

VICINITY MAP

SCALE: 1" = 750'

E-16

DEDICATION AND FREE CONSENT

The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

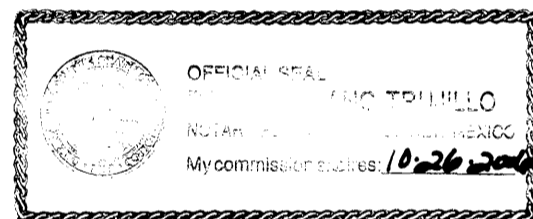
Donald G. Hoeh
Donald G. Hoeh, President
Hoech Real Estate Corporation

10-10-05 Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO) SS



This instrument was acknowledged before me on this 10th day of October, 2005, by Donald G. Hoeh, President, Hoech Real Estate Corporation.

Albie LeBlanc Trujillo
Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

**SUBDIVISION PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005**

DESCRIPTION

Tract L-2, Vista Del Norte Subdivision, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 15, 2000, Book 2000C, Page 242.

HOECH REAL ESTATE CORPORATION
OWNER
PROJECTED
SEC. 27, T 11 N, R 3 E, N.M.P.M.
LOCATION
AGAVE SUBDIVISION
SUBDIVISION



COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1004162

APPLICATION NUMBER 05DRB-01139, 05DRB-01140, 05EPC-00741, 05EPC-00742

APPROVALS:

Andrew Garcia 10/21/05
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Roger L. Green 10/19/05
WATER UTIL. DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Bradley L. Bingham 10/19/05
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Bradley L. Bingham 10/19/05
A.M.A.F.C.A. DATE

Jeffrey S. ... 10-19-05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Christina Sandoval 10/19/05
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Phil B. ... 10-10-05
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE

N/A

REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

Lead D. Marks 10-18-05
P.N.M. ELECTRIC SERVICES DATE

Lori Crabtree 10-18-05
QWEST TELECOMMUNICATIONS DATE

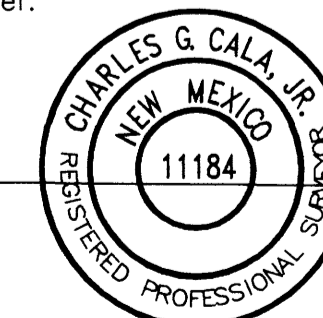
Lead D. Marks 10-18-05
P.N.M. GAS SERVICES DATE

Stonne Barber 10-18-05
COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



10-07-2005
Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 101606229233410323
PROPERTY OWNER OF RECORD:
Vista Del Norte Development LLC
BERNALILLO COUNTY TREASURER'S OFFICE
Francisco Juarez 10/21/05



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.028.3 FINAL PLAT

KEYED NOTES

EXISTING EASEMENTS

- ① 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57
- ② 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
- ③ 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE GRANTED BY DOCUMENT FILED 02-22-2002, BOOK A32, PAGE 3694, DOC. #2002023769. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF SAID TRACT L-1.

NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ⑤ 25' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑥ PARCEL A IS GRANTED AS A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND PARCEL B, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. MAINTENANCE OF THE PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF THE AGAVE SUBDIVISION HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR AGAVE SUBDIVISION FILED ON 12-2-2005, BOOK A107, PAGE 7701.
- ⑦ 26' PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SANITARY SEWER EASEMENTS GRANTED BY THIS PLAT SERVING LOT 7-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY AND SHARED EQUALLY BETWEEN THE OWNERS OF LOTS 6-P1 AND 7-P1.
- ⑧ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOT 18-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ⑨ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOTS 18-P1 AND 19-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ⑩ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOT 29-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ⑪ 7' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT SERVING LOT 31-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY AND SHARED EQUALLY BETWEEN THE OWNERS OF LOTS 24-P1 AND 31-P1
- ⑫ 4'x8' PUBLIC WATER METER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑬ PUBLIC CLEARSITE VISIBILITY EASEMENT GRANTED BY THIS PLAT. NO OBSTRUCTIONS TO VIEW GREATER THAN 3' ABOVE THE GUTTER LINE IS ALLOWED WITHIN THIS EASEMENT. MAINTENANCE OF THIS EASEMENT SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER
- ⑭ PARCEL B IS GRANTED AS A PRIVATE LANDSCAPING AND PRIVATE NON-VEHICULAR ACCESS EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 BY THIS PLAT. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE AGAVE SUBDIVISION HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR AGAVE SUBDIVISION FILED ON 12-2-2005, BOOK A107, PAGE 7701.

EXISTING EASEMENTS - OFFSITE

- ⑮ 20' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER EASEMENT GRANTED BY DOCUMENT FILED 09-07-2005, BOOK A103, PAGE 753, DOC. #2005131131.
- ⑯ PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND PARCELS A AND B GRANTED BY DOCUMENT FILED 08-15-2005, BOOK A101, PAGE 8408, DOC. #2005118761.
- ⑰ 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57
- ⑱ 30' PUBLIC DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED BY PLAT 99C-124
- ⑲ 5' UTILITY EASEMENT GRANTED BY PLAT C2-210
- ⑳ DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210

EXISTING EASEMENT VACATED BY THIS PLAT

- ㉑ RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND FORMER LOT L-2, VISTA DEL NORTE GRANTED BY PLAT 2000C-242 VACATED BY 05DRB-01139

OTHER

- ㉒ ON STREET PARKING SHALL NOT BE ALLOWED ON THE STREET FRONTAGE OF LOTS 21-P1 THROUGH 31-P1 AND PARCEL B

MONUMENTS

- Ⓐ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- Ⓑ FOUND #5 REBAR W/CAP, ILLEGIBLE, TAGGED W/WASHER STAMPED "NMPS 11184"
- Ⓒ FOUND AGP BRASS CAP
- Ⓓ COULD NOT SET

SUBDIVISION PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005



COUNTY CLERK FILING DATA

General Notes:

1. A boundary survey was performed in May, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 27, Township 11 North, Range 3 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "NDC 12-1D2".
5. Record bearings and distances are shown in parenthesis.
6. Private street mileage created by this plat = 0.30 miles (full-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
 - a. Create 31 (thirty-one) residential lots and Parcels A & B from former Tract L-2, Vista Del Norte.
 - b. Grant the necessary public utility, Albuquerque Bernalillo County Water Utility Authority water and sanitary sewer, private access, private storm drainage, private landscaping, private water, private sanitary sewer easements as shown.
 - c. Vacate the reciprocal cross-lot access and drainage easement granted by Plat 2000C-242 (05DRB-01139).
9. Property surveyed hereon is subject to a Drainage Covenant with the City of Albuquerque filed May 27, 1999, recorded in Book 9907, Page 9912, Doc. #1999070074, Records of Bernalillo County, New Mexico.
10. Prior to development, City of Albuquerque Water and Sanitary Sewer Service to Lots 1-P1 through 31-P1, Agave Subdivision must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.
11. The following documents and instruments were used for the performance and preparation of this plat:
 - a. Plat of Vista Del Norte filed 09-15-2000, Book 2000C, Page 242, Records of Bernalillo County, New Mexico.
 - b. Plat of La Sala Del Norte, Unit 1 filed 05-27-1999, Book 99C, Page 124, Records of Bernalillo County, New Mexico.
 - c. Plat of Sunnymeade filed 04-19-1955, Book C2, Page 210, Records of Bernalillo County, New Mexico.
 - d. Plat of Vista Del Norte filed 03-16-1999, Book 99C, Page 57, Records of Bernalillo County, New Mexico.
 - e. Commitment for Title Insurance prepared by LandAmerica Albuquerque Title File No. 252519DS dated 03-30-2005.
12. Gross subdivision acreage = 5.9513 acres.
13. Current Zoning on site is SU-1/PRD, based upon 05EPC-00741.
14. Property surveyed hereon is subject to a Landscaping Agreement with Desert Springs Bible Church, Inc. and The Vista Del Norte Homeowners Association, Inc. filed October 17, 2000, recorded in Book A11, Page 2209, Doc. #2000102611, Records of Bernalillo County, New Mexico.
15. Property surveyed hereon is subject to a Restrictive Covenant with Vista Del Norte Development, L.L.C. and Vista Del Norte Homeowners Association filed October 17, 2000, recorded in Book A11, Page 2210, Doc. #2000102612, Records of Bernalillo County, New Mexico.
16. Vertical control for the property surveyed hereon is based upon C.O.A. Vertical Control Station "ACS BM, 13-E16" with a published elevation of 5052.36 feet (NGVD 29).

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 00°00'08" W	35.57'
L2	S 00°00'08" E	30.68'
L3	N 17°42'42" E	5.02'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1918.00'	625.85'	623.08'	S 05°43'11" W	18°41'45"
(C1)				S 05°43'19" W	
C2	25.00'	39.17'	35.29'	S 41°06'04" W	89°46'39"
(C2)		39.11'	35.24'	S 41°11'23" W	89°37'53"
C3	25.00'	39.27'	35.36'	N 50°24'10" W	90°00'00"
C4	20.00'	31.96'	28.57'	N 49°37'19" W	91°33'42"
C5	2042.00'	132.62'	132.59'	N 01°58'50" W	03°43'16"
C6	1985.00'	147.91'	147.88'	S 02°15'17" E	04°16'10"
C7	1918.00'	117.44'	117.42'	S 01°52'26" E	03°30'30"
C8	2042.00'	53.23'	53.23'	N 00°37'37" E	01°29'37"
C9	1918.00'	50.00'	50.00'	S 00°37'37" W	01°29'37"
C10	2042.00'	53.23'	53.23'	N 02°07'14" E	01°29'37"
C11	1918.00'	50.00'	50.00'	S 02°07'14" W	01°29'37"
C12	2042.00'	47.91'	47.91'	N 03°32'22" E	01°20'39"
C13	1918.00'	45.00'	45.00'	S 03°32'22" W	01°20'39"
C14	2042.00'	47.91'	47.91'	N 04°53'02" E	01°20'39"
C15	1918.00'	45.00'	45.00'	S 04°53'02" W	01°20'39"
C16	2042.00'	47.91'	47.91'	N 06°13'41" E	01°20'39"
C17	1918.00'	45.00'	45.00'	S 06°13'41" W	01°20'39"
C18	2042.00'	47.91'	47.91'	N 07°34'20" E	01°20'39"
C19	1918.00'	45.00'	45.00'	S 07°34'20" W	01°20'39"
C20	2042.00'	47.91'	47.91'	N 08°55'00" E	01°20'39"
C21	1918.00'	45.00'	45.00'	S 08°55'00" W	01°20'39"
C22	2042.00'	47.91'	47.91'	N 10°15'39" E	01°20'39"
C23	1918.00'	45.00'	45.00'	S 10°15'39" W	01°20'39"
C24	2042.00'	47.91'	47.91'	N 11°36'18" E	01°20'39"
C25	1918.00'	45.00'	45.00'	S 11°36'18" W	01°20'39"
C26	2042.00'	66.14'	66.13'	N 13°12'18" E	01°51'21"
C27	1918.00'	93.41'	93.41'	S 13°40'21" W	02°47'26"
C28	2080.50'	89.11'	89.11'	S 12°38'21" W	02°27'15"
C29	25.00'	34.29'	31.66'	S 50°42'18" W	78°35'09"
C30	25.00'	31.54'	29.49'	N 53°51'17" E	72°17'10"
C31	25.00'	43.23'	38.04'	S 40°27'49" E	99°04'38"
C32	2080.50'	75.65'	75.64'	S 08°02'01" W	02°05'00"
C33	2080.50'	42.27'	42.26'	S 06°24'36" W	01°09'50"
C34	2190.35'	42.24'	42.24'	N 06°05'13" E	01°06'18"
C35	2080.50'	45.19'	45.19'	S 05°12'20" W	01°14'40"
C36	2190.35'	45.17'	45.17'	N 04°56'38" E	01°10'54"
C37	2080.50'	45.11'	45.11'	S 03°57'44" W	01°14'32"
C38	2190.35'	45.10'	45.10'	N 03°45'48" E	01°10'47"
C39	2080.50'	45.05'	45.05'	S 02°43'15" W	01°14'27"
C40	2190.35'	9.44'	9.44'	N 03°03'00" E	00°14'49"
C41	2080.50'	45.02'	45.02'	S 01°28'50" W	01°14'23"
C42	2080.50'	23.95'	23.95'	S 00°31'52" W	00°39'34"
C43	25.00'	36.82'	33.58'	S 42°23'57" W	84°23'45"
C44	35.00'	69.10'	58.41'	N 38°50'44" W	113°06'52"
C45	2042.00'	640.58'	637.96'	S 05°08'46" W	17°58'26"
C46	2080.50'	322.22'	321.90'	S 04°38'18" W	08°52'26"
C47	2190.35'	141.94'	141.92'	S 04°46'59" W	03°42'47"
CLC1	2061.25'	126.41'	126.39'	N 02°40'11" W	03°30'50"
CLC2	2061.25'	409.28'	408.61'	N 04°46'31" E	11°22'36"
CLC3	2061.25'	127.16'	127.14'	N 12°13'52" E	03°32'04"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE
E1	N 11°28'07" E	53.99'
E2	S 00°39'07" W	32.74'
E3	S 00°29'43" E	26.00'
E4	S 89°52'48" W	47.00'
E5	S 73°07'05" W	10.40'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
EC1	25.00'	23.54'	S 27°10'54" W	22.68'	53°57'38"
EC2	2042.00'	29.00'	N 00°31'36" W	29.00'	00°48'49"



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.028.3 FINAL PLAT

SUBDIVISION PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

2005178181
5374234
Page: 3 of 3
12/02/2005 03:38P
Mary Herrera Bern. Co. PLRT R 17.00 BK-2085C Pg-387

VISTA DEL NORTE DRIVE N.E.
(86' R.O.W. PER PLAT 99C-57)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NDC 12-1D2"
X=393,930.75
Y=1,510,490.98
COMBINED FACTOR=0.99966921
DELTA ALPHA=-00'12"15
ELEVATION=5095.8' (NGVD 29)

COUNTY CLERK FILING DATA

LOT 6 P-1, LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

TRACT K-1
LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

LOT 11 P-1, LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

TRACT K-1
LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

LOT 9, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 10, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 11, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 12, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

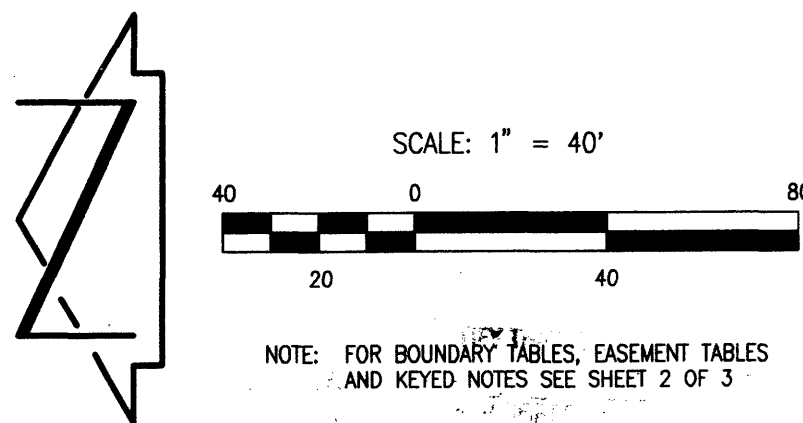
LOT 13, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 14, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

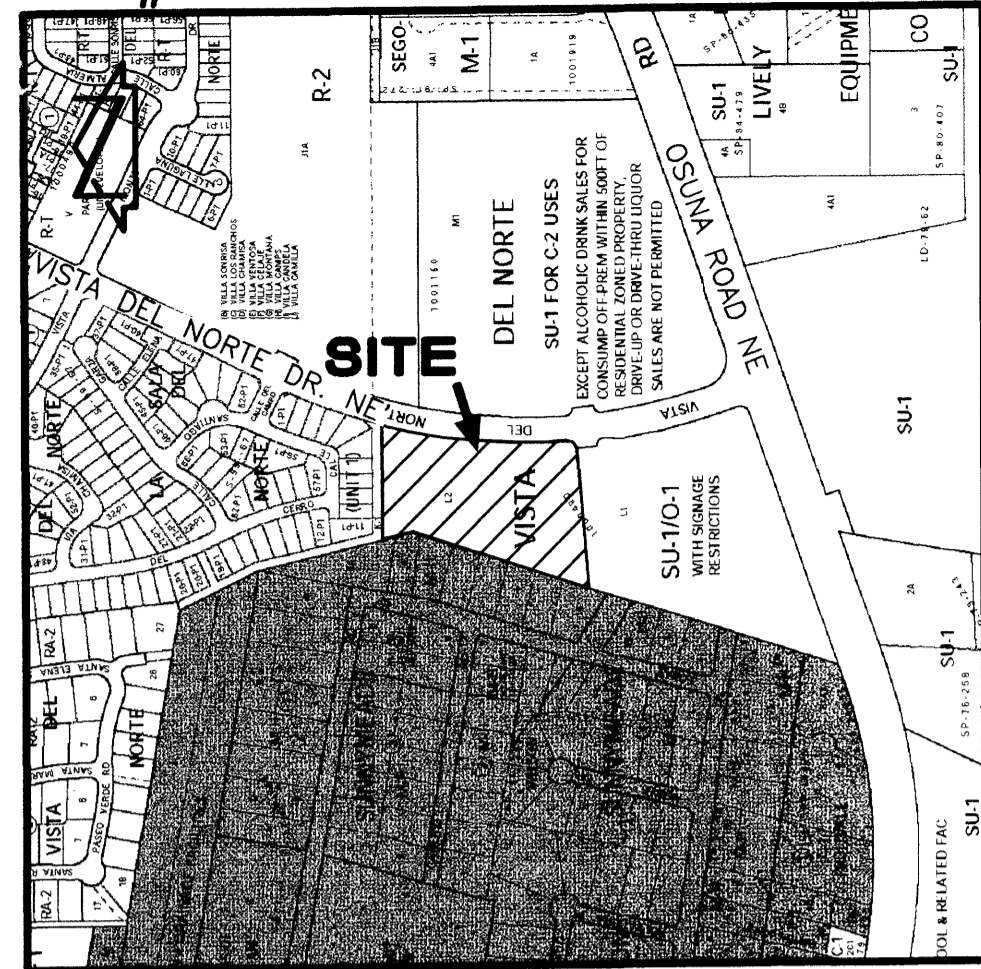
LOT 15, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

TRACT L-1
VISTA DEL NORTE
(FILED 08-15-2000, 2000C-242)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NDC 13-1D2"
X=393,930.90
Y=1,508,622.57
COMBINED FACTOR=0.99966914
DELTA ALPHA=-00'12"15
ELEVATION=5097.3' (NGVD 29)



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
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ENGINEERS SURVEYORS (505) 345-4250
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VICINITY MAP
SCALE: 1" = 750'

E-16

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ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

HOECH REAL ESTATE CORPORATION
OWNER
PROJECTED
SEC. 27, T 11 N, R 3 E, N.M.P.M.
LOCATION
AGAVE SUBDIVISION
SUBDIVISION

COUNTY CLERK FILING DATA
PRELIMINARY PLAT
APPROVED BY DRB
ON 10/19/05

DRB PROJECT NUMBER 1004162

APPLICATION NUMBER 05DRB-01139, 05DRB-01140, 05EPC-00741, 05EPC-00742

APPROVALS:

DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO DATE

A.M.A.F.C.A. DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO DATE

CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO DATE 10-10-05

N/A REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO DATE

P.N.M. ELECTRIC SERVICES DATE

QWEST TELECOMMUNICATIONS DATE

P.N.M. GAS SERVICES DATE

COMCAST CABLE VISION OF NEW MEXICO, INC. DATE

DEDICATION AND FREE CONSENT

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Donald G. Hoeh
Donald G. Hoeh, President
Hoech Real Estate Corporation
10-10-05 Date



ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on this 10th day of October, 2005, by Donald G. Hoeh, President, Hoech Real Estate Corporation.

Debbie LeBlanc Trujillo
Notary Public

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2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

DESCRIPTION

Tract L-2, Vista Del Norte Subdivision, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 15, 2000, Book 2000C, Page 242.

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS 11184



10-07-2005 Date



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.028.3 FINAL PLAT

KEYED NOTES

EXISTING EASEMENTS

- ① 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57
- ② 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
- ③ 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE GRANTED BY DOCUMENT FILED 02-22-2002, BOOK A32, PAGE 3694, DOC. #2002023769. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER OF SAID TRACT L-1.

NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ⑤ 25' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑥ PARCEL A IS GRANTED AS A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND PARCEL B, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. MAINTENANCE OF THE PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF THE AGAVE SUBDIVISION HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR AGAVE SUBDIVISION FILED ON ___-___-2005, BOOK ____, PAGE ____.
- ⑦ 26' PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SANITARY SEWER EASEMENTS GRANTED BY THIS PLAT SERVING LOT 7-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY AND SHARED EQUALLY BETWEEN THE OWNERS OF LOTS 6-P1 AND 7-P1.
- ⑧ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOT 18-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ⑨ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOTS 18-P1 AND 19-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ⑩ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOT 29-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER.
- ⑪ 7' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT SERVING LOT 31-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY AND SHARED EQUALLY BETWEEN THE OWNERS OF LOTS 24-P1 AND 31-P1
- ⑫ 4'x8' PUBLIC WATER METER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑬ PUBLIC CLEARSITE VISIBILITY EASEMENT GRANTED BY THIS PLAT. NO OBSTRUCTIONS TO VIEW GREATER THAN 3' ABOVE THE GUTTER LINE IS ALLOWED WITHIN THIS EASEMENT. MAINTENANCE OF THIS EASEMENT SHALL BE THE RESPONSIBILITY OF THE UNDERLYING PROPERTY OWNER
- ⑭ PARCEL B IS GRANTED AS A PRIVATE LANDSCAPING AND PRIVATE NON-VEHICULAR ACCESS EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 BY THIS PLAT. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE AGAVE SUBDIVISION HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR AGAVE SUBDIVISION FILED ON ___-___-2005, BOOK ____, PAGE ____.

EXISTING EASEMENTS - OFFSITE

- ⑫ 20' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER EASEMENT GRANTED BY DOCUMENT FILED 09-07-2005, BOOK A103, PAGE 753, DOC. #2005131131.
- ⑬ PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND PARCELS A AND B GRANTED BY DOCUMENT FILED 08-15-2005, BOOK A101, PAGE 8408, DOC. #2005118761.
- ⑭ 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57
- ⑮ 30' PUBLIC DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED BY PLAT 99C-124
- ⑯ 5' UTILITY EASEMENT GRANTED BY PLAT C2-210
- ⑰ DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210

EXISTING EASEMENT VACATED BY THIS PLAT

- ⑱ RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND FORMER LOT L-2, VISTA DEL NORTE GRANTED BY PLAT 2000C-242 VACATED BY 05DRB-01139

OTHER

- ⑲ ON STREET PARKING SHALL NOT BE ALLOWED ON THE STREET FRONTAGE OF LOTS 21-P1 THROUGH 31-P1 AND PARCEL B

MONUMENTS

- (A) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (B) FOUND #5 REBAR W/CAP, ILLEGIBLE, TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) FOUND AGP BRASS CAP
- (D) COULD NOT SET

SUBDIVISION PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

COUNTY CLERK FILING DATA

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	N 00°00'08" W	35.57'
L2	S 00°00'08" E	30.68'
L3	N 17°42'42" E	5.02'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1918.00'	625.85'	623.08'	S 05°43'11" W	18°41'45"
(C1)				S 05°43'19" W	
C2	25.00'	39.17'	35.29'	S 41°06'04" W	89°46'39"
(C2)				S 41°11'23" W	89°37'53"
C3	25.00'	39.27'	35.36'	N 50°24'10" W	90°00'00"
C4	20.00'	31.96'	28.67'	N 49°37'19" W	91°33'42"
C5	2042.00'	132.62'	132.59'	N 01°58'50" W	03°43'16"
C6	1985.00'	147.91'	147.88'	S 02°15'17" E	04°16'10"
C7	1918.00'	117.44'	117.42'	S 01°52'26" E	03°30'30"
C8	2042.00'	53.23'	53.23'	N 00°37'37" E	01°29'37"
C9	1918.00'	50.00'	50.00'	S 00°37'37" W	01°29'37"
C10	2042.00'	53.23'	53.23'	N 02°07'14" E	01°29'37"
C11	1918.00'	50.00'	50.00'	S 02°07'14" W	01°29'37"
C12	2042.00'	47.91'	47.91'	N 03°32'22" E	01°20'39"
C13	1918.00'	45.00'	45.00'	S 03°32'22" W	01°20'39"
C14	2042.00'	47.91'	47.91'	N 04°53'02" E	01°20'39"
C15	1918.00'	45.00'	45.00'	S 04°53'02" W	01°20'39"
C16	2042.00'	47.91'	47.91'	N 06°13'41" E	01°20'39"
C17	1918.00'	45.00'	45.00'	S 06°13'41" W	01°20'39"
C18	2042.00'	47.91'	47.91'	N 07°34'20" E	01°20'39"
C19	1918.00'	45.00'	45.00'	S 07°34'20" W	01°20'39"
C20	2042.00'	47.91'	47.91'	N 08°55'00" E	01°20'39"
C21	1918.00'	45.00'	45.00'	S 08°55'00" W	01°20'39"
C22	2042.00'	47.91'	47.91'	N 10°15'39" E	01°20'39"
C23	1918.00'	45.00'	45.00'	S 10°15'39" W	01°20'39"
C24	2042.00'	47.91'	47.91'	N 11°36'18" E	01°20'39"
C25	1918.00'	45.00'	45.00'	S 11°36'18" W	01°20'39"
C26	2042.00'	66.14'	66.13'	N 13°12'18" E	01°51'21"
C27	1918.00'	93.41'	93.41'	S 13°40'21" W	02°47'26"
C28	2080.50'	89.11'	89.11'	S 12°38'21" W	02°27'15"
C29	25.00'	34.29'	31.66'	S 50°42'18" W	78°35'09"
C30	25.00'	31.54'	29.49'	N 53°51'17" E	72°17'10"
C31	25.00'	43.23'	38.04'	S 40°27'49" E	99°04'38"
C32	2080.50'	75.65'	75.64'	S 08°02'01" W	02°05'00"
C33	2080.50'	42.27'	42.26'	S 06°24'36" W	01°09'50"
C34	2190.35'	42.24'	42.24'	N 06°05'13" E	01°06'18"
C35	2080.50'	45.19'	45.19'	S 05°12'20" W	01°14'40"
C36	2190.35'	45.17'	45.17'	N 04°56'38" E	01°10'54"
C37	2080.50'	45.11'	45.11'	S 03°57'44" W	01°14'32"
C38	2190.35'	45.10'	45.10'	N 03°45'48" E	01°10'47"
C39	2080.50'	45.05'	45.05'	S 02°43'15" W	01°14'27"
C40	2190.35'	9.44'	9.44'	N 03°03'00" E	00°14'49"
C41	2080.50'	45.02'	45.02'	S 01°28'50" W	01°14'23"
C42	2080.50'	23.95'	23.95'	S 00°31'52" W	00°39'34"
C43	25.00'	36.82'	33.58'	S 42°23'57" W	84°23'45"
C44	35.00'	69.10'	58.41'	N 38°50'44" W	113°06'52"
C45	2042.00'	640.58'	637.96'	S 05°08'46" W	17°58'26"
C46	2080.50'	322.22'	321.90'	S 04°38'18" W	08°52'26"
C47	2190.35'	141.94'	141.92'	S 04°46'59" W	03°42'47"
CLC1	2061.25'	126.41'	126.39'	N 02°40'11" W	03°30'50"
CLC2	2061.25'	409.28'	408.61'	N 04°46'31" E	11°22'36"
CLC3	2061.25'	127.16'	127.14'	N 12°13'52" E	03°32'04"

EASEMENT TABLES

LINE	DIRECTION	DISTANCE
E1	N 11°28'07" E	53.99'
E2	S 00°39'07" W	32.74'
E3	S 00°29'43" E	26.00'
E4	S 89°52'48" W	47.00'
E5	S 73°07'05" W	10.40'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA
EC1	25.00'	23.54'	S 27°10'54" W	22.68'	53°57'38"
EC2	2042.00'	29.00'	N 00°31'36" W	29.00'	00°48'49"

General Notes:

1. A boundary survey was performed in May, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 27, Township 11 North, Range 3 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "NDC 12-1D2".
5. Record bearings and distances are shown in parenthesis.
6. Private street mileage created by this plat = 0.30 miles (full-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
 - a. Create 31 (thirty-one) residential lots and Parcels A & B from former Tract L-2, Vista Del Norte.
 - b. Grant the necessary public utility, Albuquerque Bernalillo County Water Utility Authority water and sanitary sewer, private access, private storm drainage, private landscaping, private water, private sanitary sewer easements as shown.
 - c. Vacate the reciprocal cross-lot access and drainage easement granted by Plat 2000C-242 (05DRB-01139).
9. Property surveyed hereon is subject to a Drainage Covenant with the City of Albuquerque filed May 27, 1999, recorded in Book 9907, Page 9912, Doc. #1999070074, Records of Bernalillo County, New Mexico.
10. Prior to development, City of Albuquerque Water and Sanitary Sewer Service to Lots 1-P1 through 31-P1, Agave Subdivision must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.
11. The following documents and instruments were used for the performance and preparation of this plat:
 - a. Plat of Vista Del Norte filed 09-15-2000, Book 2000C, Page 242, Records of Bernalillo County, New Mexico.
 - b. Plat of La Sala Del Norte, Unit 1 filed 05-27-1999, Book 99C, Page 124, Records of Bernalillo County, New Mexico.
 - c. Plat of Sunnymeade filed 04-19-1955, Book C2, Page 210, Records of Bernalillo County, New Mexico.
 - d. Plat of Vista Del Norte filed 03-16-1999, Book 99C, Page 57, Records of Bernalillo County, New Mexico.
 - e. Commitment for Title Insurance prepared by LandAmerica Albuquerque Title File No. 252519DS dated 03-30-2005.
12. Gross subdivision acreage = 5.9513 acres.
13. Current Zoning on site is SU-1/PRD, based upon 05EPC-00741.
14. Property surveyed hereon is subject to a Landscaping Agreement with Desert Springs Bible Church, Inc. and The Vista Del Norte Homeowners Association, Inc. filed October 17, 2000, recorded in Book A11, Page 2209, Doc. #2000102611, Records of Bernalillo County, New Mexico.
15. Property surveyed hereon is subject to a Restrictive Covenant with Vista Del Norte Development, L.L.C. and Vista Del Norte Homeowners Association filed October 17, 2000, recorded in Book A11, Page 2210, Doc. #2000102612, Records of Bernalillo County, New Mexico.
16. Vertical control for the property surveyed hereon is based upon C.O.A. Vertical Control Station "ACS BM, 13-E16" with a published elevation of 5052.36 feet (NGVD 29).



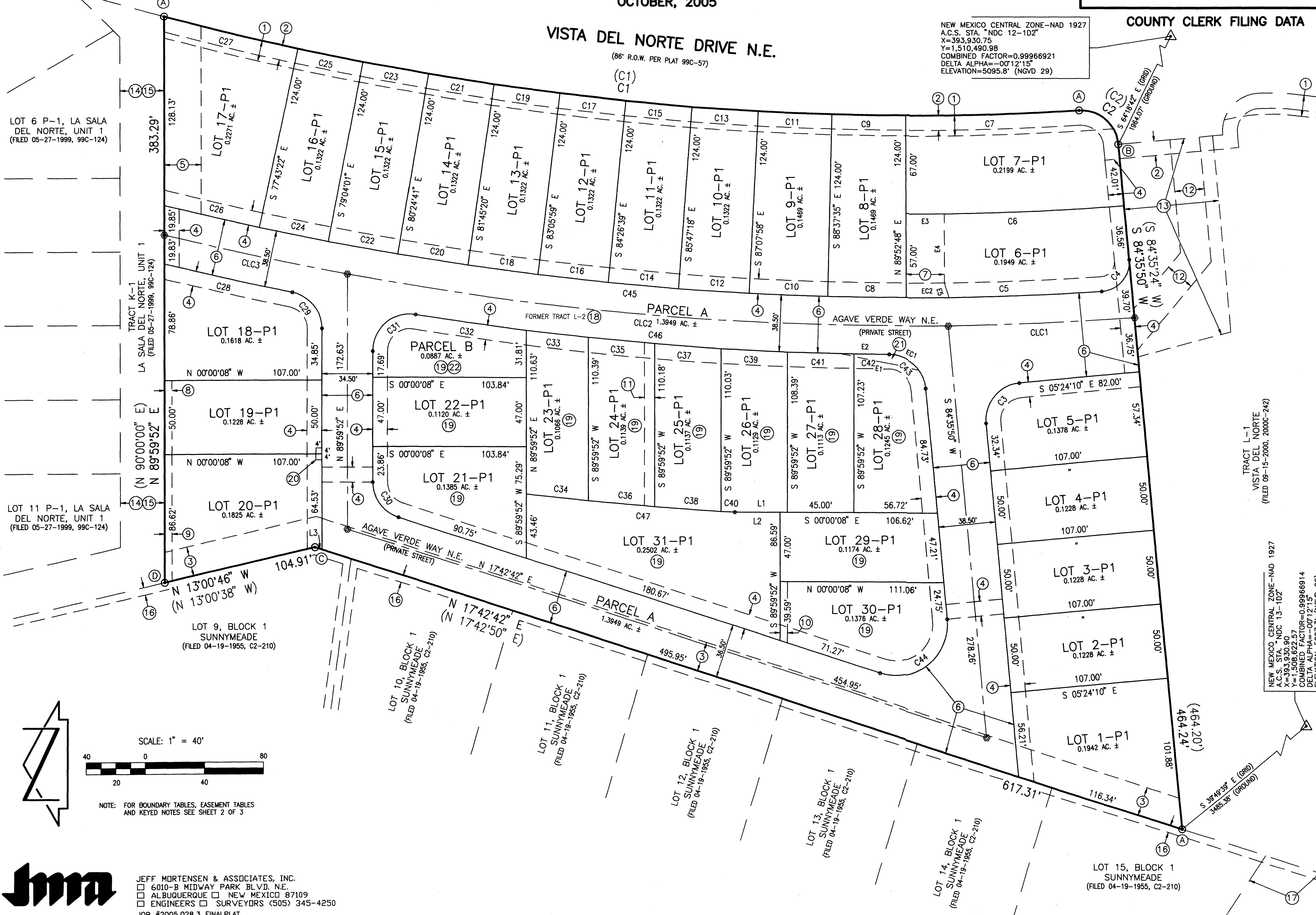
JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. NE.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.028.3 FINALPLAT

SUBDIVISION PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

VISTA DEL NORTE DRIVE N.E.
(86' R.O.W. PER PLAT 99C-57)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. NDC 12-102'
X=393,930.75
Y=1,510,490.98
COMBINED FACTOR=0.99966921
DELTA ALPHA=-00'12"15"
ELEVATION=5095.8' (NGVD 29)

COUNTY CLERK FILING DATA



LOT 6 P-1, LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

TRACT K-1
LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

LOT 11 P-1, LA SALA DEL NORTE, UNIT 1
(FILED 05-27-1999, 99C-124)

LOT 9, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 10, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 11, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 12, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

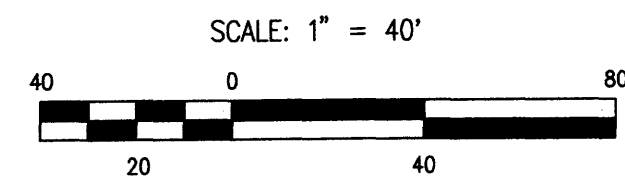
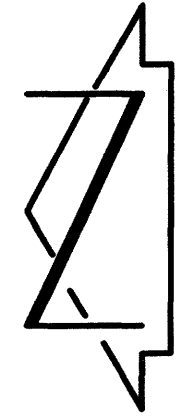
LOT 13, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 14, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

LOT 15, BLOCK 1
SUNNYMEADE
(FILED 04-19-1955, C2-210)

TRACT L-1
VISTA DEL NORTE
(FILED 08-15-2000, 2000C-242)

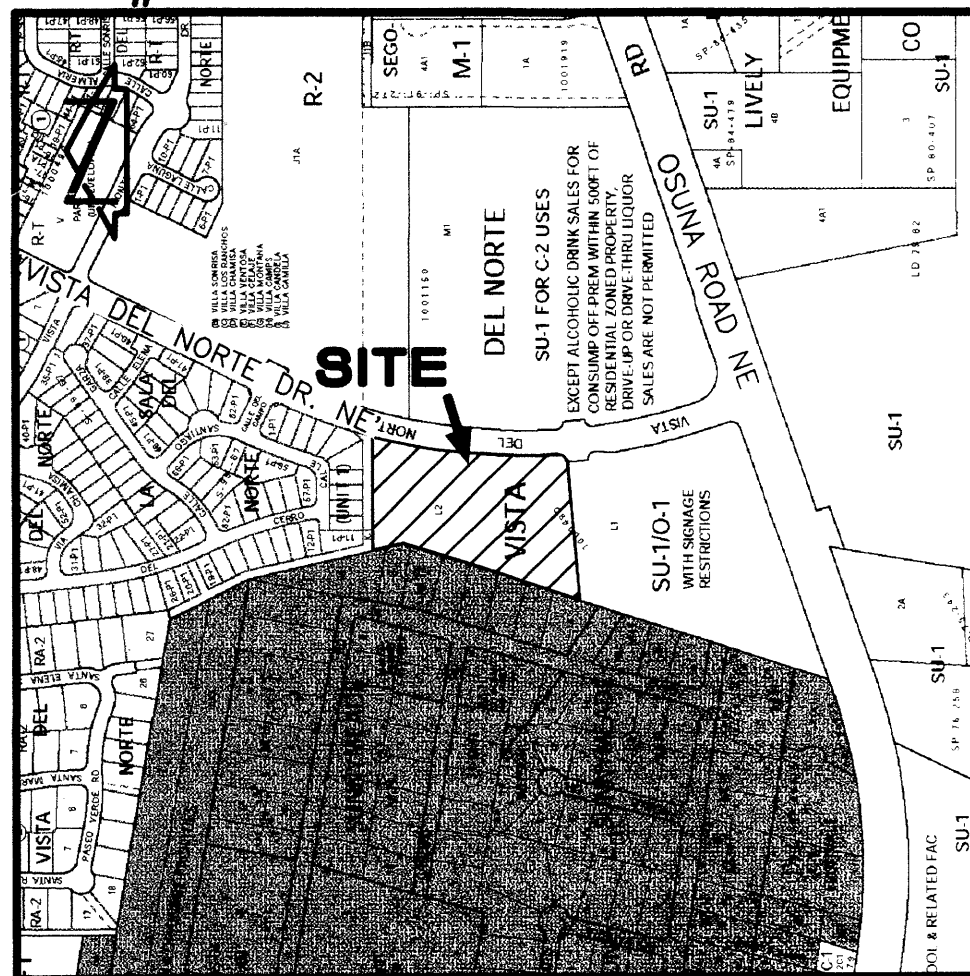
NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. NDC 13-102'
X=393,930.90
Y=1,508,622.57
COMBINED FACTOR=0.99966914
DELTA ALPHA=-00'12"15"
ELEVATION=5097.3' (NGVD 29)



NOTE: FOR BOUNDARY TABLES, EASEMENT TABLES AND KEYED NOTES SEE SHEET 2 OF 3



JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (SOS) 345-4250
JOB #2005.028.3 FINAL PLAT



PRELIMINARY PLAT OF
AGAVE SUBDIVISION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JULY, 2005

HOECH REAL ESTATE CORPORATION
 OWNER
 PROJECTED
 SEC. 27, T 11 N, R 3 E, N.M.P.M.
 LOCATION
 AGAVE SUBDIVISION
 SUBDIVISION

COUNTY CLERK FILING DATA

DRB PROJECT NUMBER 1004162
 APPLICATION NUMBER 05DRB-01139, 05DRB-01140, 05EPC-00741, 05EPC-00742

APPROVALS:

- DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____
- WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE 8/17/05
- CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____
- A.M.A.F.C.A. _____ DATE _____
- TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____
- PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____
- CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____
- N/A _____ DATE _____
- REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO _____ DATE _____
- P.N.M. ELECTRIC SERVICES _____ DATE _____
- QWEST TELECOMMUNICATIONS _____ DATE _____
- P.N.M. GAS SERVICES _____ DATE _____
- COMCAST CABLE VISION OF NEW MEXICO, INC. _____ DATE _____

DESCRIPTION

Tract L-2, Vista Del Norte Subdivision, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 15, 2000, Book 2000C, Page 242.

VICINITY MAP

SCALE: 1" = 750'

E-16

DEDICATION AND FREE CONSENT

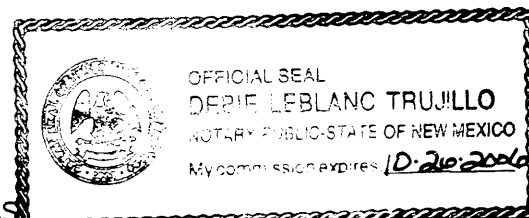
The subdivision hereon is with the free consent and in accordance with the desires of the undersigned owner and grant the easements as shown, including the rights of ingress and egress and the right to trim interfering trees. I hereby warrant that I hold complete and indefeasible title in fee simple to the land subdivided, hereon.

Justin Hoech
 Justin Hoech, Vice-President
 Hoech Real Estate Corporation

7/21/05
 Date

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS



This instrument was acknowledged before me on this 21 day of July, 2005, by Justin Hoech, Vice-President, Hoech Real Estate Corporation.

Debbie LeBlanc Trujillo
 Notary Public

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

1. The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
4. Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of such lines, cables, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

APPROVED:

Al B. Jant

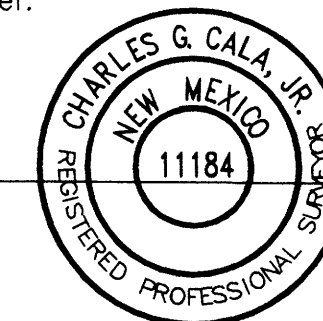
CITY SURVEYOR, DEPARTMENT OF MUNICIPAL DEVELOPMENT,
 CITY OF ALBUQUERQUE, NEW MEXICO

7-21-05
 DATE

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this Plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.

