



VICINITY MAP SCALE: 1"=750' ZONE ATLAS: K-14, L-14

**SUBDIVISION DATA**

GROSS ACREAGE	0.9788 Acres
ZONE ATLAS NO.	K-14-Z & L-14-Z
NO. OF EXISTING TRACTS	3
NO. OF TRACTS CREATED	1
NO. OF TRACTS ELIMINATED	3
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0339 Acres
DATE OF SURVEY	July, 2005
ZONING	SU-2 NCR
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER	2005294589

**FREE CONSENT AND DEDICATION**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

The Albuquerque Hispano Chamber of Commerce  
Joseph P. Castillo  
President

*Joseph P. Castillo* 1/12/09 DATE

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on January 12, 2009  
By Joseph P. Castillo, President, The Albuquerque Hispano Chamber of Commerce,  
a New Mexico Corporation on behalf of said corporation

*Cristina R. Yee* 6/8/10  
NOTARY PUBLIC MY COMMISSION EXPIRES

DOCH 2009038870

04/13/2009 11:11 AM Page: 1 of 2  
PLAT # 312,008, 2005C P. 0059 N. Toulous Olivera, Bernalillo Cou

**LEGAL DESCRIPTION**

A PARCEL OF LAND COMPRISED OF TRACT LETTERED A, OF THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE, INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 4, 2000, IN BK. 99C, PAGE 3 AND AN UNIDENTIFIED TRACT DESCRIBED BY QUITCLAIM DEED AS FILED 12/27/05, IN BOOK A108, PAGE 7543 AND AN UNIDENTIFIED TRACT DESCRIBED BY WARRANTY DEED TO THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE FILED APRIL 17, 2003 IN BOOK A54, PAGE 3194 AND BEING DESCRIBED IN ITS ENTIRETY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING A POINT ON THE EASTERLY RIGHT OF WAY OF BARRELAS ROAD S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "10-L14" BEARS S 28°00'27" E, A DISTANCE OF 971.65 FEET;

THENCE, LEAVING THE POINT OF BEGINNING AND COINCIDING SAID RIGHT OF WAY, N 33°50'42" W, A DISTANCE OF 189.06 FEET TO AN ANGLE POINT;

THENCE, S 82°57'56" W, A DISTANCE OF 4.26 FEET TO A N ANGLE POINT;

THENCE, N 32°15'28" W, A DISTANCE OF 93.85 FEET TO AN ANGLE POINT;

THENCE, N 84°03'16" E, A DISTANCE OF 99.37 FEET MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 84°25'16" E A DISTANCE OF 69.15 FEET TO A POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

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THENCE, S 80°57'23" E, A DISTANCE OF 118.00 FEET TO THE WESTERLY RIGHT OF WAY OF 4TH STREET S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID RIGHT OF WAY, S 09°01'41" W, A DISTANCE OF 169.00 FEET TO A PK NAIL IN CONCRETE;

THENCE, LEAVING SAID RIGHT OF WAY, S 85°11'32" W, A DISTANCE OF 39.89 FEET TO AN ANGLE POINT, MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 83°08'41" W, A DISTANCE OF 66.40 FEET TO THE POINT OF BEGINNING, CONTAINING 0.9788 ACRES (42,637 SQ. FT.) MORE OR LESS.

**PURPOSE OF PLAT**

1. SUBDIVIDE THREE (3) TRACTS INTO ONE TRACT.
2. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.

**SURVEY NOTE:**

1. FIELD SURVEY PERFORMED IN JULY 2005.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD 83).

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 101405608351422402  
PROPERTY OWNER OF RECORD:  
Albuquerque Hispano Chamber  
BERNALILLO COUNTY TREASURER'S OFFICE:  
Capital Transfer 4/13/09



PLAT FOR  
**TRACT A-1**  
**THE ALBUQUERQUE HISPANO**  
**CHAMBER OF COMMERCE, INC.**

WITHIN  
TOWN OF ALBUQUERQUE GRANT  
PROJECTED SECTIONS 20 & 29  
TOWNSHIP 10 NORTH RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2009

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004166

Application Number: 09DRB-70006

**PLAT APPROVAL**

**Utility Approvals:**

<i>Fernando Vigil</i> PNM Electric Services	4-6-09 Date
<i>John C. R...</i> New Mexico Gas Company	4/8/2009 Date
<i>Robert M...</i> Qwest Telecommunications	4/6/09 Date
<i>Robert M...</i> Comcast	4-8-09 Date

**City Approvals:**

<i>John B. ...</i> City Surveyor	1-13-09 Date
N/A Real Property Division	Date
<i>...</i> Traffic Engineering, Transportation Division	04-01-09 Date
<i>...</i> Albuquerque Bernalillo Water Utility Authority	4-1-09 Date
<i>Christina Sandoval</i> Parks and Recreation Department	4/1/09 Date
<i>Bradley L. Binham</i> AMAFA	4/1/09 Date
<i>...</i> City Engineer	4-1-09 Date
<i>Jack Cloud</i> DRB Chairperson, Planning Department	04-09-09 Date

**SURVEYOR'S CERTIFICATION:**

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*Will Plotner Jr.* 1/13/09  
Will W. Plotner Jr. R.P.S. No. 14271 Date

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

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PLAT FOR  
**TRACT A-1**  
**THE ALBUQUERQUE HISPANO**  
**CHAMBER OF COMMERCE, INC**  
 WITHIN  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 20 & 29  
 TOWNSHIP 10 NORTH RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY 2009

**LEGEND**

- FOUND AS INDICATED
- SET BATHEY MARKER WITH CAP "LS 14271"

CENTERLINE LOCATION IS BASED UPON EXISTING FACE OF CURB TO FACE OF CURB DIMENSION.

WARRANTY DEED  
 GEORGE FRANCO  
 (8/13/99, 9911-6210)

WARRANTY DEED  
 ALBUQUERQUE HISPANO CHAMBER OF COMMERCE  
 (4/17/03, A54-3194)

LOT 20  
 BLOCK G  
 BACA AND ARMIJO ADDITION  
 (4/28/1888, D1-34)

ACS Monument "8\_L13  
 NAD 1983 CENTRAL ZONE  
 X=1518508.493  
 Y=1481048.910  
 Z=N/A (NAVD 1988)  
 G-G=0.999683861  
 Delta Alpha=-0°14'02.76"

ACS Monument "10\_L14  
 NAD 1983 CENTRAL ZONE  
 X=1519873.633  
 Y=1480983.635  
 Z=N/A (NAVD 1988)  
 G-G=0.999683551  
 Delta Alpha=-0°13'53.32"

**SOLAR NOTE:** No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The Public Service Company of New Mexico for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. New Mexico Gas Company for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify,

renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	3.59	14.37	147°25"	1.80	S17°11'02"W	3.58
C2	15.77	15.63	57°49'42"	8.63	N04°34'36"W	15.11
C3	16.11	15.63	59°04'25"	8.85	N63°01'40"W	15.41
C4	4.13	14.37	162°28'34"	2.08	S84°19'35"E	4.12
C5	22.79	24.63	53°01'01"	12.28	N59°59'58"W	21.98
C6	23.08	24.63	53°42'12"	12.47	N06°38'21"W	22.25

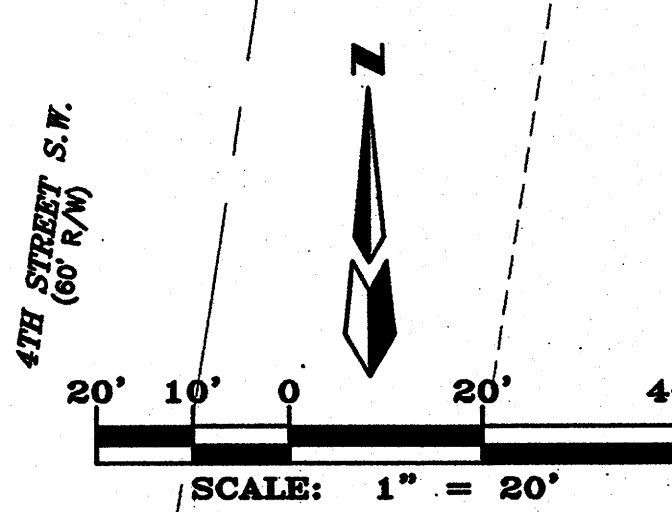
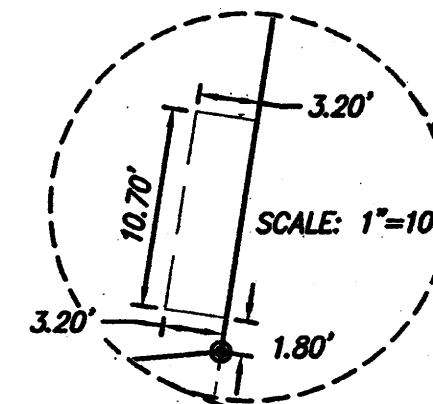
LINE TABLE		
LINE	LENGTH	BEARING
L1	4.26'	S 82°57'56" W

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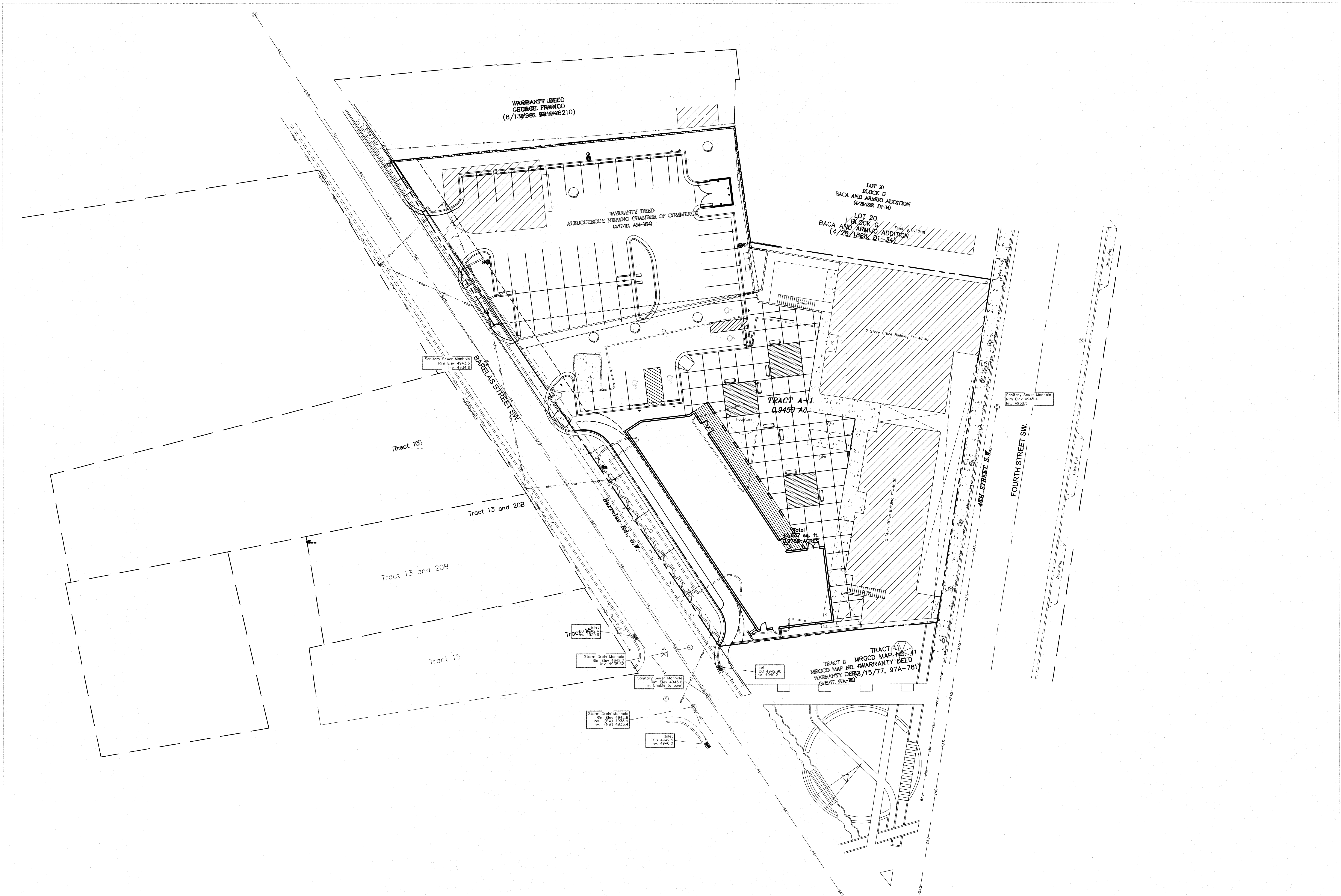
F:\A08JOBS\A08059 Barel Job Center Amendment\PLATS\FINAL PLATS\A08059\_DMG\_FP.dwg



**CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-01

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0' 10' 20' 30' 40' 50' 60' 70' 80' 90' 100'



VICINITY MAP SCALE: 1"=750' ZONE ATLAS: K-14, L-14

**SUBDIVISION DATA**

GROSS ACREAGE ..... 0.9788 Acres  
 ZONE ATLAS NO. .... K-14-Z & L-14-Z  
 NO. OF EXISTING TRACTS ..... 3  
 NO. OF TRACTS CREATED ..... 1  
 NO. OF TRACTS ELIMINATED ..... 3  
 AREA DEDICATED TO CITY OF ALBUQUERQUE ..... 0.0337 Acres  
 DATE OF SURVEY ..... July, 2005  
 ZONING ..... SU-2 NCR  
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER ..... 2005294589

**FREE CONSENT AND DEDICATION**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

The Albuquerque Hispano Chamber of Commerce  
 Joseph P. Castillo  
 President

*Joseph P. Castillo* 1/12/09  
 DATE

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on January 12, 2009  
 By Joseph P. Castillo, President, The Albuquerque Hispano Chamber of Commerce,  
 a New Mexico Corporation on behalf of said corporation

*Craig A. Lee* 6/8/10  
 NOTARY PUBLIC MY COMMISSION EXPIRES

**LEGAL DESCRIPTION**

A PARCEL OF LAND COMPRISED OF TRACT LETTERED A, OF THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE, INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 4, 2000, IN BK. 99C, PAGE 3 AND AN UNIDENTIFIED TRACT DESCRIBED BY QUITCLAIM DEED AS FILED 12/27/05, IN BOOK A108, PAGE 7543 AND AN UNIDENTIFIED TRACT DESCRIBED BY WARRANTY DEED TO THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE FILED APRIL 17, 2003 IN BOOK A54, PAGE 3194 AND BEING DESCRIBED IN ITS ENTIRETY BY METES AND BOUNDS AS FOLLOWS:

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THENCE, LEAVING THE POINT OF BEGINNING AND COINCIDING SAID RIGHT OF WAY, N 33°50'42" W, A DISTANCE OF 189.06 FEET TO AN ANGLE POINT;

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**PURPOSE OF PLAT**

1. SUBDIVIDE THREE (3) TRACTS INTO ONE TRACT.
2. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.

**SURVEY NOTE:**

1. FIELD SURVEY PERFORMED IN JULY 2005.
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3. THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD 83).

