

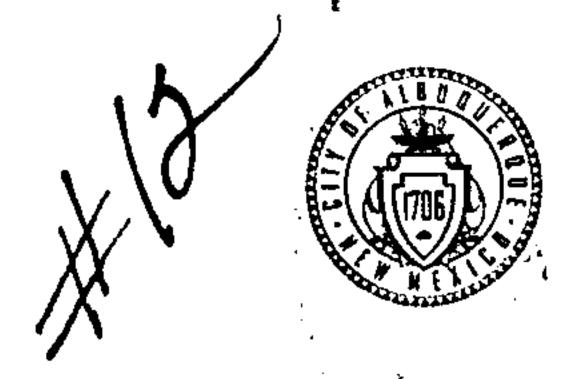
Somplete Az 3.31-06

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00350 (P&F)	Project # 1004163
Project Name: SIERRA BONITA ADDITION Agent: Terrametrics of New Mexico	Phone No.: 881-2903
Your request for (SDP for SUB), (SDP for BP), (Fapproved on 3.22-06 by the DRB with del OUTSTANDING SIGNATURES COMMENTS TO	INAL PLATS), (MASTER DEVELOP. PLAN), was legation of signature(s) to the following departments. BE ADDRESSED
TRANSPORTATION:	K = L 21
UTILITIES:	
CITY ENGINEER / AMAFCA:	
PARKS / CIP:	
PLANNING (Last to sign): Vector	Delal
-Tax printout from the County As 3 copies of the approved site p County Treasurer's signature n with the County Clerk.	py for the County Clerk. Treasurer. to the County Clerk). RECORDED DATE: sessor. lan. Include all pages. must be obtained prior to the recording of the plat ure must be obtained prior to Planning Department's



(PREL & FINAL) DRB CASE ACTION LOG REVISED 9/28/05

This sheet must accompany your plat or site plan	n to obtain de	legated signatures. Return sheet
with site plan/plat once comments are addressed	<i>i</i> ,	
With Site biginbigt once comments and and and	•	
DRB Application No.: 06DRB-00350 (P&F)	Project # 10	004163
Project Name: SIERRA BONITA ADDITION:		
Agent: Terrametrics of New Mexico	Phone No.:	881-2903
Agent: Terrametrics of New Mexico		
Your request for (SDP for SUB), (SDP for BP), (FIN	ΔΙ ΡΙΔΤΟ) (MASTER DEVELOP, PLAN), was
approved on 3.22-06 by the DRB with deleg	ation of signal	fure(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BI	FADDRESSE	\mathbf{D}
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TRANSPORTATION: Stawal		
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CITY ENGINEER / AMAFCA	<u> </u>	
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PLANNING (Last to sign): 1000		
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Planning must record this plat. Pleas	se submit the	vičiotis vita i
- I he original plat and a mylar copy	Tor the Count	y Cierk.
-Tax certificate from the County Tr	easurer.	ANDECODED DATE:
-Recording fee (checks payable to	the County C	ierk). RECORDED DATE
-Tax printout from the County Asse	essor.	
The Richard of the annious site bia	n. Include al	I payes.
		diprior to the recording of the plat
with the County Clerk.	< ¹ : _ :	tained prior to Planning Department's
Property Management's signatur	e must be ob	tained bilouto Lianning Debartment s
signature.		
AGIS DXF File approval required	. 01	
Copy of recorded plat for Planni	ng.	



DEVELOPMENT REVIEW BOARD ACTION SHEET

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 22, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development Brad Bingham, Alternate City Engineer

Roger Green, Utility Development Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order:

BREAK.

9:00 A.M.

Adjourned: 12:10 P.M.

- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

Project # 1002591
 06DRB-00249 Major-Two Year SIA

TIERRA WEST LLC agent(s) for KPS GROUP INC request(s) the above action(s) for all or a portion of Tract(s) C & G, FOUR HILLS VILLAGE SHOPPING CENTER & APT COMPLEX, zoned SU-1 PDA RES & COMM, located on CENTRAL AVE SE, between TRAMWAY BLVD SE and DORADO PL SE containing approximately 6 acre(s). [REF: Z-84-124, 03AA00608] (L-22) A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.

2. Project # 1004639 06DRB-00254 Major-SiteDev Plan Subd 06DRB-00255 Major-Preliminary Plat Approval 06DRB-00256 Minor-Sidewalk Variance 06DRB-00257 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) tor WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-B, ACRES ADDITION (to be known as VENTANA DEL BOSQUE SUBDIVISION) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON DR NW and LULAC AVE NW containing approximately 5 [REF: acre(s). [Deferred from 06DRB00055] 3/22/061 DEFERRED AT THE AGENT'S REQUEST 3/29/06.

3. Project # 1004709 06DRB-00222 Major-SiteDev Plan BldPermit

JOHN KLEE ARCHITECTURE agent(s) for THREE AM, LLC request(s) the above action(s) for all or a portion of Lot(s) 2, Phase 2, JOURNAL CENTER, UNIT 2, zoned IP, located on WASHINGTON NE, between RUTLEDGE NE and WOLCOTT containing approximately 1 acre(s). (D-17) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TRANSPORTATION DEVELOPMENT **FOR** SIDEWALK NOTES AND PARKING SPACES AND **PLANNING** FOR TO JOURNAL ARCHITECTURAL REVIEW COMMITTEE APPROVAL LETTER, 3 COPIES OF THE SITE PLAN AND THE 15-DAY APPEAL PERIOD.

4. Project # 1000128 06DRB-00247 Major-Vacation of Public Easements 06DRB-00248 Minor-Prelim&Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for RANDALL HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) D, Lot(s) 46-P1, 47-P1 & 48-P1, **STONEBROOKE ESTATES**, zoned RD (7DU/AC) located on SUNNY BROOK ST NE, between EAGLE ROCK AVE NE and PEBBLE STONE PL NE containing approximately 1 acre(s). [REF: 03DRB00640, 03DRB00659, 04DRB00580, 04DRB00581] (C-19) **THE VACATION WAS**

APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEERING FOR GRADING AND DRAINAGE CERTIFICATION AND TO PLANNING FOR THE 15-DAY APPEAL PERIOD.

5. Project # 1004717
06DRB-00253 Major-Vacation of Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for SKY BLUE INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, SONORA SUBDIVISION, zoned R-D residential and related uses zone, developing area, located on TESORO PL NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). (C-18) VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

6. Project # 1001469
06DRB-00232 Major-Vacation of Pub
Right-of-Way

GARCIA/KRAEMER & ASSOCIATES agent(s) for JAMES STONE request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 5, SUNSET TERRACE, zoned R-1 residential zone, located on STANFORD DR NE, between MOUNTAIN RD NE and COLUMBIA DR NE containing approximately 1 acre(s). [REF: 01ZHE01303, 01ZHE01401, 01BOA01662, 01BOA01634] [Deferred from 3/15/06] (J-16) VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. Project # 1001445
06DRB-00317 Minor-Amnd SiteDev
Plan Subd/EPC
06DRB-00318 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for JENNIFER LIN request(s) the above action(s) for all or a portion of Lot(s) 13-B, BLACK RANCH (to be known as HONG KONG CHINESE BUFFET) zoned SU-1 FOR C-1/O-1, located on COORS BLVD NW, between SEVEN BAR LOOP NW and ALAMEDA BLVD NW containing approximately 3 acre(s). [Stephanie Shumsky, EPC Case Planner] AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENTS. DECEL LANE AND CROSS SECTIONS AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENTS, DECEL LANE AND CROSS SECTIONS AND TO PLANNING FOR STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES OF THE SITE PLAN.

8. Project # 1000195 06DRB-00304 Minor-SiteDev Plan BldPermit/EPC CLAUDIO VIGIL ARCHITECTS agent(s) for ASSOCIATED BUILDERS AND CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) M & L, GATEWAY INDUSTRIAL PARK, zoned SU-1/PID, special use zone, located on BROADWAY BLVD NE, between MENAUL BLVD NE and CLAREMONT AVE NE containing approximately 3 acre(s). [REF: 05DRB01545, 06EPC00012] [Stephanie Shumsky, EPC Case Planner] [Deferred from 3/15/06] (H-15) SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN.

9. Project # 1003551 06DRB-00354 Major-Final Plat Approval BRASHER & LORENZ agent(s) for NAYLOR DEVELOPMENT CORP LLC request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 19, 20 & 21, Block(s) 11, Tract(s) 1, NORTH ALBUQUERQUE ACRES, UNIT 3, zoned R-D residential and related uses zone, developing area, located on GLENDALE AVE NE. between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: 05DRB01183, 05DRB001184] (B-19) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT WATER/SEWER 25-FOOT FOR GRANTED TO ABCWUA, ADD PUE DEDICATION LANGUAGE TO COVER SHEET, ADD SIDEWALKS TO NOTE 12 AND TO PLANNING TO RECORD.

10. Project # 1003442 06DRB-00348 Minor-Prelim&Final Plat Approval WILKS COMPANY agent(s) for BRENT HEISCH request(s) the above action(s) for all or a portion of Tract(s) 37, ALVARADO GARDENS, UNIT 2, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between GLENWOOD NW and TRELLIS NW containing approximately 2 acre(s). [REF: 04DRB01864] (G-12) PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.

11. Project # 1004760 06DRB-00349 Minor-Prelim&Final Plat Approval JACKS HIGH COUNTRY INC agent(s) for JJ & J PROPERTIES LLC request(s) the above action(s) for all or a portion of Tract(s) B-1-B-1, WEST 66 ADDITION, zoned C-2 community commercial zone, located on CENTRAL AVE NW, between UNSER NW and AIRPORT NW containing approximately 7 acre(s). (K-10) INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.