Charles G. Cala, Jr.
 Charles G. Cala, Jr., NMPS 11184



7-21-05
 Date



JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. N.E.
 ALBUQUERQUE NEW MEXICO 87109
 ENGINEERS SURVEYORS (505) 345-4250
 JOB #2005.028.3 PREPLAT

**PRELIMINARY PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY, 2005**

COUNTY CLERK FILING DATA

KEYED NOTES

EXISTING EASEMENTS

- ① 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57
- ② 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
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NEW EASEMENTS

- ④ 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT
- ⑤ 25' PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
- ⑥ PARCEL A IS GRANTED AS A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND PARCEL B, AND A PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY. MAINTENANCE OF THE PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT SHALL BE THE RESPONSIBILITY OF THE AGAVE SUBDIVISION HOMEOWNERS ASSOCIATION, PURSUANT TO THE DECLARATION OF RESTRICTIVE AND PROTECTIVE COVENANTS FOR AGAVE SUBDIVISION FILED ON ___-___-2005, BOOK _____, PAGES _____.
- ⑦ 26' PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SANITARY SEWER EASEMENTS GRANTED BY THIS PLAT SERVING LOT 7-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE AGAVE HOMEOWNERS ASSOCIATION.
- ⑧ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOT 18-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE AGAVE HOMEOWNERS ASSOCIATION.
- ⑨ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOTS 18-P1 AND 19-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE AGAVE HOMEOWNERS ASSOCIATION.
- ⑩ 5' PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT SERVING LOT 29-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE AGAVE HOMEOWNERS ASSOCIATION.
- ⑪ 7' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT SERVING LOT 31-P1. MAINTENANCE SHALL BE THE RESPONSIBILITY AND SHARED EQUALLY BETWEEN THE OWNERS OF LOTS 26-P1 AND 31-P1

EXISTING EASEMENTS - OFFSITE

- ⑫ 20' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER EASEMENT GRANTED BY DOCUMENT FILED ___-___-2005, BOOK _____, PAGE _____, DOC. #2005_____.
- ⑬ PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND PARCELS A AND B GRANTED BY DOCUMENT FILED ___-___-2005, BOOK _____, PAGE _____, DOC. #2005_____.
- ⑭ 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57
- ⑮ 30' PUBLIC DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED BY PLAT 99C-124
- ⑯ 5' UTILITY EASEMENT GRANTED BY PLAT C2-210
- ⑰ DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210

EXISTING EASEMENT VACATED BY THIS PLAT

- ⑱ RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND FORMER LOT L-2, VISTA DEL NORTE GRANTED BY PLAT 2000C-242 VACATED BY OSDRB-01139

OTHER

- ⑲ ON STREET PARKING SHALL NOT BE ALLOWED ON THE STREET FRONTAGE OF LOTS 21-P1 THROUGH 31-P1 AND PARCEL B

MONUMENTS

- (A) SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
- (B) FOUND #5 REBAR W/CAP, ILLEGIBLE, TAGGED W/WASHER STAMPED "NMPS 11184"
- (C) FOUND AGP BRASS CAP
- (D) COULD NOT SET

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°00'08" E	35.57'
L2	N 00°00'08" W	30.68'
L3	N 17°42'42" E	5.02'

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	1918.00'	625.85'	623.08'	S 05°43'11" W	18°41'45"
(C1)				S 05°43'19" W	
C2	25.00'	39.17'	35.29'	S 41°06'04" W	89°46'39"
(C2)				S 41°11'23" W	89°37'53"
C3	25.00'	39.27'	35.36'	N 50°24'10" W	90°00'00"
C4	15.00'	23.62'	21.25'	S 49°05'32" E	90°12'43"
C5	2042.00'	137.79'	137.77'	S 02°03'11" E	03°51'59"
C6	1985.00'	147.91'	147.88'	S 02°15'17" E	04°16'10"
C7	1918.00'	117.44'	117.42'	S 01°52'26" E	03°30'30"
C8	2042.00'	53.23'	53.23'	S 00°37'37" W	01°29'37"
C9	1918.00'	50.00'	50.00'	S 00°37'37" W	01°29'37"
C10	2042.00'	53.23'	53.23'	S 02°07'14" W	01°29'37"
C11	1918.00'	50.00'	50.00'	S 02°07'14" W	01°29'37"
C12	2042.00'	47.91'	47.91'	S 03°32'22" W	01°20'39"
C13	1918.00'	45.00'	45.00'	S 03°32'22" W	01°20'39"
C14	2042.00'	47.91'	47.91'	S 04°53'02" W	01°20'39"
C15	1918.00'	45.00'	45.00'	S 04°53'02" W	01°20'39"
C16	2042.00'	47.91'	47.91'	S 06°13'41" W	01°20'39"
C17	1918.00'	45.00'	45.00'	S 06°13'41" W	01°20'39"
C18	2042.00'	47.91'	47.91'	S 07°34'20" W	01°20'39"
C19	1918.00'	45.00'	45.00'	S 07°34'20" W	01°20'39"
C20	2042.00'	47.91'	47.91'	S 08°55'00" W	01°20'39"
C21	1918.00'	45.00'	45.00'	S 08°55'00" W	01°20'39"
C22	2042.00'	47.91'	47.91'	S 10°15'39" W	01°20'39"
C23	1918.00'	45.00'	45.00'	S 10°15'39" W	01°20'39"
C24	2042.00'	47.91'	47.91'	S 11°36'18" W	01°20'39"
C25	1918.00'	45.00'	45.00'	S 11°36'18" W	01°20'39"
C26	2042.00'	66.14'	66.13'	S 13°12'18" W	01°51'21"
C27	1918.00'	93.41'	93.41'	S 13°40'21" W	02°47'26"
C28	2080.50'	89.11'	89.11'	S 12°38'21" W	02°27'15"
C29	25.00'	34.29'	31.66'	N 50°42'18" E	78°35'09"
C30	25.00'	31.54'	29.49'	S 53°51'17" W	72°17'10"
C31	25.00'	43.23'	38.04'	N 40°27'49" W	99°04'38"
C32	2080.50'	75.65'	75.64'	S 08°02'01" W	02°05'00"
C33	2080.50'	42.27'	42.26'	S 06°24'36" W	01°09'50"
C34	2190.35'	42.24'	42.24'	S 06°05'13" W	01°06'18"
C35	2080.50'	45.19'	45.19'	S 05°12'20" W	01°14'40"
C36	2190.35'	45.17'	45.17'	S 04°56'38" W	01°10'54"
C37	2080.50'	45.11'	45.11'	S 03°57'44" W	01°14'32"
C38	2190.35'	45.10'	45.10'	S 03°45'48" W	01°10'47"
C39	2080.50'	45.05'	45.05'	S 02°43'15" W	01°14'27"
C40	2190.35'	9.44'	9.44'	S 03°03'00" W	00°14'49"
C41	2080.50'	45.02'	45.02'	S 01°28'50" W	01°14'23"
C42	2080.50'	23.95'	23.95'	S 00°31'52" W	00°39'34"
C43	25.00'	36.82'	33.58'	N 42°23'57" E	84°23'45"
C44	35.00'	69.10'	58.41'	S 38°50'44" E	113°06'52"
C45	2042.00'	645.76'	643.07'	S 05°04'24" W	18°07'09"
C46	2080.50'	322.22'	321.90'	S 04°38'18" W	08°52'26"
CLC1	2061.25'	126.41'	126.39'	S 02°40'11" E	03°30'50"
CLC2	2061.25'	409.28'	408.61'	S 04°46'31" W	11°22'36"
CLC3	2061.25'	127.16'	127.14'	S 12°13'52" W	03°32'04"

General Notes:

1. A boundary survey was performed in May, 2005. Property corners were found or set as indicated.
2. All distances are ground distances.
3. Site located within projected Section 27, Township 11 North, Range 3 East, N.M.P.M. (Elena Gallegos Grant).
4. Bearings shown hereon are New Mexico State Plane Grid Bearings, Central Zone. These bearings are positioned from A.C.S. Control Station "xxxxxx".
5. Record bearings and distances are shown in parenthesis.
6. Private street mileage created by this plat = 0.30 miles (full-width).
7. Upon completion of the construction of the streets, City of Albuquerque approved centerline monuments shall be placed at all intersections or as otherwise indicated in lieu of subdivision block corner monumentation. Location of said monuments are designated with a "⊙" symbol.
8. The purpose of this plat is to:
 - a. Create 31 (thirty-one) residential lots and Parcels A & B from former Tract L-2, Vista Del Norte.
 - b. Grant the necessary public utility, Albuquerque Bernalillo County Water Utility Authority water and sanitary sewer, private access, private storm drainage, private landscaping, private water, private sanitary sewer easements as shown.
 - c. Vacate the reciprocal cross-lot access and drainage easement granted by Plat 2000C-242 (05DRB-01139).
9. Property surveyed hereon is subject to a Drainage Covenant with the City of Albuquerque filed May 27, 1999, recorded in Book 9907, Page 9912, Doc. #1999070074, Records of Bernalillo County, New Mexico.
10. Prior to development, City of Albuquerque Water and Sanitary Sewer Service to Lots 1-P1 through 31-P1, Agave Subdivision must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.
11. The following documents and instruments were used for the performance and preparation of this plat:
 - a. Plat of Vista Del Norte filed 09-15-2000, Book 2000C, Page 242, Records of Bernalillo County, New Mexico.
 - b. Plat of La Sala Del Norte, Unit 1 filed 05-27-1999, Book 99C, Page 124, Records of Bernalillo County, New Mexico.
 - c. Plat of Sunnymead filed 04-19-1955, Book C2, Page 210, Records of Bernalillo County, New Mexico.
 - d. Plat of Vista Del Norte filed 03-16-1999, Book 99C, Page 57, Records of Bernalillo County, New Mexico.
 - e. Commitment for Title Insurance prepared by LandAmerica Albuquerque Title File No. 252519DS dated 03-30-2005.
12. Gross subdivision acreage = 5.9513 acres.
13. Current Zoning on site is SU-1/PRD, based upon 05EPC-00741.
14. Property surveyed hereon is subject to a Landscaping Agreement with Desert Springs Bible Church, Inc. and The Vista Del Norte Homeowners Association, Inc. filed October 17, 2000, recorded in Book A11, Page 2209, Doc. #2000102611, Records of Bernalillo County, New Mexico.
15. Property surveyed hereon is subject to a Restrictive Covenant with Vista Del Norte Development, L.L.C. and Vista Del Norte Homeowners Association filed October 17, 2000, recorded in Book A11, Page 2210, Doc. #2000102612, Records of Bernalillo County, New Mexico.



JEFF MORTENSEN & ASSOCIATES, INC.
 □ 6010-B MIDWAY PARK BLVD. N.E.
 □ ALBUQUERQUE □ NEW MEXICO 87109
 □ ENGINEERS □ SURVEYORS (505) 345-4250
 JOB #2005.028.3 PREPLAT

PRELIMINARY PLAT OF
AGAVE SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY, 2005

COUNTY CLERK FILING DATA

VISTA DEL NORTE DRIVE N.E.
(86' R.O.W. PER PLAT 99C-57)



LOT 6 P-1, LA SALA DEL NORTE, UNIT 1 (FILED 05-27-1999, 99C-124)

TRACT K-1 LA SALA DEL NORTE, UNIT 1 (FILED 05-27-1999, 99C-124)

LOT 11 P-1, LA SALA DEL NORTE, UNIT 1 (FILED 05-27-1999, 99C-124)

LOT 9, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

LOT 10, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

LOT 11, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

LOT 12, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

LOT 13, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

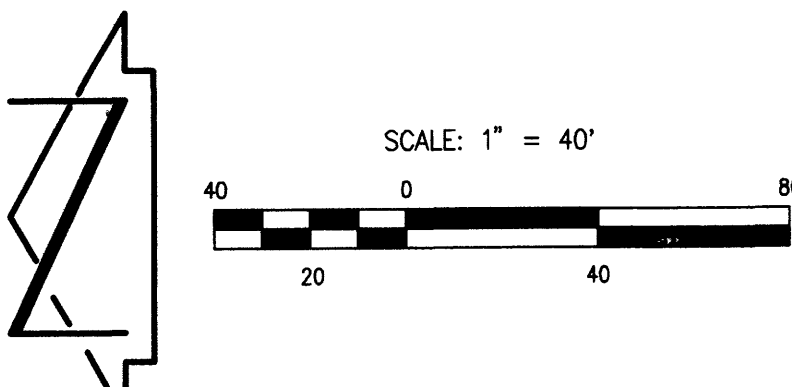
LOT 14, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

LOT 15, BLOCK 1 SUNNYMEADE (FILED 04-19-1955, C2-210)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NDC 12-10Z"
X=1393.816, Y=11510.490, 98
COMBINED FACTOR=0.99966921
DELTA ALPHA=-00'12"15"
ELEVATION=5095.8' (NGVD 29)

TRACT L-1 VISTA DEL NORTE (FILED 09-15-2000, 2000C-242)

NEW MEXICO CENTRAL ZONE-NAD 1927
A.C.S. STA. "NDC 13-1DZ"
X=393.930, 90
Y=11508.622, 57
COMBINED FACTOR=0.99966914
DELTA ALPHA=-00'12"15"
ELEVATION=5097.3' (NGVD 29)

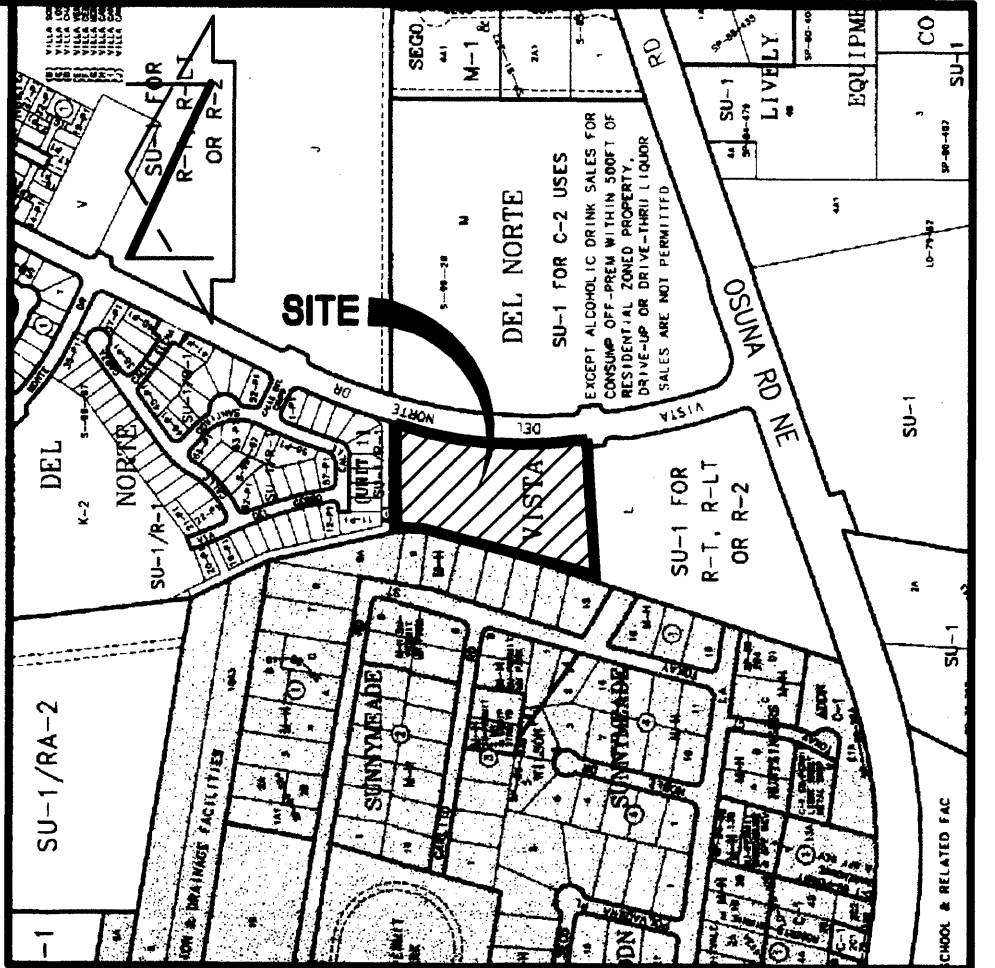


JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD, N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
JOB #2005.028.3 PREPLAT

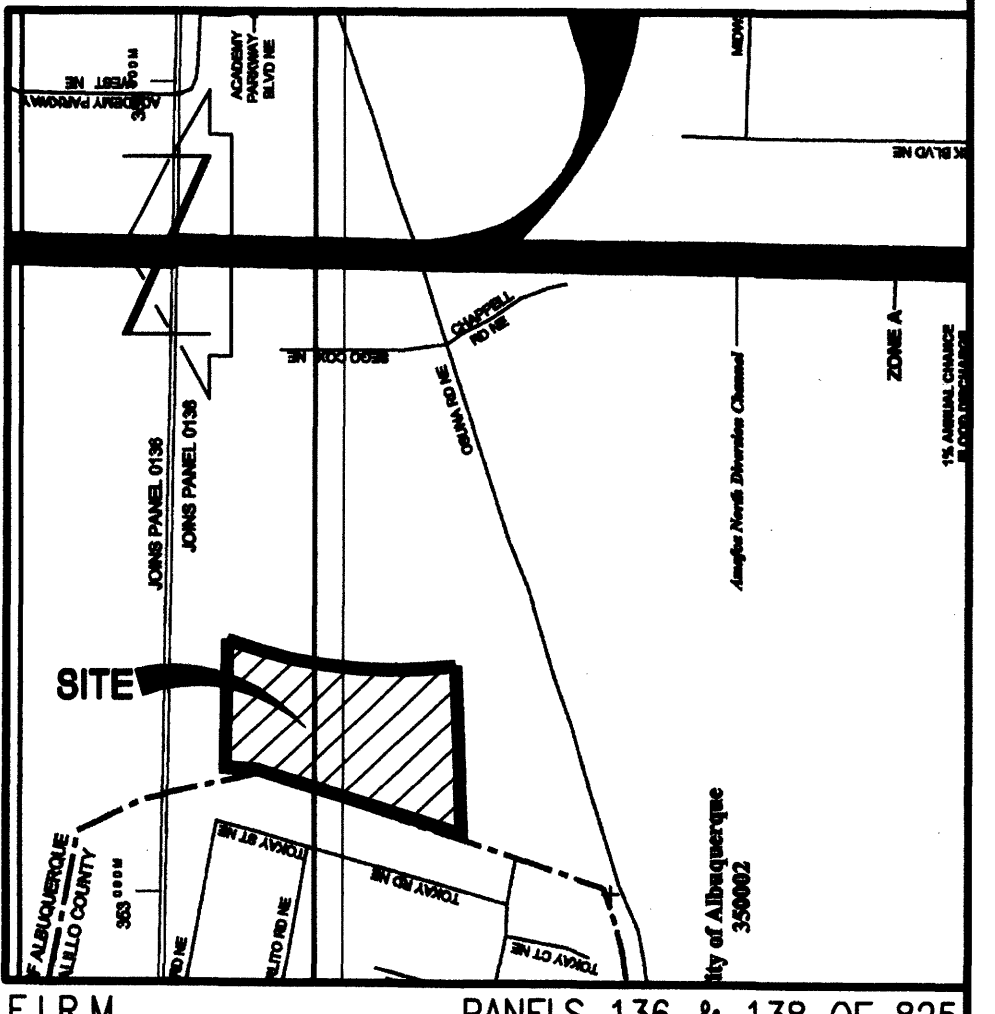
LEGAL DESCRIPTION
 TRACT L-2, VISTA DEL NORTE SUBDIVISION

PROJECT BENCHMARK
 ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 13-E16", EPOXYED TO TOP OF CONCRETE DROP INLET, ESE QUADRANT OF OSUNA RD. N.E. & THE MAIN ENTRANCE TO ADDRESS 700 OSUNA RD. N.E. (MEGA CORP), 0.57 MI. EAST OF CENTERLINE EDITH BLVD., CENTERED ON SAID DROP INLET. ELEVATION= 5052.36 (NGVD29)

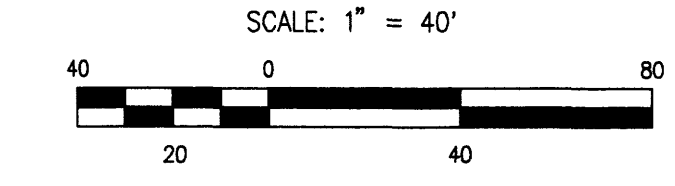
TEMPORARY BENCHMARK
 TBM#1= CHISELED "X" ON BACK OF CURB ELEV= 5058.39



VICINITY MAP
 SCALE: 1" = 750'



F.I.R.M. PANELS 136 & 138 OF 825
 N.T.S.



- LEGEND**
- C/G CURB AND GUTTER
 - CLF CHAIN LINK FENCE
 - CMU CONCRETE MASONRY UNIT
 - CONC CONCRETE
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - GP GUARD POST
 - INV INVERT
 - L/S LANDSCAPE
 - MGP METAL GUARD POST
 - MH MANHOLE
 - MLP METAL LIGHT POLE
 - OHE(4) OVERHEAD ELECTRIC (NO. OF LINES)
 - OHT(1) OVERHEAD TELEPHONE (NO. OF LINES)
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SDMH STORM DRAIN MANHOLE
 - SI STORM INLET
 - SVB SPRINKLER VALVE BOX
 - TC TOP OF CURB
 - V/G VALLEY GUTTER
 - W/L WATER LINE
 - WCR WHEELCHAIR RAMP
 - WMB WATER METER BOX
 - WPP WOOD POWER POLE
 - WS WOODEN SIGN
 - WVB WATER VALVE BOX
 - + 59.4 EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - DECIDUOUS TREE (CALIPER SIZE)
 - CONIFEROUS TREE (CALIPER SIZE)
 - PROPOSED SPOT ELEVATION
 - DIRECTION OF FLOW
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT PAVEMENT

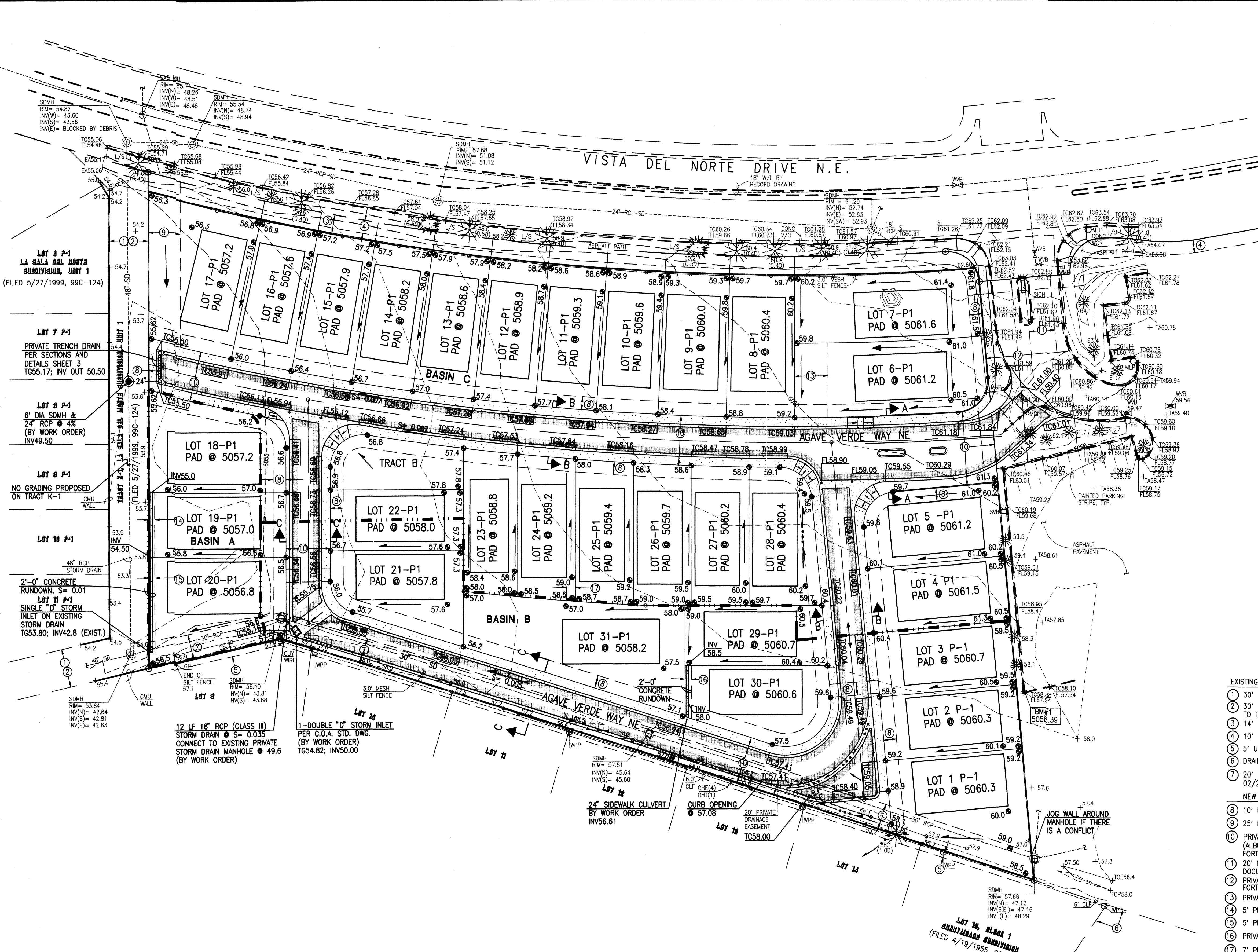
KEYED NOTES

- EXISTING EASEMENTS**
- 1) 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57 (OFFSITE)
 - 2) 30' PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED TO THE VISTA DEL NORTE HOMEOWNER'S ASSOCIATION BY PLAT 99C-124 (OFFSITE)
 - 3) 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57.
 - 4) 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
 - 5) 5' UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - 6) DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - 7) 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE SUBDIVISION GRANTED BY DOCUMENT FILED 02/22/2002, BOOK A-32, PAGE 3694, DOC# 2002023769
- NEW EASEMENTS**
- 8) 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
 - 9) 25' PUBLIC (ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY) WATER AND SANITARY SEWER EASEMENT
 - 10) PRIVATE ACCESS, PRIVATE STORM DRAINAGE EASEMENTS SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A & B, AND PUBLIC (ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY) WATER AND SANITARY SEWER EASEMENTS TO BE GRANTED BY FORTHCOMING ACTION.
 - 11) 20' PUBLIC (ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY) WATER EASEMENT TO BE GRANTED BY FORTHCOMING DOCUMENT.
 - 12) PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A AND B TO BE GRANTED BY FORTHCOMING DOCUMENT.
 - 13) PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SEWER EASEMENTS SERVING LOT 7-P1 TO BE GRANTED BY FORTHCOMING ACTION
 - 14) 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 18-P1 TO BE GRANTED BY FORTHCOMING ACTION.
 - 15) 5' PRIVATE DRAINAGE EASEMENT SERVING LOTS 18-P1 AND 19-P1 TO BE GRANTED BY FORTHCOMING ACTION.
 - 16) PRIVATE DRAINAGE EASEMENT SERVING LOT 29-P1 TO BE GRANTED BY FORTHCOMING ACTION
 - 17) 7' PRIVATE SANITARY SEWER SERVICE EASEMENT SERVING LOT 31-P1 TO BE GRANTED BY FORTHCOMING ACTION
- EXISTING EASEMENT TO BE VACATED
- 18) EXISTING RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND L-2 GRANTED BY PLAT 2000C-242 TO BE VACATED FROM TRACT L-2 BY FORTHCOMING REQUEST.

Handwritten signature: J. Graeme Means

J. GRAEME MEANS
 3676
 CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.
 7/11/2005

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR INFORMATION ONLY. BOUNDARY AND TOPOGRAPHIC DATA SHOWN HEREON IS FROM THE MAY, 2005 SURVEY CONDUCTED BY THIS OFFICE.



LOT # 1-P1
 LA SALLA DEL NORTE SUBDIVISION, UNIT 1
 (FILED 5/27/1999, 99C-124)

LOT 7-P1
 PRIVATE TRENCH DRAIN PER SECTIONS AND DETAILS SHEET 3 TGS5.17; INV OUT 50.50

LOT 8-P1
 8" DIA. SDMH & 24" RCP @ 4% (BY WORK ORDER) INV 49.50

LOT 9-P1
 NO GRADING PROPOSED ON TRACT K-1

LOT 10-P1
 2"-0" CONCRETE RUNDOWN, S= 0.01

LOT 11-P1
 SINGLE "D" STORM INLET ON EXISTING STORM DRAIN TGS3.80; INV 42.8 (EXIST.)

LOT 12
 24" SIDEWALK CULVERT BY WORK ORDER INV 56.61

LOT 13
 20" PRIVATE DRAINAGE EASEMENT

LOT 14
 CURB OPENING @ 57.08

LOT 15
 12 LF 18" RCP (CLASS III) STORM DRAIN @ S= 0.035 CONNECT TO EXISTING PRIVATE STORM DRAIN MANHOLE @ 49.6 (BY WORK ORDER)

LOT 16
 1"-DOUBLE "D" STORM INLET PER C.O.A. STD. DWG. (BY WORK ORDER) TGS4.82; INV 50.00

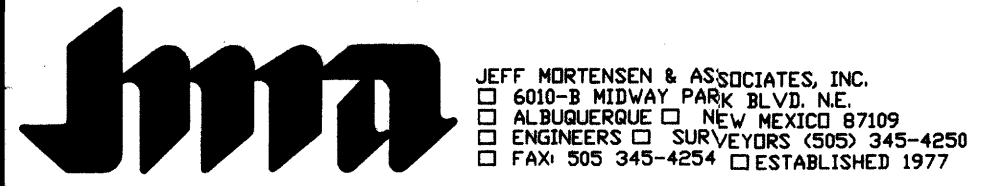
**GRADING PLAN
 AGAVE SUBDIVISION**

APPROVED FOR
 ROUGH GRADING

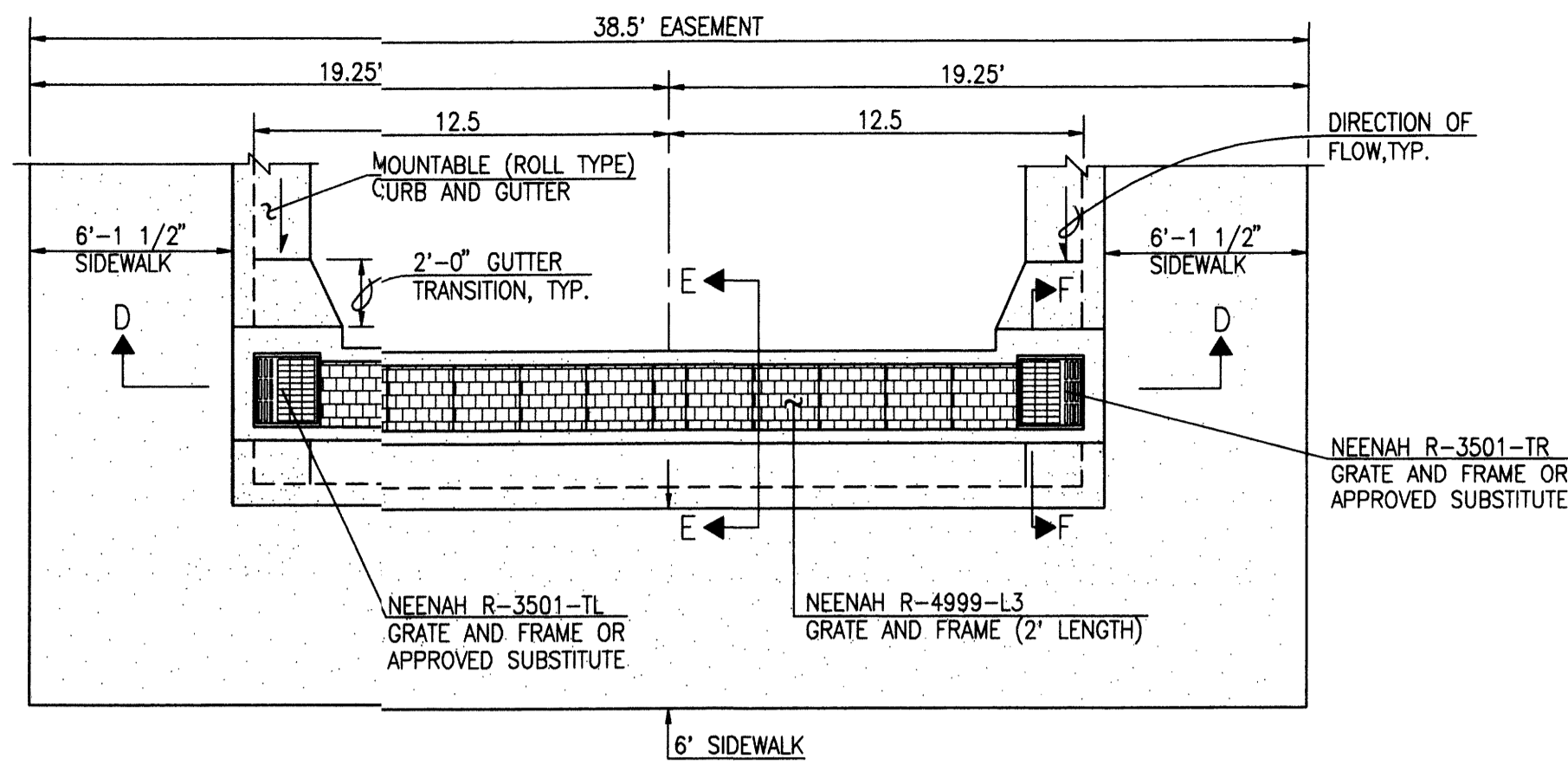
CITY HYDROLOGY DATE

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2005.028.4
DRAWN BY				DATE
J.L.P.				07-2005
APPROVED BY				SHEET
G.M.				1 OF 3

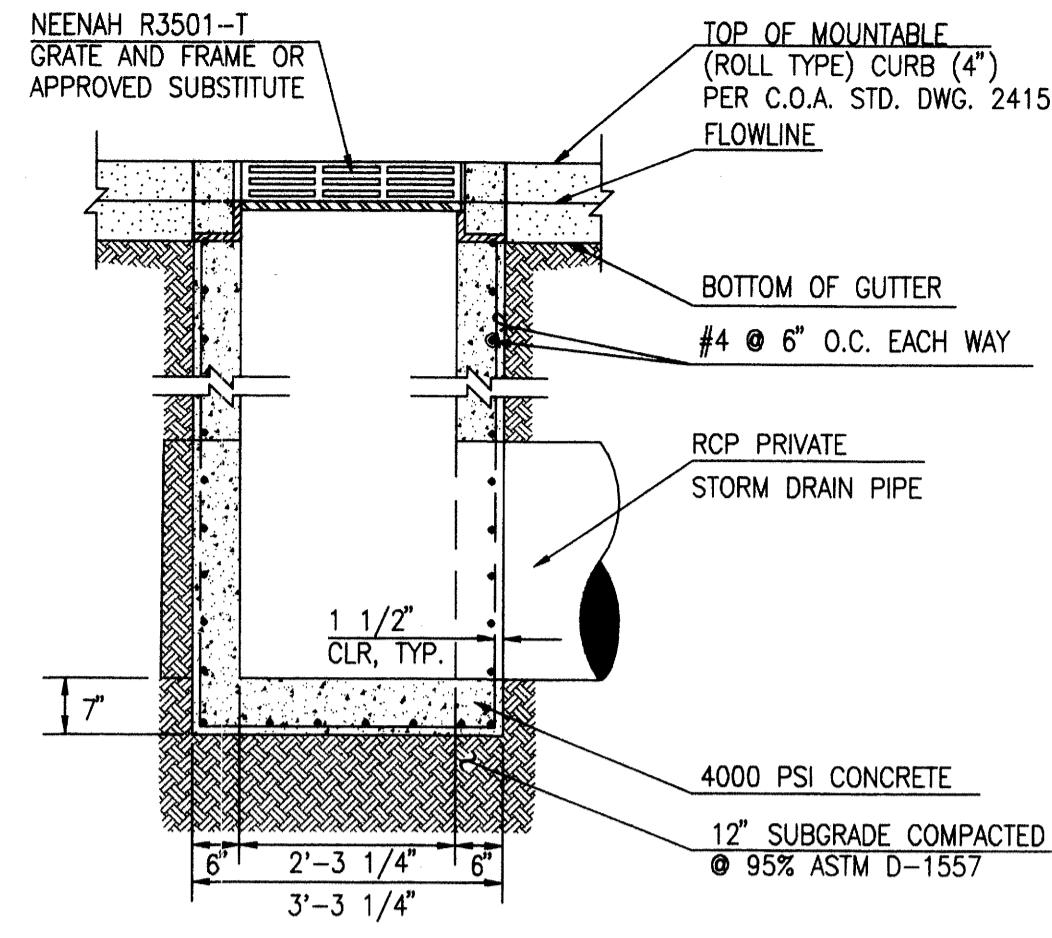
PROJECT #1004162



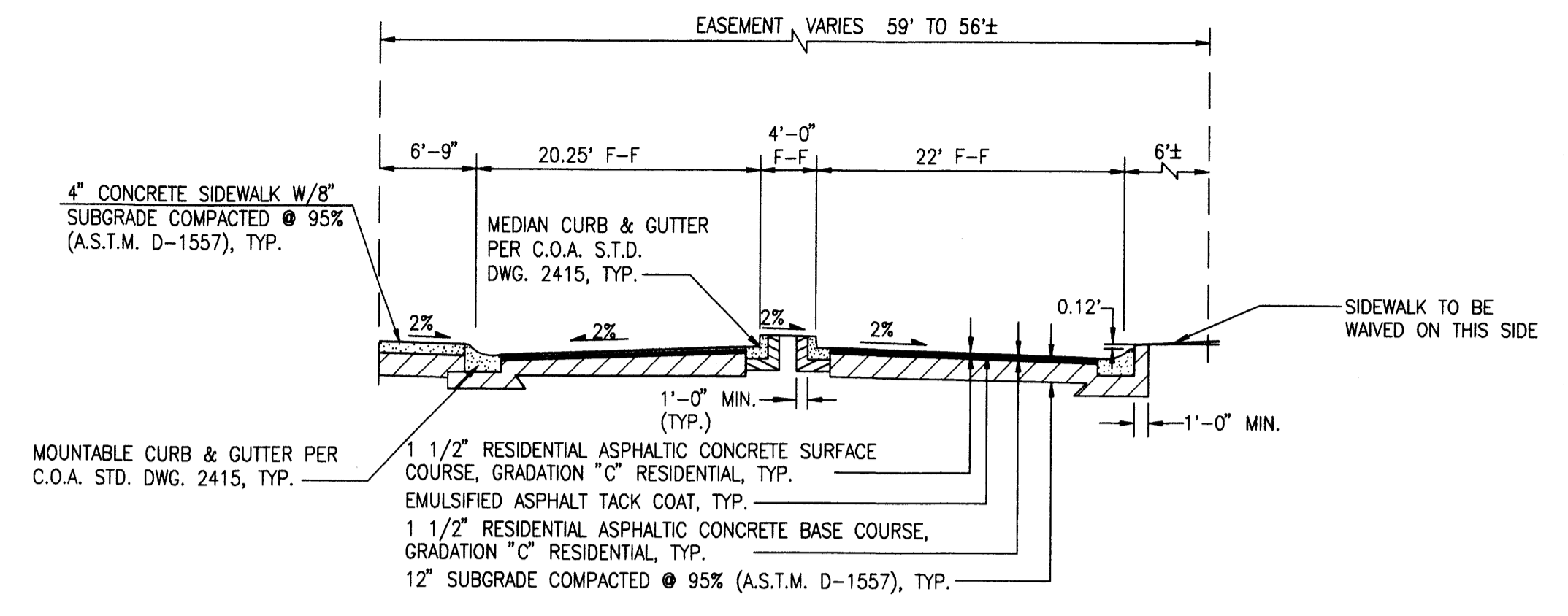
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 File Name: 50284G2.DWG
 Plot Time: 08:31 am



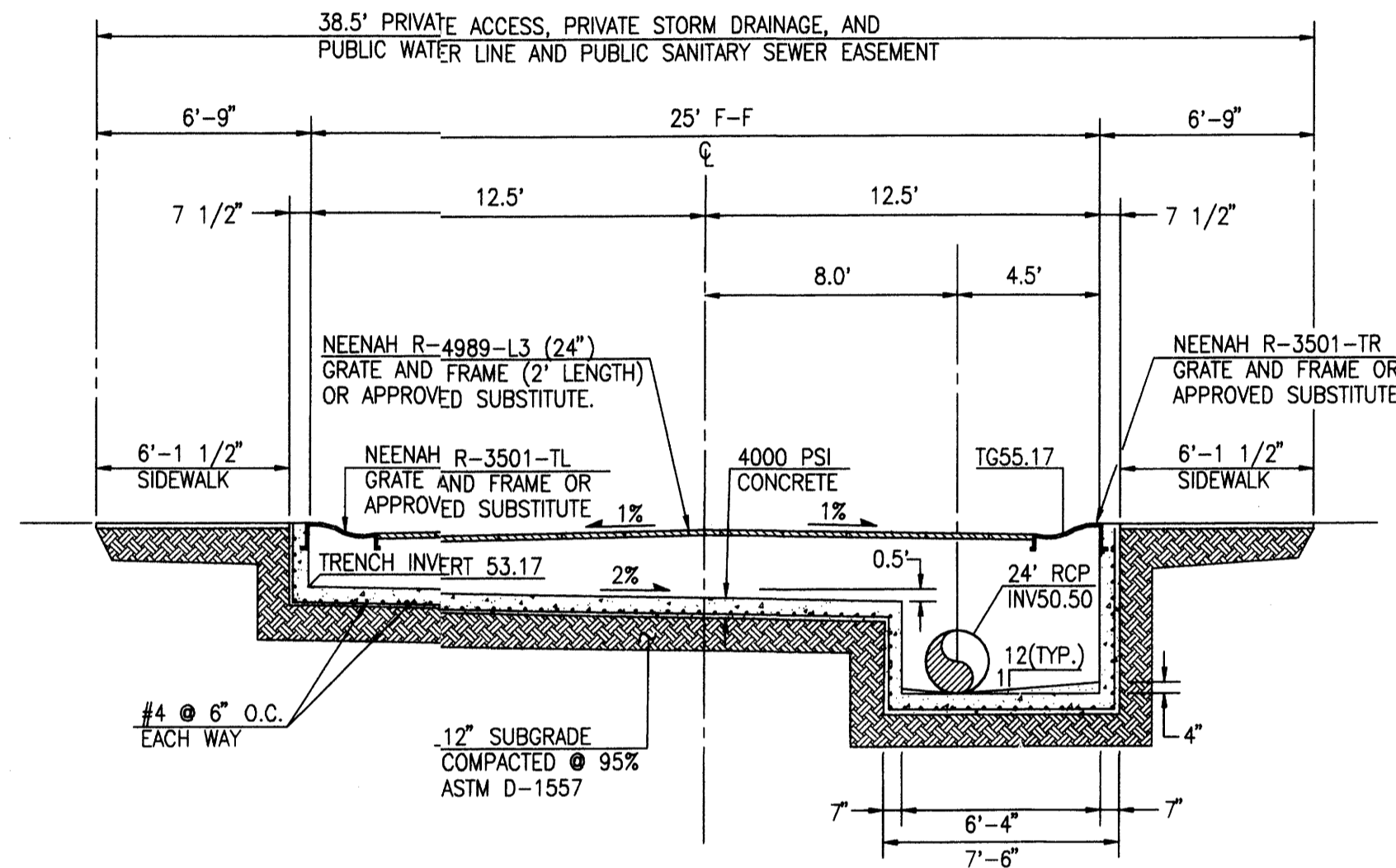
TRENCH DRAIN DETAIL (PRIVATE)
SCALE: 1" = 5'-0"



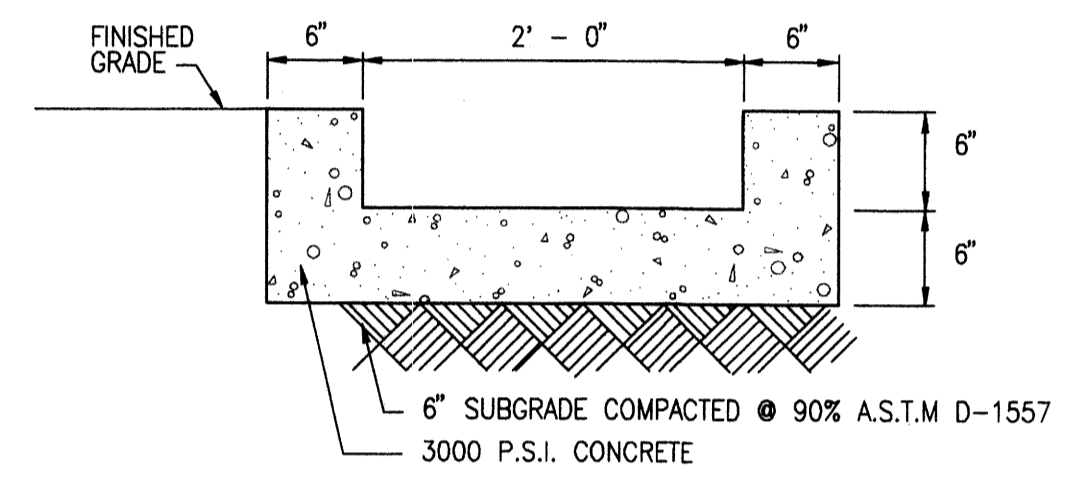
SECTION F-F
SCALE: 1" = 2'-0"



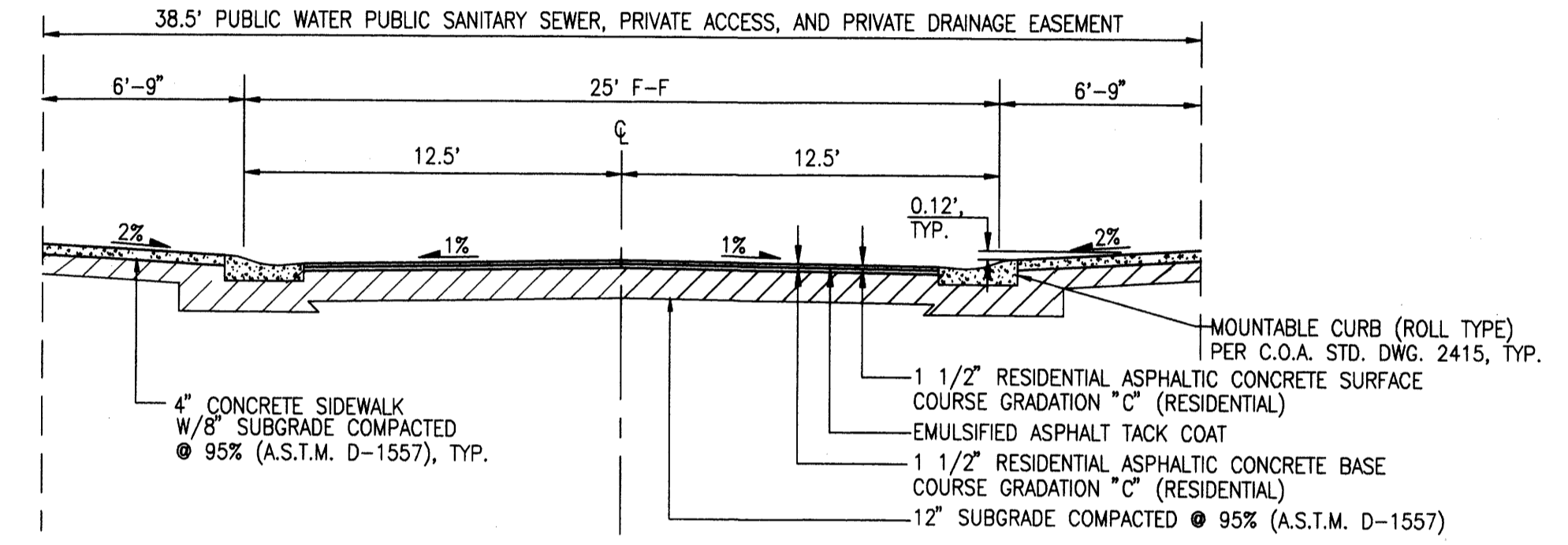
SECTION A - A (ENTRANCE STREET)
SCALE: 1" = 10' HORIZONTAL
1" = 6' VERTICAL



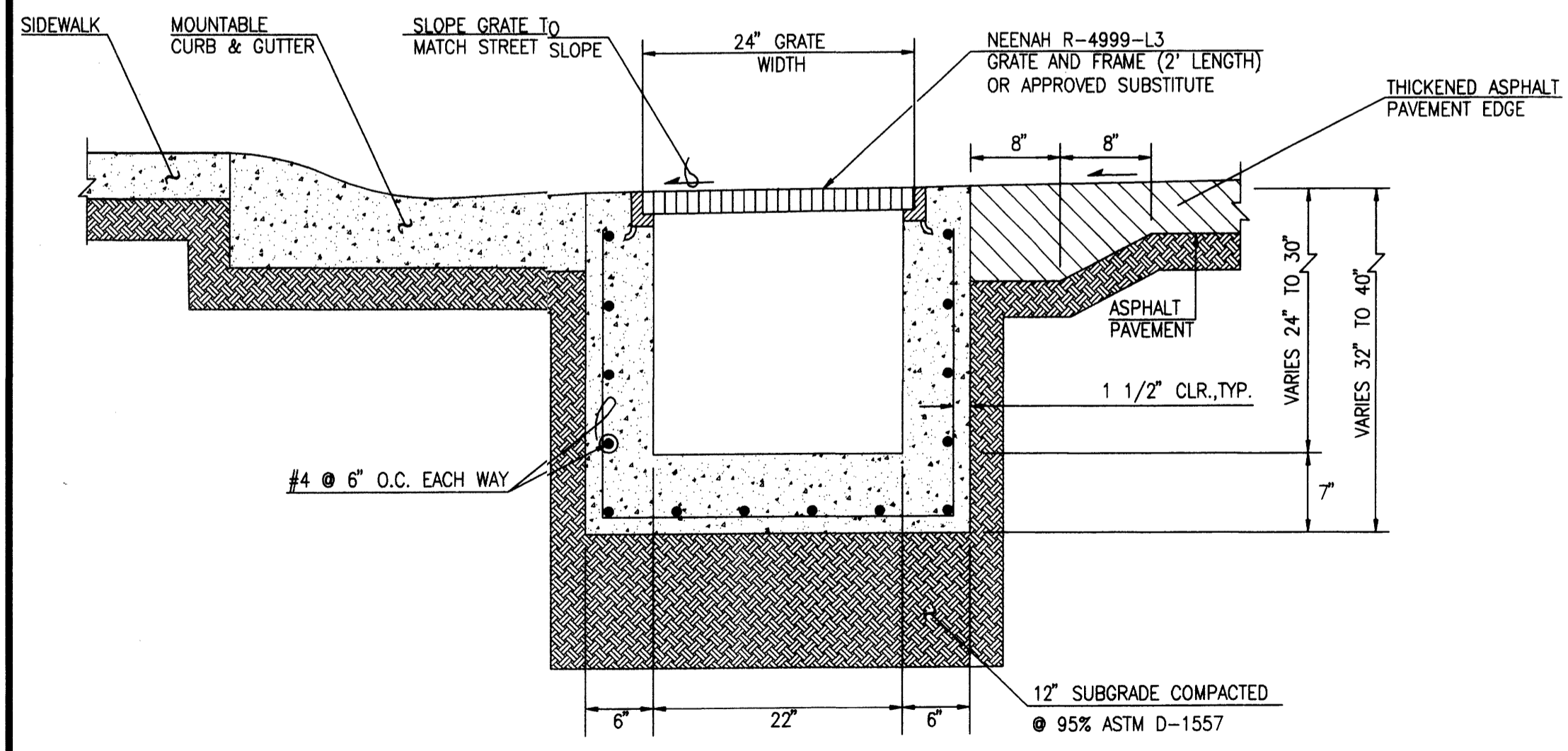
SECTION D-D
SCALE: 1" = 5'-0"