**PLAT FOR  
 TRACT A-1  
 THE ALBUQUERQUE HISPANO  
 CHAMBER OF COMMERCE, INC.**

**WITHIN  
 TOWN OF ALBUQUERQUE GRANT  
 PROJECTED SECTIONS 20 & 29  
 TOWNSHIP 10 NORTH RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY 2009**

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**Utility Approvals:**

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest Telecommunications	_____	Date	_____
Comcast	_____	Date	_____
City Approvals	<i>J.P. Castillo</i>	Date	1-13-09
City Surveyor	_____	Date	_____
Real Property Division	_____	Date	_____
Traffic Engineering, Transportation Division	_____	Date	_____
Albuquerque Bernalillo Water Utility Authority	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFCFA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

**SURVEYOR'S CERTIFICATION:**

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*Will W. Plotner Jr.* 1/13/09  
 Will W. Plotner Jr. R.P.S. No. 14271 Date



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 JANUARY 2009

**LEGEND**

- FOUND AS INDICATED
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CENTERLINE LOCATION IS BASED UPON EXISTING FACE OF CURB TO FACE OF CURB DIMENSION.

WARRANTY DEED  
 GEORGE FRANCO  
 (8/13/99, 9911-6210)

WARRANTY DEED  
 ALBUQUERQUE HISPANO CHAMBER OF COMMERCE  
 (4/17/03, A54-3194)

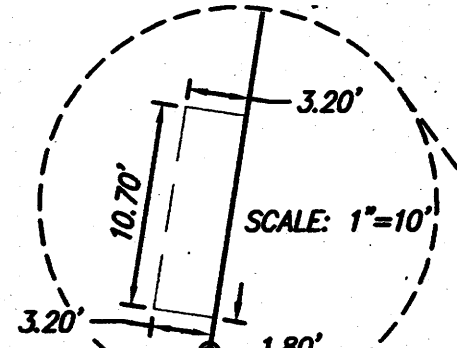
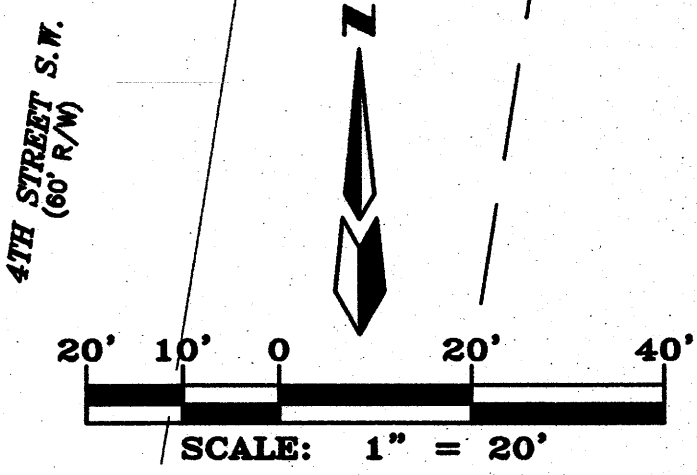
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 X=1518508.493  
 Y=1481048.910  
 Z=N/A (NAVD 1988)  
 G-G=0.999683861  
 Delta Alpha=-0°14'02.76"

QUITCLAIM DEED, FROM ELSIE CHAVEZ TO THE  
 ALBUQUERQUE HISPANO CHAMBER OF COMMERCE  
 (12/27/05, BOOK A108, PAGE 7543)

TRACT A-1  
 0.9788 Ac.

TRACT A  
 OF THE HISPANO CHAMBER OF COMMERCE  
 (01/04/2000, BOOK 99C, PAGE 3)



PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify,

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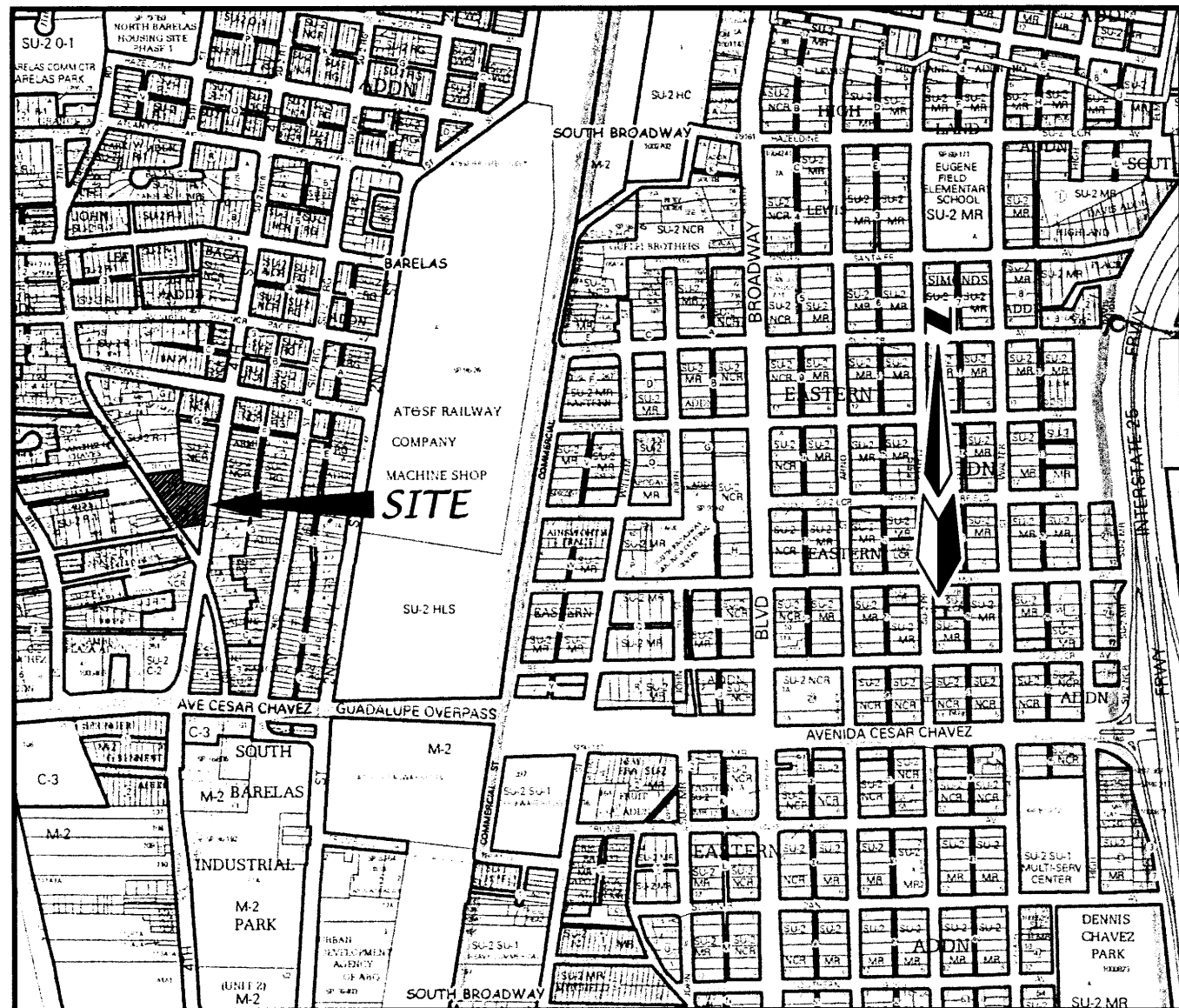
LINE TABLE		
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**VICINITY MAP SCALE: 1"=750' ZONE ATLAS: K-14, L-14**

**SUBDIVISION DATA**

GROSS ACREAGE.....0.9788 Acres  
 ZONE ATLAS NO.....K-14-Z & L-14-Z  
 NO. OF EXISTING TRACTS.....3  
 NO. OF TRACTS CREATED.....1  
 NO. OF TRACTS ELIMINATED.....3  
 AREA DEDICATED TO CITY OF ALBUQUERQUE.....0.0339 Acres  
 DATE OF SURVEY.....July, 2005  
 ZONING.....SU-2 NCR  
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....2005294589

**FREE CONSENT AND DEDICATION**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional streets and public rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein, and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

The Albuquerque Hispano Chamber of Commerce  
 Joseph P. Castillo  
 President

DATE

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on \_\_\_\_\_  
 By Joseph P. Castillo, President, The Albuquerque Hispano Chamber of Commerce,  
 a New Mexico Corporation on behalf of said corporation

NOTARY PUBLIC MY COMMISSION EXPIRES

**LEGAL DESCRIPTION**

A PARCEL OF LAND COMPRISED OF TRACT LETTERED A, OF THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE, INC. AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 4, 2000, IN BK. 99C, PAGE 3 AND AN UNIDENTIFIED TRACT DESCRIBED BY QUITCLAIM DEED AS FILED 12/27/05, IN BOOK A108, PAGE 7543 AND AN UNIDENTIFIED TRACT DESCRIBED BY WARRANTY DEED TO THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE FILED APRIL 17, 2003 IN BOOK A54, PAGE 3194 AND BEING DESCRIBED IN ITS ENTIRETY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED PARCEL, BEING A POINT ON THE EASTERLY RIGHT OF WAY OF BARRELAS ROAD S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271". WHENCE A TIE TO ACS MONUMENT "10-L14" BEARS S 28°00'27" E, A DISTANCE OF 971.65 FEET;

THENCE, LEAVING THE POINT OF BEGINNING AND COINCIDING SAID RIGHT OF WAY, N 33°50'42" W, A DISTANCE OF 189.06 FEET TO AN ANGLE POINT;

THENCE, S 82°57'56" W, A DISTANCE OF 4.26 FEET TO A N ANGLE POINT;

THENCE, N 32°15'28" W, A DISTANCE OF 93.85 FEET TO AN ANGLE POINT;

THENCE, N 84°03'16" E, A DISTANCE OF 99.37 FEET MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, N 84°25'16" E A DISTANCE OF 69.15 FEET TO A POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 07°43'22" E, A DISTANCE OF 56.67 FEET TO AN ANGLE POINT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 80°57'23" E, A DISTANCE OF 118.00 FEET TO THE WESTERLY RIGHT OF WAY OF 4TH STREET S.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID RIGHT OF WAY, S 09°01'41" W, A DISTANCE OF 169.00 FEET TO A PK NAIL IN CONCRETE;

THENCE, LEAVING SAID RIGHT OF WAY, S 85°11'32" W, A DISTANCE OF 39.89 FEET TO AN ANGLE POINT, MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, S 83°08'41" W, A DISTANCE OF 66.40 FEET TO THE POINT OF BEGINNING, CONTAINING 0.9788 ACRES (42,637 SQ. FT.) MORE OR LESS.

**PURPOSE OF PLAT**

1. SUBDIVIDE THREE (3) TRACTS INTO ONE TRACT.
2. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.

**SURVEY NOTE:**

1. FIELD SURVEY PERFORMED IN JULY 2005.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE ACS MONUMENTS SHOWN HEREON, HAVING STATE PLANE COORDINATES (GRID-NAD 83).

**PLAT FOR  
 TRACT A-1  
 THE ALBUQUERQUE HISPANO  
 CHAMBER OF COMMERCE, INC.**

WITHIN  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 20 & 29  
 TOWNSHIP 10 NORTH RANGE 3 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 JANUARY 2009

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: \_\_\_\_\_

Application Number: \_\_\_\_\_

**PLAT APPROVAL**

**Utility Approvals:**

PNM Electric Services \_\_\_\_\_ Date \_\_\_\_\_

PNM Gas Services \_\_\_\_\_ Date \_\_\_\_\_

Qwest Telecommunications \_\_\_\_\_ Date \_\_\_\_\_

Comcast \_\_\_\_\_ Date \_\_\_\_\_

**City Approvals:**

City Surveyor \_\_\_\_\_ Date \_\_\_\_\_

Real Property Division \_\_\_\_\_ Date \_\_\_\_\_

Traffic Engineering, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_

Albuquerque Bernalillo Water Utility Authority \_\_\_\_\_ Date \_\_\_\_\_

Parks and Recreation Department \_\_\_\_\_ Date \_\_\_\_\_

AMAFCA \_\_\_\_\_ Date \_\_\_\_\_

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR'S CERTIFICATION:**

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plotner Jr. R.P.S. No. 14271 \_\_\_\_\_ Date \_\_\_\_\_



**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244

A08059_DMG_FP.dwg	Drawn: SPS	Checked: WWP	Sheet 1 of 2
Scale: AS SHOWN	Date: 10/5/2005	Job: A08059	

**LEGEND**

- FOUND AS INDICATED
- SET BATHEY MARKER WITH CAP "LS 14271"

CENTERLINE LOCATION IS BASED UPON EXISTING FACE OF CURB TO FACE OF CURB DIMENSION.

**PLAT FOR  
TRACT A-1  
THE ALBUQUERQUE HISPANO  
CHAMBER OF COMMERCE, INC.**

WITHIN  
TOWN OF ATRISCO GRANT  
PROJECTED SECTIONS 20 & 29  
TOWNSHIP 10 NORTH RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2009

ACS Monument "8\_L13"  
NAD 1983 CENTRAL ZONE  
X=1518508.493  
Y=1481048.910  
Z=N/A (NAVD 1988)  
G-G=0.999683861  
Delta Alpha=-0°14'02.76"

LOT 20  
BLOCK G  
BACA AND ARMIJO ADDITION  
(4/28/1888, D1-34)

WARRANTY DEED  
GEORGE FRANCO  
(8/13/99, 9911-6210)

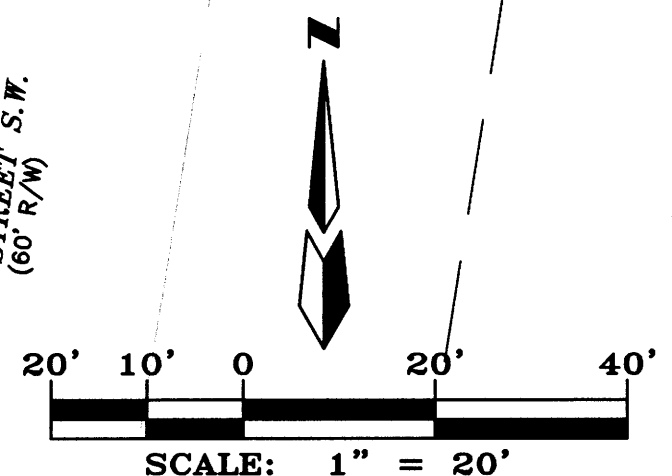
WARRANTY DEED  
ALBUQUERQUE HISPANO CHAMBER OF COMMERCE  
(4/17/03, A54-3194)

QUITCLAIM DEED FROM ELSIE CHAVEZ TO THE  
ALBUQUERQUE HISPANO CHAMBER OF COMMERCE  
(12/27/05, BOOK A108, PAGE 7543)

TRACT A-1  
0.9450 Ac.

TRACT A  
OF THE HISPANO CHAMBER OF COMMERCE  
(01/04/2000, BOOK 99C, PAGE 3)

1236 SF (0.0284 AC.) IS HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS  
AS PUBLIC RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE BY THIS PLAT.



PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify,

renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

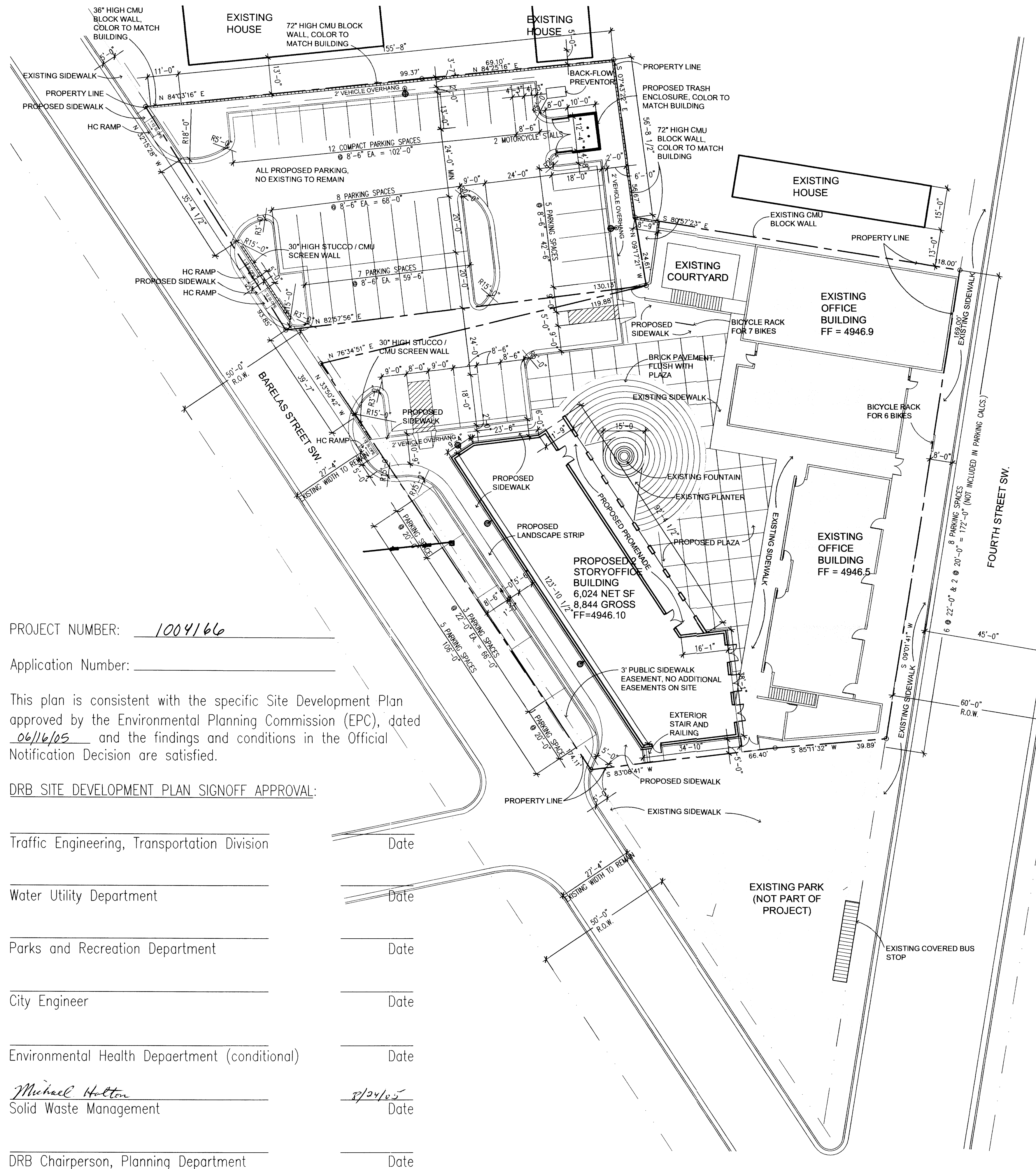
CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	15.00'	18.50'	70°40'48"	10.64'	N01°50'57"E	17.35'
C2	15.00'	19.32'	73°48'28"	11.26'	N70°23'41"W	18.01'
C3	27.00'	32.99'	67°53'24"	17.98'	N67°26'09"W	30.15'
C4	20.00'	25.37'	72°41'33"	14.72'	N04°16'51"E	23.71'

LINE TABLE		
LINE	LENGTH	BEARING
L1	4.26'	S 82°57'56" W

ACS Monument "10\_L14"  
NAD 1983 CENTRAL ZONE  
X=1519873.633  
Y=1480983.635  
Z=N/A (NAVD 1988)  
G-G=0.999683551  
Delta Alpha=-0°13'53.32"



**CARTESIAN SURVEYS INC.**  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244



PROJECT NUMBER: 1004166

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 06/16/05 and the findings and conditions in the Official Notification Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

_____	Date
Traffic Engineering, Transportation Division	
_____	Date
Water Utility Department	
_____	Date
Parks and Recreation Department	
_____	Date
City Engineer	
_____	Date
Environmental Health Department (conditional)	
<u>Michael Holton</u>	<u>8/24/05</u>
Solid Waste Management	Date
_____	Date
DRB Chairperson, Planning Department	

**(A1) ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 20'-0"

**PARKING CALCULATIONS:**

1:200 NET LEASE 1ST FLOOR  
1:300 NET LEASE 2ND FLOOR

EXISTING BUILDING NET SF:  
FIRST FLOOR - 5200 SF/ 200 = 26  
SECOND FLOOR - 3000 SF/ 300 = 10

NEW BUILDING NET SF:  
FIRST FLOOR - 2581 SF/ 200 = 12.905  
SECOND FLOOR - 3443 SF/ 300 = 11.477

TOTAL REQUIRED SPACES:  
60.382 - 15% = 51.32  
52 TOTAL SPACES REQUIRED  
4 HC SPACES REQUIRED  
1 BIKE SPACE PER 20 PARKING =  
3 SPACES REQUIRED

TOTAL PROVIDED SPACES:  
28 STANDARD SPACES  
12 SMALL CAR SPACES  
4 HC SPACES  
44 TOTAL CAR SPACES PROVIDED  
12 BIKE SPACES PROVIDED  
2 MOTORCYCLE SPACES PROVIDED

**LAND USE CALCULATIONS**

LEGAL DESCRIPTION: COMBINED TRACT A AND TRACT 2 MAP #41  
PROPOSED USE: OFFICE SPACE

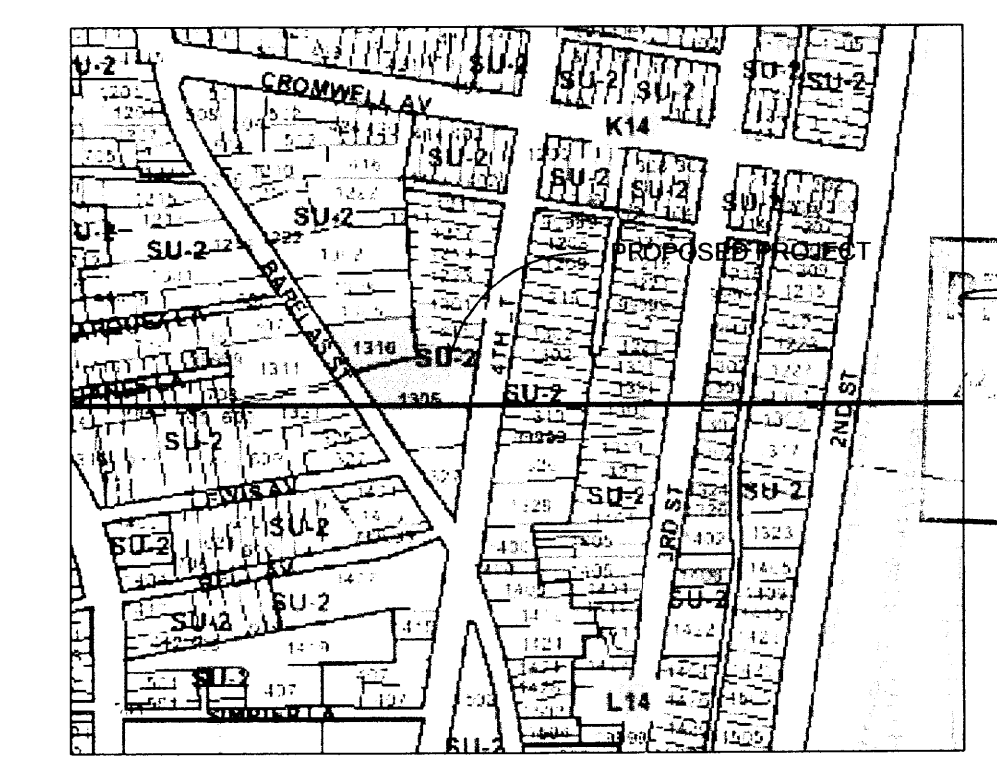
BUILDING SQ. FOOTAGE:  
EXISTING GROSS SF: 12,941 SF  
PROPOSED GROSS SF: 8,844 SF  
TOTAL GROSS SF: 21,785 SF

EXISTING LAND AREA: 29,429 SF (.676 ACRES)  
PROPOSED LAND AREA: 12,253 SF (.281 ACRES)  
TOTAL LAND AREA: 43,058 SF (.988 ACRES)

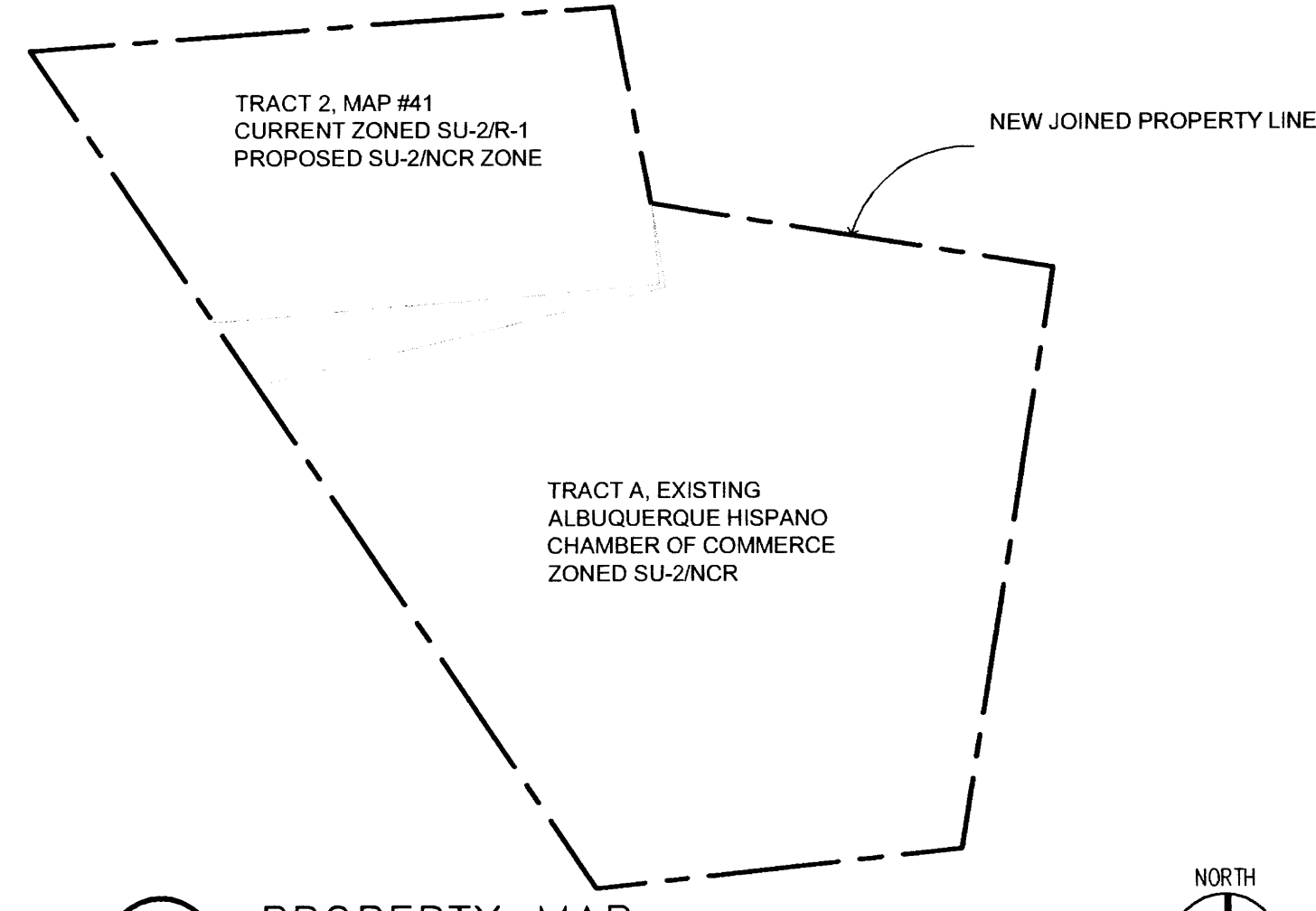
PROPOSED BUILDING FOOTPRINT TOTAL: 14,863 SF  
TOTAL LOT AREA LESS BUILDING AREA: 28,195 SF  
TOTAL PARKING LOT AREA: 14,892 SF  
TOTAL LANDSCAPE AREA: 4,481 SF  
TOTAL LANDSCAPE PERCENTAGE: 16%

**LEGEND:**

EXISTING STRUCTURE TO REMAIN



**(B4) ZONING MAP**  
SCALE: 1:200



**(A4) PROPERTY MAP**  
SCALE: 1" = 40'-0"



DESIGN COLLABORATIVE SOUTHWEST, INC.  
320 Central Ave., SW, Albuquerque, NM 87102  
505.843.9639 Fax 505.843.9683  
Web Site: www.dcswwarchitects.com  
E-Mail: dcsww@dcswwarchitects.com

