

PROJECT NUMBER: 1004166
 Application Number: 05-01353

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the findings and conditions in the Official Notification Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<u>[Signature]</u> Traffic Engineering, Transportation Division	Date <u>7-2-05</u>
<u>[Signature]</u> Water Utility Department	Date <u>7-7-05</u>
<u>[Signature]</u> Parks and Recreation Department	Date <u>9/7/05</u>
<u>[Signature]</u> City Engineer	Date <u>9/7/05</u>
<u>[Signature]</u> Environmental Health Department (conditional)	Date _____
<u>[Signature]</u> Solid Waste Management	Date <u>9/12/05</u>
<u>[Signature]</u> DRB Chairperson, Planning Department	Date <u>04-09-09</u>

CM - 9/9/05

(A1) ARCHITECTURAL SITE PLAN
 SCALE: 1" = 20'-0"

- NOTES:
- EXISTING CURB AND GUTTER.
 - NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
 - NEW ENTRANCE PER COA STANDARD DRAWING #2426.
 - NEW ASPHALT PAVING AREA.
 - NEW SIDEWALKS PER COA STANDARD DRAWING #2430.
 - EXISTING SIDEWALK.
 - INSTALL PARKING SIGN, SEE DETAIL C3/AS-103
 - EXISTING FIRE HYDRANT
 - HANDICAP PARKING STALLS - SEE DETAIL D3/AS-103
 - FIRE LANE, NO PARKING STRIPPING

PARKING CALCULATIONS:

1:200 NET LEASE 1ST FLOOR
 1:300 NET LEASE 2ND FLOOR

EXISTING BUILDING NET SF:
 FIRST FLOOR - 5200 SF/ 200 = 26
 SECOND FLOOR - 3000 SF/ 300 = 10

NEW BUILDING NET SF:
 FIRST FLOOR - 2581 SF/ 200 = 12.905
 SECOND FLOOR - 3443 SF/ 300 = 11.477

TOTAL REQUIRED SPACES:
 60,382 - 15% = 51.32
 52 TOTAL SPACES REQUIRED
 4 HC SPACES REQUIRED
 1 BIKE SPACE PER 20 PARKING =
 3 SPACES REQUIRED

TOTAL PROVIDED SPACES:
 28 STANDARD SPACES
 12 SMALL CAR SPACES
 4 HC SPACES
 44 TOTAL CAR SPACES PROVIDED (PER VARIANCE #05EPC00751, 2, 3 & #05ZHE-01065)
 12 BIKE SPACES PROVIDED
 2 MOTORCYCLE SPACES PROVIDED

LAND USE CALCULATIONS

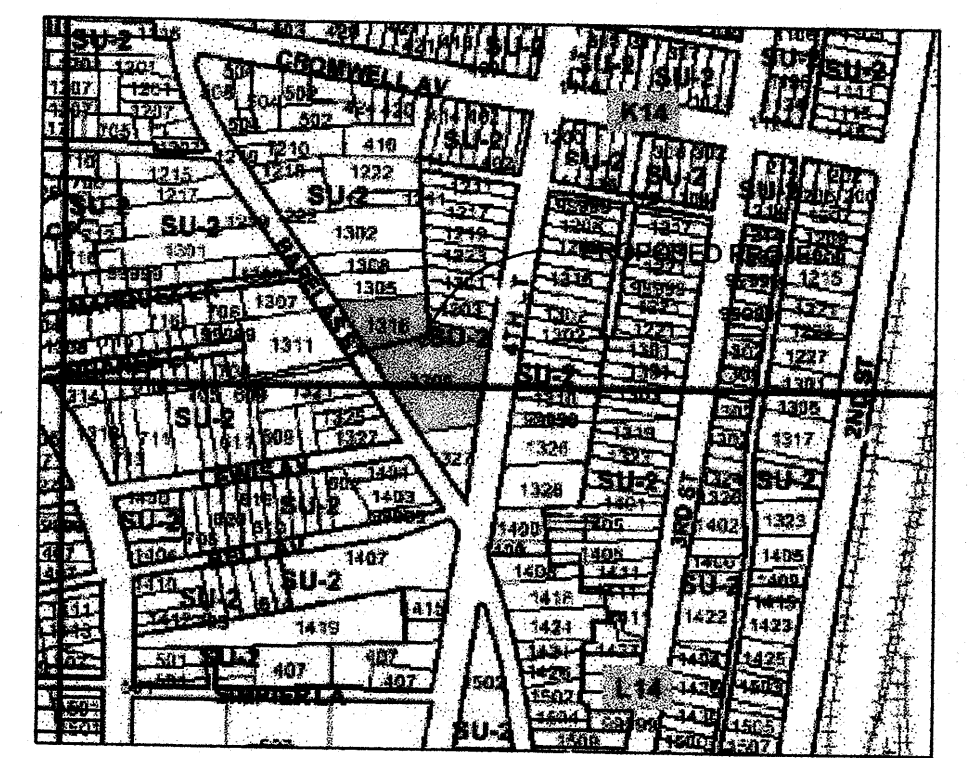
LEGAL DESCRIPTION: COMBINED TRACT A AND TRACT 2 MAP #41
 PROPOSED USE: OFFICE SPACE

BUILDING SQ. FOOTAGE:
 EXISTING GROSS SF: 12,941 SF
 PROPOSED GROSS SF: 8,748 SF
 TOTAL GROSS SF: 21,689 SF

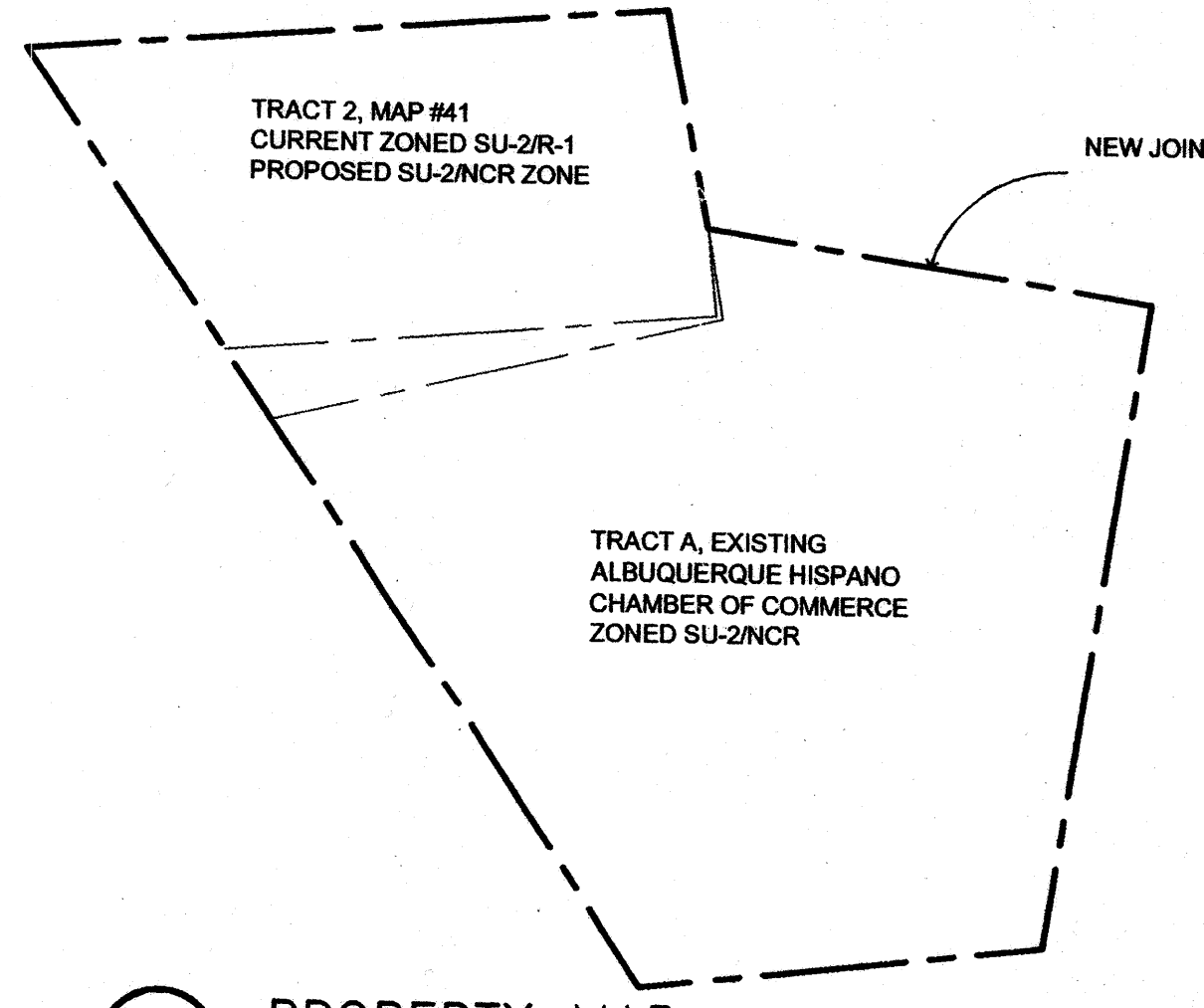
EXTERIOR CANOPIES SF: 760 SF
 EXISTING LAND AREA: 29,429 SF (.676 ACRES)
 PROPOSED LAND AREA: 12,253 SF (.281 ACRES)
 TOTAL LAND AREA: 43,058 SF (.988 ACRES)
 PROPOSED BUILDING FOOTPRINT TOTAL: 14,863 SF
 TOTAL LOT AREA LESS BUILDING AREA: 28,195 SF
 TOTAL PARKING LOT AREA: 14,892 SF
 TOTAL LANDSCAPE AREA: 4,481 SF
 TOTAL LANDSCAPE PERCENTAGE: 16%

LEGEND:

EXISTING STRUCTURE TO REMAIN



(B4) ZONING MAP
 SCALE: 1:200



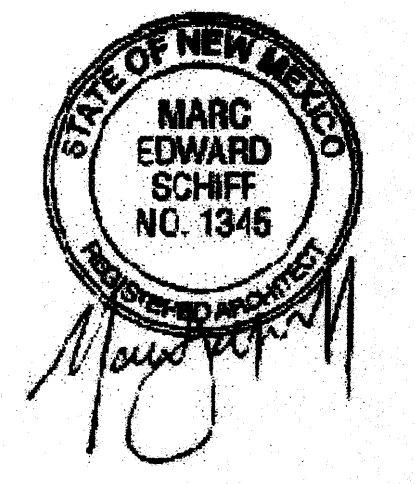
(A4) PROPERTY MAP
 SCALE: 1" = 40'-0"



DESIGN COLLABORATIVE SOUTH-WEST, INC.
 320 Central Ave., SW, Albuquerque, NM 87102
 505.843.9639 Fax: 505.843.9683
 Web Site: www.dcswwarchitects.com
 E-Mail: dcsww@dcswwarchitects.com

CONSULTANTS

Architect Engineer



BARELAS JOB OPPORTUNITY CENTER
 ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

1309 4th St. SW.
 Albuquerque New Mexico 87102

REV 1 05/10/05 CITY REQUEST
 REV 2 05/31/05 CITY REQUEST

MARK	DATE	DESCRIPTION
ISSUE:	PERMIT CD SET	
PROJECT NO:	0425	
CAD DWG FILE:	0425-as101	
DRAWN BY:	CAD	
CHECKED BY:	PROJECT ARCH	
DATE:	10/03/05	