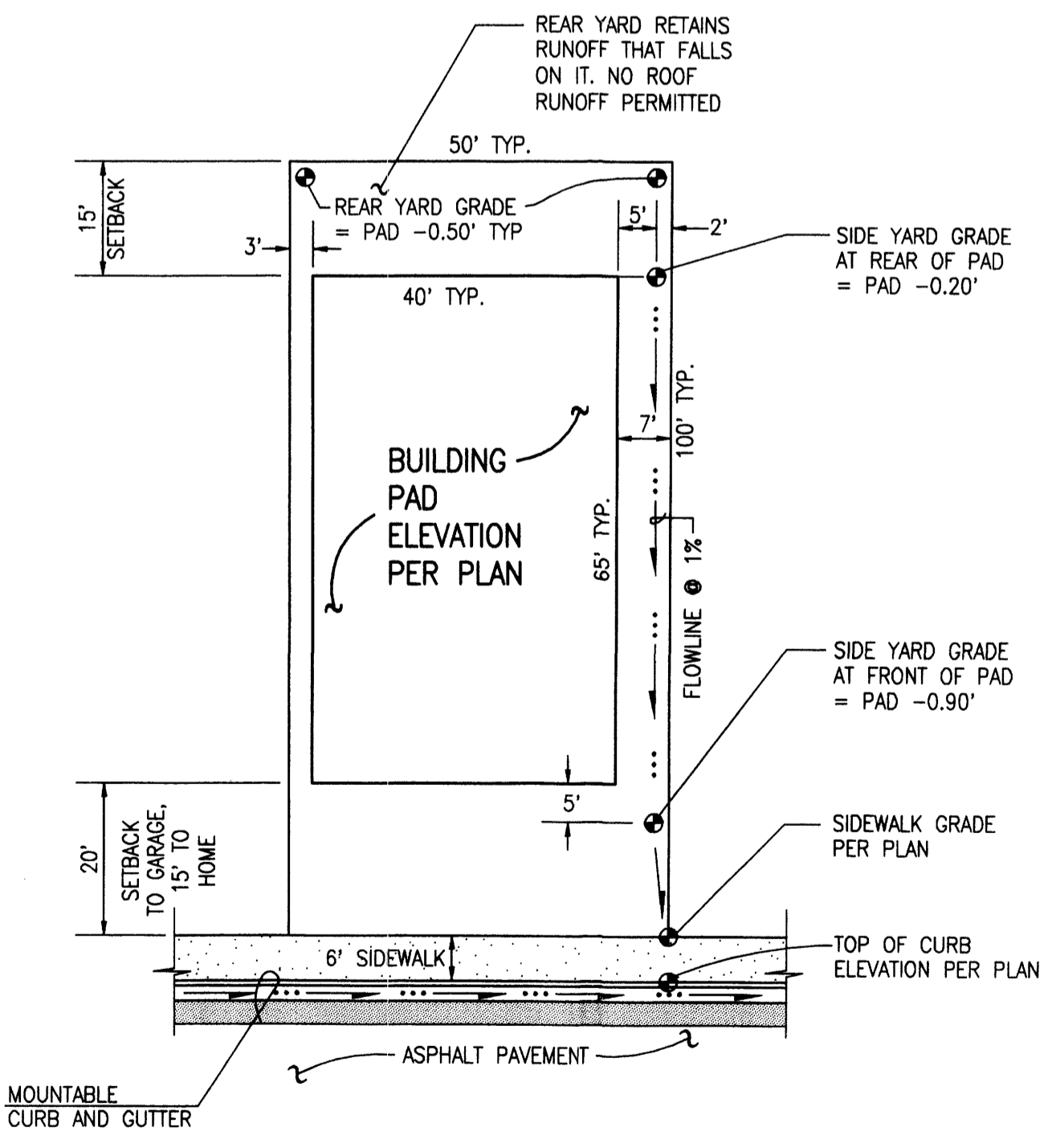
TYPICAL RUNDOWN SECTION
SCALE: 1" = 1' - 0"



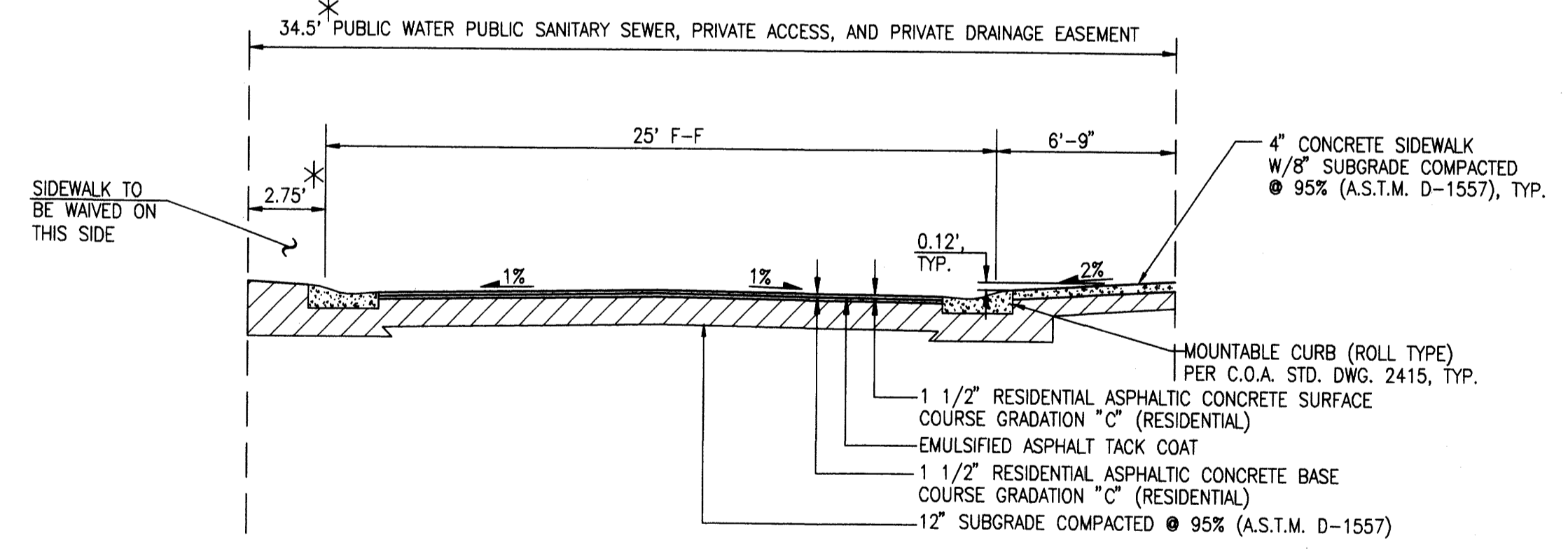
SECTION B-B (PRIVATE STREET WITH HALF CROWN)
SCALE: 1" = 5'



SECTION E-E
SCALE: 1" = 1'-0"

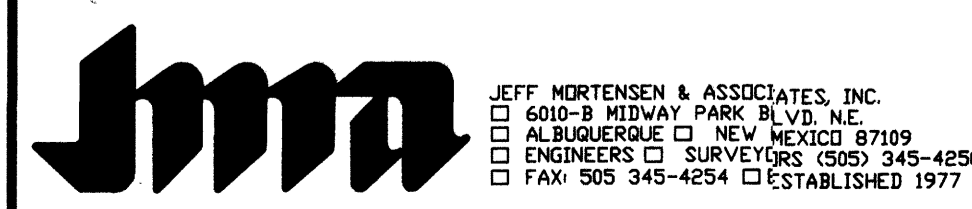


TYPICAL LOT GRADING DETAIL
SCALE: 1" = 20'



SECTION C-C (PRIVATE STREET WITH HALF CROWN)
SCALE: 1" = 5'
* WIDTHS INCREASE TO 36 FT AND 4 FT ALONG WEST PROPERTY LINE.

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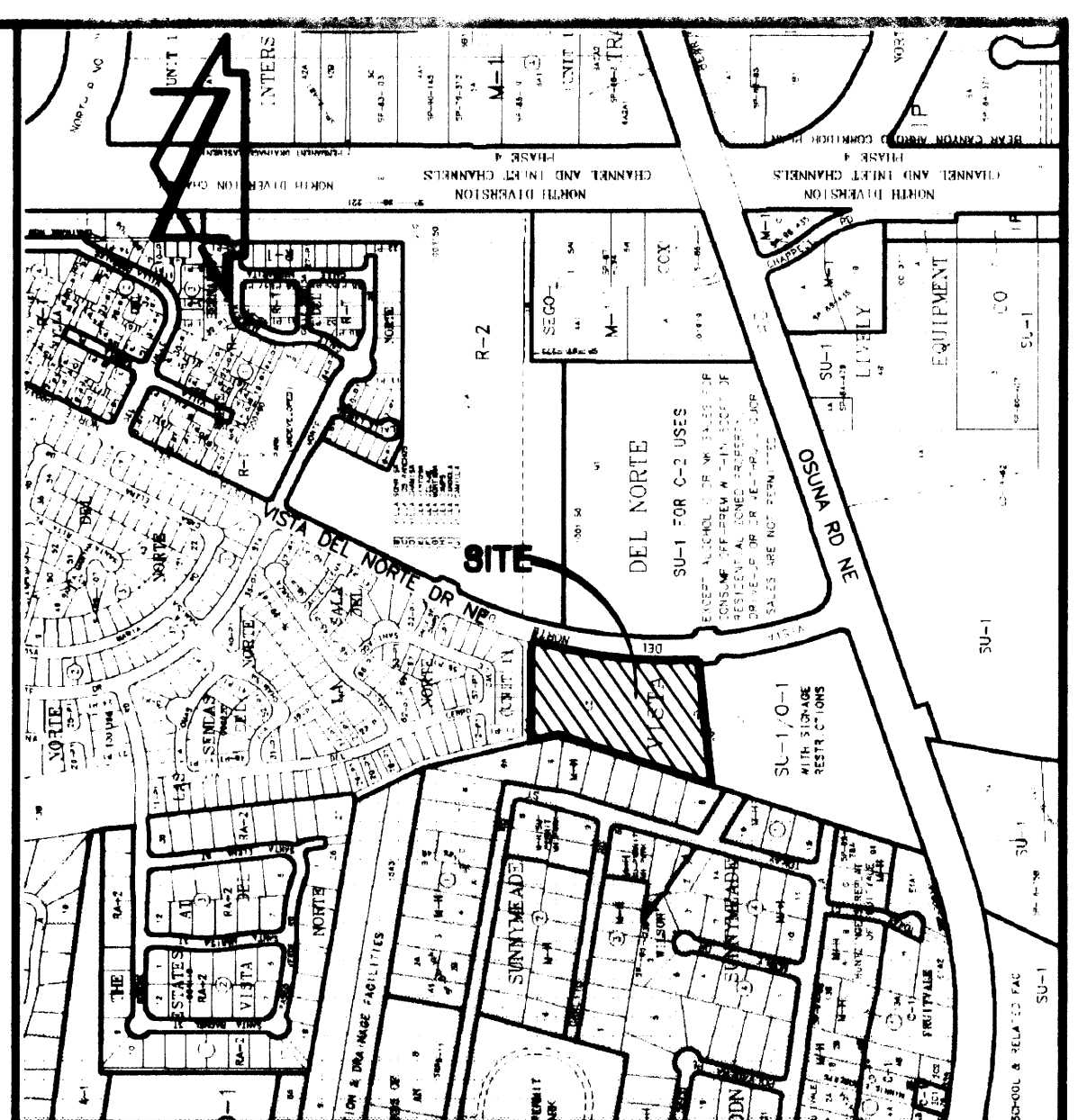
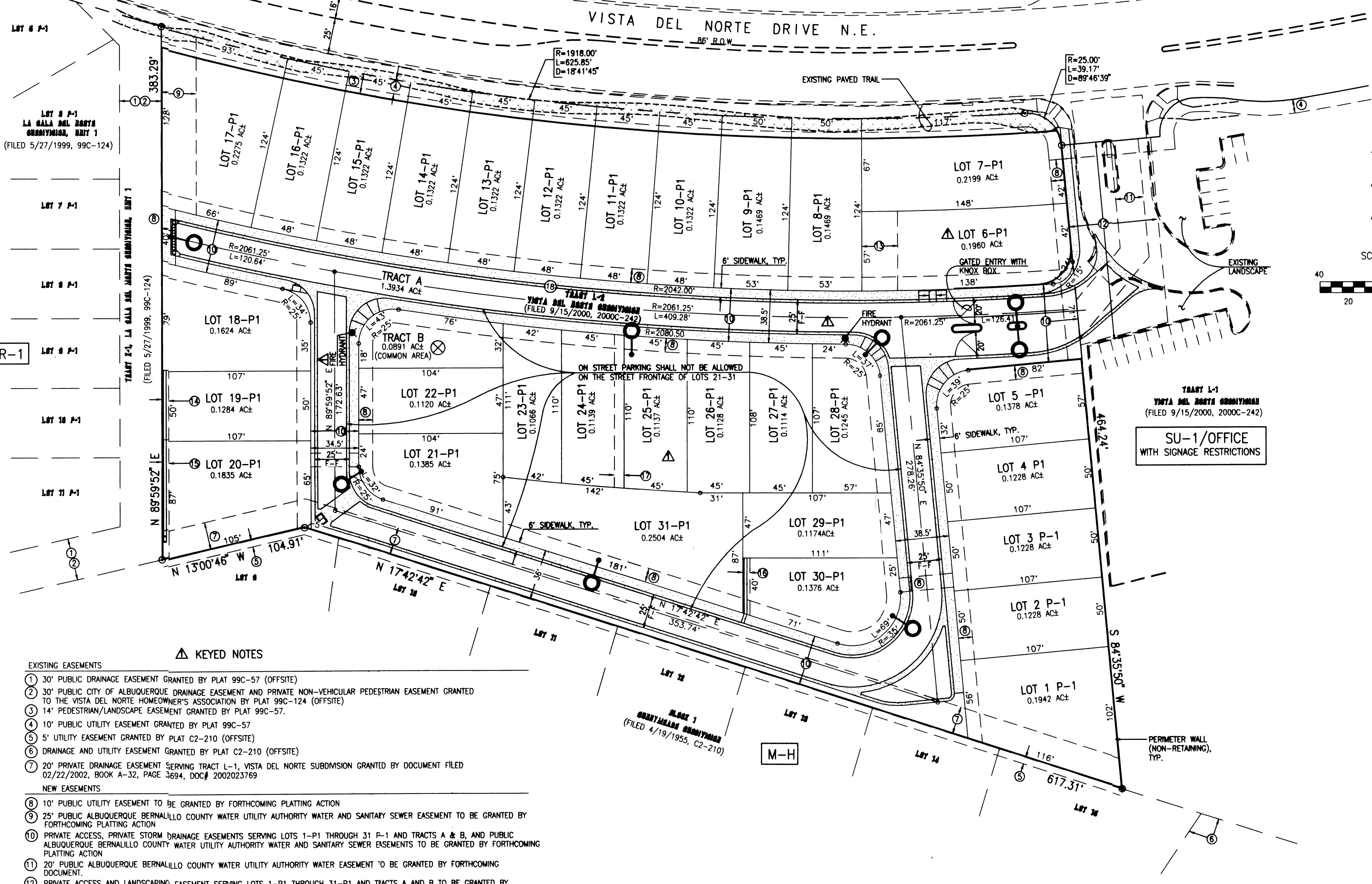


SECTIONS AND DETAILS
AGAVE SUBDIVISION

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2005.028.4
DRAWN BY				DATE
R.R.W.				07-2005
APPROVED BY				SHEET
G.M.				3 OF 3



TRACT M-1
VISTA DEL NORTE
(FILED 3/31/2003, 3C-87) **SU-1 FOR C-2 USES**



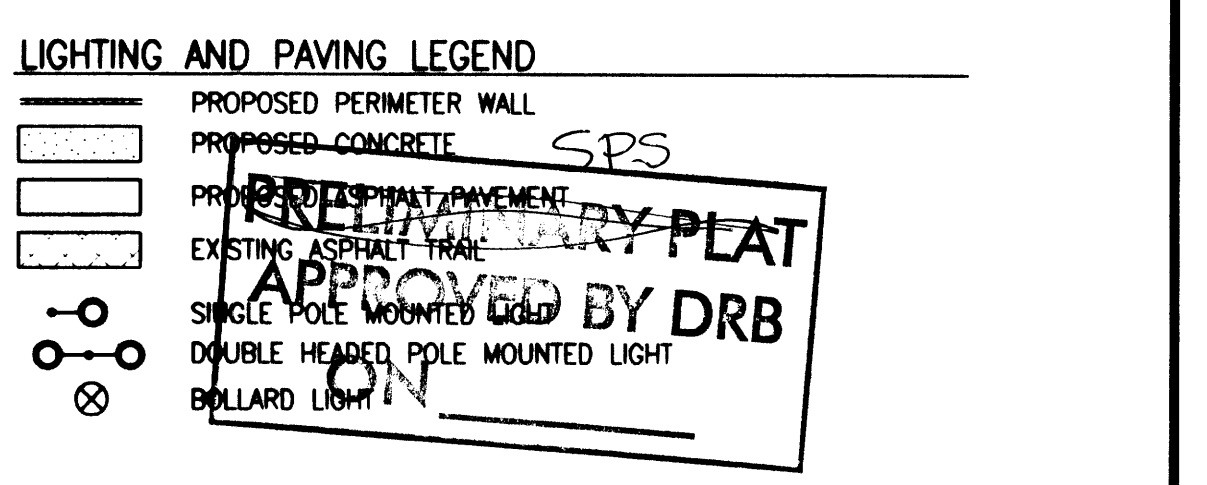
VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:
TRACT L-2, VISTA DEL NORTE SUBDIVISION
FILED 9/15/2000, 2000C-242

EXISTING ZONING:
SU-1/0-1 WITH SIGNAGE RESTRICTIONS

PROPOSED ZONING:
SU-1/PRD

PROJECT NUMBER:	1004162
Application Number	05 EPC 00742
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 16, 2005, and the Findings and Conditions in the Official Notifications of Decision are satisfied.	
Is an Infrastructure List required? (X) Yes () No	
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

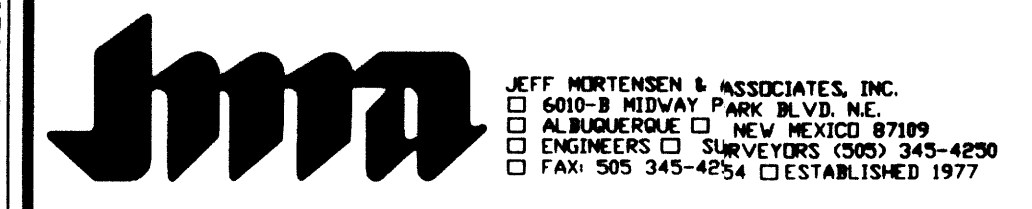


INDEX OF DRAWINGS	
SHEET	TITLE
1	SITE PLAN FOR SUBDIVISION
2	GRADING PLAN
2A	DRAINAGE REPORT, GRADING NOTES AND CALCULATIONS
3	SECTIONS AND DETAILS
4	CONCEPTUAL UTILITY PLAN
5	SUBDIVISION DESIGN STANDARDS
6	LANDSCAPING PLAN

- KEYED NOTES**
- EXISTING EASEMENTS**
- 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57 (OFFSITE)
 - 30' PUBLIC CITY OF ALBUQUERQUE DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED TO THE VISTA DEL NORTE HOMEOWNER'S ASSOCIATION BY PLAT 99C-124 (OFFSITE)
 - 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57
 - 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
 - 5' UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE SUBDIVISION GRANTED BY DOCUMENT FILED 02/22/2002, BOOK A-32, PAGE 3694, DOC# 2002023769
- NEW EASEMENTS**
- 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - 25' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY WATER AND SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - PRIVATE ACCESS, PRIVATE STORM DRAINAGE EASEMENTS SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A & B, AND PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY WATER AND SANITARY SEWER EASEMENTS TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - 20' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY WATER EASEMENT TO BE GRANTED BY FORTHCOMING DOCUMENT
 - PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A AND B TO BE GRANTED BY FORTHCOMING DOCUMENT
 - PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SANITARY SEWER EASEMENT SERVING LOT 7-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 18-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - 5' PRIVATE DRAINAGE EASEMENT SERVING LOTS 18-P1 AND 19-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - PRIVATE DRAINAGE EASEMENT SERVING LOT 29-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - 7' PRIVATE SANITARY SEWER SERVICE EASEMENT SERVING LOT 31-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
- EXISTING EASEMENT TO BE VACATED**
- EXISTING RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND L-2 GRANTED BY PLAT 2000C-242 TO BE VACATED FROM TRACT L-2 BY VACATION REQUEST.

- GENERAL NOTES**
- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN HEREON IS FROM THE MAY, 2005 BOUNDARY SURVEY BY THIS OFFICE.
 - REFER TO DESIGN STANDARDS, SHEET 5, FOR SETBACKS, BUILDING HEIGHTS AND DESIGN CRITERIA.
 - OVERALL GROSS DENSITY = 31 LOTS/6.59 ac = 4.7 DWELLING UNITS PER ACRE (MEASURED TO CENTER OF VISTA DEL NORTE DRIVE).
 - NET DENSITY = 31 LOTS/4.56 ac = 6.8 du/ac
 - ALL PROPOSED LOTS ARE SINGLE FAMILY.
 - ALL HOMES ARE RESTRICTED TO SINGLE STORY WITH A MAXIMUM HEIGHT OF 18 FT.
 - NO ON STREET PARKING SHALL BE ALLOWED ON THE STREET FRONTAGE OF LOTS 21-31. SIGNS SHALL BE PROVIDED BY THE DEVELOPER.
 - SEE SHEET 5 FOR LIGHTING DETAILS

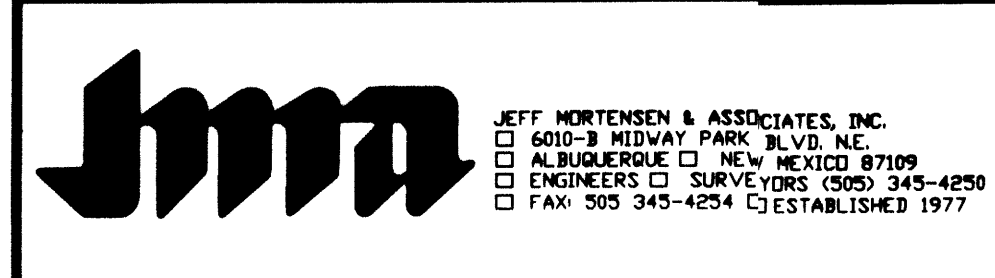
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**SITE PLAN FOR SUBDIVISION
AGAVE SUBDIVISION**

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	08/05	G.M.	ADDRESS EPC CONDITIONS	2005.028.1
DRAWN BY		G.M./S.G.H.		DATE
APPROVED BY		G.M.		05-2005
				SHEET 1 OF 6

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 File Name: 502842.DWG
 Plot Date: 07-11-2005
 Plot Time: 08:31 am



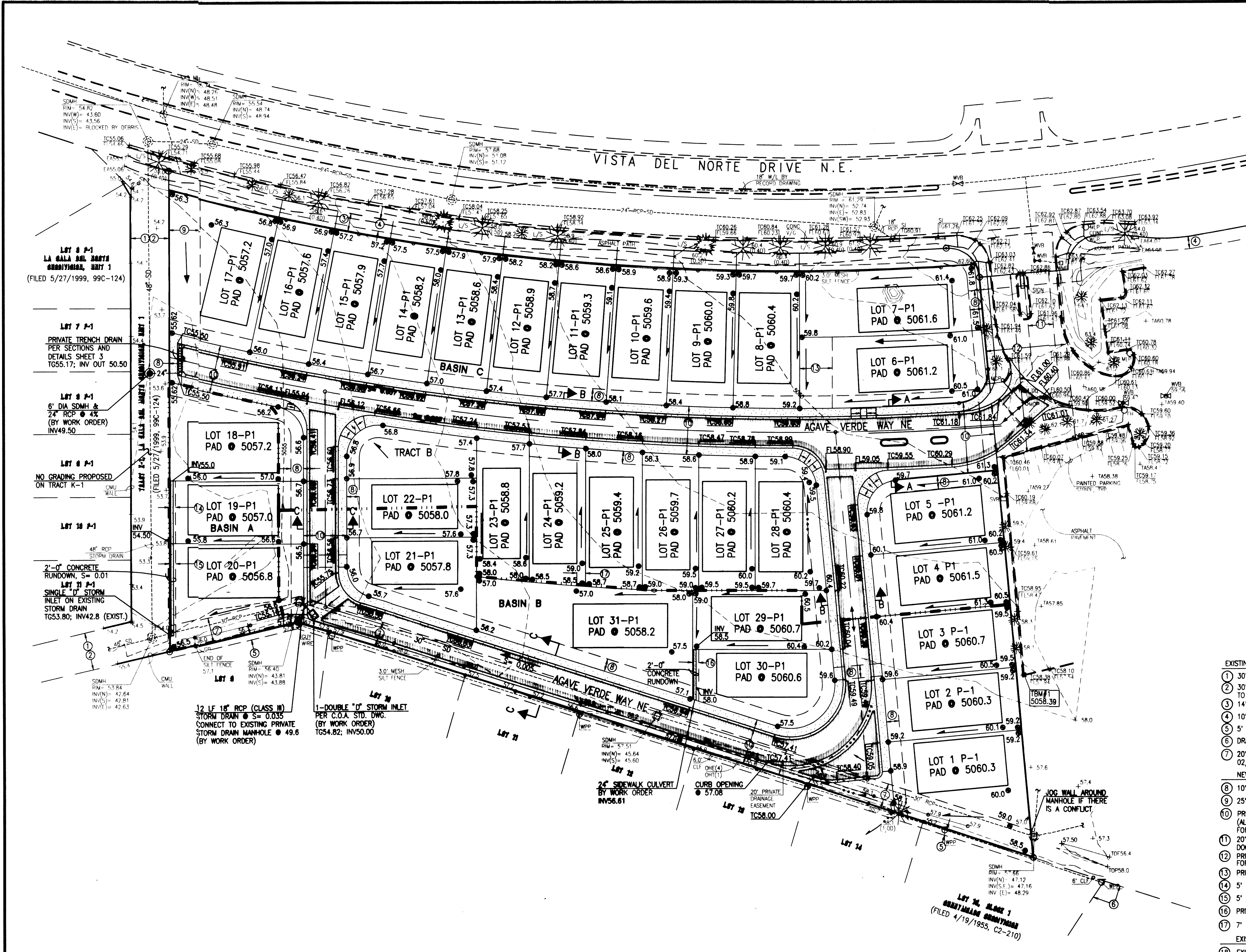
APPROVED FOR
 ROUGH GRADING

GRADING PLAN AGAVE SUBDIVISION

DESIGNED BY: G.M.
 DRAWN BY: J.L.P.
 APPROVED BY: G.M.

NO.	DATE	BY	REVISIONS

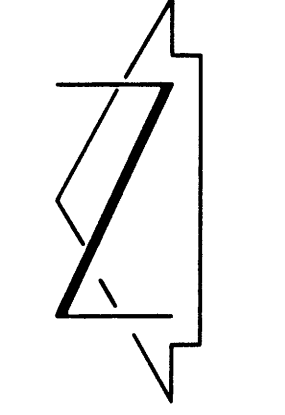
JOB NO. 2005.028.4
 DATE 07-2005
 SHEET 1 OF 3



LEGAL DESCRIPTION
 TRACT L-2, VISTA DEL NORTE SUBDIVISION

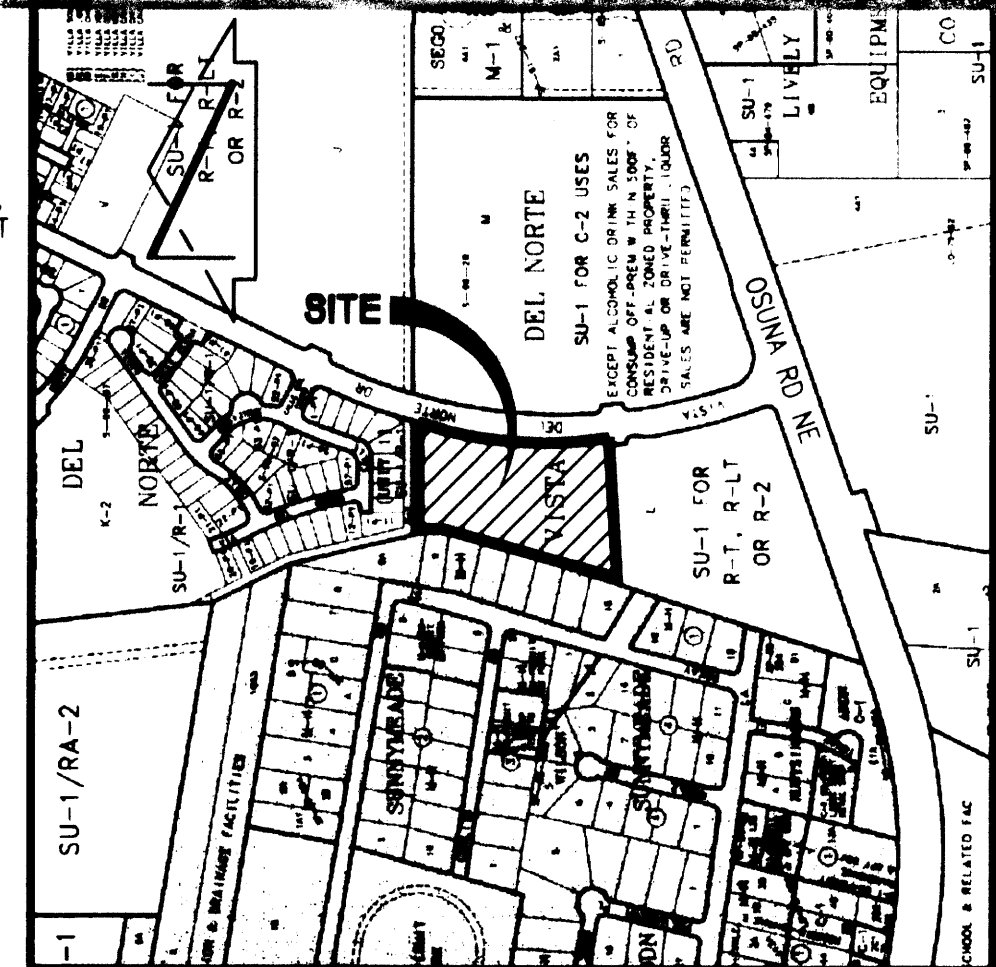
PROJECT BENCHMARK
 ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 13-E16", EPOXY TO TOP OF CONCRETE DROP INLET, ESE QUADRANT OF OSUNA RD. N.E. & THE MAIN ENTRANCE TO ADDRESS 700 OSUNA RD. N.E. (MEGA CORP.), 0.57 MI.± EAST OF CENTERLINE EDITH BLVD., CENTERED ON SAID DROP INLET. ELEVATION = 5052.36 (NGVD29)

TEMPORARY BENCHMARK
 TBM#1 = CHISELED ON BACK OF CURB
 ELEV = 5058.39

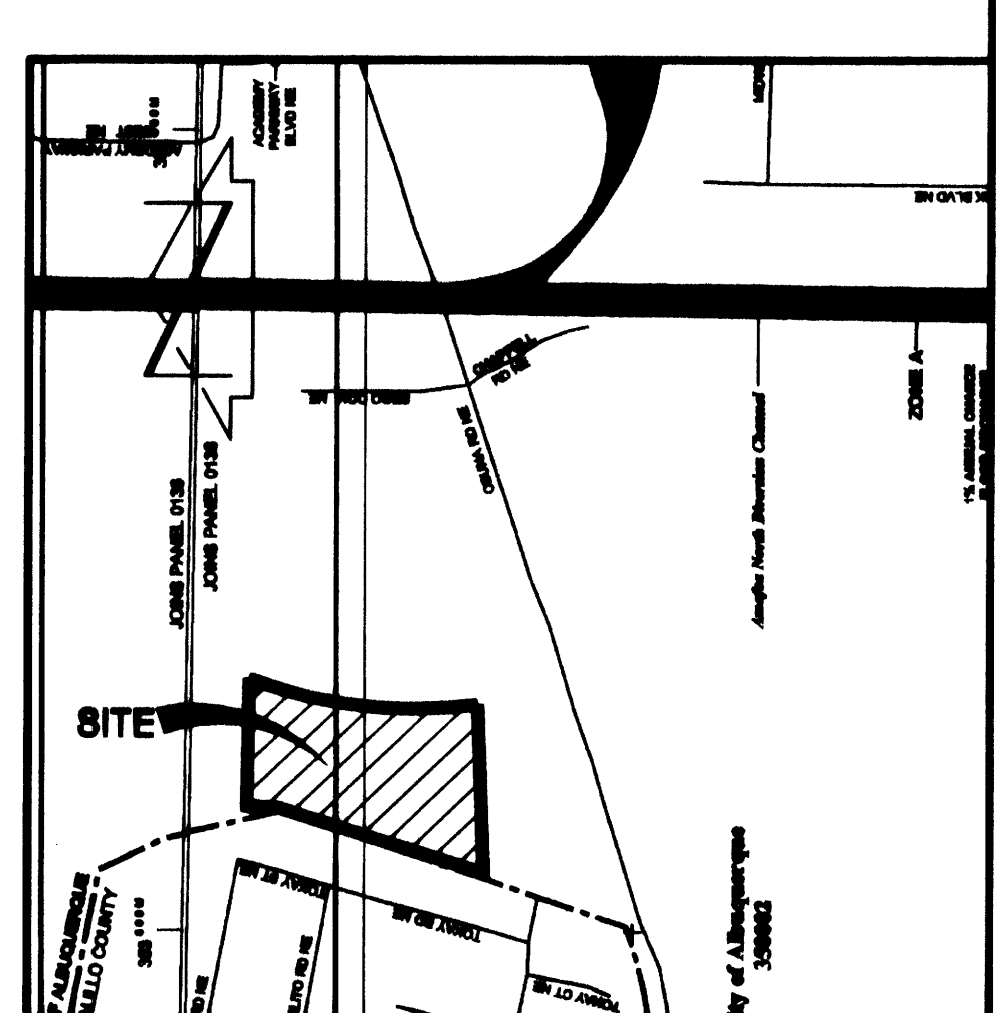


SCALE: 1" = 40'

- LEGEND**
- C/G CURB AND GUTTER
 - CLF CHAIN LINK FENCE
 - CMU CONCRETE MASONRY UNIT
 - CONC CONCRETE
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - GP GUARD POST
 - INV INVERT
 - L/S LANDSCAPE
 - MGP METAL GUARD POST
 - MH MANHOLE
 - MLP METAL LIGHT POLE
 - OHE(4) OVERHEAD ELECTRIC (NO. OF LINES)
 - OHT(1) OVERHEAD TELEPHONE (NO. OF LINES)
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SDMH STORM DRAIN MANHOLE
 - SI STORM INLET
 - SVB SPRINKLER VALVE BOX
 - TC TOP OF CURB
 - V/G VALLEY GUTTER
 - W/L WATER LINE
 - WCR WHEELCHAIR RAMP
 - WMB WATER METER BOX
 - WPP WOOD POWER POLE
 - WS WOODEN SIGN
 - WVB WATER VALVE BOX
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - DECIDUOUS TREE (CALIPER SIZE)
 - COMIFEROUS TREE (CALIPER SIZE)
 - PROPOSED SPOT ELEVATION
 - DIRECTION OF FLOW



VICINITY MAP
 SCALE: 1" = 750'



F.I.R.M. PANELS 136 & 138 OF 825
 N.T.S.

KEYED NOTES

- EXISTING EASEMENTS**
- 1) 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57 (OFFSITE)
 - 2) 30' PUBLIC (CITY OF ALBUQUERQUE) DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED TO THE VISTA DEL NORTE HOMEOWNER'S ASSOCIATION BY PLAT 99C-124 (OFFSITE)
 - 3) 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57
 - 4) 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
 - 5) 5' UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - 6) DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - 7) 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE SUBDIVISION GRANTED BY DOCUMENT FILED 02/22/2002, BOOK A-32, PAGE 3694, DOC# 2002023769
- NEW EASEMENTS**
- 8) 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION
 - 9) 25' PUBLIC (ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY) WATER AND SANITARY SEWER EASEMENT
 - 10) PRIVATE ACCESS, PRIVATE STORM DRAINAGE EASEMENTS SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A & B, AND PUBLIC (ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY) WATER AND SANITARY SEWER EASEMENTS TO BE GRANTED BY FORTHCOMING ACTION.
 - 11) 20' PUBLIC (ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY) WATER EASEMENT TO BE GRANTED BY FORTHCOMING DOCUMENT.
 - 12) PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A AND B TO BE GRANTED BY FORTHCOMING DOCUMENT.
 - 13) PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SEWER EASEMENTS SERVING LOT 7-P1 TO BE GRANTED BY FORTHCOMING ACTION
 - 14) 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 18-P1 TO BE GRANTED BY FORTHCOMING ACTION.
 - 15) 5' PRIVATE DRAINAGE EASEMENT SERVING LOTS 18-P1 AND 19-P1 TO BE GRANTED BY FORTHCOMING ACTION.
 - 16) PRIVATE DRAINAGE EASEMENT SERVING LOT 29-P1 TO BE GRANTED BY FORTHCOMING ACTION
 - 17) 7' PRIVATE SANITARY SEWER SERVICE EASEMENT SERVING LOT 31-P1 TO BE GRANTED BY FORTHCOMING ACTION.
- EXISTING EASEMENT TO BE VACATED**
- 18) EXISTING RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND L-2 GRANTED BY PLAT 2000C-242 TO BE VACATED FROM TRACT L-2 BY FORTHCOMING REQUEST.

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR INFORMATION ONLY. BOUNDARY AND TOPOGRAPHIC DATA SHOWN HEREON IS FROM THE MAY, 2005 SURVEY CONDUCTED BY THIS OFFICE.

I, J. GRAEME MEANS, NMPE 13676, CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

7/11/2005

PROJECT #1004162

DRAINAGE REPORT

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN NORTH CENTRAL ALBUQUERQUE WITHIN THE VISTA DEL NORTE SUBDIVISION. THE EPC VOTED TO APPROVE A ZONE MAP AMENDMENT AND SITE DEVELOPMENT PLAN APPROVAL WITH CONDITIONS TO BE ADDRESSED AT DRB. THE DRAINAGE OUTFALL FOR THE SITE IS TO AN EXISTING PUBLIC STORM DRAIN CONSTRUCTED BY CPN 5790.81 WITHIN AN ADJACENT PUBLIC EASEMENT SIZED FOR THIS DISCHARGE. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS DRAINAGE REPORT IS TO OBTAIN PRELIMINARY PLAT, ROUGH GRADING AND WORK ORDER APPROVALS.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-16 ON SHEET 1, THE SITE IS LOCATED IN THE VISTA DEL NORTE SUBDIVISION ON THE NORTH SIDE OF OSUNA RD NE. A 1998 MASTER DRAINAGE PLAN PREPARED BY AVID ENGINEERING ADDRESSED SITE DRAINAGE BASINS AND STORM DRAIN SIZING. THE SITES TO THE NORTH AND WEST ARE DEVELOPED RESIDENTIALLY. THE SITE TO THE SOUTH IS DEVELOPED AS A CHURCH. THE SITE TO THE EAST IS UNDEVELOPED AND IS ZONED FOR A SHOPPING CENTER. THE EXISTING LEGAL DESCRIPTION IS TRACT L-2, VISTA DEL NORTE. THE SITE IS CURRENTLY ZONED SU-1/0-1 WITH SIGNAGE RESTRICTIONS. ON JUNE 16TH, 2005, THE EPC VOTED TO APPROVE A ZONE MAP AMENDMENT TO SU-1/PRD. AS SHOWN BY PANEL 138 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

- A. DRAINAGE MASTERPLAN FOR VISTA DEL NORTE SUBDIVISION BY AVID ENGINEERING, LATEST REVISION DATED MARCH 19, 1998. THIS MASTERPLAN IDENTIFIED DRAINAGE BASINS, FLOW RATES, AND SIZED PUBLIC STORM DRAINS FOR THE SUBDIVISION. AS SHOWN BY THAT PLAN, BASIN L (THE PARENT LOT FOR TRACTS L1 AND L2) WAS ASSUMED TO BE 80% LAND TREATMENT D AND 20% LAND TREATMENT B.
- B. GRADING AND DRAINAGE PLAN FOR DESERT SPRINGS CHURCH BY JC ENGINEERING DATED DECEMBER 12, 2001 WITH REVISION DATED JULY 18, 2002. (FILE E-16/D21). THIS GRADING PLAN ADDRESSED THE CHURCH SITE TO THE SOUTH ON TRACT L-1. IT CONSTRUCTED A PRIVATE STORM DRAIN IN A 20 FT EASEMENT ACROSS THE WESTERN BOUNDARY OF TRACT L-2.
- C. GRADING AND DRAINAGE PLAN FOR RANCHO MIRAGE BY TIERRA WEST ENGINEERING, DATED 07/18/2002. (FILE E-16/D22). A PORTION OF THIS MULTIFAMILY RESIDENTIAL SITE TO THE NORTHEAST (17.6 CFS) DRAINS INTO THE SAME STORM DRAIN SYSTEM AS TRACTS L1 AND L2.
- D. AS-BUILT WORK ORDER PLANS FOR CPN 5790.81, VISTA DEL NORTE UNIT 1. THESE PLANS ADDRESSED THE CONSTRUCTION OF THE NOW-EXISTING PUBLIC STORM DRAIN SYSTEM THAT IS THE OUTFALL FOR THIS SITE. THEY INCLUDE DESIGN FLOW RATES AND HYDRAULIC GRADE LINES.
- E. CONCEPTUAL GRADING AND DRAINAGE PLAN FOR AGAVE SUBDIVISION BY JMA DATED 4/28/2005 (FILE E16/D24). THIS CONCEPTUAL PLAN FOR THIS SITE WAS APPROVED FOR SITE DEVELOPMENT PLAN APPROVAL WITH CONDITIONS TO BE ADDRESSED PRIOR TO PRELIMINARY PLAT APPROVAL. THE PROPOSED CONSTRUCTION DRAINING DIRECTLY AND FREELY TO EXISTING PUBLIC DRAINAGE IMPROVEMENTS AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED WITH A SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE SLOPES FROM SOUTHEAST TO NORTHWEST. THERE IS AN EXISTING LANDSCAPED STRIP AND A PAVED MEANDERING TRAIL WITHIN AN EASEMENT ALONG THE EAST PROPERTY LINE. TO THE NORTH IS A 30 FT WIDE UNDEVELOPED TRACT ENCLUMBERED BY A PEDESTRIAN ACCESS AND PUBLIC STORM DRAINAGE EASEMENT. A 48" STORM DRAIN LIES WITHIN THE EASEMENT. TO THE NORTH OF THIS TRACT IS A RESIDENTIAL SUBDIVISION. THE SITE IS FRONTED ON THE EAST BY VISTA DEL NORTE DRIVE, NE, A FULLY DEVELOPED PUBLIC STREET. EXISTING SITE RUNOFF SHEET DRAINS FROM SOUTHEAST TO NORTHWEST TO AN EXISTING SMALL RETENTION AREA AT THE NORTHWEST CORNER OF THE SITE. THE TITLE BINDER FOR THE SITE REVEALS THAT THERE IS A DRAINAGE COVENANT IN PLACE FOR THIS POND WHICH WAS CONSTRUCTED AS PART OF THE SALA DEL NORTE SUBDIVISION TO THE NORTH. RUNOFF FROM HERE OVERFLOWS INTO THE PUBLIC DRAINAGE RIGHT OF WAY TRACT TO THE NORTH AND INTO AN EXISTING DETENTION POND. DEVELOPED RUNOFF FROM THE CHURCH TO THE SOUTH IS CONVEYED ACROSS THE SITE IN A PRIVATE 30" RCP STORM DRAIN THAT LIES WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT ALONG THE WESTERN BOUNDARY OF THE SITE.

V. DEVELOPED CONDITIONS

31 NEW RESIDENTIAL HOMES ARE PROPOSED WITH PRIVATE INTERNAL STREETS AND PRIVATE STORM DRAINAGE FACILITIES. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN C WILL DRAIN TO THE NORTH AND WILL ENTER THE EXISTING 48" PUBLIC STORM DRAIN THROUGH A PRIVATE CATTLE GUARD STYLE INLET LOCATED AT A SUMP CONDITION. THE OVERFLOW FROM THIS SUMP IS TO THE NORTH TO THE PUBLIC DRAINAGE EASEMENT ON TRACT K-1. BASINS A AND B WILL DRAIN INTO A AN-SITE PRIVATE 30 INCH STORM DRAIN NEAR THE NW CORNER OF THE SITE. ALTHOUGH NOT ANTICIPATED BY THE PLAN THAT SUPPORTED THE PRIVATE STORM DRAIN (REF. B), THE CALCULATIONS DEMONSTRATE THAT THE PRIVATE LINE HAS CAPACITY FOR THE EXCESS FLOWS. A PROPOSED AGREEMENT BETWEEN THE OWNER OF THE STORM DRAIN AND THE DEVELOPER OF AGAVE ADDRESSES SHARED MAINTENANCE AND USE OF THIS PRIVATE STORM DRAIN. THE SUMP INLET TO THIS STORM DRAIN ALSO WILL OVERFLOW TO THE DOWNSTREAM PUBLIC DRAINAGE EASEMENT. THE DOWNSTREAM PUBLIC SYSTEM WAS SIZED IN ANTICIPATION OF MUCH DENSER DEVELOPMENT ON THIS TRACT, AND DOWNSTREAM CAPACITY THEREFORE EXISTS IN THE 48 INCH PUBLIC STORM DRAIN THAT FRONTS THE NORTH SIDE OF THE TRACT. UPON GRADING PLAN APPROVAL AND THE ESTABLISHMENT OF FINANCIAL GUARANTEES, WE WILL REQUEST RELEASE OF THE DRAINAGE COVENANT ASSOCIATED WITH THE SMALL RETENTION POND LOCATED AT THE NORTHWEST CORNER OF THE SITE.

A PERIMETER WALL IS PROPOSED. THE DEVELOPER WILL CONSTRUCT THE WALL AND IT WILL RETAIN NO MORE THAN 18 INCHES AT ANY LOCATION. THE INTENT OF THE PLAN IS TO BLEND IN WITH EXISTING GRADES TO THE MAXIMUM EXTENT POSSIBLE. IT IS NOTED, THAT THE ADJACENT PRIVATE PROPERTY NEAR THE SOUTHWEST CORNER OF THE SITE LIES TOPOGRAPHICALLY LOWER THAN THE SITE. IT IS THE INTENT OF THE DEVELOPER TO COORDINATE WITH THE ADJACENT PROPERTY OWNER REGARDING THE FINAL GRADING AND WALL LOCATIONS TO ACCOMMODATE THE APPROXIMATE 2.5 FT GRADE CHANGE WITH THE ADJACENT PROPERTY.

