

PROJECT DATA:

LEGAL DESCRIPTION: LOT 10B, SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST

PROPOSED USE: FAST FOOD RESTAURANT WITH DRIVE THRU

EXISTING ZONING: C-1 (SC)

SITE AREA: 39,102 SQ. FT. (0.8976 ACRES)

BUILDING AREA: 2,448 SQ. FT.

CONSTRUCTION TYPE: V-B

OCCUPANCY TYPE: A-2 (RESTAURANT)

PARKING REQUIRED: ONE SPACE FOR EVERY FOUR SEATS (100/4 = 25 SPACES INCLUDING 2 ACCESSIBLE SPACES)

PARKING PROVIDED: 25 SPACES (INCLUDES 2 HANDICAPPED ACCESSIBLE SPACES)

MOTORCYCLE PARKING REQUIRED: 2 MOTORCYCLE SPACE REQUIRED

MOTORCYCLE PARKING PROVIDED: 2 MOTORCYCLE SPACE PROVIDED

BICYCLE PARKING REQUIRED: 1 / 20 VEHICLE PARKING=3 REQUIRED

BICYCLE PARKING PROVIDED: 5 BICYCLE PARKING PROVIDED

RESTAURANT AREA: 2,448 S.F.

EMPLOYEES: 3 EMPLOYEES/SHIFT (2 SHIFTS PER DAY)

INDOOR SEATING: 52 SEATS

OUTDOOR SEATING: 48 SEATS

NOTE: SITE PLAN FOR BUILDING PERMIT SHALL COMPLY WITH BOISQUE PLAZA SITE PLAN FOR SUBDIVISION 086PC-1225.

SHEET INDEX

SHEET	DESCRIPTION
1	SITE PLAN & PROJECT DATA
2	LANDSCAPE PLAN
3	GRADING & UTILITY PLAN
4	EXTERIOR ELEVATIONS
5	EXTERIOR ELEVATIONS
6	BUILDING SECTIONS
7	VIEW LINE STUDY
8	SIGNAGE PLAN
9	COLOR ELEVATIONS



PANDA RESTAURANT GROUP INC.

1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

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NO.	DESCRIPTION	DATE
1	CITY	10/18/2005

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3RD	
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5TH	
6TH	

DRAWN BY: WT

PANDA PROJECT #: S805D470
ARCH PROJECT #: 050122

ARCHITECT:

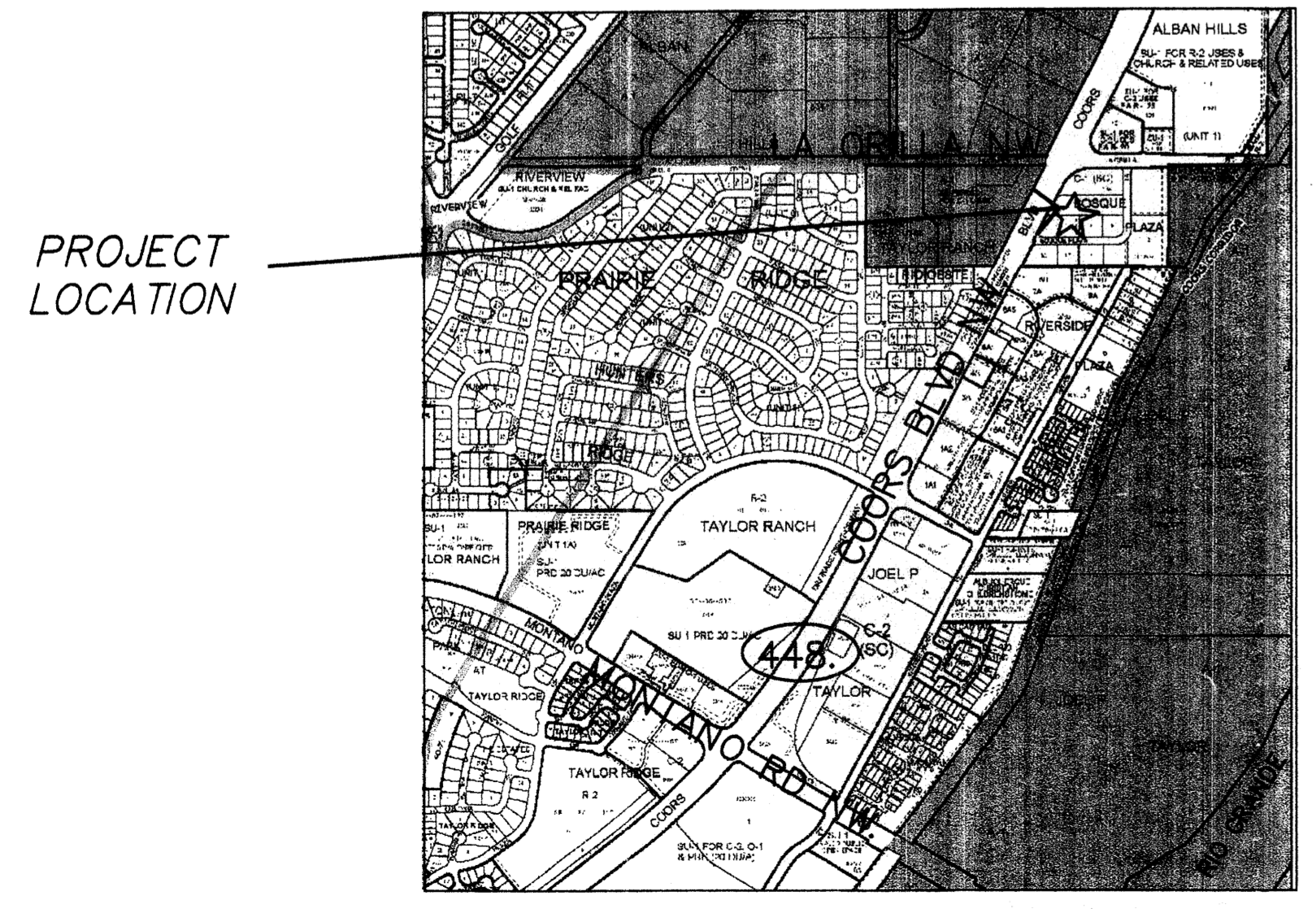
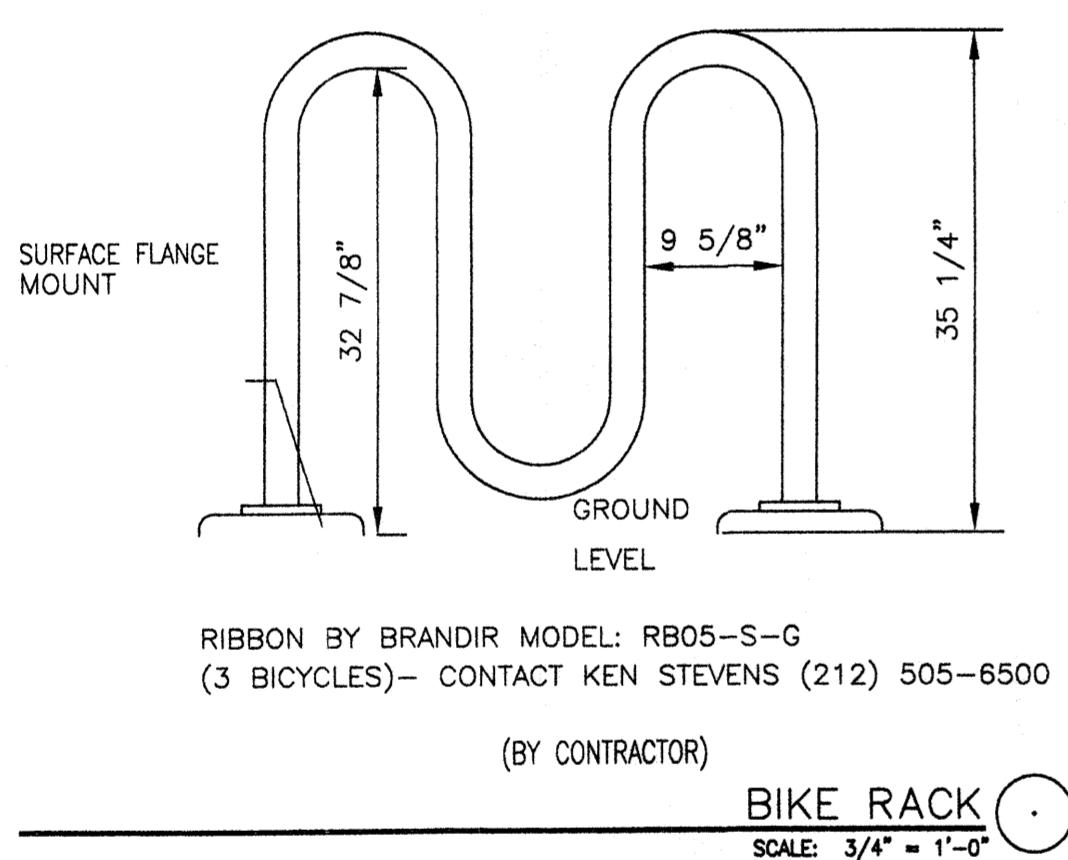
ITRA GROUP INC.
556 N. Diamond Bar Blvd.
Suite 304A
Diamond Bar, CA 91765
Tel: 909-396-6983
Fax: 909-396-6986
E-Mail: rogers@itragroupinc.com

