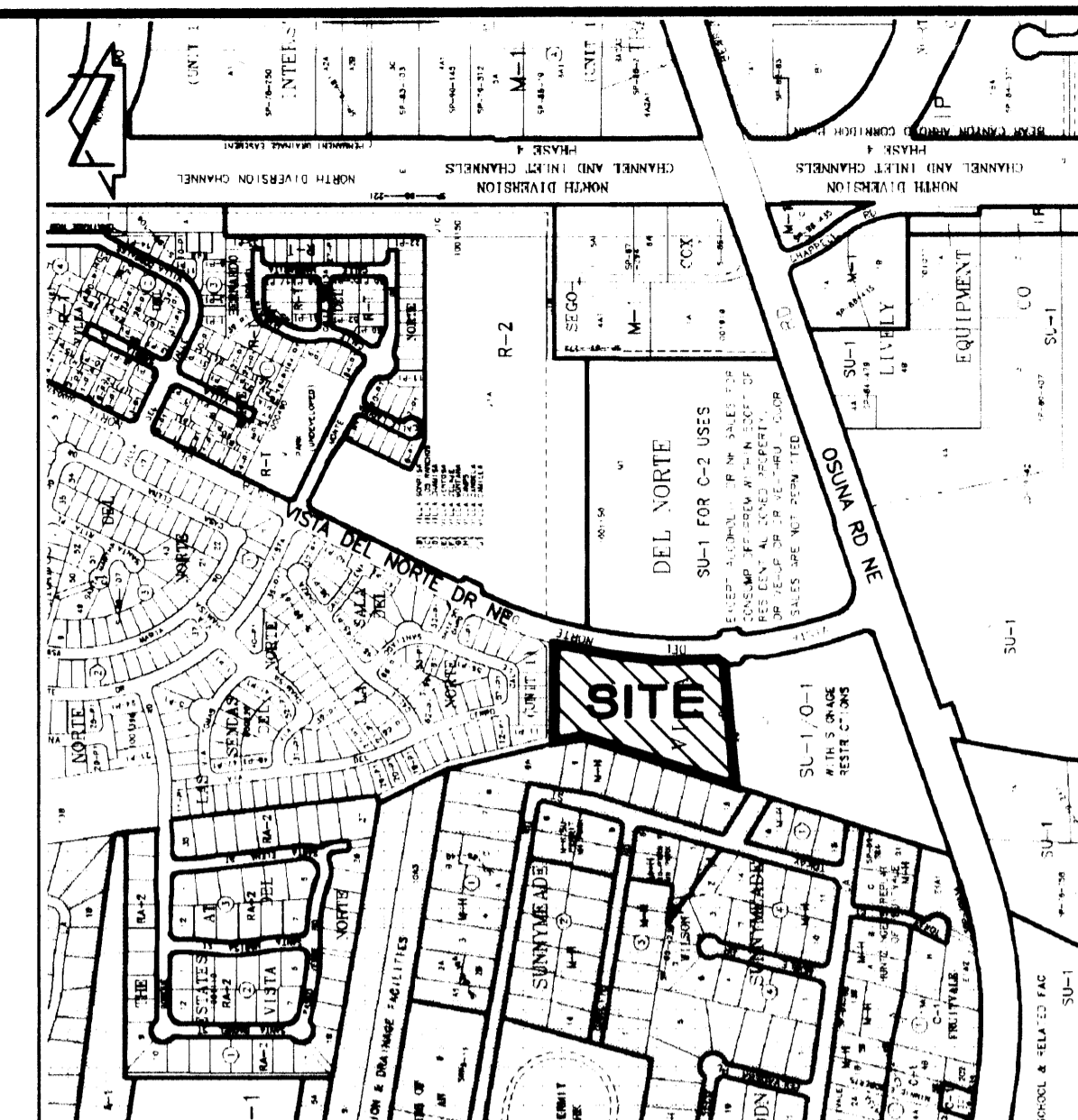
DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.4
DRAWN BY	R.R.W.					DATE	07-2005
APPROVED BY	G.M.					SHEET	3 OF 3