VI. GRADING PLAN

THE GRADING PLAN HEREON SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM A MAY, 2005 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE, 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, TOP OF CURB ELEVATIONS AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE FOREMENTIONED SURVEY AND SUPPLEMENTED WITH AS-BUILT DRAWINGS OF THE DESERT SPRINGS CHURCH AND CITY INFRASTRUCTURE PLANS, AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. MANNING'S EQUATION FOR PRESSURE FLOW WAS USED TO EVALUATE THE EXISTING PRIVATE STORM DRAIN, AND HAESTAD FLOWMASTER 6.0 WAS USED TO ANALYZE THE STORM INLET CAPACITIES.

IX. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS FOR VISTA DEL NORTE.
- 2) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME.
- 4) THERE IS AN EXISTING DRAINAGE COVENANT ASSOCIATED WITH A SMALL ON-SITE RETENTION POND THAT WILL NOT BE REQUIRED IF THIS PROJECT IS CONSTRUCTED. A RELEASE REQUEST WILL BE FORTHCOMING AT THE APPROPRIATE TIME.
- 5) AN AGREEMENT BETWEEN THE OWNERS OF TRACTS L-1 AND L-2 IS IN PROGRESS THAT WILL ADDRESS SHARED USE OF THE PRIVATE STORM DRAIN. A RECORDED COPY WILL BE PROVIDED PRIOR TO WORK ORDER APPROVAL.

SUMMARY OF HYDROLOGIC CALCULATIONS (ZONE 2)

$A_T = 5.95 \text{ ac}$

TREATMENT	EXISTING	PROPOSED
B	-	15
C	100	30
D	-	55

	EXISTING	PROPOSED	INCREASE
VOLUME, V_{100}	24,395 cf	34,850 cf	10,455 cf
PEAK FLOW, Q_{100}	18.2 cfs	20.0 cfs	1.3 cfs

BASIN	% AREA	Q_{100}
A	7	1.4 cfs
B	32	6.4 cfs
C	61	12.2 cfs

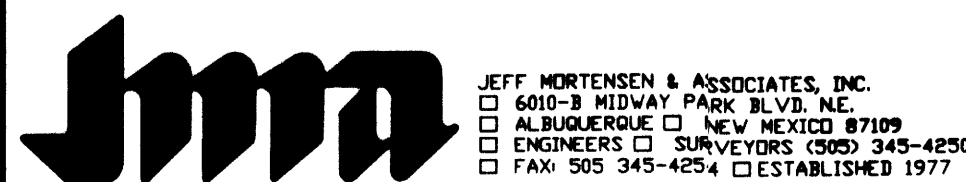
GRADING NOTES

- 1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986, UPDATE 7.
- 2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- 4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- 6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
- 7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR INTO PRIVATE PROPERTY.
- 8. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- 9. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
- 10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- 11. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
- 13. THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
- 14. ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
- 15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 16. ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
- 17. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED. ALL EARTHWORK FOR BUILDING PADS SHALL BE PERFORMED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL SPECIFICATIONS WHERE AVAILABLE.
- 18. ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- 19. THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
- 20. FINISHED FLOOR ELEVATIONS MAY VARY FROM THE PAD ELEVATIONS AND WILL BE DETERMINED AS A FUNCTION OF INDIVIDUAL HOUSE DESIGN.
- 21. FINISHED FLOOR ELEVATIONS SHOULD BE ESTABLISHED AT A MINIMUM OF FOUR INCHES ABOVE PAD ELEVATIONS; DEVIATIONS FROM THESE GUIDELINES MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
- 22. CROSS-LOT DRAINAGE WILL BE PERMITTED AS SHOWN ON THE GRADING PLAN.
- 23. WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER PRIOR TO DRAINAGE CERTIFICATION FOR FINANCIAL GUARANTY RELEASE. A SEPARATE PLAN REVIEW AND PERMIT PROCESS IS REQUIRED FOR ALL RETAINING AND GARDEN WALLS.
- 24. THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. ALL DEVELOPED RUNOFF SHALL BE DIRECTED TO THE STREETS.
- 25. MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
- 26. ROUGH GRADING TOLERANCES SHALL BE ± 0.1 FT FOR BUILDING PADS AND STREETS AND $\pm 0.33'$ FOR ALL OTHER GRADING PROVIDED THE GRADES MEET THE INTENT OF THIS GRADING PLAN.
- 27. UNDER FEDERAL LAW, THE OPERATOR(S) OF CONSTRUCTION SITES WHERE 1 OR MORE ACRES ARE DISTURBED MUST SUBMIT A NOTICE OF INTENT (N.O.I.) TO OBTAIN COVERAGE UNDER AN NPDES STORM WATER CONSTRUCTION GENERAL PERMIT.
- 28. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

I, J. GRAEME MEANS, NMPE 13676, CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.



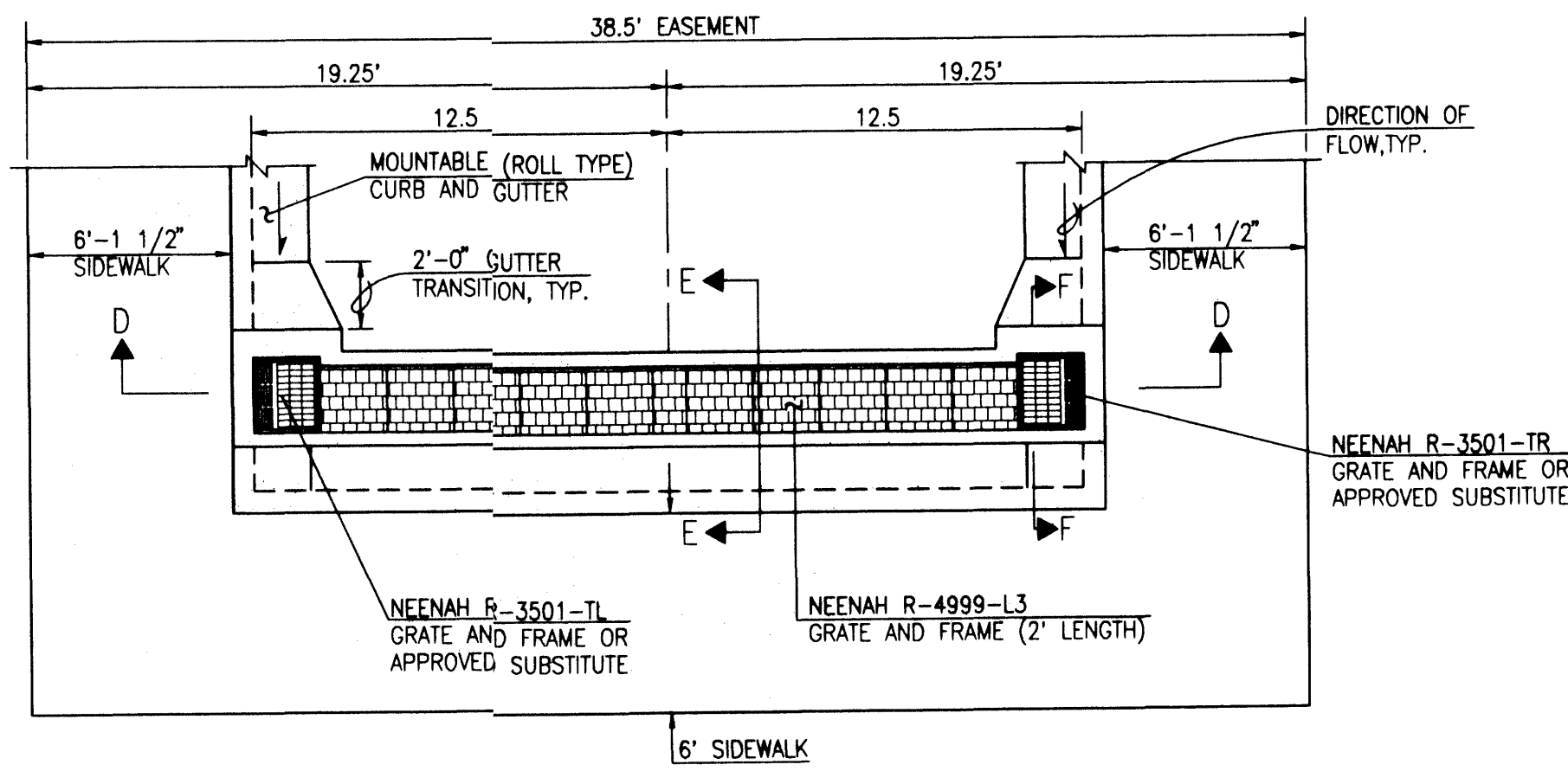
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 Plot Time: 08:22 am



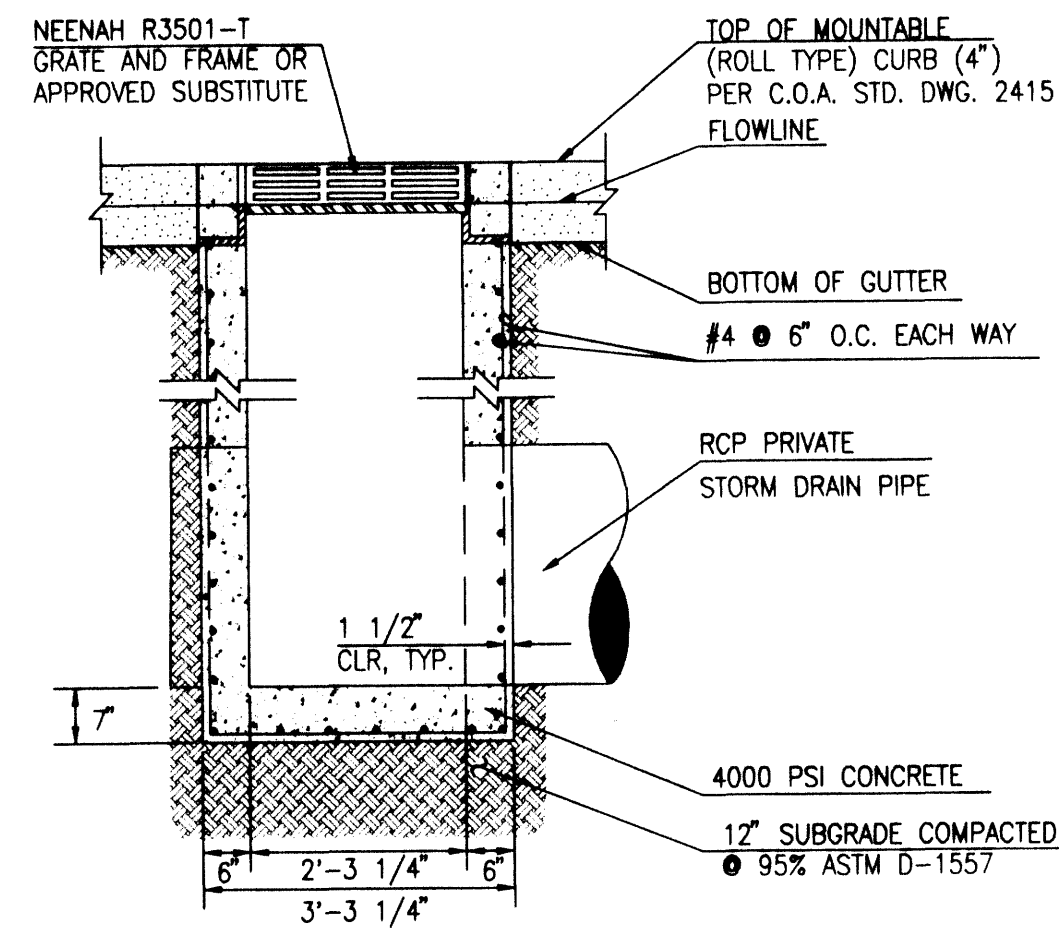
JEFF MORTENSEN & ASSOCIATES, INC.
 6010-B MIDWAY PARK BLVD. NE
 ALBUQUERQUE, NEW MEXICO 87109
 ENGINEERS & SURVEYORS (505) 345-4250
 FAX: 505 345-4254 ESTABLISHED 1977

DRAINAGE REPORT, GRADING NOTES AND CALCULATIONS
 AGAVE SUBDIVISION

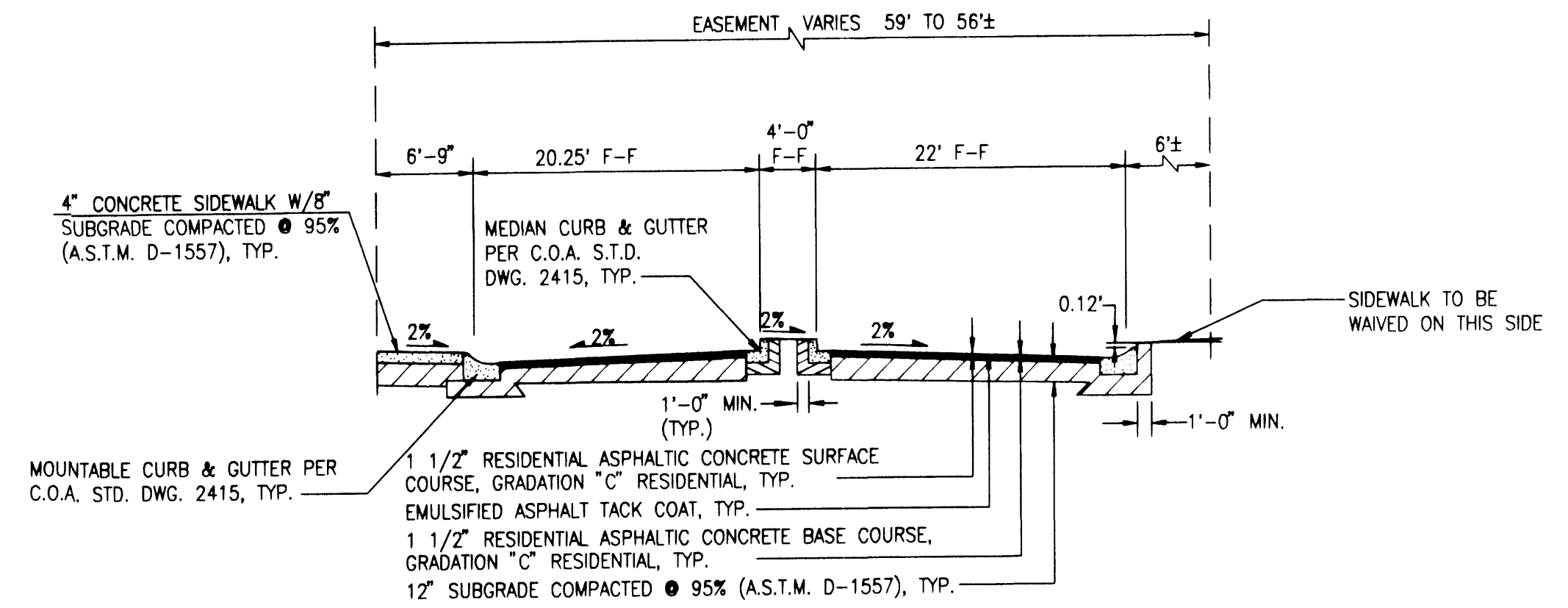
DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2005.028.4
JLP				DATE 07-2005
G.M.				SHEET 2 OF 3



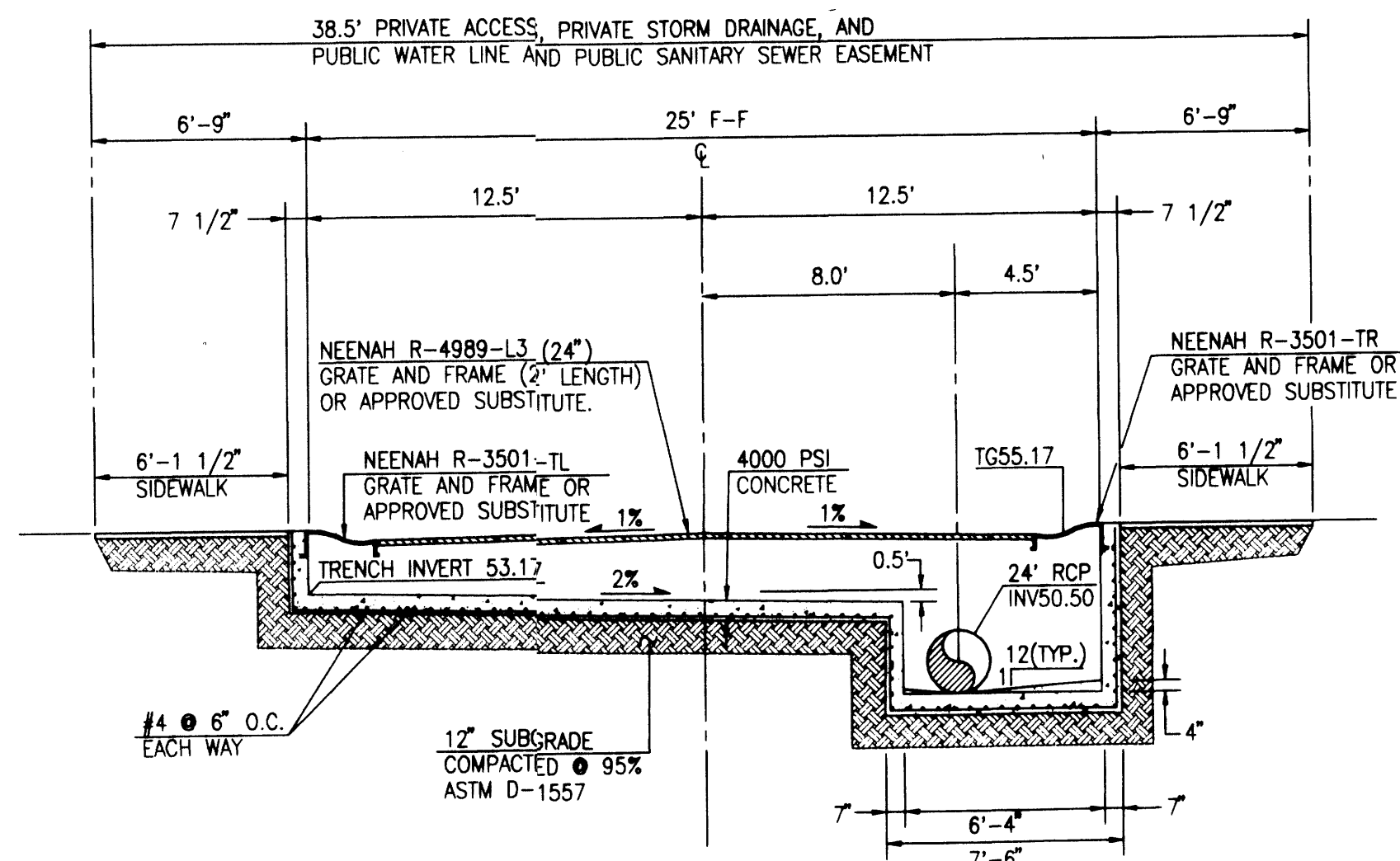
TRENCH DRAIN DETAIL (PRIVATE)
SCALE: 1" = 5'-0"



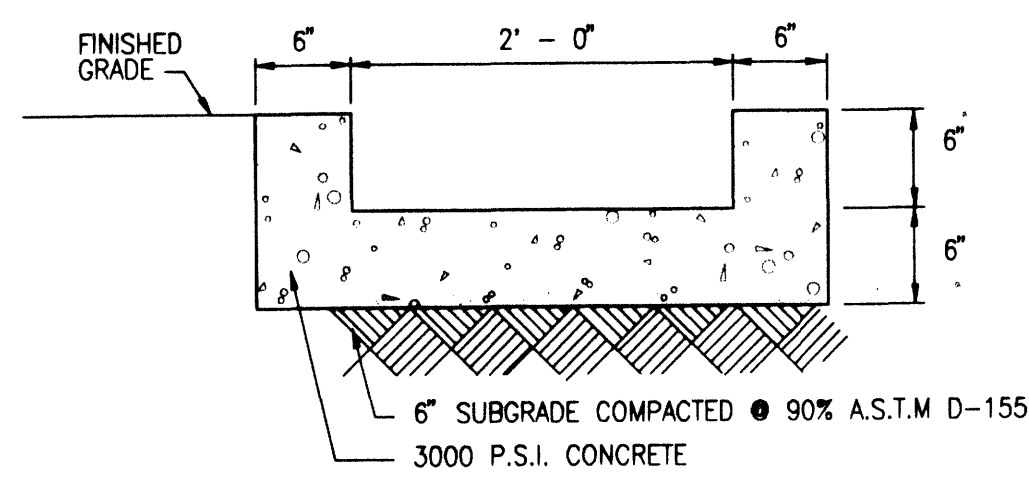
SECTION F-F
SCALE: 1" = 2'-0"



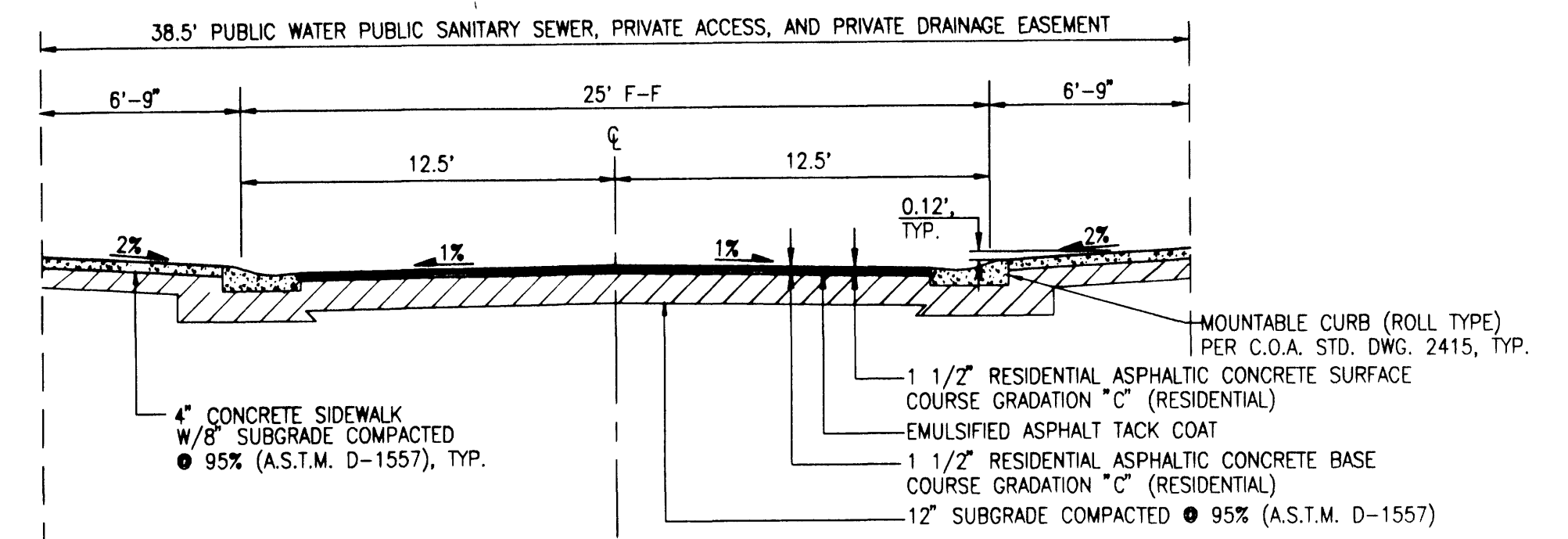
SECTION A-A (ENTRANCE STREET)
SCALE: 1" = 10' HORIZONTAL
1" = 6' VERTICAL



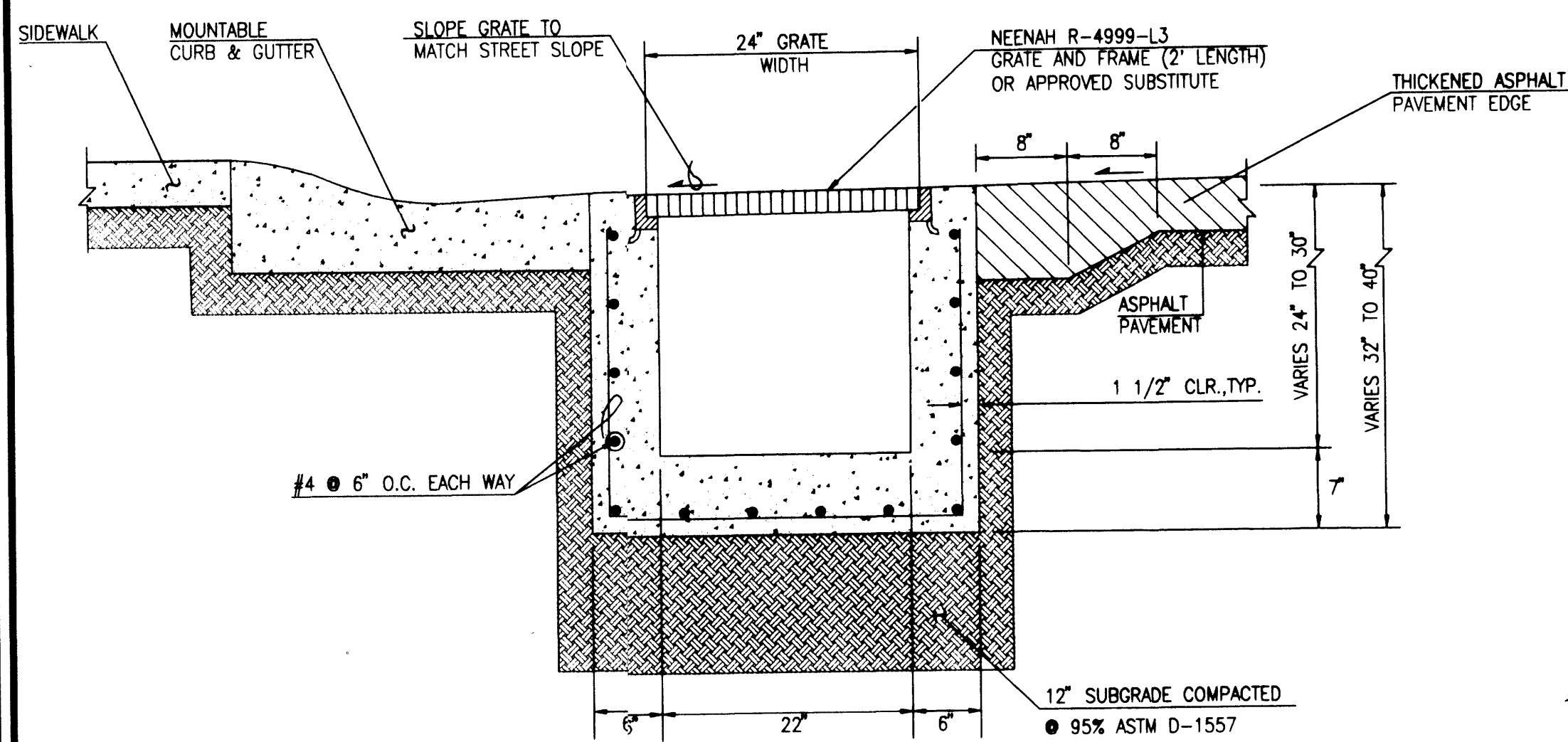
SECTION D-D
SCALE: 1" = 5'-0"



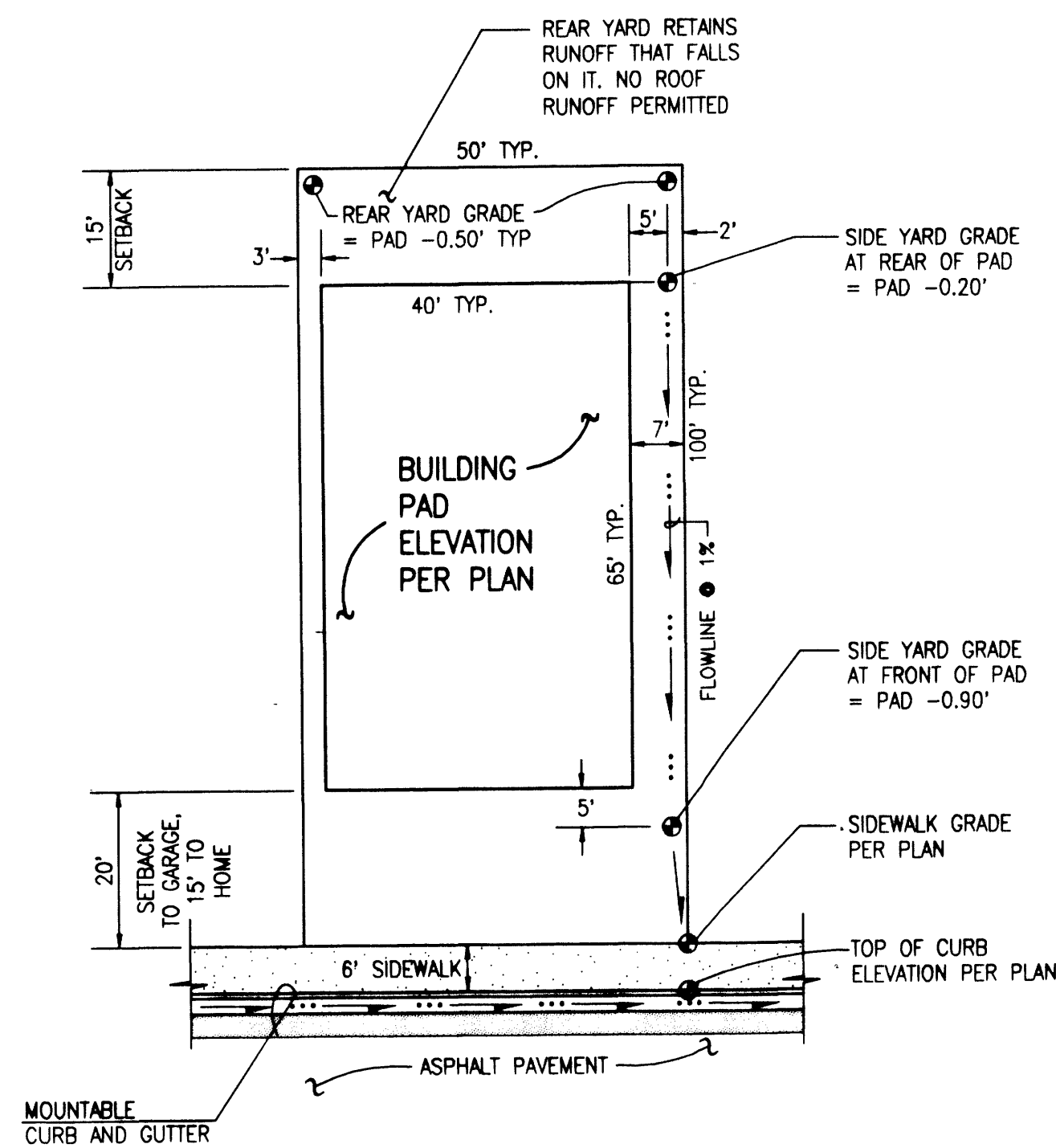
TYPICAL RUNDOWN SECTION
SCALE: 1" = 1'-0"



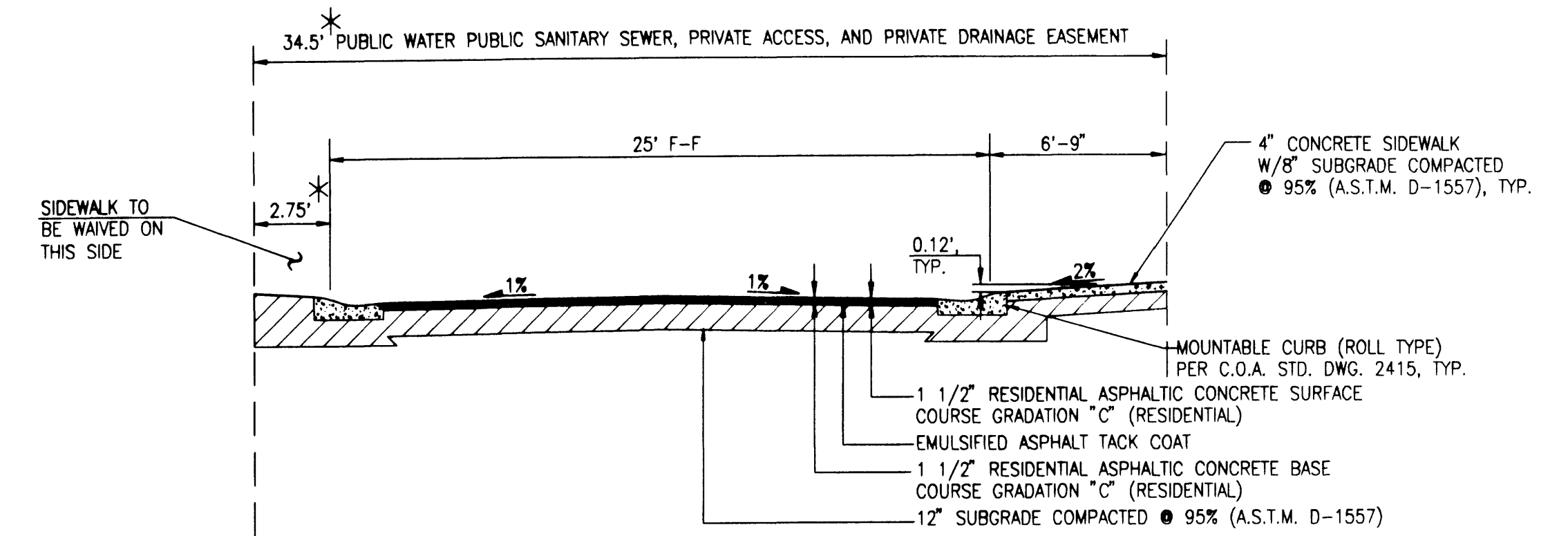
SECTION B-B (PRIVATE STREET WITH HALF CROWN)
SCALE: 1" = 5'



SECTION E-E
SCALE: 1" = 1'-0"



TYPICAL LOT GRADING DETAIL
SCALE: 1" = 20'



SECTION C-C (PRIVATE STREET WITH HALF CROWN)
SCALE: 1" = 5'
* WIDTHS INCREASE TO 36 FT AND 4 FT ALONG WEST PROPERTY LINE.

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Plot Date: 07-08-2005
Plot Time: 13:18 pm

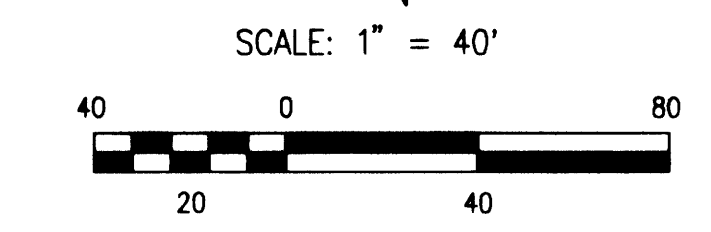
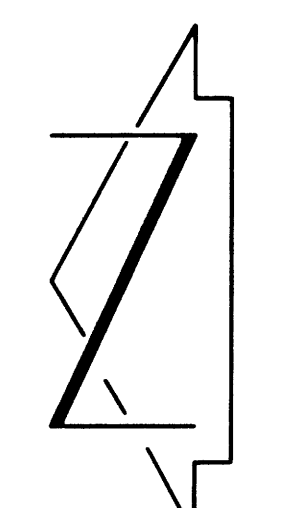


JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK, B.L.V.S., N.E.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (COR) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977

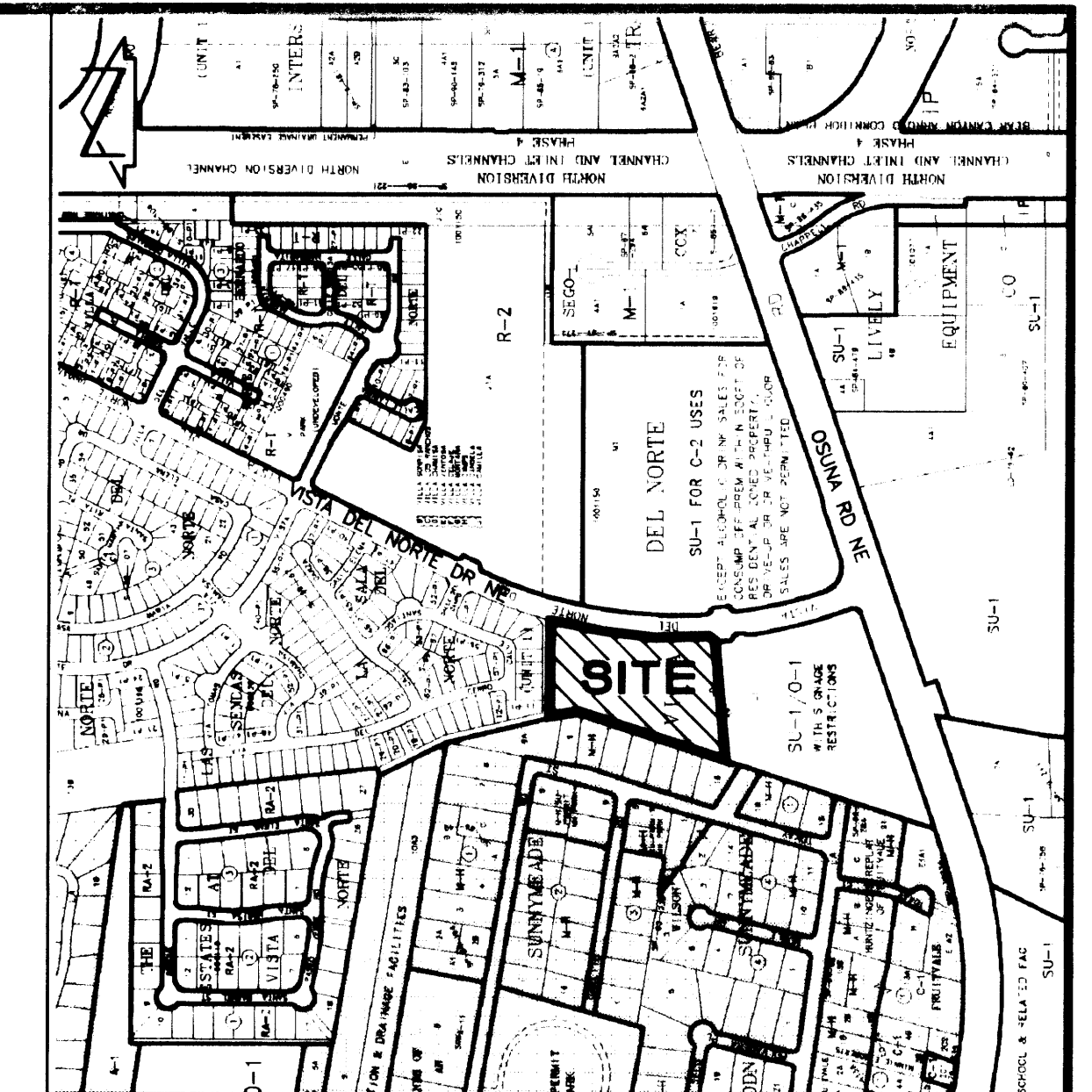
SECTIONS AND DETAILS
AGAVE SUBDIVISION

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2005.028.4
DRAWN BY				DATE
R.R.W.				07-2005
APPROVED BY				SHEET
G.M.				3 OF 3



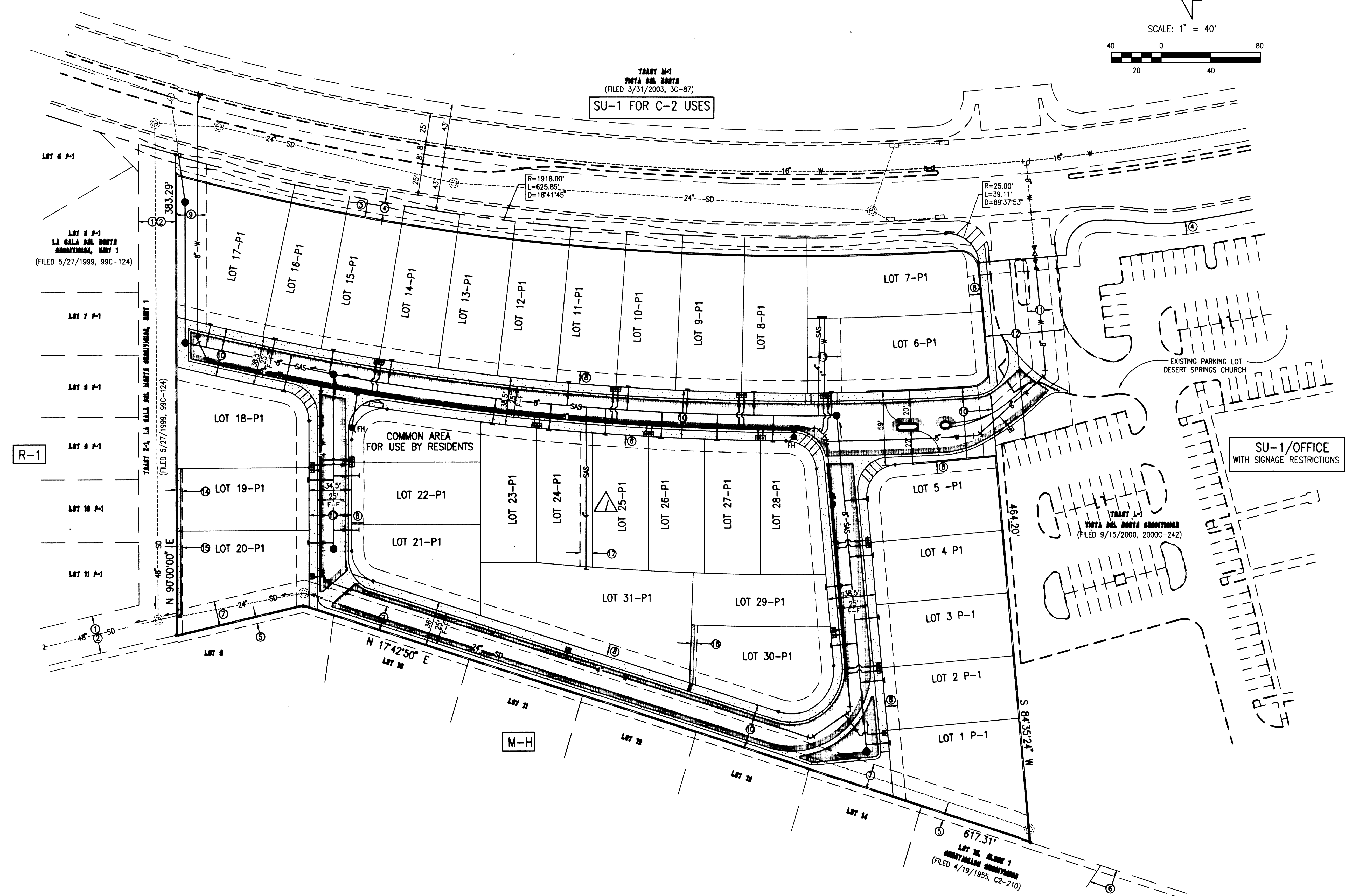


TRACT M-1
YOTA DEL NORTE
(FILED 3/31/2003, 3C-87)
SU-1 FOR C-2 USES



VICINITY MAP
NOT TO SCALE

- LEGEND**
- EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN MANHOLE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - PROPOSED SANITARY SEWER SERVICE
 - PROPOSED WATER SERVICE
 - EXISTING WATER LINE
 - SAS EXISTING SANITARY SEWER LINE



- NOTES:**
- 1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS AREA SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA SHOWN HEREON IS FROM PLAT OF RECORD (2000C-242)
 - 2) EXISTING ROAD, UTILITY AND PARKING LOT DATA IS FROM AS-BUILT DRAWINGS.

GRAEME MEANS
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
13676
7/8/2005

File Path: E:\WORK\2005\50281\U.DWG
File Name: 50281U.DWG
Plot Date: 07-08-2005
Plot Time: 4:08 pm

JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6005-B HIGHWAY PARK, N.E.V.S. INC.
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (360) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977

**CONCEPTUAL UTILITY PLAN
AGAVE SUBDIVISION**

DESIGNED BY: G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
DRAWN BY: G.M./S.G.H.	1	07/08	G.M.	REVISE LOTS 21-30 TO ADDRESS EPC COMMENTS, ADD HYDRANTS	2005.028.1
APPROVED BY: G.M.					DATE: 05-2005
					SHEET 4 OF 6

Design Standards

For:
AGAVE

Agave Subdivision Lots 1-31

The following design standards are for thirty-one (31) single family patio homes to be developed in the Vista Del Norte Master Plan Community. Tract L-2 is located to the north of the Desert Springs Church L-1 Tract and adjacent to the western side of Vista Del Norte Blvd. NE. Agave subdivision will be a patio home zero lot line subdivision offering its residents privacy through a single gated access point. Builders will construct all homes within this subdivision in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Agave Subdivision will be a unique, high-quality development. Builders and designers shall use architectural details and materials consistent with the following design standards. To promote a uniform look to this subdivision a southwest contemporary architectural style, typical of that shown in exhibits "A" and "B" are prescribed. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have an attached two car garage and sufficient parking for an additional two vehicles on the site, so a minimum and maximum of four parking spaces are provided.

C. Setbacks

- The minimum setback of the living area of a dwelling shall be 15 feet. The minimum setback of the garage of a dwelling is 20 feet.
- A maximum of fifteen feet (15) lots within the subdivision may have garages that are set back less than the living area of the home.
- No more than 55% of the width of the front facade on any lot, may be garage door with the exception of lot 23 which shall not exceed 60%.
- No more than 50% of a front yard may be used for parking or a driveway.
- Side and rear yard setbacks are as regulated in the RT zone.

D. Building Materials

Building materials for homes in Agave shall be consistent with the architectural character and style of each home design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, synthetic stucco, wood, stone, concrete masonry unit, glass, glass block, natural tile, ceramic tile, concrete tile, copper and galvanized metal. Stucco colors shall be DRY-VIT Torreon, Pueblo, Sonria, Suede, or comparable matches by other manufacturers. Roof tile, if installed, shall complement the Stucco color and be of similar earth tones.

E. Building Height and Density

All thirty-one lots (31) are to be restricted to single story with a maximum allowable height of eighteen (18) feet.