SHEET TITLE
 ARCHITECTURAL SITE PLAN

AS-101

sheet of sheets

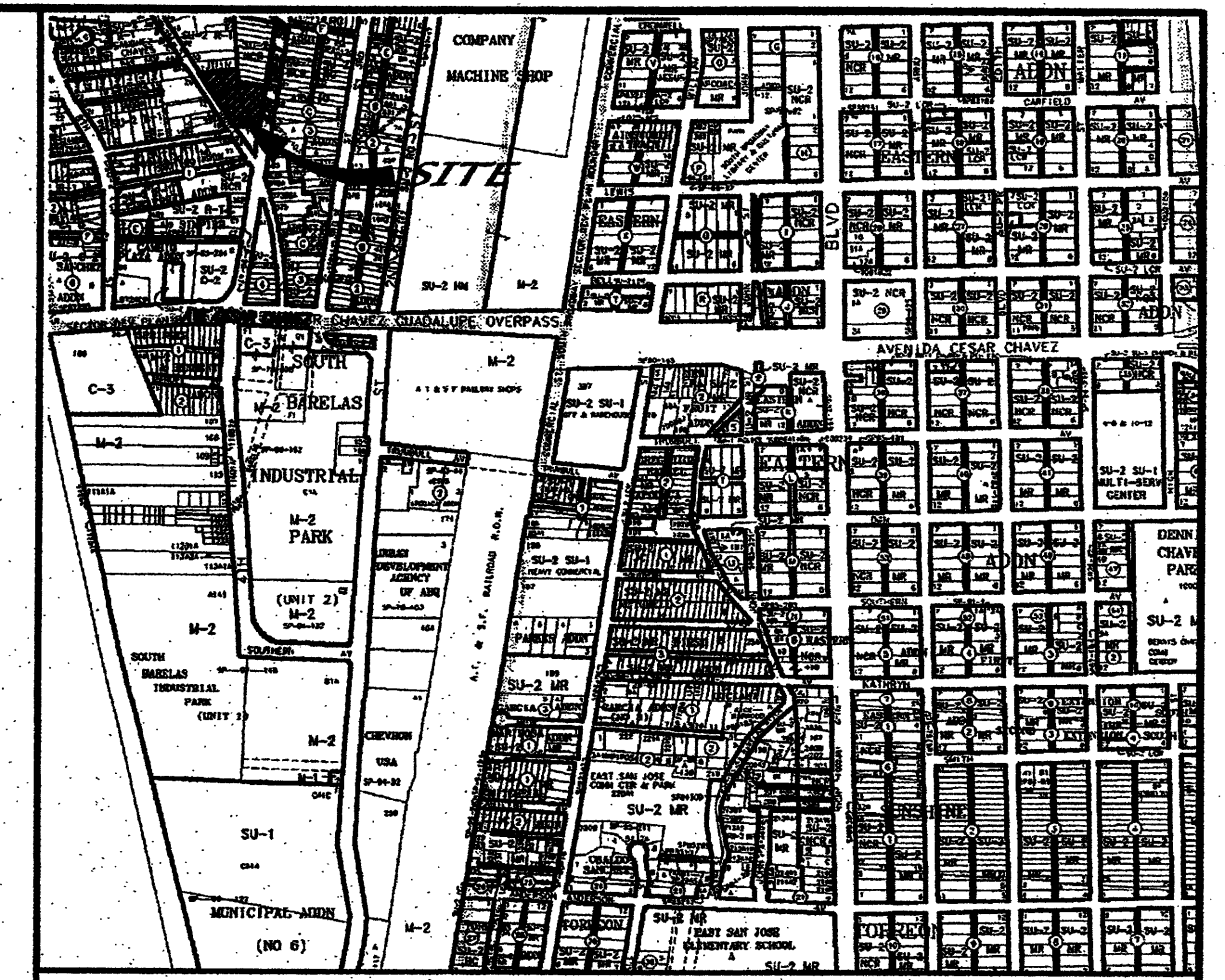
1004166

KEYED NOTES

1. CONSTRUCT NEW 6" HEADER CURB PER C.O.A. STD. DWG #2415B ALONG PROPERTY LINE TO PREVENT RUN-OFF FROM ENTERING EXISTING PARK.
2. PRESERVE WALL OPENING FOR FLOW OF RUN-OFF FROM EAST TO WEST. MATCH EXISTING GRADE OF 46.24.
3. CONSTRUCT 8" TO 16" OF RETAINAGE ALONG SOUTH SIDE OF PARKING SPACES.

GENERAL NOTES

1. CONTRACTOR SHALL IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY IN ORDER TO ACHIEVE THE FINAL GRADES AS SHOWN ON THIS PLAN.
2. EXCEPT FOR DOORWAYS AND WHERE THERE IS EXTENDED STEM WALL, NEW EXTERIOR FLAT WORK SHALL ABUT TO BUILDING AT LEAST ONE-INCH BELOW THE FINISHED FLOOR ELEVATION.
3. PROPOSED ON-SITE CURB IN PARKING AREA SHALL BE CITY OF ALBUQUERQUE (C.O.A.) MEDIAN TYPE PER STANDARD DRAWING #2415B. NEW CURB WITHIN CITY R/W OUTSIDE OF PARALLEL PARKING SHALL BE STANDARD CURB & GUTTER PER C.O.A. STANDARD DRAWING #2415A. NEW CURB & GUTTER ALONG PARALLEL PARKING SHALL BE DEPRESSED CURB & GUTTER PER C.O.A. STANDARD DRAWING #2415A.
4. SEE SOILS REPORT BY GEO-TEST, INC. FOR FURTHER INFORMATION ON PROPOSED PAVEMENT SECTION. INCREASE CONCRETE THICKNESS TO 6" ON DRIVE AISLE BETWEEN STREET AND DUMPSTER.
5. STRUCTURAL RETAINAGE/STEM WALLS DESIGN BY OTHERS.



VICINITY MAP ZONE MAP: #L-14-Z

ACS BENCHMARK

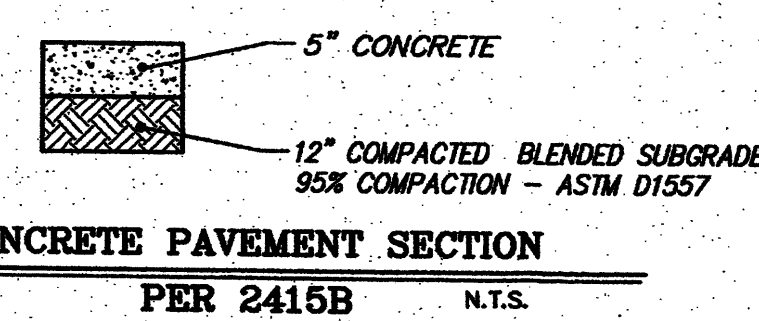
ACS BENCHMARK FOR THIS PROJECT IS A 3 1/4" ALUMINUM CAP STAMPED "10-114, 1987", LOCATED 1.2 MILES SOUTH OF DOWNTOWN ALBUQUERQUE, TO REACH THE STATION FROM INTERSECTION OF BRIDGE BLVD. & I-25, GO WEST ON BRIDGE BLVD. 0.8 MILES TO THIRD STREET & THE STATION IS LOCATED ON THE LEFT SET FLUSH WITH THE CURB. ELEVATION= 4951.924

LEGAL DESCRIPTION

LOT A, LANDS OF ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

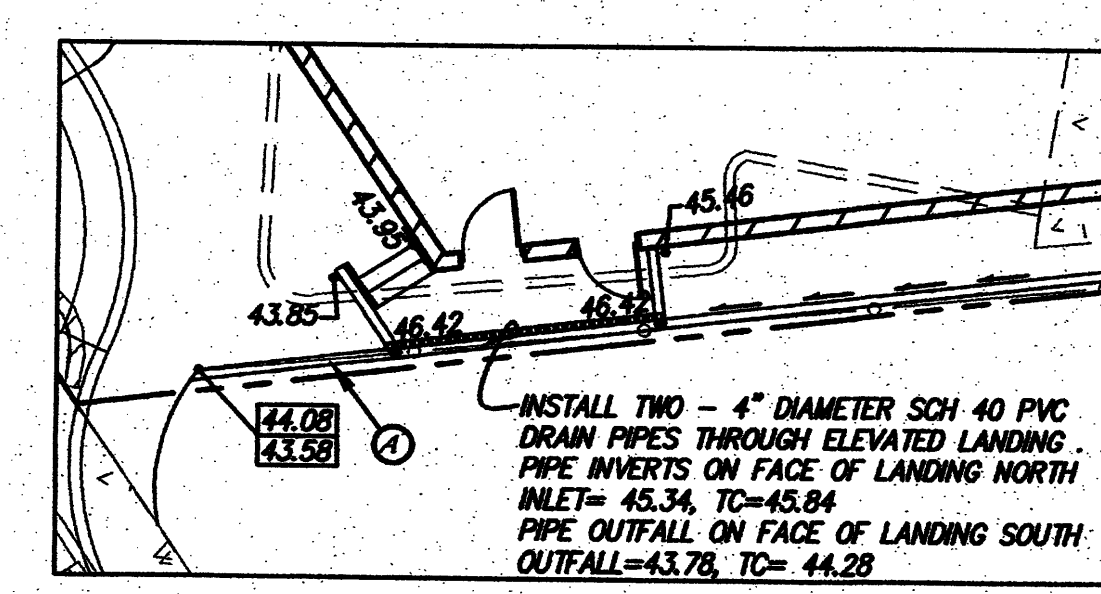
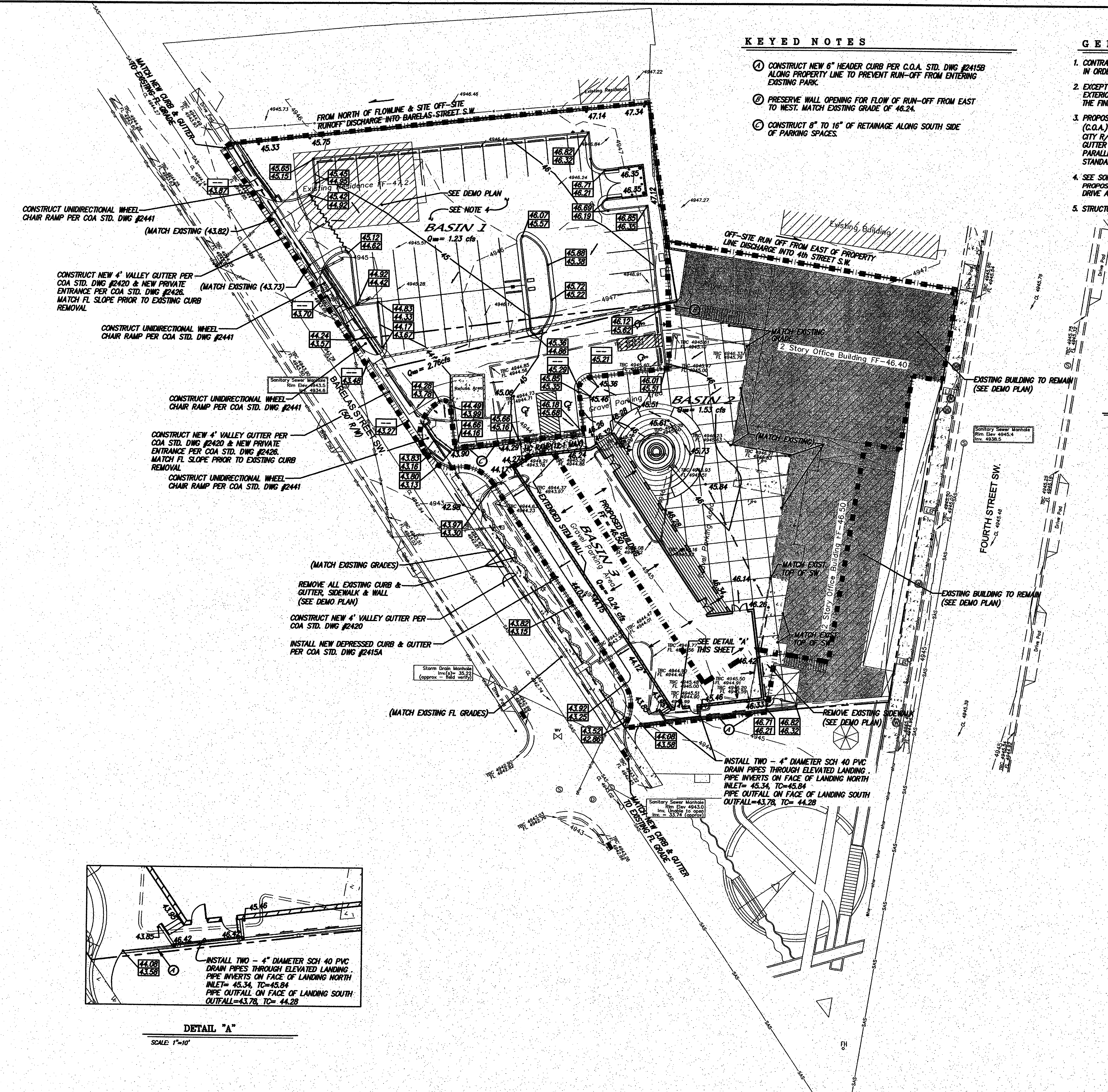
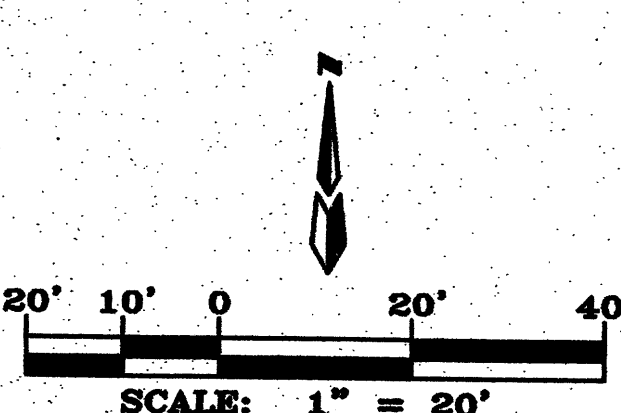
LEGEND

- 4995 --- EXISTING CONTOUR MAJOR
- 4994 --- EXISTING CONTOUR MINOR
- --- EXISTING PROPERTILINE
- ==== PROPOSED CURB & GUTTER
- 44.88 PROPOSED SPOT ELEVATION
- 44.88 PROPOSED TOP OF CURB ELEVATION
- 44.38 PROPOSED FLOW LINE ELEVATION
- >--- PROPOSED FLOW DIRECTION ARROW (TYP)
- |--- PROPOSED STEM WALL OR OTHER RETAINAGE
- |--- PROPOSED ROOF DRAIN (TYP)
- |--- PROPOSED DRAINAGE BASIN BOUNDARY
- |--- PROPOSED CLEANOUT
- --- PROPERTY LINE
- --- PROPOSED WATER BLOCK
- --- EXISTING STORM DRAIN INLET
- --- EXISTING STORM DRAIN MANHOLE
- --- EXISTING U.S. WEST MANHOLE
- --- EXISTING OVERHEAD UTILITIES
- --- EXISTING UTILITY POLE
- --- EXISTING ANCHOR
- --- EXISTING ELECTRIC METER
- --- EXISTING UTILITY PEDESTAL
- --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING GAS METER
- --- EXISTING LIGHT POLE
- --- EXISTING WATER VALVE
- --- EXISTING WATER METER
- --- EXISTING FIRE HYDRANT
- --- EXISTING WIRE FENCE
- --- EXISTING BLOCK WALL
- --- EXISTING TOP BACK CURB ELEVATION
- --- EXISTING SPOT ELEVATION
- --- EXISTING FLOWLINE ELEVATION
- --- EXISTING CURB
- --- EXISTING CONCRETE/SIDEWALK



Professional Engineer Seal for John MacKinnon, State of New Mexico, No. 11619, dated 09-04-08.