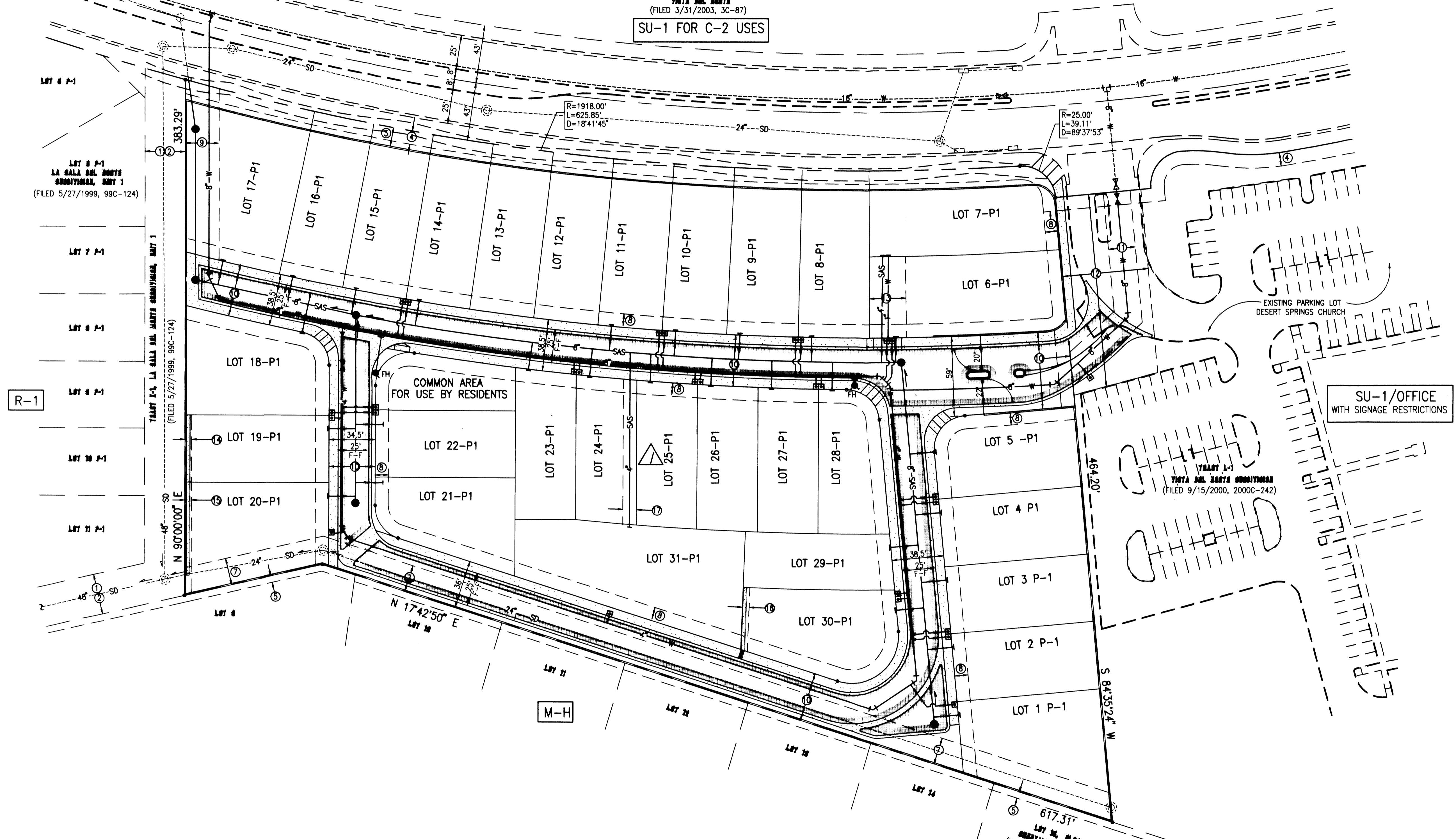


SCALE: 1" = 40'  
0 20 40 80

TRACT M-1  
YOTA DEL NORTE  
(FILED 3/31/2003, 3C-87)  
SU-1 FOR C-2 USES



VICINITY MAP  
NOT TO SCALE



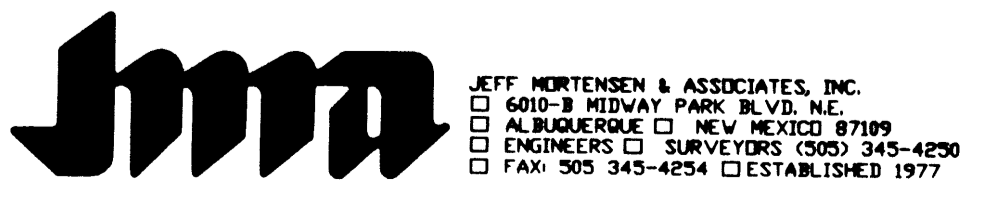
- LEGEND**
- EXISTING SANITARY SEWER MANHOLE
  - PROPOSED SANITARY SEWER MANHOLE
  - EXISTING STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN MANHOLE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT
  - EXISTING WATER VALVE
  - PROPOSED WATER VALVE
  - PROPOSED SANITARY SEWER SERVICE
  - PROPOSED WATER SERVICE
  - EXISTING WATER LINE
  - EXISTING SANITARY SEWER LINE

SU-1/OFFICE  
WITH SIGNAGE RESTRICTIONS

- NOTES:**
- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS AREA SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA SHOWN HEREON IS FROM PLAT OF RECORD (2000C-242)
  - EXISTING ROAD, UTILITY AND PARKING LOT DATA IS FROM AS-BUILT DRAWINGS.

J. GRAEME MEANS  
NEW MEXICO  
13676  
REGISTERED PROFESSIONAL ENGINEER  
7/8/2005

File Path: E:\WORK\2005\0528TU.DWG  
Plot Date: 07-08-2005  
Plot Time: 4:08 pm



### CONCEPTUAL UTILITY PLAN AGAVE SUBDIVISION

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	07/03	G.M.	REVISE LOTS 21-30 TO ADDRESS EPC COMMENTS, ADD HYDRANTS	2005.028.1
G.M./S.G.H.				DATE 05-2005
G.M.				SHEET 4 OF 6

