

#12



Complete Ag 3-31-06

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00350 (P&F)
Project Name: SIERRA BONITA ADDITION
Agent: Terrametrics of New Mexico

Project # 1004163
Phone No.: 881-2903

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3-22-06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Sidewalk = L 2/1
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): record plat
- AGIS dx f
- _____
- _____

Project Number 1004163

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. OK
- Copy of recorded plat for Planning.

#12



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

| | |
|--|---------------------|
| DRB Application No.: 06DRB-00350 (P&F) | Project # 1004163 |
| Project Name: SIERRA BONITA ADDITION | |
| Agent: Terrametrics of New Mexico | Phone No.: 881-2903 |

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3-22-06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Sidewalk OK per WA
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- PLANNING (Last to sign): Record Plat
- AGIS
- _____
- _____

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
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 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required. OK
 - Copy of recorded plat for Planning.

Project Number 1004163



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 22, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:10 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1002591**
06DRB-00249 Major-Two Year SIA

TIERRA WEST LLC agent(s) for KPS GROUP INC request(s) the above action(s) for all or a portion of Tract(s) C & G, FOUR HILLS VILLAGE SHOPPING CENTER & APT COMPLEX, zoned SU-1 PDA RES & COMM, located on CENTRAL AVE SE, between TRAMWAY BLVD SE and DORADO PL SE containing approximately 6 acre(s). [REF: Z-84-124, 03AA00608] (L-22) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1004639**
06DRB-00254 Major-SiteDev Plan
Subd
06DRB-00255 Major-Preliminary Plat
Approval
06DRB-00256 Minor-Sidewalk
Variance
06DRB-00257 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-B, ACRES ADDITION (to be known as **VENTANA DEL BOSQUE SUBDIVISION**) zoned RA-2 residential and agricultural zone, located on MOUNTAIN RD NW, between GABALDON DR NW and LULAC AVE NW containing approximately 5 acre(s). [REF: 06DRB00055] [*Deferred from 3/22/06*] (J-12) **DEFERRED AT THE AGENT'S REQUEST TO 3/29/06.**

3. **Project # 1004709**
06DRB-00222 Major-SiteDev Plan
BldPermit

JOHN KLEE ARCHITECTURE agent(s) for THREE AM, LLC request(s) the above action(s) for all or a portion of Lot(s) 2, Phase 2, **JOURNAL CENTER, UNIT 2**, zoned IP, located on WASHINGTON NE, between RUTLEDGE NE and WOLCOTT NE containing approximately 1 acre(s). (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK NOTES AND PARKING SPACES AND TO PLANNING FOR JOURNAL CENTER ARCHITECTURAL REVIEW COMMITTEE APPROVAL LETTER, 3 COPIES OF THE SITE PLAN AND THE 15-DAY APPEAL PERIOD.**

4. **Project # 1000128**
06DRB-00247 Major-Vacation of
Public Easements
06DRB-00248 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for RANDALL HOMES LLC request(s) the above action(s) for all or a portion of Tract(s) D, Lot(s) 46-P1, 47-P1 & 48-P1, **STONEBROOKE ESTATES**, zoned RD (7DU/AC) located on SUNNY BROOK ST NE, between EAGLE ROCK AVE NE and PEBBLE STONE PL NE containing approximately 1 acre(s). [REF: 03DRB00640, 03DRB00659, 04DRB00580, 04DRB00581] (C-19) **THE VACATION WAS**

APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEERING FOR GRADING AND DRAINAGE CERTIFICATION AND TO PLANNING FOR THE 15-DAY APPEAL PERIOD.

5. **Project # 1004717**
06DRB-00253 Major-Vacation of
Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for SKY BLUE INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, **SONORA SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on TESORO PL NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 1 acre(s). (C-18) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

6. **Project # 1001469**
06DRB-00232 Major-Vacation of Pub
Right-of-Way

GARCIA/KRAEMER & ASSOCIATES agent(s) for JAMES STONE request(s) the above action(s) for all or a portion of Lot(s) 23 & 24, Block(s) 5, **SUNSET TERRACE**, zoned R-1 residential zone, located on STANFORD DR NE, between MOUNTAIN RD NE and COLUMBIA DR NE containing approximately 1 acre(s). [REF: 01ZHE01303, 01ZHE01401, 01BOA01662, 01BOA01634] [*Deferred from 3/15/06*] (J-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1001445**
06DRB-00317 Minor-Amnd SiteDev
Plan Subd/EPC
06DRB-00318 Minor-SiteDev Plan
BldPermit/EPC
- CONSENSUS PLANNING agent(s) for JENNIFER LIN request(s) the above action(s) for all or a portion of Lot(s) 13-B, BLACK RANCH (to be known as **HONG KONG CHINESE BUFFET**) zoned SU-1 FOR C-1/O-1, located on COORS BLVD NW, between SEVEN BAR LOOP NW and ALAMEDA BLVD NW containing approximately 3 acre(s). [Stephanie Shumsky, EPC Case Planner] (B-14) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENTS, DECEL LANE AND CROSS SECTIONS AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENTS, DECEL LANE AND CROSS SECTIONS AND TO PLANNING FOR STEPHANIE SHUMSKY'S INITIALS AND 3 COPIES OF THE SITE PLAN.**
8. **Project # 1000195**
06DRB-00304 Minor-SiteDev Plan
BldPermit/EPC
- CLAUDIO VIGIL ARCHITECTS agent(s) for ASSOCIATED BUILDERS AND CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) M & L, **GATEWAY INDUSTRIAL PARK**, zoned SU-1/PID, special use zone, located on BROADWAY BLVD NE, between MENAUL BLVD NE and CLAREMONT AVE NE containing approximately 3 acre(s). [REF: 05DRB01545, 06EPC00012] [Stephanie Shumsky, EPC Case Planner] [Deferred from 3/15/06] (H-15) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN.**

9. **Project # 1003551**
06DRB-00354 Major-Final Plat
Approval

BRASHER & LORENZ agent(s) for NAYLOR DEVELOPMENT CORP LLC request(s) the above action(s) for all or a portion of Lot(s) 12, 13, 19, 20 & 21, Block(s) 11, Tract(s) 1, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on GLENDALE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: 05DRB01183, 05DRB001184] (B-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR 25-FOOT WATER/SEWER EASEMENT GRANTED TO ABCWUA, ADD PUE DEDICATION LANGUAGE TO COVER SHEET, ADD SIDEWALKS TO NOTE 12 AND TO PLANNING TO RECORD.**

10. **Project # 1003442**
06DRB-00348 Minor-Prelim&Final Plat
Approval

WILKS COMPANY agent(s) for BRENT HEISCH request(s) the above action(s) for all or a portion of Tract(s) 37, **ALVARADO GARDENS, UNIT 2**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between GLENWOOD NW and TRELIS NW containing approximately 2 acre(s). [REF: 04DRB01864] (G-12) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1004760**
06DRB-00349 Minor-Prelim&Final Plat
Approval

JACKS HIGH COUNTRY INC agent(s) for JJ & J PROPERTIES LLC request(s) the above action(s) for all or a portion of Tract(s) B-1-B-1, **WEST 66 ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NW, between UNSER NW and AIRPORT NW containing approximately 7 acre(s). (K-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

12. ~~Project # 1004163~~
06DRB-00350 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for JON E BOLTZ request(s) the above action(s) for all or a portion of Lot(s) 10, **SIERRA BONITA ADDITION**, zoned R-1 residential zone, located on BELL ROSE AVE NW, between 12TH ST NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 05DRB00743, 05DRB01219] (F-14) **PRELIMINARY AND FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK AND TO PLANNING TO RECORD.**

13. **Project # 1000961**
06DRB-00158 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS INC agent(s) for MCT INDUSTRIES INC request(s) the above action(s) for all or a portion of Tract(s) C, **NORTH GATEWAY**, zoned IP industrial park zone, located on SAN MATEO BLVD NE, between BALLOON FIESTA PARKWAY NE and 125 containing approximately 17 acre(s). [REF: AA-97-98, ZA-97-375, V-97-7, DRB-97-6, ZA-92-107, 00DRB01730] [*Indef deferred from 2/15/06*] [*Was Listed under Project #1003790 in error*] [*Indef Deferred for SIA on 3/22/06*] (B-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/22/06 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: THE SITE PLAN FOR SUBDIVISION MUST BE AMENDED, GRANT A CUL-DE-SAC RADIUS ON SAN MATEO. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project # 1002962**
06DRB-00353 Minor-Sketch Plat or
Plan

WILSON & COMPANY agent(s) for THE TRAILS LLC, request for DRB recommendations to listing of Infrastructure for The Trails, PID (Public Improvement District), for all or a portion of Tract(s) 1-12 **THE TRAILS, UNIT 2**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and WOODMONT NW containing approximately 190 acre(s). [REF: 04DRB01319] (C-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1004752**
06DRB-00336 Minor-Sketch Plat or
Plan

RUTHERFORD DESIGN & CONSTRUCTION agent(s) for WILLIAM & JUDITH KILLGORE request(s) the above action(s) for all or a portion of Lot(s) 1 & 3, Block(s) A, **LUKE SUBDIVISION**, zoned RA-1 residential and agricultural zone, semi-urban area, located on RIO GRANDE BLVD NW, between LUKE CIRCLE NW and CANDELARIA RD NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project # 1004602**
06DRB-00316 Minor-Sketch Plat or
Plan

ROBERT JENKINS request(s) the above action(s) for all or a portion of Lot(s) G, **ALVARADO GARDENS, UNIT 2**, zoned RA-2, located on TRELIS NW, between CANDELARIA RD NW and CAMPBELL RD NW containing approximately 1 acre(s). (G-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

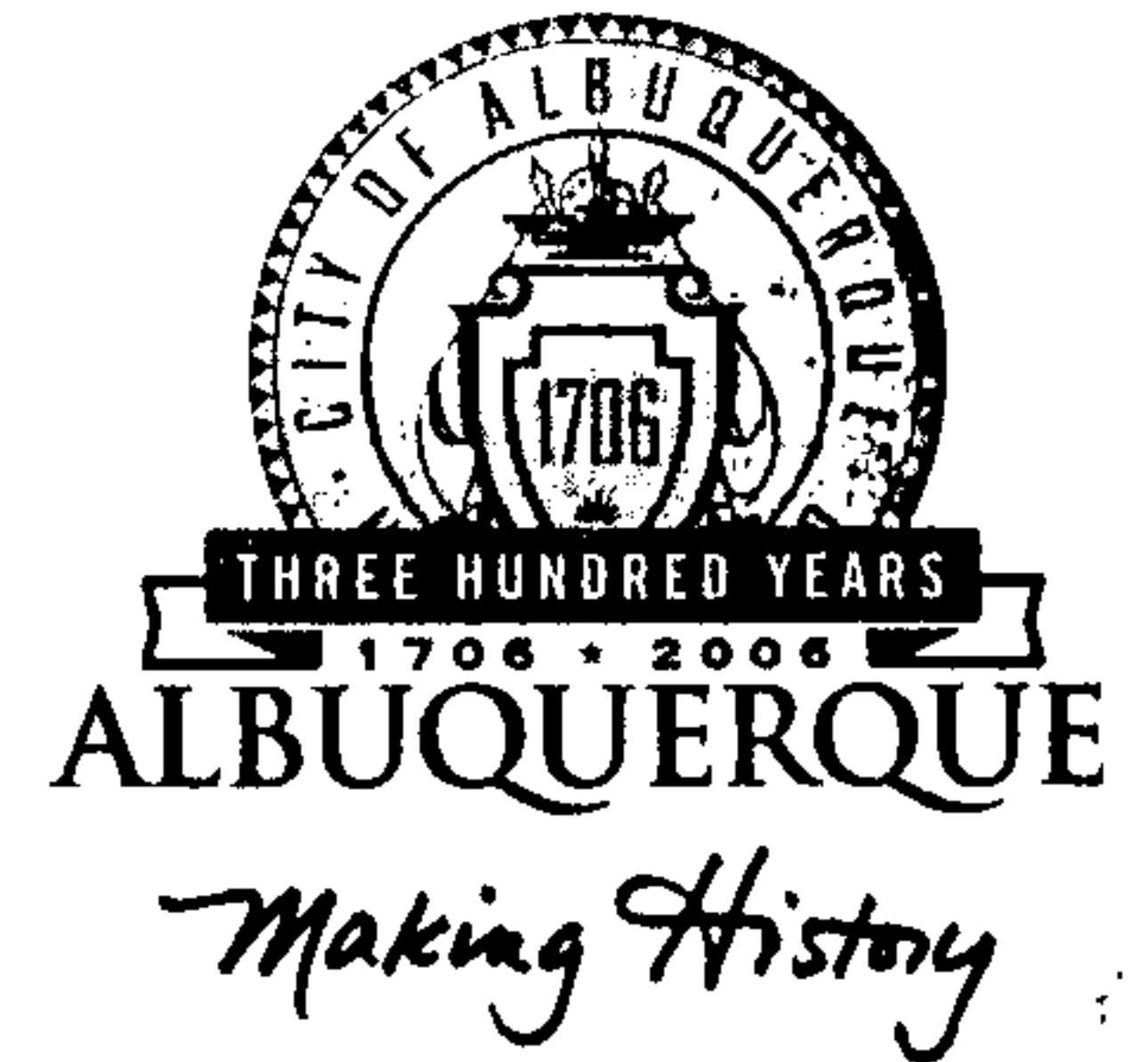
- 17. Project # 1004743**
06DRB-00311 Minor-Sketch Plat or
Plan

ANTHONY MONTOYA request(s) the above action(s) for all or a portion of Lot(s) 55 & 56, Tract(s) A, **RINCONADA MESA**, located on UPPER CANYON CT NW and 67TH ST NW and containing approximately 2 acre(s). (F-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 18. Approval of the Development Review Board Minutes for March 15, 2006. THE DRB MINUTES FOR MARCH 15, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:10 P.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004163

AGENDA ITEM NO: 12

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 22, 2006

CITY OF ALBUQUERQUE
Planning Department
March 22, 2006
DRB Comments

ITEM # 12

PROJECT # 1004136 APPLICATION # 06-00350

RE: Sierra Bonita Addition/p&f

AGIS dxf is not approved. *AK*

Is the structure (accessory building) going to be demolished? If not, is there a 5 foot setback on the east side?