TERRAMETRICS OF NEW MEXICO agent(s) for JON E BOLTZ request(s) the above action(s) for all or a portion of Lot(s) 10, SIERRA BONITA ADDITION, zoned R-1 residential zone, located on BELL ROSE AVE NW, between 12TH ST NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 05DRB00743, 05DRB01219] (F-14) PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK AND TO PLANNING TO RECORD.

13. Project # 1000961 06DRB-00158 Minor-Prelim&Final Plat Approval

CARTESIAN SURVEYS INC agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or a portion of Tract(s) C, NORTH GATEWAY, zoned IP industrial park zone, located on SAN MATEO BLVD NE, between BALLOON FIESTA PARKWAY NE and 125 containing approximately 17 acre(s). [REF: AA-97-98, ZA-97-375, V-97-7, DRB-97-6, ZA-92-107, 00DRB01730] [Indef deferred from 2/15/06] [Was Listed under Project #1003790 in error] [Indef Deferred for SIA on 3/22/06] (B-18) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/22/06 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: THE SITE PLAN FOR SUBDIVISION MUST BE AMENDED, GRANT A CUL-DE-SAC RADIUS ON SAN MATEO. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.

NO ACTION IS TAKEN ON THESE CASES: APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. Project # 1002962 06DRB-00353 Minor-Sketch Plat or Plan WILSON & COMPANY agent(s) for THE TRAILS LLC, request for DRB recommendations to listing of Infrastructure for The Trails, PID (Public Improvement District), for all or a portion of Tract(s) 1-12 THE TRAILS, UNIT 2, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT NW containing approximately 190 acre(s). [REF: 04DRB01319] (C-9) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

15. Project # 1004752 06DRB-00336 Minor-Sketch Plat or Plan RUTHERFORD DESIGN & CONSTRUCTION agent(s) for WILLIAM & JUDITH KILLGORE request(s) the above action(s) for all or a portion of Lot(s) 1 & 3, Block(s) A, LUKE SUBDIVISION, zoned RA-1 residential and agricultural zone, semi-urban area, located on RIO GRANDE BLVD NW, between LUKE CIRCLE NW and CANDELARIA RD NW containing approximately 1 acre(s). (G-13) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

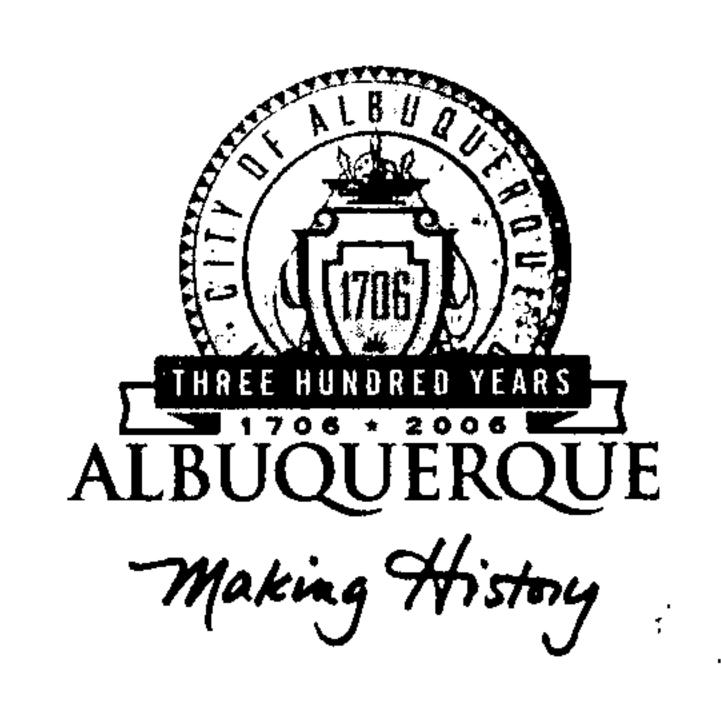
16. Project # 1004602 06DRB-00316 Minor-Sketch Plat or Plan ROBERT JENKINS request(s) the above action(s) for all or a portion of Lot(s) G, ALVARADO GARDENS, UNIT 2, zoned RA-2, located on TRELLIS NW, between CANDELARIA RD NW and CAMPBELL RD NW containing approximately 1 acre(s). (G-12) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

17. Project # 1004743 06DRB-00311 Minor-Sketch Plat or Plan ANTHONY MONTOYA request(s) the above action(s) for all or a portion of Lot(s) 55 & 56, Tract(s) A, RINCONADA MESA, located on UPPER CANYON CT NW and 67TH ST NW and containing approximately 2 acre(s). (F-10) THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

18. Approval of the Development Review Board Minutes for March 15, 2006. THE DRB MINUTES FOR MARCH 15, 2006 WERE APPROVED BY THE BOARD.

ADJOURNED: 12:10 P.M.





PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

	;	
	DRB CASE NO/PROJECT NO: 1004163	AGENDA ITEM NO: 12
	SUBJECT:	
	Final Plat Preliminary Plat	
	ACTION REQUESTED:	
	REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()	
O. Box 1293	ENGINEERING COMMENTS:	
lbuquerque	No adverse comments.	
		•
New Mexico 87103	RESOLUTION:	
1	APPROVED; DENIED; DEFERRED; COMMEN	TS PROVIDED; WITHDRAWN
ww.cabq.gov	SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)
	DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)
	FOR:	
	SIGNED: Bradley L. Bingham City Engineer/AMAFCA Designee	DATE : March 22, 2006

CITY OF ALBUQUERQUE Planning Department March 22, 2006 **DRB Comments**

ITEM # 12

PROJECT # 1004136 APPLICATION # 06-00350

RE: Sierra Bonita Addition/p&f

AGIS dxf is not approved. W

Is the structure (accessory building) going to be demolished? If not, is there a 5 foot setback on the east side?

Planning will take delegation for the AGIS dxf approval, and to record the plat.

Andrew Garcia, Planning Alternate 924-3858 fax 924-3864 agarcia@cabq.gov

4163

DXF Electronic Approval Form

DRB Project Case #:	1004163	
Subdivision Name:	SIERRA BONITA LOTS 1	0A & 10B
Surveyor:	PHILIP W TURNER	
Contact Person:	PHILIP W TURNER	
Contact Information:	881-2903	
DXF Received:	3/21/2006	Hard Copy Received: 3/22/2006
Coordinate System:	NMSP Grid (NAD 27)	
DIMML		3-22-2006
	Approved	Date
* The DXF file canno	t be accepted (at this time)	for the following reason(s):

AGIS Use Only

Copied fc 4163

to agiscov on 3/22/2006

Contact person notified on 3/22/2006

PLANNING TRACKING LOG

5/18/65 Date	Project Name & # Scerra Bosuta Pry 1004163	Action Request Altth	Action Taken Reviewed and Comments My
8/10/05	Same Prof/104/63	Sketch	Comments Given
3/22/06	1004163	Mina Pl	an appropried

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD - SPEED MEMO

DRB CASE NO	PROJECT NO: 1	<u>004163</u>	AGENDA ITEM N	O: 12
SUBJECT:				•
Sketch Plat				
ACTION REQUES	STED:			
REV/CMT: (X)	APPROVAL: ()	SIGN-OFF: ()	EXTN: ()	AMEND: ()

ENGINEERING COMMENTS:
No adverse comments.

P.O. Box 1293

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED \ COMMENTS PROVIDED \ ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham

City Engineer / AMAFCA Designee

DATE: August 10, 2005



City of Albuquerque Parks and Recreation Department

PO Box 1293, Albuquerque, New Mexico 87103 Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004163	DRB Date:	8/10/2005
Application Number: 05DRB-01219	Item Number:	12
Subdivision:	Request for:	
Lots 10, Sierra Bonita Addition	Sketch Plat Review & Comment Bulk Land Variance Site Development Plan for Subdivision	
Zoning: R-1	'	t Plan for Building Permit
Zone Page: F-14	☐ Vacation of Publication of Publication	
New Lots (or units): 1	☐ Vacation of Priva	te Easement of Sidewalk Construction
Parks and Recreation Comments:		
This development will be subject to Parks, Recreation, Trails building permit.	s and Open Space Impa	ct Fees due at
Signed: Christina Sandoval, (DMD)	 Phone: 768-380	8

CITY OF ALBUQUERQUE PLANNING DEPARTMENT August 10, 2005 DRB Comments

ITEM # 12

PROJECT # 1004163

APPLICATION # 05-01219

Re: Sierra Bonita Addition/sketch plat

The sketch appears to meet the lot size requirements in the R-1 zone. However, the existing house has lost some of its square footage since the last sketch plat heard at DRB on 5-18-05 according to one of the sketches provided with this application.

Sheran Matson, AICP DRB Chair 924-3880

Fax 924-3864 smatson@cabq.gov



IMPACT FEES - # 1004163

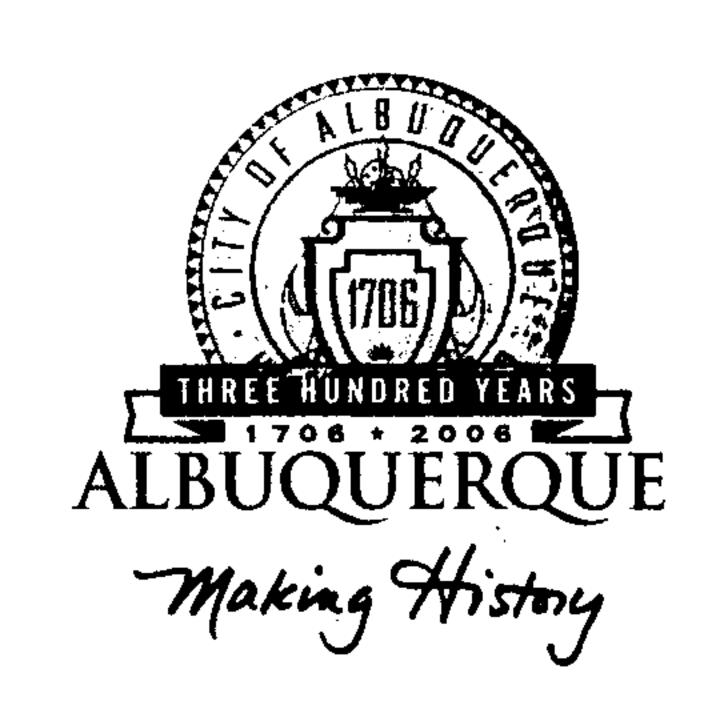
Development Review Board 8/10/05 Agenda Item #12 Sketch Plat: Lot 10, Sierra Bonita Addition

Construction of each new single family residence will require payment of Impact Fees. Based on a house size between 1,500 square feet and 2,499 square feet, it is estimated that impact fees will total approximately \$1,296 if a building permit is obtained by December 30, 2005, \$2,554 if a permit is obtained prior to December 29, 2006, and \$3,812 thereafter.