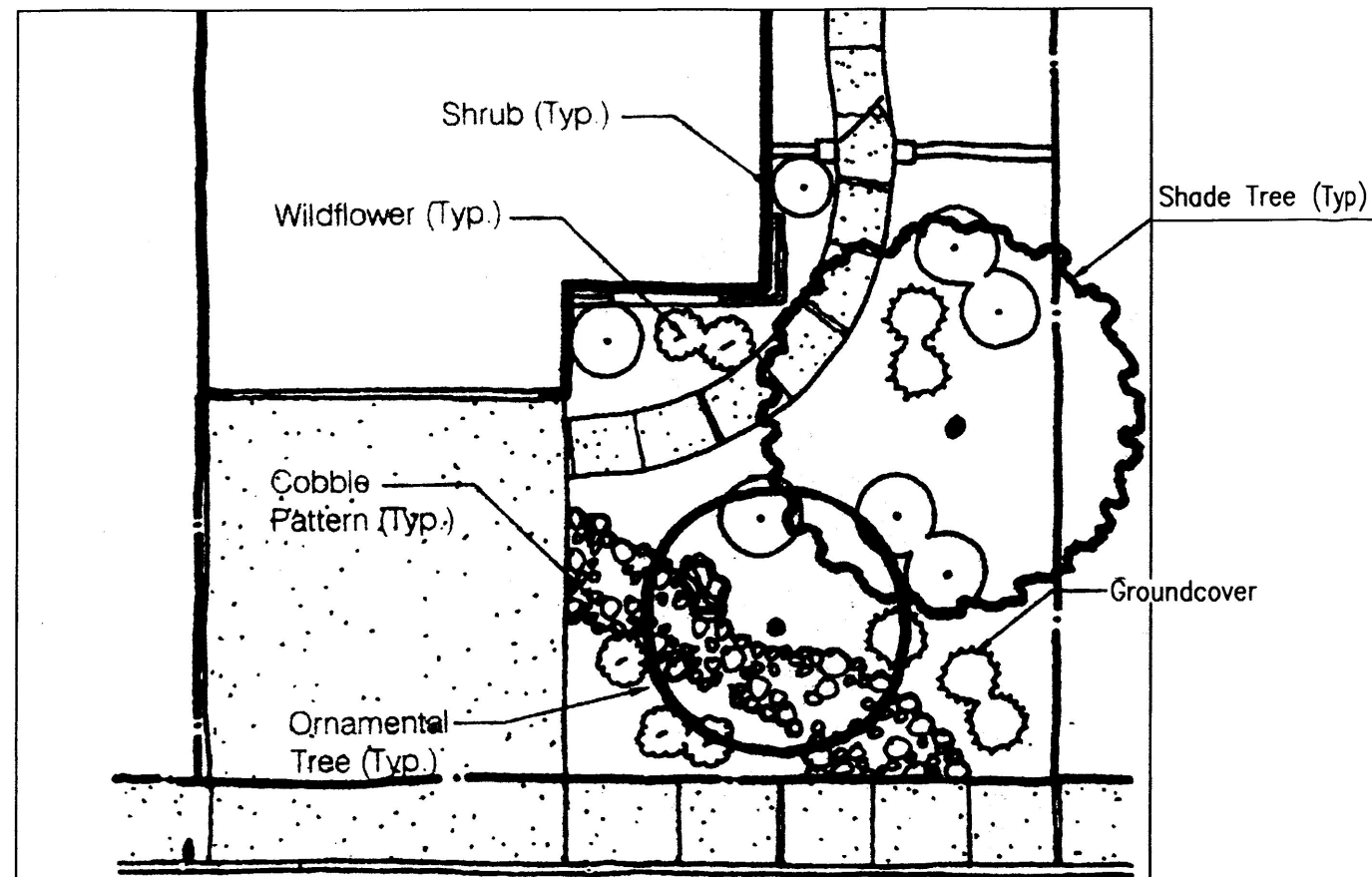


# Design Standards

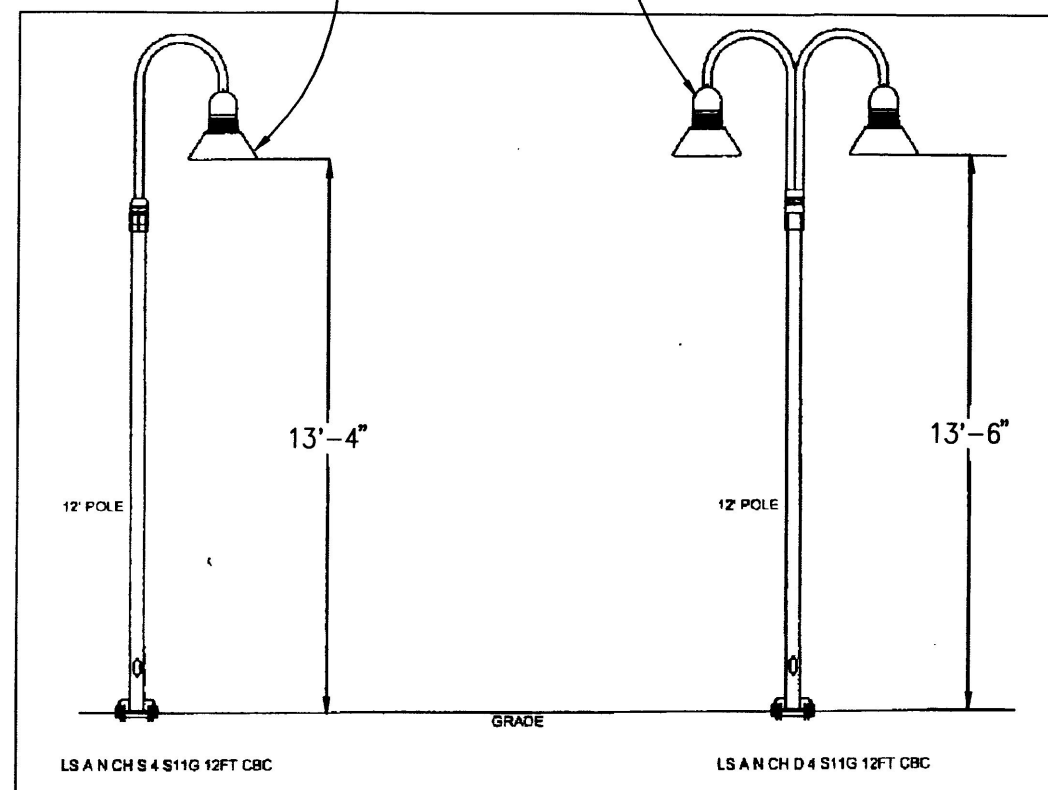
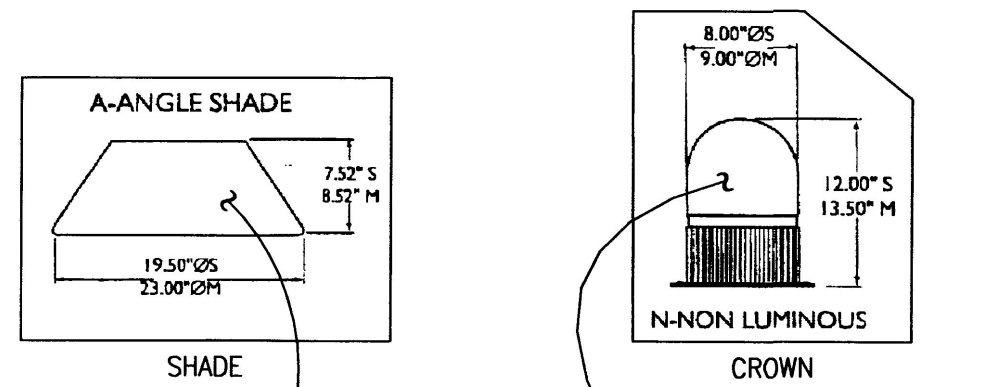
For:  
**AGAVE**

Agave Subdivision Lots 1-31

The following design standards are for thirty-one (31) single family patio homes to be developed in the Vista Del Norte Master Plan Community. Tract L-2 is located to the north of the Desert Springs Church L-1 Tract and adjacent to the western side of Vista Del Norte Blvd. NE. Agave subdivision will be a patio home zero lot line subdivision offering its residents privacy through a single gated access point. Builders will construct all homes within this subdivision in compliance with these design standards. The developer shall administer these standards.