Planning will take delegation for the AGIS dxf approval, and to record the plat.



Andrew Garcia, Planning Alternate
924-3858 fax 924-3864 agarcia@cabq.gov

4163

DXF Electronic Approval Form

DRB Project Case #: 1004163

Subdivision Name: SIERRA BONITA LOTS 10A & 10B

Surveyor: PHILIP W TURNER

Contact Person: PHILIP W TURNER

Contact Information: 881-2903

DXF Received: 3/21/2006

Hard Copy Received: 3/22/2006

Coordinate System: NMSP Grid (NAD 27)


Approved

3-22-2006
Date

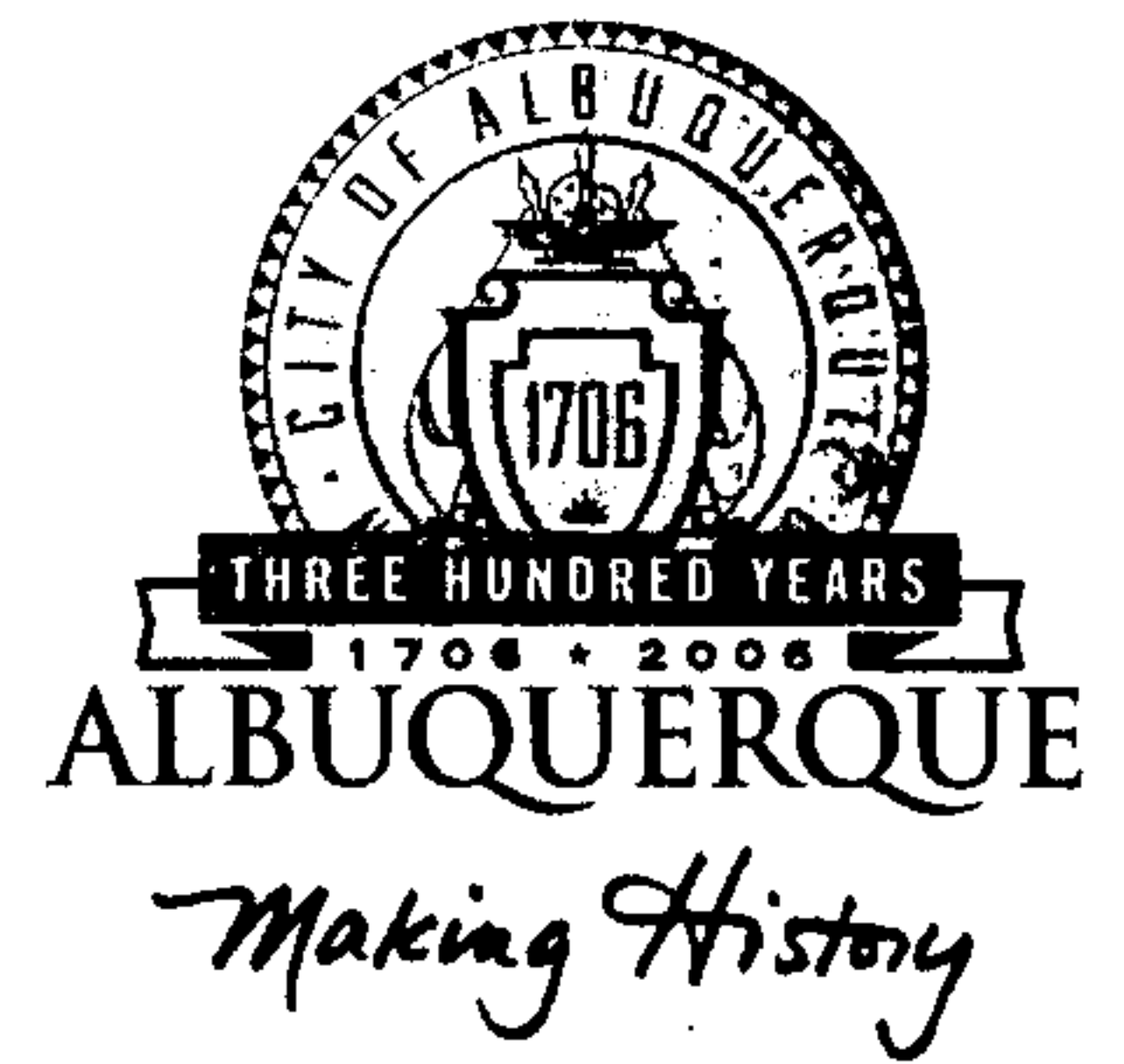
* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **4163** to agiscov on **3/22/2006** Contact person notified on **3/22/2006**

PLANNING TRACKING LOG

| Date | Project Name & # | Action Request | Action Taken |
|---------|-------------------------------|----------------|--------------------------------|
| 5/18/05 | Sierra Bonita Proj 1004163 | Sketch | Reviewed and Comments Given |
| 8/10/05 | Same Proj 1004163 | Sketch | Comments Given |
| 3/22/06 | 1004163 | Minor Plat | Approved |

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004163

AGENDA ITEM NO: 12

SUBJECT:

Sketch Plat

ACTION REQUESTED:

REV/CMT: (X) APPROVAL: () SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED X; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

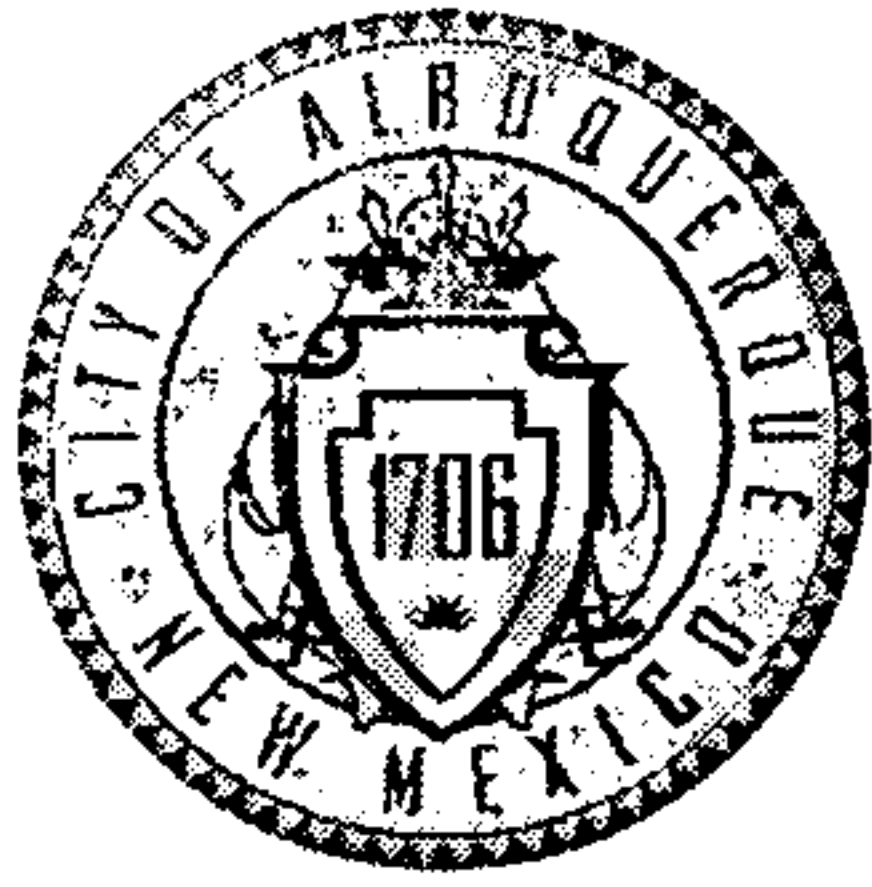
New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 10, 2005



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004163
Application Number: 05DRB-01219

DRB Date: 8/10/2005
Item Number: 12

Subdivision:

Lots 10, Sierra Bonita Addition

Zoning: R-1

Zone Page: F-14

New Lots (or units) : 1

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This development will be subject to Parks, Recreation, Trails and Open Space Impact Fees due at building permit.

Signed:

Christina Sandoval, (DMD)

Phone: 768-3808

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 10, 2005
DRB Comments

ITEM # 12

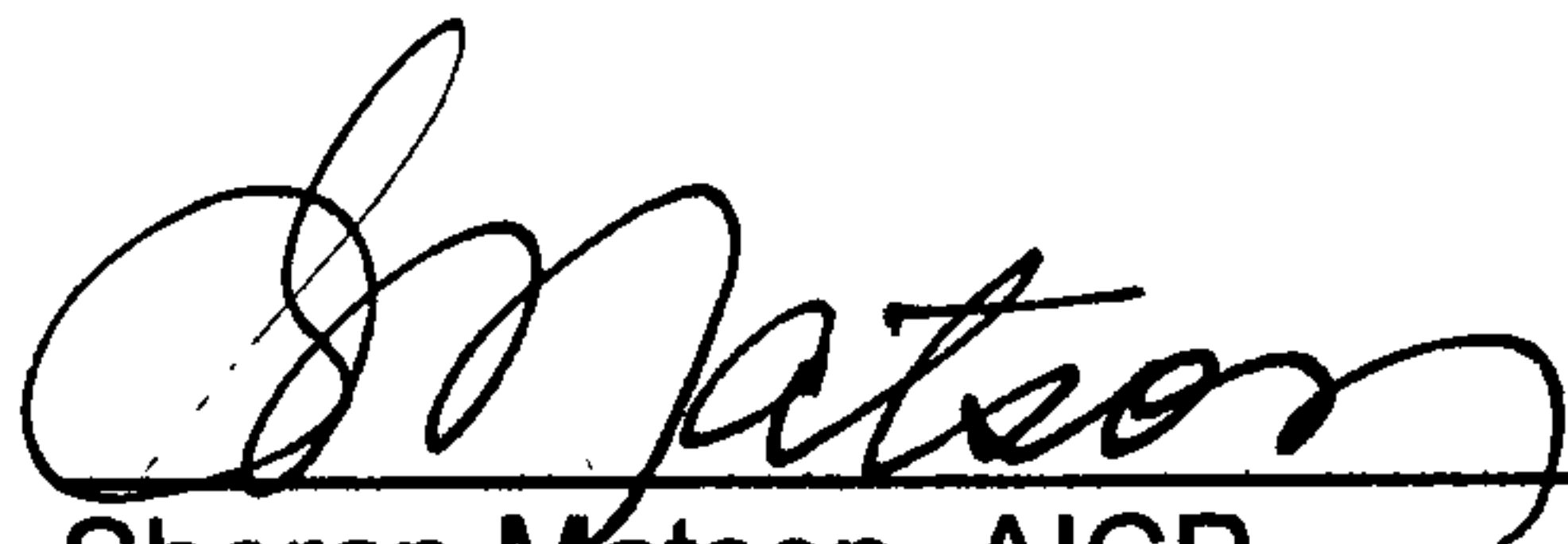
PROJECT # 1004163

APPLICATION # 05-01219

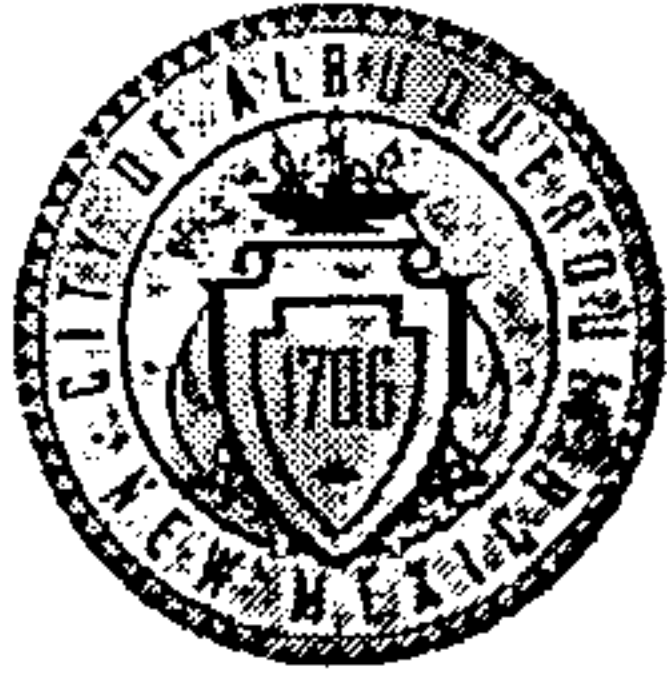
Re: Sierra Bonita Addition/sketch plat

The sketch appears to meet the lot size requirements in the R-1 zone. However, the existing house has lost some of its square footage since the last sketch plat heard at DRB on 5-18-05 according to one of the sketches provided with this application.