JACK CLOUD
IMPACT FEE ADMINISTRATOR



CITY OF ALBUQUERQUE.



PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

City Engineer / AMAFCA Designee

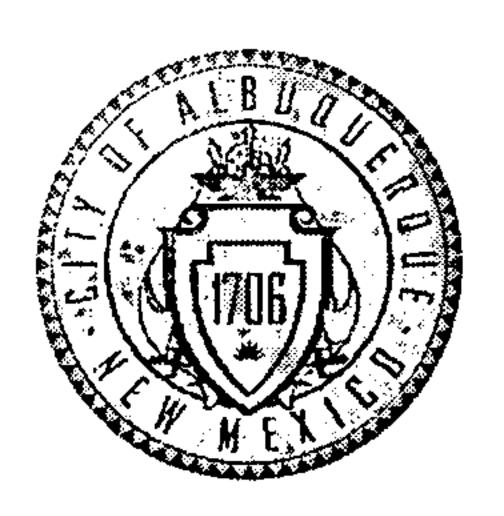
	DEVELOPMENT REVIEW BOARD – SPEED	MEMO
	DRB CASE NO/PROJECT NO: 1004359	AGENDA ITEM NO: 13
	SUBJECT:	
	Sketch Plat	
	ACTION REQUESTED:	
	REV/CMT: (X) APPROVAL: () SIGN-OFF	F: () EXTN: () AMEND: ()
	ENGINEERING COMMENTS: An approved grading and drainage report must be on	file prior to Preliminary Plat approval.
P.O. Box 1293	RESOLUTION:	
Albuquerque	APPROVED; DENIED; DEFERRED; COMM	MENTS PROVIDED X ; WITHDRAWN
	SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP)	BY: (UD) (CE) (TRANS) (PRKS) (PLNG)
New Mexico 87103	DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP)	TO: (UD) (CE) (TRANS) (PRKS) (PLNG)
	FOR:	
www.cabq.gov	SIGNED: Bradley L. Bingham	DATE: August 10, 2005

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1004359	Item No. 13	Zone Atlas	H-12
DATE ON AGENDA 8-10	0-05		
INFRASTRUCTURE REQU	JIRED (X)YES ()NO		
CROSS REFERENCE:			
TYPE OF APPROVAL RE	EQUESTED:		
(X) SKETCH PLAT () F	PRELIMINARY PLAT) FINAL PLAT	
()SITE PLAN REVIEW	V AND COMMENT () S	SITE PLAN FOR	SUBDIVISION
()SITE PLAN FOR BU	JILDING PERMIT		
No.	Comment		

- 1) Cross-sections of both Rice and Duranes need to be provided to determine if dedication and/or improvements are needed. The cross-sections should depict the property line in relation to the paved section, curb & gutter and sidewalk.
- 2) Landscaping at the corner will have to be evaluated for sight distance requirements.
- 3) Are these P1 lots? How is the off-street parking requirement being met?
- 4) Use of a shared drivepad will require x-access to be recorded on the plat.
- 5) Why isn't a radius being dedicated at the intersection?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



City of Albuquerque Parks and Recreation Department

PO Box 1293, Albuquerque, New Mexico 87103 Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004359	DRB Date:	8/10/2005
Application Number: 05DRB-01244	Item Number:	13
Subdivision:	Request for:	
Lots 17, Rice's Duranes Addition, Unit 1	Sketch Plat Review Bulk Land Variance	
	; <u> </u>	Plan for Subdivision Plan for Building Permit
Zoning: R-2	Preliminary Plat Final Plat	
Zone Page: H-12	☐ Vacation of Public ☐ Vacation of Public	
New Lots (or units): 3	☐ Vacation of Private ☐ Temp. Deferral of	e Easement Sidewalk Construction
	Sidewalk Variance SIA Extension	
	Other	
Parks and Recreation Comments:		
This development will be subject to Parks, Recreation, building permit.	Trails and Open Space Impac	t Fees due at
Signed: Signed:		
Christina Sandoval, (DMD)	Phone: 768-3808	

CITY OF ALBUQUERQUE PLANNING DEPARTMENT May 18, 2005 DRB Comments

ITEM # 24

PROJECT # 1004163

APPLICATION # 05-00743

RE: Lot 10, Sierra Bonita Additon/sketch

R-1 zoning requires a 60' minimum lot width and 6,000 square minimum lot size unless applicant can prove a pattern of smaller lot sizes already exists in the neighborhood, namely 50' and 5,000 square feet.

Sheran A Matson, AICP

924-3880 Fax 924-3864

smatson@cabq.gov

CITY OF ALBUQUERQUE

SIGNED: Bradley L. Bingham

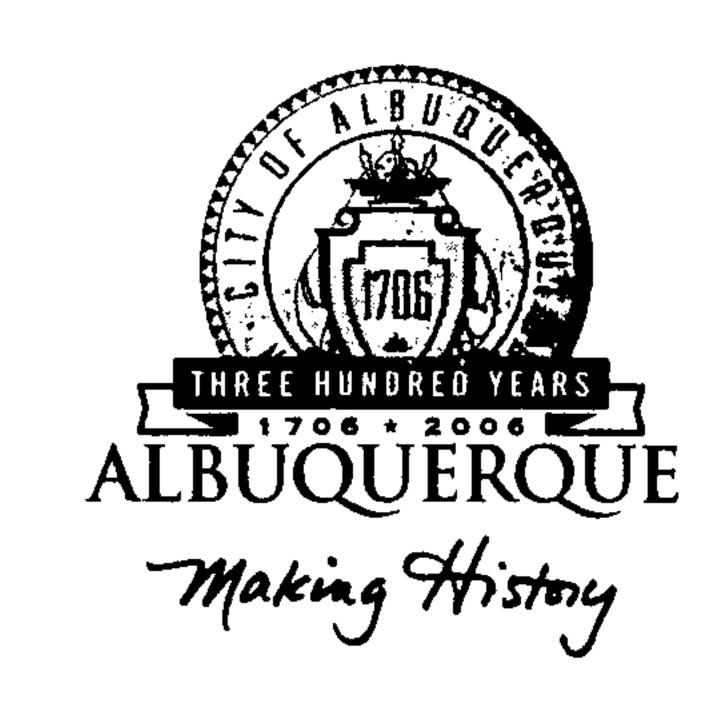
City Engineer/AMAFCA Designee

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE	NO/PROJECT NO: 1004163	AGENDA ITEM NO: 24
SUBJECT:		
Sketch Plat/P	lan	
ACTION REO	<u>UESTED:</u>	
REV/CMT:(x	a) APP:() SIGN-OFF:() EXTN:() AMENI	D:()
ENGINEERIN	G COMMENTS:	
No adverse com	ments.	
RESOLUTION	•	discussed
APPROVED	; DENIED; DEFERRED; COMM	~
SIGNED-OFF:	(SEC-PLN) (SP-SUB) (SP-BP) (FP) BY	Y: (UD) (CE) (TRANS) (PKS) (PLNG
): (UD) (CE) (TRANS) (PKS) (PLNG)
FOR:		

DATE: May 18, 2005



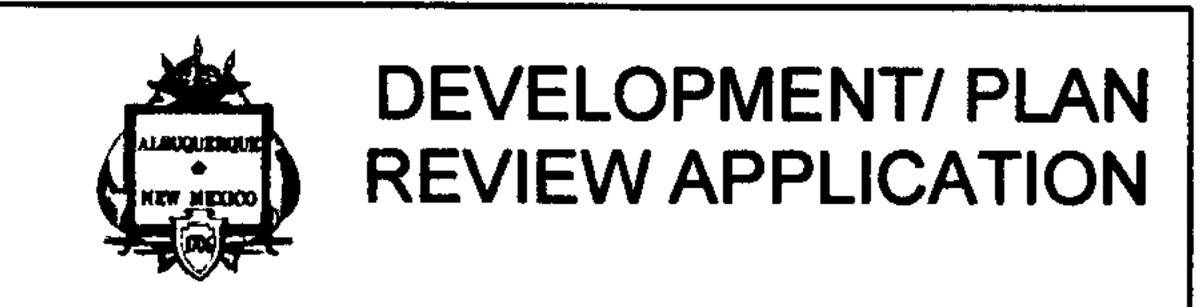
City of Albuquerque Parks and Recreation Department

PO Box 1293, Albuquerque, New Mexico 87103 Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004163	DRB Date:	5/18/2005
Application Number: 05DRB-00743	Item Number:	24
Subdivision:	Request for:	
Lots 10, Sierra Bonita Addition		
Zoning: R-1	Preliminary Plat Final Plat	
Zone Page: F-14	☐ Vacation of Publ☐ Vacation of Publ	
New Lots (or units): 1	☐ Vacation of Priva	ate Easement of Sidewalk Construction
Parks and Recreation Comments:		
This development will be subject to impact fees for Park building permit pulled.	s, Recreation, Trails and Op	en Space for every
Signed: Signed:		
Christina Sandoval, (DMD)	Phone: 768-3808	3