BASIN	AREA(SM)	Q=
1	0.0005	1.23cfs
2	0.0006	1.53cfs
3	0.0007	0.24cfs

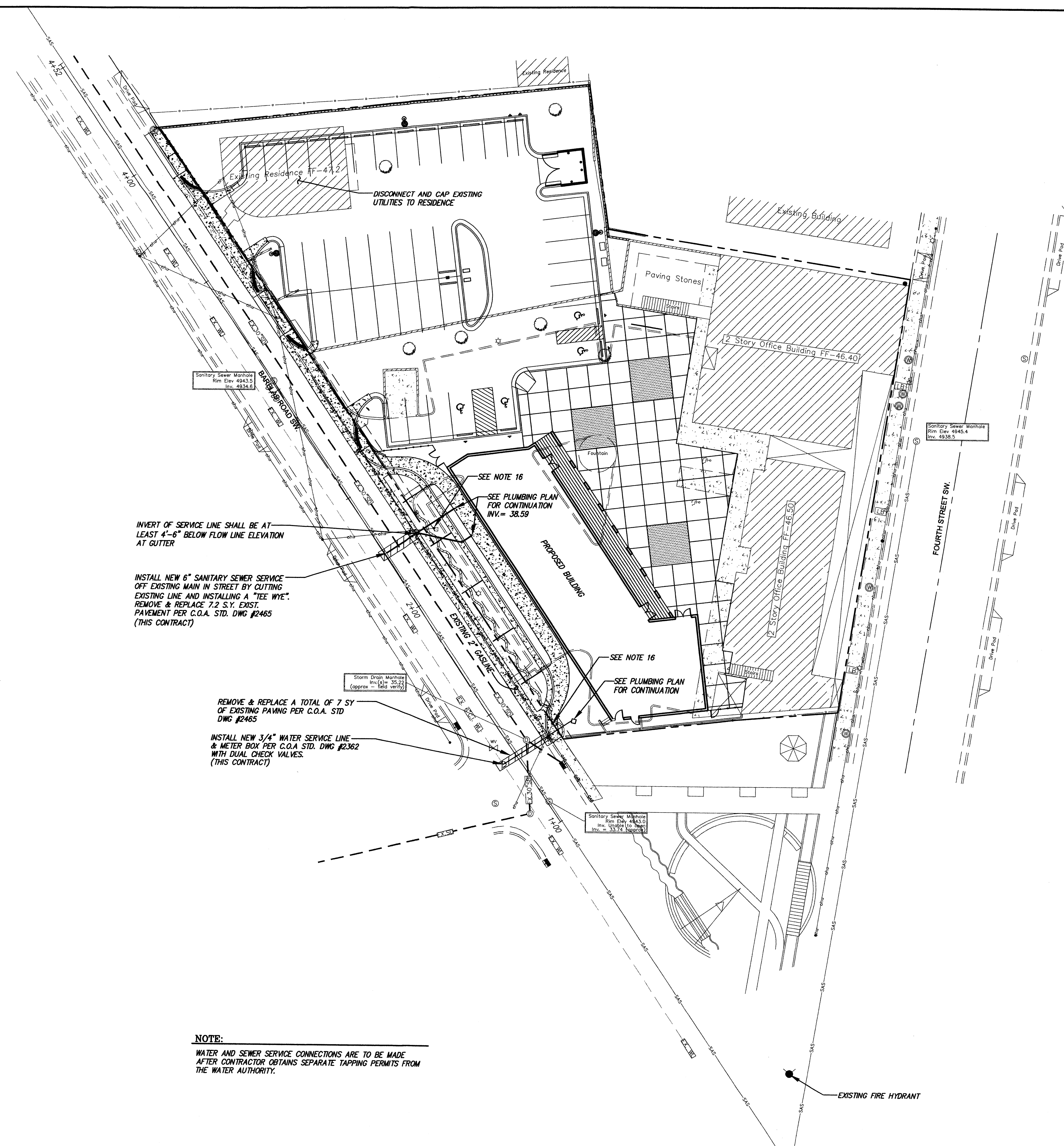


DETAIL "A" SCALE: 1"=10"

BARELAS JOB CENTER
GRADING & DRAINAGE PLAN

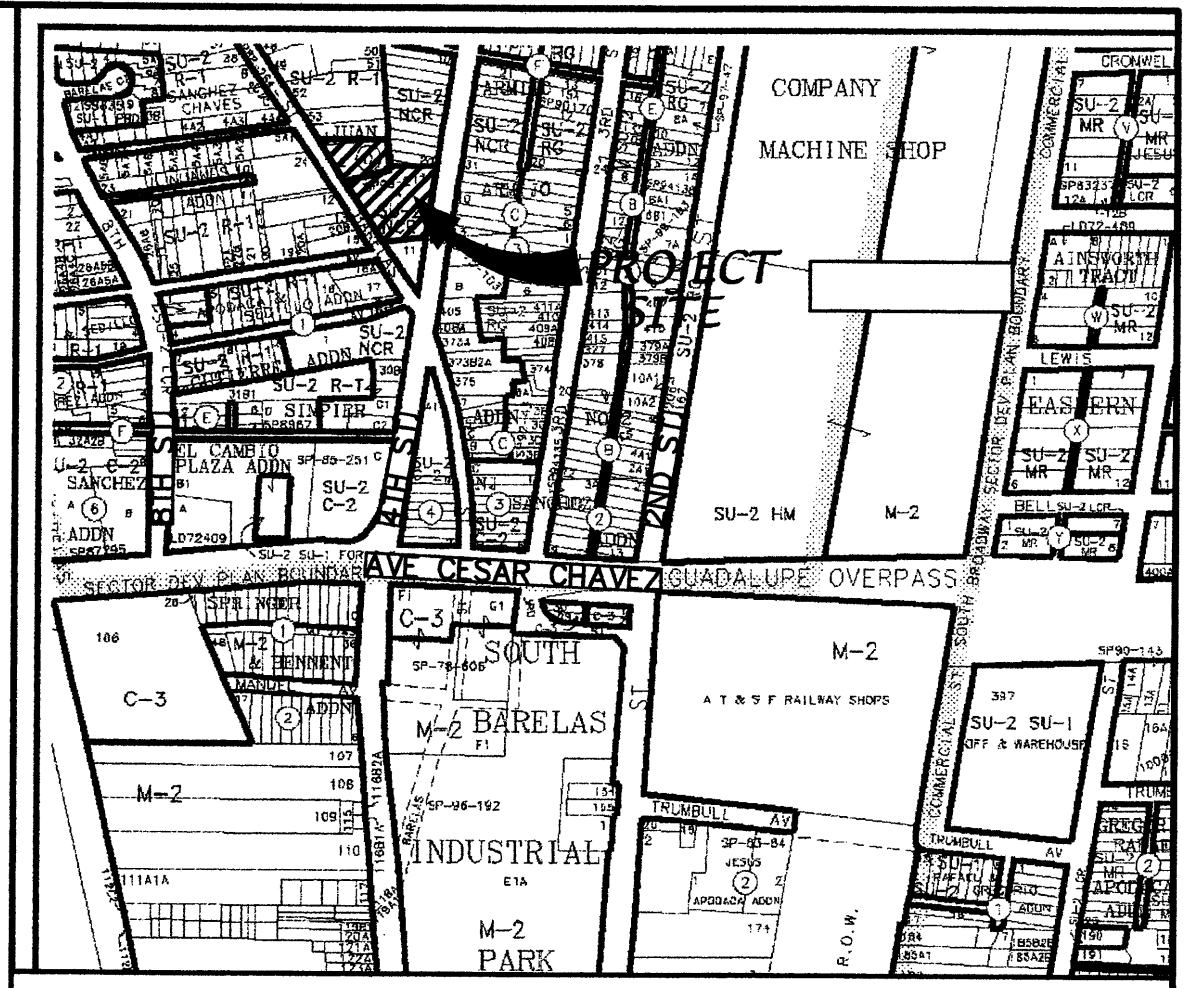
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: ACH Checked: DMG Sheet
Scale: 1" = 1' Date: 07-17-08 Job: A05038



- STANDARD UTILITY NOTES:**
- All Main waterline is C-900 PVC pipe and all sanitary sewer is SDR35 PVC pipe. All storm drain is RCP Class III unless noted otherwise on the plans.
 - EMD's shall be installed on all waterline and sanitary sewer appurtenances as per section 170 of Standard Specifications for Public Works Construction, Latest Edition.
 - All waterline services shall be 3/4" unless noted otherwise on plans.
 - All Gate Valves per Std Dwg #2326 and #2328.
 - Manholes Type "C" per Std Dwg #2101.
 - Manholes Type "E" per Std Dwg #2102.
 - Water services per Std Dwg #2362 and #2368 (for 3/4" and 1" services) and Std Dwg #2363 and #2367 (for 1-1/2" and 2" services). Dual Check Valves shall be required in valley locations.
 - SAS services into main line per Std Dwg #2125.
 - SAS services into manholes per Std Dwg #2118.
 - Steps shall not be installed in sanitary sewer manholes.
 - All Excavation, trenching and shoring activities must be carried out in accordance with OSHA 29 CFR 1926.650 Subpart P.
 - All stormdrain inlets per Std. Dwg's #2201, #2202, #2203, #2205, #2206, #2207, #2215, and #2217.
 - For stormdrain construction, RCP pipe joints shall not be grouted prior to final inspection. Final inspection will determine the joints to be grouted for final acceptance of the construction.
 - All water meter boxes adjacent to mountable curb & gutter are to have heavy duty Traffic Rated covers per City Standard Detail #2369.
 - Contractor to contact PNM's New Service Delivery Department at (505) 241-3425 to arrange for new electric and gas service to the building.
 - PNM should also be contacted to verify that excavations for underground piping do not adversely impact existing utility poles when in close proximity to poles.
 - All Wet Utilities within City Right of Way shall be in accordance with the City Standard Specifications for Public Works Construction, 1986 Edition as revised through Update 7 and Amendment No. 1.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.



VICINITY MAP ZONE MAP: L-14-Z

ACS BENCHMARK
ACS BENCHMARK FOR THIS PROJECT IS A 3 1/4" ALUMINUM CAP STAMPED "10-L14, 1987", LOCATED 1.2 MILES SOUTH OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM INTERSECTION OF BRIDGE BLVD. & I-25, GO WEST ON BRIDGE BLVD. 0.8 MILES TO THIRD STREET & THE STATION IS LOCATED ON THE LEFT SET FLUSH WITH THE CURB. ELEVATION = 4951.924

LEGAL DESCRIPTION
LOT A, LANDS OF ALBUQUERQUE HISPANO CHAMBER OF COMMERCE.