*Take delegation
to for demolishing
garage/rental unit.*



Sheran Matson, AICP
DRB Chair 924-3880
Fax 924-3864 smatson@cabq.gov



IMPACT FEES – # 1004163

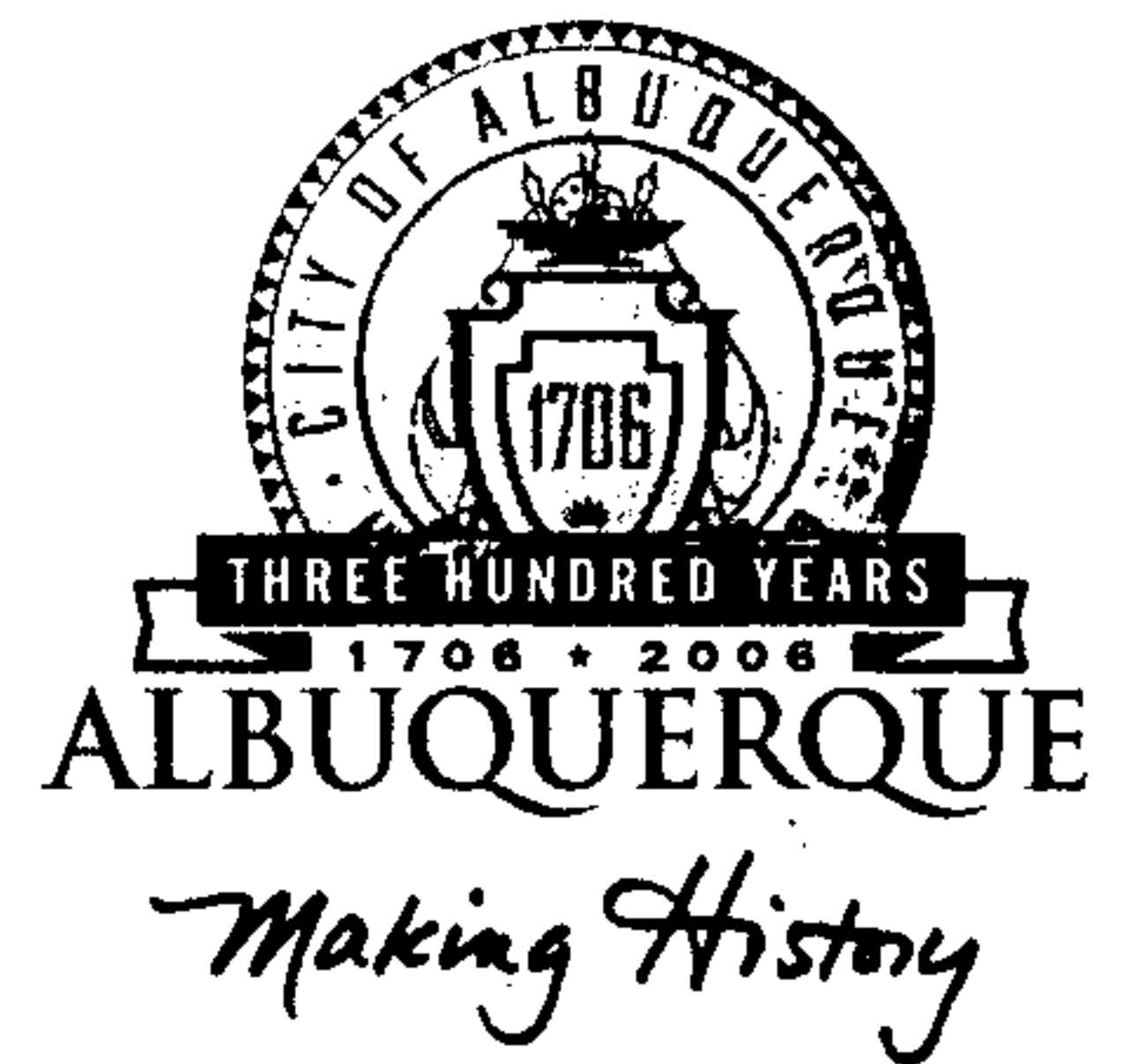
**Development Review Board 8/10/05 Agenda Item #12
Sketch Plat: Lot 10, Sierra Bonita Addition**

Construction of each new single family residence will require payment of Impact Fees. Based on a house size between 1,500 square feet and 2,499 square feet, it is estimated that impact fees will total approximately \$1,296 if a building permit is obtained by December 30, 2005, \$2,554 if a permit is obtained prior to December 29, 2006, and \$3,812 thereafter.

**JACK CLOUD
IMPACT FEE ADMINISTRATOR**



CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004359

AGENDA ITEM NO: 13

SUBJECT:

Sketch Plat

ACTION REQUESTED:

REV/CMT: (X) APPROVAL: () SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved grading and drainage report must be on file prior to Preliminary Plat approval.

P.O. Box 1293

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 10, 2005

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB-1004359 Item No. 13 Zone Atlas H-12

DATE ON AGENDA 8-10-05

INFRASTRUCTURE REQUIRED (X)YES ()NO

CROSS REFERENCE: _____

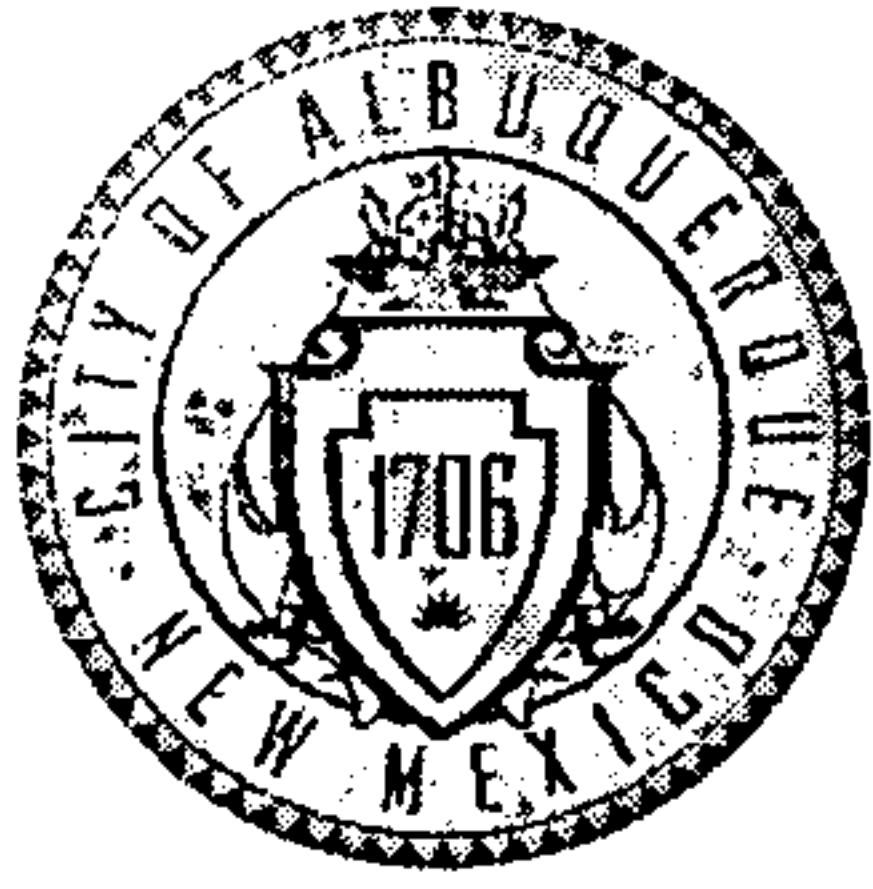
TYPE OF APPROVAL REQUESTED:

- (X) SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

| | |
|------------|----------------|
| <u>No.</u> | <u>Comment</u> |
|------------|----------------|

- 1) Cross-sections of both Rice and Duranes need to be provided to determine if dedication and/or improvements are needed. The cross-sections should depict the property line in relation to the paved section, curb & gutter and sidewalk.
- 2) Landscaping at the corner will have to be evaluated for sight distance requirements.
- 3) Are these P1 lots? How is the off-street parking requirement being met?
- 4) Use of a shared drivepad will require x-access to be recorded on the plat.
- 5) Why isn't a radius being dedicated at the intersection?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004359
Application Number: 05DRB-01244

DRB Date: 8/10/2005
Item Number: 13

Subdivision:

Lots 17, Rice's Duranes Addition, Unit 1

Zoning: R-2

Zone Page: H-12

New Lots (or units) : 3

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This development will be subject to Parks, Recreation, Trails and Open Space Impact Fees due at building permit.

Signed: 

Christina Sandoval, (DMD)

Phone: 768-3808

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
May 18, 2005
DRB Comments

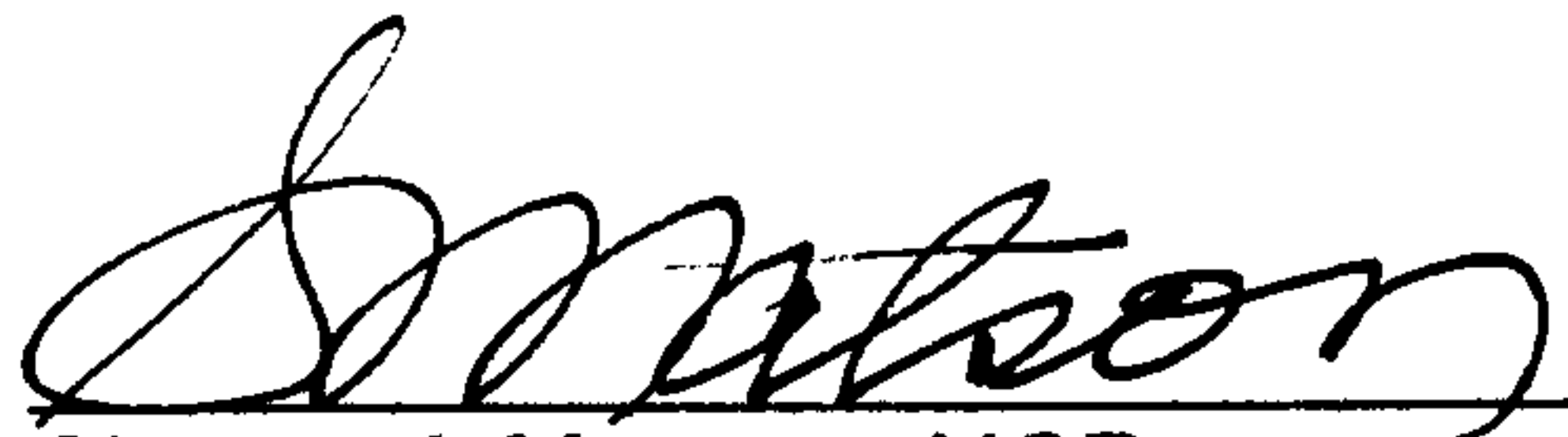
ITEM # 24

PROJECT # 1004163

APPLICATION # 05-00743

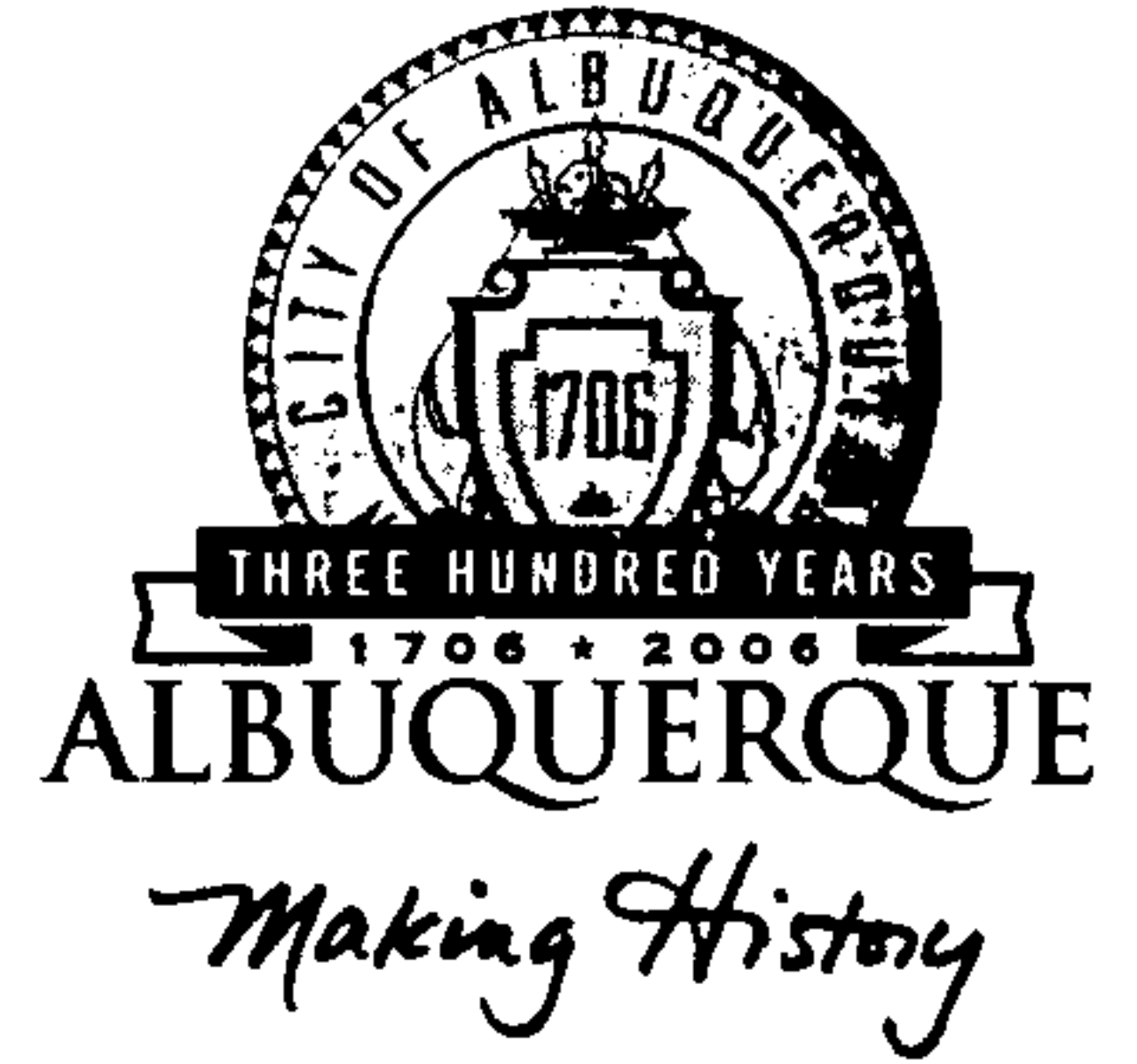
RE: Lot 10, Sierra Bonita Additon/sketch

R-1 zoning requires a 60' minimum lot width and 6,000 square minimum lot size unless applicant can prove a pattern of smaller lot sizes already exists in the neighborhood, namely 50' and 5,000 square feet.