A City of Albuquerque



			S	upplem	ental	form			
	SUBDI			S	Z	ZONING & PL	ANNING		
		Major Subdivision action Minor Subdivision action				Annex		Cultura ittal	
		Vacation		V			EPC Su	Submittal bmittal	
		Variance (Non-Zoning)		•		Zone N		dment (Establish or Change	
	SITE D	EVELOPMENT PLAN		P		Zoning)	Dian /Dha		
	311E D	for Subdivision Purposes				•	Plan (Phadment to Se	ector, Area, Facility or	
		•				Compreh	ensive Pla	n	
		for Building Permit						(Zoning Code/Sub Regs)	
		IP Master Development P Cert. of Appropriateness (i	Α	APPEAL / PR		inge (Local & Collector)	
	STORM	1 DRAINAGE		D				PC, LUCC, Planning Director or Sta	aff,
		Storm Drainage Cost Allocation	Plan	_			ing Board of	•	
Depa appli	rtment Der cation. Re	velopment Services Cer fer to supplemental form	nter, 600 2 nd Stree	et NW,	Albud	-		lication in person to the Plares must be paid at the time	
	ICANT INFO							<i>-</i>	
N	IAME: <u>)0 t</u>	NEBOLTZ					PHONE:	450-7200	· -
A	DDRESS:	1420 BELLE	205E AVE	N	W		FAX:		
	 	BUQUERQUE				87107			
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		erest in site: $OWHER$							
A	GENT (if any	1): TERRAMETRI	CS OFNEU) ME	-X1C	-0	PHONE:	281-2903	···
A	DDRESS:_	4175-A MONTGO	MERY BLU	D 1	1E		FAX:	881-2591	
C	ITY: ALBO	LOUEROUS	STATE	NM	<i>7</i> IP	87109	F-MAII	Pturnarioole gues	tine
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SITE I	NFORMATIC	N: ACCURACY OF THE LE	GAL DESCRIPTION	S CRUC	IALI	ATTACH A SEPAR	RATE SHEE	T IF NECESSARY.	
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		g: <u>/<-</u> /		Pro	oposed	i zoning: <u>R</u> -			
Z	one Atlas pa	ge(s): <u>F-14</u>	· ·	No	. of ex	isting lots:/_		No. of proposed lots:	
T	otal area of s	ite (acres): 0.3444	Density if applicable:	dwelling	s per (gross acre:		dwellings per net acre:	
V	Vithin city limi	ts? Yes. No, but site	is within 5 miles of the	e city limi	ts.)			00FT of a landfill?	
	_	1406102903		_	-			Map No. 32	• •
						<u> </u>		Map №	
		F PROPERTY BY STREETS:							
В	etween: /2	2 TH ST, HW		and _	K10	GRANDE	<u>= 134</u>	JD NW	
CASE	HISTORY:								
"		nt or prior case number that n	nay be relevant to you	r applica	tion (P	roj., App., DRB-, A	X_,Z_, V_,	S_, etc.):	
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OR O	FFICIAL US	SE ONLY						Form revised 4/04	
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	fees have bee		<u></u>				conf	\$ 20.00	
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] F.H	I.D.P. fee reba	ate	Hearing date3	-22	-0(<u></u>		Total 5.	
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FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

Scale drawing of the proposed submeetings. Sketches are not revised. Site sketch with measurements ship improvements, etcetera, if there improvements are not revised. Zone Atlas map with the entire proposed submeetings. Sketches are not revised in the submeeting and submeeting in the second submeeting. Any original and/or related file numbers.	division plat (folded to fit into a riewed through internal routing owing structures, parking, Bld e is any existing land use (folderty(ies) precisely and clearly, and justifying the request	g. setbacks, adjacent rights-of-wa ded to fit into an 8.5" by 14" pock outlined and crosshatched (to be	or unadvertised ay and street et) 6 copies.
MAJOR SUBDIVISION EXTENSION Preliminary Plat reduced to 8.5" x **		Your attendance i	s required.
Zone Atlas map with the entire proposition Letter briefly describing, explaining Copy of previous D.R.B. approved in Copy of the LATEST Official D.R.B. Any original and/or related file numbers.	perty(ies) precisely and clearly and justifying the request infrastructure list Notice of approval for Prelimin	nary Plat Extension request	photocopied)
Extensions are not reviewed througe Extension of preliminary plat approval e	h internal routing.		
 MAJOR SUBDIVISION FINAL PLAT Proposed Final Plat (folded to fit info Design elevations & cross sections Zone Atlas map with the entire propo Original Mylar drawing of the propo Property owner's and City Surveyor Copy of recorded SIA Landfill disclosure and EHD signatur Any original and/or related file numbers DXF FILE AND HARD COPY OF 	to an 8.5" by 14" pocket) 6 costs of perimeter walls 3 copin perty(ies) precisely and clearly sed plat for internal routing on the signatures on the Mylar drawing if bers are listed on the cover appears are listed and the cover appears are li	es outlined and crosshatched (to be ly. Otherwise, bring Mylar to mee wing property is within a landfill buffer plication	photocopied)
MINOR SUBDIVISION PRELIMINAR			is required
Proposed Preliminary / Final Plat (for copies for internal routing. Site sketch with measurements should be supported in the copy of the proposed property owner's and City Surveyor Landfill disclosure and EHD signature fee (see schedule) Any original and/or related file number of the proposed property owner's and City Surveyor Landfill disclosure and EHD signature fee (see schedule) Any original and/or related file number of the property owner's and City Surveyor Landfill disclosure and EHD signature fee (see schedule) Any original and/or related file number of the property owner's and City Surveyor Landfill disclosure and EHD signature fee (see schedule) Any original and/or related file number of the property of the pr	owing structures, parking, Bld e is any existing land use (fold perty(ies) precisely and clearly and justifying the request sed plat for internal routing only is signatures on the Mylar drawing if the bers are listed on the cover appears are listed on th	g. setbacks, adjacent rights-of-waded to fit into an 8.5" by 14" pock outlined and crosshatched (to be wing property is within a landfill buffer oplication	et) 6 copies. photocopied)
AMENDMENT TO INFRASTRUCTU AMENDMENT TO GRADING PLAN PLEASE NOTE: There are no clear dis amendments. Significant changes are Proposed Amended Preliminary Plat 6 copies for unadvertised meet unadvertised meetings Original Preliminary Plat, Infrastruct unadvertised meetings Zone Atlas map with the entire prop Letter briefly describing, explaining Original Mylar drawing of the propo Property owner's and City Surveyor Any original and/or related file numbers.	PLAT (with minor changes) (With minor changes) (Stinctions between significant at those deemed by the DRB to eat, Infrastructure List, and/or Getings. (Stinctions between significant at those deemed by the DRB to eat, Infrastructure List, and/or Getings. (Stings)	Your attendances) and minor changes with regard to require public notice and public he rading Plan (folded to fit into an 8 (folded to fit into an 8 outlined and crosshatched (to be routing only. Otherwise, bring Mywing, if the plat is being amended	earing. 5.5" by 14" pocket) cocket) 6 copies for photocopied) lar to meeting.
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.	PHILIP W.	Applicant name (print 3/14/06) Applicant signature / date Form revised 8/04, 1/05 & 10/05	NEW MEXICO
Checklists complete Applicat Fees collected Case #s assigned Checklists complete Applicat Applicat OLIRI OLIRI	ion case numbers - 0035	· ·	ner signature / date
Related #s listed		Project # 1004	165

Terrametrics of New Mexico

Professional Land Surveyor
P.O. Box 30192
Albuquerque, New Mexico 87190-0192
505 881-2903; FAX 505 881-2591; Mobile 505 379-4301