**CONSULTANTS**

Architect	Engineer
-----------	----------

**BARELAS JOB OPPORTUNITY CENTER**  
ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

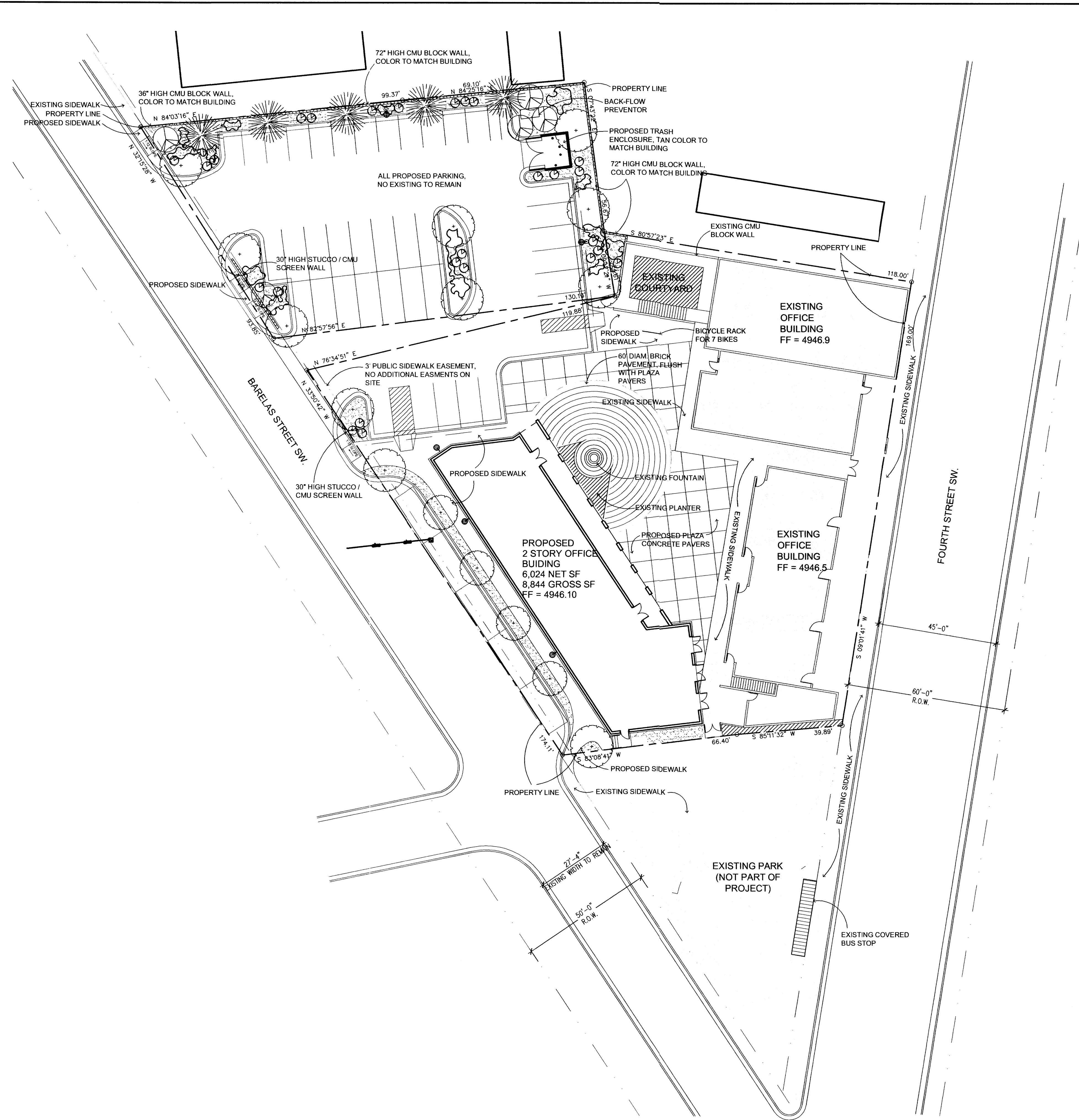
1309 4th St. Sw.  
Albuquerque New Mexico 87102

REV 1	05/10/05	CITY REQUEST
REV 2	05/31/05	CITY REQUEST

MARK	DATE	DESCRIPTION
ISSUE:		DRB SUBMITTAL
PROJECT NO:		0425
CAD DWG FILE:		0425-os101
DRAWN BY:		CAD
CHECKED BY:		PROJECT ARCH
DATE:		08/23/05

**SHEET TITLE**  
ARCHITECTURAL SITE PLAN





**PLANT LEGEND:**

- 2" CAL. SHADE TREE  
ASH, LOCUST, W. MAPLE, LONDON PLANE - 15 TOTAL
- 15 GALLON FLOWERING ORNAMENTAL TREE  
PURPLELEAF PLUM, BRADFORD PEAR - 5 TOTAL
- 2" CAL. EVERGREEN TREE  
5 TOTAL
- 1 GALLON SHRUB  
PHOTINIA, RAPHIOLEPIS, EUONYMUS, CHAMISA, APACHE PLUME - 30 TOTAL
- 1 GALLON GROUNDCOVER  
HONEYSUCKLE, TAM JUNIPER, BUFFALO JUNIPER
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- EXISTING LANDSCAPE
- EXISTING STRUCTURE TO REMAIN

**LANDSCAPE CALCULATIONS:**

TOTAL COMBINED SITE AREA = 43,058 SF  
 TOTAL COMBINED BUILDING FOOTPRINT = 14,863 SF  
 NET SITE AREA = 28,195 SF  
 15% LANDSCAPE REQUIREMENT = 4,229 SF  
 TOTAL LANDSCAPE PROVIDED = 4,481 SF  
 75% GROUNDCOVER REQUIREMENT = 3,361 SF  
 TOTAL GROUNDCOVER PROVIDED = 3,704 SF  
 PROPOSED PLANTING BEDS = 3,704 SF  
 EXISTING PLANTING BEDS TO REMAIN = 965 SF  
 TOTAL PLANTING BEDS = 4,669 SF

**LANDSCAPE NOTES:**

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.

3/4" GREY GRAVEL OVER FILTER FABRIC SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED.

**IRRIGATION NOTES:**

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH DRIP EMITTERS AND SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



DESIGN COLLABORATIVE SOUTHWEST, INC.  
 320 Central Ave., SW, Albuquerque, NM 87102  
 505.843.9639 Fax: 505.843.9683  
 Web Site: www.dcswwarchitects.com  
 E-Mail: dcsww@dcswwarchitects.com

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**CONSULTANTS**

Architect	Engineer
-----------	----------

Architect	Engineer
-----------	----------

**BARELAS JOB OPPORTUNITY CENTER**  
**ALBUQUERQUE HISPANO CHAMBER OF COMMERCE**

1309 4th St. Sw.  
 Albuquerque New Mexico 87102

REV 1	05/10/05	CITY REQUEST
REV 2	05/31/05	CITY REQUEST

MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0425	
CAD DWG FILE:	0425-as101	
DRAWN BY:	CAD	
CHECKED BY:	PROJECT ARCH	
DATE:	08/23/05	

**SHEET TITLE**

LANDSCAPE PLAN

**L-101**  
 sheet of sheets

CONSULTANTS

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87189  
(505)828-2200, FAX (505)787-8539

Architect Engineer

**BARELAS JOB OPPORTUNITY CENTER**

ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

1309 4th St. Sw.  
Albuquerque New Mexico 87102

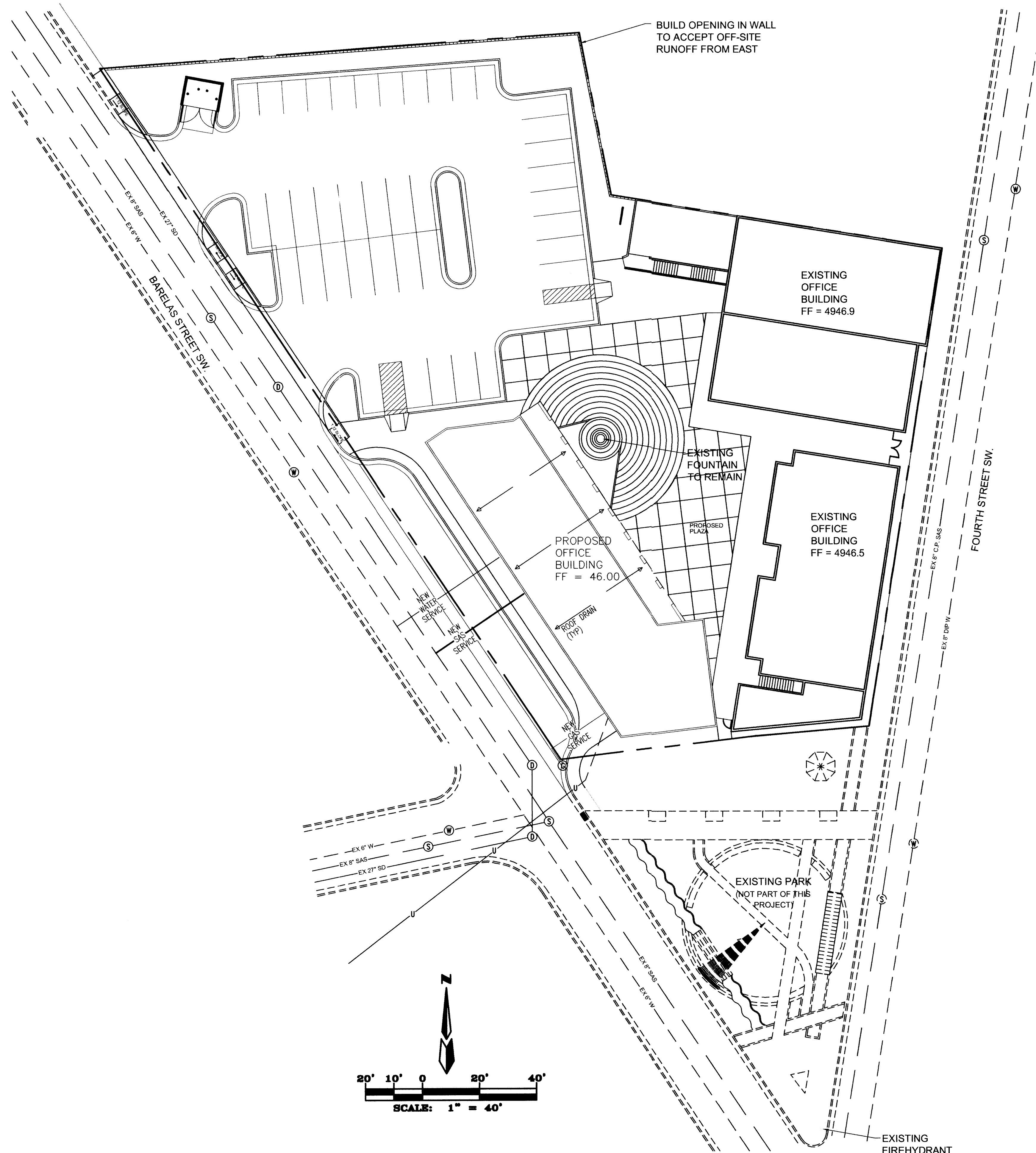
MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0425	
CAD DWG FILE:	C-102	
DRAWN BY:	SPS	
CHECKED BY:	JDM	
DATE:	08/22/05	

SHEET TITLE

CONCEPTUAL UTILITY PLAN

**C-102**

sheet of sheets



LEGEND:

- (M)— WATER LINE
- (S)— SANITARY SEWER LINE
- (D)— STORM DRAIN LINE
- (G)— GAS LINE
- (U)— OVERHEAD UTILITY LINE
- - - - - PROPERTY LINE
- - - - - EXISTING CURB
- >— FLOW ARROW
- ==== NEW CURB

Architect	Engineer
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Architect	Engineer
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## BARELAS JOB OPPORTUNITY CENTER

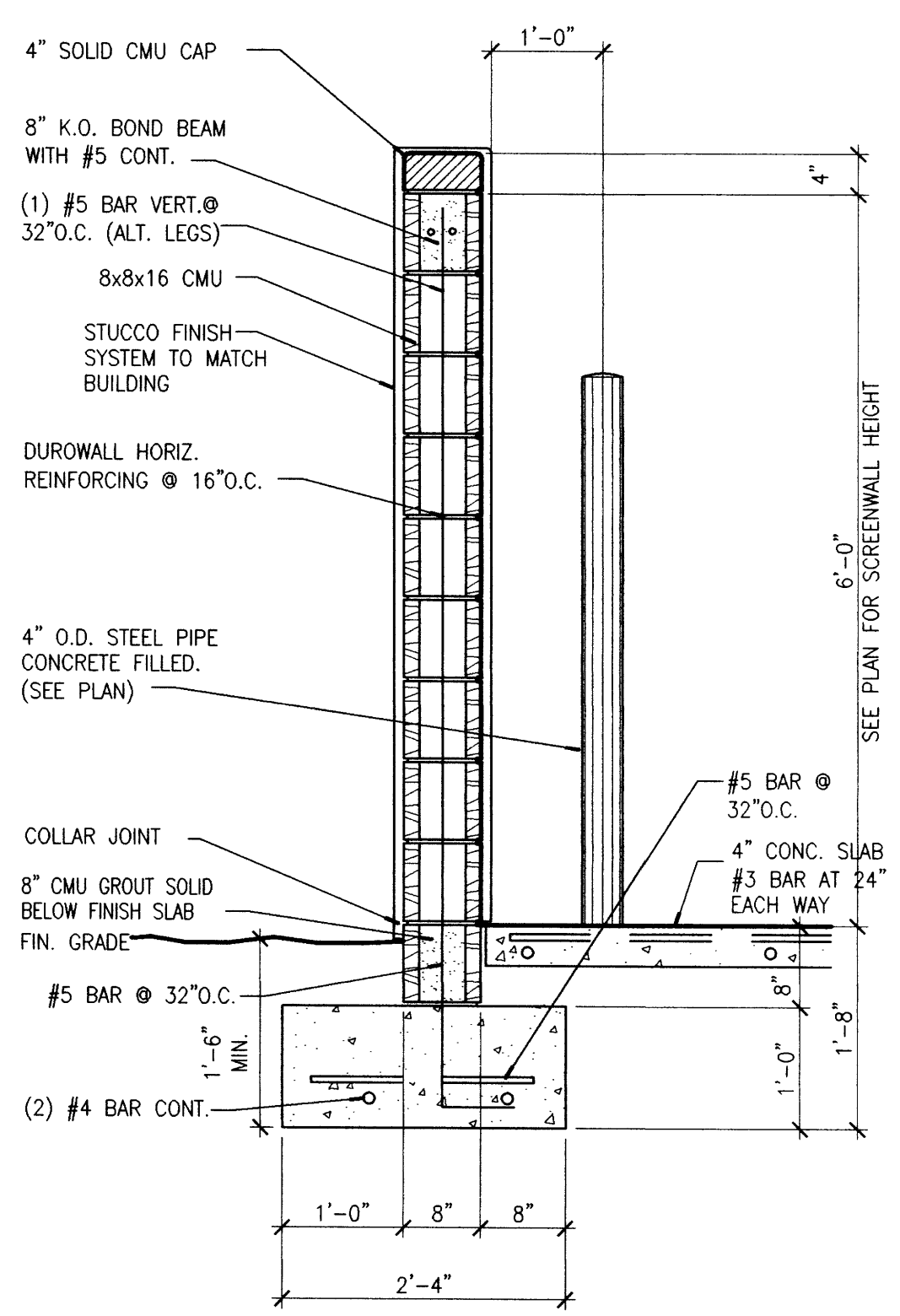
### ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