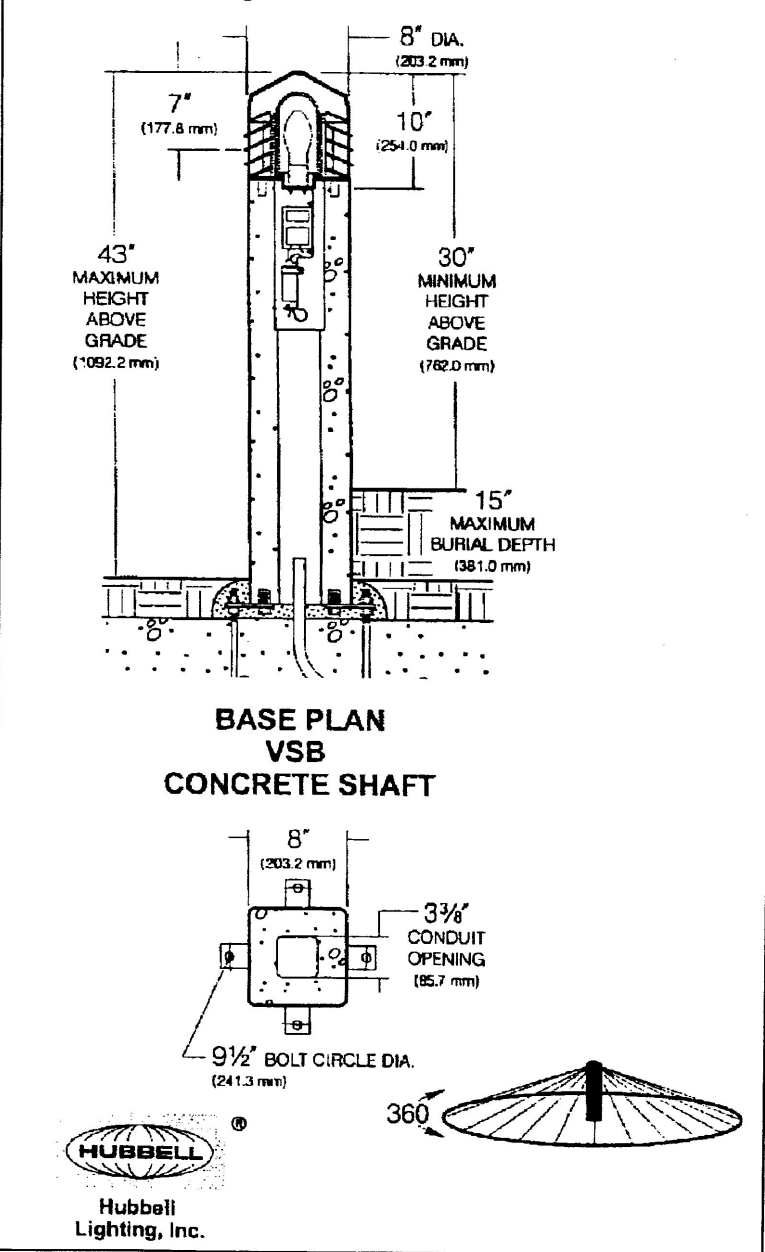


**TYPICAL FRONT YARD LANDSCAPE PLAN**  
SCALE: 1" = 10'



**STREET LIGHTING DETAILS**  
N.T.S.

**VSBB1C - Single Function Luminaire (Concrete Shaft)**  
Maximum weight: 120 lb



**PARK BOLLARD LIGHT**  
N.T.S.

## A. Architectural Character

Agave Subdivision will be a unique, high-quality development. Builders and designers shall use architectural details and materials consistent with the following design standards. To promote a uniform look to this subdivision a southwest contemporary architectural style, typical of that shown in exhibits "A" and "B" are prescribed. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

## B. Garages

Each residence is required to have an attached two car garage and sufficient parking for an additional two vehicles on the site, so a minimum and maximum of four parking spaces are provided.

## C. Setbacks

- The minimum setback of the living area of a dwelling shall be 15 feet. The minimum setback of the garage of a dwelling is 20 feet.
- A maximum of fifteen feet (15) lots within the subdivision may have garages that are set back less than the living area of the home.
- No more than 55% of the width of the front facade on any lot, may be garage door with the exception of lot 23 which shall not exceed 60%.
- No more than 50% of a front yard may be used for parking or a driveway.
- Side and rear yard setbacks are as regulated in the RT zone.

## D. Building Materials

Building materials for homes in Agave shall be consistent with the architectural character and style of each home design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, synthetic stucco, wood, stone, concrete masonry unit, glass, glass block, natural tile, ceramic tile, concrete tile, copper and galvanized metal. Stucco colors shall be DRY-VIT Torreon, Pueblo, Sandia, Suede, or comparable matches by other manufacturers. Roof tile, if installed, shall complement the Stucco color and be of similar earth tones.

## E. Building Height and Density

All thirty-one lots (31) are to be restricted to single story with a maximum allowable height of eighteen (18) feet.

## F. Mechanical Equipment and Utilities

1. Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view as viewed from the property line of the residence and from Vista Del Norte Blvd. NE. Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.

2. Any roof mounted equipment shall be screened behind parapets that are an integral part of the house that are architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

3. All electrical distribution lines shall be placed underground.

## G. Landscaping

These standards are to be used as a supplement to the requirements set forth in the City of Albuquerque (C.O.A.) Water Conservation Landscaping and Water Waste Ordinance, the C.O.A. Pollen Ordinance, the Vista Del Norte Master Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

- All common areas, front yards and side yards (if the lot is located on a corner) shall be landscaped. A maximum of 20% of the required landscaping can be high water use turf.
- No irrigation systems, turf or plants shall be placed within three (3) feet of any adjacent dwelling.
- Living vegetative materials shall cover a minimum of fifty (50) percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property. Common Area landscaping existing at the entrance to the subdivision shall be maintained by the Agave Homeowners Association. All live plants shall be irrigated with drip irrigation. Turf areas shall be irrigated with pop-up spray heads.
- Minimum sizes of required plants at time of installation shall be as follows:  
- Trees 2" cal.  
- Shrubs and Groundcover 1-5 Gal.
- Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
- Interior Landscape of each individual lot will be in accordance with the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
- Maintenance of all common area landscaping shall be the responsibility of the H.O.A.

## H. Pedestrian Circulation

- The existing fourteen (14) foot easement located along the eastern border separating Agave subdivision from Vista Del Norte Blvd, shall be protected by the developer during construction. Developer will be responsible for any damage caused by the construction of Agave Subdivision.
- Sidewalks to be installed at time of home construction, along the Private Street within the Agave subdivision.

## I. Wall/ Fences

A perimeter concrete masonry wall shall be installed encompassing the thirty-one (31) lot subdivision.