March 14, 2006

City of Albuquerque Planning Department 600 2nd St. NW Albuquerque, NM 87103

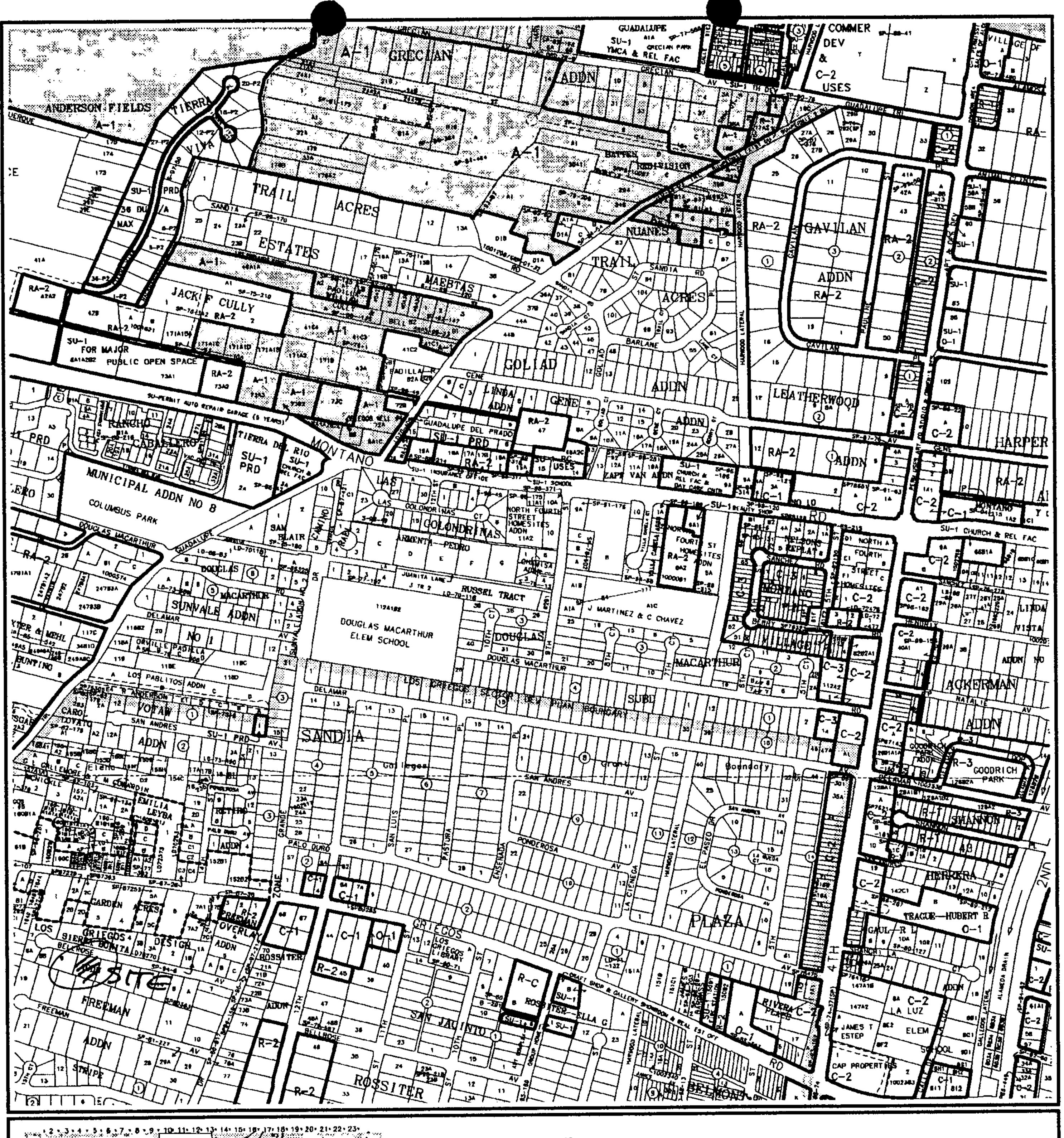
Re: Replat of Lot 10 of Sierra Bonita Addition

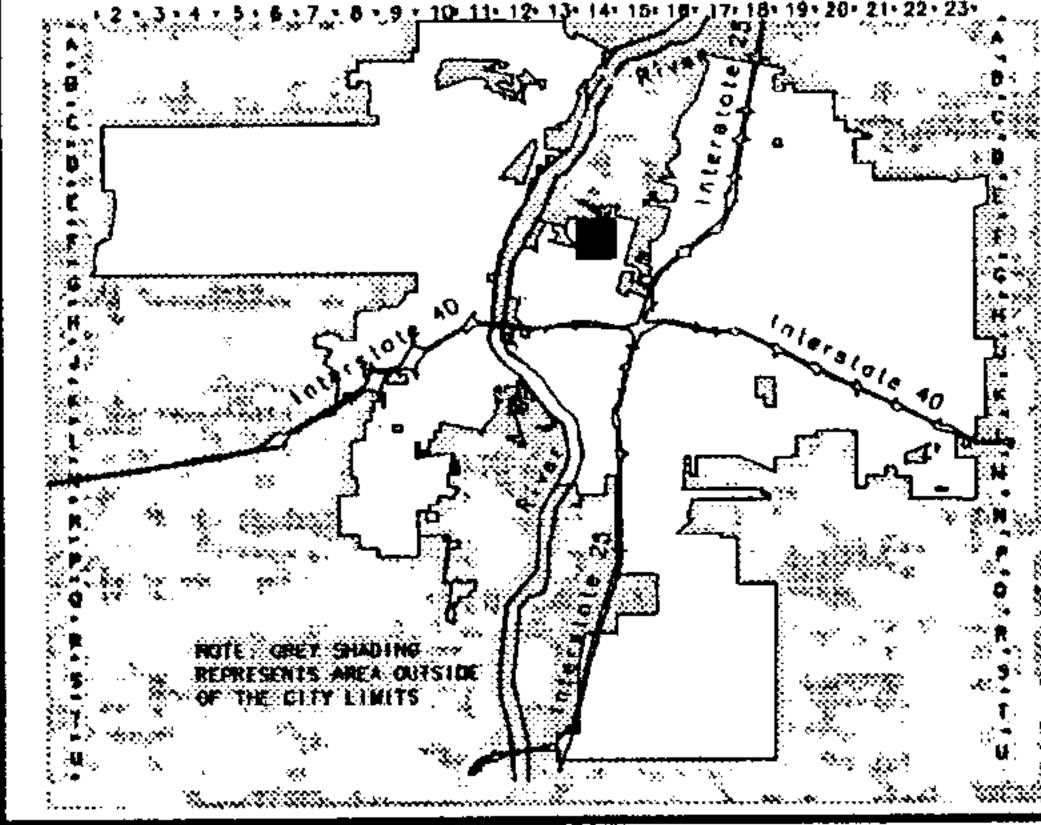
City of Albuquerque Planning Department:

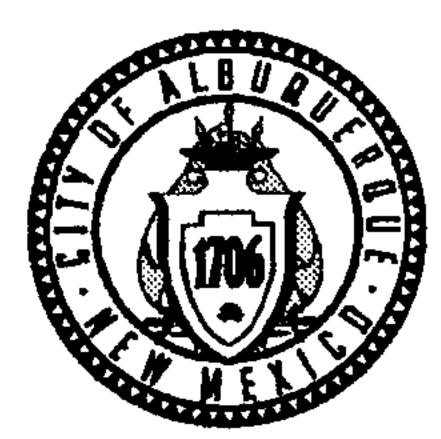
The owner of the referenced property, Jon E. Boltz, desires a replat of the property in order to split the existing lot into two lots to be designated Lot 10-A and Lot 10-B. The property is zoned R-1 and is situate on the south side of Bellrose Avenue, NW between Twelfth Street, NW and Rio Grande Boulevard, NW and South of Griegos Road, NW. There is a residence on the westerly lot that will remain.

Thank you for your consideration of this matter.

Philip W. Turner, PS

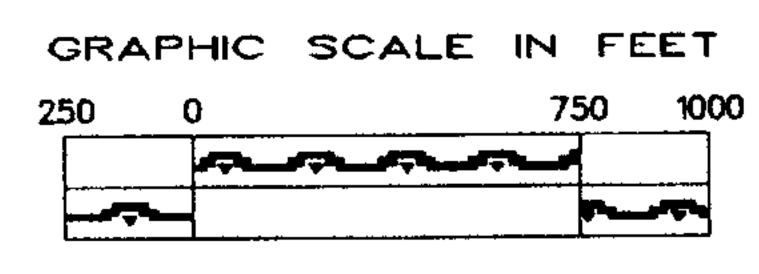






Abquerque Geographic Information System
PLANNING DEPARTMENT

C Copyright 2004

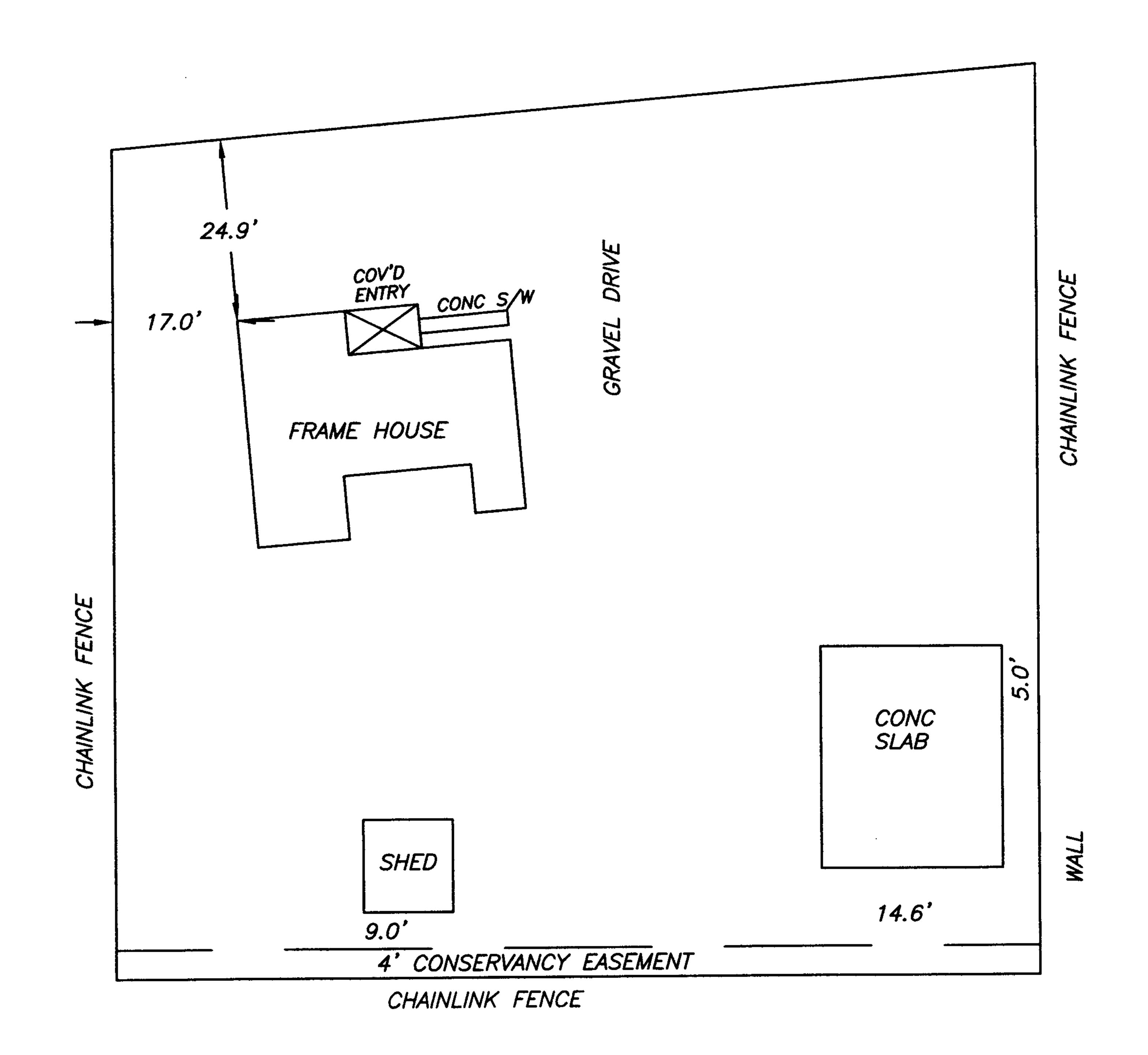


Zone Atlas Page

F-14-Z

Map Amended through August 03, 2004

BELLROSE AVENUE 50' ROW



ONE STOP SHOP CITY OF ALBUQUERQUE PLANNING DEPARTMENT Development & Building Services