Sheran A Matson, AICP
924-3880 Fax 924-3864
smatson@cabq.gov

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004163

AGENDA ITEM NO: 24

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussed* X; WITHDRAWN

www.cabq.gov

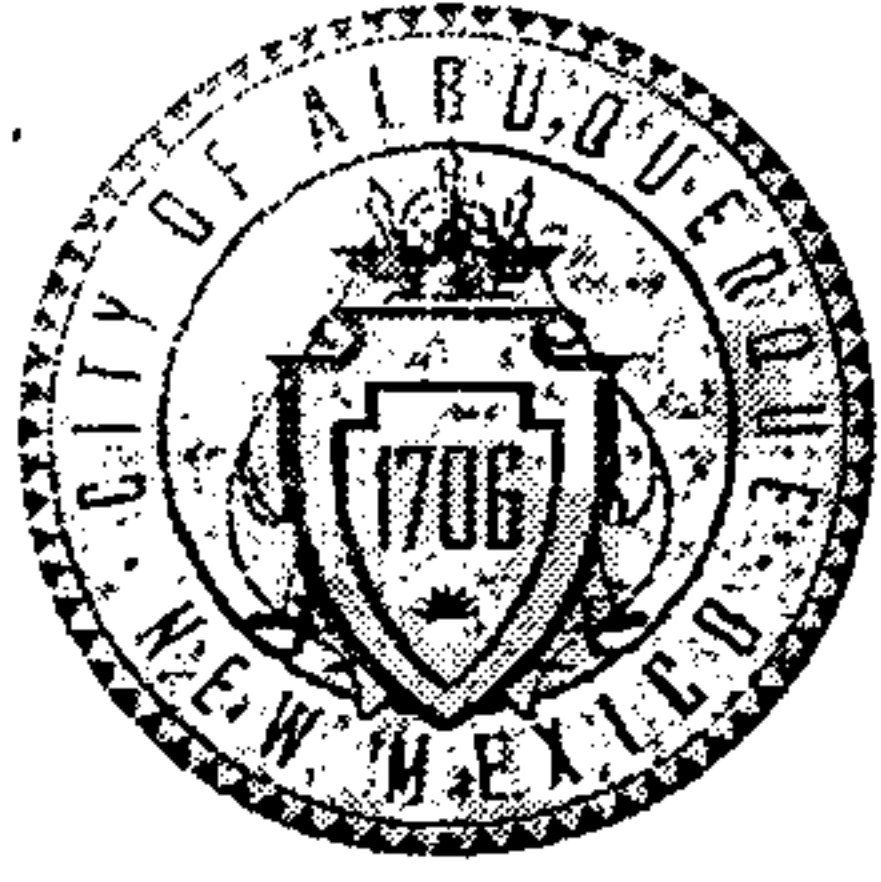
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 18, 2005



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004163
Application Number: 05DRB-00743

DRB Date: 5/18/2005
Item Number: 24

Subdivision:

Lots 10, Sierra Bonita Addition

Zoning: R-1

Zone Page: F-14

New Lots (or units) : 1

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This development will be subject to impact fees for Parks, Recreation, Trails and Open Space for every building permit pulled.

Signed:

Christina Sandoval, (DMD)

Phone: 768-3808

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

| | |
|--|--|
| SUBDIVISION | S Z ZONING & PLANNING |
| <input type="checkbox"/> Major Subdivision action | <input type="checkbox"/> Annexation |
| <input checked="" type="checkbox"/> Minor Subdivision action | <input type="checkbox"/> County Submittal |
| <input type="checkbox"/> Vacation | <input type="checkbox"/> EPC Submittal |
| <input type="checkbox"/> Variance (Non-Zoning) | <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning) |
| SITE DEVELOPMENT PLAN | V |
| <input type="checkbox"/> for Subdivision Purposes | <input type="checkbox"/> Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> for Building Permit | <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan |
| <input type="checkbox"/> IP Master Development Plan | <input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs) |
| <input type="checkbox"/> Cert. of Appropriateness (LUCC) | <input type="checkbox"/> Street Name Change (Local & Collector) |
| STORM DRAINAGE | L A APPEAL / PROTEST of... |
| <input type="checkbox"/> Storm Drainage Cost Allocation Plan | <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |
| | D |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JANE E. BOLTZ PHONE: 450-7200
 ADDRESS: 1420 BELLROSE AVE NW FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: JANE E. BOLTZ
 AGENT (if any): TERRAMETRICS OF NEW MEXICO PHONE: 881-2903
 ADDRESS: 4175-A MONTGOMERY BLVD NE FAX: 881-2591
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: pturner1001@guest.net

DESCRIPTION OF REQUEST: LOT SPLIT - LOT 10 OF SIERRA BOHITA ADD'N INTO LOT 10A AND LOT 10B

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 10 Block: _____ Unit: _____
 Subdiv. / Addn. SIERRA BOHITA ADD'N
 Current Zoning: R-1 Proposed zoning: R-1
 Zone Atlas page(s): F-14 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): 0.3444 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101406102903930160 MRGCD Map No. 32
 LOCATION OF PROPERTY BY STREETS: On or Near: BELLROSE AVENUE
 Between: 12TH ST. NW and RIO GRANDE BLVD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Philip W. Turner DATE 3-14-06
 (Print) PHILIP W. TURNER _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

| | | | | |
|--|-----------------------------|----------------|-------------|------------------|
| <input checked="" type="checkbox"/> INTERNAL ROUTING | Application case numbers | Action | S.F. | Fees |
| <input checked="" type="checkbox"/> All checklists are complete | <u>DRB- 00350</u> | <u>P&F</u> | <u>5(s)</u> | <u>\$ 285.00</u> |
| <input checked="" type="checkbox"/> All fees have been collected | _____ | <u>CMF</u> | _____ | <u>\$ 20.00</u> |
| <input checked="" type="checkbox"/> All case #s are assigned | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> AGIS copy has been sent | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> Case history #s are listed | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> Site is within 1000ft of a landfill | _____ | _____ | _____ | \$ _____ |
| <input type="checkbox"/> F.H.D.P. density bonus | _____ | _____ | _____ | Total |
| <input type="checkbox"/> F.H.D.P. fee rebate | Hearing date <u>3-22-06</u> | _____ | _____ | <u>\$ 305.00</u> |

Kim Sims 3/14/06

Project # 1004163

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

PHILIP W. TURNER

Applicant name (print)

Philip W. Turner 3/14/06

Applicant signature / date



Form revised 8/04, 1/05 & 10/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

06DRB- - 00352

Kim Sims 3/14/06

Planner signature / date

Project # 1004163

Terrametrics of New Mexico
Professional Land Surveyor
P.O. Box 30192
Albuquerque, New Mexico 87190-0192
505 881-2903; FAX 505 881-2591; Mobile 505 379-4301

March 14, 2006

City of Albuquerque Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Replat of Lot 10 of Sierra Bonita Addition

City of Albuquerque Planning Department:

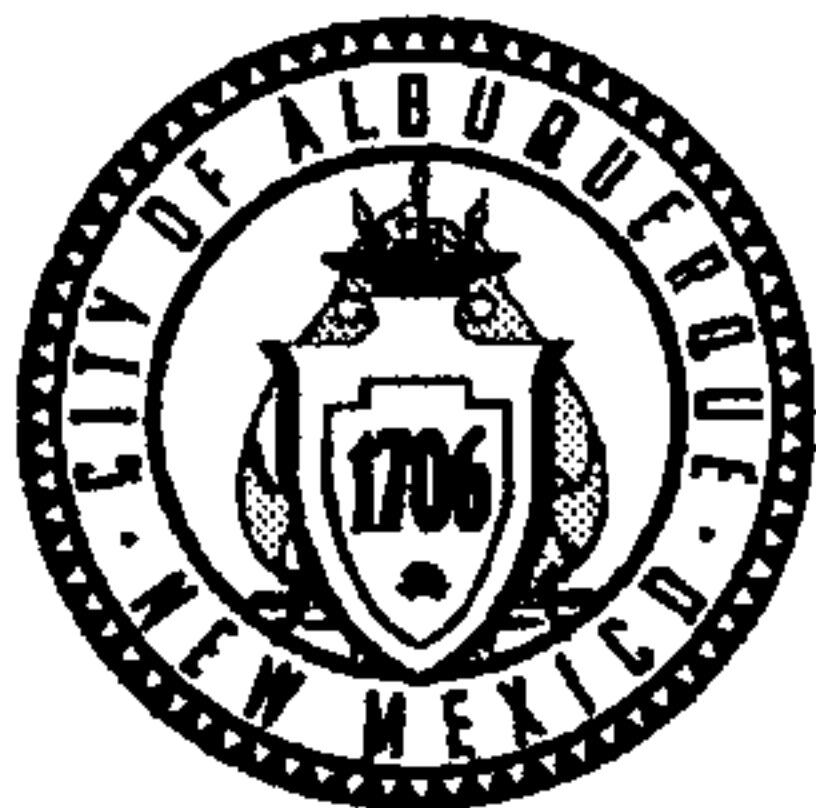
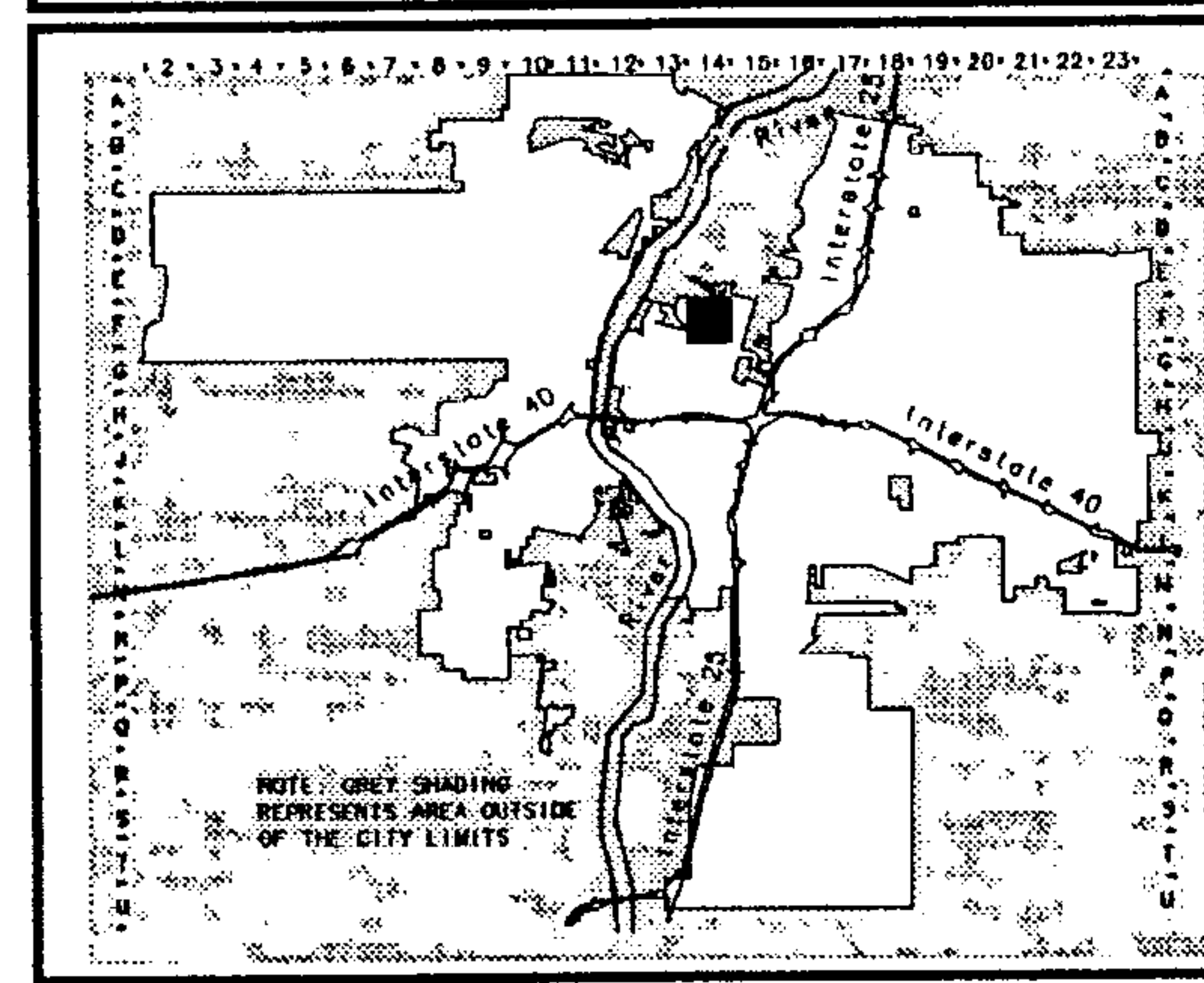
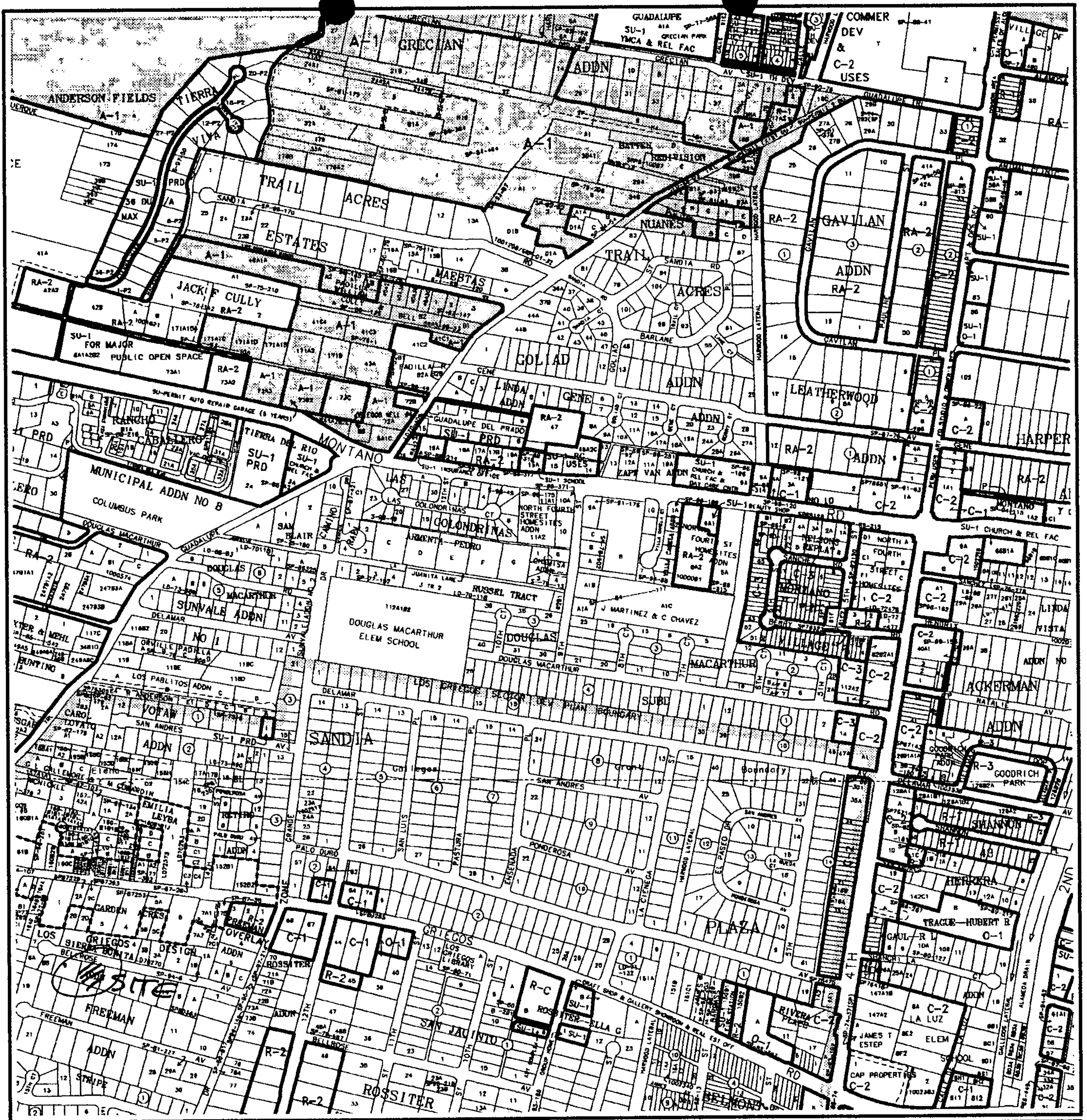
The owner of the referenced property, Jon E. Boltz, desires a replat of the property in order to split the existing lot into two lots to be designated Lot 10-A and Lot 10-B. The property is zoned R-1 and is situate on the south side of Bellrose Avenue, NW between Twelfth Street, NW and Rio Grande Boulevard, NW and South of Griegos Road, NW. There is a residence on the westerly lot that will remain.