1309 4th St. Sw.  
 Albuquerque New Mexico 87102

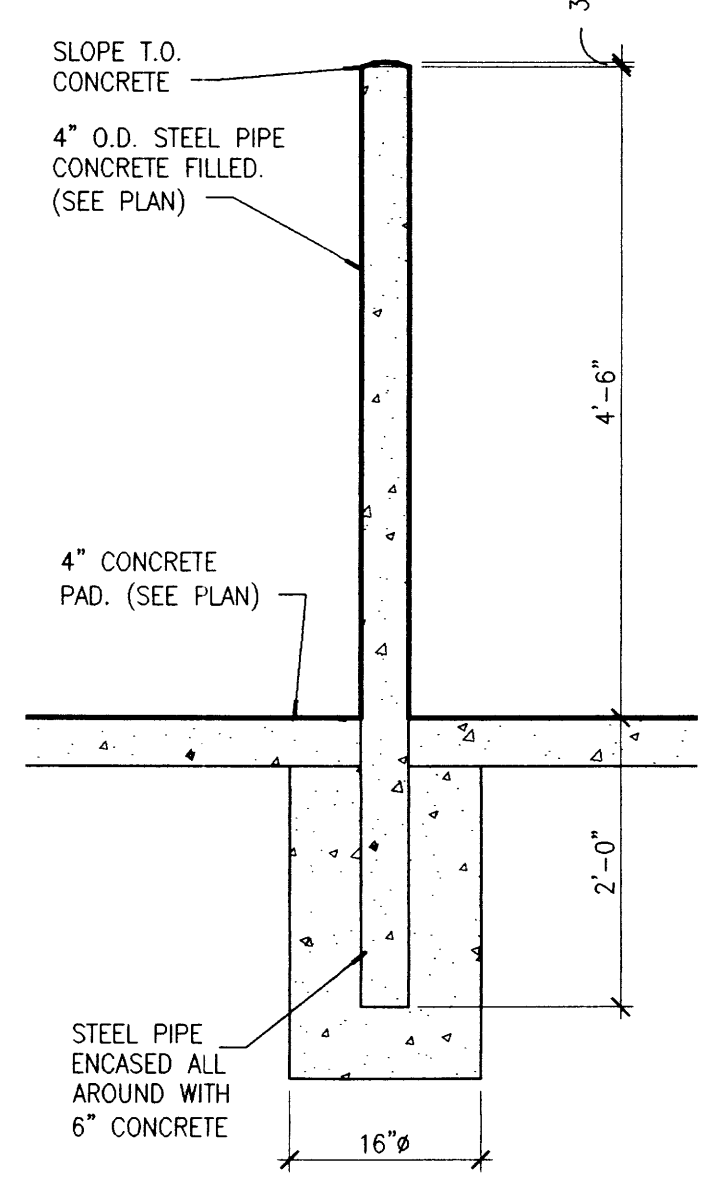

MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0425	
CAD DWG FILE:		
DRAWN BY:	CAD	
CHECKED BY:	PROJECT ARCH	
DATE:	08/23/05	

SHEET TITLE

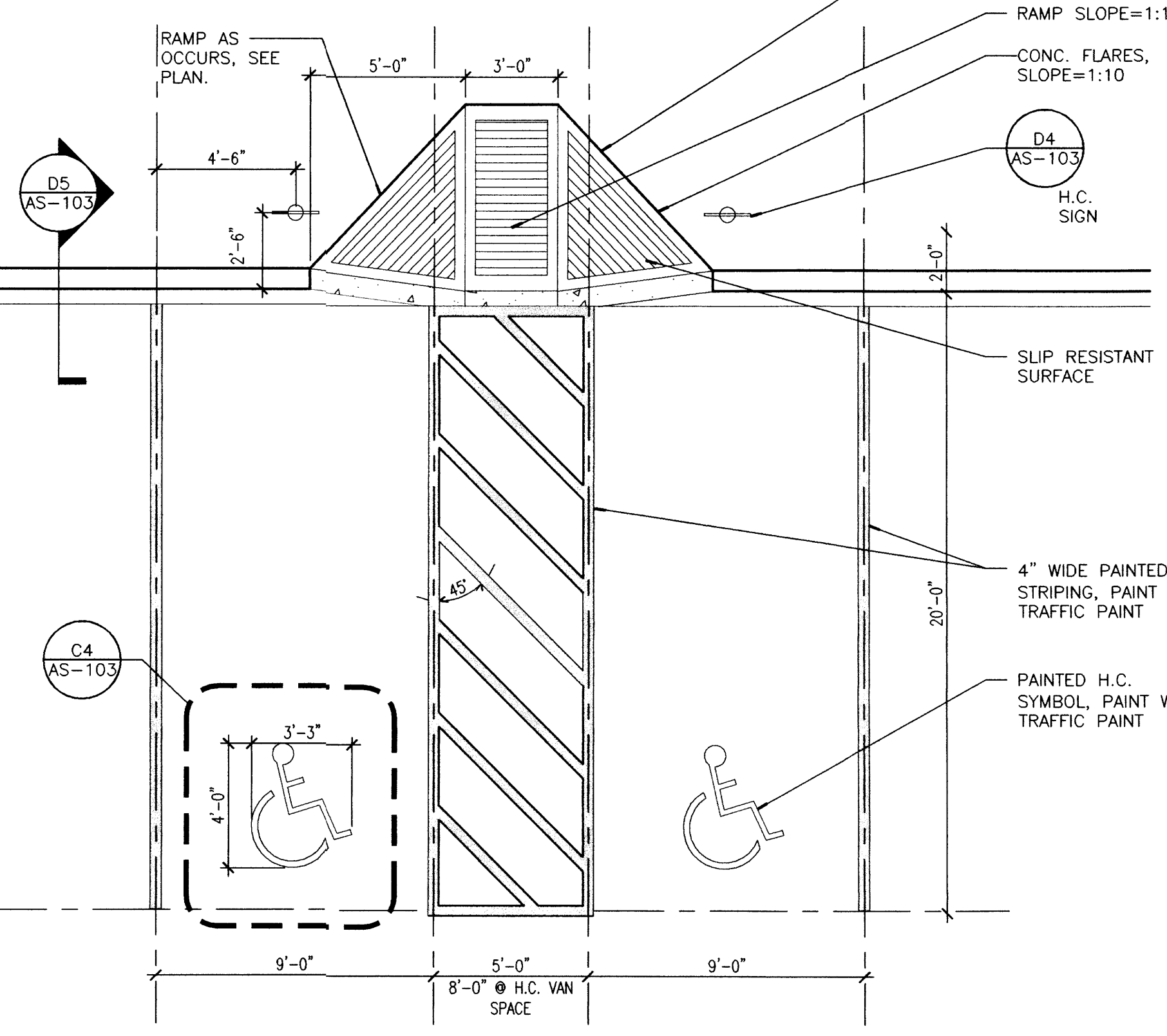
ARCHITECTURAL SITE PLAN DETAILS



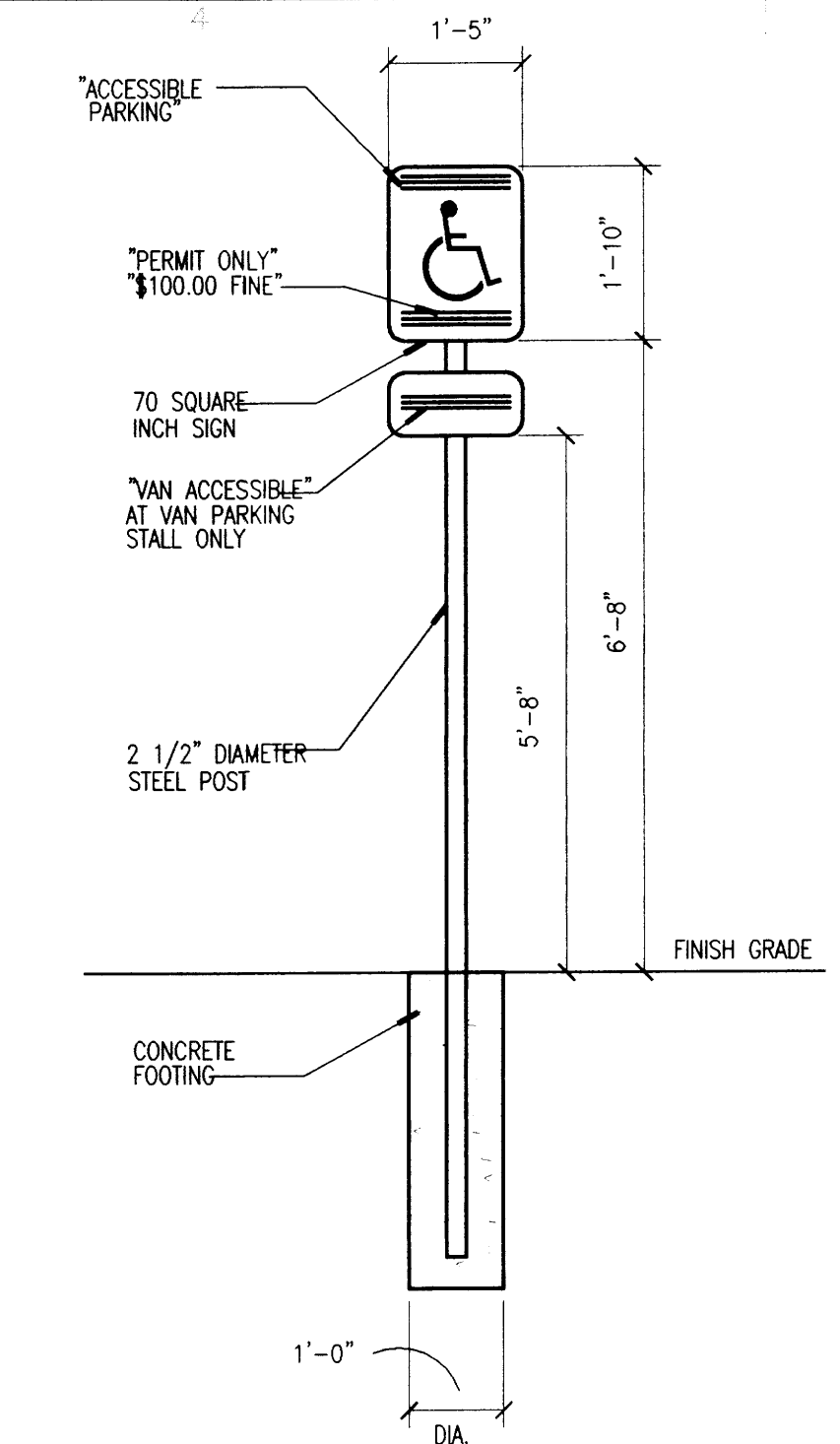
**C1 TRASH / SCREEN WALL DETAIL**  
 SCALE: 3/4"=1'-0"



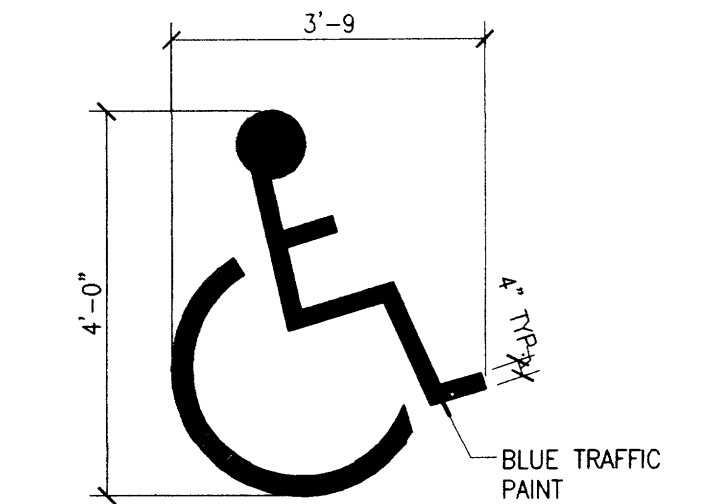
**C2 BOLLARD DETAIL**  
 SCALE: 3/4"=1'-0"



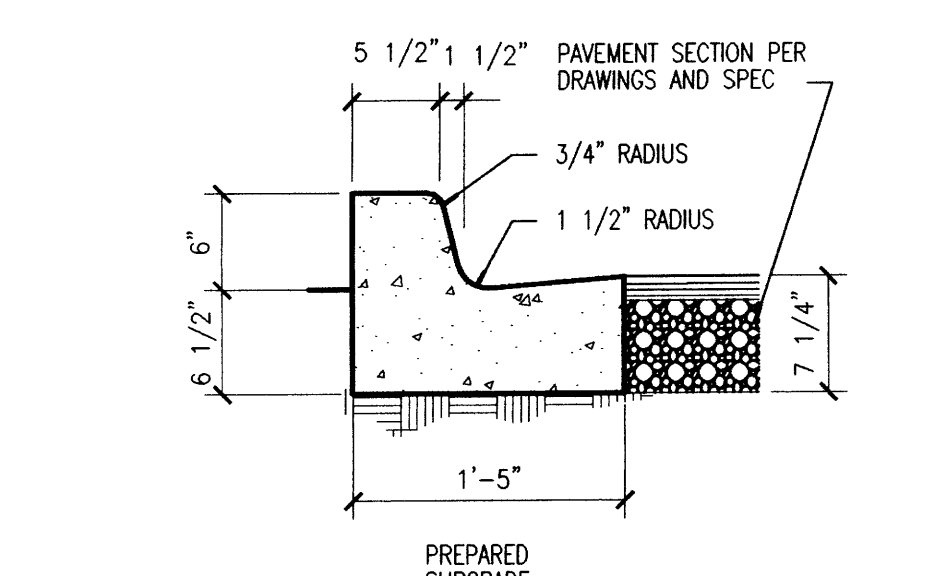
**C3 STANDARD VAN/HANDICAP STALL**  
 SCALE: 1/4"=1'-0"



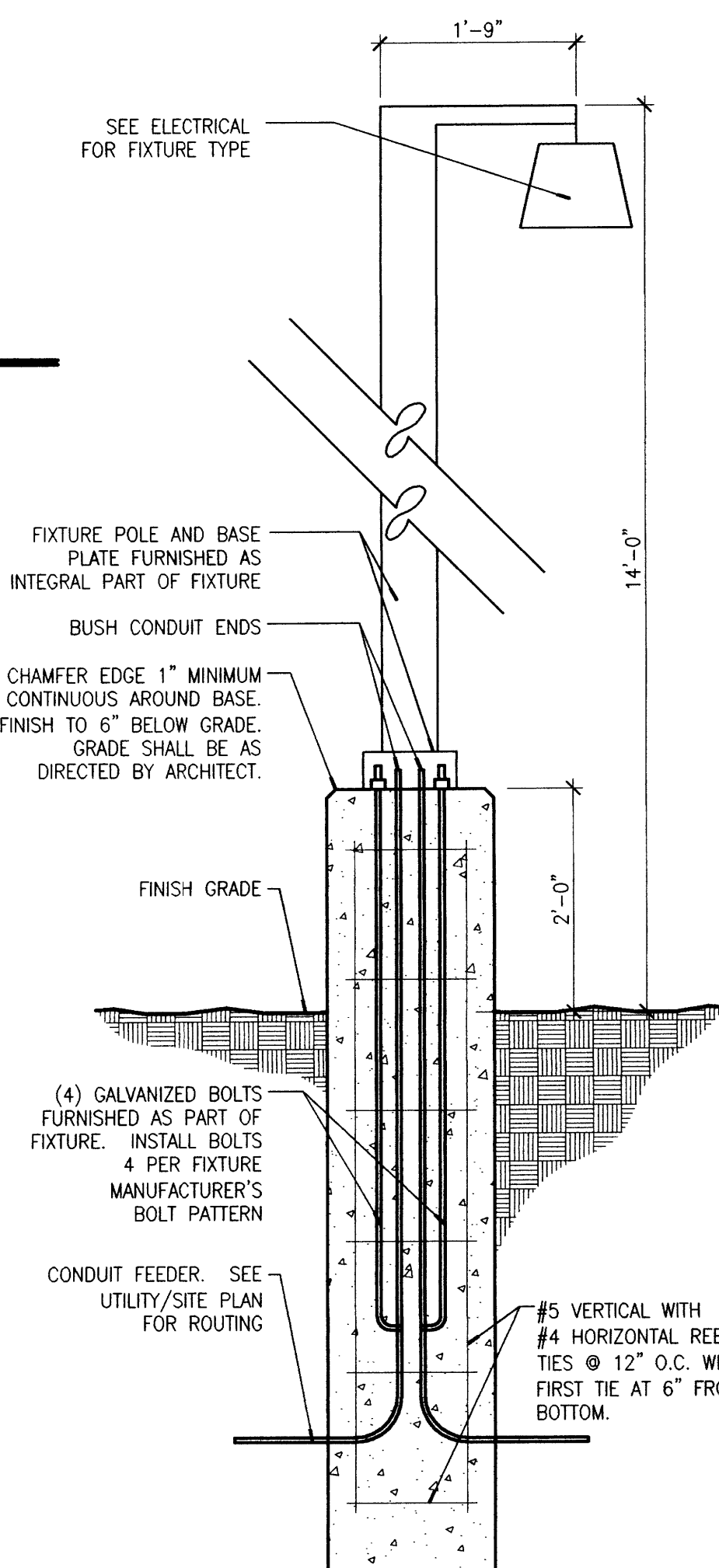
**D4 TYP. RESERVE SIGN**  
 SCALE: 1/2"=1'-0"