PAID RECEIPT

APPLICANT NAME	10N E. BOITZ
AGENT	TERRAMETRICS OF NW
ADDRESS	4175-A Monteronery
PROJECT & APP #	1004/63/06DRB-00350
PROJECT NAME	LOT 10 SIERRA BONIFA
\$ <u>20.56</u> 441032/3	424000 Conflict Management Fee
\$. <u>286</u> -50 441006/4	983000 DRB Actions
\$ 441006/4	971000 EPC/AA/LUCC Actions & All Appeals
\$ 441018/4	971000 Public Notification
()Maj () Let	983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY*** jor/Minor Subdivision ()Site Development Plan ()Bldg Permit tter of Map Revision ()Conditional Letter of Map Revision affic Impact Study
\$ 305. TOTAL	AMOUNT DUE
***NOTE: If a subsequen	t submittal is reauired, bring a copy of this paid receipt with you to ayoid

additional charge.

DUFI_ICATE

City Of Albuquerque Treasury Division

3/14/2006

10:20AM

LOC' ANNX

RECEIPT# 00054418 US# 008 Counterreceipt.doc_6/21/04 Fund TRANS# 0014

Activity 3424000

Fund 0110

Trans Amt

TRSCMG

\$305.00

J24 Misc

\$20.00 · Thank You

DUPLICATE

City Of Albuquerque Treasury Division

3/14/2006

10:21AM

LOC: ANNX

RECEIPT# 00054419 WS# 008 TRANS# 0014

Fund 0110

Account 441006 Activity 4983000

TRSCMG

Trans Amt

\$305.00

J24 Misc

VI

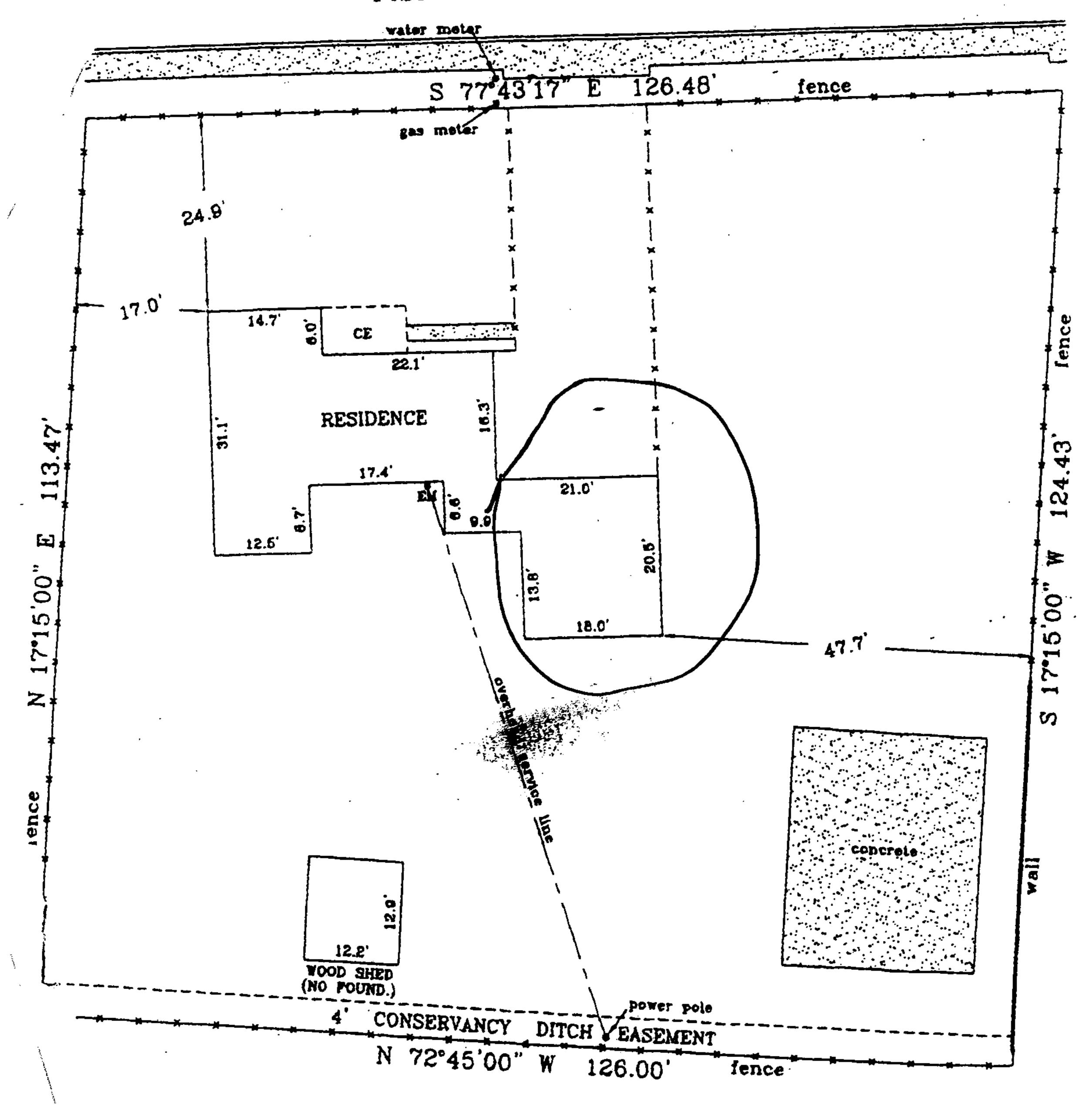
CHANGE

\$285.00

\$305.00 \$0.00

Existing
Layout of
Property located at;