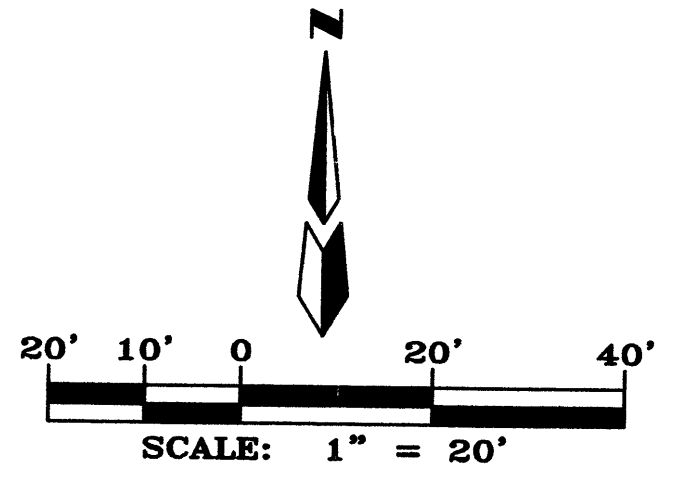
LEGEND

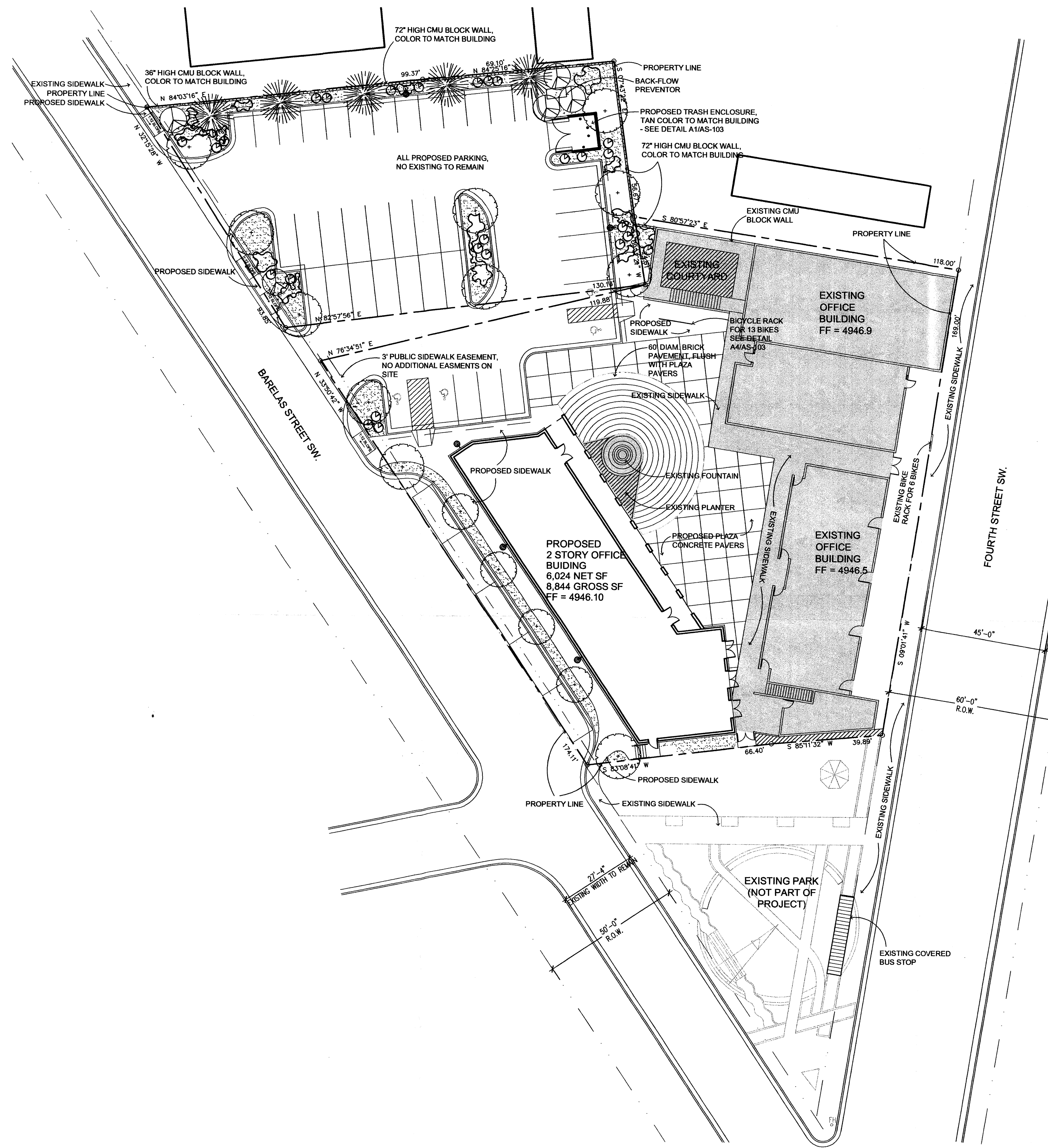
	EXISTING CONCRETE CURB
	EXISTING CONCRETE/SIDEWALK
	EXISTING WALL OR HEAD WALL
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING OVERHEAD UTILITY LINES
	EXISTING POWER POLE
	EXISTING GUYWIRE
	EXISTING LIGHT POLE
	EXISTING STORM SEWER MANHOLE
	EXISTING SD INLET
	EXISTING STORMDRAIN LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE
	NEW 6" SAS SERVICE
	NEW 4" W.L.
	NEW GATE VALVE & BOX
	NEW CONCRETE CURB & GUTTER

**BARELAS JOB CENTER
UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: SPS Checked: DMG SHEET
Scale: AS SHOWN Date: 04/07/2009 Job: A08059 **C 102**





PLANT LEGEND:

- 2" CAL. SHADE TREE
ASH, LOCUST, W. MAPLE, LONDON PLANE - 15 TOTAL
- 15 GALLON FLOWERING ORNAMENTAL TREE
PURPLELEAF PLUM, BRADFORD PEAR - 5 TOTAL
- 2" CAL. EVERGREEN TREE
5 TOTAL
- 1 GALLON SHRUB
PHOTINIA, RAPHILOPIS, EUONYMUS, CHAMISA, APACHE PLUME - 30 TOTAL
- 1 GALLON GROUNDCOVER
HONEYSUCKLE, TAM JUNIPER, BUFFALO JUNIPER
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPE
- EXISTING STRUCTURE TO REMAIN

LANDSCAPE CALCULATIONS:

TOTAL COMBINED SITE AREA = 43,058 SF
 TOTAL COMBINED BUILDING FOOTPRINT = 14,863 SF
 NET SITE AREA = 28,195 SF
 15% LANDSCAPE REQUIREMENT = 4,229 SF
 TOTAL LANDSCAPE PROVIDED = 4,481 SF
 75% GROUND COVER REQUIREMENT = 3,361 SF
 TOTAL GROUND COVER PROVIDED = 3,704 SF
 PROPOSED PLANTING BEDS = 3,704 SF
 EXISTING PLANTING BEDS TO REMAIN = 965 SF
 TOTAL PLANTING BEDS = 4,669 SF

LANDSCAPE NOTES:

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

3/4" GREY GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

IRRIGATION NOTES:

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



DESIGN COLLABORATIVE SOUTHWEST, INC.
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CONSULTANTS

Architect	Engineer

Architect	Engineer

BARELAS JOB OPPORTUNITY CENTER
ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

1309 4th St. Sw.
 Albuquerque New Mexico 87102

REV 1	05/10/05	CITY REQUEST
REV 2	05/31/05	CITY REQUEST

MARK	DATE	DESCRIPTION
ISSUE:	DRB	SUBMITTAL
PROJECT NO:	0425	
CAD DWG FILE:	0425-as101	
DRAWN BY:	CAD	
CHECKED BY:	PROJECT ARCH	
DATE:	09/09/05	

SHEET TITLE

LANDSCAPE PLAN

L-101
 sheet of sheets

CONSULTANTS

Architect Engineer

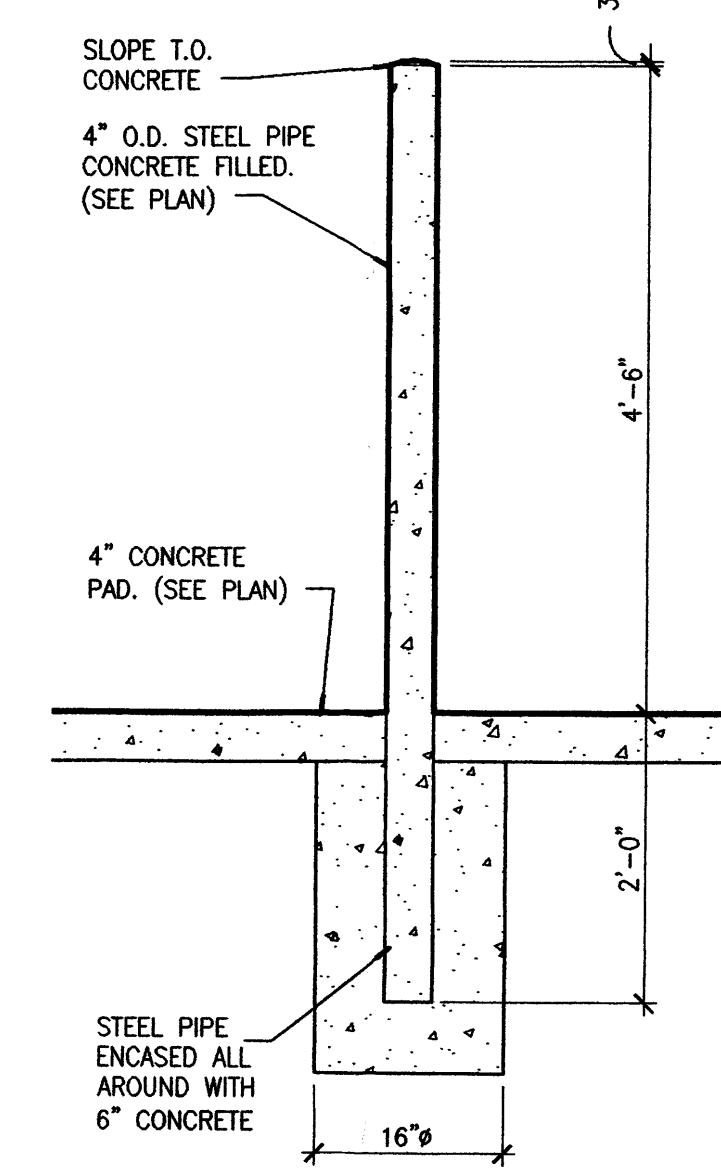
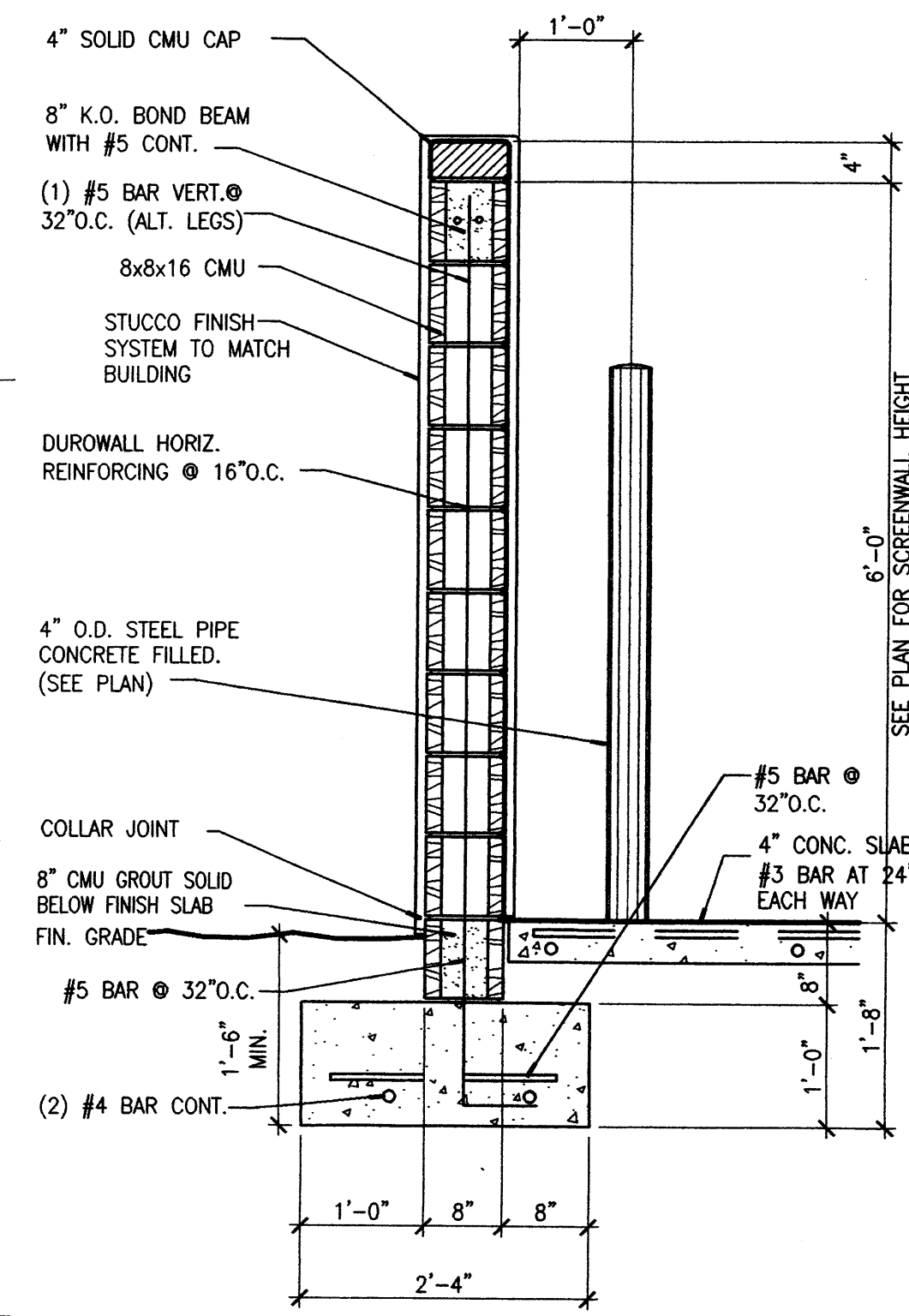
BARELAS JOB OPPORTUNITY CENTER

ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

1309 4th St. Sw.
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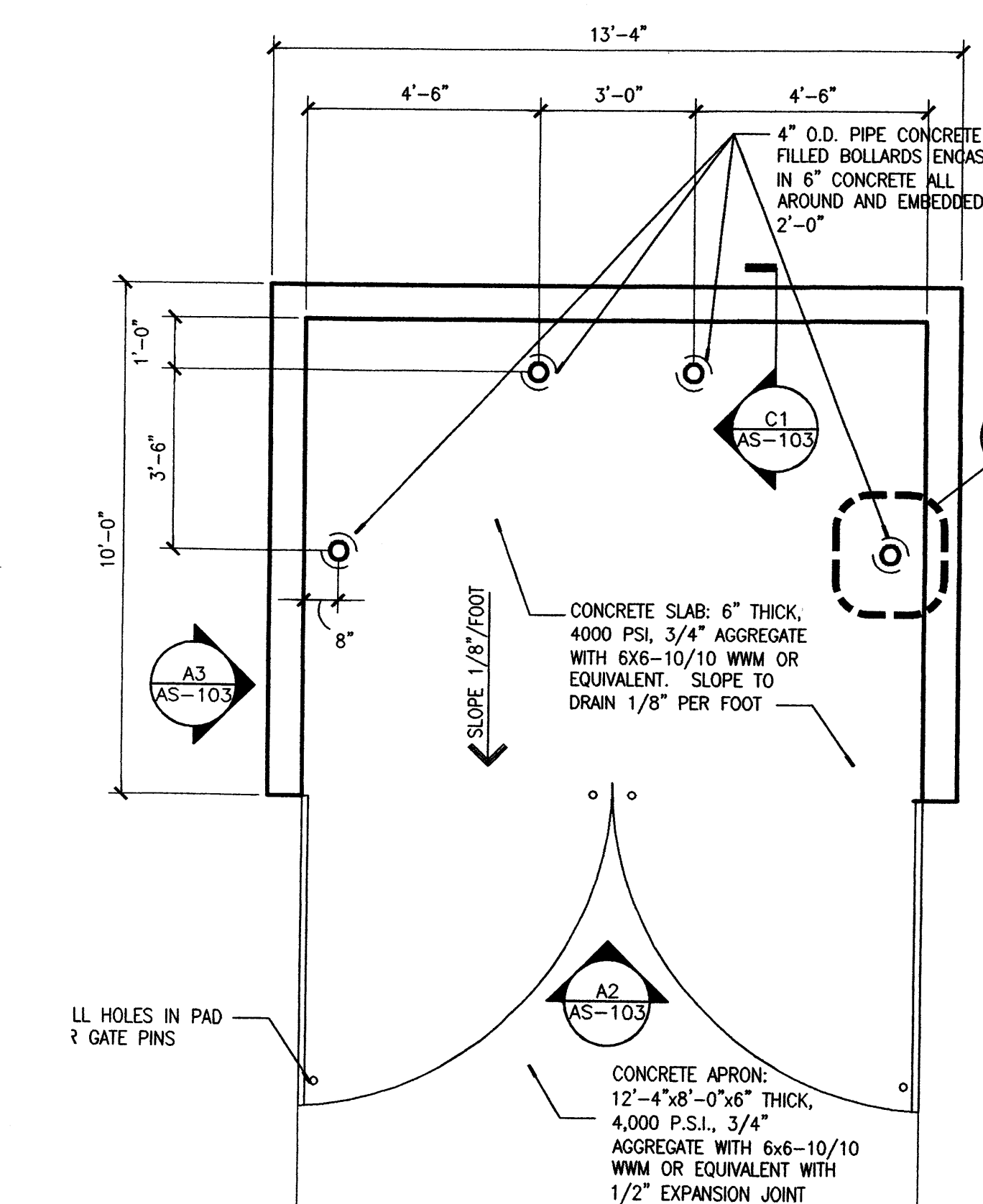
MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0425	
CAD DWG FILE:		
DRAWN BY:	CAD	
CHECKED BY:	PROJECT ARCH	
DATE:	09/09/05	

SHEET TITLE
 ARCHITECTURAL SITE PLAN DETAILS

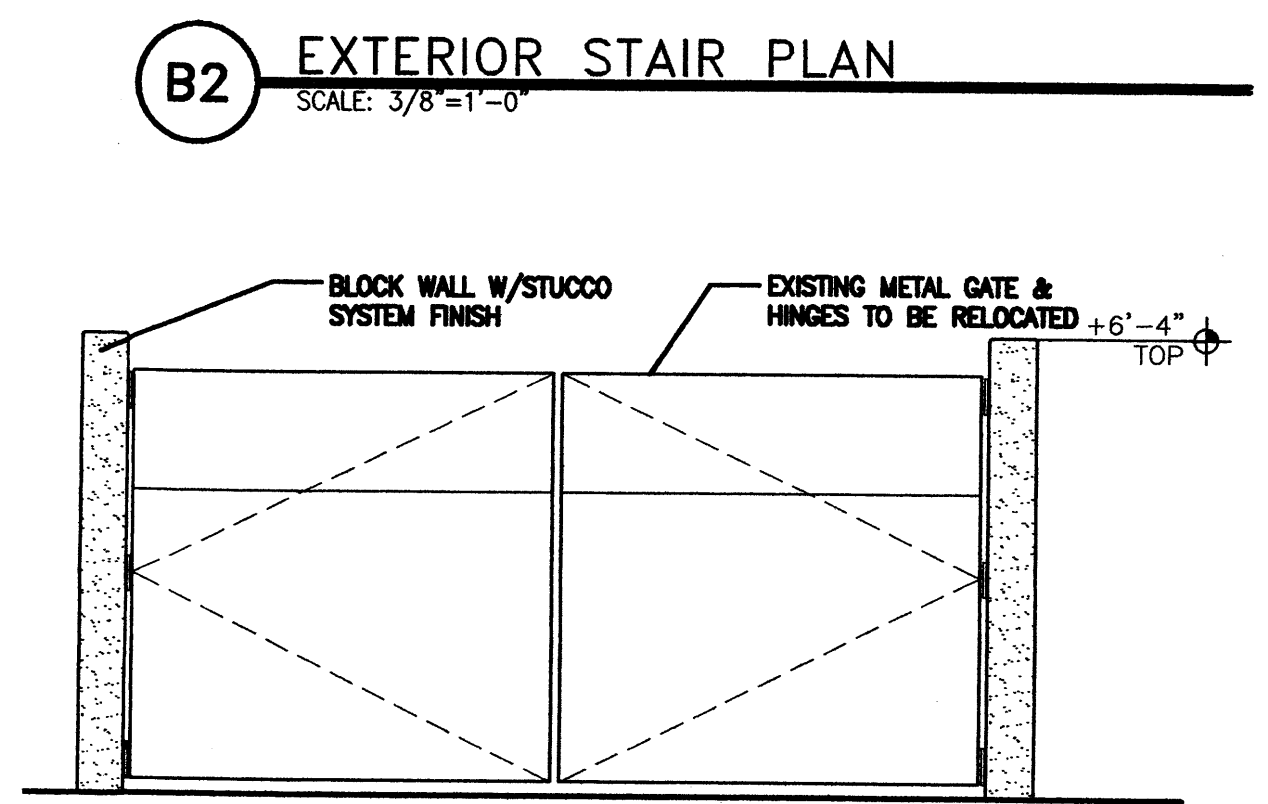


C1 TRASH / SCREEN WALL DETAIL
 SCALE: 3/4=1'-0"

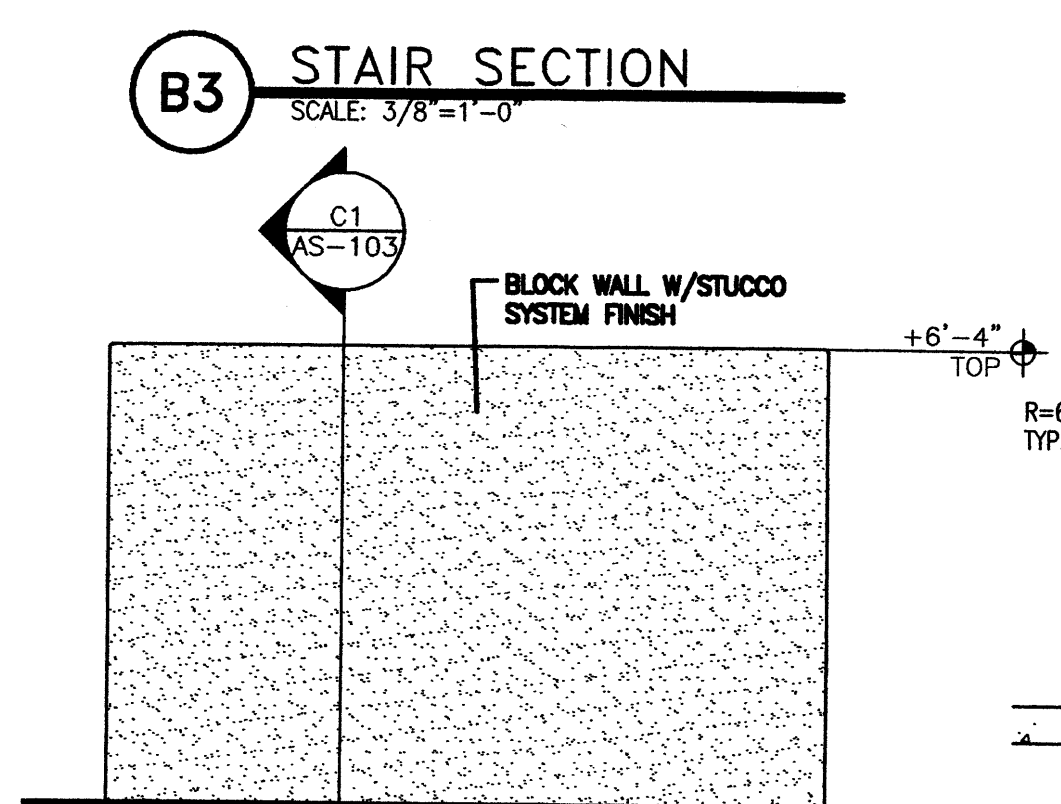
C2 BOLLARD DETAIL
 SCALE: 3/4=1'-0"



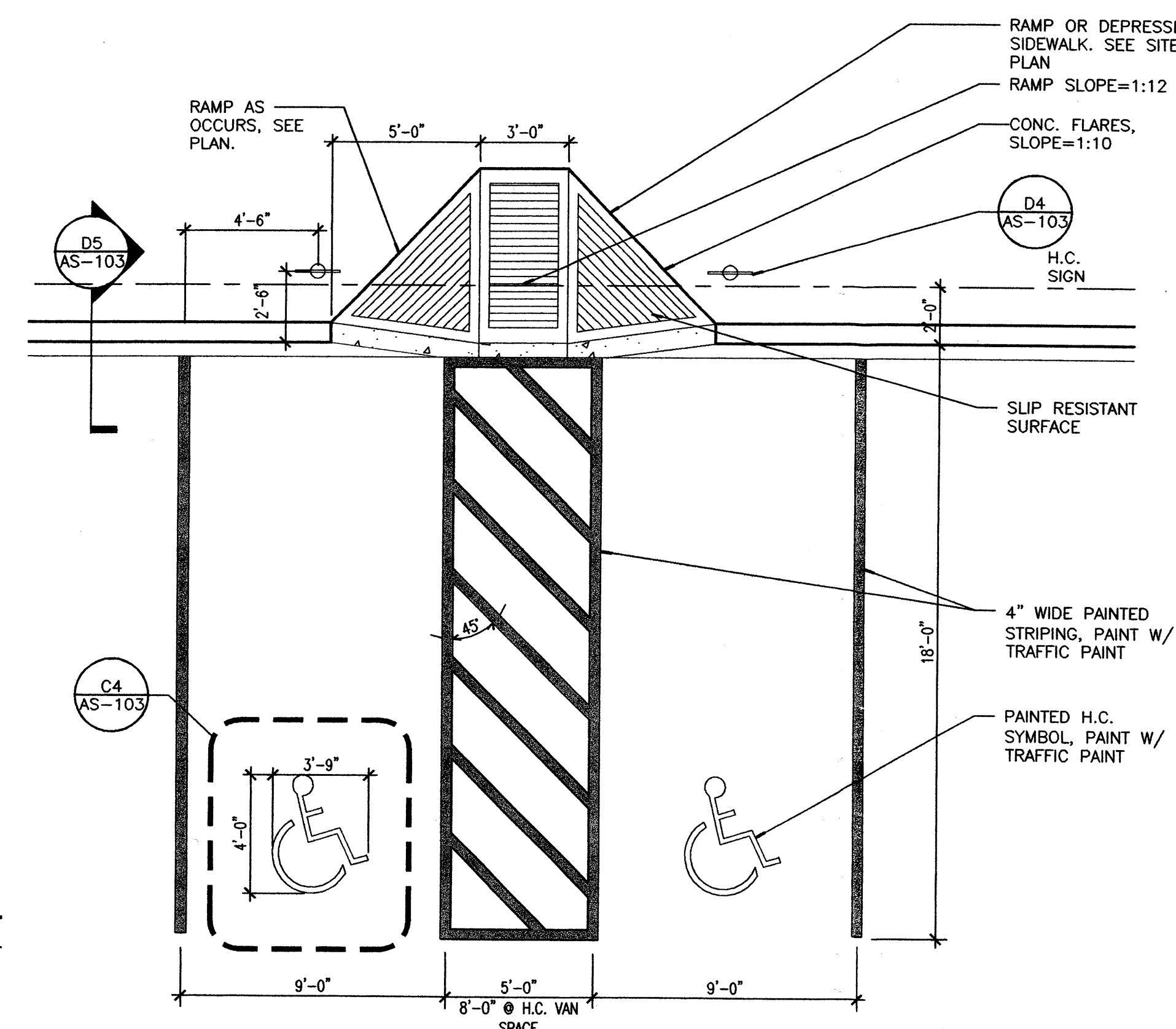
A1 TRASH ENCLOSURE PLAN
 SCALE: 3/8=1'-0"