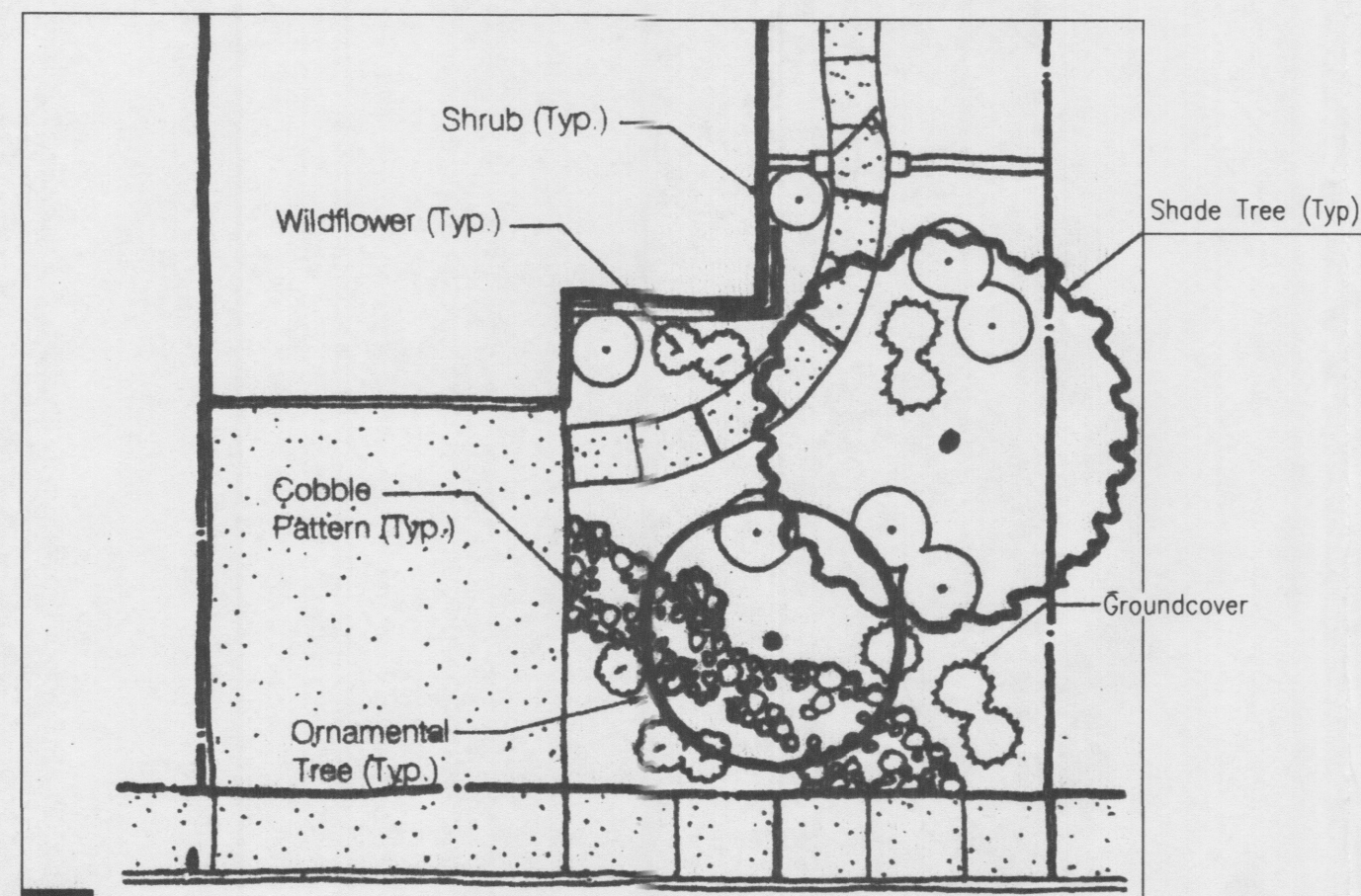
F. Mechanical Equipment and Utilities

- Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view as viewed from the property line of the residence and from Vista Del Norte Blvd. NE. Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
- Any roof mounted equipment shall be screened behind parapets that are an integral part of the house that are architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
- All electrical distribution lines shall be placed underground.

G. Landscaping

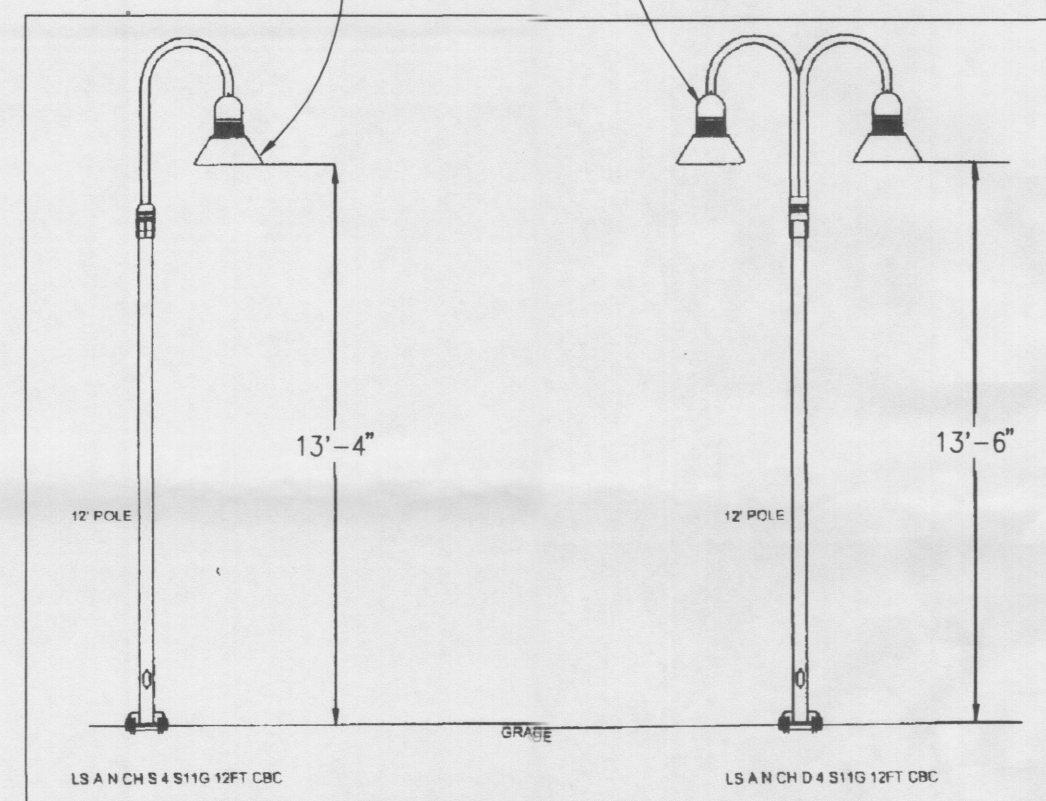
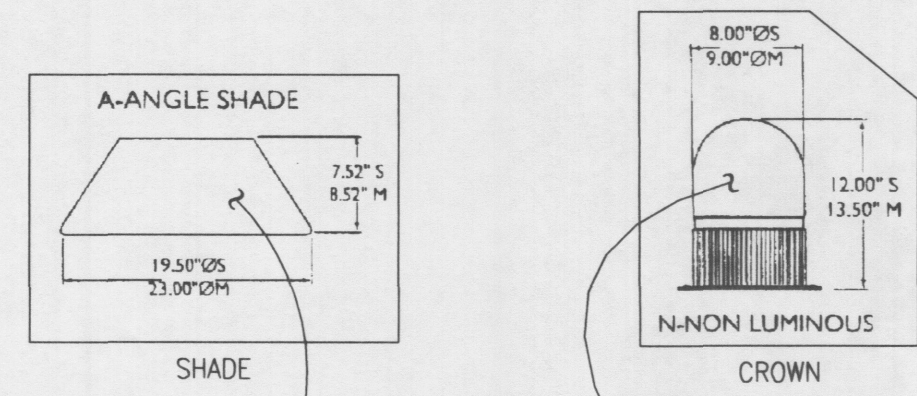
These standards are to be used as a supplement to the requirements set forth in the City of Albuquerque (C.O.A.) Water Conservation Landscaping and Water Waste Ordinance, the C.O.A. Pollen Ordinance, the Vista Del Norte Master Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

- All common areas, front yards and side yards (if the lot is located on a corner) shall be landscaped. A maximum of 20% of the required landscaping can be high water use turf.
- No irrigation systems, turf or plants shall be placed within three (3) feet of any adjacent dwelling.
- Living vegetative materials shall cover a minimum of fifty (50) percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of pervious filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property. Common Area landscaping existing at the entrance to the subdivision shall be maintained by the Agave Homeowners Association. All live plants shall be irrigated with drip irrigation. Turf areas shall be irrigated with pop-up spray heads.
- Minimum sizes of required plants at time of installation shall be as follows:
- Trees 2" cal.
- Shrubs and Groundcover 1-5 Gal.
- Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
- Interior Landscaping of each individual lot will be in accordance with the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
- Maintenance of all common area landscaping shall be the responsibility of the H.O.A.



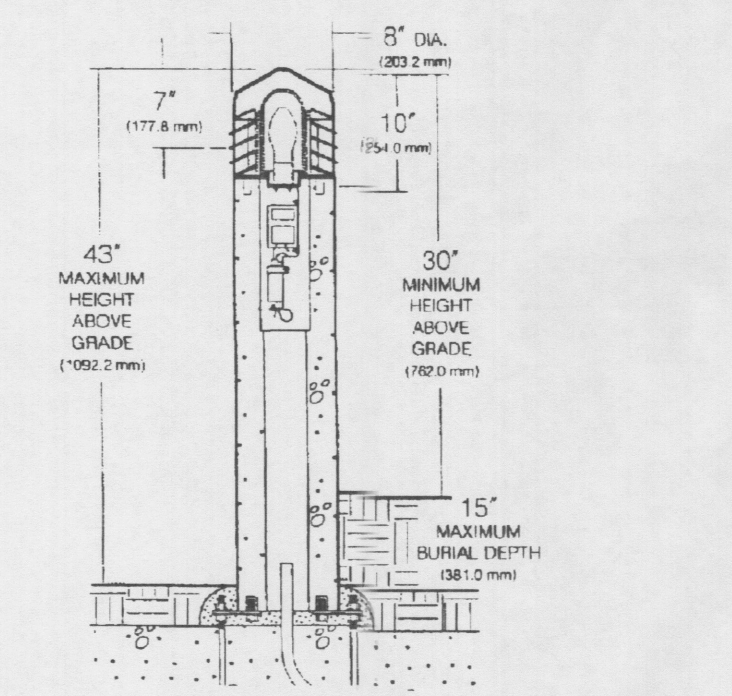
TYPICAL FRONT YARD LANDSCAPE PLAN

SCALE: 1" = 10'

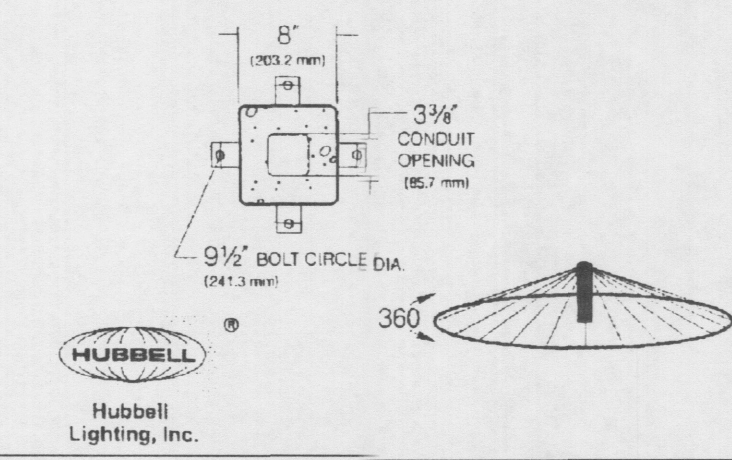


STREET LIGHTING DETAILS
N.T.S.

VSB1C - Single Function Luminaire (Concrete Shaft)
Maximum weight: 120 lb



BASE PLAN
VSB
CONCRETE SHAFT



PARK BOLLARD LIGHT
N.T.S.

H. Pedestrian Circulation

- The existing fourteen (14) foot easement located along the eastern border separating Agave subdivision from Vista Del Norte Blvd, shall be protected by the developer during construction. Developer will be responsible for any damage caused by the construction of Agave Subdivision.
- Sidewalks to be installed at time of home construction, along the Private Street within the Agave subdivision.

I. Wall/ Fences

A perimeter concrete masonry wall shall be installed encompassing the thirty-one (31) lot subdivision.

- All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines.
- The south, west and north perimeter subdivision walls shall be concrete masonry unit (CMU). A suede stucco finish will be applied on the interior side of Agave Subdivision on the west wall and on the exterior (church) side of the south wall. These walls shall be a maximum height of 8 feet. The walls shall be installed by the Developer.
- An automobile/pedestrian entry and egress gate, located in the private access easement of the Desert Springs Church off of Vista Del Norte Blvd. NE, shall be installed by the developer.
- No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.
- The perimeter wall to be constructed along Vista Del Norte, Blvd. NE will be a stucco (suede) and stone wall that will blend in with the existing perimeter wall to the north. (See sheet 6) This wall shall be a maximum height of 6 feet. This wall shall be installed by the developer.

J. Site Lighting

Site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

- Placement of fixtures shall conform to State and local safety and illumination requirements.
- The maximum mounting height of luminaries for site lighting at the gated entry shall be no higher than sixteen (16) feet.

K. Signs

The Agave subdivision sign shall be placed in or near the perimeter wall just east of the gated entry. Construction shall be consistent with the materials and architectural character of the subdivision.

L. Solid Waste

- Each lot/home shall have a residential cart provided by the City of Albuquerque. Pick up location and times will be coordinated by the City of Albuquerque.
- A storage area shall be located so that the carts are not visible from the street.

M. Review for Compliance

The developer or subsequent Agave Homeowners Association shall review construction plans for compliance with the design requirements specified in this document.

N. Vacant Lots/ Destruction

- There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
- The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

O. Restricted Activities

- No camper, recreational vehicle, trailer, mobile home, boat, commercial type vehicle, van, motorcycle, dune buggy, bus, inoperable vehicle or tractor shall be stored or parked on any Lot continuously for a period of more than twenty-four (24) hours. No camper, recreational vehicle, trailer, mobile home, boat, commercial type vehicle, van, motorcycle, dune buggy, bus, inoperable vehicle or tractor shall be parked on the Private Roads overnight. No boats, motor homes, or trailers shall be stored on any cul-de-sac or turn-around area for any length of time. Operable vehicles may only be parked on the Private Roads for up to seventy-two (72) hours continuously and the same vehicle may not be parked on the Private Roads more than nine (9) days in any calendar month. The Association shall have the right to adopt rules and regulations regarding parking on the Private Roads which amend the requirements of the previous sentence of this paragraph.
- No satellite dish, radio, television or other antennas shall be erected upon a Lot unless the antenna(s) can be concealed from view behind a parapet or inside the roof structure or attic, or unless approved by the Agave Homeowners Association. No clotheslines or permanent basketball goals of any type shall be placed on or at any Dwelling.
- The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer or subsequent Agave Homeowners Association and must be of similar architectural character as the house.

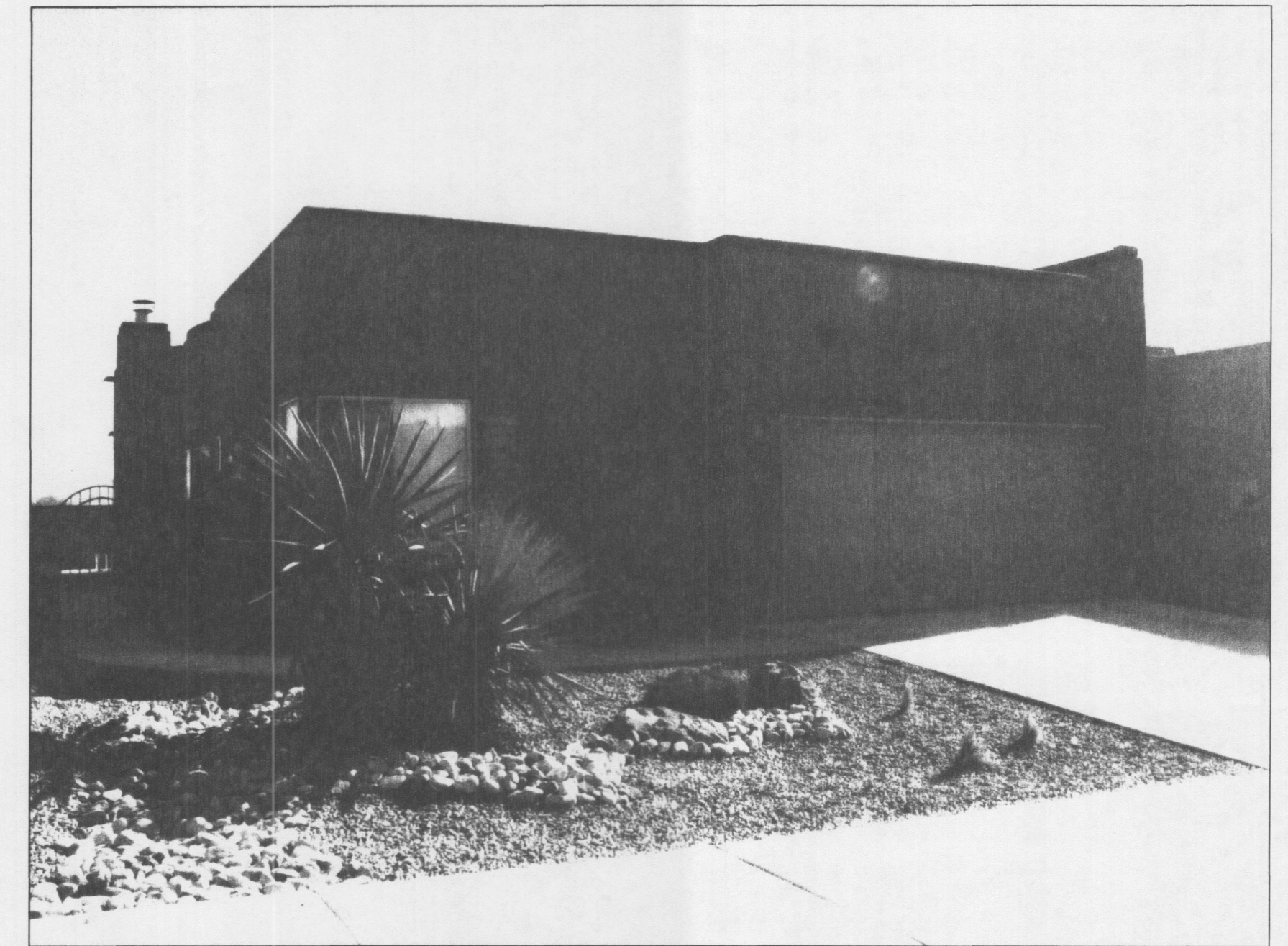


EXHIBIT "A"

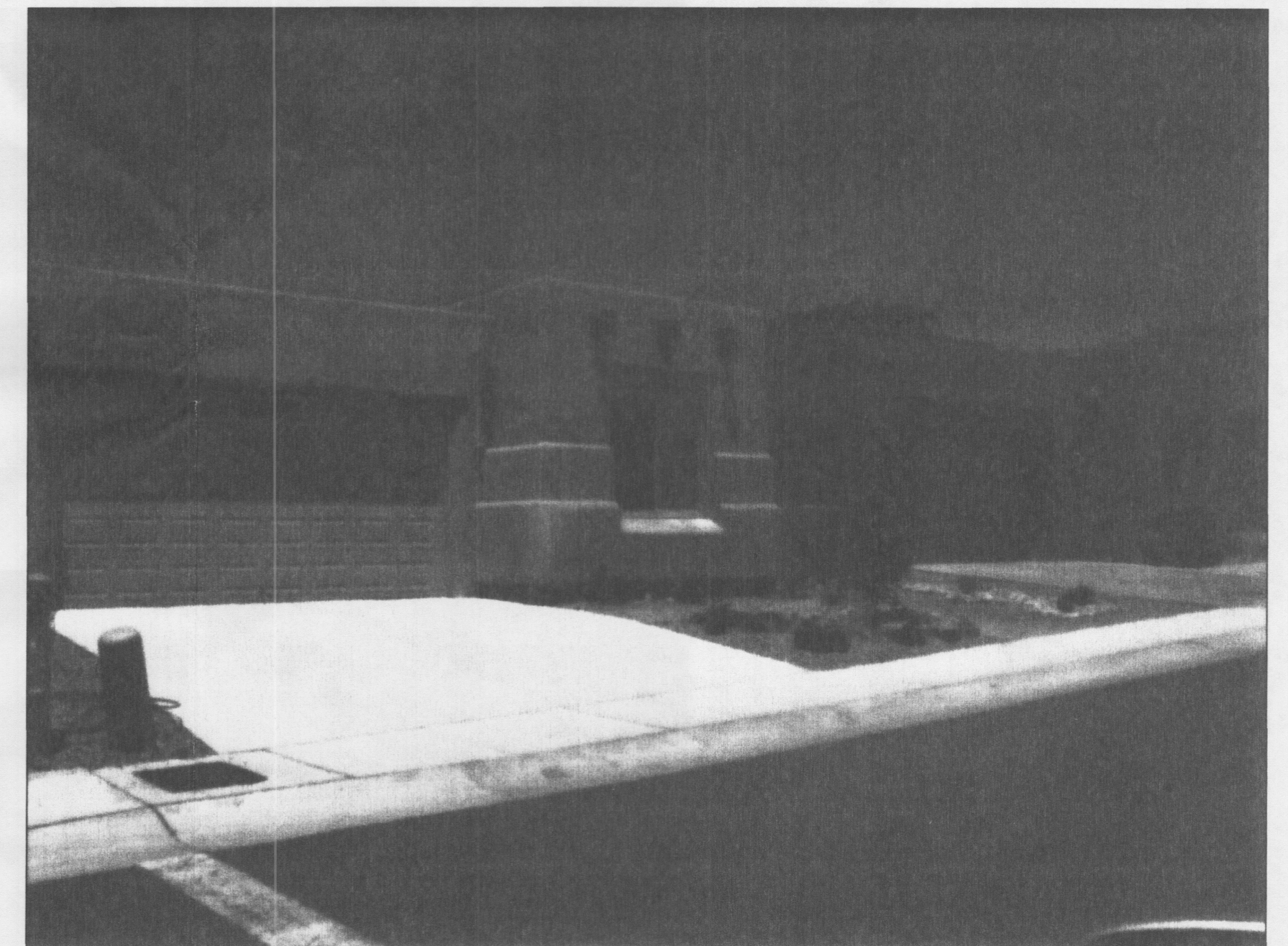
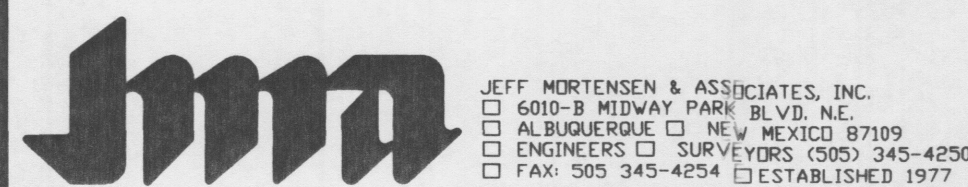


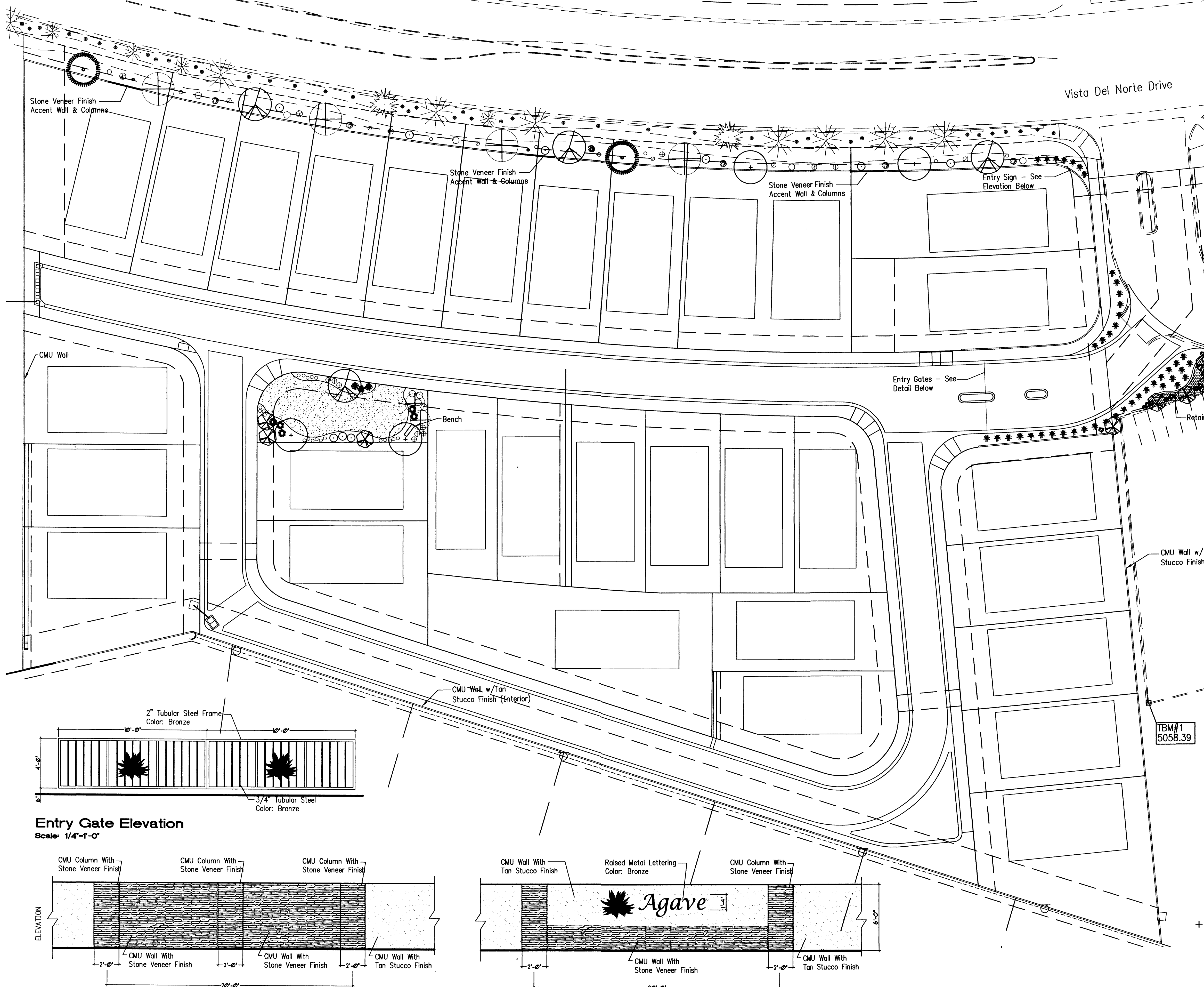
EXHIBIT "B"

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File Name: 50281DC.DWG



SUBDIVISION DESIGN STANDARDS AGAVE SUBDIVISION

DESIGNED BY	HREC	NO.	DATE	BY	REVISIONS		JOB NO.
					NO.	DATE	
DRAWN BY	JMA	1	08/05	G.M.	ADDRESS EPC CONDITIONS		2005.028.1
APPROVED BY	HREC						DATE 05-2005
							SHEET 5 OF 6



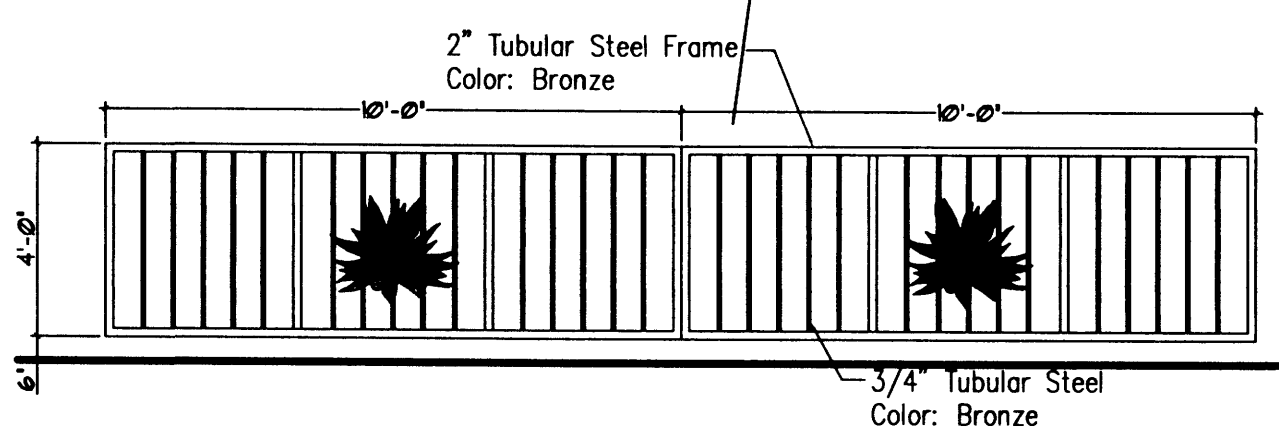
GENERAL
 The design and provision of landscape features for the Agave Subdivision will generally be in conformance with the City of Albuquerque Comprehensive Zoning Code, Street Tree Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

IRRIGATION SYSTEM
 Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A separate water meter is included on the Infrastructure List for all common area landscaping.

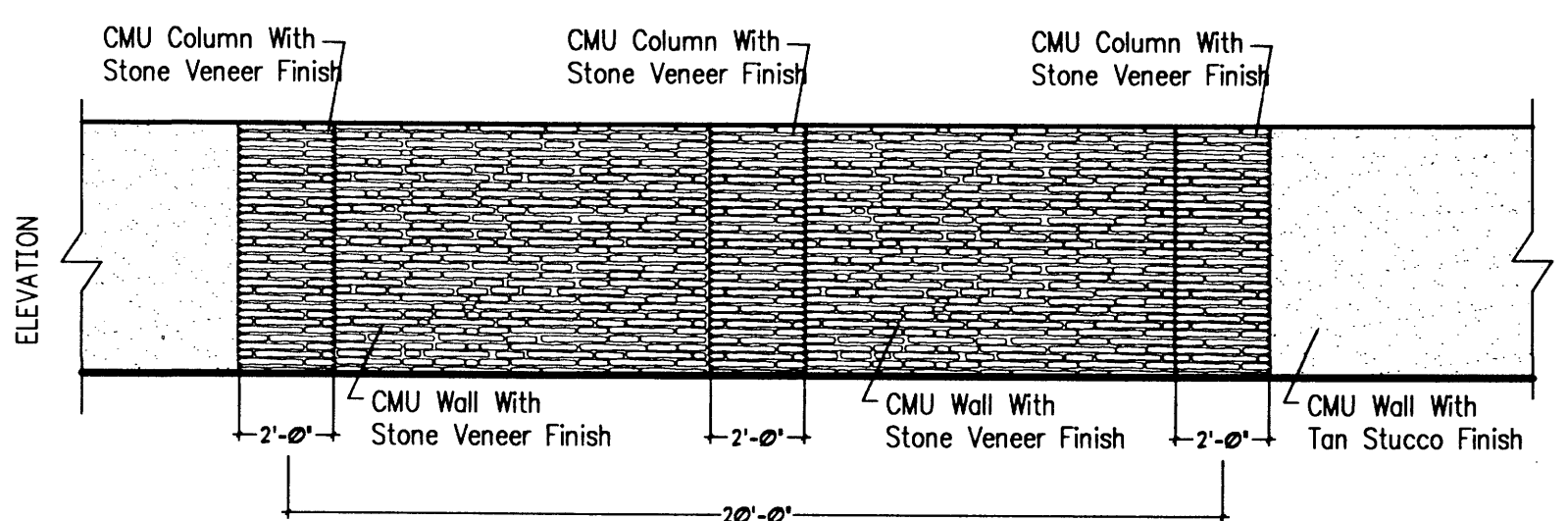
MAINTENANCE RESPONSIBILITY
 Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
 The Landscape Plan for the Agave Subdivision shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

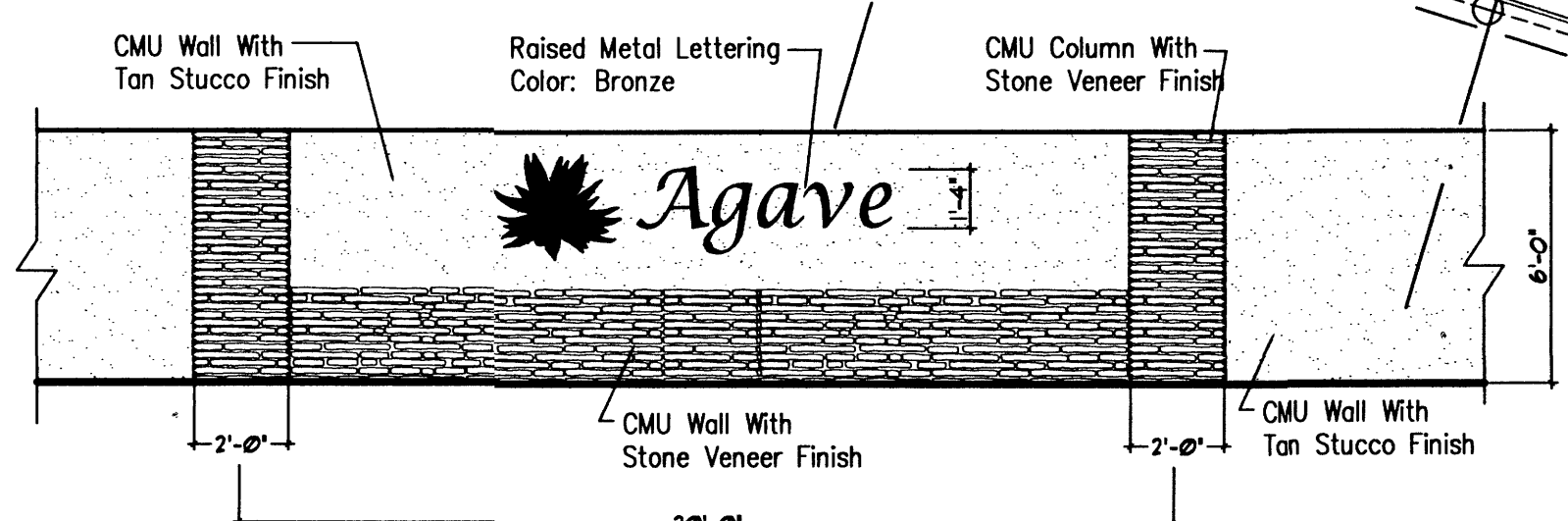
PLANT LEGEND SYMBOL	BOTANICAL / COMMON NAME	WATER USE	MATURE SIZE
Trees (2" B&B or 8' Height)			
	Fraxinus velutina 'Modesto' / Modesto Ash	Medium +	40' ht. x 40' spr.
	Chilopsis linearis / Desert Willow	Low	20' ht. x 25' spr.
	Fraxinus oxycarpa 'Raywood' / Raywood Ash	Medium +	35' ht. x 30' spr.
	Forestiera neomexicana / New Mexico Olive	Medium	15' ht. x 15' spr.
	Pinus leucodermis / Bosnian Pine	Medium	30' ht. x 25' spr.
	Chitalpa tashkentensis / Chitalpa	Medium	25' ht. x 25' spr.
Shrubs (1 and 5 gallon)			
	Coreopsis grandiflora / Coreopsis	Low +	2' ht. x 3' spr.
	Achillea Millefolium L. / Yarrow	Medium	2' ht. x 2' spr.
	Ericameria laricifolia / Dwarf Turpentine Bush	Medium	2' ht. x 2' spr.
	Rosmarinus officinalis / Prostrate Rosemary	Medium	2' ht. x 4' spr.
	Verbena rigida / Sandpaper Verbena	Low	1' ht. x 4' spr.
	Potentilla fruticosa / Cinquefoil	Medium	2' ht. x 2' spr.
	Erysimum linifolium / 'Bowles Mauve' Wallflower	Medium	2' ht. x 3' spr.
	Fallugia paradoxa / Apache Plume	Low	4' ht. x 4' spr.
	Salvia greggii / Cherry Sage	Medium	3' ht. x 3' spr.
	Perovskia atriplicifolia / Russian Sage	Medium	5' ht. x 5' spr.
	Agave havardiana / Havard Agave	Low +	3' ht. x 4' spr.
Ornamental Grasses (1 and 5 gallon)			
	Nolina microcarpa / Beargrass	Low	5' ht. x 6' spr.
	Miscanthus sinensis / Maiden Grass	Low +	5' ht. x 4' spr.
	Park Blend Turf Sod		
MULCHES			
Santa Fe Brown Crusher Fines, 2"-4" Santa Ana Tan Cobble, 7/8" Santa Fe Brown Rock Mulch.			
BOULDERS			
4' Diameter Moss Rock Boulders			
Existing Plants along Vista Del Norte Drive N.E.			
	Deciduous Tree		
	Coniferous Tree		
	Shrubs		



Entry Gate Elevation
 Scale: 1/4"=1'-0"



Perimeter Wall Elevation
 (Matches Existing Wall along Vista Del Norte Drive)
 Scale: 1/4"=1'-0"



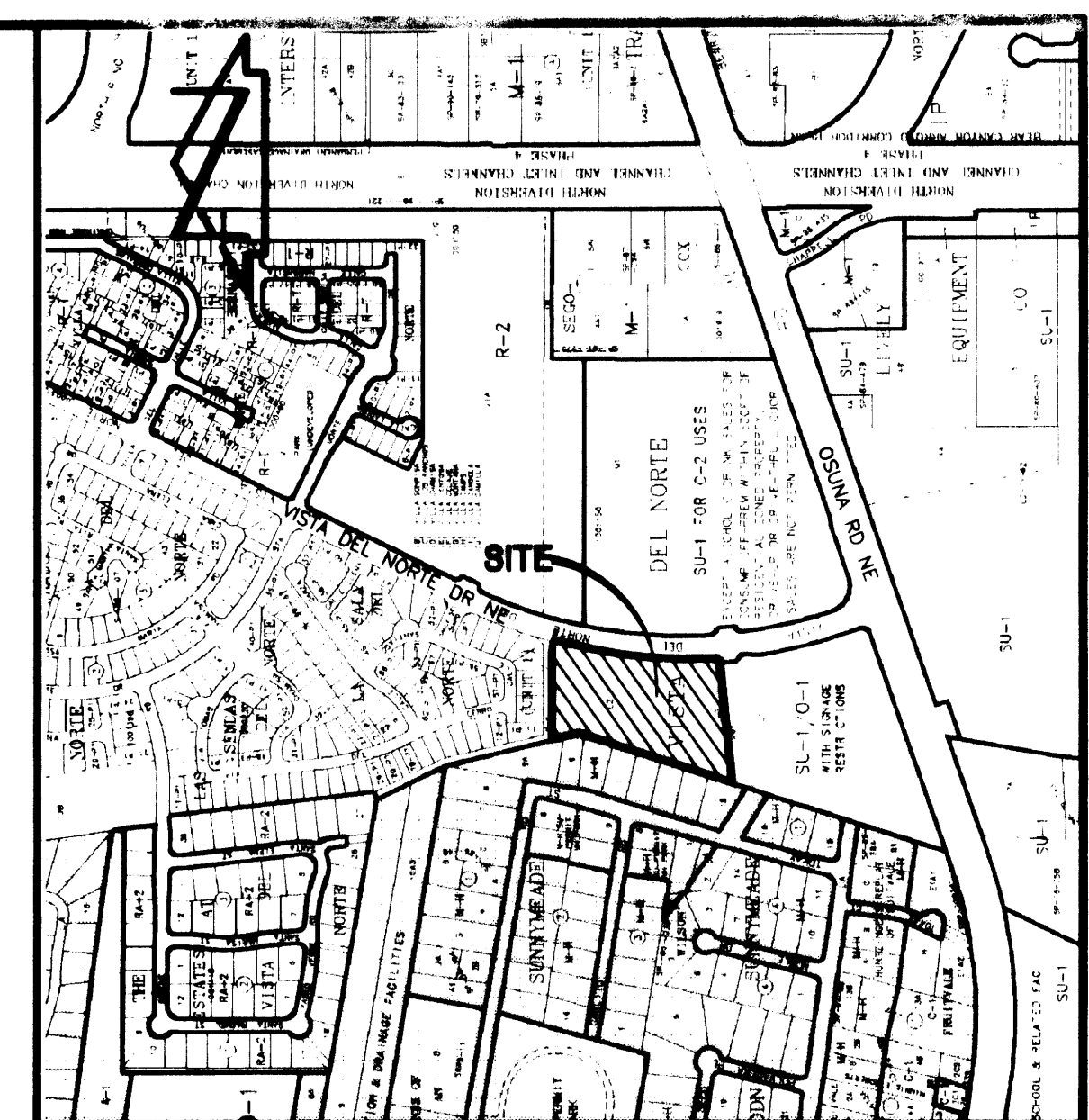
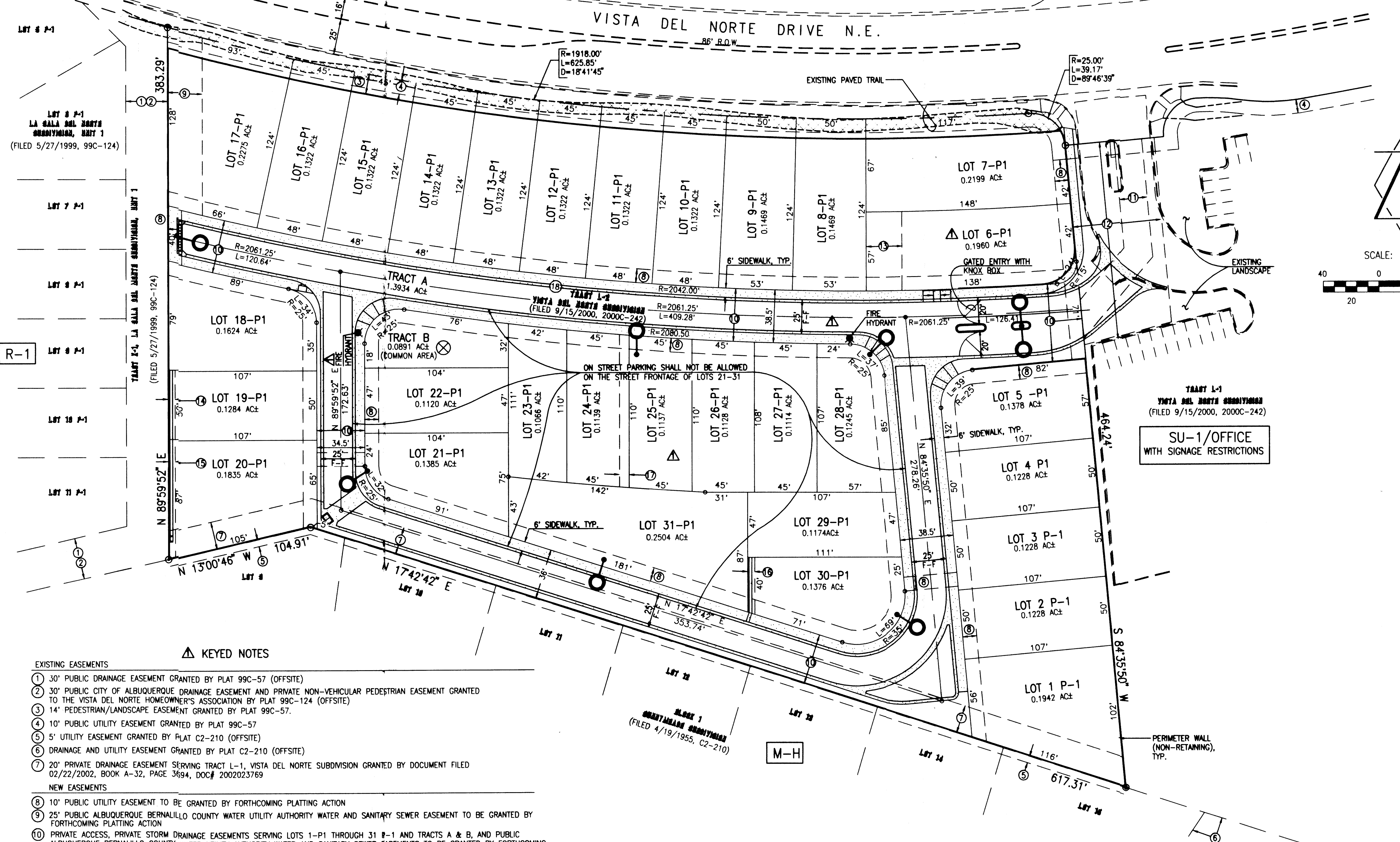
Entry Sign Elevation
 Scale: 1/4"=1'-0"

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

LANDSCAPE PLAN
AGAVE SUBDIVISION

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
				07-2005
				6 OF 6

TRACT M-1
VISTA DEL NORTE
(FILED 3/31/2003, 3C-87) SU-1 FOR C-2 USES



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:
TRACT L-2, VISTA DEL NORTE SUBDIVISION
FILED 9/15/2000, 2000C-242

EXISTING ZONING:
SU-1/O-1 WITH SIGNAGE RESTRICTIONS

PROPOSED ZONING:
SU-1/PRD

PROJECT NUMBER:	1004162
Application Number:	05 EPC 00742
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 16, 2005, and the Findings and Conditions in the Official Notifications of Decision are satisfied.	
Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
Traffic Engineering, Transportation Division	Date
Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

LIGHTING AND PAVING LEGEND

	PROPOSED PERIMETER WALL
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT TRAIL
	SINGLE POLE MOUNTED LIGHT
	DOUBLE HEADED POLE MOUNTED LIGHT
	BOLLARD LIGHT

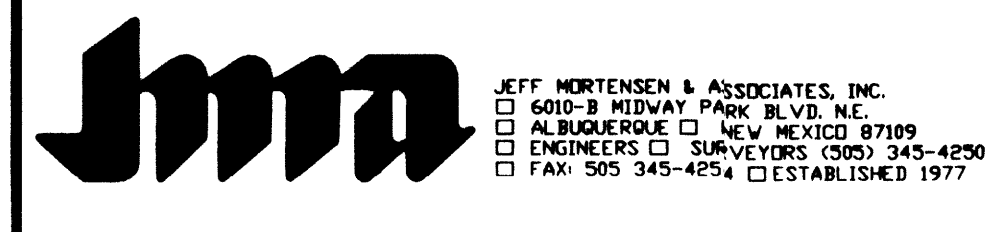
INDEX OF DRAWINGS

SHEET	TITLE
1	SITE PLAN FOR SUBDIVISION
2	GRADING PLAN
2A	DRAINAGE REPORT, GRADING NOTES AND CALCULATIONS
3	SECTIONS AND DETAILS
4	CONCEPTUAL UTILITY PLAN
5	SUBDIVISION DESIGN STANDARDS
6	LANDSCAPING PLAN