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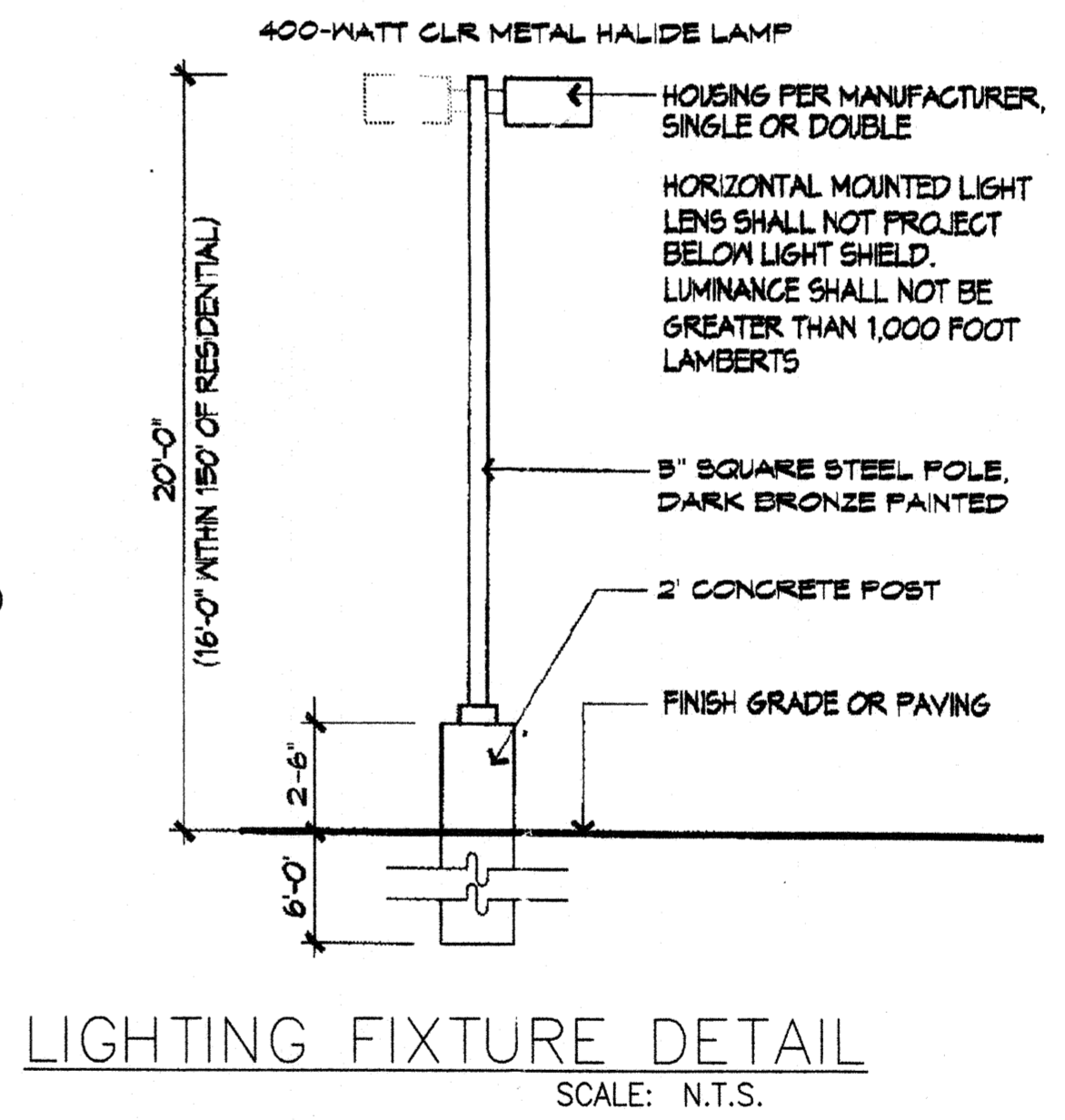
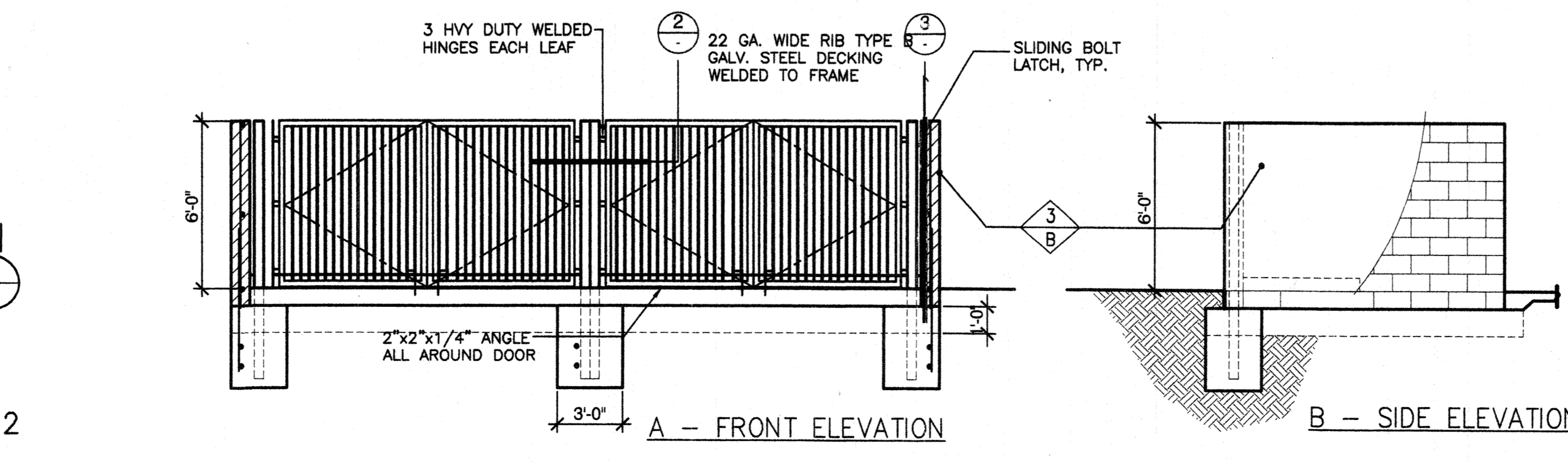
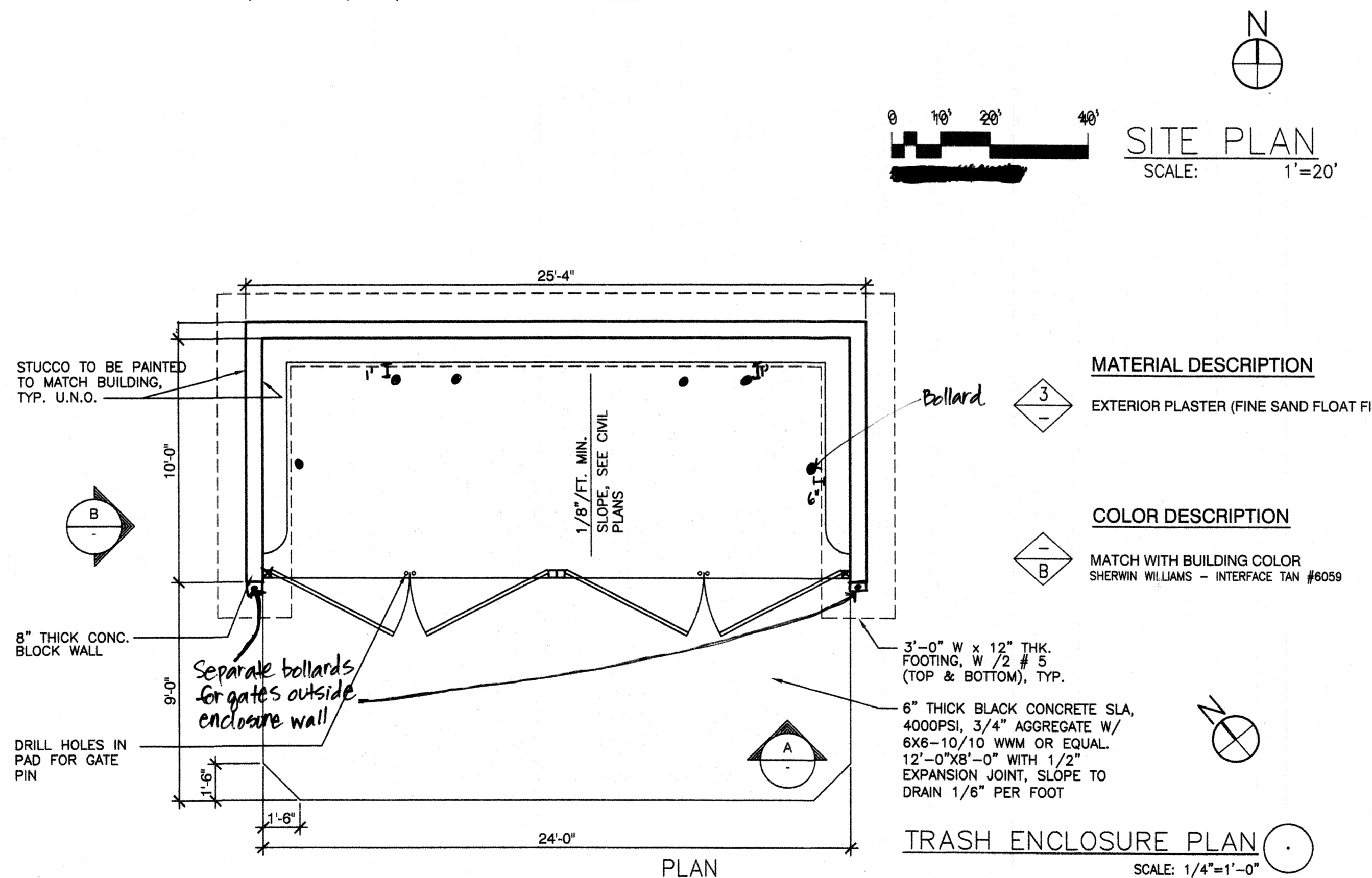
ALBUQUERQUE, NM