Thank you for your consideration of this matter.

Sincerely,



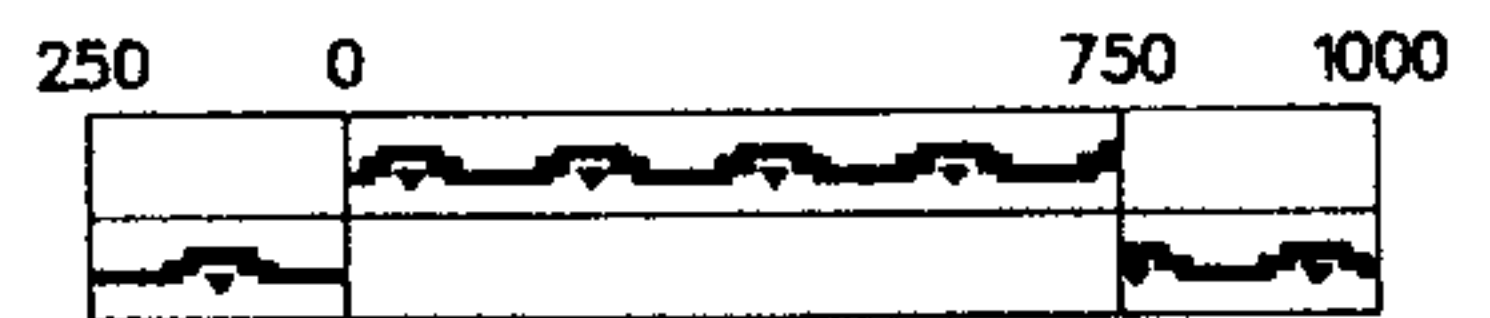
Philip W. Turner, PS



A Geographic Information System
PLANNING DEPARTMENT

© Copyright 2004

GRAPHIC SCALE IN FEET

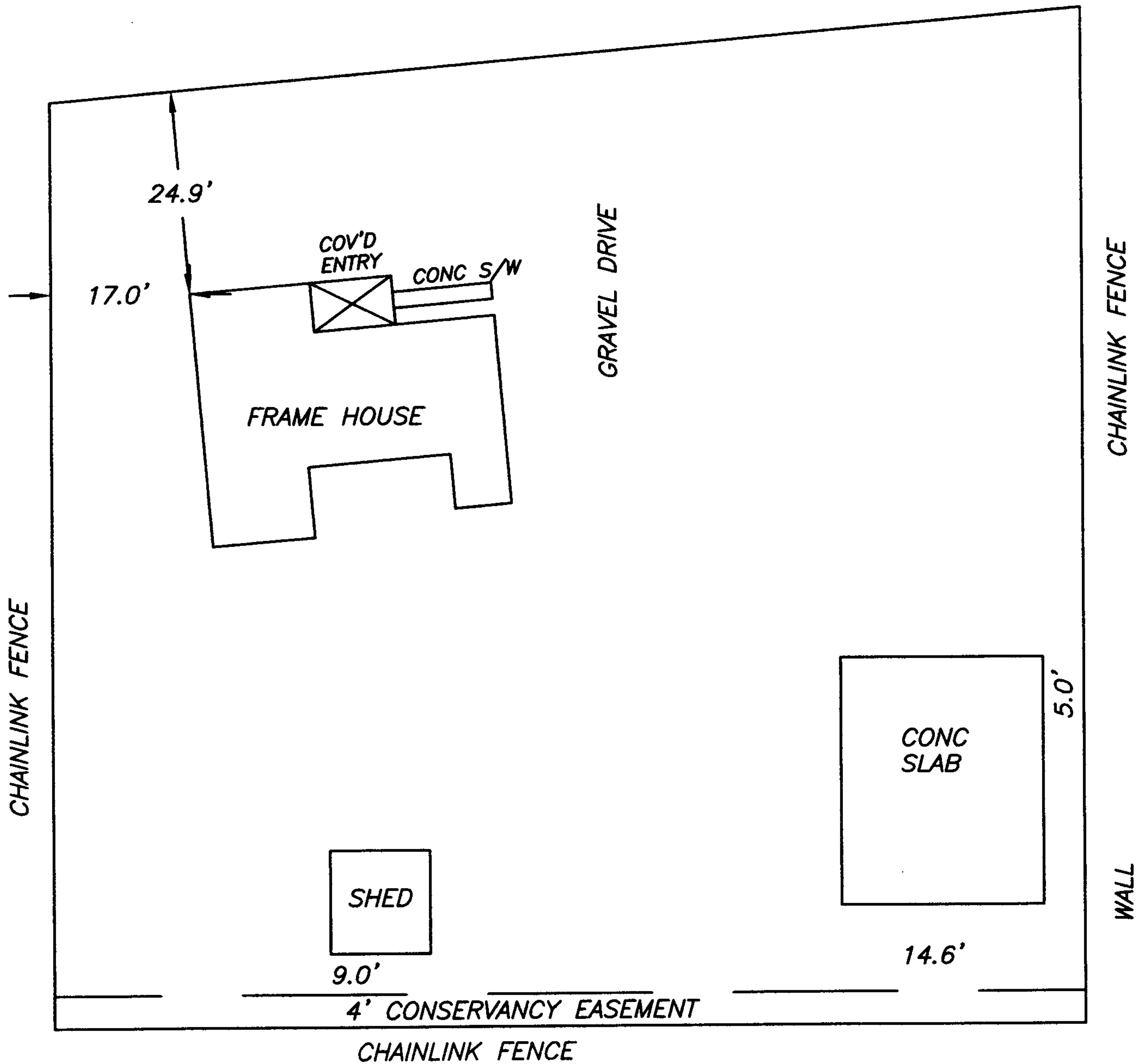


Zone Atlas Page

F-14-Z

Map Amended through August 03, 2004

BELLROSE AVENUE 50' ROW



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Jon E. Boltz
AGENT TERRA METRICS of NW
ADDRESS 4175-A MONTGOMERY
PROJECT & APP # 1004163 / 105476 / 06 DRB - 00350
PROJECT NAME LOT 10 SIERRA BONITA

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ 285.⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 305.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

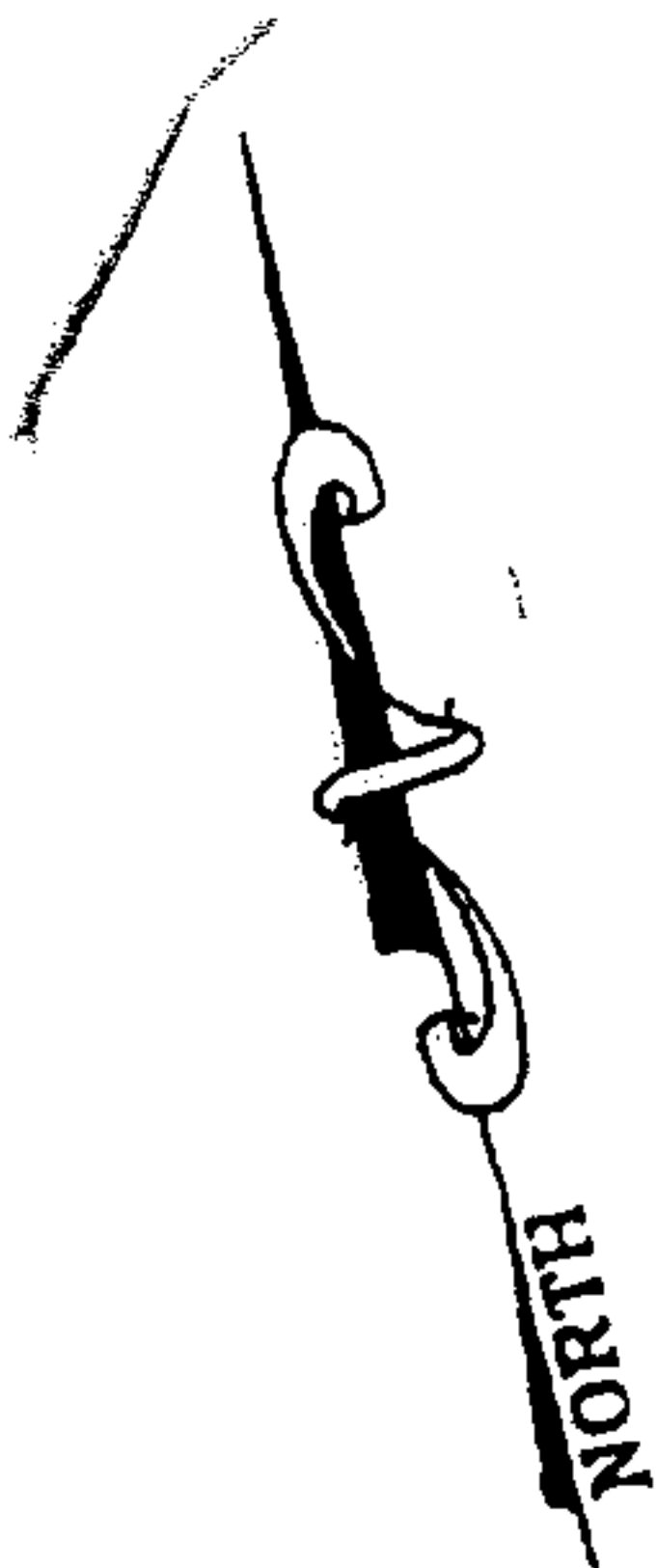
3/14/2006 10:20AM LOC: ANNX
RECEIPT# 00054418 WSH 008 TRANSH 0014
Counterreceipt.doc 6/21/04
Account 441032 Fund 0110
Activity 3424000 TRSCMG
Trans Amt \$305.00
J24 Misc