- KEYED NOTES**
- EXISTING EASEMENTS**
- 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57 (OFFSITE)
 - 30' PUBLIC CITY OF ALBUQUERQUE DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED TO THE VISTA DEL NORTE HOMEOWNER'S ASSOCIATION BY PLAT 99C-124 (OFFSITE)
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- GENERAL NOTES**
- THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN HEREON IS FROM THE MAY, 2005 BOUNDARY SURVEY BY THIS OFFICE.
 - REFER TO DESIGN STANDARDS, SHEET 5, FOR SETBACKS, BUILDING HEIGHTS AND DESIGN CRITERIA.
 - OVERALL GROSS DENSITY = 31 LOTS/6.59 ac = 4.7 DWELLING UNITS PER ACRE (MEASURED TO CENTER OF VISTA DEL NORTE DRIVE).
 - NET DENSITY = 31 LOTS/4.56 ac = 6.8 du/ac
 - ALL PROPOSED LOTS ARE SINGLE FAMILY.
 - ALL HOMES ARE RESTRICTED TO SINGLE STORY WITH A MAXIMUM HEIGHT OF 18 FT.
 - NO ON STREET PARKING SHALL BE ALLOWED ON THE STREET FRONTAGE OF LOTS 21-31. SIGNS SHALL BE PROVIDED BY THE DEVELOPER.
 - SEE SHEET 5 FOR LIGHTING DETAILS

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Plot Date: 08-04-2005
Plot Time: 08:43 am

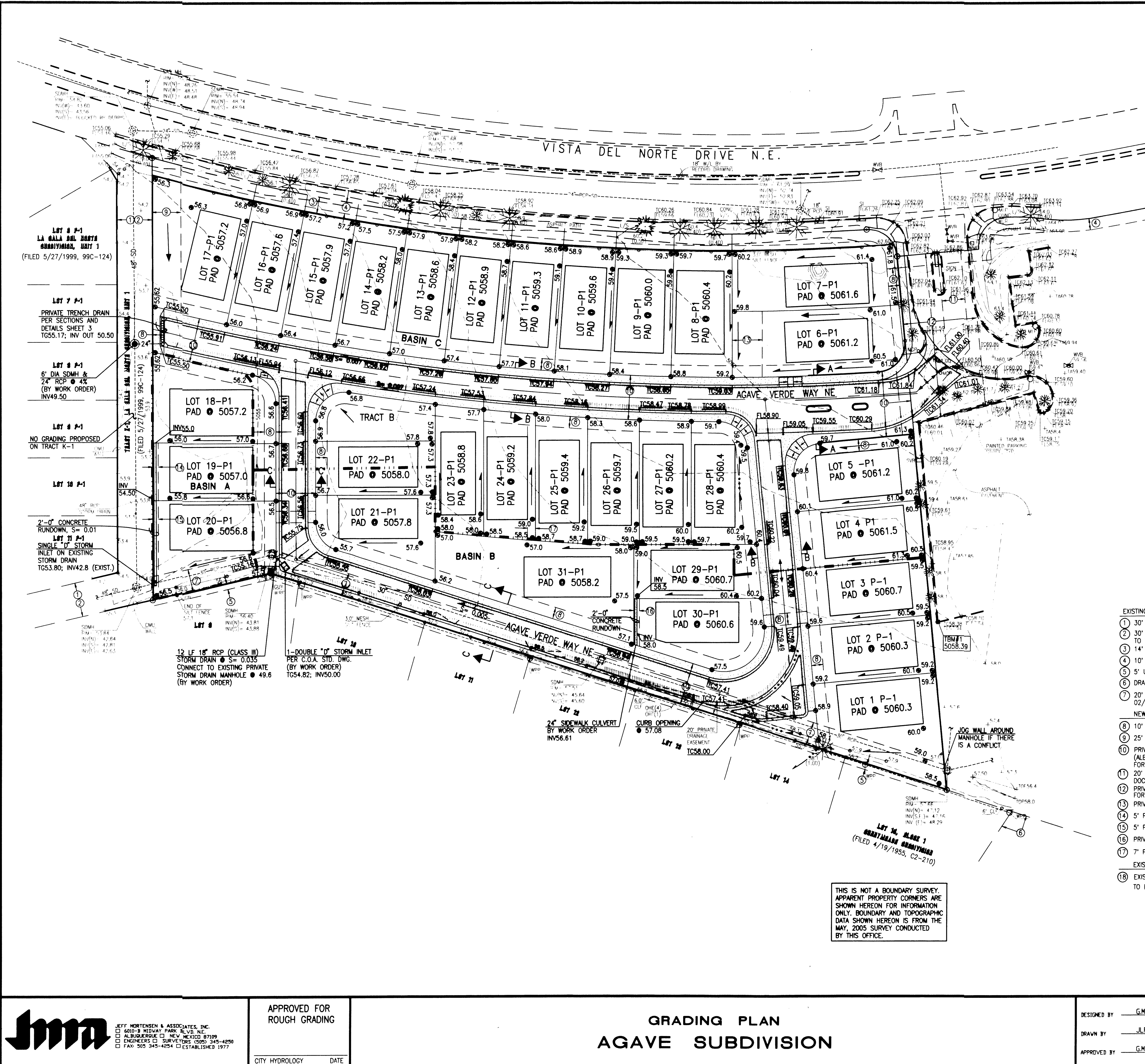


JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (505) 345-4290
FAX: 505 345-4254 ESTABLISHED 1977

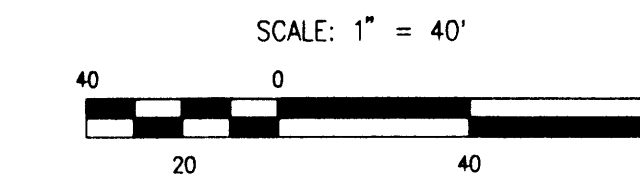
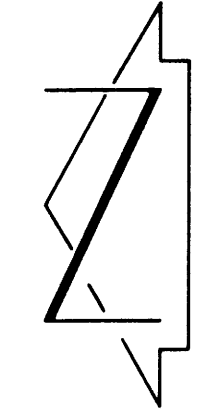
**SITE PLAN FOR SUBDIVISION
AGAVE SUBDIVISION**

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.1
DRAWN BY	GM/S.G.H.	1	08/05	G.M.	ADDRESS EPC CONDITIONS	DATE	05-2005
APPROVED BY	G.M.					SHEET	1 OF 6

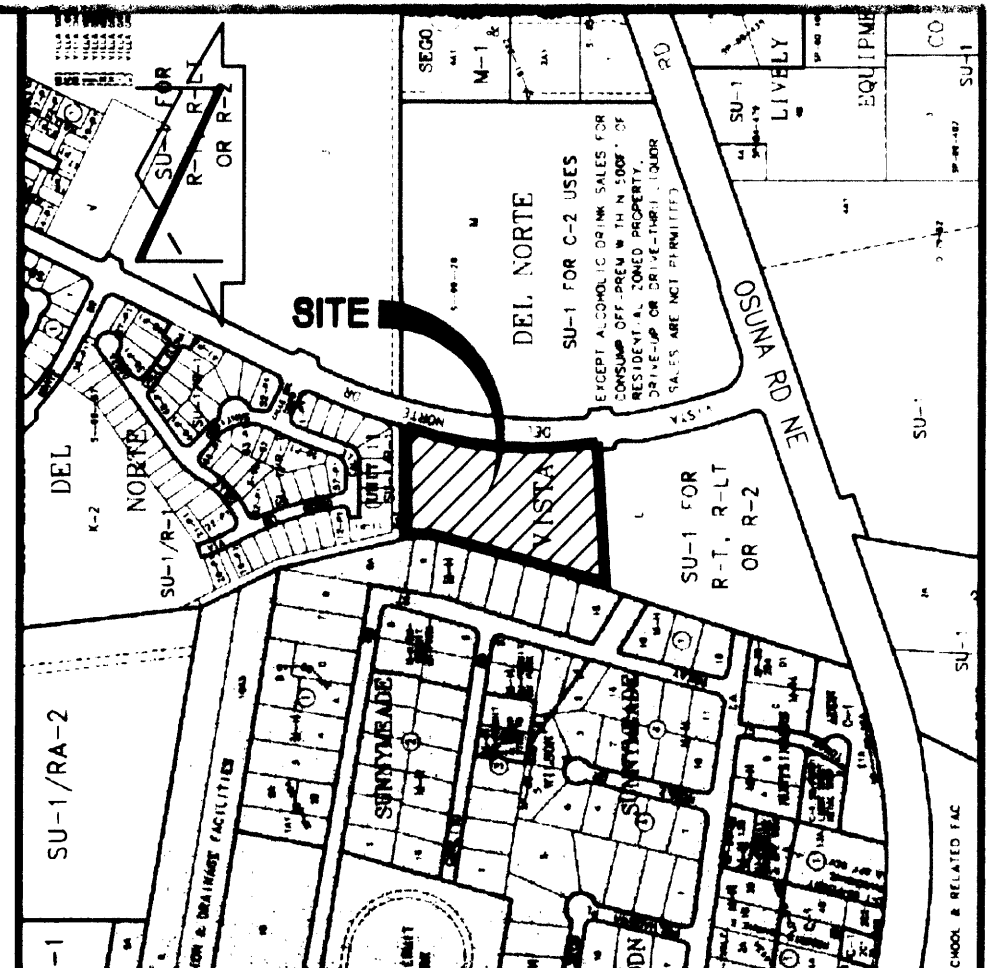
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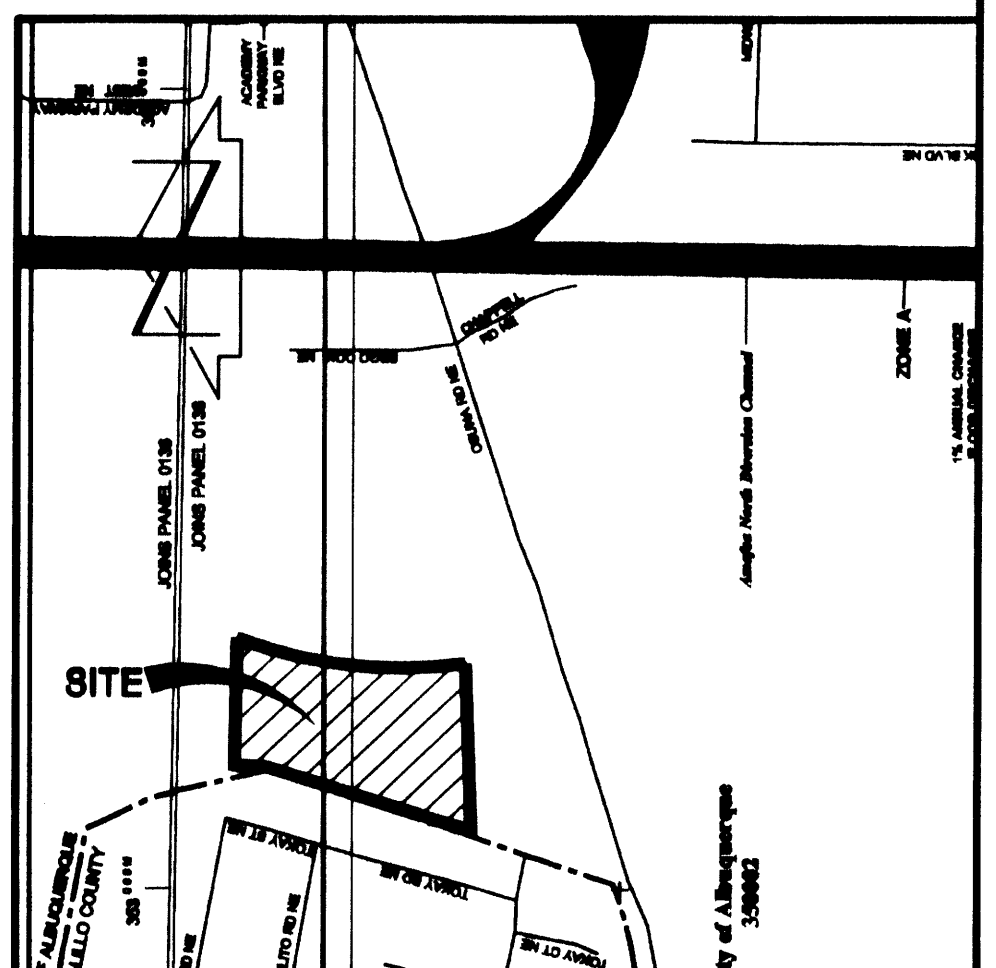
LEGAL DESCRIPTION
 TRACT L-2, VISTA DEL NORTE SUBDIVISION
PROJECT BENCHMARK
 ACS 1-3/4" ALUMINUM DISK, STAMPED "ACS BM, 13-E16", EPOXY TO TOP OF CONCRETE DROP INLET, ESE QUADRANT OF OSUNA RD. N.E. & THE MAIN ENTRANCE TO ADDRESS 700 OSUNA RD. N.E. (MEGA CORP.), 0.57 MI. EAST OF CENTERLINE EDITH BLVD., CENTERED ON SAID DROP INLET. ELEVATION= 5052.36 (NGVD29)
TEMPORARY BENCHMARK
 TM#1= CHISELED ON BACK OF CURB ELEV= 5058.39



- LEGEND**
- C/G CURB AND GUTTER
 - CLF CHAIN LINK FENCE
 - CMU CONCRETE MASONRY UNIT
 - CONC CONCRETE
 - FH FIRE HYDRANT
 - FL FLOW LINE
 - GP GUARD POST
 - INV INVERT
 - L/S LANDSCAPE
 - MGP METAL GUARD POST
 - MH MANHOLE
 - MSP METAL LIGHT POLE
 - OHE(4) OVERHEAD ELECTRIC (NO. OF LINES)
 - OHT(1) OVERHEAD TELEPHONE (NO. OF LINES)
 - RCP REINFORCED CONCRETE PIPE
 - SAS SANITARY SEWER
 - SD STORM DRAIN
 - SDMH STORM DRAIN MANHOLE
 - SI STORM INLET
 - SVB SPRINKLER VALVE BOX
 - TC TOP OF CURB
 - V/G VALLEY GUTTER
 - W/L WATER LINE
 - WCR WHEELCHAIR RAMP
 - WMB WATER METER BOX
 - WPP WOOD POWER POLE
 - WS WOODEN SIGN
 - WVB WATER VALVE BOX
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR
 - DECIDUOUS TREE (CALIPER SIZE)
 - CONIFEROUS TREE (CALIPER SIZE)
 - PROPOSED SPOT ELEVATION
 - DIRECTION OF FLOW



VICINITY MAP
 SCALE: 1" = 750'



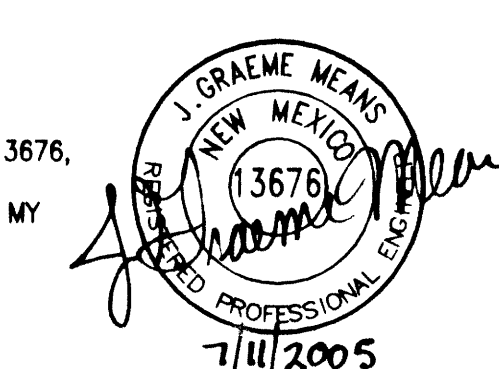
F.I.R.M. PANELS 136 & 138 OF 825
 N.T.S.

KEYED NOTES

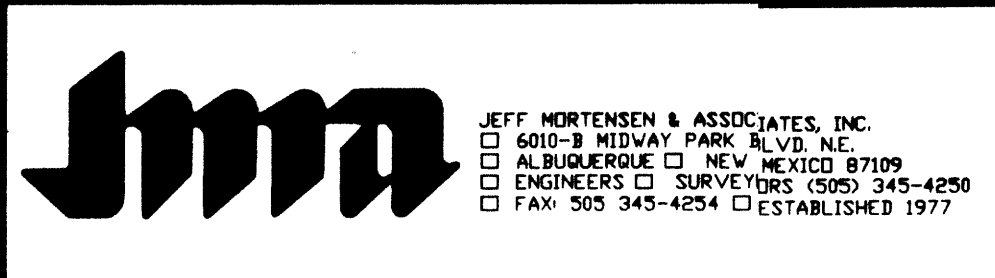
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THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR INFORMATION ONLY. BOUNDARY AND TOPOGRAPHIC DATA SHOWN HEREON IS FROM THE MAY, 2005 SURVEY CONDUCTED BY THIS OFFICE.

J. GRAEME MEANS, NMPE 13676
 CERTIFIED THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.



PROJECT #1004162



APPROVED FOR ROUGH GRADING
 CITY HYDROLOGY DATE

GRADING PLAN
AGAVE SUBDIVISION

DESIGNED BY	ND	DATE	BY	REVISIONS	JOB NO.
G.M.					2005.028.4
DRAWN BY					DATE
J.L.P.					07-2005
APPROVED BY					SHEET
G.M.					1 OF 3

DRAINAGE REPORT

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROPOSED DEVELOPMENT IS LOCATED IN NORTH CENTRAL ALBUQUERQUE WITHIN THE VISTA DEL NORTE SUBDIVISION. THE EPC VOTED TO APPROVE A ZONE MAP AMENDMENT AND SITE DEVELOPMENT PLAN APPROVAL WITH CONDITIONS TO BE ADDRESSED AT DRB. THE DRAINAGE OUTFALL FOR THE SITE IS TO AN EXISTING PUBLIC STORM DRAIN CONSTRUCTED BY CPN 5790.B1 WITHIN AN ADJACENT PUBLIC EASEMENT SIZED FOR THIS DISCHARGE. OFFSITE FLOWS DO NOT IMPACT THE SITE. THE PURPOSE OF THIS DRAINAGE REPORT IS TO OBTAIN PRELIMINARY PLAT, ROUGH GRADING AND WORK ORDER APPROVALS.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-16 ON SHEET 1, THE SITE IS LOCATED IN THE VISTA DEL NORTE SUBDIVISION ON THE NORTH SIDE OF OSUNA RD NE. A 1998 MASTER DRAINAGE PLAN PREPARED BY AVID ENGINEERING ADDRESSED SITE DRAINAGE BASINS AND STORM DRAIN SIZING. THE SITES TO THE NORTH AND WEST ARE DEVELOPED RESIDENTIALLY. THE SITE TO THE SOUTH IS DEVELOPED AS A CHURCH. THE SITE TO THE EAST IS UNDEVELOPED AND IS ZONED FOR A SHOPPING CENTER. THE EXISTING LEGAL DESCRIPTION IS TRACT L-2, VISTA DEL NORTE. THE SITE IS CURRENTLY ZONED SU-1/0-1 WITH SIGNAGE RESTRICTIONS. ON JUNE 16TH, 2005, THE EPC VOTED TO APPROVE A ZONE MAP AMENDMENT TO SU-1/PRD. AS SHOWN BY PANEL 138 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

THE FOLLOWING IS A LIST OF DOCUMENTS RELATED TO THE SITE AND SURROUNDING AREA. THIS LIST MAY NOT BE INCLUSIVE, HOWEVER, REPRESENTS A SUMMARY OF RELEVANT PLANS AND DOCUMENTS WHICH ARE KNOWN TO THE ENGINEER AT THE TIME OF PLAN PREPARATION.

- A. DRAINAGE MASTERPLAN FOR VISTA DEL NORTE SUBDIVISION BY AVID ENGINEERING, LATEST REVISION DATED MARCH 19, 1998. THIS MASTERPLAN IDENTIFIED DRAINAGE BASINS, FLOW RATES, AND SIZED PUBLIC STORM DRAINS FOR THE SUBDIVISION. AS SHOWN BY THAT PLAN, BASIN L (THE PARENT LOT FOR TRACTS L1 AND L2), WAS ASSUMED TO BE 80% LAND TREATMENT D AND 20% LAND TREATMENT B.
- B. GRADING AND DRAINAGE PLAN FOR DESERT SPRINGS CHURCH BY JG ENGINEERING DATED DECEMBER 12, 2001 WITH REVISION DATED JULY 18, 2002. (FILE E-16/D21). THIS GRADING PLAN ADDRESSED THE CHURCH SITE TO THE SOUTH ON TRACT L-1. IT CONSTRUCTED A PRIVATE STORM DRAIN IN A 20 FT EASEMENT ACROSS THE WESTERN BOUNDARY OF TRACT L-2.
- C. GRADING AND DRAINAGE PLAN FOR RANCHO MIRAGE BY TERRA WEST ENGINEERING, DATED 07/18/2002. (FILE E-16/D22). A PORTION OF THIS MULTIFAMILY RESIDENTIAL SITE TO THE NORTHEAST (17.6 CFS) DRAINS INTO THE SAME STORM DRAIN SYSTEM AS TRACTS L1 AND L2.
- D. AS-BUILT WORK ORDER PLANS FOR CPN 5790.B1, VISTA DEL NORTE UNIT 1. THESE PLANS ADDRESSED THE CONSTRUCTION OF THE NOW-EXISTING PUBLIC STORM DRAIN SYSTEM THAT IS THE OUTFALL FOR THIS SITE. THEY INCLUDE DESIGN FLOW RATES AND HYDRAULIC GRADE LINES.
- E. CONCEPTUAL GRADING AND DRAINAGE PLAN FOR AGAVE SUBDIVISION BY JMA DATED 4/28/2005 (FILE E16/D24). THIS CONCEPTUAL PLAN FOR THIS SITE WAS APPROVED FOR SITE DEVELOPMENT PLAN APPROVAL WITH CONDITIONS TO BE ADDRESSED PRIOR TO PRELIMINARY PLAT APPROVAL. THE PROPOSED CONSTRUCTION DRAINING DIRECTLY AND FREELY TO EXISTING PUBLIC DRAINAGE IMPROVEMENTS AS PROPOSED AND DESCRIBED HEREIN IS IN ACCORDANCE WITH THE POLICIES AND REQUIREMENTS OF THE ABOVE LISTED DOCUMENTS.

IV. EXISTING CONDITIONS:

THE SITE IS UNDEVELOPED WITH A SPARSE GROUND COVER OF NATIVE VEGETATION. THE SITE SLOPES FROM SOUTHEAST TO NORTHWEST. THERE IS AN EXISTING LANDSCAPED STRIP AND A PAVED MEANDERING TRAIL WITHIN AN EASEMENT ALONG THE EAST PROPERTY LINE. TO THE NORTH IS A 30 FT WIDE UNDEVELOPED TRACT ENCUMBERED BY A PEDESTRIAN ACCESS AND PUBLIC STORM DRAINAGE EASEMENT. A 48" STORM DRAIN LIES WITHIN THE EASEMENT. TO THE NORTH OF THIS TRACT IS A RESIDENTIAL SUBDIVISION. THE SITE IS FRONTED ON THE EAST BY VISTA DEL NORTE DRIVE, NE, A FULLY DEVELOPED PUBLIC STREET. EXISTING SITE RUNOFF SHEET DRAINS FROM SOUTHEAST TO NORTHWEST TO AN EXISTING SMALL RETENTION AREA AT THE NORTHWEST CORNER OF THE SITE. THE TITLE BINDER FOR THE SITE REVEALS THAT THERE IS A DRAINAGE COVENANT IN PLACE FOR THIS POND WHICH WAS CONSTRUCTED AS PART OF THE SALA DEL NORTE SUBDIVISION TO THE NORTH. RUNOFF FROM HERE OVERFLOWS INTO THE PUBLIC DRAINAGE RIGHT OF WAY TRACT TO THE NORTH AND INTO AN EXISTING DETENTION POND. DEVELOPED RUNOFF FROM THE CHURCH TO THE SOUTH IS CONVEYED ACROSS THE SITE IN A PRIVATE 30" RCP STORM DRAIN THAT LIES WITHIN AN EXISTING PRIVATE DRAINAGE EASEMENT ALONG THE WESTERN BOUNDARY OF THE SITE.

V. DEVELOPED CONDITIONS

31 NEW RESIDENTIAL HOMES ARE PROPOSED WITH PRIVATE INTERNAL STREETS AND PRIVATE STORM DRAINAGE FACILITIES. THE SITE WILL BE DIVIDED INTO THREE BASINS. BASIN C WILL DRAIN TO THE NORTH AND WILL ENTER THE EXISTING 48" PUBLIC STORM DRAIN THROUGH A PRIVATE CATTLE GUARD STYLE INLET LOCATED AT A SUMP CONDITION. THE OVERFLOW FROM THIS SUMP IS TO THE NORTH TO THE PUBLIC DRAINAGE EASEMENT ON TRACT K-1. BASINS A AND B WILL DRAIN INTO A AN-SITE PRIVATE 30 INCH STORM DRAIN NEAR THE NW CORNER OF THE SITE. ALTHOUGH NOT ANTICIPATED BY THE PLAN THAT SUPPORTED THE PRIVATE STORM DRAIN (REF. B), THE CALCULATIONS DEMONSTRATE THAT THE PRIVATE LINE HAS CAPACITY FOR THE EXCESS FLOWS. A PROPOSED AGREEMENT BETWEEN THE OWNER OF THE STORM DRAIN AND THE DEVELOPER OF AGAVE ADDRESSES SHARED MAINTENANCE AND USE OF THIS PRIVATE STORM DRAIN. THE SUMP INLET TO THIS STORM DRAIN ALSO WILL OVERFLOW TO THE DOWNSTREAM PUBLIC DRAINAGE EASEMENT. THE DOWNSTREAM PUBLIC SYSTEM WAS SIZED IN ANTICIPATION OF MUCH DENSER DEVELOPMENT ON THIS TRACT, AND DOWNSTREAM CAPACITY THEREFORE EXISTS IN THE 48 INCH PUBLIC STORM DRAIN THAT FRONTS THE NORTH SIDE OF THE TRACT. UPON GRADING PLAN APPROVAL AND THE ESTABLISHMENT OF FINANCIAL GUARANTEES, WE WILL REQUEST RELEASE OF THE DRAINAGE COVENANT ASSOCIATED WITH THE SMALL RETENTION POND LOCATED AT THE NORTHWEST CORNER OF THE SITE.

A PERIMETER WALL IS PROPOSED. THE DEVELOPER WILL CONSTRUCT THE WALL AND IT WILL RETAIN NO MORE THAN 18 INCHES AT ANY LOCATION. THE INTENT OF THE PLAN IS TO BLEND IN WITH EXISTING GRADES TO THE MAXIMUM EXTENT POSSIBLE. IT IS NOTED, THAT THE ADJACENT PRIVATE PROPERTY NEAR THE SOUTHWEST CORNER OF THE SITE LIES TOPOGRAPHICALLY LOWER THAN THE SITE. IT IS THE INTENT OF THE DEVELOPER TO COORDINATE WITH THE ADJACENT PROPERTY OWNER REGARDING THE FINAL GRADING AND WALL LOCATIONS TO ACCOMMODATE THE APPROXIMATE 2.5 FT GRADE CHANGE WITH THE ADJACENT PROPERTY.

VI. GRADING PLAN

THE GRADING PLAN HEREON SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM A MAY, 2005 TOPOGRAPHIC SURVEY CONDUCTED BY THIS OFFICE; 2) PROPOSED GRADES INDICATED BY PAD ELEVATIONS, SPOT ELEVATIONS, TOP OF CURB ELEVATIONS AND FLOWLINES; 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY AND SUPPLEMENTED WITH AS-BUILT DRAWINGS OF THE DESERT SPRINGS CHURCH AND CITY INFRASTRUCTURE PLANS; AND 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

VII. CALCULATIONS

THE CALCULATIONS, WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. MANNING'S EQUATION FOR PRESSURE FLOW WAS USED TO EVALUATE THE EXISTING PRIVATE STORM DRAIN, AND HAESTAD FLOWMASTER 6.0 WAS USED TO ANALYZE THE STORM INLET CAPACITIES.

IX. CONCLUSIONS

- 1) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPT ARE CONSISTENT WITH THE DEVELOPMENT CRITERIA ESTABLISHED BY PREVIOUSLY APPROVED PLANS FOR VISTA DEL NORTE.
- 2) DEVELOPED RUNOFF FROM THIS SITE WILL DRAIN FREELY TO EXISTING PERMANENT PUBLIC STORM DRAINAGE IMPROVEMENTS.
- 3) THERE ARE NO DRAINAGE RELATED DPM DESIGN VARIANCES, DRAINAGE EASEMENTS OR DRAINAGE COVENANTS ANTICIPATED AT THIS TIME.
- 4) THERE IS AN EXISTING DRAINAGE COVENANT ASSOCIATED WITH A SMALL ON-SITE RETENTION POND THAT WILL NOT BE REQUIRED IF THIS PROJECT IS CONSTRUCTED. A RELEASE REQUEST WILL BE FORTHCOMING AT THE APPROPRIATE TIME.
- 5) AN AGREEMENT BETWEEN THE OWNERS OF TRACTS L-1 AND L-2 IS IN PROGRESS THAT WILL ADDRESS SHARED USE OF THE PRIVATE STORM DRAIN. A RECORDED COPY WILL BE PROVIDED PRIOR TO WORK ORDER APPROVAL.

SUMMARY OF HYDROLOGIC CALCULATIONS (ZONE 2)

$A_T = 5.95$ ac

TREATMENT	EXISTING	PROPOSED
B	-	15
C	100	30
D	-	55

	EXISTING	PROPOSED	INCREASE
VOLUME, V_{100}	24,395 cf	34,850 cf	10,455 cf
PEAK FLOW, Q_{100}	18.2 cfs	20.0 cfs	1.3 cfs

BASIN	% AREA	Q_{100}
A	7	1.4 cfs
B	32	6.4 cfs
C	61	12.2 cfs

GRADING NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986, UPDATE 7.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990 FOR LOCATION OF EXISTING UTILITIES.
3. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
4. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
6. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH.
7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
8. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
9. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION. AN EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN PUBLIC RIGHT-OF-WAY.
10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL (CONTAMINATED OR OTHERWISE), ASPHALTIC PAVING, CONCRETE PAVING, ETC. SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
11. A BORROW SITE FOR IMPORT MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE REGULATIONS. ALL COSTS INCURRED IN OBTAINING A BORROW SITE AND IN HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT SHALL BE MADE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION. THE CONTRACTOR SHALL SELECT AND USE METHODS WHICH SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING FACILITIES AND STRUCTURES WHICH SURROUND THE WORK AREAS.
13. THE CONTRACTOR SHALL CONFINE HIS WORK WITHIN THE CONSTRUCTION LIMITS IN ORDER TO PRESERVE THE EXISTING IMPROVEMENTS AND SO AS NOT TO INTERFERE WITH THE OPERATIONS OF THE EXISTING FACILITIES.
14. ALL DIMENSIONS AND RADII OF CURB, CURB RETURNS, AND WALLS ARE SHOWN TO THE FACE OF CURB AND/OR WALL.
15. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
16. ALL FILL SHALL BE FREE FROM VEGETATION, DEBRIS, AND OTHER DELETERIOUS MATERIALS.
17. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% ASTM D-1557 UNLESS A GREATER COMPACTION REQUIREMENT IS OTHERWISE SPECIFIED. ALL EARTHWORK FOR BUILDING PADS SHALL BE PERFORMED IN ACCORDANCE WITH THE STRUCTURAL AND GEOTECHNICAL SPECIFICATIONS WHERE AVAILABLE.
18. ALL EXISTING UTILITIES ENCOUNTERED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO GRADE AND SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
19. THE PAD ELEVATIONS SHOWN HEREON ARE FOR ROUGH GRADING PURPOSES.
20. FINISHED FLOOR ELEVATIONS MAY VARY FROM THE PAD ELEVATIONS AND WILL BE DETERMINED AS A FUNCTION OF INDIVIDUAL HOUSE DESIGN.
21. FINISHED FLOOR ELEVATIONS SHOULD BE ESTABLISHED AT A MINIMUM OF FOUR INCHES ABOVE PAD ELEVATIONS; DEVIATIONS FROM THESE GUIDELINES MUST BE BASED ON THE RECOMMENDATIONS AND/OR DESIGN OF A COMPETENT DESIGN PROFESSIONAL.
22. CROSS-LOT DRAINAGE WILL BE PERMITTED AS SHOWN ON THE GRADING PLAN.
23. WALLS SHALL BE CONSTRUCTED BY THE DEVELOPER PRIOR TO DRAINAGE CERTIFICATION FOR FINANCIAL GUARANTY RELEASE. A SEPARATE PLAN REVIEW AND PERMIT PROCESS IS REQUIRED FOR ALL RETAINING AND GARDEN WALLS.
24. THE FINISHED GRADING OF EACH LOT SHALL BE ACCOMPLISHED BY THE LOT OWNER OR ITS BUILDER. ALL DEVELOPED RUNOFF SHALL BE DIRECTED TO THE STREETS.
25. MAXIMUM UNPROTECTED SLOPES SHALL BE 3:1; MINIMUM SLOPES SHALL BE 1%.
26. ROUGH GRADING TOLERANCES SHALL BE ± 0.1 FT FOR BUILDING PADS AND STREETS AND $\pm 0.33'$ FOR ALL OTHER GRADING PROVIDED THE GRADES MEET THE INTENT OF THIS GRADING PLAN.
27. UNDER FEDERAL LAW, THE OPERATOR(S) OF CONSTRUCTION SITES WHERE 1 OR MORE ACRES ARE DISTURBED MUST SUBMIT A NOTICE OF INTENT (N.O.I.) TO OBTAIN COVERAGE UNDER AN NPDES STORM WATER CONSTRUCTION GENERAL PERMIT.
28. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P-EXCAVATIONS.

I, J. GRAEVE MEANS, NMP 13676, CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.



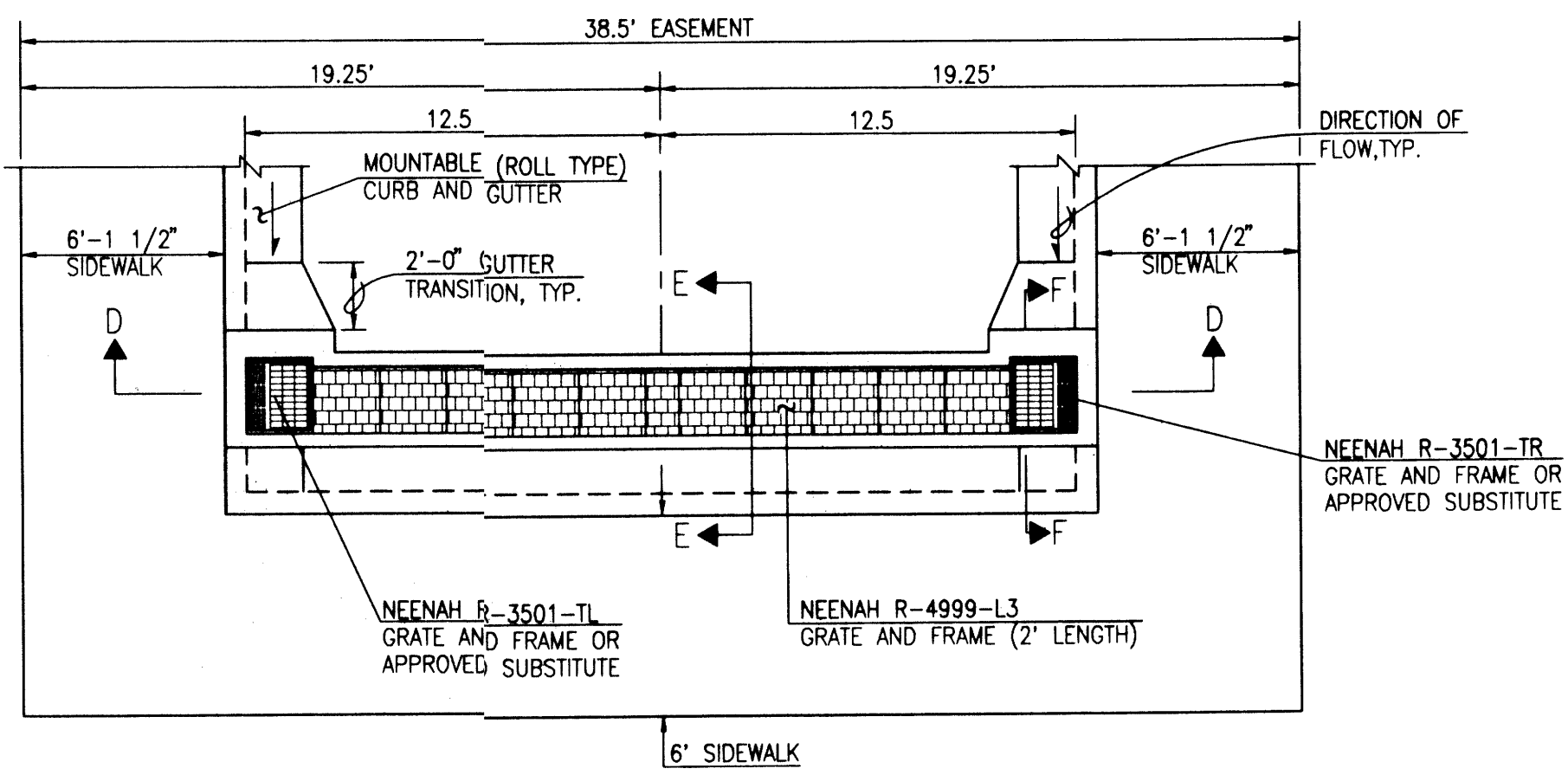
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Plot Time: 08:22 am



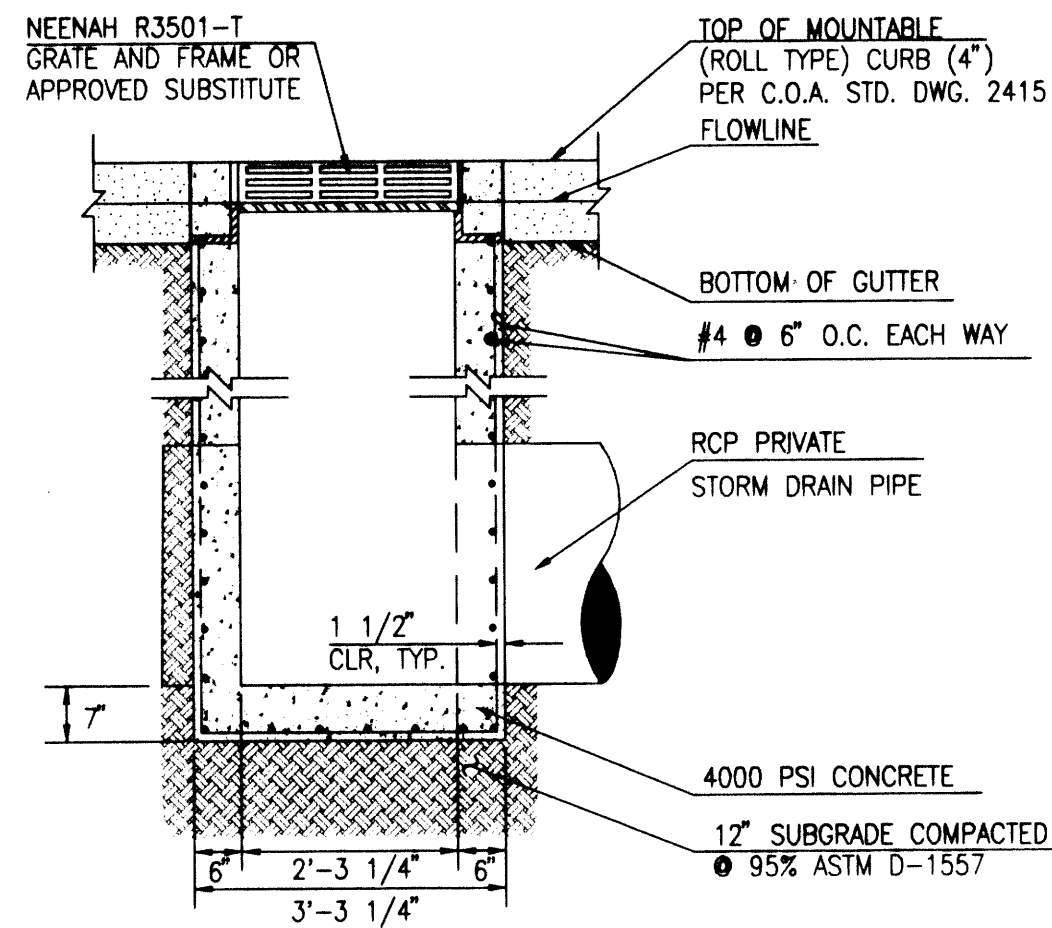
JEFF MORTENSEN & ASSOCIATES, INC.
6801-B HIRSHAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 349-4250
FAX: 505 345-4254 ESTABLISHED 1977

DRAINAGE REPORT, GRADING NOTES AND CALCULATIONS
AGAVE SUBDIVISION

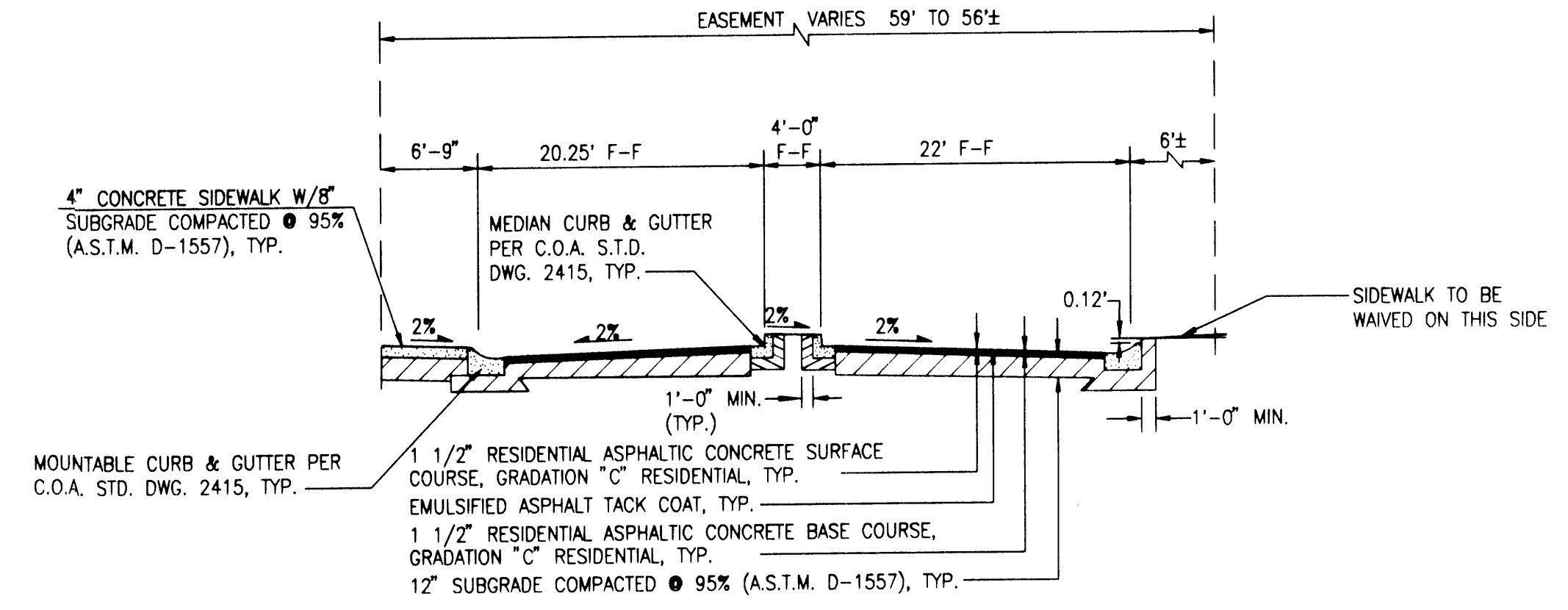
DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.4
DRAWN BY	JLP					DATE	07-2005
APPROVED BY	G.M.					SHEET	2 OF 3



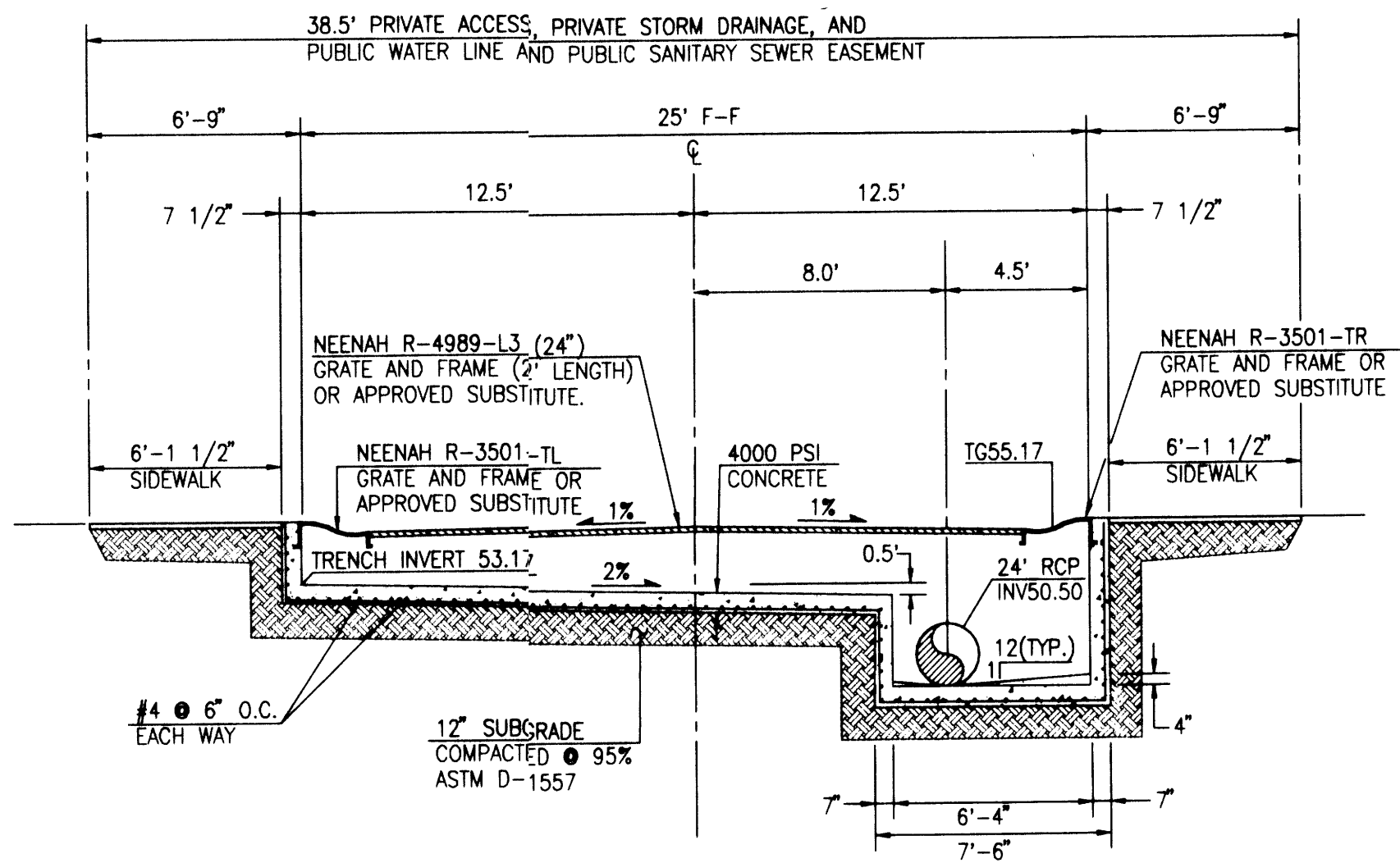
TRENCH DRAIN DETAIL (PRIVATE)
SCALE: 1" = 5'-0"