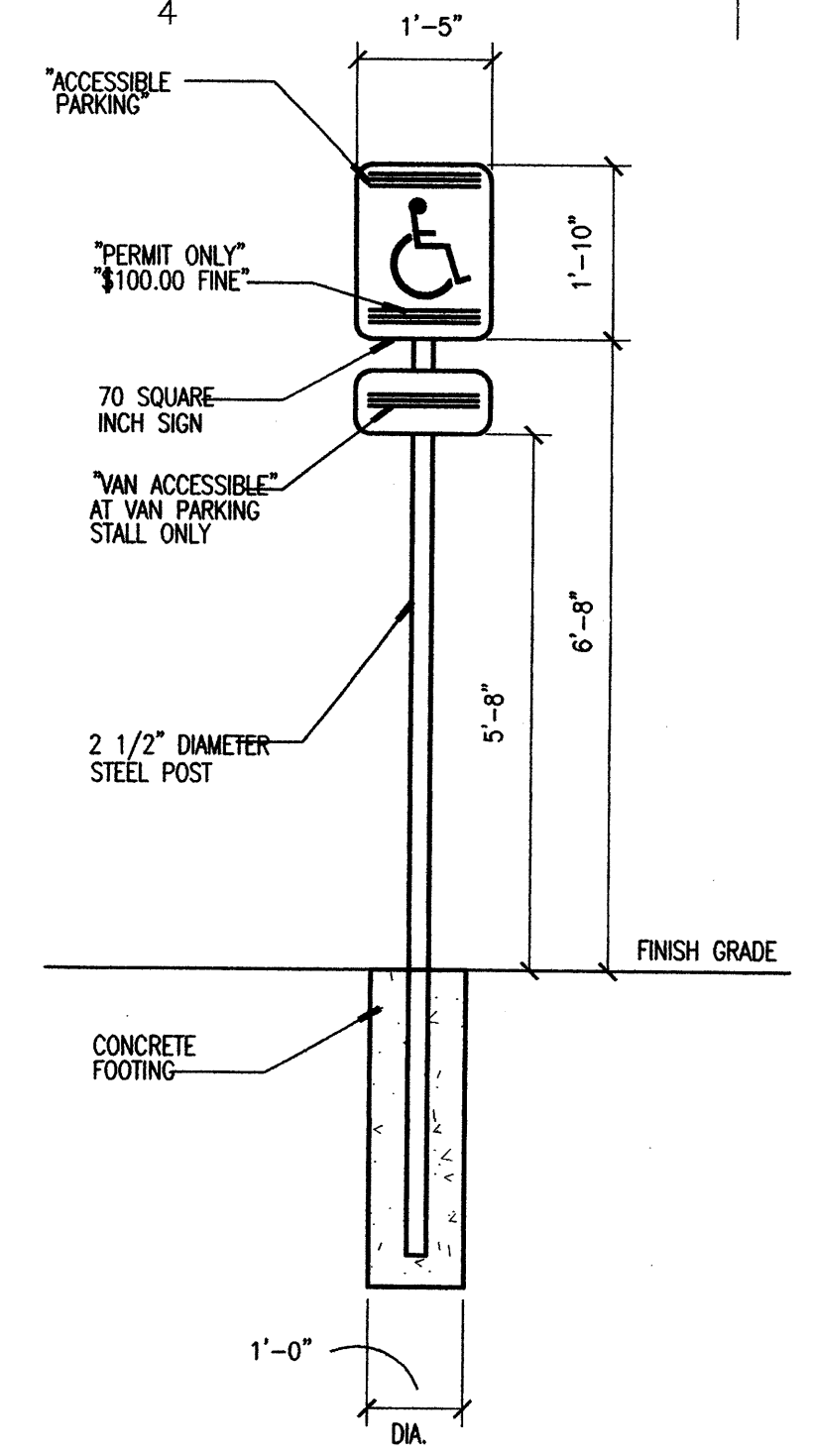
A2 TRASH ENCLOSURE FRONT ELEVATION
 SCALE: 3/8=1'-0"



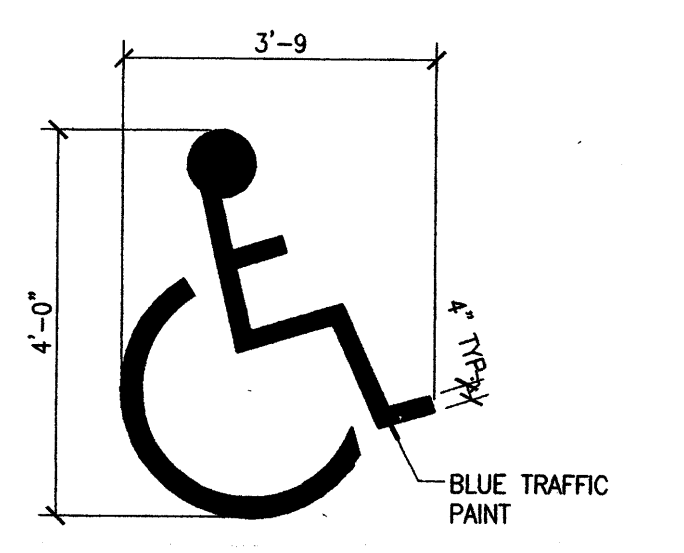
A3 TRASH ENCLOSURE SIDE ELEVATION
 SCALE: 3/8=1'-0"



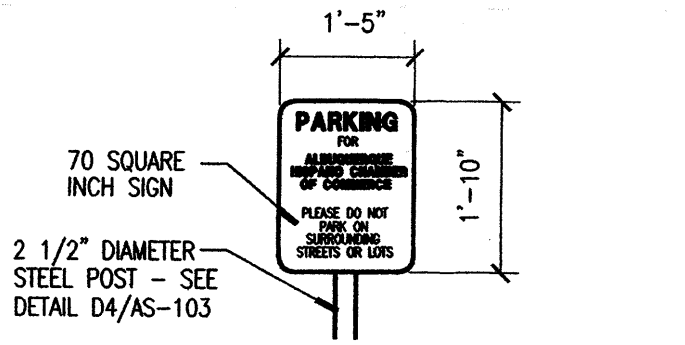
D3 STANDARD VAN/HANDICAP STALL
 SCALE: 1/4=1'-0"



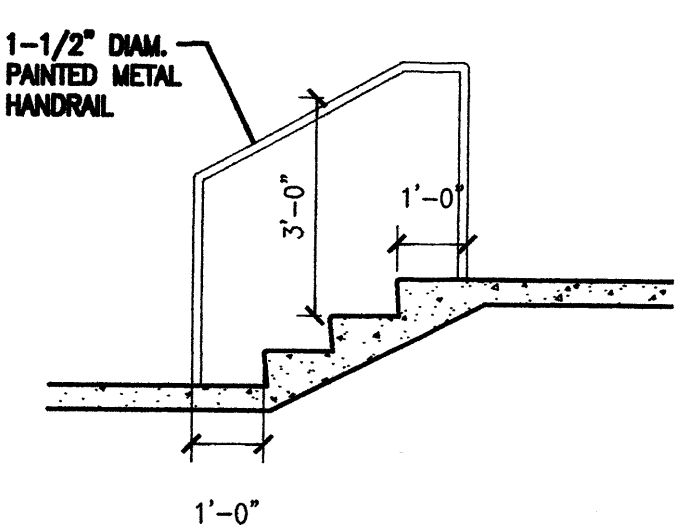
D4 TYP. RESERVE SIGN
 1/2=1'-0"



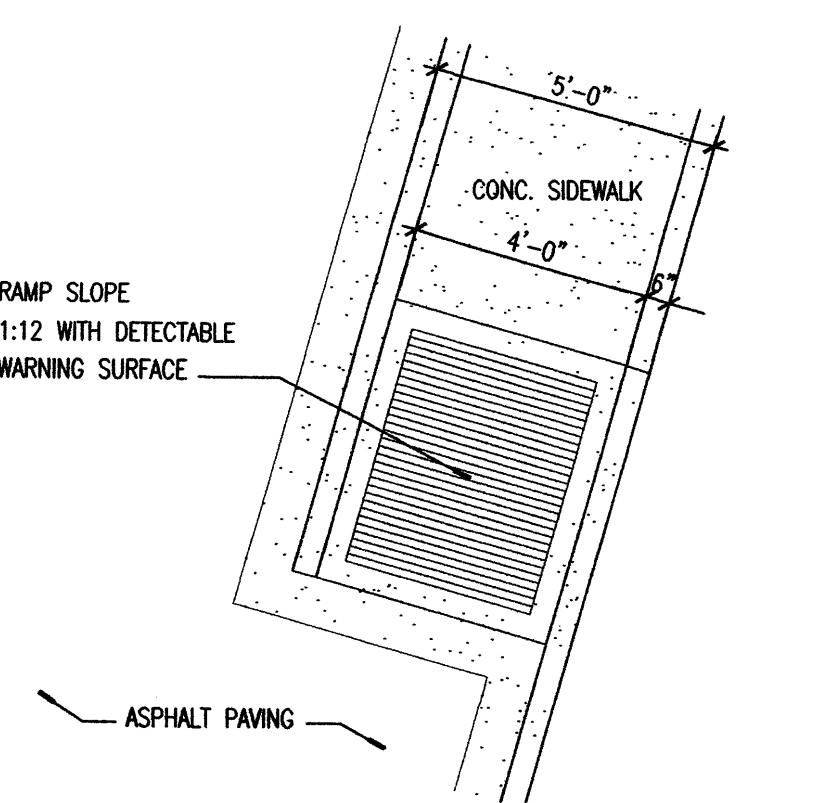
C4 H.C. PAVEMENT SIGN
 SCALE: 1/2=1'-0"



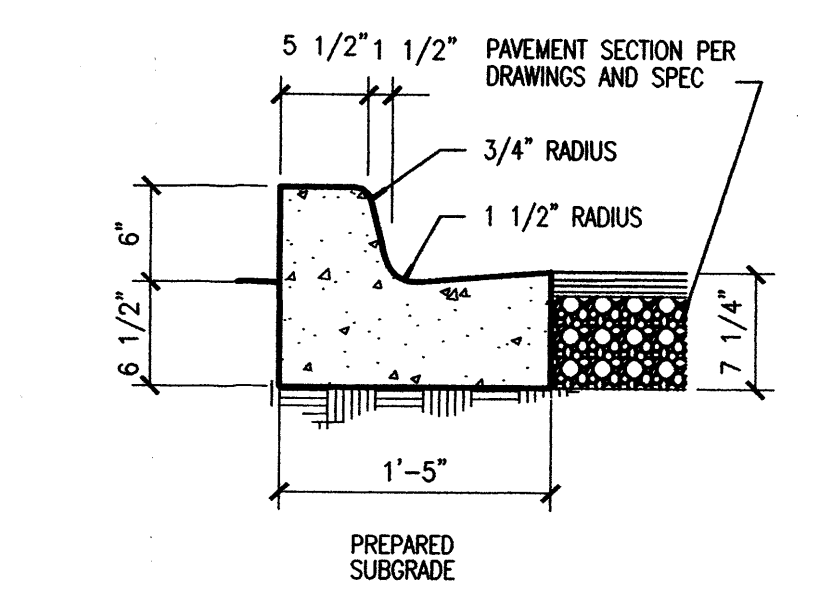
C3 PARKING SIGN
 SCALE: 1/2=1'-0"