\$20.00
Thank You

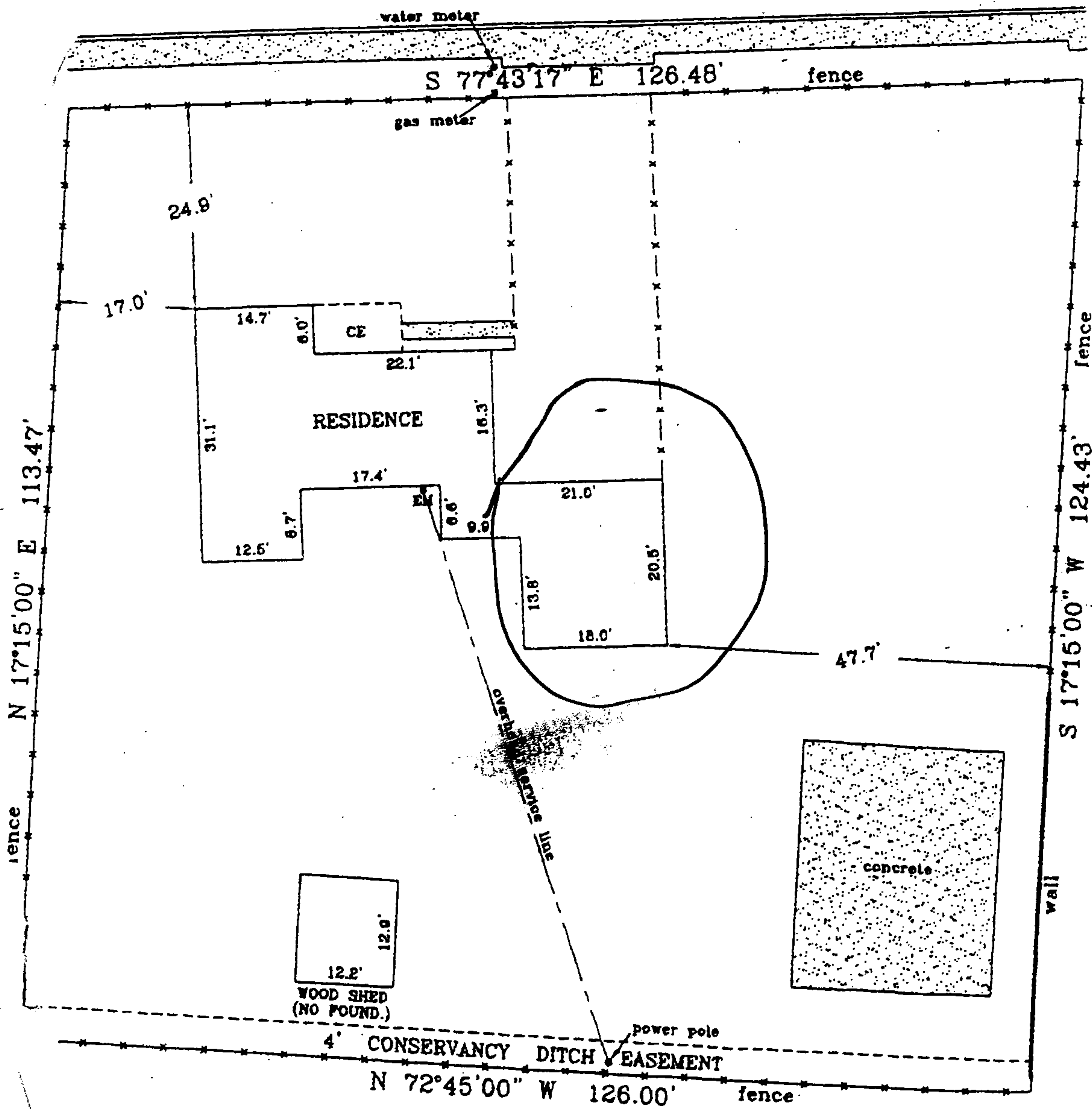
3/14/2006 10:21AM LOC: ANNX
RECEIPT# 00054419 WSH 008 TRANSH 0014
Account 441006 Fund 0110
Activity 4983000 TRSCMG
Trans Amt \$305.00
J24 Misc

\$285.00
VI \$305.00
CHANGE \$0.00
Thank You

Existing
Layout of
Property located at;



1420 BELLROSE AVENUE N.W.







Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Jon E. Bolte PHONE: 450-7200
 ADDRESS: 1420 Bellrose Ave NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____
 AGENT (if any): SAME PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: sketch plat

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot Number 10 Block: _____ Unit: _____
 Subdiv. / Addn. Sierra Bonita Addition
 Current Zoning: R1 Proposed zoning: _____
 Zone Atlas page(s): F-14 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): _____ Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101406102903930160 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 1420 Bellrose Ave NW
 Between: Gregos and Freeman

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 05-DRB-00743

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Jon E. Bolte DATE 7/26/05
 (Print) Jon E. Bolte _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

| <input type="checkbox"/> INTERNAL ROUTING | Application case numbers | Action | S.F. | Fees |
|---|--------------------------|-----------|-------------|--------------------------|
| <input checked="" type="checkbox"/> All checklists are complete | <u>05DRB-0219</u> | <u>SR</u> | <u>5(3)</u> | \$ <u>0.00</u> |
| <input checked="" type="checkbox"/> All fees have been collected | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> All case #s are assigned | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> AGIS copy has been sent | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> Case history #s are listed | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> Site is within 1000ft of a landfill | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> F.H.D.P. density bonus | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> F.H.D.P. fee rebate | _____ | _____ | _____ | \$ _____ |
| Hearing date <u>08/10/05</u> | | | | Total <u>0.00</u> |
| Planner signature / date <u>Vi Sis 07/26/05</u> | | | | Project # <u>1004163</u> |

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jon E. Boltz

Applicant name (print)

[Signature]

7/26/05

Applicant signature / date

Form revised 8/04 & 1/05



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

| Application case numbers |
|--------------------------|
| <u>050 RB-01219</u> |
| <u>-</u> |
| <u>-</u> |

[Signature] 07/26/05
Planner signature / date

Project # 1004163

Jon Boltz
1420 Bellrose Avenue NW
Albuquerque, NM 87107

City of Albuquerque
Development Review Board

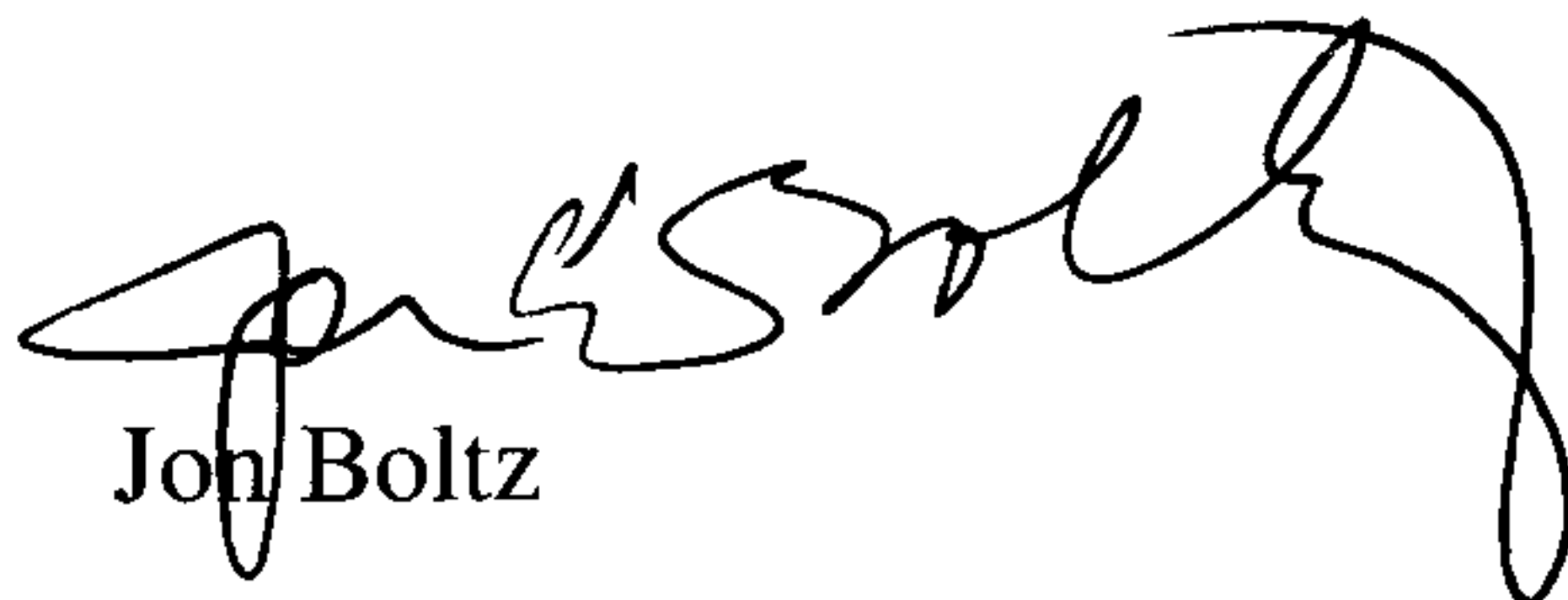
July 25, 2005

To Whom It May Concern:

I propose to divide the existing property located at 1420 Bellrose Avenue NW into two parts. The resulting new lot would provide land for another family home.