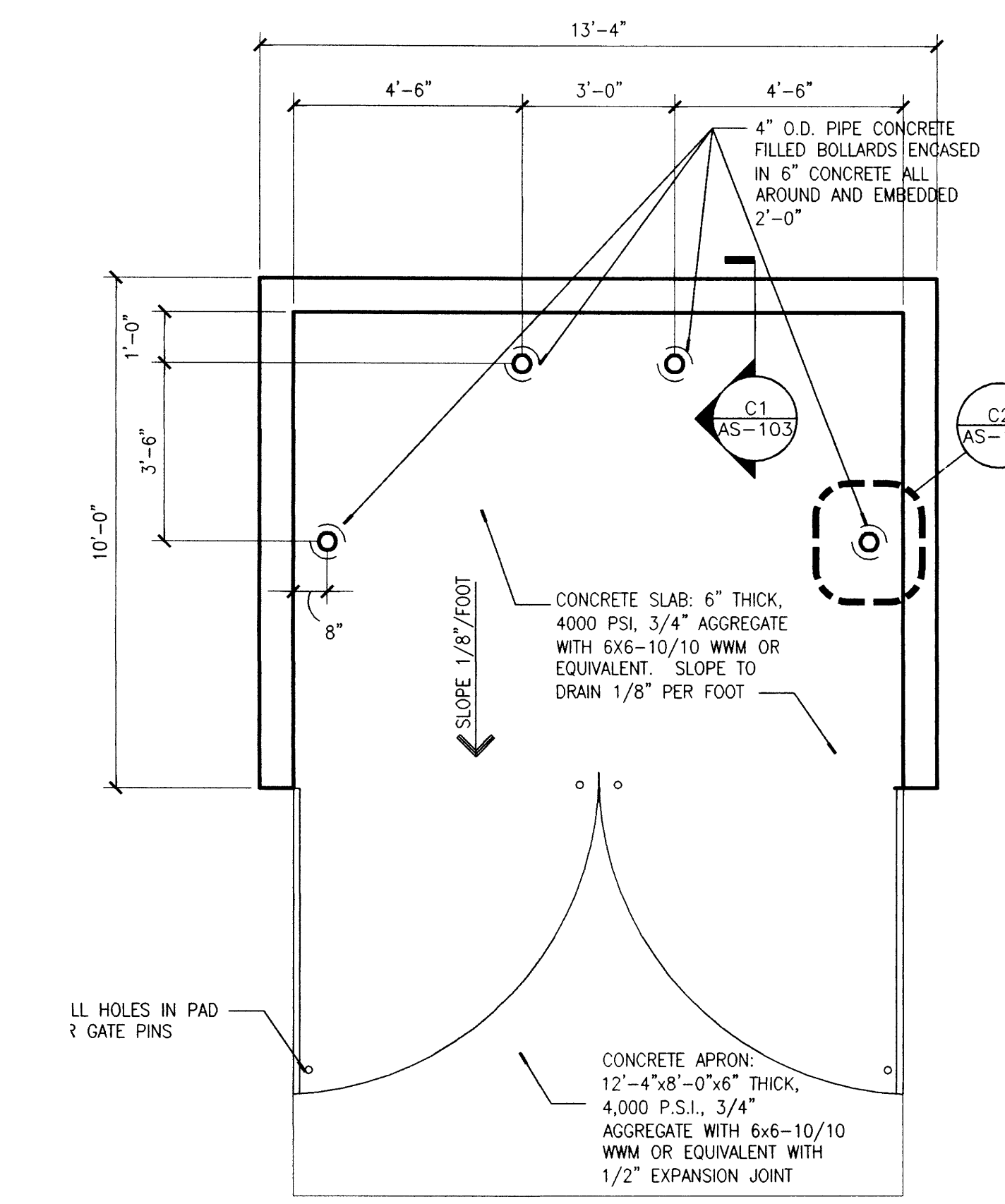
**C4 H.C. PAVEMENT SIGN**  
 SCALE: 1/2"=1'-0"



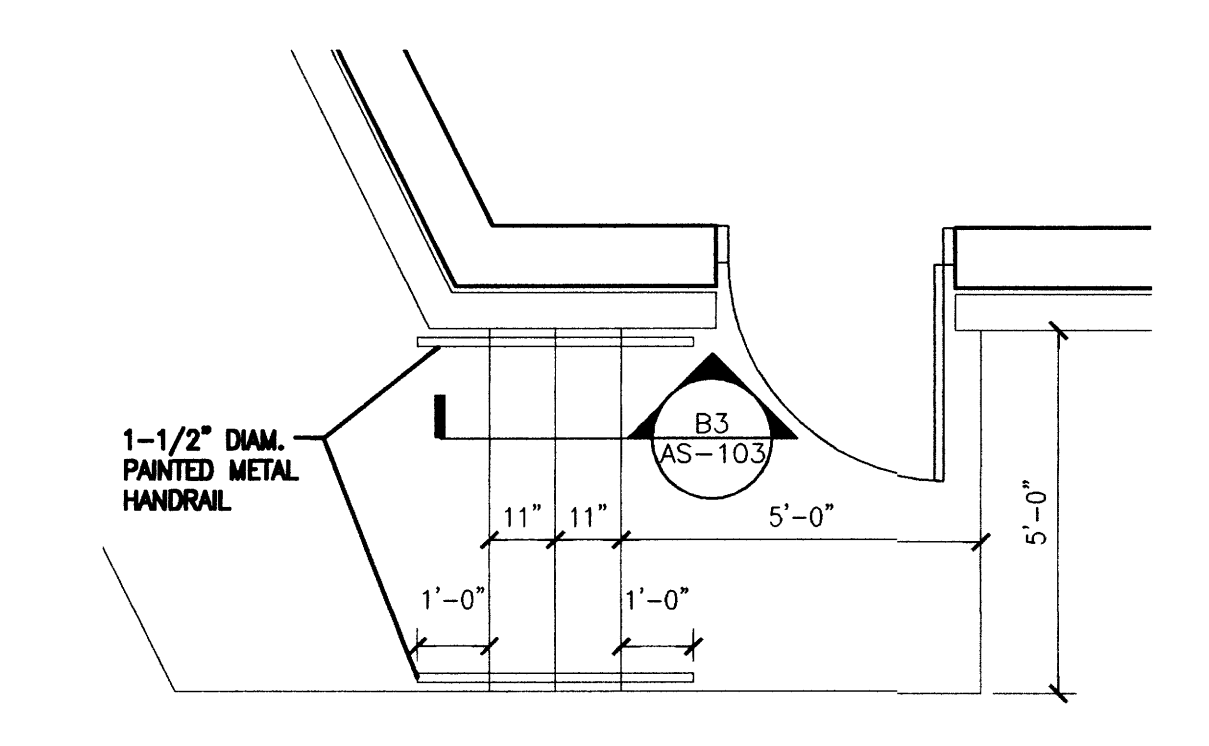
**D5 6" CURB AND GUTTER**  
 SCALE: 1"=1'-0"



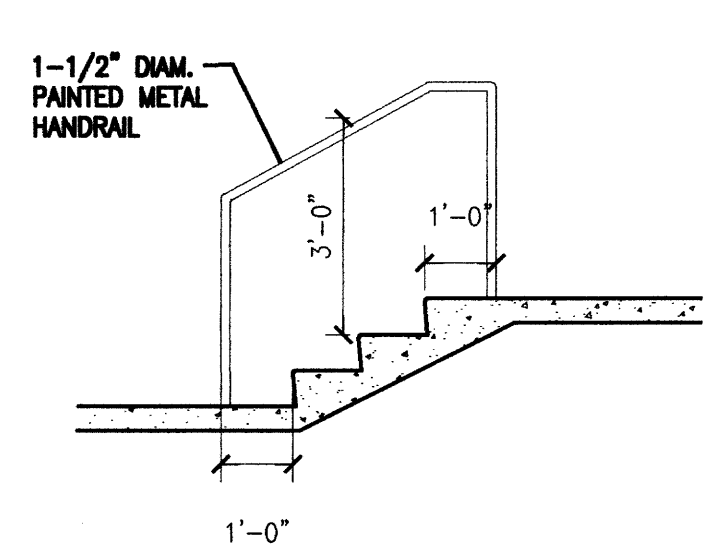
**B5 LIGHT POLE SECTION**  
 SCALE: 3/4"=1'-0"



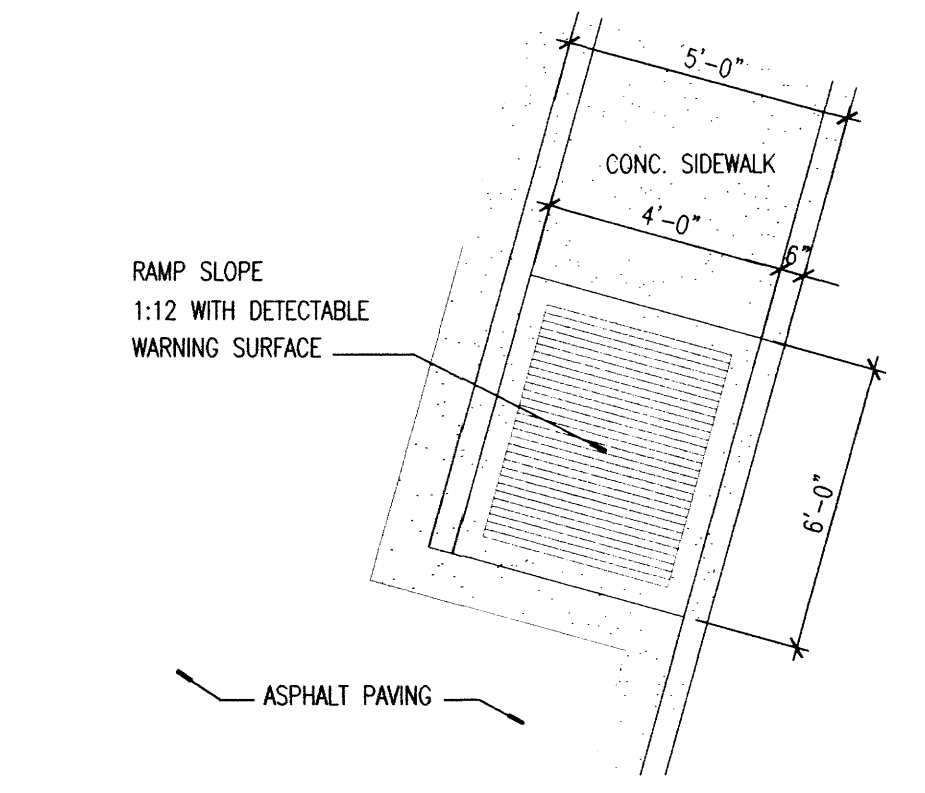
**A1 TRASH ENCLOSURE PLAN**  
 SCALE: 3/8"=1'-0"



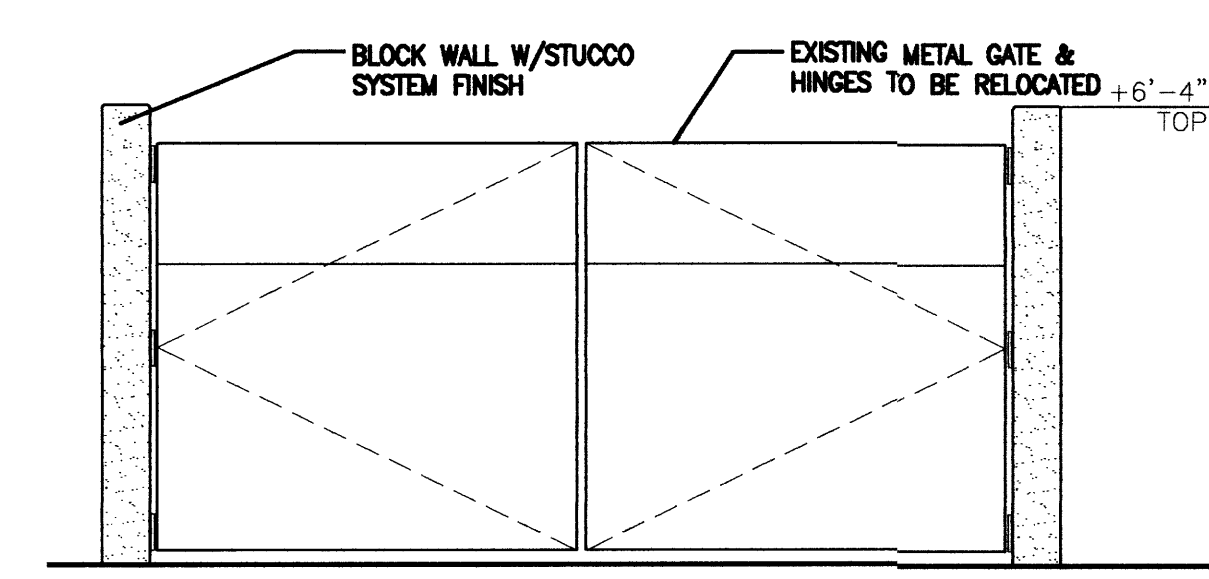
**B2 EXTERIOR STAIR PLAN**  
 SCALE: 3/8"=1'-0"



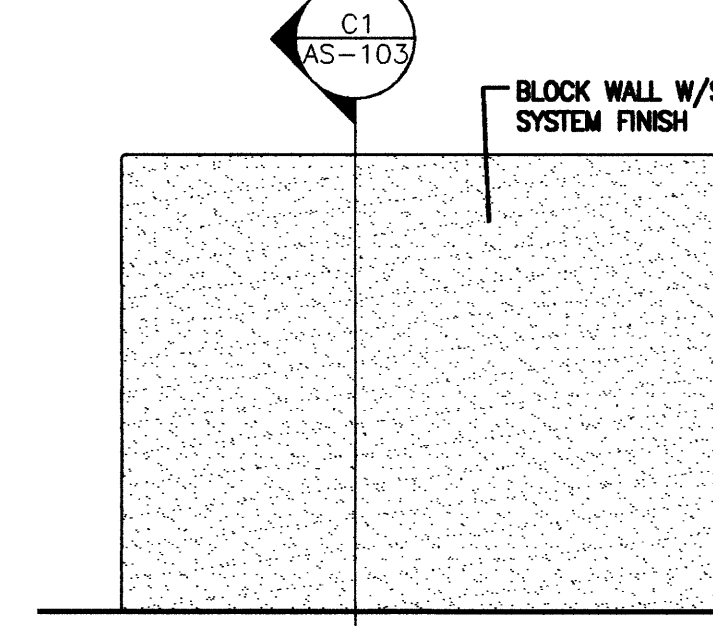
**B3 STAIR SECTION**  
 SCALE: 3/8"=1'-0"