- All walls shall comply with the adopted City of Albuquerque Wall Design Regulations 14-16-3-19 of the Zoning Code.
- The south, west and north perimeter subdivision walls shall be concrete masonry unit (CMU). A suede stucco finish will be applied on the interior side of Agave Subdivision on the west wall and on the exterior (church) side of the south wall. These walls shall be a maximum height of 8 feet. The walls shall be installed by the Developer.
- An automobile/pedestrian entry and egress gate, located in the private access easement of the Desert Springs Church off of Vista Del Norte Blvd. NE, shall be installed by the developer.
- No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.
- The perimeter wall to be constructed along Vista Del Norte, Blvd. NE will be a stucco (suede) and stone wall that will blend in with the existing perimeter wall to the north. (See sheet 6) This wall shall be a maximum height of 6 feet. This wall shall be installed by the developer.

## J. Site Lighting

Site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

- Placement of fixtures shall conform to State and local safety and illumination requirements.
- The maximum mounting height of luminaries for site lighting at the gated entry shall be no higher than sixteen (16) feet.

## K. Signs

The Agave subdivision sign shall be placed in or near the perimeter wall just east of the gated entry. Construction shall be consistent with the materials and architectural character of the subdivision.

## L. Solid Waste

- Each lot/home shall have a residential cart provided by the City of Albuquerque. Pick up location and times will be coordinated by the City of Albuquerque.
- A storage area shall be located so that the carts are not visible from the street.

## M. Review for Compliance

The developer or subsequent Agave Homeowners Association shall review construction plans for compliance with the design requirements specified in this document.

## N. Vacant Lots/ Destruction

- There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
- The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

## O. Restricted Activities

- No camper, recreational vehicle, trailer, mobile home, boat, commercial type vehicle, van, motorcycle, dune buggy, bus, inoperable vehicle or tractor shall be stored or parked on any Lot continuously for a period of more than twenty-four (24) hours. No camper, recreational vehicle, trailer, mobile home, boat, commercial type vehicle, van, motorcycle, dune buggy, bus, inoperable vehicle or tractor shall be parked on the Private Roads overnight. No boats, motor homes, or trailers shall be stored on any cul-de-sac or turn-around area for any length of time. Operable vehicles may only be parked on the Private Roads for up to seventy-two (72) hours continuously and the same vehicle may not be parked on the Private Roads more than nine (9) days in any calendar month. The Association shall have the right to adopt rules and regulations regarding parking on the Private Roads which amend the requirements of the previous sentence of this paragraph.
- No satellite dish, radio, television or other antennas shall be erected upon a Lot unless the antenna(s) can be concealed from view behind a parapet or inside the roof structure or attic, or unless approved by the Agave Homeowners Association. No clotheslines or permanent basketball goals of any type shall be placed on or at any Dwelling.
- The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer or subsequent Agave Homeowners Association and must be of similar architectural character as the house.

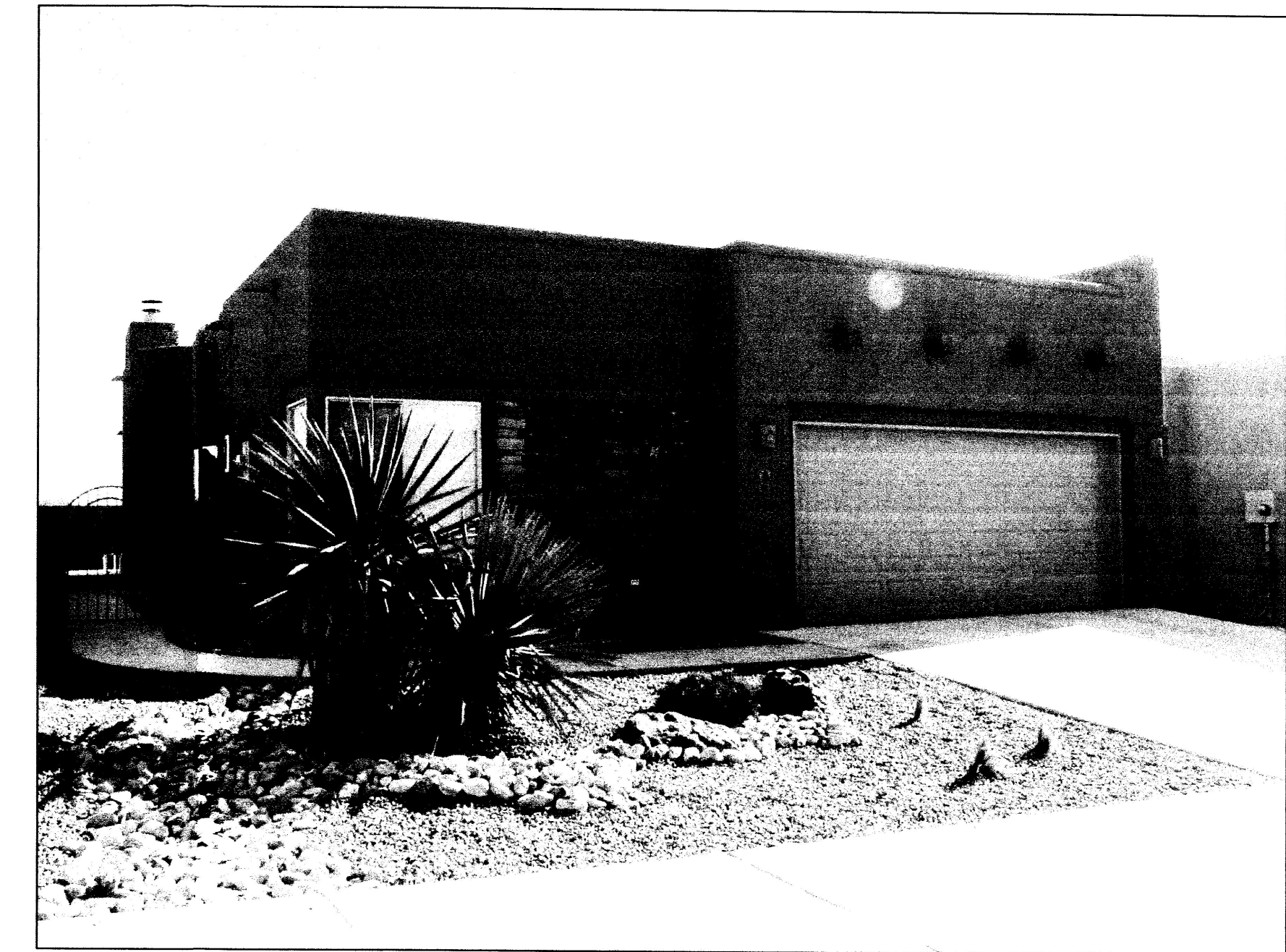


EXHIBIT "A"