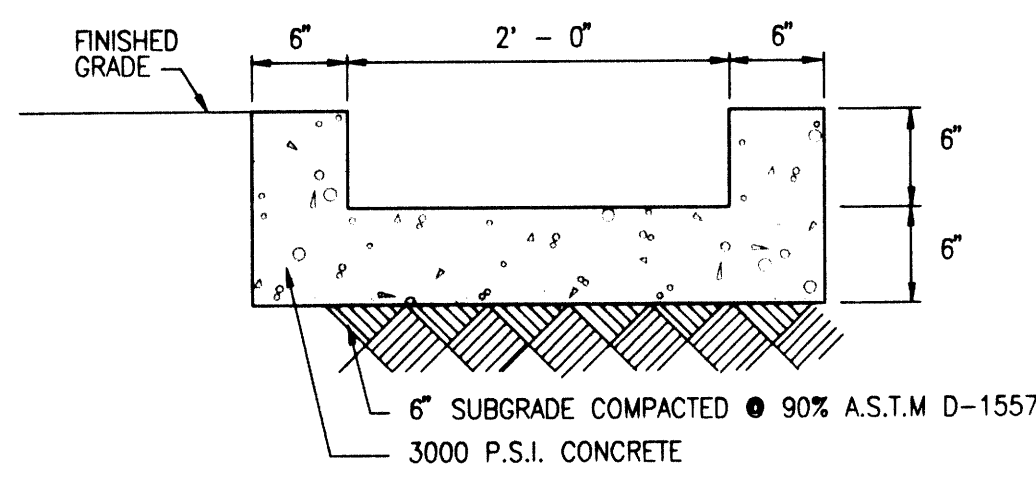
SECTION F-F
SCALE: 1" = 2'-0"



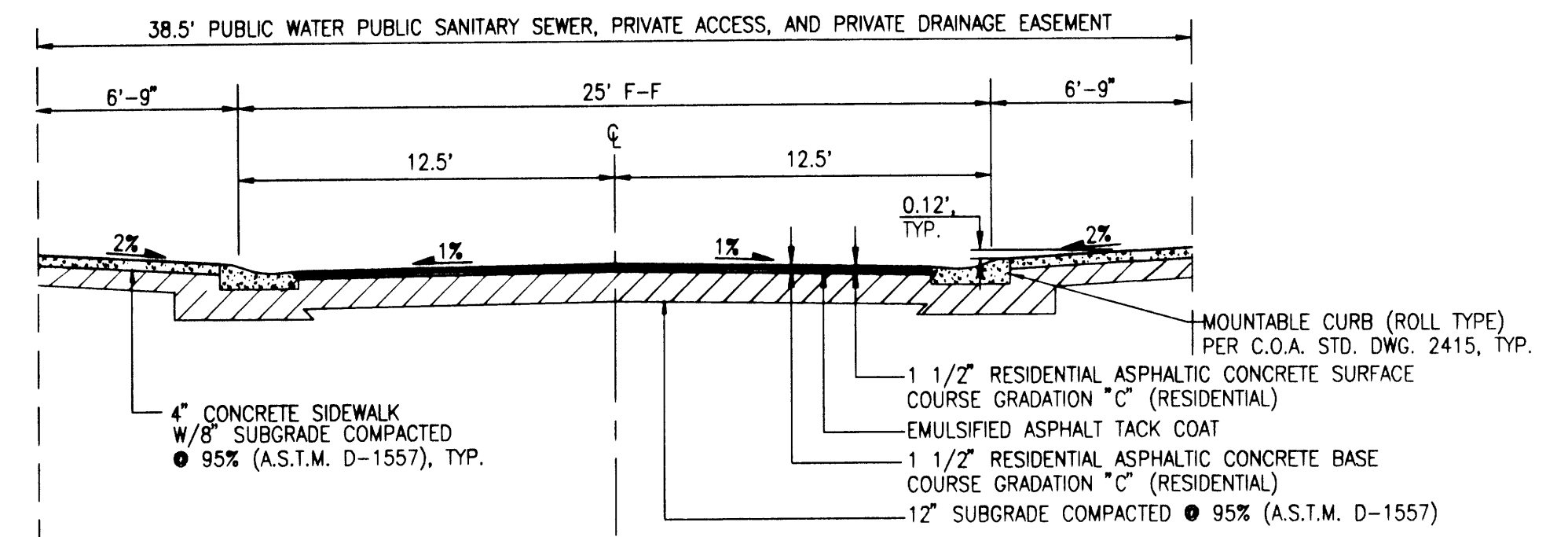
SECTION A - A (ENTRANCE STREET)
SCALE: 1" = 10' HORIZONTAL
1" = 6" VERTICAL



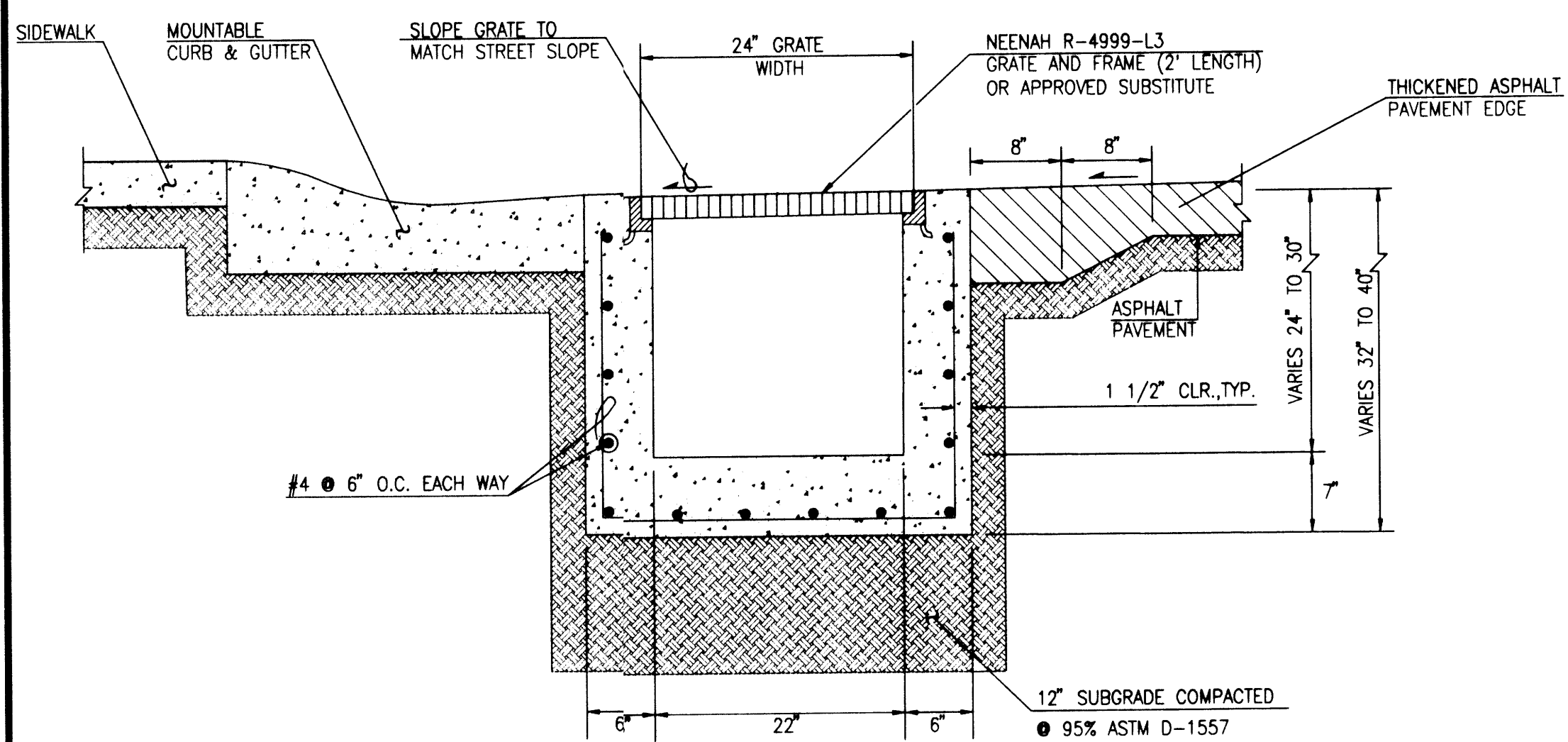
SECTION D-D
SCALE: 1" = 5'-0"



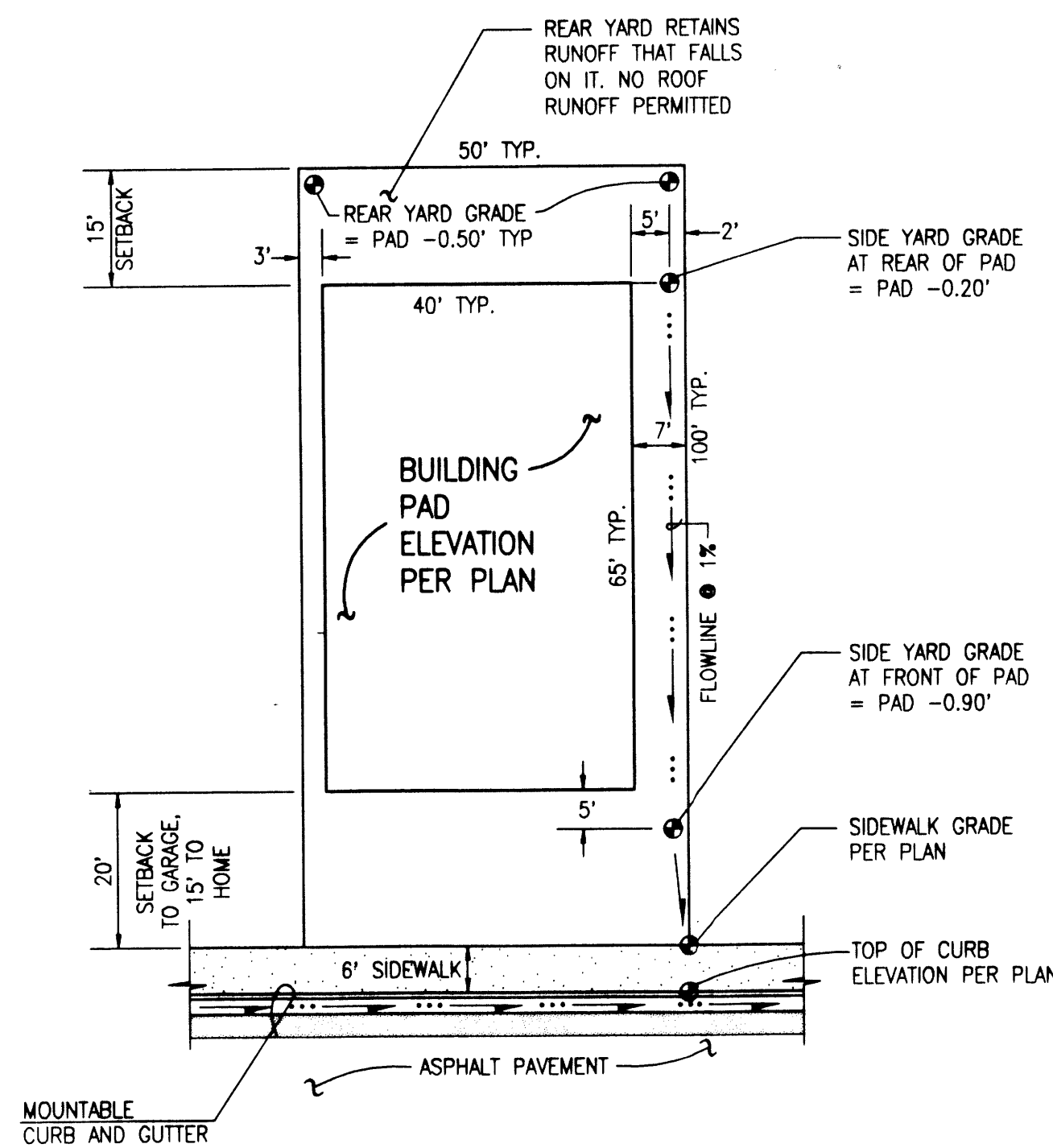
TYPICAL RUNDOWN SECTION
SCALE: 1" = 1' - 0"



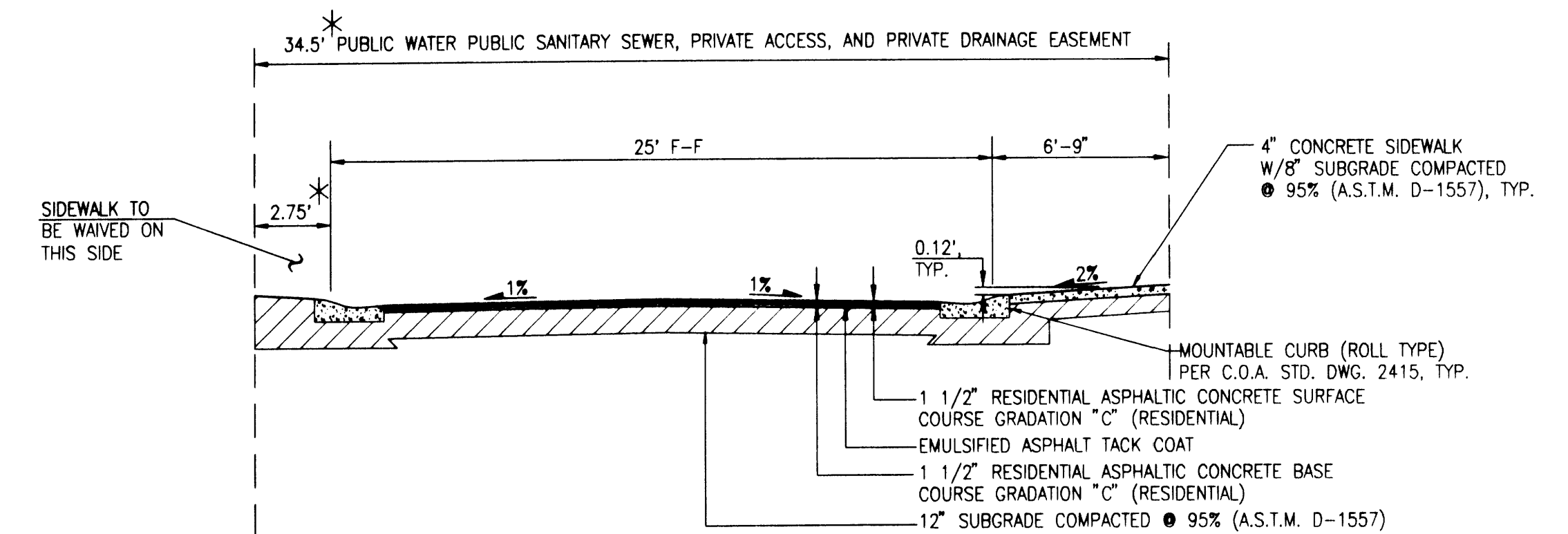
SECTION B-B (PRIVATE STREET WITH HALF CROWN)
SCALE: 1" = 5'



SECTION E-E
SCALE: 1" = 1'-0"



TYPICAL LOT GRADING DETAIL
SCALE: 1" = 20'



SECTION C-C (PRIVATE STREET WITH HALF CROWN)
SCALE: 1" = 5'
* WIDTHS INCREASE TO 36 FT AND 4 FT ALONG WEST PROPERTY LINE.

J. GRAEME MEANS
NEW MEXICO
13676
PROFESSIONAL ENGINEER
7/11/2005

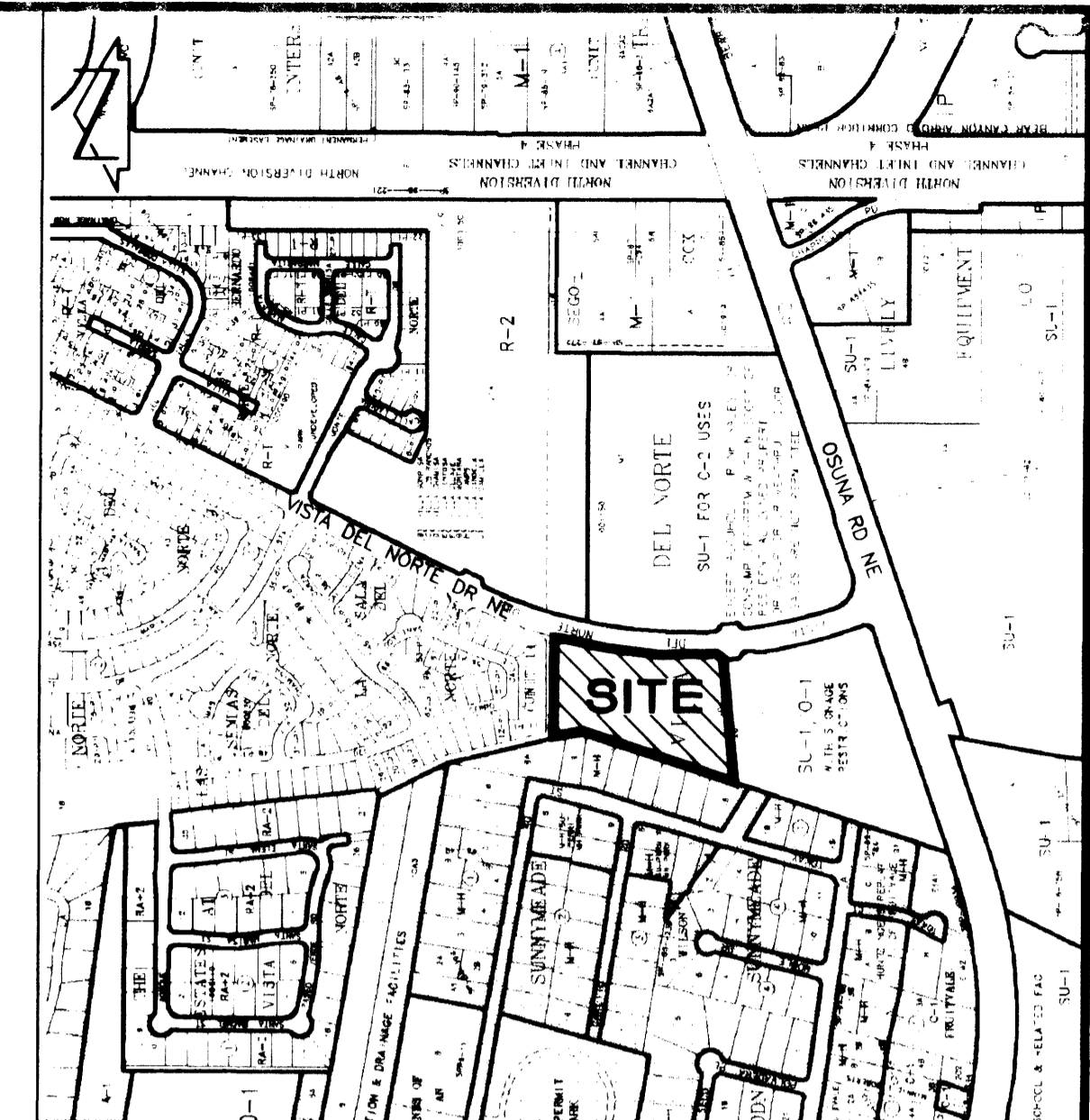
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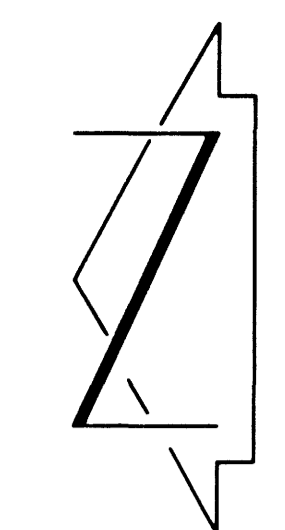
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS CORP. 945-4250
FAX: 505 345-4254 ESTABLISHED 1977

SECTIONS AND DETAILS
AGAVE SUBDIVISION

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.				2005.028.4
DRAWN BY				DATE
R.R.W.				07-2005
APPROVED BY				SHEET
G.M.				3 OF 3

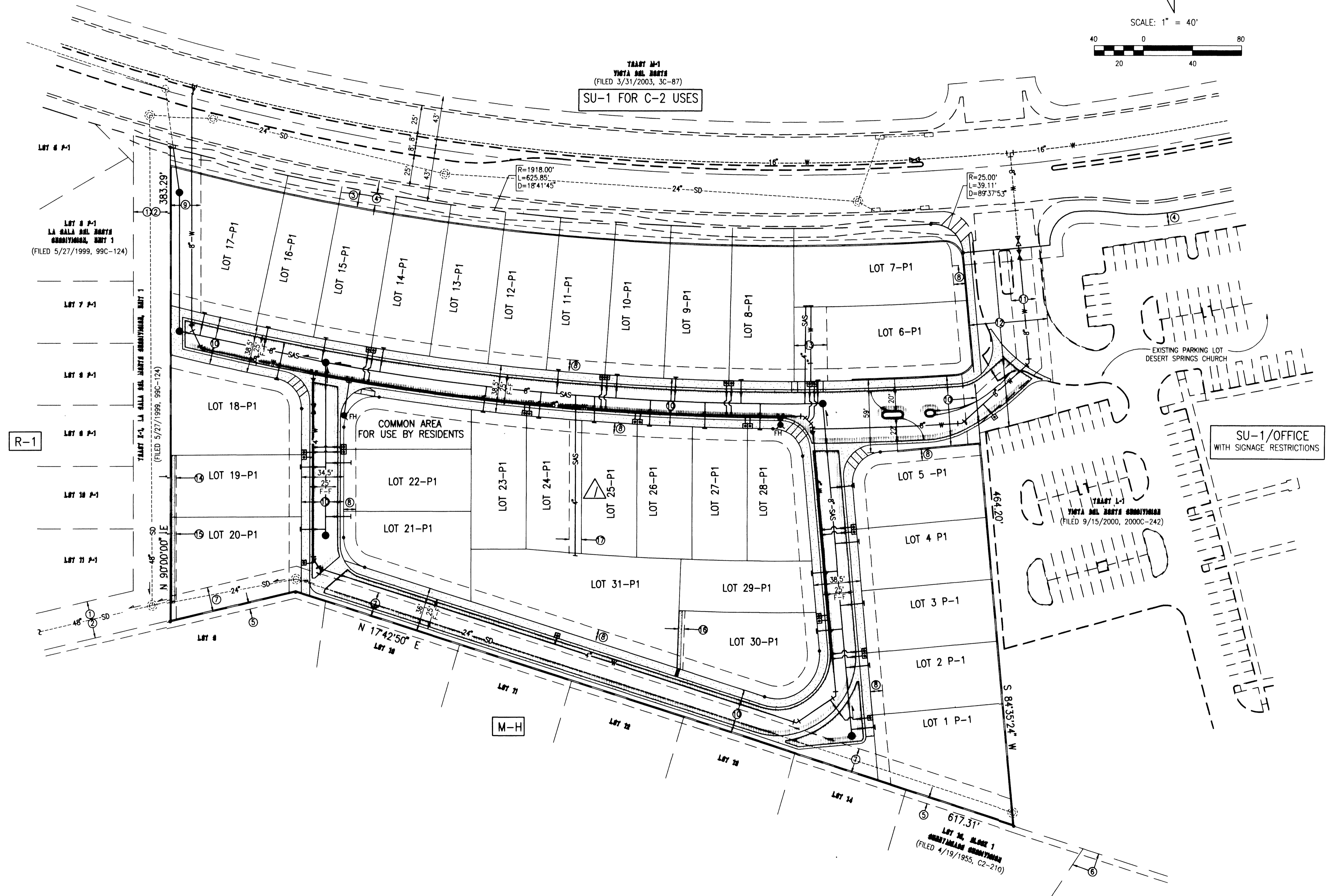


VICINITY MAP
NOT TO SCALE



SCALE: 1" = 40'

TRACT M-1
VISTA DEL NORTE
(FILED 3/31/2003, 3C-87)
SU-1 FOR C-2 USES

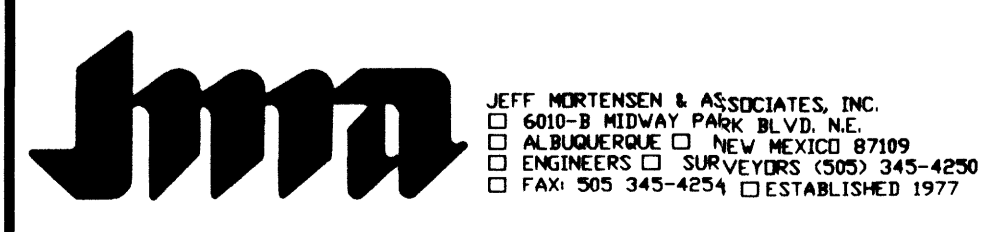


- LEGEND
- EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN MANHOLE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - EXISTING WATER VALVE
 - PROPOSED WATER VALVE
 - PROPOSED SANITARY SEWER SERVICE
 - PROPOSED WATER SERVICE
 - EXISTING WATER LINE
 - SAS EXISTING SANITARY SEWER LINE

NOTES:
1) THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS AREA SHOWN HEREON FOR ORIENTATION PURPOSED ONLY. BOUNDARY DATA SHOWN HEREON IS FROM PLAT OF RECORD (2000C-242)
2) EXISTING ROAD, UTILITY AND PARKING LOT DATA IS FROM AS-BUILT DRAWINGS.

J. GRAEME MEANS
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
(13676)
7/8 2005

File Path: C:\WORK\2005\07-08-2005\502811U.DWG
Plot Date: 07-08-2005
Plot Time: 4:08 pm



JEFF MORTENSEN & ASSOCIATES, INC.
6000 N. MIDWAY PARK BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS & SURVEYORS (505) 345-4290
FAX: 505 345-4254 ESTABLISHED 1977

CONCEPTUAL UTILITY PLAN
AGAVE SUBDIVISION

DESIGNED BY	G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.1
DRAWN BY	G.M./S.G.H.	1	07/08	G.M.	REVISE LOTS 21-30 TO ADDRESS EPC COMMENTS, ADD HYDRANTS	DATE	05-2005
APPROVED BY	G.M.					SHEET	4 OF 6

Design Standards

For:
AGAVE

Agave Subdivision Lots 1-31

The following design standards are for thirty-one (31) single family patio homes to be developed in the Vista Del Norte Master Plan Community. Tract L-2 is located to the north of the Desert Springs Church L-1 Tract and adjacent to the western side of Vista Del Norte Blvd. NE. Agave subdivision will be a patio home zero lot line subdivision offering its residents privacy through a single gated access point. Builders will construct all homes within this subdivision in compliance with these design standards. The developer shall administer these standards.

A. Architectural Character

Agave Subdivision will be a unique, high-quality development. Builders and designers shall use architectural details and materials consistent with the following design standards. To promote a uniform look to this subdivision a southwest contemporary architectural style, typical of that shown in exhibits "A" and "B" are prescribed. All outbuildings and other improvements shall be consistent with the residence constructed on the lot.

B. Garages

Each residence is required to have an attached two car garage and sufficient parking for an additional two vehicles on the site, so a minimum and maximum of four parking spaces are provided.

C. Setbacks

- The minimum setback of the living area of a dwelling shall be 15 feet. The minimum setback of the garage of a dwelling is 20 feet.
- A maximum of fifteen feet (15) lots within the subdivision may have garages that are set back less than the living area of the home.
- No more than 55% of the width of the front facade on any lot, may be garage door with the exception of lot 23 which shall not exceed 60%.
- No more than 50% of a front yard may be used for parking or a driveway.
- Side and rear yard setbacks are as regulated in the RT zone.

D. Building Materials

Building materials for homes in Agave shall be consistent with the architectural character and style of each home design. High quality materials, architectural features and craftsmanship should be used in the construction of each custom residence. Building materials approved, but not limited to, shall include natural stucco, synthetic stucco, wood, stone, concrete masonry unit, glass, glass block, natural tile, ceramic tile, concrete tile, copper and galvanized metal. Stucco colors shall be DRY-VIT Torreon, Pueblo, Sandia, Suede, or comparable matches by other manufacturers. Roof tile, if installed, shall complement the Stucco color and be of similar earth tones.

E. Building Height and Density

All thirty-one lots (31) are to be restricted to single story with a maximum allowable height of eighteen (18) feet.

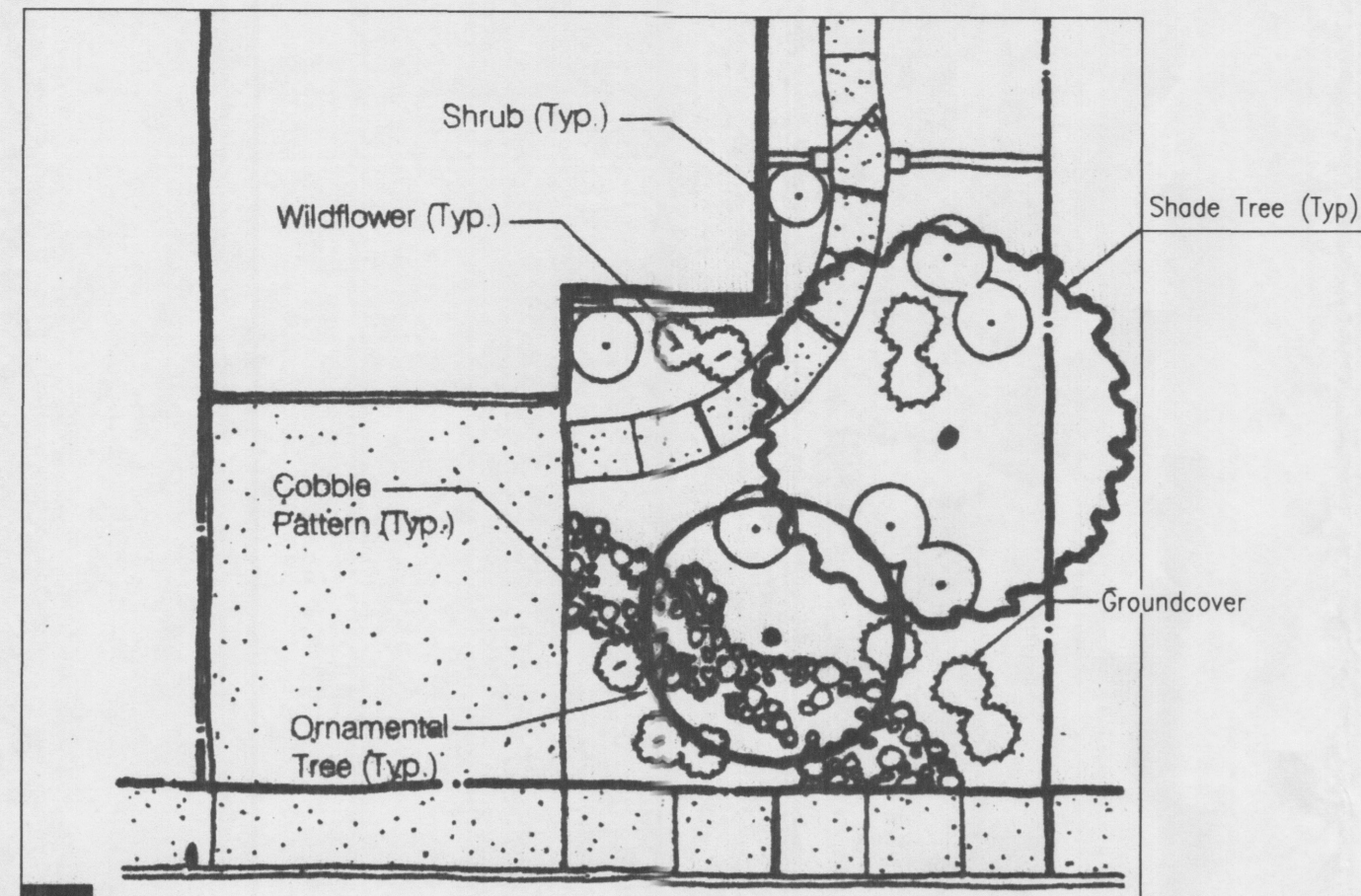
F. Mechanical Equipment and Utilities

- Air conditioning/heating equipment may be installed on flat roofed structures but must be screened from view as viewed from the property line of the residence and from Vista Del Norte Blvd. NE. Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.
- Any roof mounted equipment shall be screened behind parapets that are an integral part of the house that are architecturally compatible in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.
- All electrical distribution lines shall be placed underground.

G. Landscaping

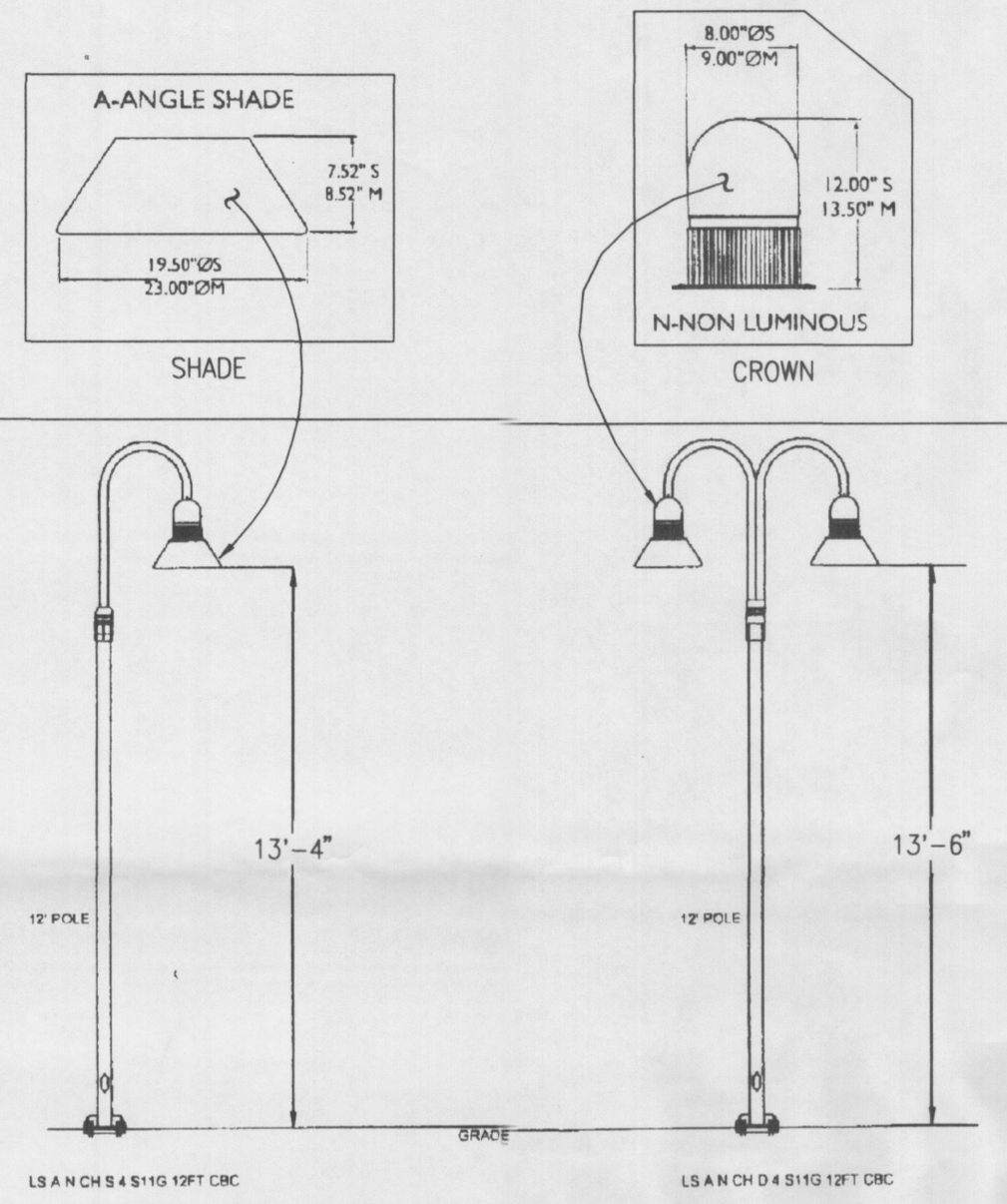
These standards are to be used as a supplement to the requirements set forth in the City of Albuquerque (C.O.A.) Water Conservation Landscaping and Water Waste Ordinance, the C.O.A. Pollen Ordinance, the Vista Del Norte Master Plan and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

- All common areas, front yards and side yards (if the lot is located on a corner) shall be landscaped. A maximum of 20% of the required landscaping can be high water use turf.
- No irrigation systems, turf or plants shall be placed within three (3) feet of any adjacent dwelling.
- Living vegetative materials shall cover a minimum of fifty (50) percent of the required landscape area. The area and percentage is calculated based on the mature canopy size of all plant material.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the individual lot owner in a living, attractive condition. All areas shall be maintained free of weeds through the use of previous filter material. Each individual lot owner shall be responsible for the installation and maintenance of the landscape on their property. Common Area landscaping existing at the entrance to the subdivision shall be maintained by the Agave Homeowners Association. All live plants shall be irrigated with drip irrigation. Turf areas shall be irrigated with pop-up spray heads.
- Minimum sizes of required plants at time of installation shall be as follows:
- Trees 2" cal.
- Shrubs and Groundcover 1-5 Gal.
- Timing of installation. All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of the construction of the residence.
- Interior Landscape of each individual lot will be in accordance with the City of Albuquerque list of approved plantings to stay in conformity with the low water use doctrines and yet keep an overall well maintained character of the subdivision.
- Maintenance of all common area landscaping shall be the responsibility of the H.O.A.



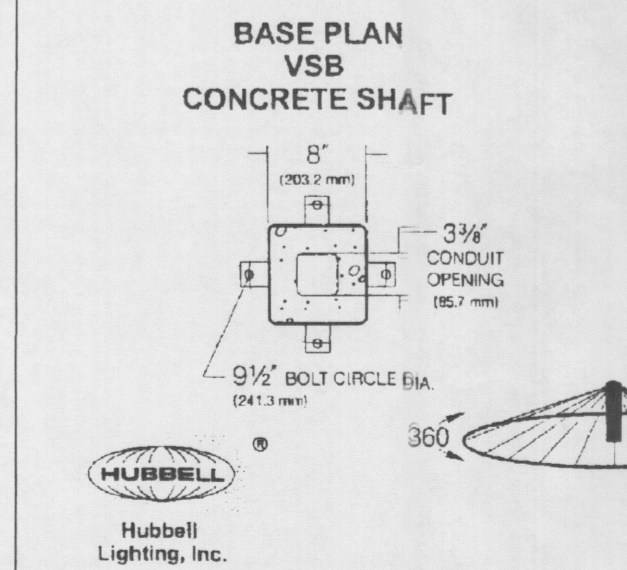
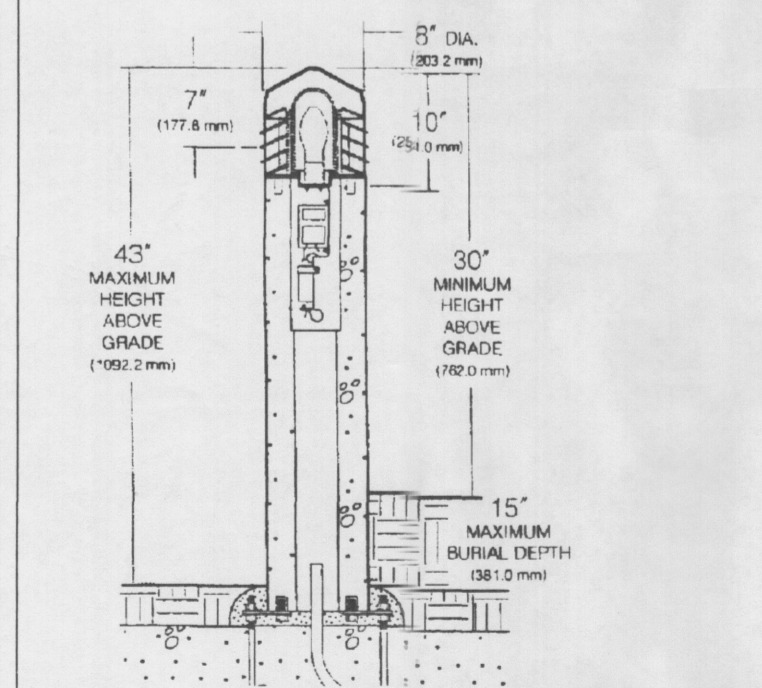
TYPICAL FRONT YARD LANDSCAPE PLAN

SCALE: 1" = 10'



STREET LIGHTING DETAILS
N.T.S.

VSB1C - Single Function Luminaire (Concrete Shaft)
Maximum weight: 120 lb



PARK BOLLARD LIGHT
N.T.S.

H. Pedestrian Circulation

- The existing fourteen (14) foot easement located along the eastern border separating Agave subdivision from Vista Del Norte Blvd. shall be protected by the developer during construction. Developer will be responsible for any damage caused by the construction of Agave Subdivision.
- Sidewalks to be installed at time of home construction, along the Private Street within the Agave subdivision.

I. Wall/ Fences

A perimeter concrete masonry wall shall be installed encompassing the thirty-one (31) lot subdivision.

- All walls shall comply with the adopted City of Albuquerque Wall Design Guidelines. *Regs. 14-16-3-19*
- The south, west and north perimeter subdivision walls shall be concrete masonry unit (CMU). A suede stucco finish will be applied on the interior side of Agave Subdivision on the west wall and on the exterior (church) side of the south wall. These walls shall be a maximum height of 8 feet. The walls shall be installed by the Developer.
- An automobile/pedestrian entry and egress gate, located in the private access easement of the Desert Springs Church off of Vista Del Norte Blvd. NE, shall be installed by the developer.
- No Chain link or razor wire fencing shall be permitted at any property line within the subdivision.
- The perimeter wall to be constructed along Vista Del Norte, Blvd. NE will be a stucco (suede) and stone wall that will blend in with the existing perimeter wall to the north. (See sheet 6) This wall shall be a maximum height of 6 feet. This wall shall be installed by the developer.

J. Site Lighting

Site lighting shall be designed to be as unintrusive as possible while still providing safety to the residents.

- Placement of fixtures shall conform to State and local safety and illumination requirements.
- The maximum mounting height of luminaries for site lighting at the gated entry shall be no higher than sixteen (16) feet.

K. Signs

The Agave subdivision sign shall be placed in or near the perimeter wall just east of the gated entry. Construction shall be consistent with the materials and architectural character of the subdivision.

L. Solid Waste

- Each lot/home shall have a residential cart provided by the City of Albuquerque. Pick up location and times will be coordinated by the City of Albuquerque.
- A storage area shall be located so that the carts are not visible from the street.

M. Review for Compliance

The developer or subsequent Agave Homeowners Association shall review construction plans for compliance with the design requirements specified in this document.

N. Vacant Lots/ Destruction

- There shall be no trash, ashes, paper, or refuse of any kind thrown or dumped onto vacant lots in the subdivision.
- The Owner of a lot within the subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other item that is visually or otherwise undesirable.
- The Owner of a lot upon which a structure is destroyed by fire or other casualty shall promptly rebuild, repair or replace the structure or remove the debris (including the foundation) from the lot.

O. Restricted Activities

- No camper, recreational vehicle, trailer, mobile home, boat, commercial type vehicle, van, motorcycle, dune buggy, bus, inoperable vehicle or tractor shall be stored or parked on any Lot continuously for a period of more than twenty-four (24) hours. No camper, recreational vehicle, trailer, mobile home, boat, commercial type vehicle, van, motorcycle, dune buggy, bus, inoperable vehicle or tractor shall be parked on the Private Roads overnight. No boats, motor homes, or trailers shall be stored on any cul-de-sac or turn-around area for any length of time. Operable vehicles may only be parked on the Private Roads for up to seventy-two (72) hours continuously and the same vehicle may not be parked on the Private Roads more than nine (9) days in any calendar month. The Association shall have the right to adapt rules and regulations regarding parking on the Private Roads which amend the requirements of the previous sentence of this paragraph.
- No satellite dish, radio, television or other antennas shall be erected upon a Lot unless the antenna(s) can be concealed from view behind a parapet or inside the roof structure or attic, or unless approved by the Agave Homeowners Association. No clotheslines or permanent basketball goals of any type shall be placed on or at any Dwelling.
- The construction, erection, placement, assembly or maintenance of any outbuilding, storage building or auxiliary building, permanent or temporary, detached from the permitted improvements of the house, must be approved in writing by the developer or subsequent Agave Homeowners Association and must be of similar architectural character as the house.