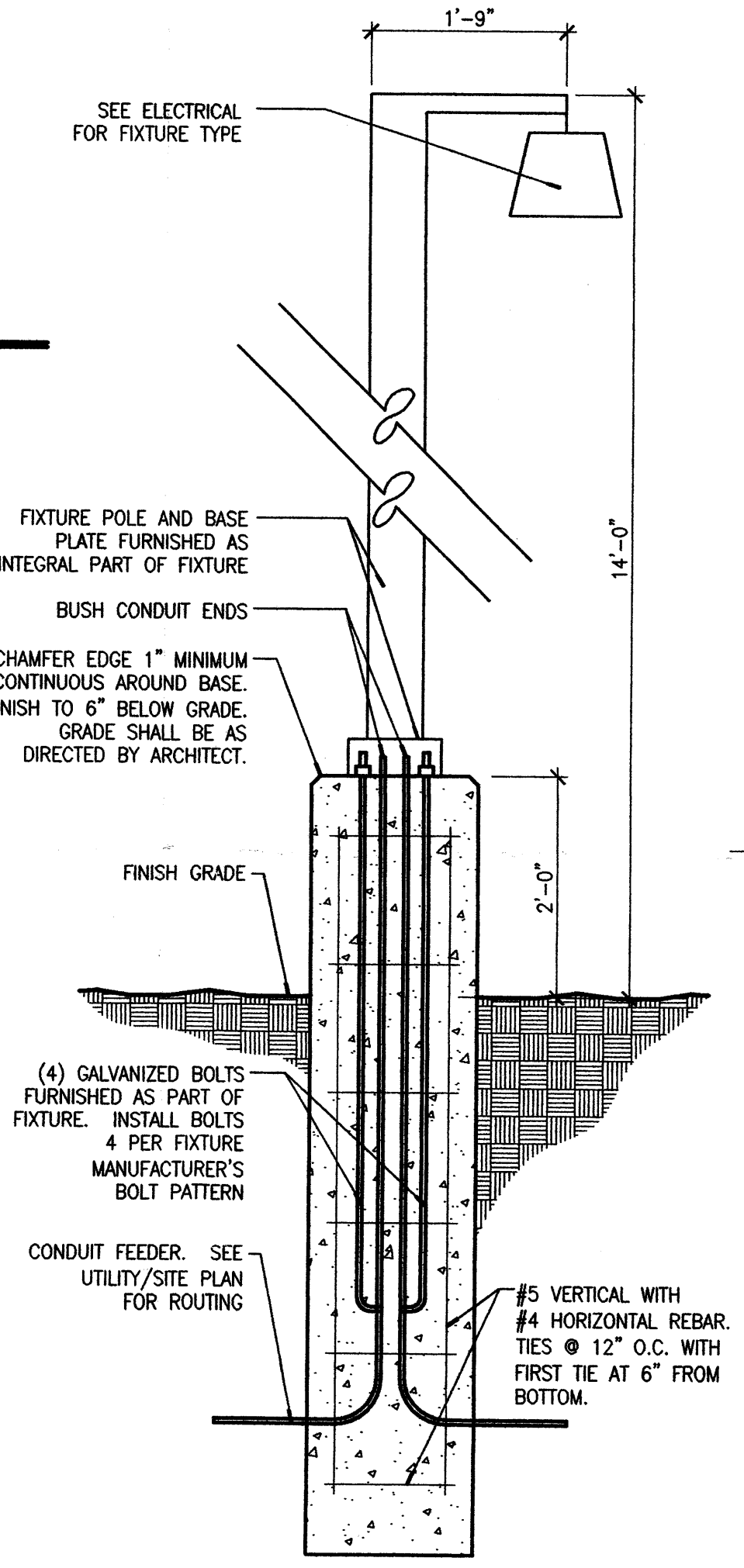
B3 STAIR SECTION
 SCALE: 3/8=1'-0"



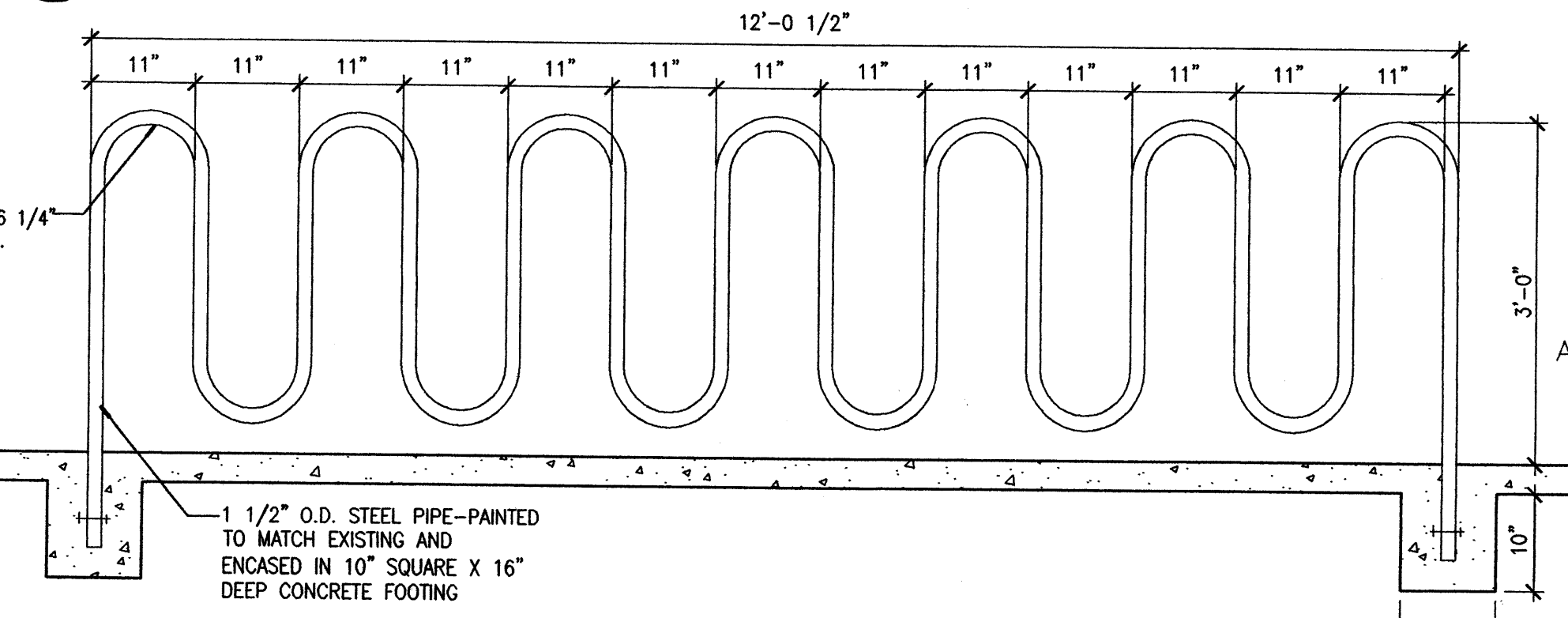
B4 H.C. RAMP
 SCALE: 1/4=1'-0"



D5 6" CURB AND GUTTER
 1=1'-0"



B5 LIGHT POLE SECTION
 SCALE: 3/4=1'-0"



A4 BIKE RACK
 SCALE: 3/4=1'-0"

○ SHEET KEYNOTES

1. PRECAST CONCRETE PANEL WALLS, COLOR - WARM BUFF
2. SYNTHETIC STUCCO SYSTEM, COLOR - #2207 MESILLA (TAN)
3. GALVALUME METAL ROOF PANELS AND TRIM, COLOR - SILVER
4. PARAPET WALL - STUCCO FINISH TO MATCH
5. WINDOWS, GLAZING COLOR - GREEN TINT WITH CLEAR ANODIZED ALUMINUM WINDOW FRAMES
6. CLEAR ANODIZED ALUMINUM DOORS.
7. PAINTED HOLLOW METAL DOORS AND FRAMES
8. NEW BRIDGE CONNECTING TO EXISTING BUILDING DECK
9. 12" HIGH INDIVIDUAL RAISED LETTERS IN CLEAR ANODIZED FINISH WITH AN OVERALL AREA LESS THAN 20 SF
10. METAL GATE - STYLE AND CONSTRUCTION TO MATCH EXISTING
11. EXISTING BUILDING TO REMAIN
12. STAIRS, REFER TO B2/B3 AS-103 FOR DETAILS
13. EXTERIOR WALL MOUNTED LIGHT - SEE ELECTRICAL

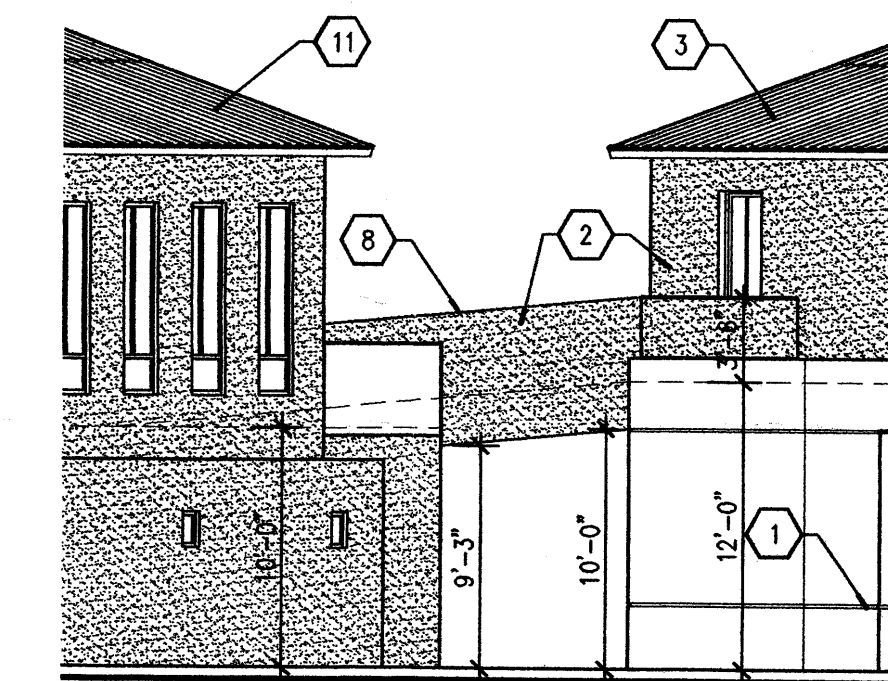


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CONSULTANTS

Architect Engineer



BARELAS JOB OPPORTUNITY CENTER

ALBUQUERQUE
 HISPANO CHAMBER OF
 COMMERCE

1309 4th St. Sw.
 Albuquerque New Mexico 87102

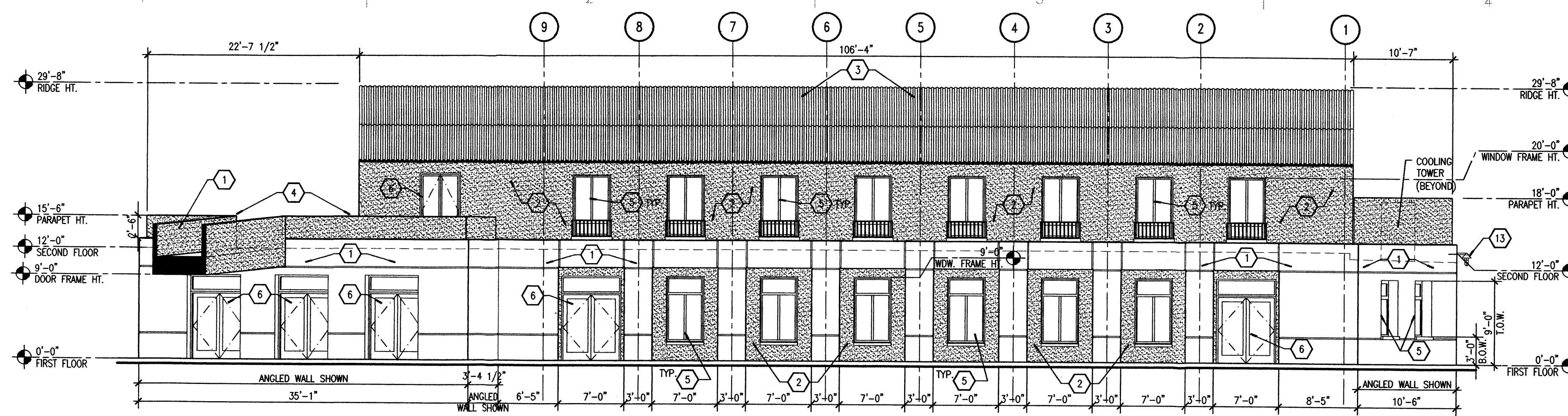
REV 1 | 05/10/05 | CITY REQUEST

MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0425	
CAD DWG FILE:	0425-a201.dwg	
DRAWN BY:	DG	
CHECKED BY:	JDD	
DATE:	09/09/05	