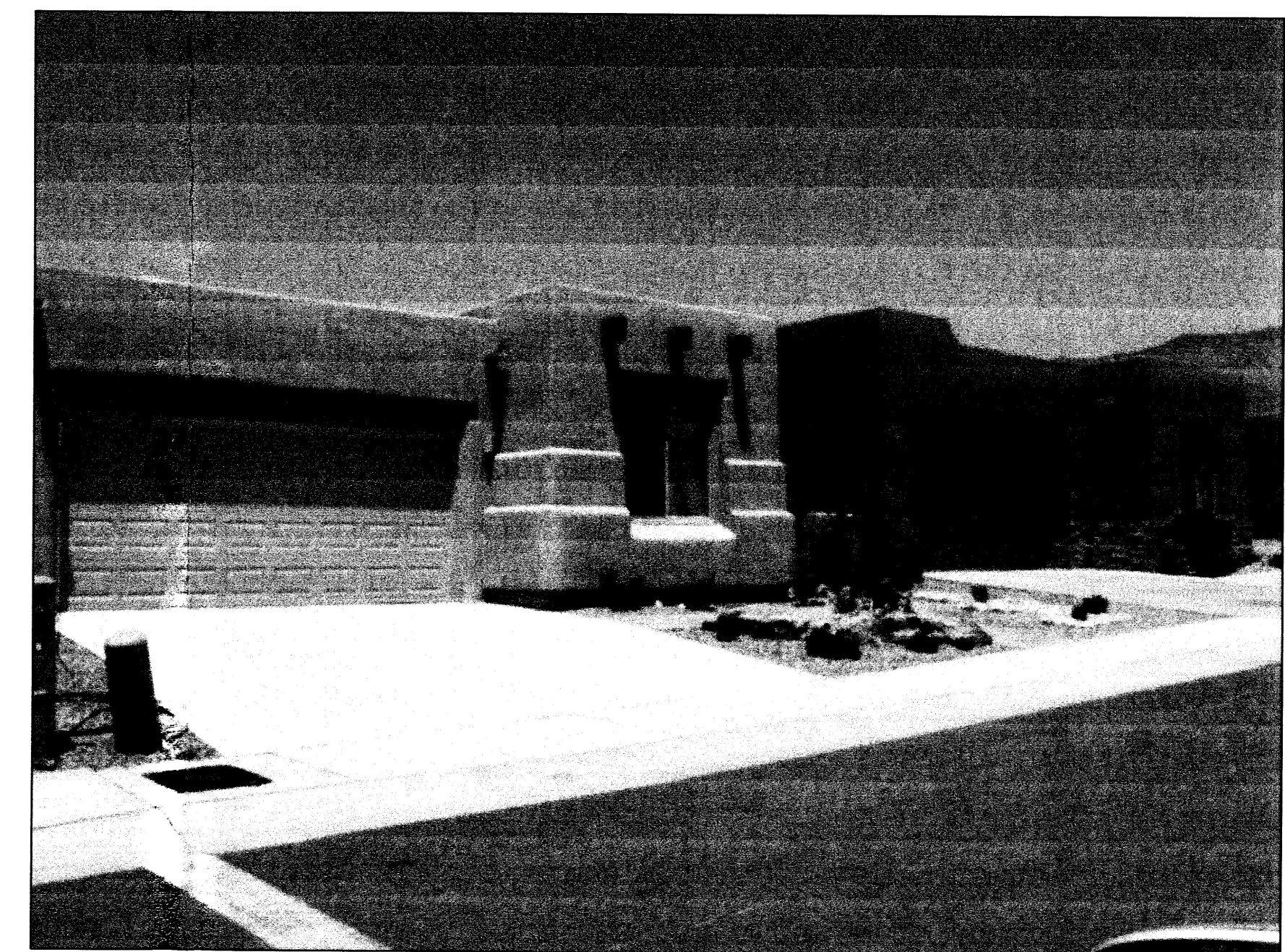


EXHIBIT "B"