1420 BELLROSE AENUE N.W.

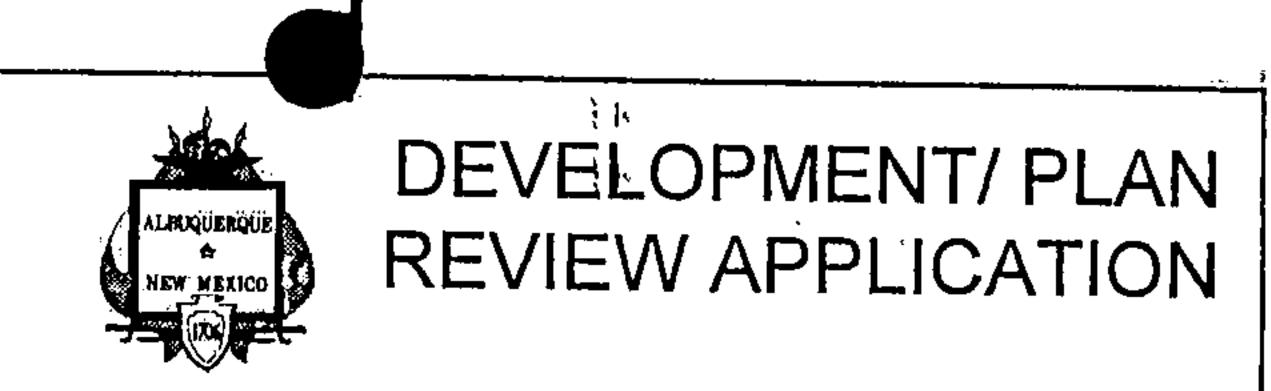


ArcIMS Viewer

Page 1 of 2



Acity of Albuquerque



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	VISION -Major Subdivision action		S Z	ZONING & PL			
	Minor Subdivision action			Annex		Submittal	
	Vacation		V		EPC Su		-
•	Variance (Non-Zoning)			Zone N Zoning		dment (Estal	olish or Change
SITE D	EVELOPMENT PLAN		P	Sector	Plan (Pha	șe I, II, III)	
 ,	for Subdivision Purposes	•			dment to Seehensive F	ector, Area, i	Facility or
	for Building Permit	```	•	· · · · · · · · · · · · · · · · · · ·			de/Sub Regs)
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	I DRAINAGE	_000)	D	APPEAL / PRODecision		<u> </u>	ning Director or Sta
	Storm Drainage Cost Allocation F	Plan		ZHE, Zo	ning Board o	f Appeals	· · ·
rianning Depart	E IN BLACK INK ONLY ment Development Servion. Refer to supplement	ices Center, 600 2	''" Street I	VW. Albuaueraue	completed e, NM 871	d application 02. Fees m	n in person to nust be paid at
PPLICANT INFOR	1						
NAME:	JON E. BoHz				PHONE:	450-7	200
	420 Bellrose				FAX:		
•	·	STATE		√7107	· · - · · - · · · · · · · · · · · · · ·		
	erest in site: Ownu		1		C-IVIAIL:	· · · · · · · · · · · · · · · · · · ·	
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Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING SKETCH PLAT REVIEW AND COMMENT YOUR ATTENDANCE IS REQUIRED. Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing. Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies. Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) \geq Letter briefly describing, explaining, and justifying the request Any original and/or related file numbers are listed on the cover application MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT Your attendance is required. Preliminary Plat reduced to 8.5" x 11" Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Copy of previous D.R.B. approved infrastructure list Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request Any original and/or related file numbers are listed on the cover application Extensions are not reviewed through internal routing. Extension of preliminary plat approval expires after one year. MAJOR SUBDIVISION FINAL PLAT APPROVAL Your attendance is required. Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing. Design elevations & cross sections of perimeter walls Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting. Property owner's and City Surveyor's signatures on the Mylar drawing Copy of recorded SIA Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer Any original and/or related file numbers are listed on the cover application DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL Your attendance is required. Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing. Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies. Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request __ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting. Property owner's and City Surveyor's signatures on the Mylar drawing Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer Fee (see schedule) Any original and/or related file numbers are listed on the cover application Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. AMENDMENT TO PRELIMINARY PLAT (with minor changes) Your attendance is required. AMENDMENT TO INFRASTRUCTURE LIST (with minor changes) ☐ AMENDMENT TO GRADING PLAN (with minor changes) PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing. Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting. __ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended __ Any original and/or related file numbers are listed on the cover application Amended preliminary plat approval expires after one year I, the applicant, acknowledge that Jon E. Boltz any information required but not submitted with this application will Applicant name (print) **ĂĽBÜQUERQUĖ** likely result in deferral of actions. Applicant signature / date Form revised 8/04 & 1/05 Checklists complete Application case numbers -01219 05A RB-Fees collected Planner signature / date Case #s assigned Project # Related #s listed

Jon Boltz 1420 Bellrose Avenue NW Albuquerque, NM 87107

City of Albuquerque
Development Review Board

July 25, 2005

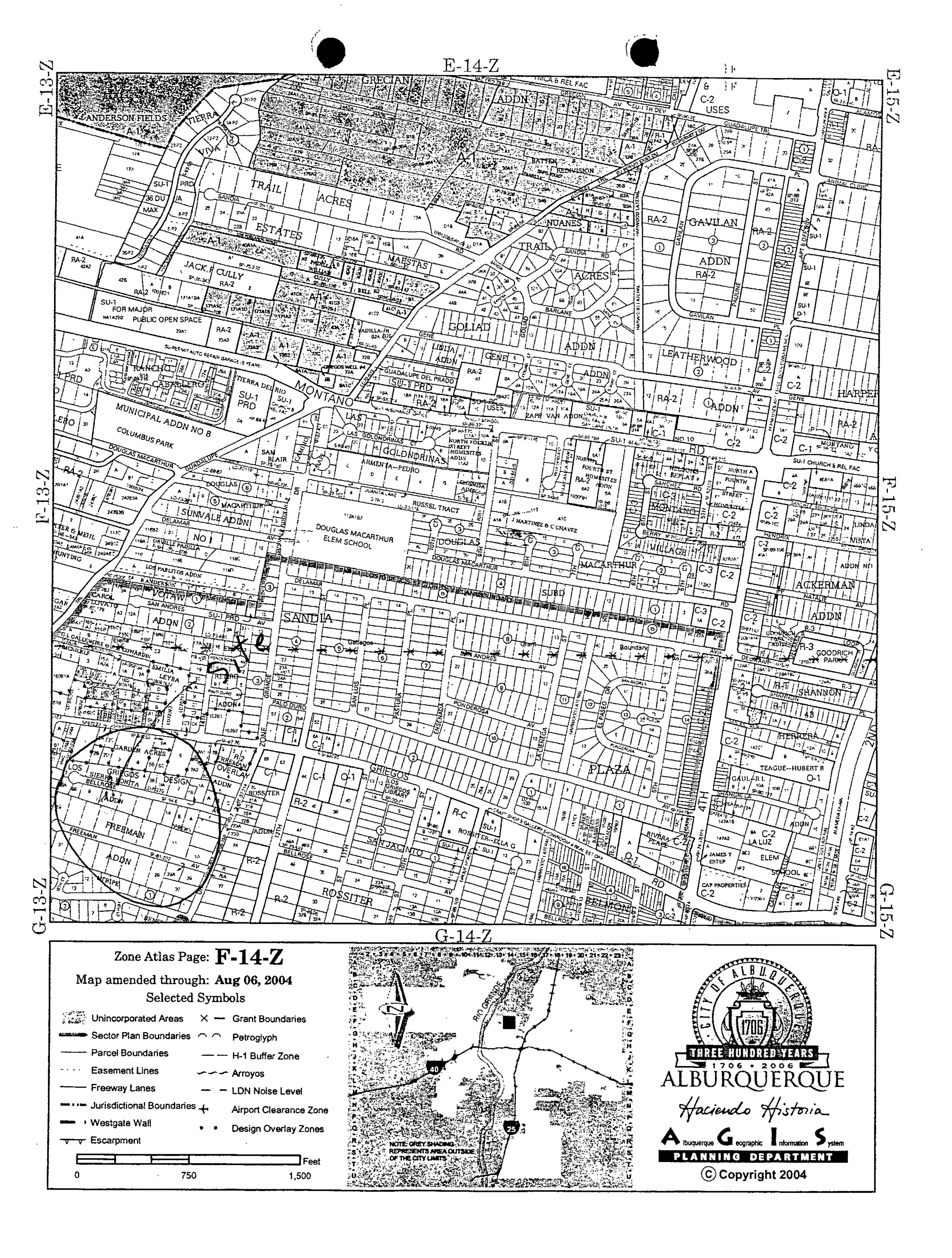
To Whom It May Concern:

I propose to divide the existing property located at 1420 Bellrose Avenue NW into two parts. The resulting new lot would provide land for another family home.