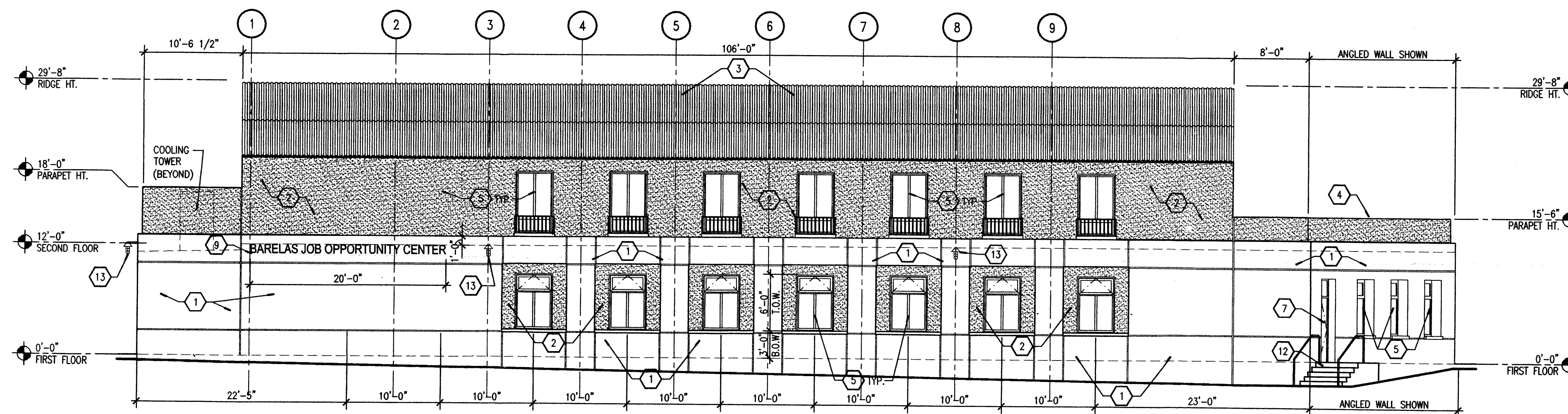
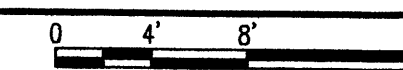
SHEET TITLE
**PROPOSED NEW BUILDING
 EXTERIOR ELEVATIONS**

A-201

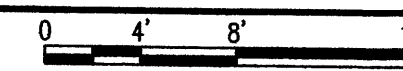
sheet of sheets



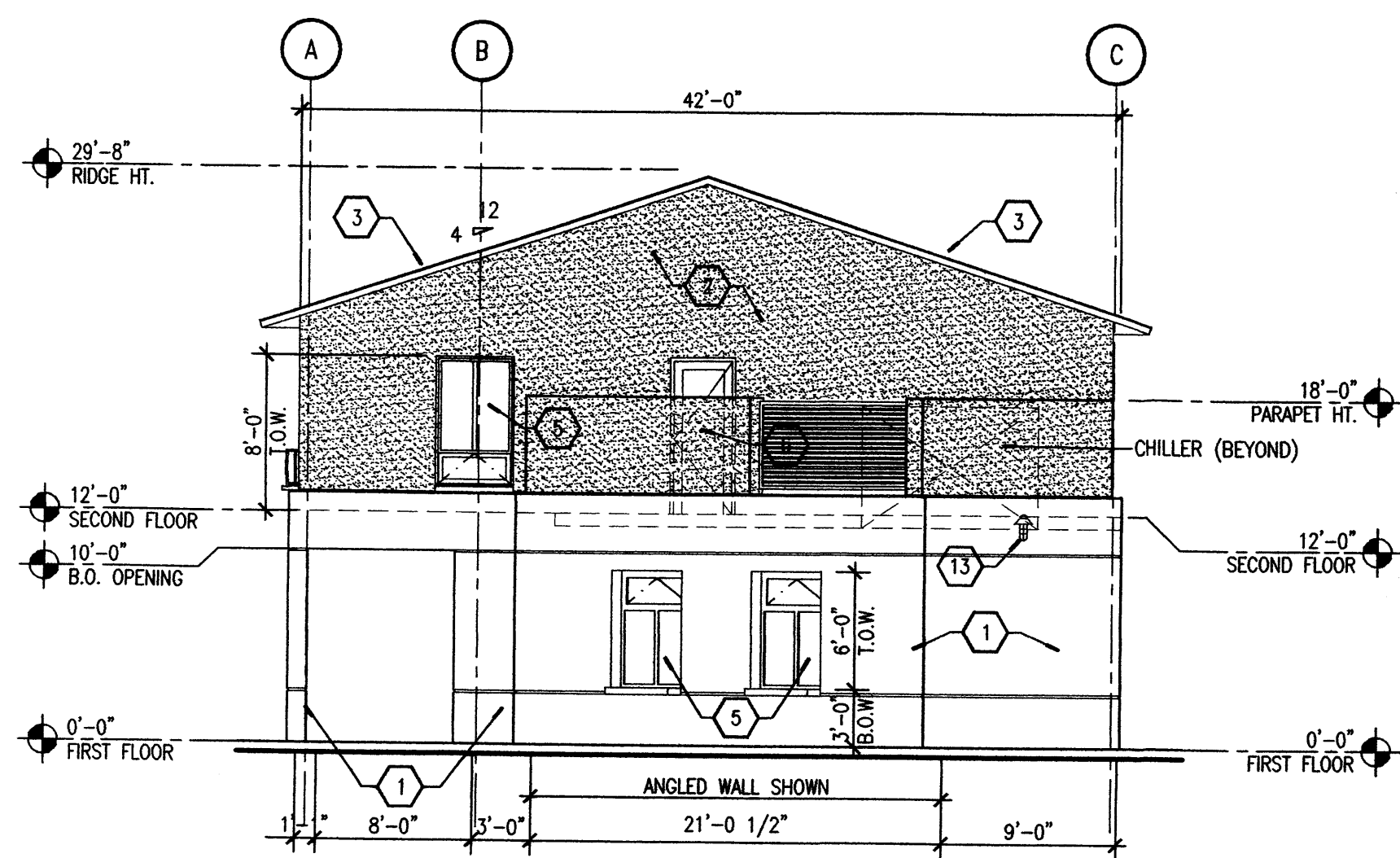
C1 EAST ELEVATION - PROPOSED NEW BUILDING
 SCALE: 1/8" = 1'-0"



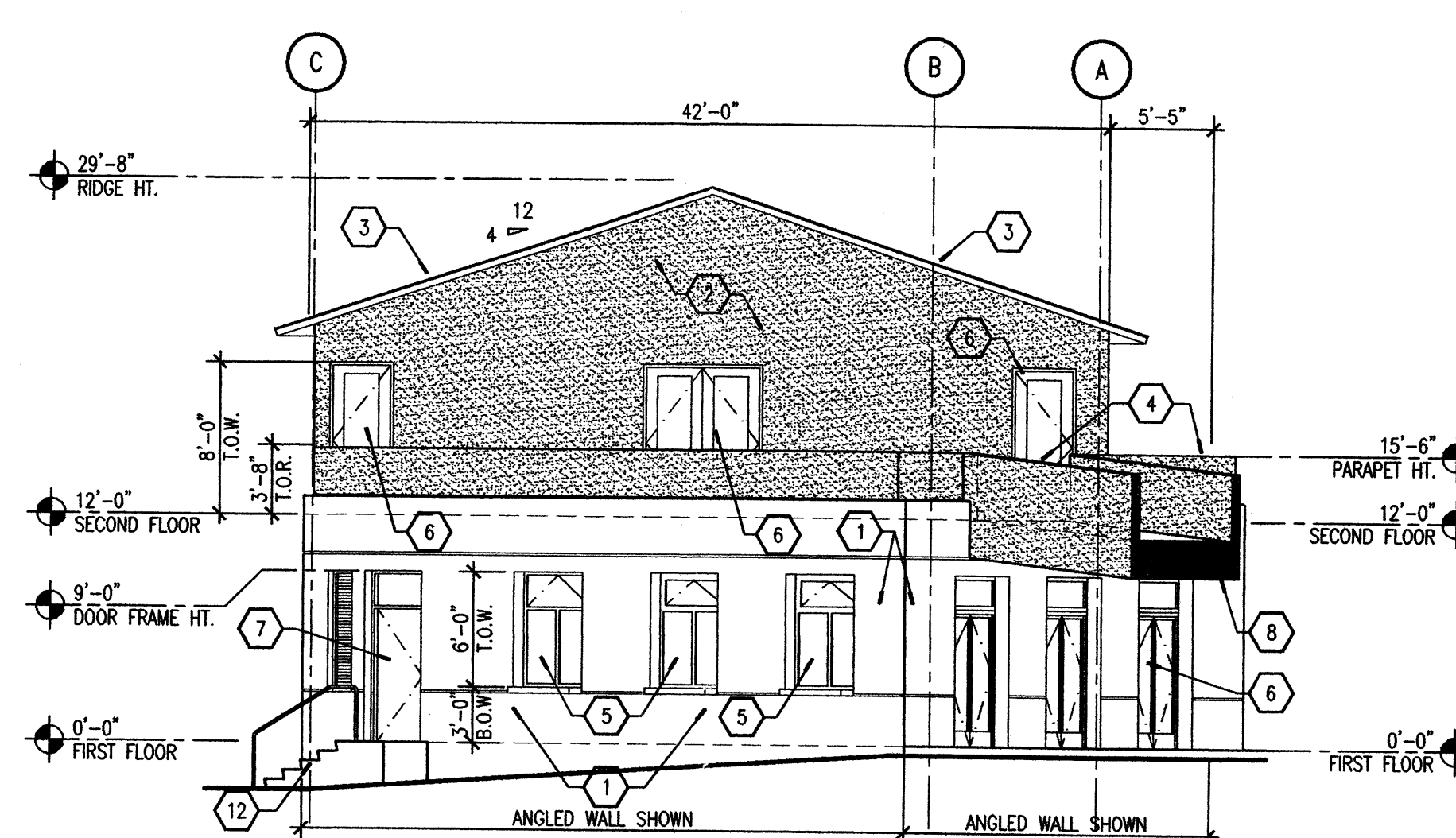
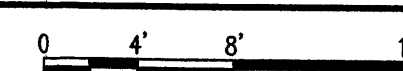
B1 WEST ELEVATION - PROPOSED NEW BUILDING
 SCALE: 1/8" = 1'-0"



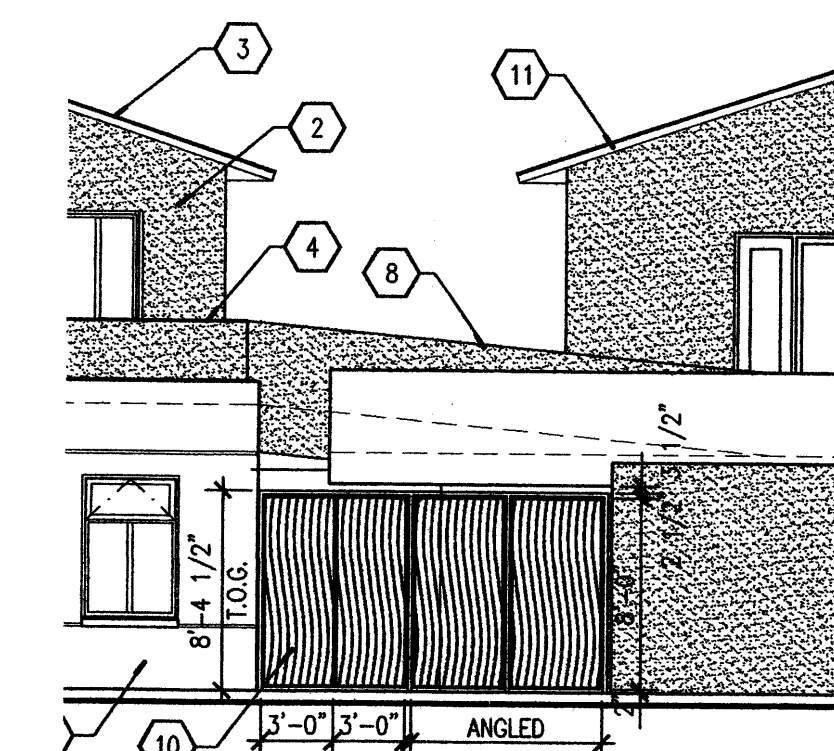
B4 NORTH ELEVATION - PROPOSED BRIDGE
 SCALE: 1/8" = 1'-0"



A1 NORTH ELEVATION - PROPOSED NEW BUILDING
 SCALE: 1/8" = 1'-0"



A3 SOUTH ELEVATION - PROPOSED NEW BUILDING
 SCALE: 1/8" = 1'-0"



A4 SOUTH ELEVATION - PROPOSED GATE
 SCALE: 1/8" = 1'-0"