SITE PLAN AND PROJECT DATA
SHEET 1 of 9
October 31, 2006



VICINITY MAP
SCALE: 1" = 1000'

ZONE ATLAS D-12 & E-12



PROJECT NUMBER: ~~1004167~~ 1004167
Application Number: ~~06 D&B-0111~~ 06 D&B-0111

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 9-21-06, and the Findings and Conditions in the Official Notification of Decision are satisfied.

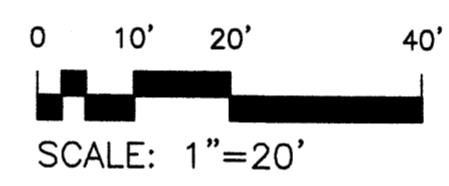
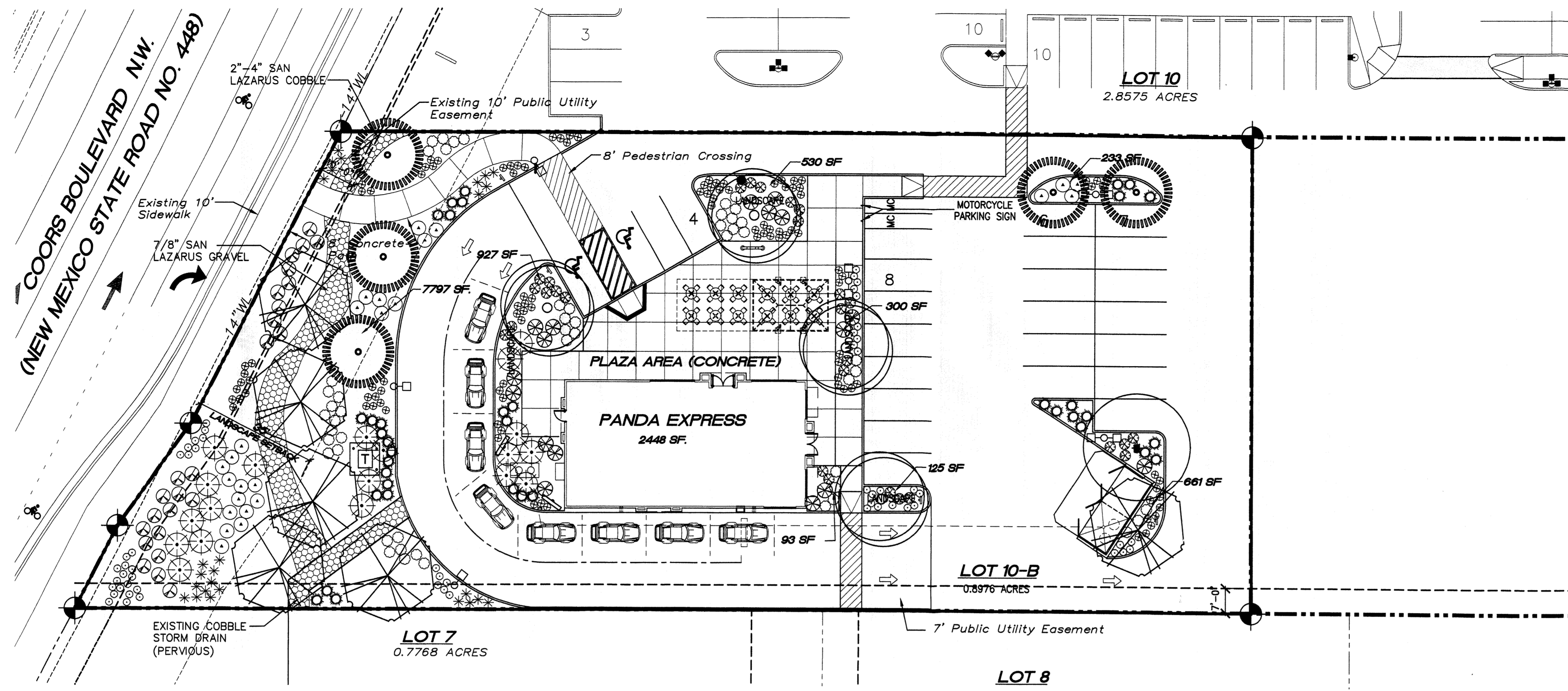
Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	11-15-06
Traffic Engineering/Transportation Division	Date
<i>[Signature]</i>	11-15-06
Water Utility Department	Date
<i>[Signature]</i>	11/15/06
Parks and Recreation Department	Date
<i>[Signature]</i>	11/15/06
City Engineer	Date
<i>[Signature]</i>	11/17/06
Environmental Health Department (conditional)	Date
<i>[Signature]</i>	11/16/06
Solid Waste Management	Date
<i>[Signature]</i>	11/17/06
DRB Chairperson/Planning Department	Date

Catrina Johnson 11-10-06

1004167



LANDSCAPE PLAN
SCALE: 1"=20'



PLANT LEGEND

Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
Trees				
	<i>Chilopsis linearis</i> 'Luc. Ham.' Desert Willow	15-Gal.	8' ht. x 6' spr. 20' ht. x 25' spr.	Low +
	<i>Fraxinus oxycarpa</i> 'Raywood' 2" B4B Raywood Ash	2" B4B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium +
	<i>Koelreuteria paniculata</i> Goldenrain Tree	2" B4B	14' ht. x 6' spr. 25' ht. x 25' spr.	Medium
	<i>Pinus eldarica</i> Afghan Pine	B4B	10' min ht. 20' ht. x 30' spr.	Medium
	<i>Pistachia chinensis</i> Chinese Pistache	2" B&B	14' ht. x 6' spr. 60' ht. x 60' spr.	Medium +
Shrubs/Groundcovers				
	<i>Artemisia</i> 'Pouls Castle' Pouls Castle Sage	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
	<i>Caryopteris clandonensis</i> Blue Mist	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
	<i>Cercocarpus ledifolios</i> Curl-leaf Mtn. Mahogany	10-Gal.	6'-8' ht. x 4' spr. 15' ht. x 15' spr.	Low +
	<i>Perovskia atriplicifolia</i> Russian Sage	1-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
	<i>Baccharis</i> 'Starr' Dwarf Coyotebrush	5-Gal.	4' o.c. 2' ht. x 4' spr.	Low +
	<i>Ericameria laricifolia</i> 'Aguilre' 1-Gal. Turpentine Bush	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
	<i>Nassella tenuissima</i> Threadgrass	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
	<i>Rhus trilobata</i> Three-leaf Sumac	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
	<i>Buddleia davidii</i> Butterfly Bush	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +

GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN

Due to the scale of these plans, specific shrub species are not identified by symbol. Symbols shown on enlarged plans are generic and illustrate the design intent and intensity of plant materials. The actual provided quantity will be sufficient to meet the design intent and the landscape coverage requirements of the City Zoning Code.