Thank you,

Sincerely,



Jon Boltz

E-13-Z

E-14-Z

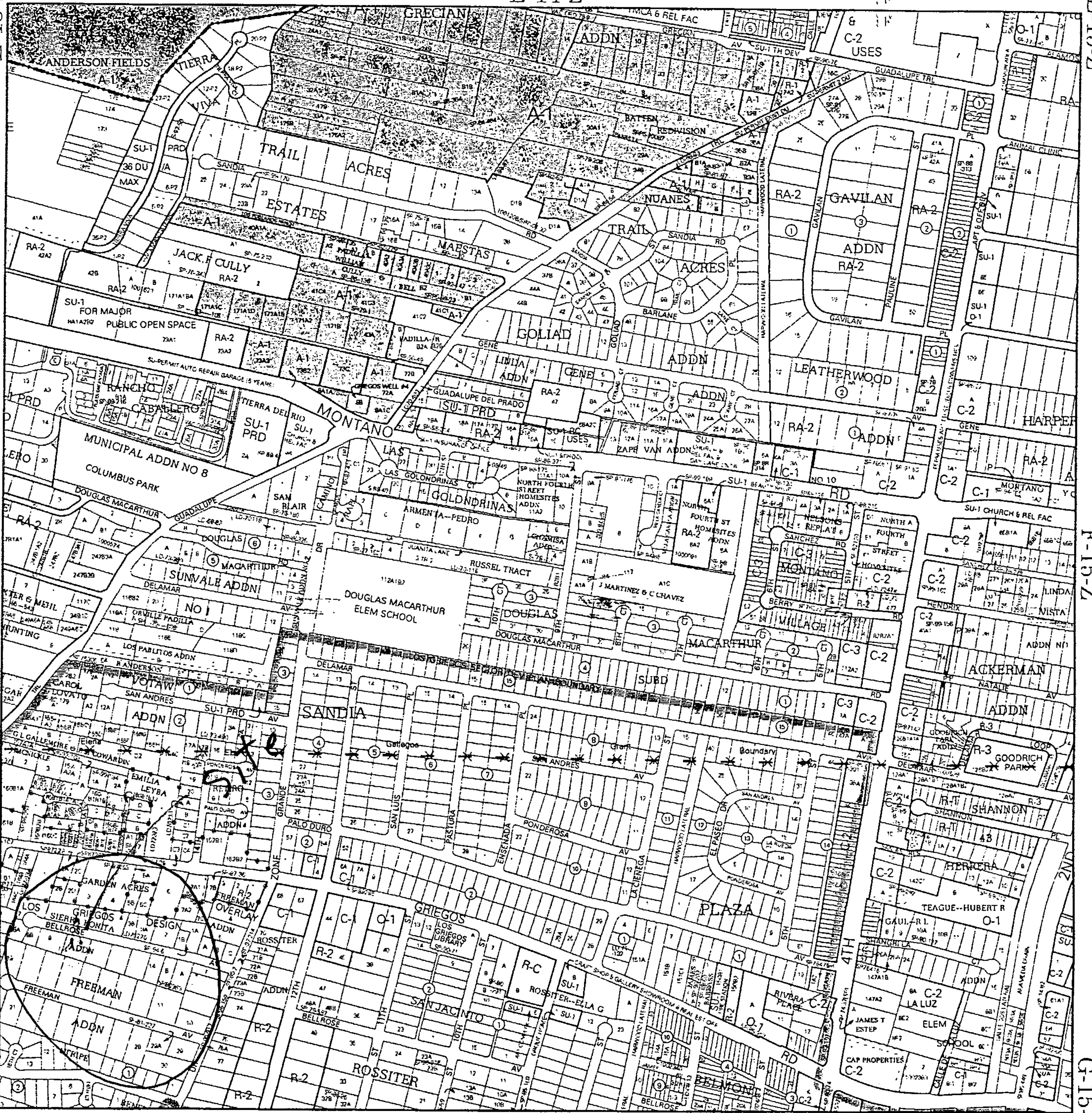
E-15-Z

F-13-Z

F-15-Z

G-13-Z

G-15-Z



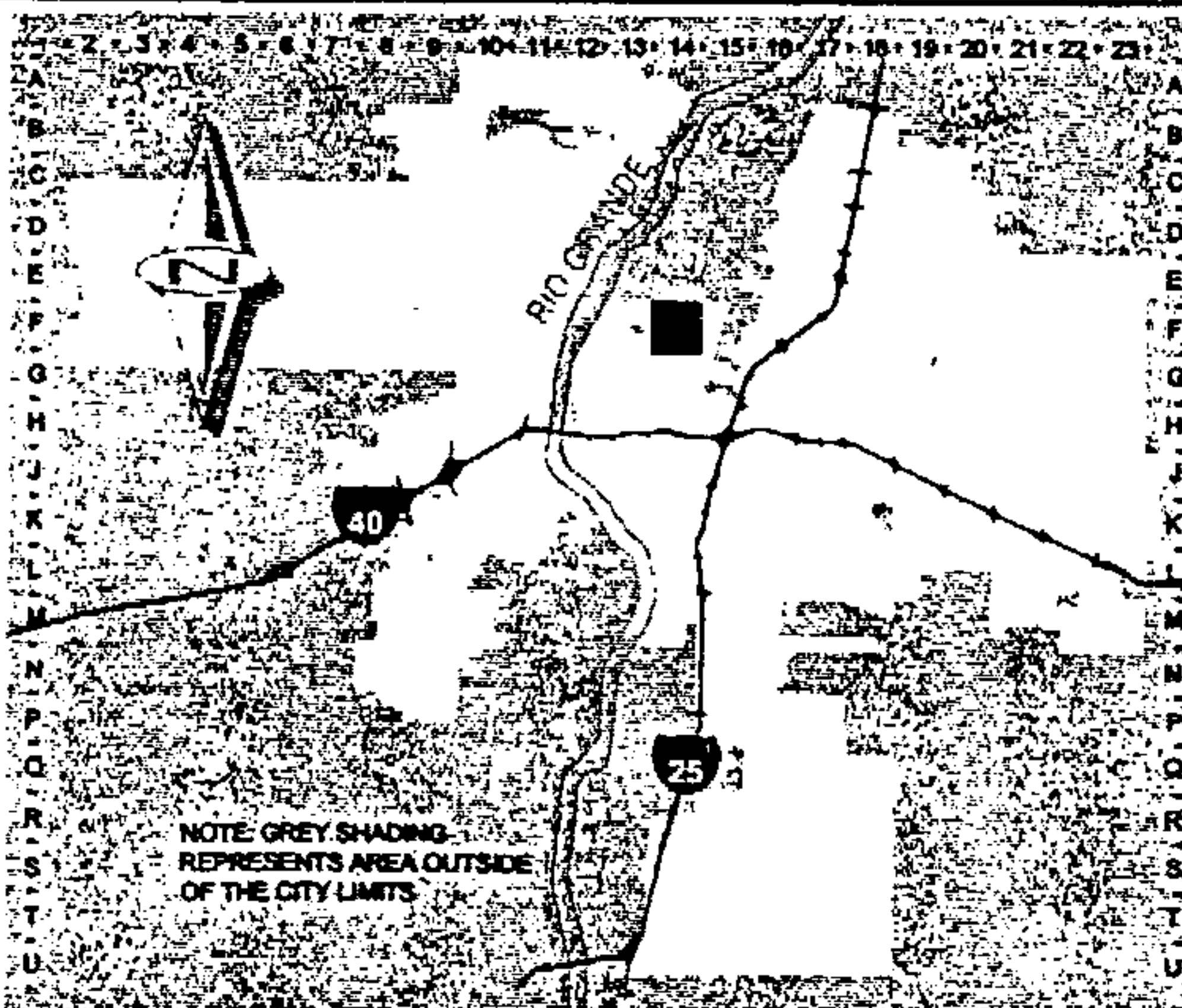
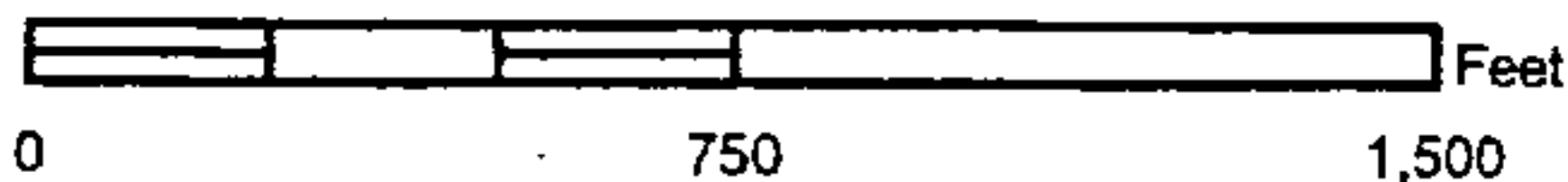
G-14-Z

Zone Atlas Page: **F-14-Z**

Map amended through: Aug 06, 2004

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
- Freeway Lanes
- Jurisdictional Boundaries
- Westgate Wall
- Escarpment
- Grant Boundaries
- Petroglyph
- H-1 Buffer Zone
- Arroyos
- LDN Noise Level
- Airport Clearance Zone
- Design Overlay Zones



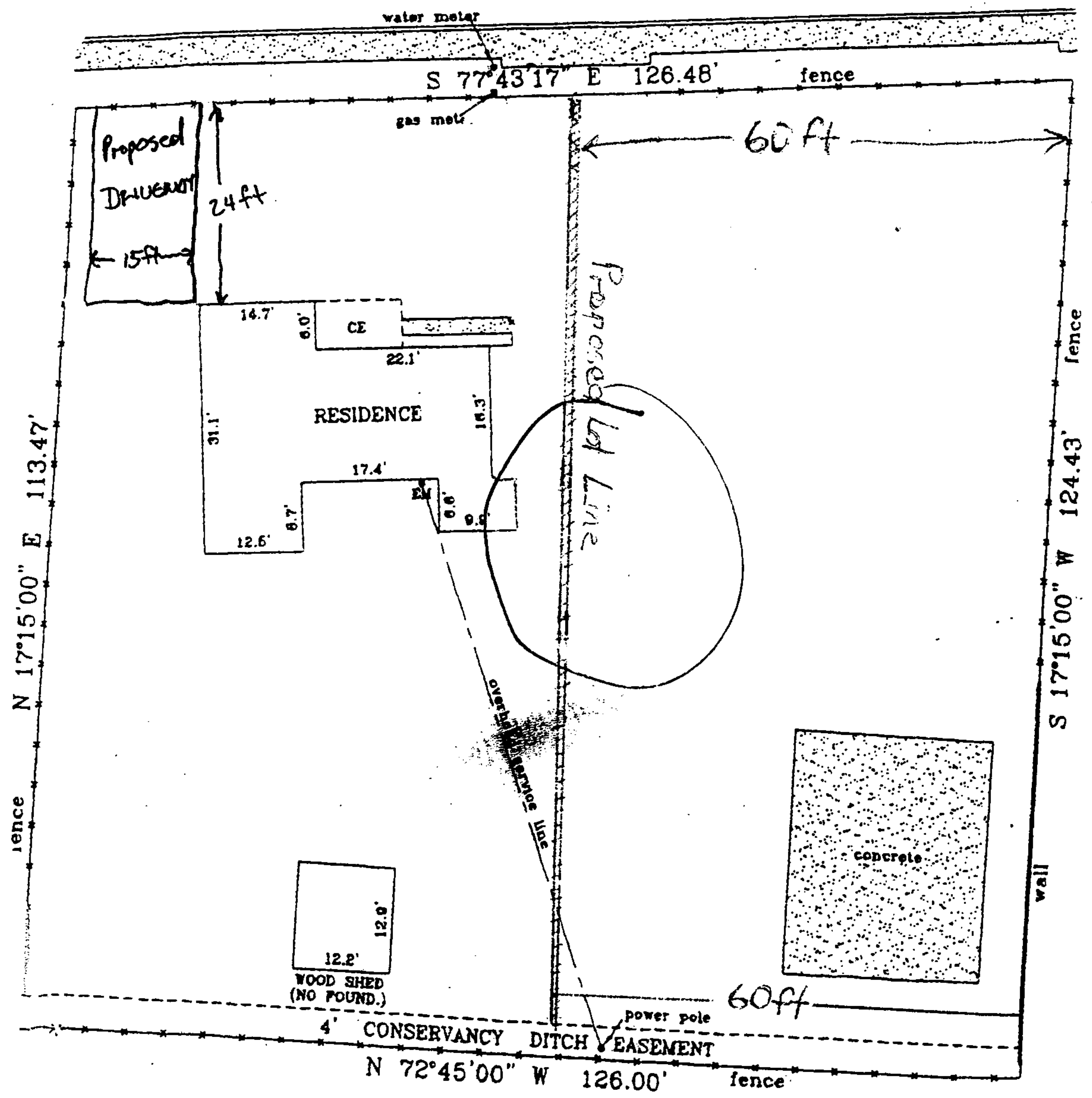
THREE HUNDRED YEARS
1706 • 2006
ALBUQUERQUE
Haciendo Historia
Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

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Proposed Lot Division
 of Property Located
 at:



1420 BELLROSE AVENUE N.W.





SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JON E. BOLTE PHONE: 450-7200
 ADDRESS: 1420 Bellrose Ave NW FAX: _____
 CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: sketch platte

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot Number 10 Block: _____ Unit: _____
 Subdiv. / Addn. Sierra Bonita Addition
 Current Zoning: R1 Proposed zoning: _____
 Zone Atlas page(s): F-14 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): _____ Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? no
 UPC No. 101406102903930160 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 1420 Bellrose Av NW
 Between: Griggs and FREEMAN

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): NA

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/4/05
 (Print) JON E. BOLTE _____ Applicant _____ Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

05 DRB 00743

Action

SK

S.F.

P(3)

Fees

\$ 0

Total

\$ 0

Hearing date 5-18-05

[Signature] 5-4-05
 Planner signature / date

Project # 1004163

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jon E. Bolte Applicant name (print)
[Signature] Applicant signature / date
 5/4/05



Form revised October 2004

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB - 00743

[Signature] 324-05
 Planner signature / date
Project # 1004163

May 3, 2005

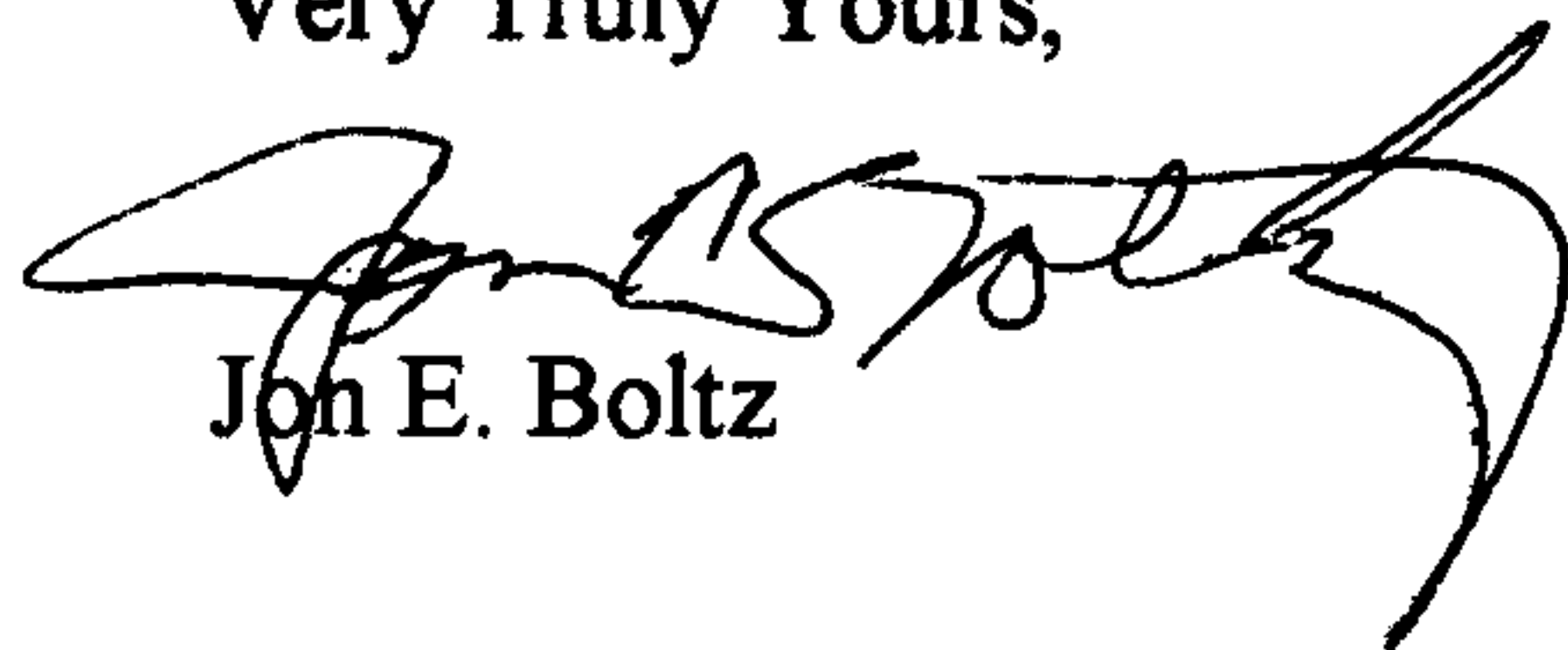
Dear City of Albuquerque Planning Department,

I propose to subdivide the large lot located at 1420 Bellrose Avenue NW, Albuquerque, NM 87107. The lot would be divided into two parts. Each part would have a minimum of 50 feet of road frontage, and the total area of each part would be not less than 5000 square feet.