Thank you,

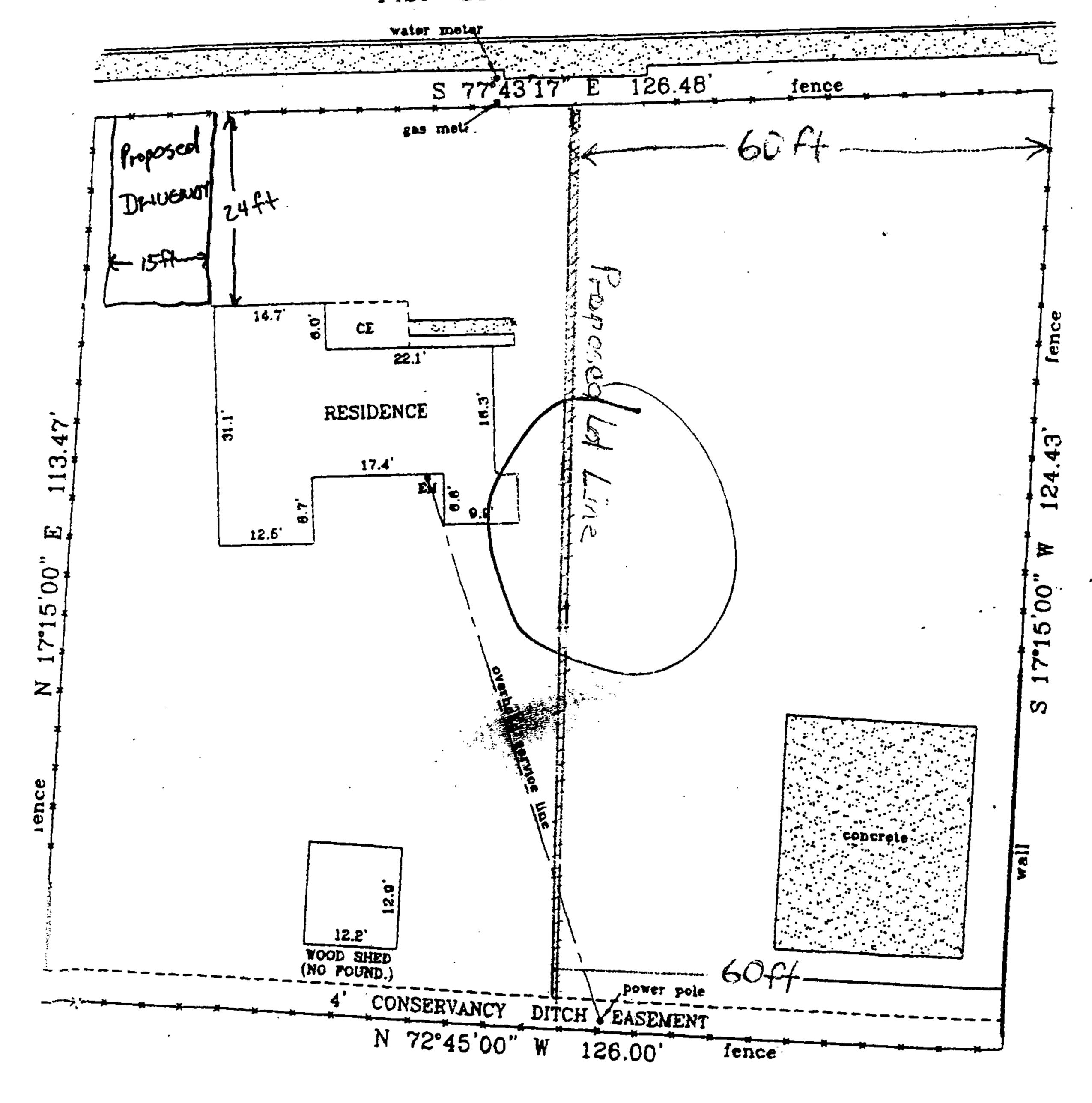
Sincerely,

Jon Boltz

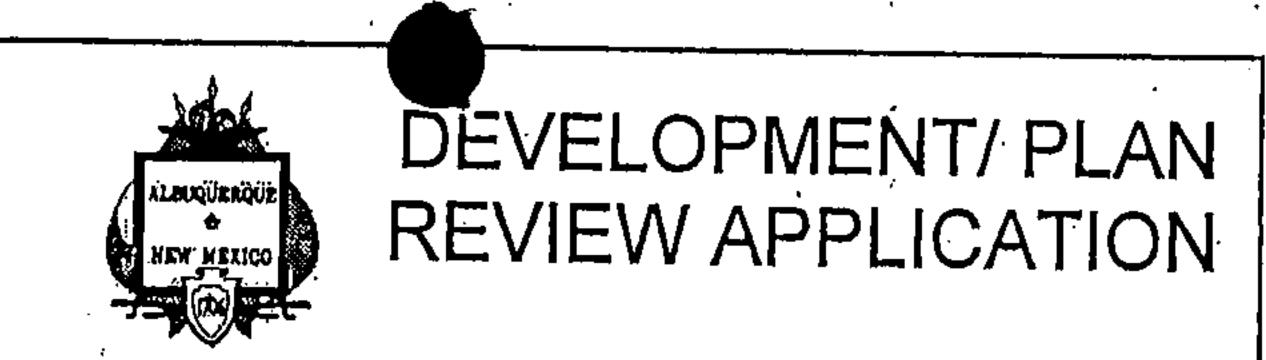


Proposed Lot Division of Proposed Located Land

1420 BELLROSE AENUE N.W.



A City of Albuquerque



SUBDIVISION Major Subdivision action	- •		
Major Subdivision action	S	Z ZONING & P	LANNING
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Minor Subdivision action			County Submittal
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Variance (Non-Zoning)			Map Amendment (Establish or Change
SITE DEVELOPMENT PLAN	P	Zonin Secto	9) r Plan (Phase I, II, III)
for Subdivision Purposes	•		idment to Sector, Area, Facility or
			rehensive Plan
for Building Permit	· ·	•	Amendment (Zoning Code/Sub Regs)
IP Master Development Plan	· _		t Name Change (Local & Collector)
CTODIA DE AMAGE	L	A APPEAL / PF	AL.
STORM DRAINAGE Storm Drainage Coat Allegation Diag	D	Decision	on by: DRB, EPC, LÜCC, Planning Director or Staff,
Storm Drainage Cost Allocation Plan			oning Board of Appeals
PRINT OR TYPE IN BLACK INK ONLY. The a Planning Department Development Services Certime of application. Refer to supplemental forms	nter, 600 2'™ Str	et NW, Albuquerau	completed application in person to the le, NM 87102. Fees must be paid at the
APPLICANT INFORMATION:			4,
NAME: JON E. 130 Hz_	•	•	DUONE. $(/ \Sigma /) \rightarrow - \sim 2 $
		· · · · · · · · · · · · · · · · · · ·	PHONE: <u>450-7200</u>
ADDRESS: 1420 Bellrose Au	e Mu		_ FAX:
CITY: DIbuguergue	STATE /M	ZIP_87/07	F-MAII ·
Proprietary interest in site:	3		
Prophetary interest in site	List <u>all</u>	owners:	
AGENT (if any):	··· · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	PHONE:
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DESCRIPTION OF REQUEST: 5 Ketch	9/a7/e		
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Is the applicant seeking incentives pursuant to the Fan	nily Housing Develo	pment Program?	YesNo
SITE INFORMATION: ACCURACY OF THE LEGAL DESC	CRIPTION IS CRIT	CΙΔΙ Ι· ΔΤΤΛΟΉ Λ ΘΕΦ	ADATE QUEET IE NECECCADY
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Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)
SKETCH PLAN REVIEW AND COMMENT Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies. Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Any original and/or related file numbers are listed on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
SITE DEVELOPMENT PLAN FOR SUBDIVISION Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies. Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Letter of authorization from the property owner if application is submitted by an agent Copy of the document delegating approval authority to the DRB Infrastructure List, if relevant to the site plan Fee (see schedule) Any original and/or related file numbers are listed on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.
Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies. Site plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies. Solid Waste Management Department signature on Site Plan Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Letter of authorization from the property owner if application is submitted by an agent Copy of the document delegating approval authority to the DRB Infrastructure List, if relevant to the site plan Completed Site Plan for Building Permit Checklist Blue-line copy of Site Plan with Fire Marshal's stamp Fee (see schedule) Any original and/or related file numbers are listed on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.
AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies. DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter briefly describing, explaining, and justifying the request Letter of authorization from the property owner if application is submitted by an agent Infrastructure List, if relevant to the site plan Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision) Fee (see schedule) Any original and/or related file numbers are listed on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.
 D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies. Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies. Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision) Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied) Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision Infrastructure List, if relevant to the site plan Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision) Any original and/or related file numbers are listed on the cover application Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original Mylar to the meeting for sign-off. Your attendance is required.
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions. Total ETSOHT Applicant name (print) Applicant name (print) Applicant signature / date Form_revised October 2004
☐ Checklists complete
Related #s listed Project # 1004163

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May 3, 2005

Dear City of Albuquerque Planning Department,

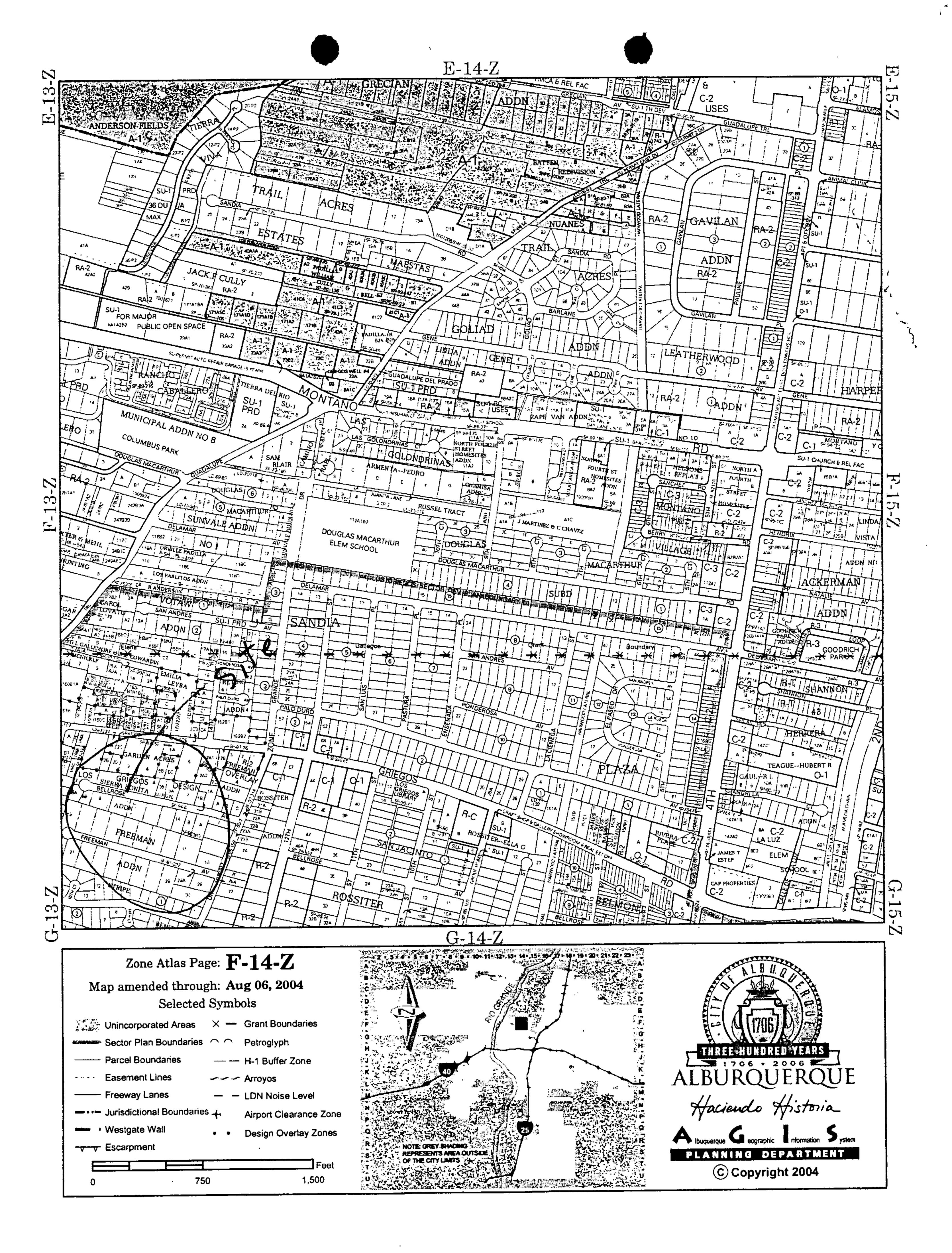
I propose to subdivide the large lot located at 1420 Bellrose Avenue NW, Albuquerque, NM 87107. The lot would be divided into two parts. Each part would have a minimum of 50 feet of road frontage, and the total area of each part would be not less than 5000 square feet.

The lot is located entirely within the city of Albuquerque's North Valley and subdividing the resulting new lot would provide land for another family home.

Thank you for your consideration.

Very Truly Yours,

Jon E. Boltz



IMPROVEMENT LOCATION REPORT CONT.

- 7). Specific physical evidence of boundary lines on all sides: existing fences and street curbing basis of improvement location report.
- 8). Is the property improved? (If structure appears to encroach or appears to violate setback lines, show approximate distance): property is improved, see sketch
- 9). Indications of recent building construction, alteration or repairs: none apparent
- 10). Approximate distance of structure from at least two lines must be shown: see sketch

NOTE: Improvement locations are based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations of record which pertain. This report is not to be relied on for the establishment of fence, buildings or other future improvements.



The above information is based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