80% living vegetative cover shall be required per the Bosque Plaza Landscape Design Standards.

All planting areas shall be top dressed with a 3" layer of 7/8" San Lazarus rock mulch or a 4" layer of 2"-4" San Lazarus cobbles as indicated.

IRRIGATION

Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE

Maintenance of all planting and irrigation, including those within the public R.O.W., shall be the responsibility of the Property Owner. The landscape shall be maintained in a living, attractive condition.

LANDSCAPE CALCULATIONS

Total Site Area: (0.8977 Ac.)	39,106 SF
Building Area:	-2,448 SF
Net Area:	36,658 SF
Required Landscape Area (15% of Net Area):	5,499 SF
Provided Landscape Area: (29%)	10,666 SF



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DRAWN BY: WT

PANDA PROJECT #: S805D470
ARCH PROJECT #: 050122

ARCHITECT:

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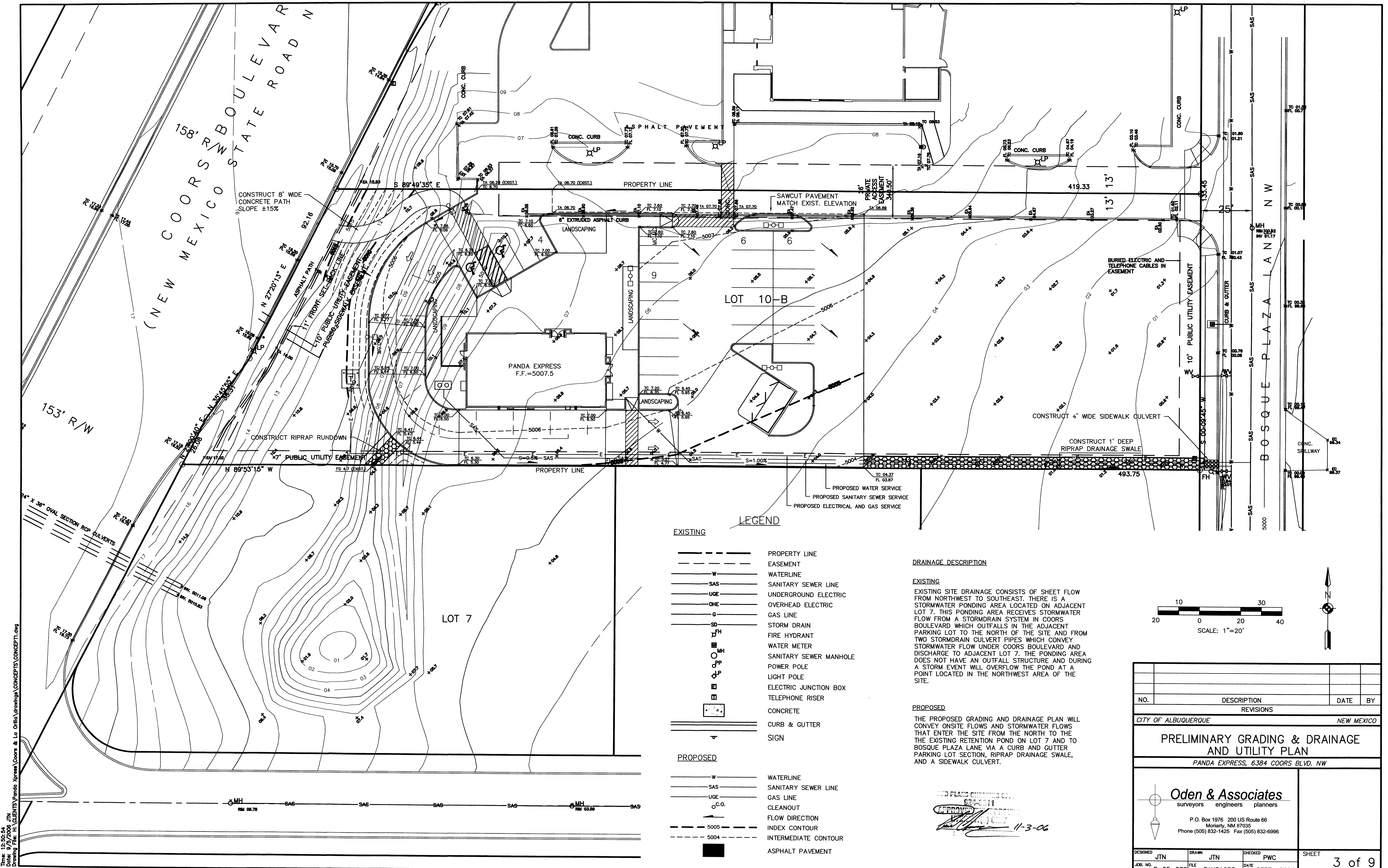
LANDSCAPE PLAN

SHEET 2 of 9

October 31, 2006

CONSensus PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com





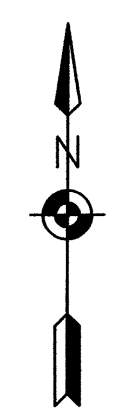
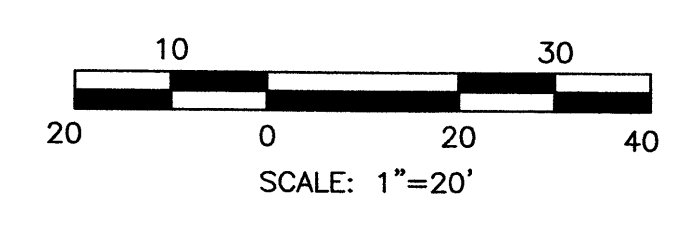
LEGEND

EXISTING	
	PROPERTY LINE
	EASEMENT
	WATERLINE
	SANITARY SEWER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC
	GAS LINE
	STORM DRAIN
	FIRE HYDRANT
	WATER METER
	SANITARY SEWER MANHOLE
	POWER POLE
	LIGHT POLE
	ELECTRIC JUNCTION BOX
	TELEPHONE RISER
	CONCRETE
	CURB & GUTTER
	SIGN
PROPOSED	
	WATERLINE
	SANITARY SEWER LINE
	GAS LINE
	CLEANOUT
	FLOW DIRECTION
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	ASPHALT PAVEMENT

DRAINAGE DESCRIPTION

EXISTING
 EXISTING SITE DRAINAGE CONSISTS OF SHEET FLOW FROM NORTHWEST TO SOUTHEAST. THERE IS A STORMWATER PONDING AREA LOCATED ON ADJACENT LOT 7. THIS PONDING AREA RECEIVES STORMWATER FLOW FROM A STORMDRAIN SYSTEM IN COORS BOULEVARD WHICH OUTFALLS IN THE ADJACENT PARKING LOT TO THE NORTH OF THE SITE AND FROM TWO STORMDRAIN CULVERT PIPES WHICH CONVEY STORMWATER FLOW UNDER COORS BOULEVARD AND DISCHARGE TO ADJACENT LOT 7. THE PONDING AREA DOES NOT HAVE AN OUTFALL STRUCTURE AND DURING A STORM EVENT WILL OVERFLOW THE POND AT A POINT LOCATED IN THE NORTHWEST AREA OF THE SITE.

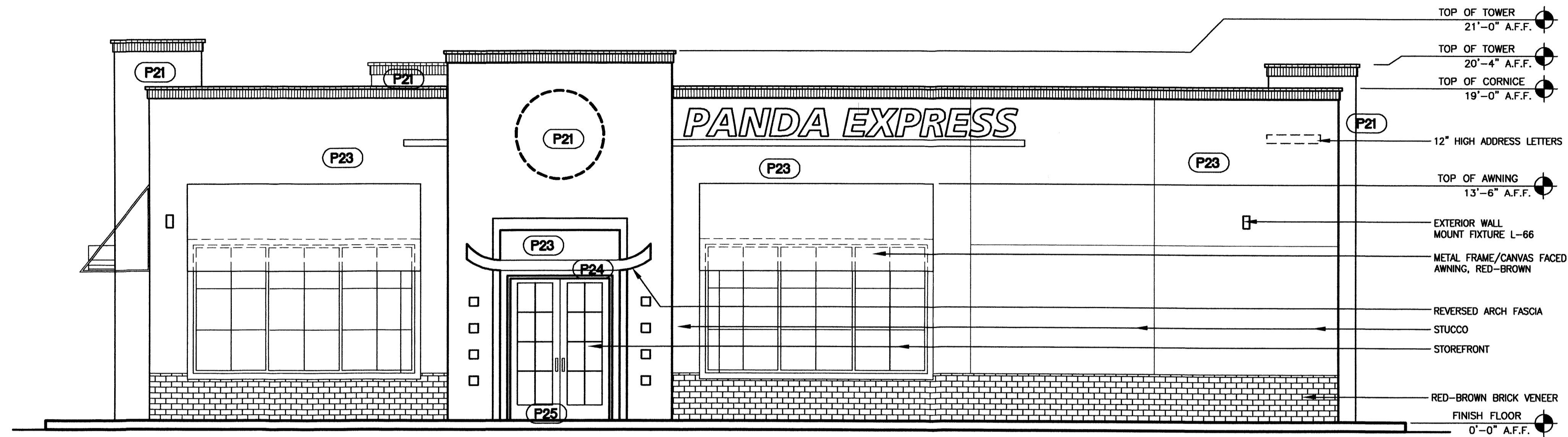
PROPOSED
 THE PROPOSED GRADING AND DRAINAGE PLAN WILL CONVEY ONSITE FLOWS AND STORMWATER FLOWS THAT ENTER THE SITE FROM THE NORTH TO THE EXISTING RETENTION POND ON LOT 7 AND TO BOSQUE PLAZA LANE VIA A CURB AND GUTTER PARKING LOT SECTION, RIPRAP DRAINAGE SWALE, AND A SIDEWALK CULVERT.