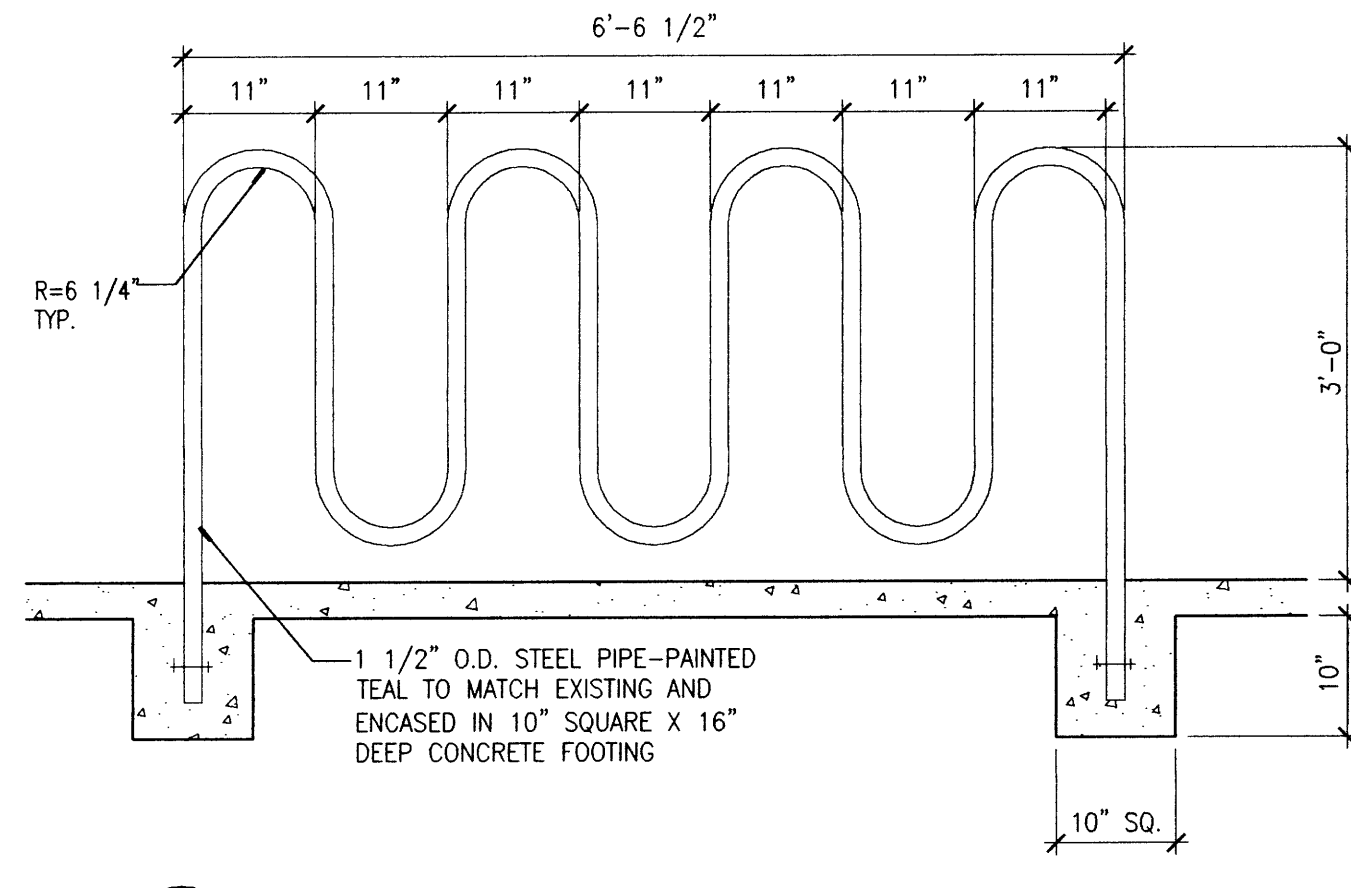
**B4 H.C. RAMP**  
 SCALE: 1/4"=1'-0"



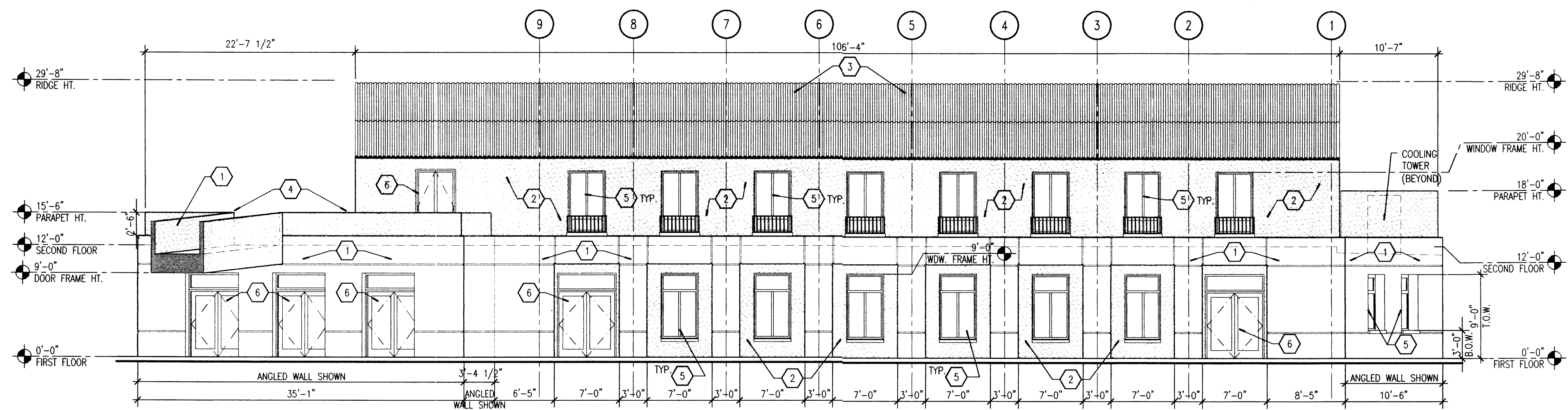
**A2 TRASH ENCLOSURE FRONT ELEVATION**  
 SCALE: 3/8"=1'-0"



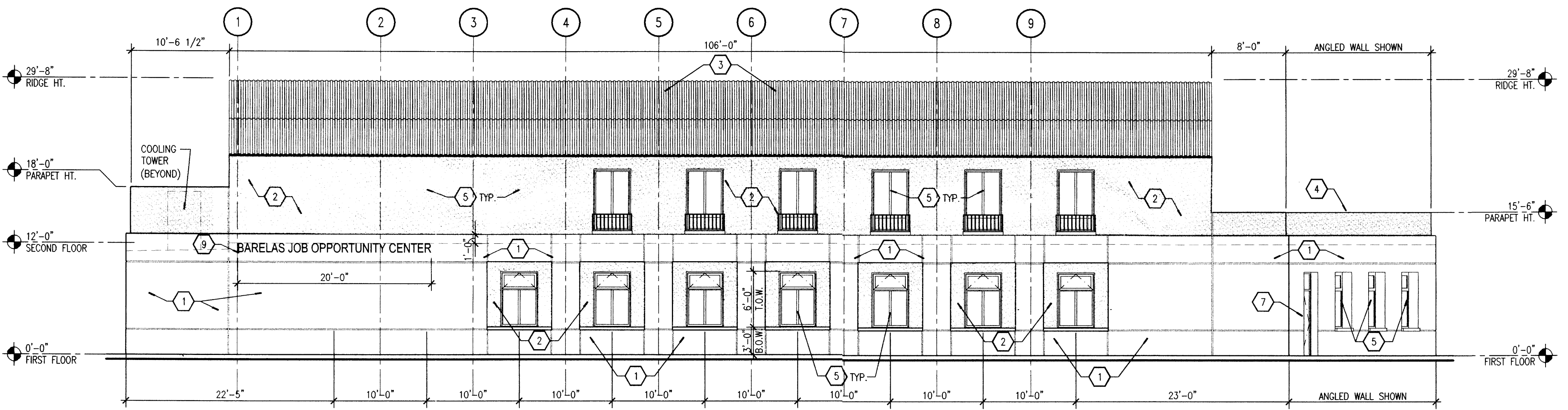
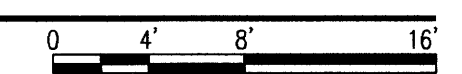
**A3 TRASH ENCLOSURE SIDE ELEVATION**  
 SCALE: 3/8"=1'-0"



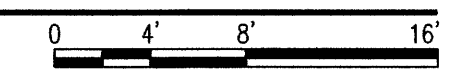
**A4 BIKE RACK**  
 SCALE: 3/4"=1'-0"



**C1 EAST ELEVATION - PROPOSED NEW BUILDING**  
SCALE: 1/8" = 1'-0"



**B1 WEST ELEVATION - PROPOSED NEW BUILDING**  
SCALE: 1/8" = 1'-0"



**SHEET KEYNOTES**

1. PRECAST CONCRETE PANEL WALLS, COLOR - WARM BUFF
2. SYNTHETIC STUCCO SYSTEM, COLOR - #2207 MESILLA (TAN)
3. GALVALUME METAL ROOF PANELS AND TRIM, COLOR - SILVER
4. PARAPET WALL - STUCCO FINISH TO MATCH
5. WINDOWS, GLAZING COLOR - GREEN TINT WITH CLEAR ANODIZED ALUMINUM WINDOW FRAMES
6. CLEAR ANODIZED ALUMINUM DOORS.
7. PAINTED HOLLOW METAL DOORS AND FRAMES
8. NEW BRIDGE CONNECTING TO EXISTING BUILDING DECK
9. 12" HIGH INDIVIDUAL RAISED LETTERS IN CLEAR ANODIZED FINISH WITH AN OVERALL AREA LESS THAN 20 SF
10. METAL GATE - STYLE AND CONSTRUCTION TO MATCH EXISTING
11. EXISTING BUILDING TO REMAIN
12. STAIRS, REFER TO B2/B3 AS-103 FOR DETAILS

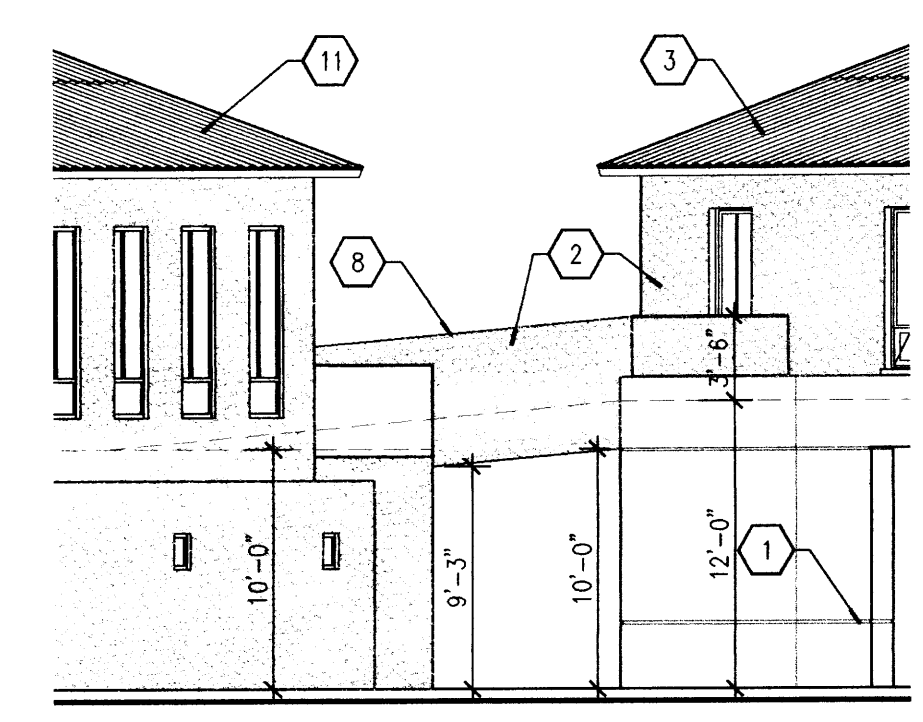


DESIGN COLLABORATIVE SOUTHWEST, INC.  
320 Central Ave., SW, Albuquerque, NM 87102  
505.843.9639 Fax.505.843.9683  
Web Site: www.dcswwarchitects.com  
E-Mail: dcsww@dcswwarchitects.com

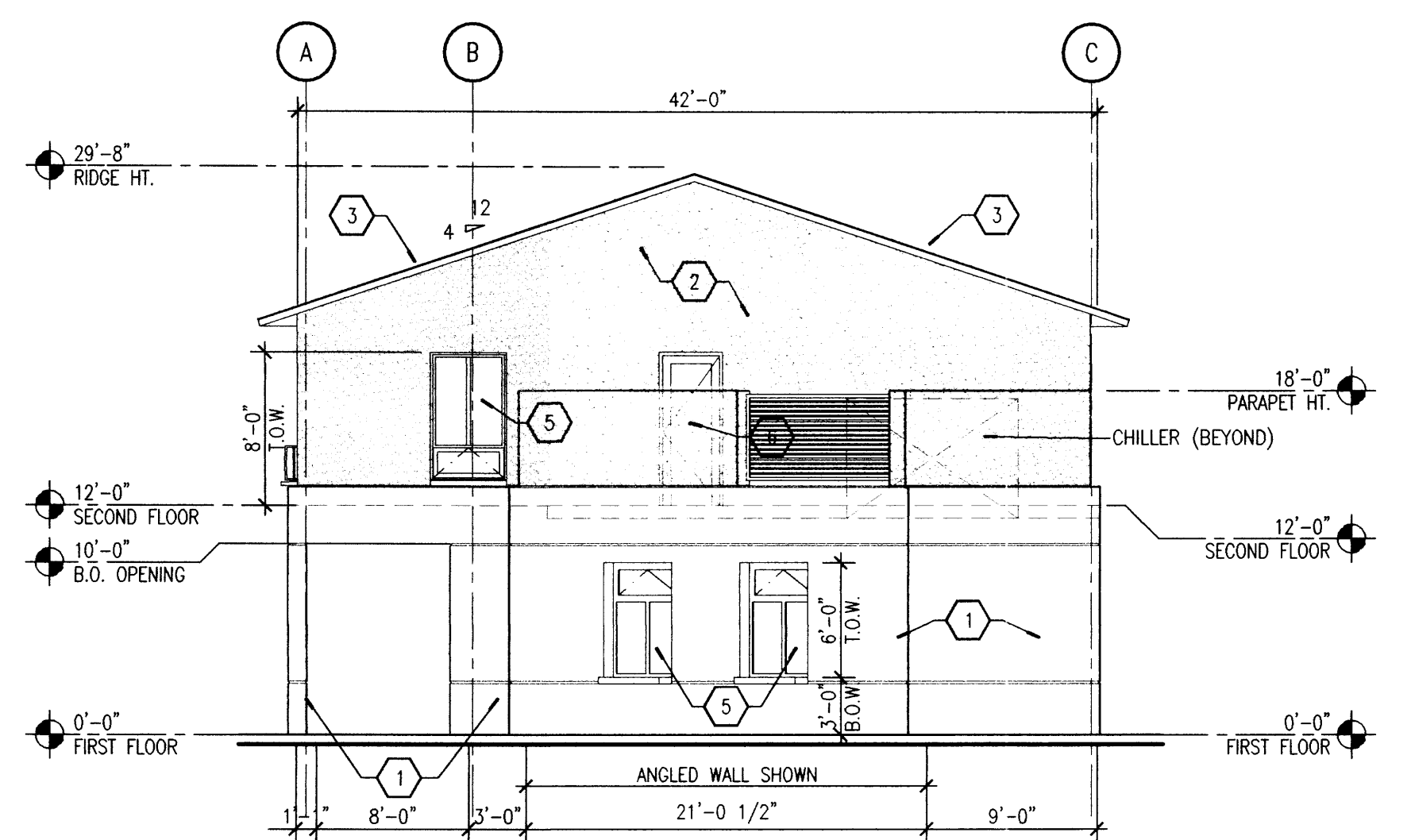
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**CONSULTANTS**