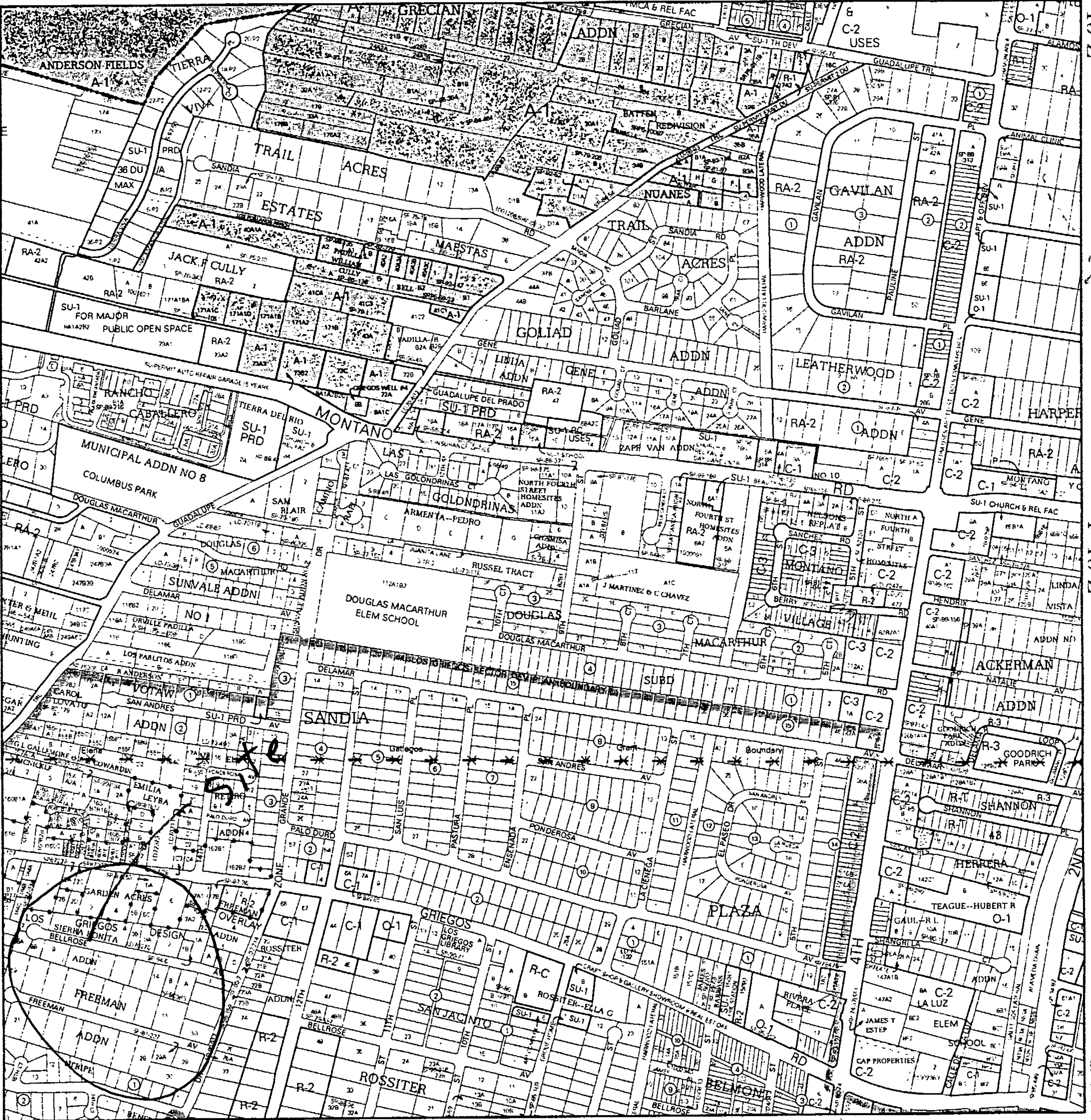
The lot is located entirely within the city of Albuquerque's North Valley and subdividing the resulting new lot would provide land for another family home.

Thank you for your consideration.

Very Truly Yours,



John E. Boltz

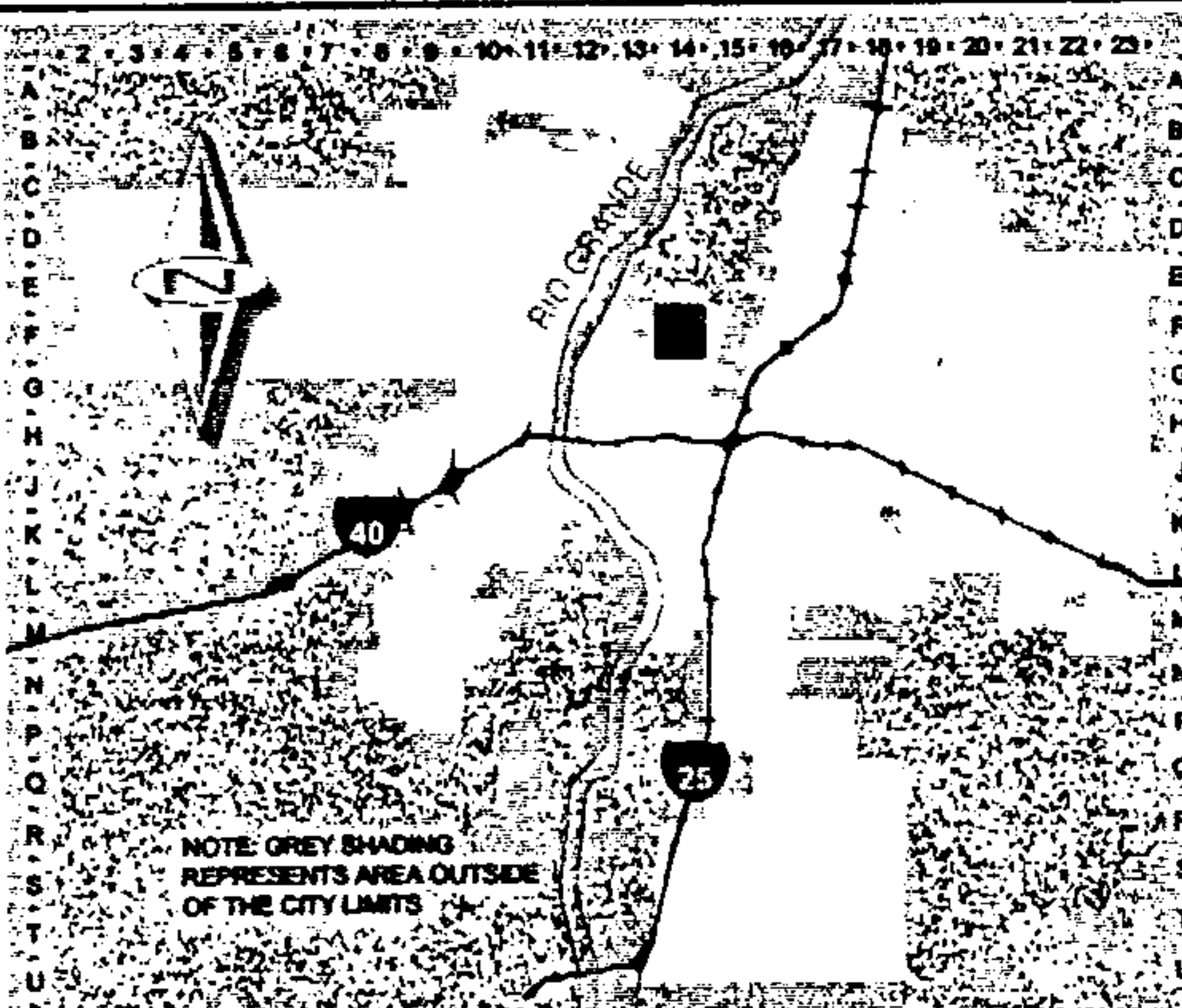
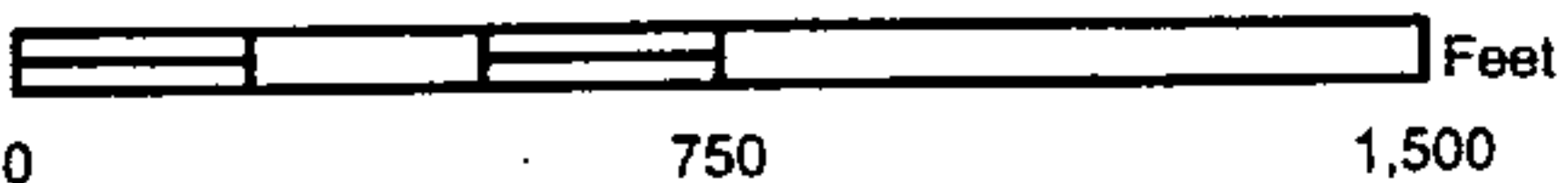


Zone Atlas Page: **F-14-Z**

Map amended through: **Aug 06, 2004**

Selected Symbols

- Unincorporated Areas
- Sector Plan Boundaries
- Parcel Boundaries
- Easement Lines
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THREE HUNDRED YEARS
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ALBUQUERQUE

Haciendo Historia

A G I S
Albuquerque Geographic Information System
PLANNING DEPARTMENT

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IMPROVEMENT LOCATION REPORT CONT.

- 7). Specific physical evidence of boundary lines on all sides: existing fences and street curbing
 basis of improvement location report.
- 8). Is the property improved? (If structure appears to encroach or appears to violate setback lines, show approximate distance): property is improved, see sketch
- 9). Indications of recent building construction, alteration or repairs: none apparent
- 10). Approximate distance of structure from at least two lines must be shown: see sketch

NOTE: Improvement locations are based on previous property surveys. No monuments were set. This tract is subject to all easements, restrictions and reservations of record which pertain. This report is not to be relied on for the establishment of fence, buildings or other future improvements.

[Signature]
 SURVEYOR

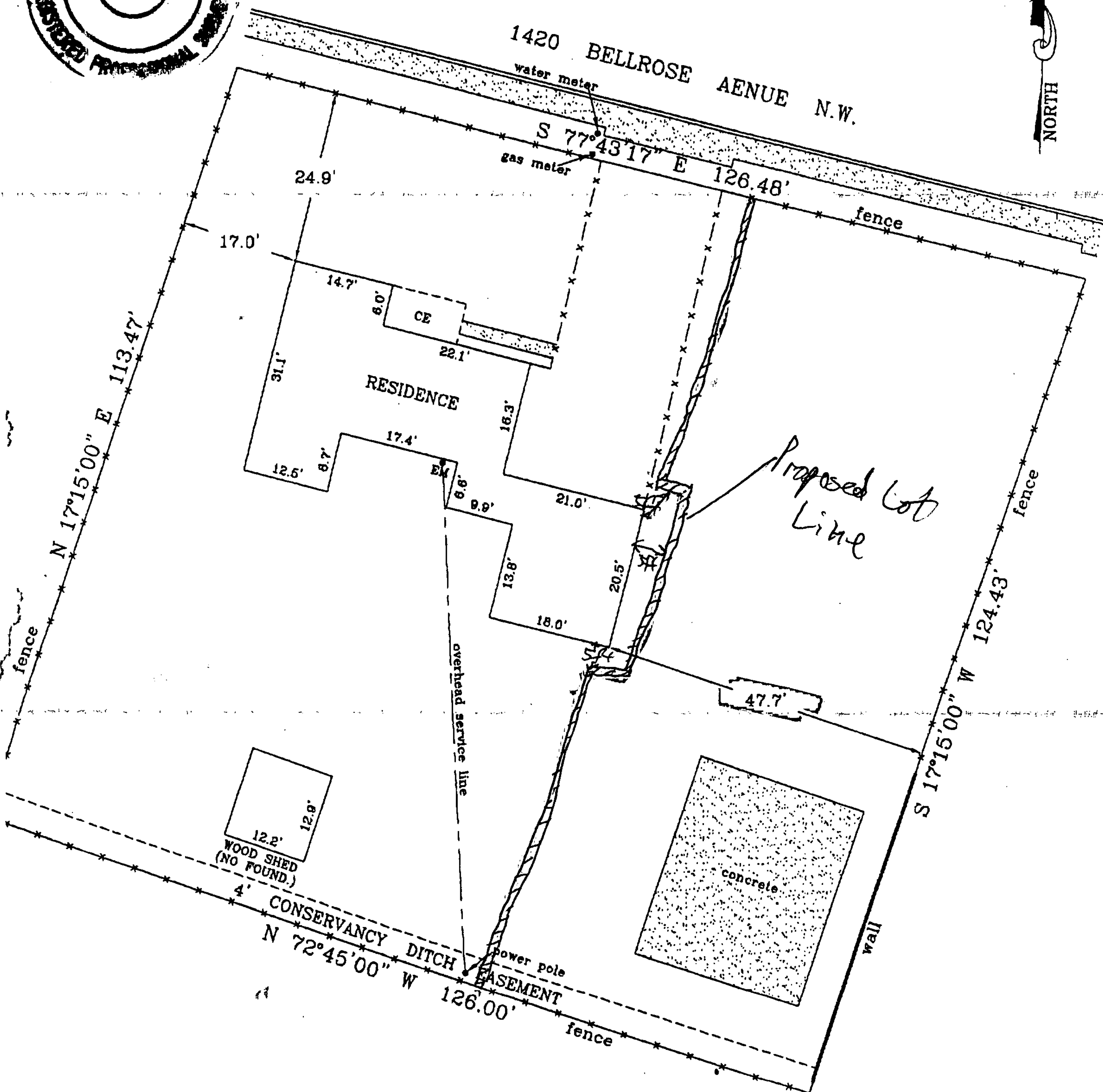
N.M.P.S NO. 7002

The above information is based on boundary information taken from a previous survey and may not reflect that which may be disclosed by a boundary survey.

SKETCH

(THIS IS NOT A BOUNDARY SURVEY)

(THIS IS NOT A SURVEY FOR USE BY A PROPERTY OWNER FOR ANY PURPOSE)



SCALE: 1" = 20'
 437-32C

1004163

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