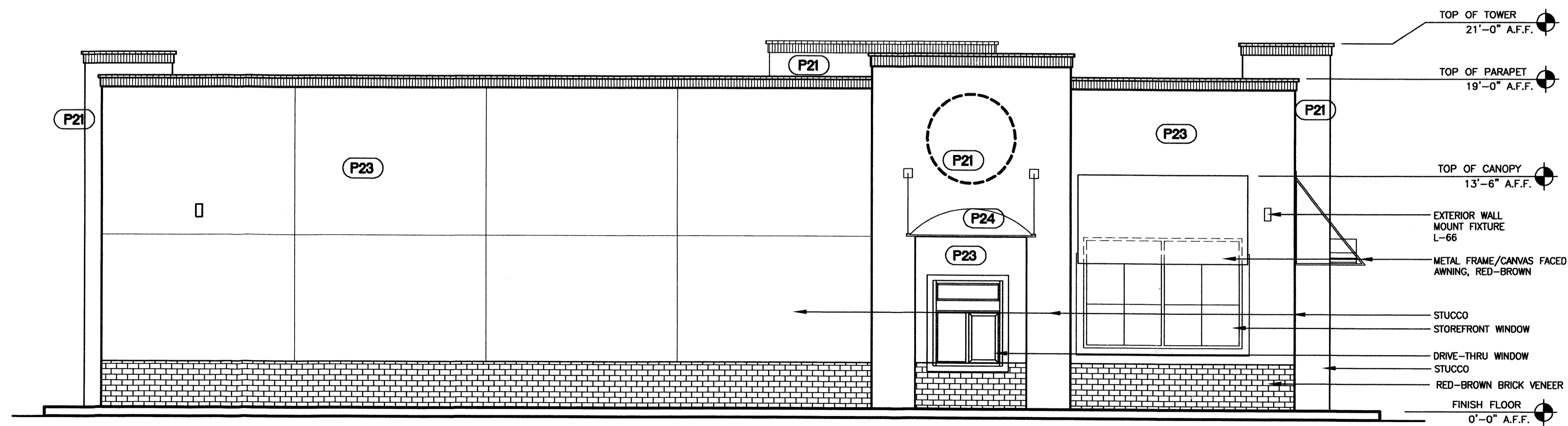
NO.	DESCRIPTION	DATE	BY
REVISIONS			
CITY OF ALBUQUERQUE		NEW MEXICO	
PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN			
PANDA EXPRESS, 6384 COORS BLVD. NW			
 Oden & Associates surveyors engineers planners P.O. Box 1976 200 US Route 66 Moriarty, NM 87035 Phone (505) 832-1425 Fax (505) 832-6896			
DESIGNED	JTN	CHECKED	PWC
JOB. NO.	E-05-032	FILE	PANDACRS
DATE	SEPT., 2006	SHEET	
			3 of 9

Title: 12-05-04
 Date: 9/5/2006 JTN
 Drawing File: H:\CLIENTS\Panda Express\Coors & La Orlina\Drawings\CONCEPTS\CONCEPT.dwg

NO	MANUFACTURER	MFG #	MFG COLOR	COLOR	TEXTURE
P21	BENJAMIN MOORE	2161-50	YELLOW SQUASH	LIGHT TAN	SEMI-GLOSS
P23	SHERWIN WILLIAMS	6059	INTERFACE TAN	TAN	SEMI-GLOSS
P24	BENJAMIN MOORE	2080-10	RASPBERRY TRUFFLE	RED-BROWN	SEMI-GLOSS
P25	SHERWIN WILLIAMS	6321	RED BAY	LIGHT RED-BROWN	SEMI-GLOSS



NORTH ELEVATION ①
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION ②
SCALE: 1/8" = 1'-0"



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PANDA PROJECT #: S805D470
ARCH PROJECT #: 050122

ARCHITECT:
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E-Mail: rogers@itragroupinc.com

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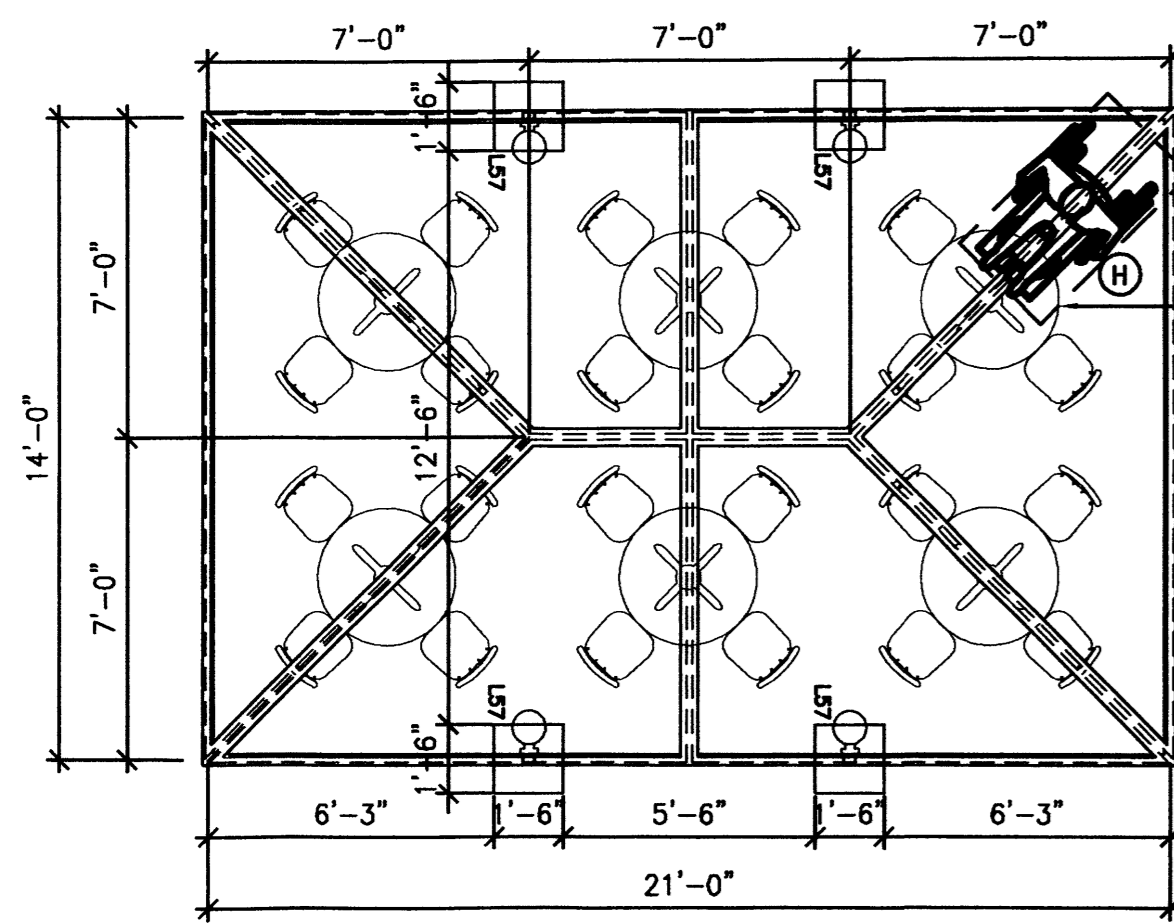
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EXTERIOR
ELEVATIONS