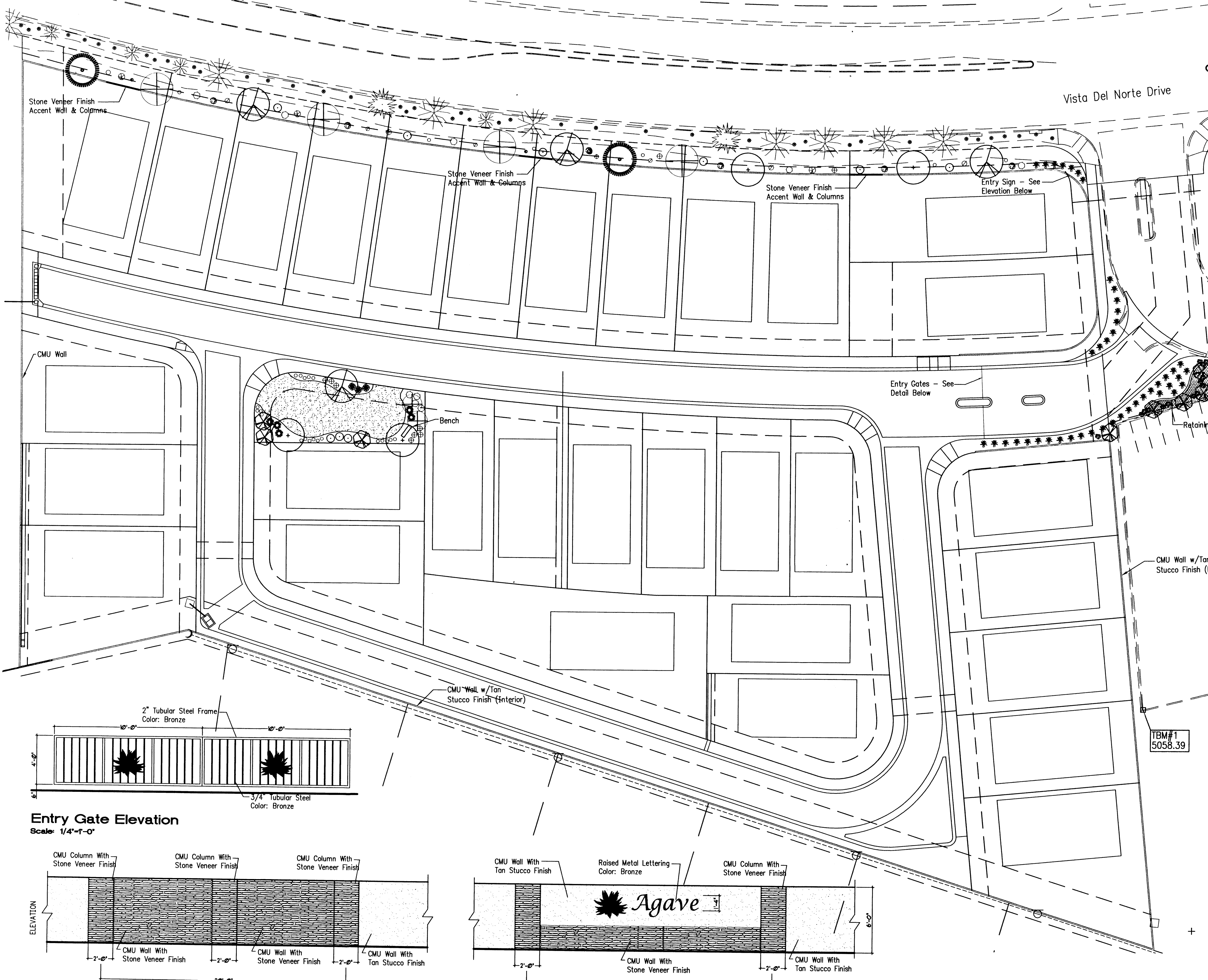
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Plot Time: 10:36 am  
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JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, N.M. 87109  
ENGINEERS SURVEYORS (S20) 345-4250  
FAX: 305 345-4254 ESTABLISHED 1977

# SUBDIVISION DESIGN STANDARDS AGAVE SUBDIVISION

DESIGNED BY	HREC	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY	JMA	1	08/05	G.M.	ADDRESS EPC CONDITIONS	2005.028.1
APPROVED BY	HREC					DATE
						05-2005
						SHEET
						5 OF 6





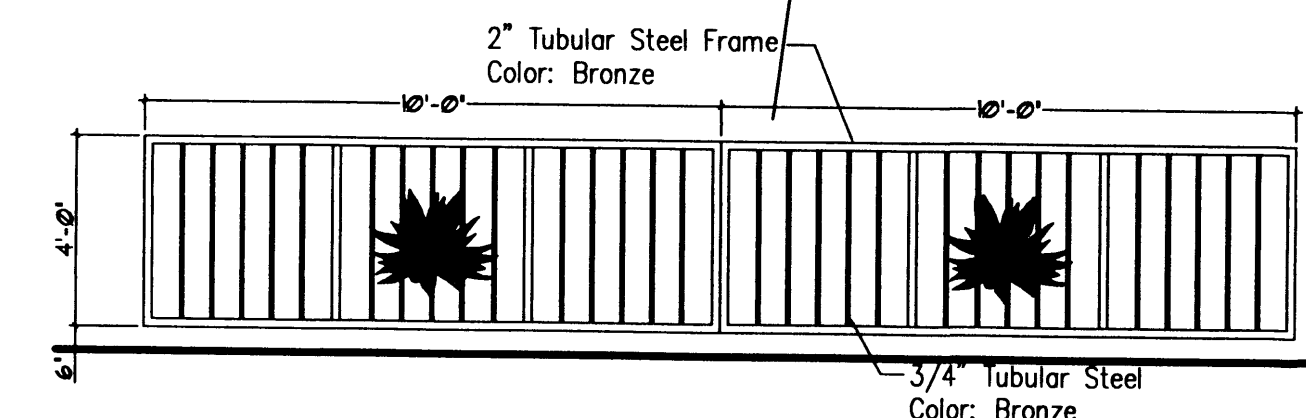
**GENERAL**  
 The design and provision of landscape features for the Agave Subdivision will generally be in conformance with the City of Albuquerque Comprehensive Zoning Code, Street Tree Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

**IRRIGATION SYSTEM**  
 Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A separate water meter is included on the Infrastructure List for all common area landscaping.

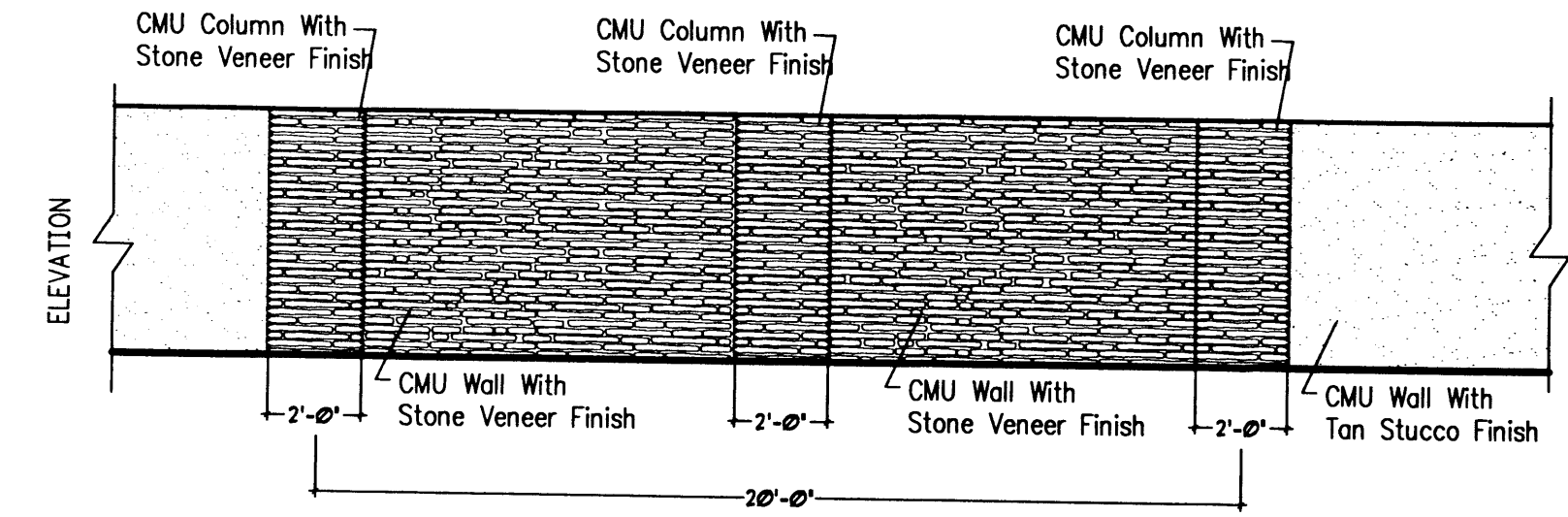
**MAINTENANCE RESPONSIBILITY**  
 Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
 The Landscape Plan for the Agave Subdivision shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