EXHIBIT "A"

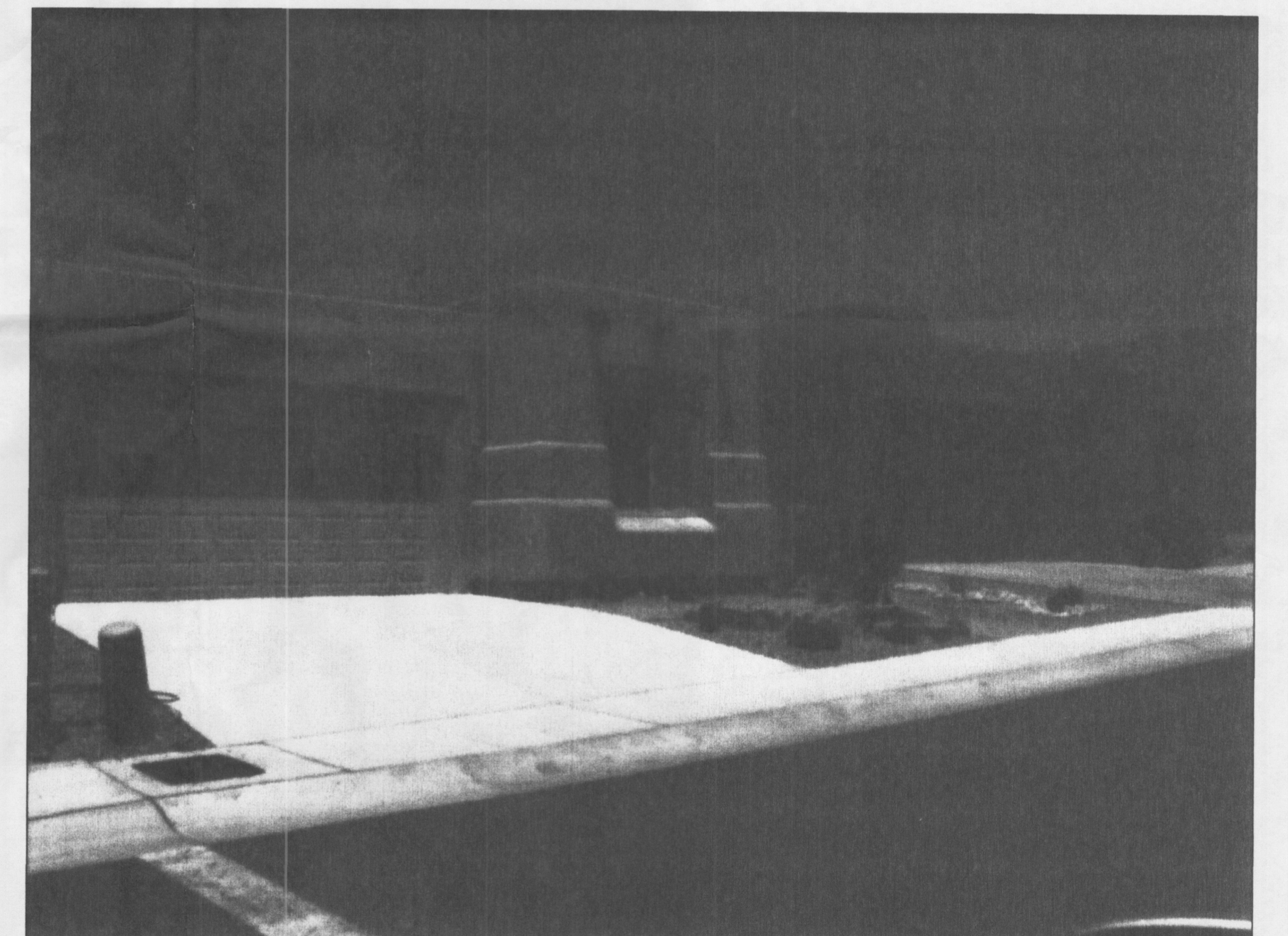
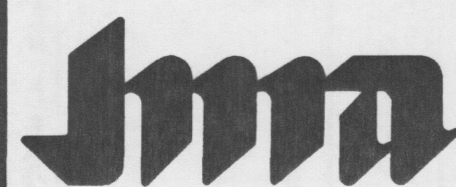


EXHIBIT "B"

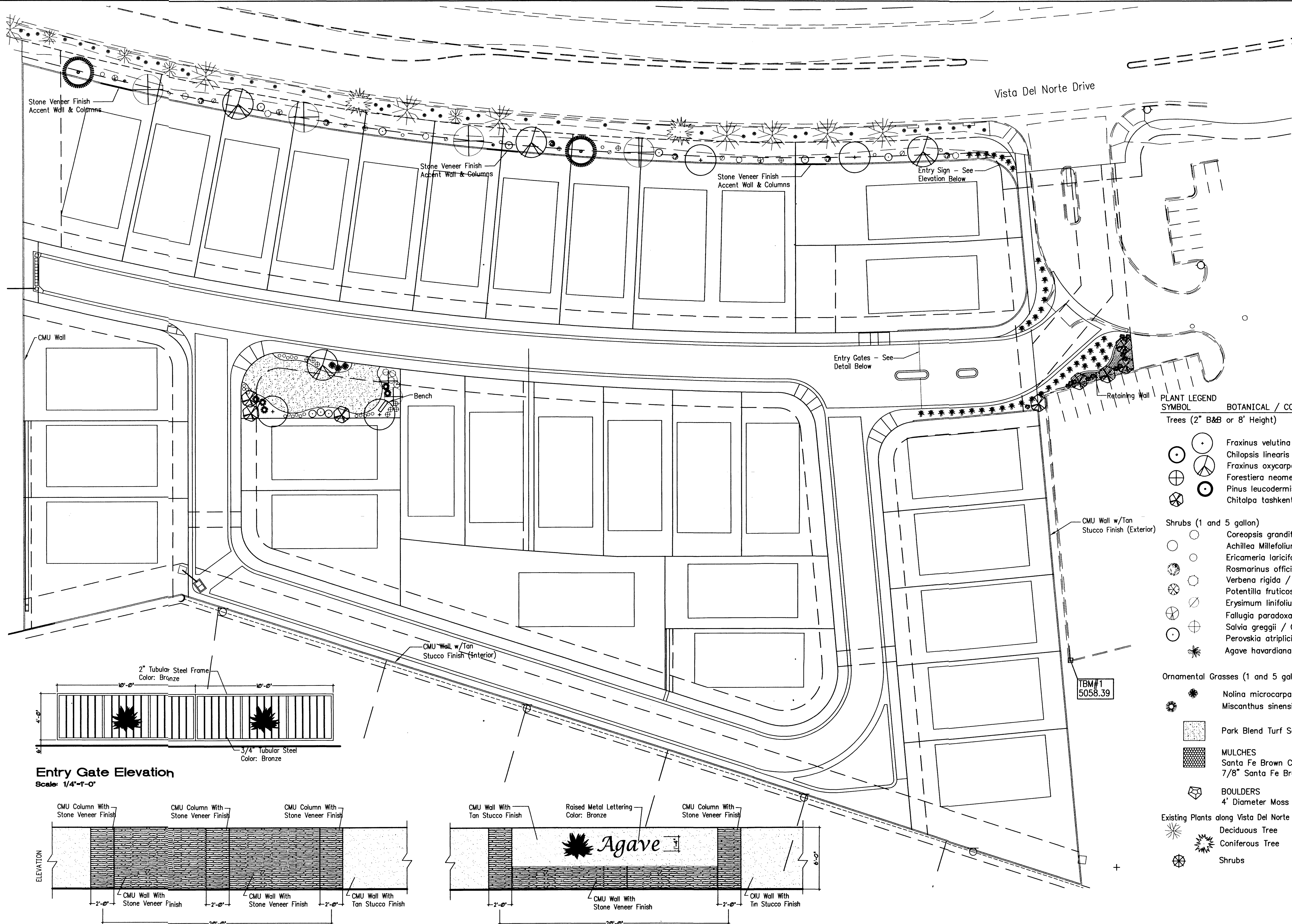
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JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK, BLVD. NE
ALBUQUERQUE, NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977

SUBDIVISION DESIGN STANDARDS AGAVE SUBDIVISION

DESIGNED BY	HREC	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.1
DRAWN BY	JMA	Δ	08/05	G.M.	ADDRESS EPC CONDITIONS	DATE	05-2005
APPROVED BY	HREC					SHEET	5 OF 6



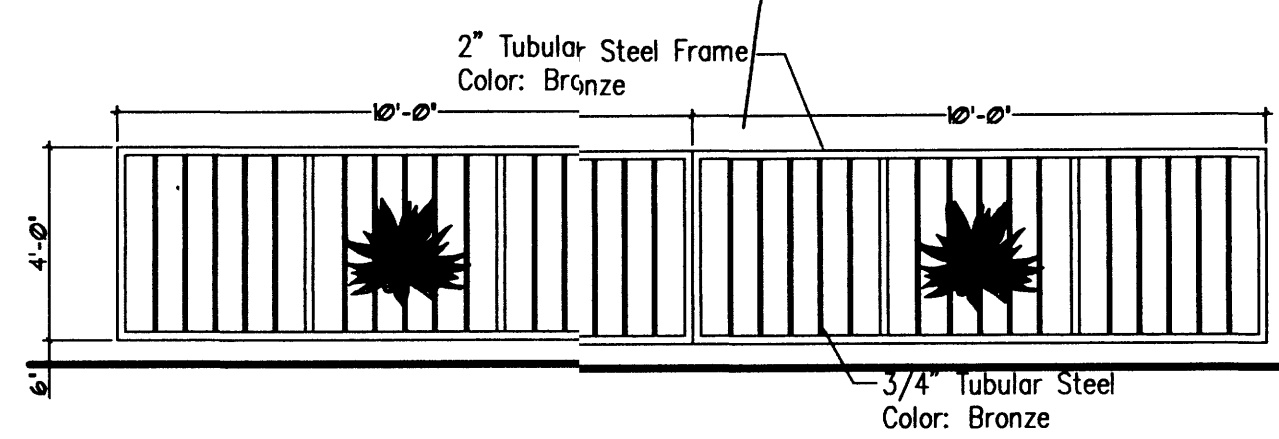
GENERAL
 The design and provision of landscape features for the Agave Subdivision will generally be in conformance with the City of Albuquerque Comprehensive Zoning Code, Street Tree Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

IRRIGATION SYSTEM
 Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas. A separate water meter is included on the Infrastructure List for all common area landscaping.

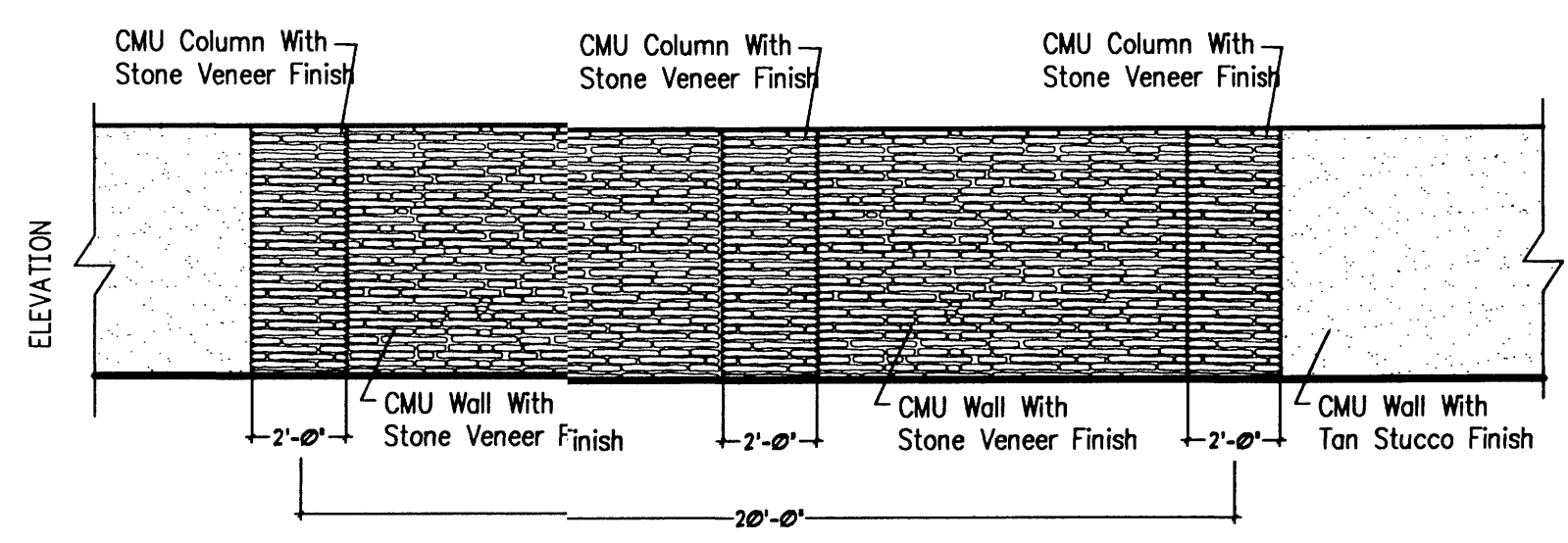
MAINTENANCE RESPONSIBILITY
 Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
 The Landscape Plan for the Agave Subdivision shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

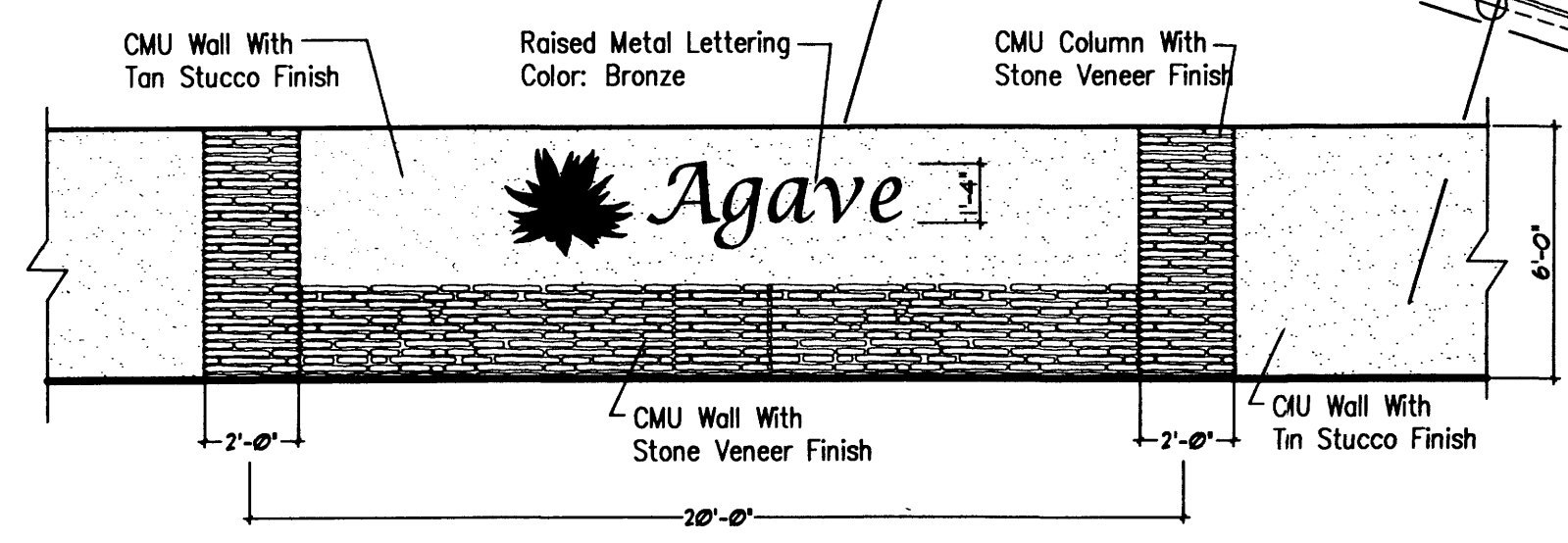
PLANT LEGEND SYMBOL	BOTANICAL / COMMON NAME	WATER USE	MATURE SIZE
Trees (2" B&B or 8' Height)			
⊙	Fraxinus velutina 'Modesto' / Modesto Ash	Medium +	40' ht. x 40' spr.
⊕	Chilopsis linearis / Desert Willow	Low	20' ht. x 25' spr.
⊗	Fraxinus oxycarpa 'Raywood' / Raywood Ash	Medium +	35' ht. x 30' spr.
⊙	Forestiera neomexicana / New Mexico Olive	Medium	15' ht. x 15' spr.
⊗	Pinus leucodermis / Bosnian Pine	Medium	30' ht. x 25' spr.
⊙	Chitalpa tashkentensis / Chitalpa	Medium	25' ht. x 25' spr.
Shrubs (1 and 5 gallon)			
○	Coreopsis grandiflora / Coreopsis	Low +	2' ht. x 3' spr.
○	Achillea Millefolium L. / Yarrow	Medium	2' ht. x 2' spr.
○	Ericameria laricifolia / Dwarf Turpentine Bush	Medium	2' ht. x 2' spr.
⊗	Rosmarinus officinalis / Prostrate Rosemary	Medium	2' ht. x 4' spr.
⊗	Verbena rigida / Sandpaper Verbena	Low	1' ht. x 4' spr.
⊗	Potentilla fruticosa / Cinquefoil	Medium	2' ht. x 2' spr.
⊗	Erysimum linifolium / 'Bowles Mauve' Wallflower	Medium	2' ht. x 3' spr.
⊗	Fallugia paradoxa / Apache Plume	Low	4' ht. x 4' spr.
⊕	Salvia greggii / Cherry Sage	Medium	3' ht. x 3' spr.
⊕	Perovskia atriplicifolia / Russian Sage	Medium	5' ht. x 5' spr.
⊗	Agave havardiana / Havard Agave	Low +	3' ht. x 4' spr.
Ornamental Grasses (1 and 5 gallon)			
⊗	Nolina microcarpa / Beargrass	Low	5' ht. x 6' spr.
⊗	Miscanthus sinensis / Maiden Grass	Low +	5' ht. x 4' spr.
⊗	Park Blend Turf Sod		
MULCHES			
⊗	Santa Fe Brown Crusher Fines, 2"-4" Santa Ana Tan Cobble, 7/8" Santa Fe Brown Rock Mulch.		
BOULDERS			
⊗	4' Diameter Moss Rock Boulders		
Existing Plants along Vista Del Norte Drive N.E.			
⊗	Deciduous Tree		
⊗	Coniferous Tree		
⊗	Shrubs		



Entry Gate Elevation
 Scale: 1/4"=1'-0"



Perimeter Wall Elevation
 (Matches Existing Walls along Vista Del Norte Drive)
 Scale: 1/4"=1'-0"

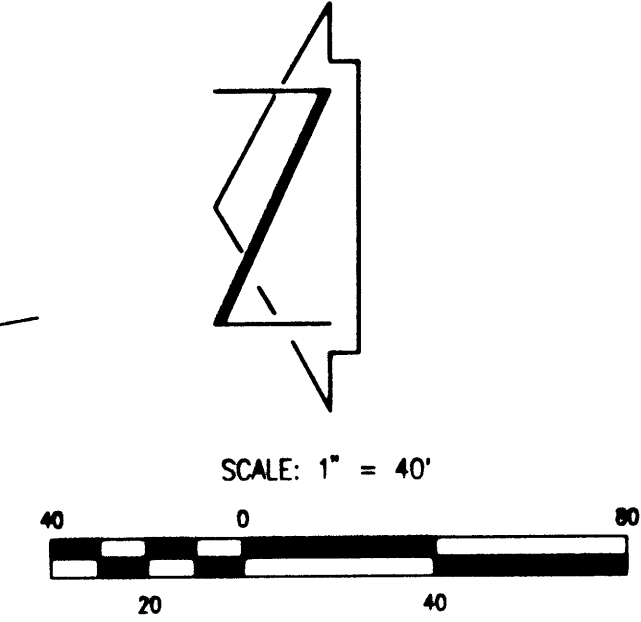
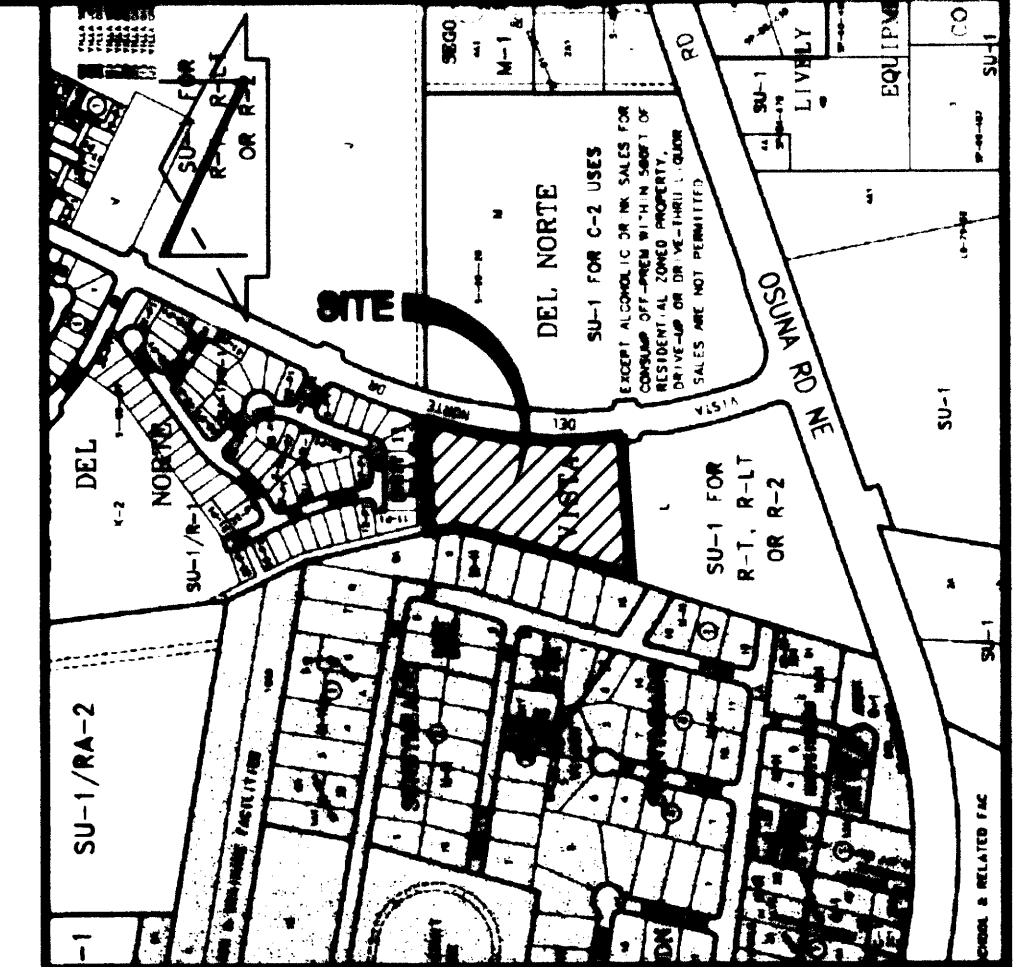
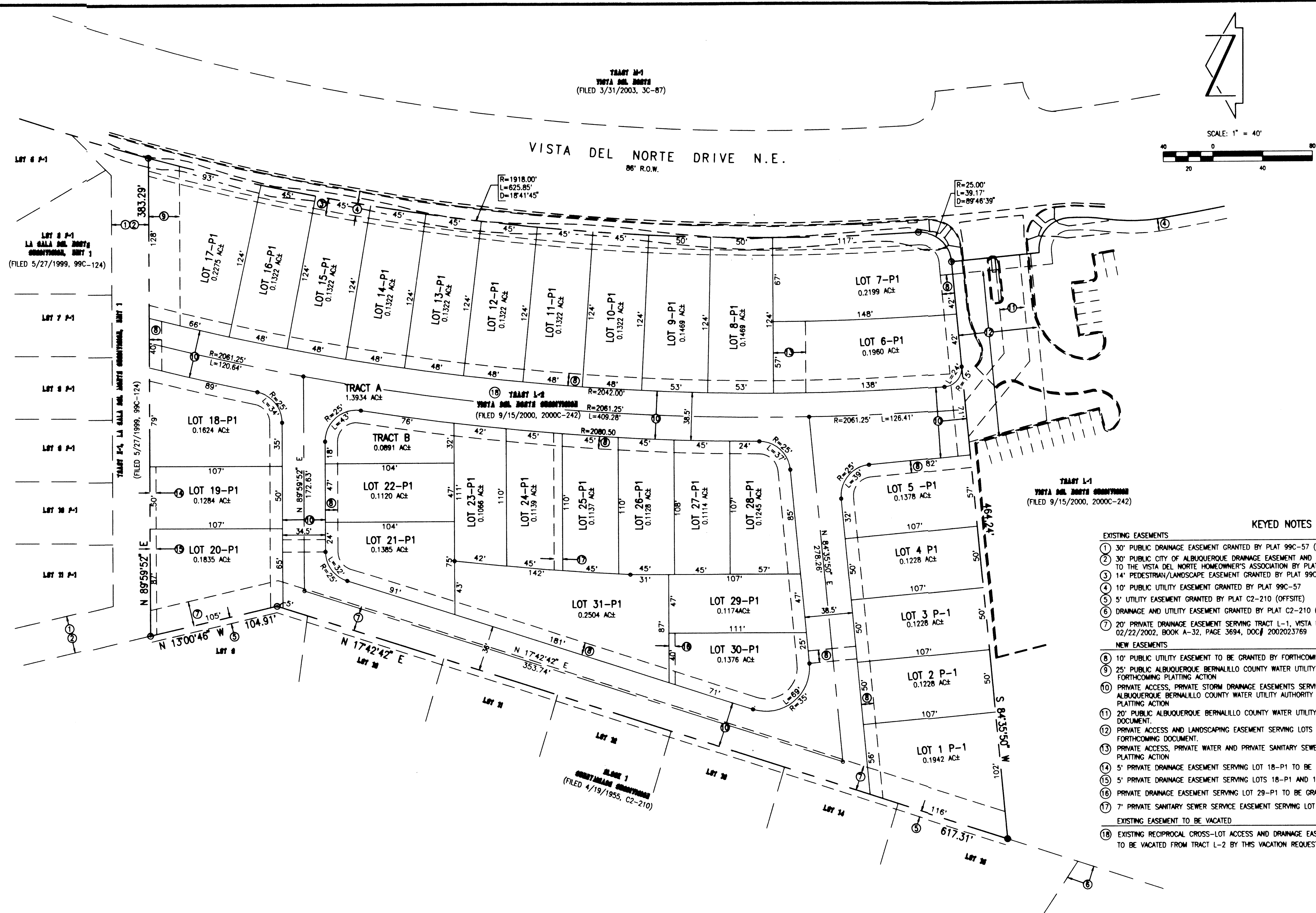


Entry Sign Elevation
 Scale: 1/4"=1'-0"

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

LANDSCAPE PLAN
AGAVE SUBDIVISION

DESIGNED BY	DRAWN BY	APPROVED BY	REVISIONS			JOB NO.
			NO.	DATE	BY	
						07-2005
						6 OF 6



- KEYED NOTES**
- EXISTING EASEMENTS**
- ① 30' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 99C-57 (OFFSITE)
 - ② 30' PUBLIC CITY OF ALBUQUERQUE DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT GRANTED TO THE VISTA DEL NORTE HOMEOWNER'S ASSOCIATION BY PLAT 99C-124 (OFFSITE)
 - ③ 14' PEDESTRIAN/LANDSCAPE EASEMENT GRANTED BY PLAT 99C-57
 - ④ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 99C-57
 - ⑤ 5' UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - ⑥ DRAINAGE AND UTILITY EASEMENT GRANTED BY PLAT C2-210 (OFFSITE)
 - ⑦ 20' PRIVATE DRAINAGE EASEMENT SERVING TRACT L-1, VISTA DEL NORTE SUBDIVISION GRANTED BY DOCUMENT FILED 02/22/2002, BOOK A-32, PAGE 3694, DOC# 2002023769
- NEW EASEMENTS**
- ⑧ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑨ 25' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER AND SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑩ PRIVATE ACCESS, PRIVATE STORM DRAINAGE EASEMENTS SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A & B, AND PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER AND SANITARY SEWER EASEMENTS TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑪ 20' PUBLIC ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY WATER EASEMENT TO BE GRANTED BY FORTHCOMING DOCUMENT
 - ⑫ PRIVATE ACCESS AND LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 31-P1 AND TRACTS A AND B TO BE GRANTED BY FORTHCOMING DOCUMENT
 - ⑬ PRIVATE ACCESS, PRIVATE WATER AND PRIVATE SANITARY SEWER EASEMENT SERVING LOT 7-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑭ 5' PRIVATE DRAINAGE EASEMENT SERVING LOT 18-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑮ 5' PRIVATE DRAINAGE EASEMENT SERVING LOTS 18-P1 AND 19-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑯ PRIVATE DRAINAGE EASEMENT SERVING LOT 29-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION
 - ⑰ 7' PRIVATE SANITARY SEWER SERVICE EASEMENT SERVING LOT 31-P1 TO BE GRANTED BY FORTHCOMING PLATTING ACTION.
- EXISTING EASEMENT TO BE VACATED
- ⑱ EXISTING RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT BETWEEN TRACTS L-1 AND L-2 GRANTED BY PLAT 2000C-242 TO BE VACATED FROM TRACT L-2 BY THIS VACATION REQUEST.

THE PURPOSE OF THIS SKETCH PLAT IS TO DEMONSTRATE: THE CREATION OF LOTS 1-P1 THROUGH 31-P1 AND TRACTS A AND B FROM TRACT L-2; THE VACATION OF THE EXISTING RECIPROCAL CROSS-LOT ACCESS AND DRAINAGE EASEMENT ON TRACT L-2; AND THE GRANTING OF EASEMENTS AS SHOWN ON THIS DRAWING.

DWG: 06-29-2005
 PLOT: 08:22 am
 DATE: 06-29-2005
 TIME: 08:22 am

JAYES, INC.
 6308 AC
 NEXCO 8799
 DR. (505) 245-4270
 ESTABLISHED 1977

**VACATION EXHIBITION AND SKETCH PLAT
AGAVE SUBDIVISION**

DESIGNED BY	GM	NO.	DATE	BY	REVISIONS	JOB NO.	2005.028.1
DRAWN BY	GM/SGH					DATE	06-2005
APPROVED BY	C.G.C.					SHEET	1 OF 1

PLAT FOR
VISTA DEL NORTE SUBDIVISION
TRACT L-1 & L-2
 WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 27
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2000

LEGAL DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, projected Section 27, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT L, VISTA DEL NORTE as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 16, 1999 in Book 99C, Page 57 and being more particularly described as follows:

BEGINNING at a point on the east line of the herein described tract, said point being on the west right-of-way line of Vista Del Norte Drive N.E. from whence the Albuquerque Control Survey Monument "NAA-8" bears N 29°38'20" E, 3289.63 feet;

THENCE along said west right-of-way line S 19°13'23" E, 52.22 feet to a point of curvature;

THENCE leaving said west right-of-way line 46.24 feet along a curve to the right, whose radius is 30.00 feet through a central angle of 88°18'12" and whose chord bears S 24°55'25" W, 41.79 feet to a point of tangency, said point being on the north right-of-way line of Osuna Road N.E.;

THENCE along said north right-of-way line S 70°46'34" W, 888.70 feet to the southwest corner, said point being common with the southeast corner of TRACT E-1A, FRUITVALE ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 22, 1989 in Volume C40, Folio 50;

THENCE leaving said north right-of-way line N 17°43'37" E, 415.85 feet along a line common with the east line of said TRACT E-1A and TRACT D-1, FRUITVALE ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 22, 1989 in Volume C40, Folio 50 to a point, said point being common with the southeast corner of BLOCK 1, SUNNYMEADE SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 19, 1955 in Volume C2, Folio 210;

THENCE N 17°42'50" E, 1066.48 feet along a line common with the east line of said BLOCK 1 to a point;

THENCE continuing N 13°00'38" W, 104.91 feet to the northwest corner, said point being on the south line of TRACT K-1, LA SALA DEL NORTE, UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 27, 1999 in Volume 99C, Folio 124;

THENCE N 90°00'00" E, 383.29 feet along a line common with the south line of said TRACT K-1 to the northeast corner, said point being on said east right-of-way line of Vista Del Norte Drive N.E.;

THENCE along said east right-of-way line 625.85 feet along a curve to the left, whose radius is 1918.00 feet through a central angle of 18°41'45" and whose chord bears S 05°43'19" W, 623.08 feet to a point of reverse curvature;

THENCE continuing 39.11 feet along a curve to the right, whose radius is 25.00 feet through a central angle of 89°37'53" and whose chord bears S 41°11'23" W, 35.24 feet to a point on tangent;

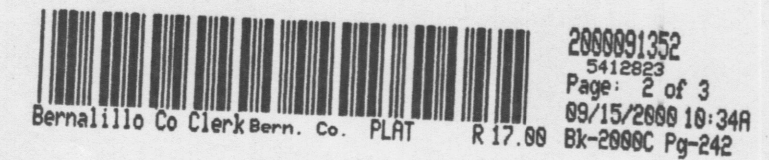
THENCE continuing S 05°24'36" E, 71.00 feet to a point on curve;

THENCE continuing 40.41 feet along a curve to the right, whose radius is 25.00 feet through a central angle of 92°36'48" and whose chord bears S 50°01'24" E, 36.15 feet to a point of compound curvature;

THENCE continuing 30.85 feet along a curve to the right, whose radius is 150.00 feet through a central angle of 11°47'08" and whose chord bears S 02°10'34" W, 30.80 feet to a point of reverse curvature;

THENCE continuing 45.98 feet along a curve to the left, whose radius is 150.00 feet through a central angle of 17°33'42" and whose chord bears S 00°42'43" E, 45.80 feet to a point of compound curvature;

THENCE continuing 327.76 feet along a curve to the left, whose radius is 1930.00 feet through a central angle of 09°43'49" and whose chord bears S 14°21'29" E, 327.37 feet to the point of beginning and containing 16.1989 acres more or less.



Sketch of Plat

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances are field and record.
4. Basis of boundary are the following plats (and documents) of record entitled:
 PLAT FOR "VISTA DEL NORTE", (03-16-99, 99C-57)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed July, 2000.
6. Title Report: provided by Fidelity National Title Insurance Company
 Commitment No.: 00-1005051-B-VG (Effective date: July 26, 1999)
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: SU-1 FOR LIMITED MIXED USES
9. Flood Zone Designation: ZONE X, as shown on Panel 136 of 825
 Flood Insurance Rate Map, City of Albuquerque, Bernalillo County,
 New Mexico, dated September 20, 1996. (This property does not
 lie within the 100 year flood plain).
10. Unless otherwise noted all points are "SET 5/8" REBAR
 with cap "ALS LS 7719".
11. There shall be a reciprocal cross-lot access and drainage easement granted to and to be jointly
 maintained by the owners of Tracts L-1 and L-2, by this plat.

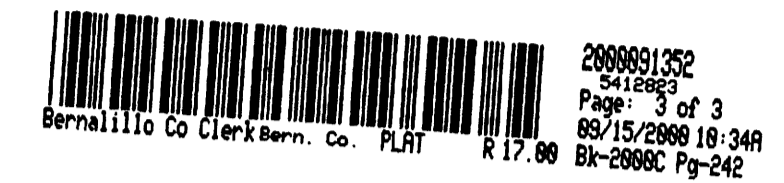
~~PRELIMINARY PLAT
 APPROVED BY DRB
 ON _____~~

Tim Hill
 EXHIBIT B
 Date 7/20/05 08-17-00

dwg: SHEET2	Drawn: SPS	Checked: ALS	Sheet 2 of 3
Scale: 1"=50'	Date: 08-10-00	Job: A0007A	

2000 242-131

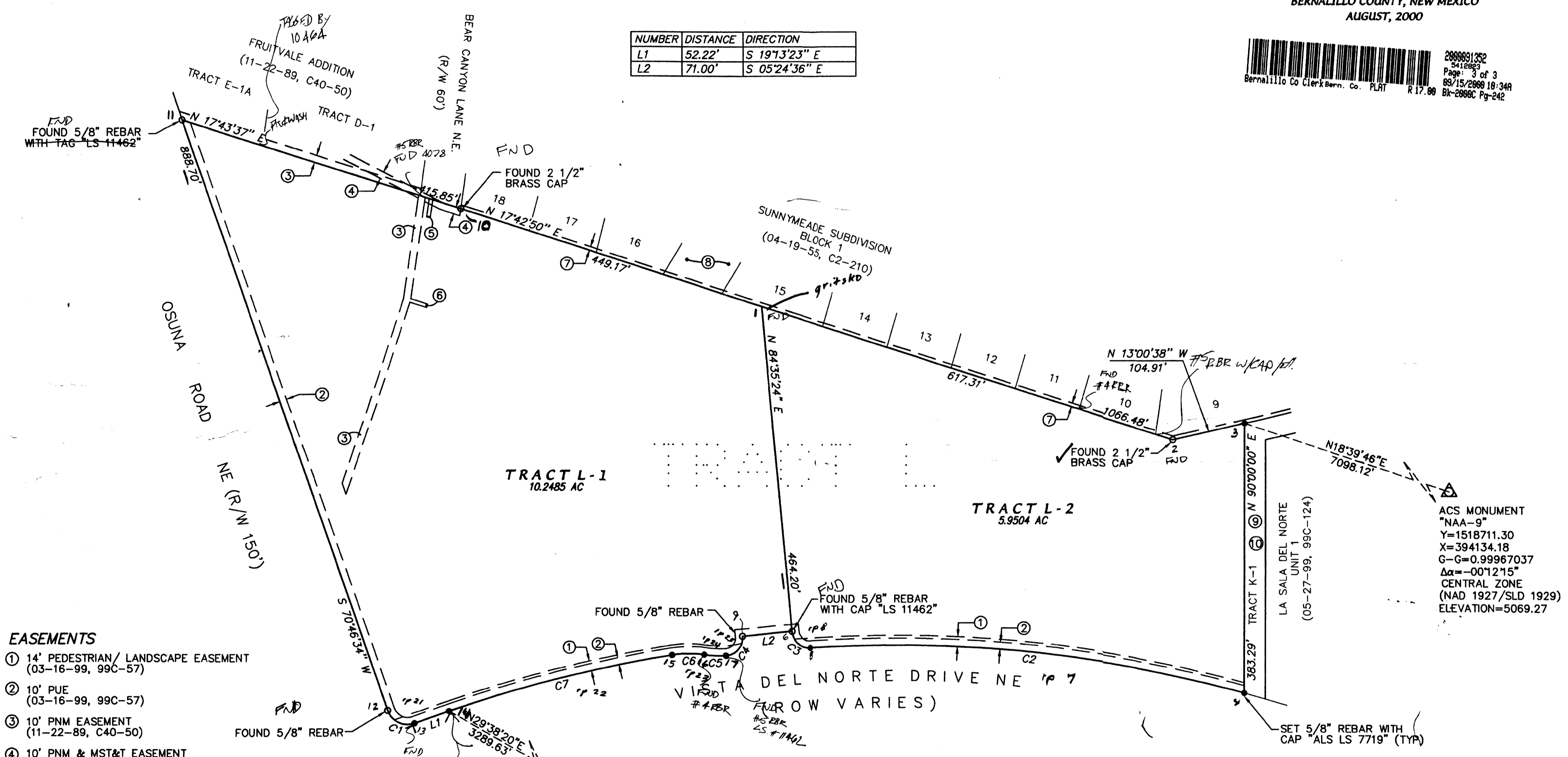
PLAT FOR
VISTA DEL NORTE SUBDIVISION
TRACT L-1 & L-2
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 27
 TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2000



Bust! ?

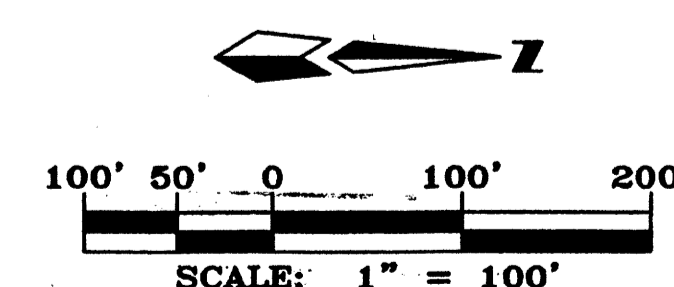
NUMBER	R =	L =	D =	T =	CH BEARIN =	CHORD LE =
C1	30.00	46.24	88°18'12"	29.12	S 24°55'25" W	41.79
C2	1918.00	625.85	18°41'45"	315.73	S 05°43'19" W	623.08
C3	25.00	39.11	89°37'53"	24.84	S 41°11'23" W	35.24
C4	25.00	40.41	92°36'48"	26.16	S 50°01'24" E	36.15
C5	150.00	30.85	11°47'08"	15.48	S 02°10'34" W	30.80
C6	150.00	45.98	17°33'42"	23.17	S 00°42'43" E	45.80
C7	1930.00	327.76	09°43'49"	164.28	S 14°21'29" E	327.37

NUMBER	DISTANCE	DIRECTION
L1	52.22'	S 19°13'23" E
L2	71.00'	S 05°24'36" E



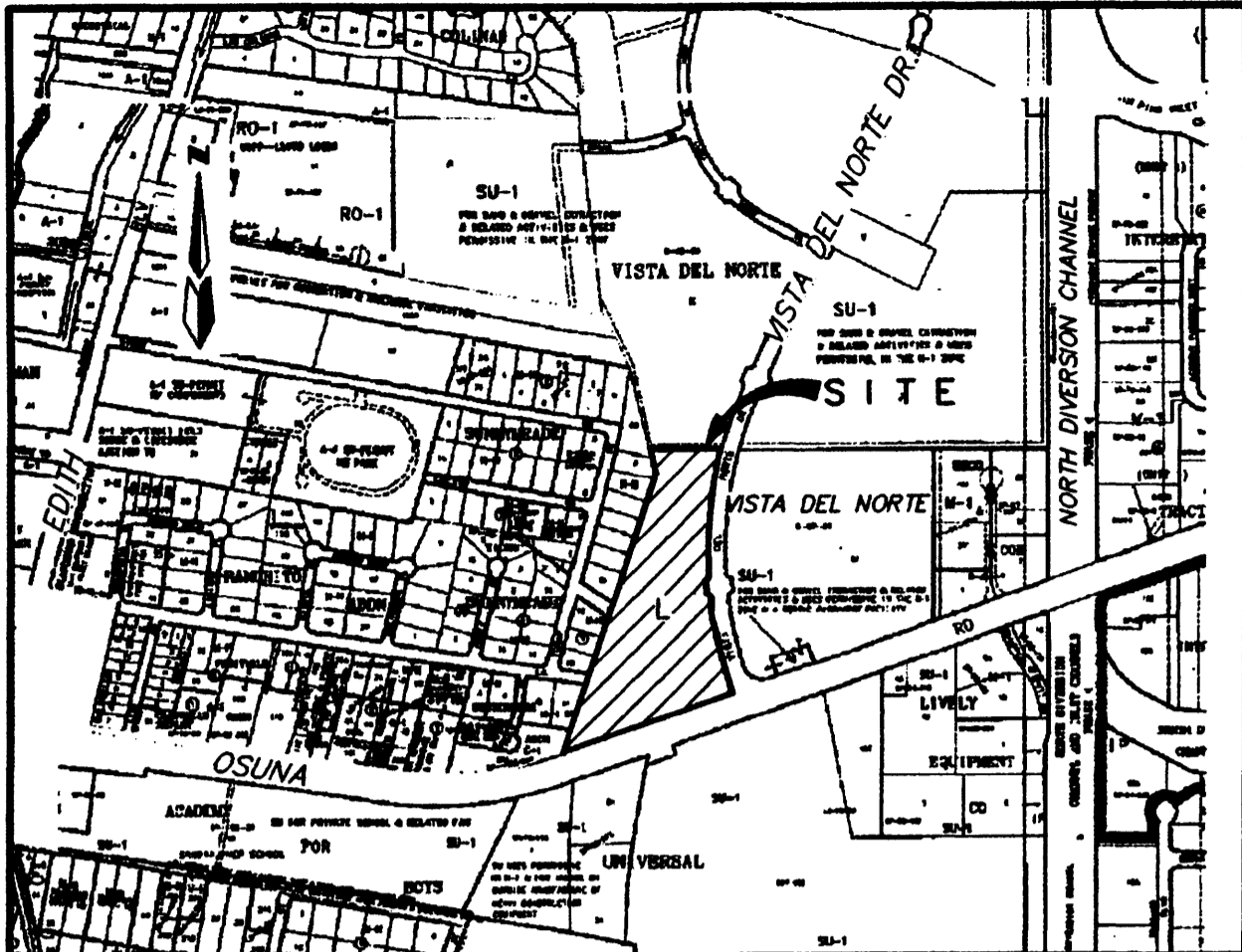
- EASEMENTS**
- ① 14' PEDESTRIAN/ LANDSCAPE EASEMENT (03-16-99, 99C-57)
 - ② 10' PUE (03-16-99, 99C-57)
 - ③ 10' PNM EASEMENT (11-22-89, C40-50)
 - ④ 10' PNM & MST&T EASEMENT (05-11-76, BK.MISC. 476, PG. 534)
 - ⑤ 5' ANCHOR EASEMENT (05-11-76, BK.MISC. 476, PG. 534)
 - ⑥ 5' ANCHOR EASEMENT (11-22-89, C40-50)
 - ⑦ 5' UTILITY EASEMENT (04-19-55, C2-210)
 - ⑧ 85' DRAINAGE & UTILITY EASEMENT (04-19-55, C2-210)
 - ⑨ 30' PUBLIC DRAINAGE EASEMENT (03-16-99, 99C-57)
 - ⑩ 30' C.O.A. PUBLIC DRAINAGE EASEMENT AND PRIVATE NON-VEHICULAR PEDESTRIAN EASEMENT FOR VISTA DEL NORTE HOMEOWNERS ASSOCIATION (05-27-99, 99C-124)

ACS MONUMENT
 "NAA-8"
 Y=1513713.15
 X=393902.61
 G-G=0.99967012
 Δα=-00°12'16"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5075.6



Handwritten signature
 08-17-00
 7110

2000 242-131 (a)



LOCATION MAP ZONE ATLAS E-16-Z
SCALE: NONE

SUBDIVISION DATA

PLAT CASE NOS. PROJECT **1000490**
CASE **00440-00000-01218**

GROSS ACREAGE 16.1989 AC
ZONE ATLAS NO. E-16-Z
NO. OF EXISTING TRACTS/LOTS 1 TRACT
NO. OF TRACTS/LOTS CREATED 2 TRACTS
NO. OF TRACTS/LOTS ELIMINATED 1 TRACT
MILES OF FULL WIDTH STREETS CREATED 0
MILES OF HALF WIDTH STREETS CREATED 0
AREA DEDICATED TO CITY OF ALBUQUERQUE INTERIOR STREETS: 0.0 AC
DATE OF SURVEY JULY 2000
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 99092909100192

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

[Signature]
JOHN A. MYERS ASSISTANT MANAGER PRO TEM
VISTA DEL NORTE DEVELOPMENT, LLC,
A LIMITED LIABILITY COMPANY

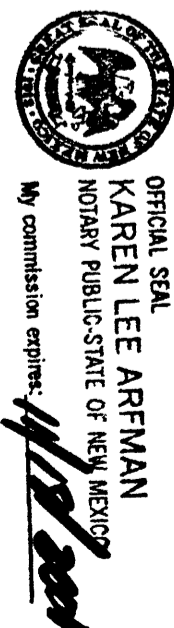
8/11/00
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } ss

This instrument was acknowledged before me on **Aug. 11, 2000**
by JOHN A. MYERS, Assistant Manager Pro Tem, Vista del Norte Development, LLC,
a Limited Liability Corporation a New Mexico Corporation on behalf of said Corporation.

[Signature]
KAREN LEE ARFMAN
NOTARY PUBLIC
MY COMMISSION EXPIRES 11/18/2001



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

SUBDIVIDE TRACT L VISTA DEL NORTE INTO 2 TRACTS



PLAT FOR
VISTA DEL NORTE SUBDIVISION
TRACT L-1 & L-2
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 27
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2000

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Article XI of Chapter 7 of the Revised Ordinances of Albuquerque, New Mexico.

Subdivision Case No. **1000490/00440000001218**

<i>[Signature]</i> Planning Director, City of Albuquerque, N.M.	9/13/00 Date
<i>[Signature]</i> City Engineer, City of Albuquerque, N.M.	9-6-00 Date
<i>[Signature]</i> Albuquerque Metropolitan Arroyo Flood Control Authority	9-6-00 Date
<i>[Signature]</i> Transportation Development, City of Albuquerque, N.M.	9-06-00 Date
<i>[Signature]</i> Utility Development Division, City of Albuquerque, N.M.	9-6-00 Date
<i>[Signature]</i> Parks and Recreation	9/4/00 Date
<i>[Signature]</i> City Surveyor, City of Albuquerque, N.M.	9-17-2000 Date
<i>[Signature]</i> Property Management, City of Albuquerque, N.M.	N/A (S) Date
<i>[Signature]</i> PNM GAS	9-11-00 Date
<i>[Signature]</i> West Telecommunications	09-11-00 Date
<i>[Signature]</i> PNM ELECTRIC	9-11-00 Date
<i>[Signature]</i> Comcast Cable	9-11-00 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature]
TIMOTHY ALDRICH P.S. No. 7719
08-17-00
DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC # 1-016-062-332-419401160A
PROPERTY OWNER OF RECORD:

[Signature]
Sundt Corp.
BERNALILLO COUNTY TREASURER'S OFFICE:
[Signature] 9/15/2000

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.