SHEET 4 of 9

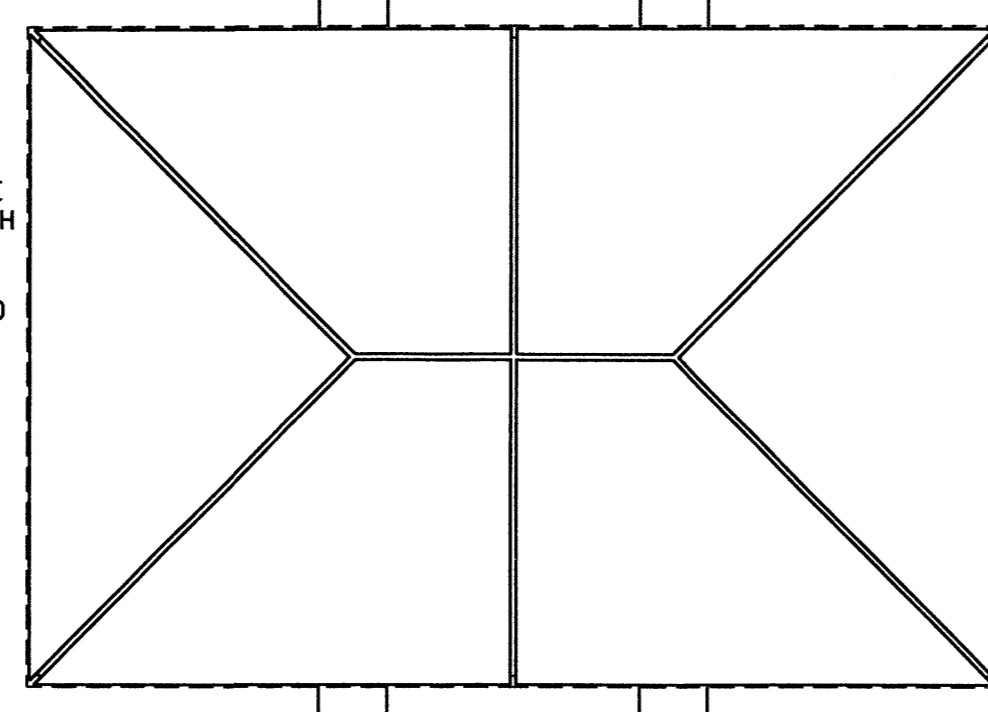
October 26, 2006

NO	MANUFACTURER	MFG #	MFG COLOR	COLOR	TEXTURE
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P24	BENJAMIN MOORE	2080-10	RASPBERRY TRUFFLE	RED-BROWN	SEMI-GLOSS
P25	SHERWIN WILLIAMS	6321	RED BAY	LIGHT RED-BROWN	SEMI-GLOSS



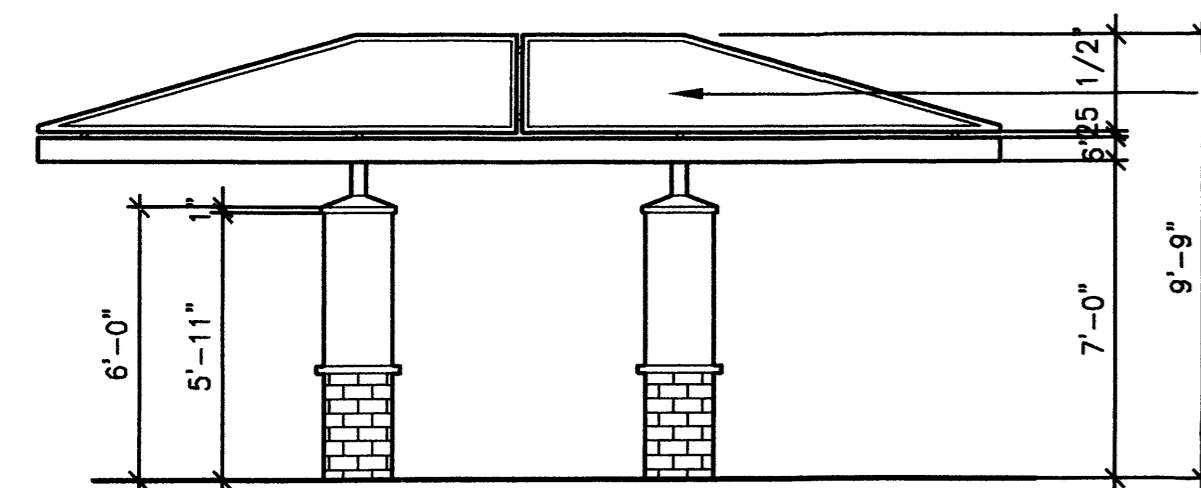
PLAN SHOWING FRAME

ACCESSIBLE TABLE SHALL COMPLY WITH FOLLOWING: KNEE & TOE CLEARANCE COMPLY WITH SECTION 306; HEIGHT SHALL COMPLY WITH 902.3 OF ICC/ANSI, SEE DETAIL 10/T-3.0

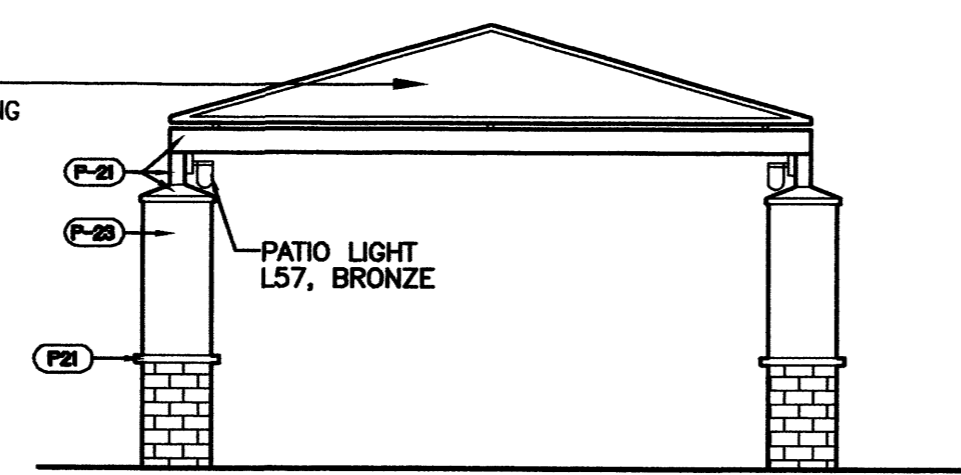


PLAN SHOWING FABRIC SUNSHADE

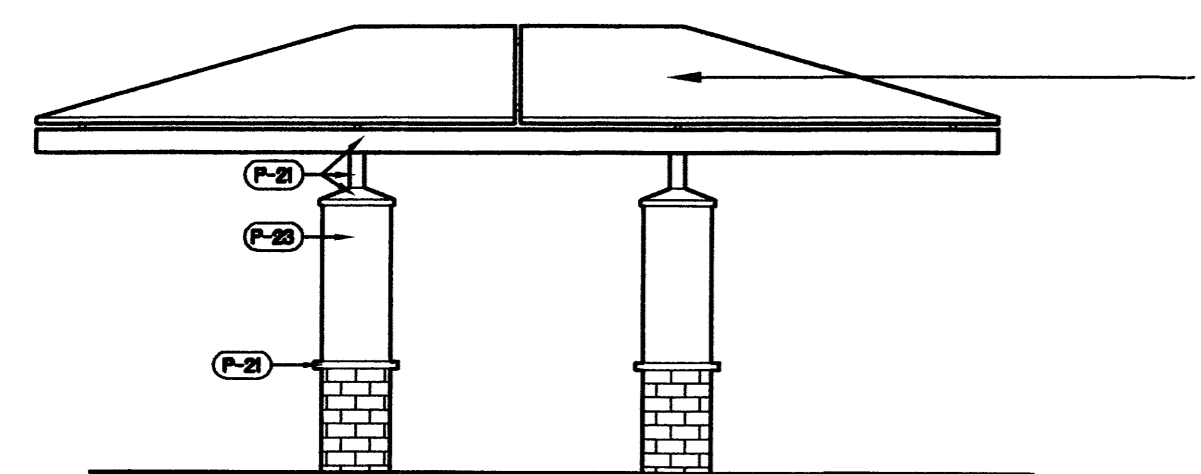
TRELLIS PLAN ③
SCALE: 1/4" = 1'-0"