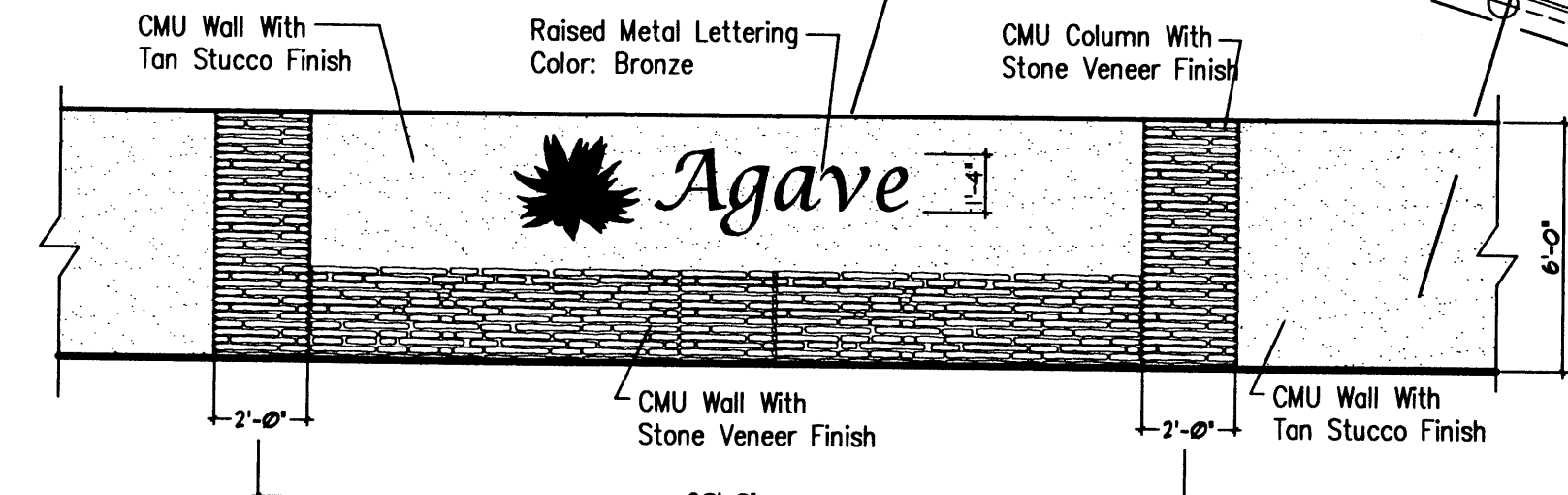
PLANT LEGEND SYMBOL	BOTANICAL / COMMON NAME	WATER USE	MATURE SIZE
<b>Trees (2" B&amp;B or 8' Height)</b>			
⊙	Fraxinus velutina 'Modesto' / Modesto Ash	Medium +	40' ht. x 40' spr.
⊙	Chilopsis linearis / Desert Willow	Low	20' ht. x 25' spr.
⊙	Fraxinus oxycarpa 'Raywood' / Raywood Ash	Medium +	35' ht. x 30' spr.
⊙	Forestiera neomexicana / New Mexico Olive	Medium	15' ht. x 15' spr.
⊙	Pinus leucodermis / Bosnian Pine	Medium	30' ht. x 25' spr.
⊙	Chitalpa tashkentensis / Chitalpa	Medium	25' ht. x 25' spr.
<b>Shrubs (1 and 5 gallon)</b>			
⊙	Coreopsis grandiflora / Coreopsis	Low +	2' ht. x 3' spr.
⊙	Achillea Millefolium L. / Yarrow	Medium	2' ht. x 2' spr.
⊙	Ericameria laricifolia / Dwarf Turpentine Bush	Medium	2' ht. x 2' spr.
⊙	Rosmarinus officinalis / Prostrate Rosemary	Medium	2' ht. x 4' spr.
⊙	Verbena rigida / Sandpaper Verbena	Low	1' ht. x 4' spr.
⊙	Potentilla fruticosa / Cinquefoil	Medium	2' ht. x 2' spr.
⊙	Erysimum linifolium / 'Bowles Mauve' Wallflower	Medium	2' ht. x 3' spr.
⊙	Fallugia paradoxa / Apache Plume	Low	4' ht. x 4' spr.
⊙	Salvia greggii / Cherry Sage	Medium	3' ht. x 3' spr.
⊙	Perovskia atriplicifolia / Russian Sage	Medium	5' ht. x 5' spr.
⊙	Agave havardiana / Havard Agave	Low +	3' ht. x 4' spr.
<b>Ornamental Grasses (1 and 5 gallon)</b>			
⊙	Nolina microcarpa / Beargrass	Low	5' ht. x 6' spr.
⊙	Miscanthus sinensis / Maiden Grass	Low +	5' ht. x 4' spr.
⊙	Park Blend Turf Sod		
⊙	MULCHES		
⊙	Santa Fe Brown Crusher Fines, 2"-4" Santa Ana Tan Cobble, 7/8" Santa Fe Brown Rock Mulch.		
⊙	BOULDERS		
⊙	4' Diameter Moss Rock Boulders		
<b>Existing Plants along Vista Del Norte Drive N.E.</b>			
⊙	Deciduous Tree		
⊙	Coniferous Tree		
⊙	Shrubs		



**Entry Gate Elevation**  
 Scale: 1/4"=1'-0"



**Perimeter Wall Elevation**  
 (Matches Existing Walls along Vista Del Norte Drive)  
 Scale: 1/4"=1'-0"



**Entry Sign Elevation**  
 Scale: 1/4"=1'-0"