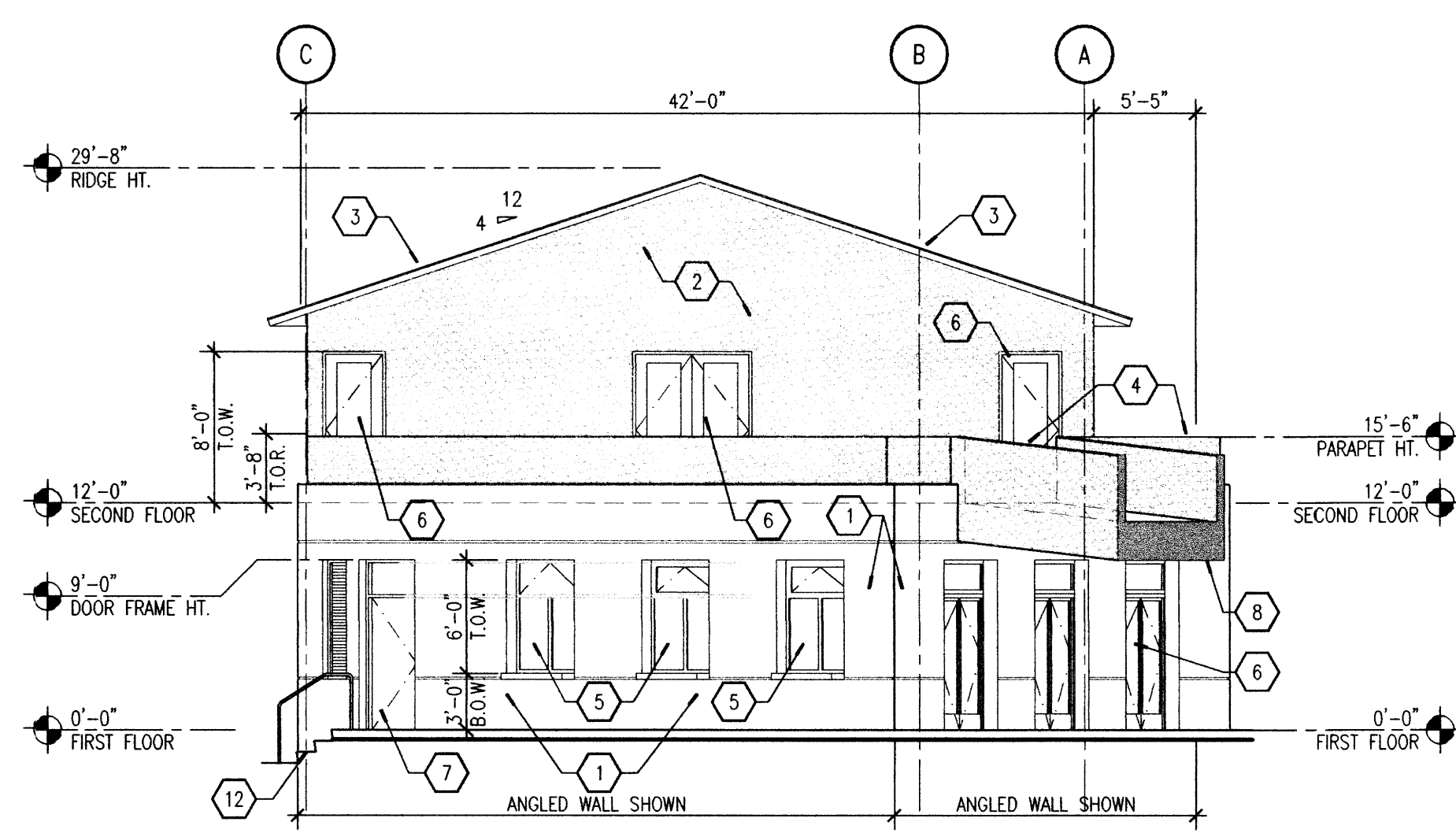
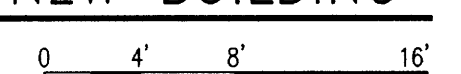
Architect	Engineer



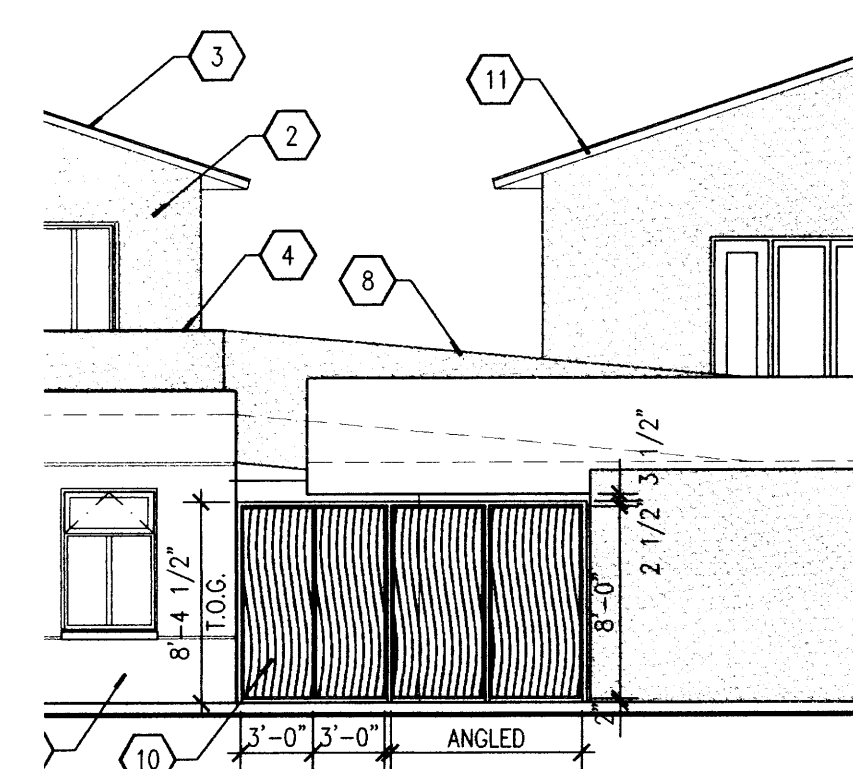
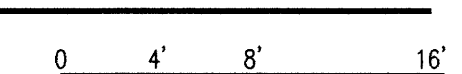
**B4 NORTH ELEVATION - PROPOSED BRIDGE**  
SCALE: 1/8" = 1'-0"



**A1 NORTH ELEVATION - PROPOSED NEW BUILDING**  
SCALE: 1/8" = 1'-0"



**A3 SOUTH ELEVATION - PROPOSED NEW BUILDING**  
SCALE: 1/8" = 1'-0"



**A4 SOUTH ELEVATION - PROPOSED GATE**  
SCALE: 1/8" = 1'-0"

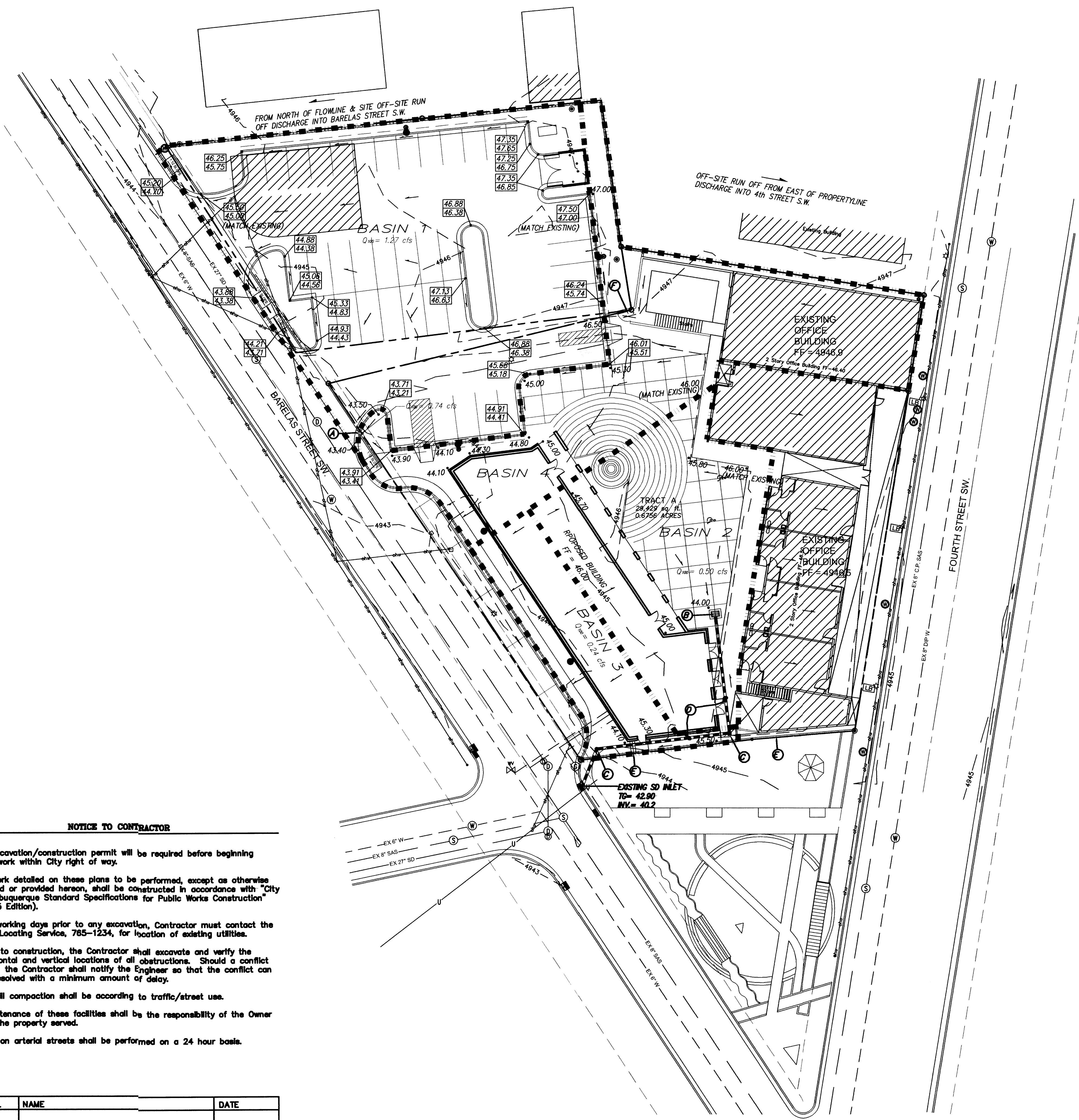
**BARELAS JOB OPPORTUNITY CENTER**  
ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

1309 4th St. Sw.  
Albuquerque New Mexico 87102

REV 1 05/10/05 CITY REQUEST

MARK	DATE	DESCRIPTION
ISSUE:	DRB SUBMITTAL	
PROJECT NO:	0425	
CAD DWG FILE:	0425-a201.dwg	
DRAWN BY:	DG	
CHECKED BY:	JDD	
DATE:	08/23/05	

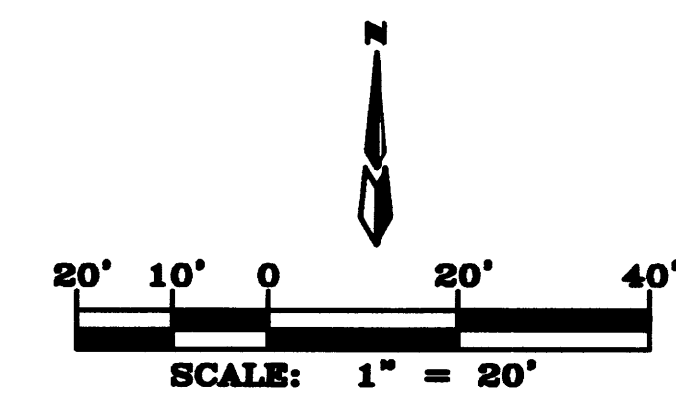
**SHEET TITLE**  
PROPOSED NEW BUILDING EXTERIOR ELEVATIONS



**NOTICE TO CONTRACTOR**

1. An excavation/construction permit will be required before beginning any work within City right of way.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1985 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Work on arterial streets shall be performed on a 24 hour basis.

APPROVAL	NAME	DATE
INSPECTOR		



VICINITY MAP ZONE MAP: #L-14-Z

**ACS BENCHMARK**  
 ACS BENCHMARK FOR THIS PROJECT IS A 3 1/4" ALUMINUM CAP STAMPED "10-L14, 1987", LOCATED 1.2 MILES SOUTH OF DOWNTOWN ALBUQUERQUE. TO REACH THE STATION FROM INTERSECTION OF BRIDGE BLVD. & I-25, GO WEST ON BRIDGE BLVD. 0.8 MILES TO THIRD STREET & THE STATION IS LOCATED ON THE LEFT SET FLUSH WITH THE CURB. ELEVATION= 4951.824

**LEGAL DESCRIPTION**  
 LOT A, LANDS OF ALBUQUERQUE HISPANO CHAMBER OF COMMERCE

**LEGEND**

---	4995	---	EXISTING CONTOUR MAJOR
---	4994	---	EXISTING CONTOUR MINOR
---		---	EXISTING PROPERTYLINE
---		---	PROPOSED CURB & GUTTER
	44.88		PROPOSED SPOT ELEVATION
	44.88		PROPOSED TOP OF CURB ELEVATION
	44.38		PROPOSED FLOW LINE ELEVATION
		---	PROPOSED FLOW DIRECTION ARROW
		---	PROPOSED STORM PIPE
		---	PROPOSED STORM DROP INLET
		---	PROPOSED DRAINAGE BASIN LINE

- KEYED NOTES**
1. CONSTRUCT NEW 8" WIDE CURB OPENING PER C.O.A. STD. DWG #2235.
  2. CONSTRUCT TYPE "D" PRIVATE DROP INLET PER C.O.A. STD. DWG #2206. TO= 44.00, INV.= 41.82
  3. CONSTRUCT NEW STORM SENEER CLEANOUT
  4. NEW 8" PVC STORM PIPE FROM NEW DROP INLET

**BARELAS JOB CENTER  
 GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: DER Checked: DMG Sheet 1 of 1  
 Scale: 1" = 1' Date: 08-12-05 Job: A05038