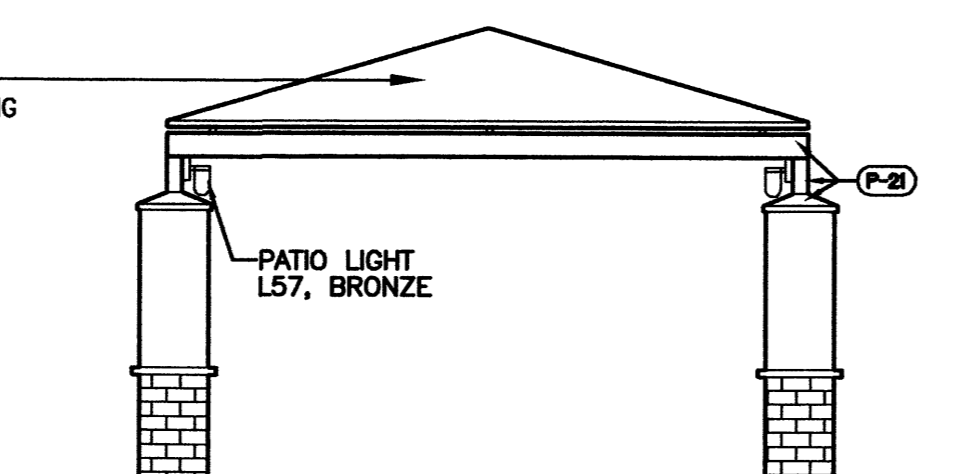
END ELEVATION SHOWING FRAME



SIDE ELEVATION SHOWING FRAME

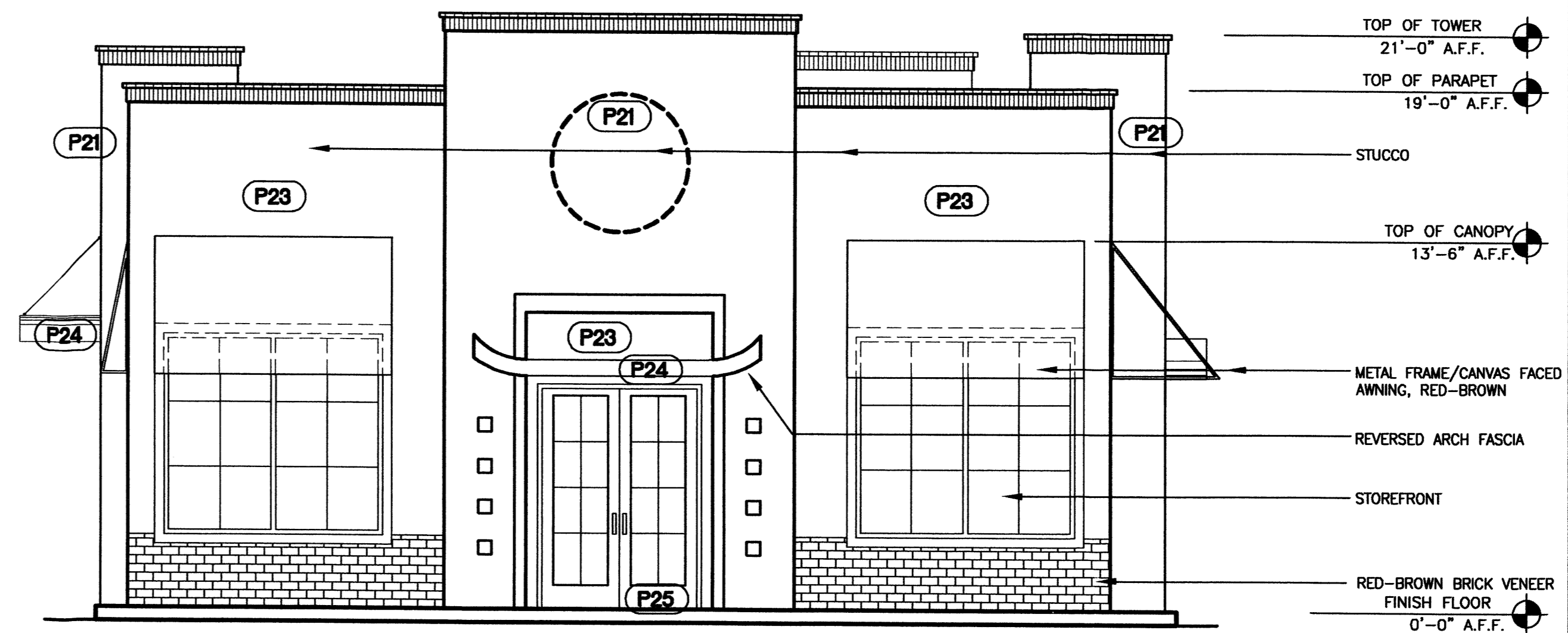


END ELEVATION SHOWING FABRIC SUNSHADE

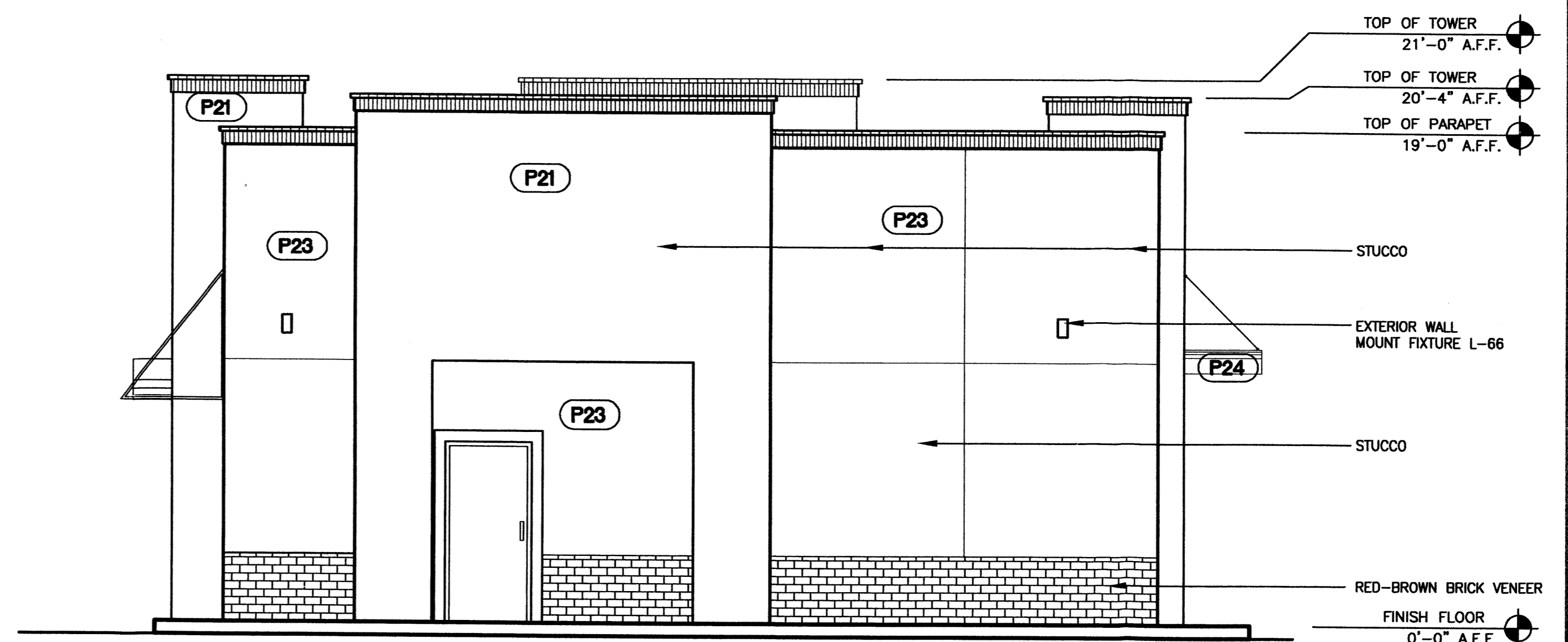


SIDE ELEVATION SHOWING FABRIC SUNSHADE

TRELLIS ELEVATION ④
SCALE: 1/4" = 1'-0"



EAST ELEVATION ①
SCALE: 1/8" = 1'-0"



WEST ELEVATION ②
SCALE: 1/8" = 1'-0"



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EXTERIOR ELEVATIONS

SHEET 5 of 9

October 26, 2006



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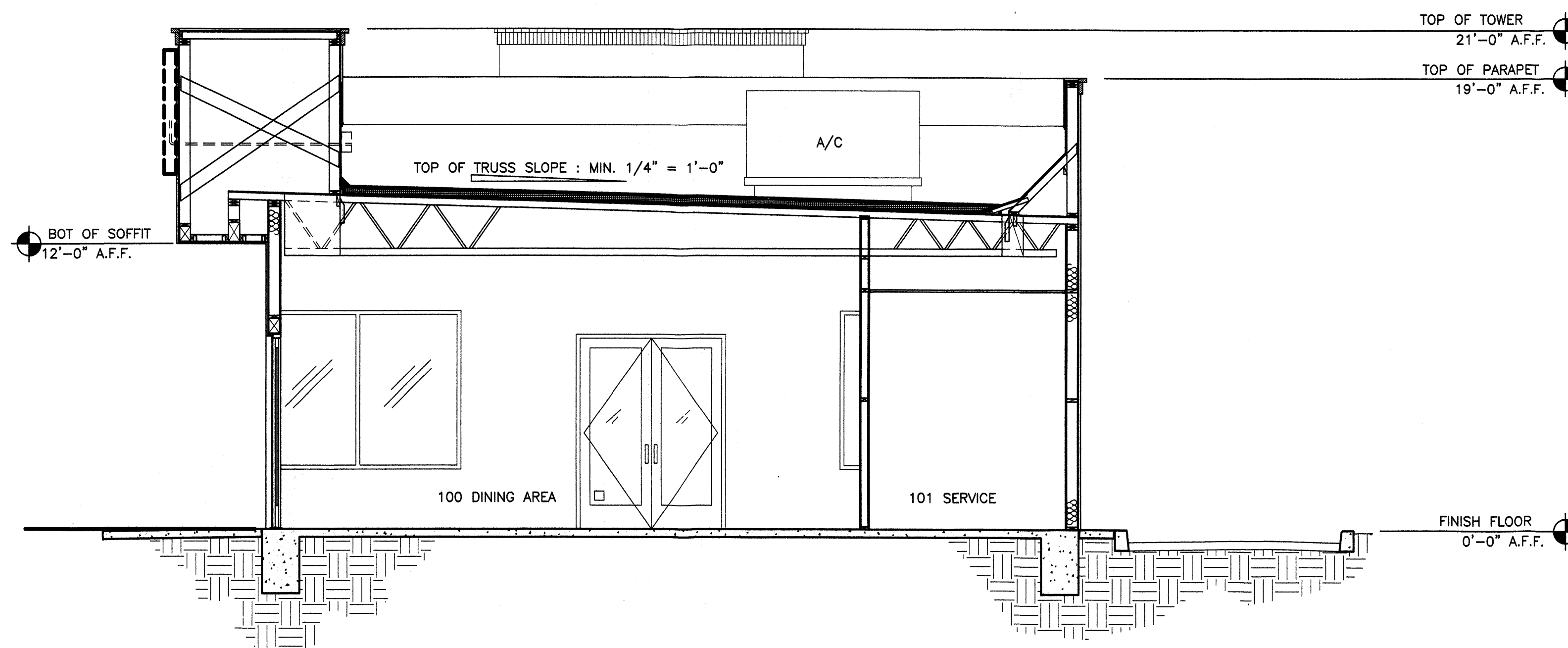
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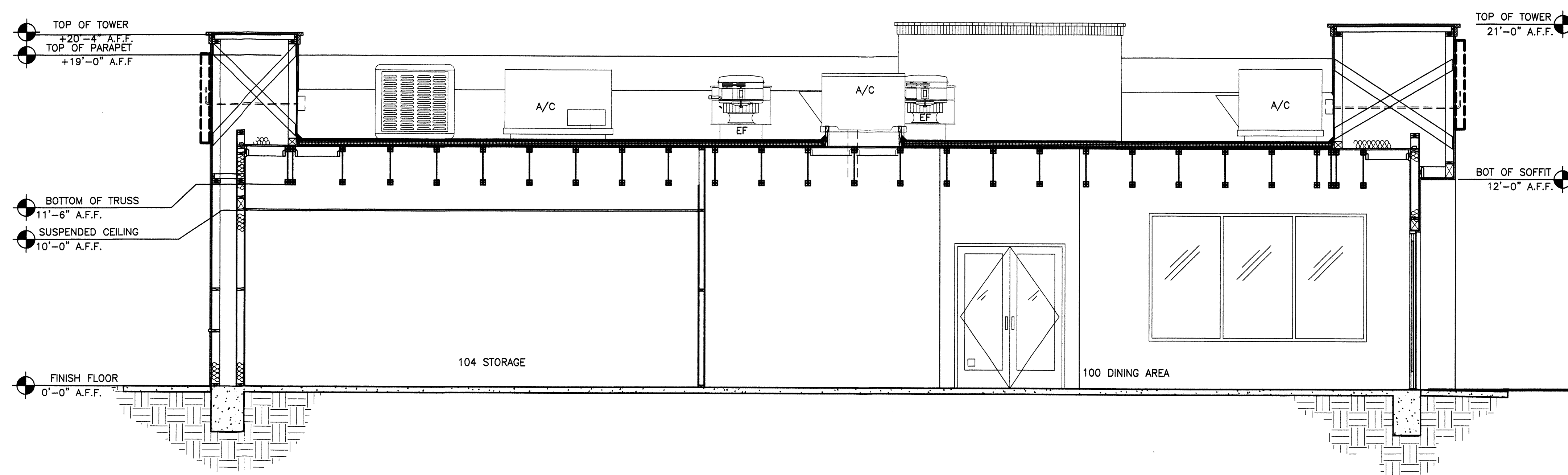
SHEET 6 OF 9

BUILDING
SECTIONS

October 26, 2006



BUILDING SECTION ①
SCALE: 1/4" = 1'-0"



BUILDING SECTION ②
SCALE: 1/4" = 1'-0"

LOT 10-A
 BOSQUE PLAZA
 FILED: DECEMBER 14
 BOOK 2004C, PAGE



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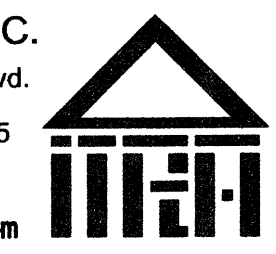
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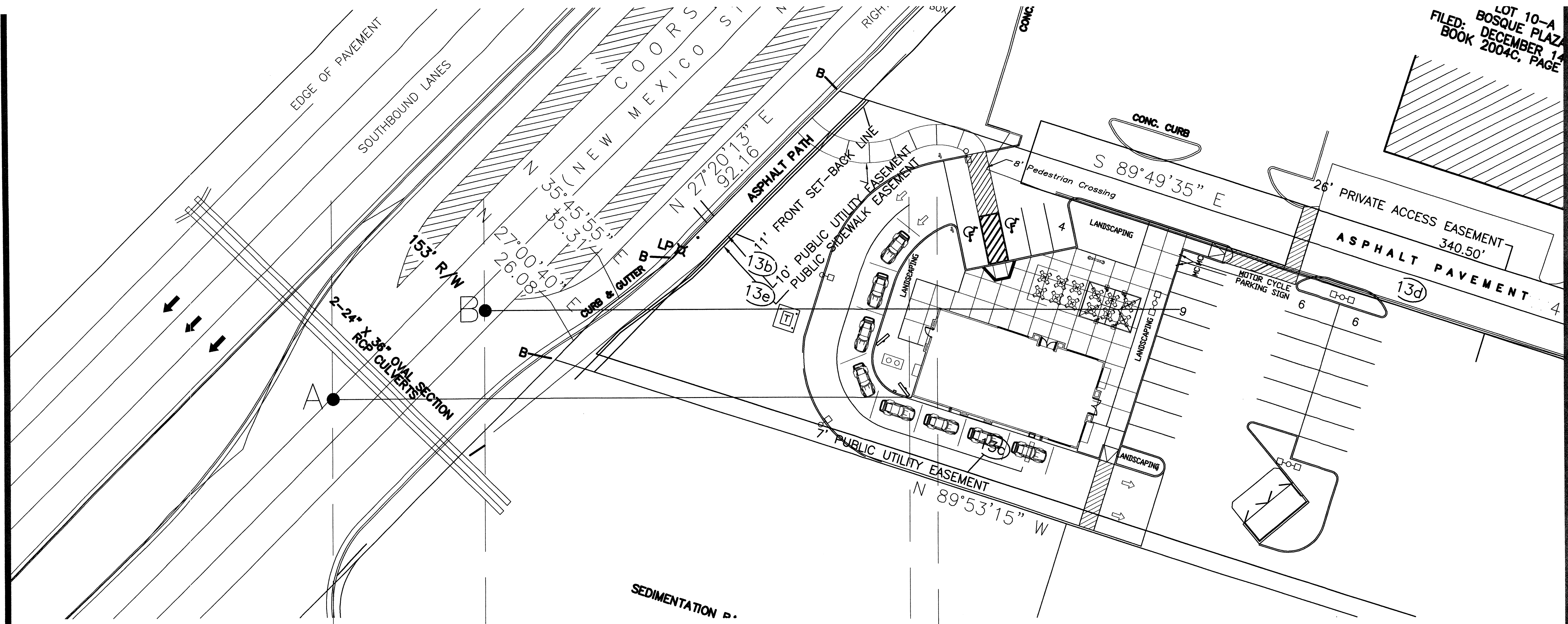
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ALBUQUERQUE, NM

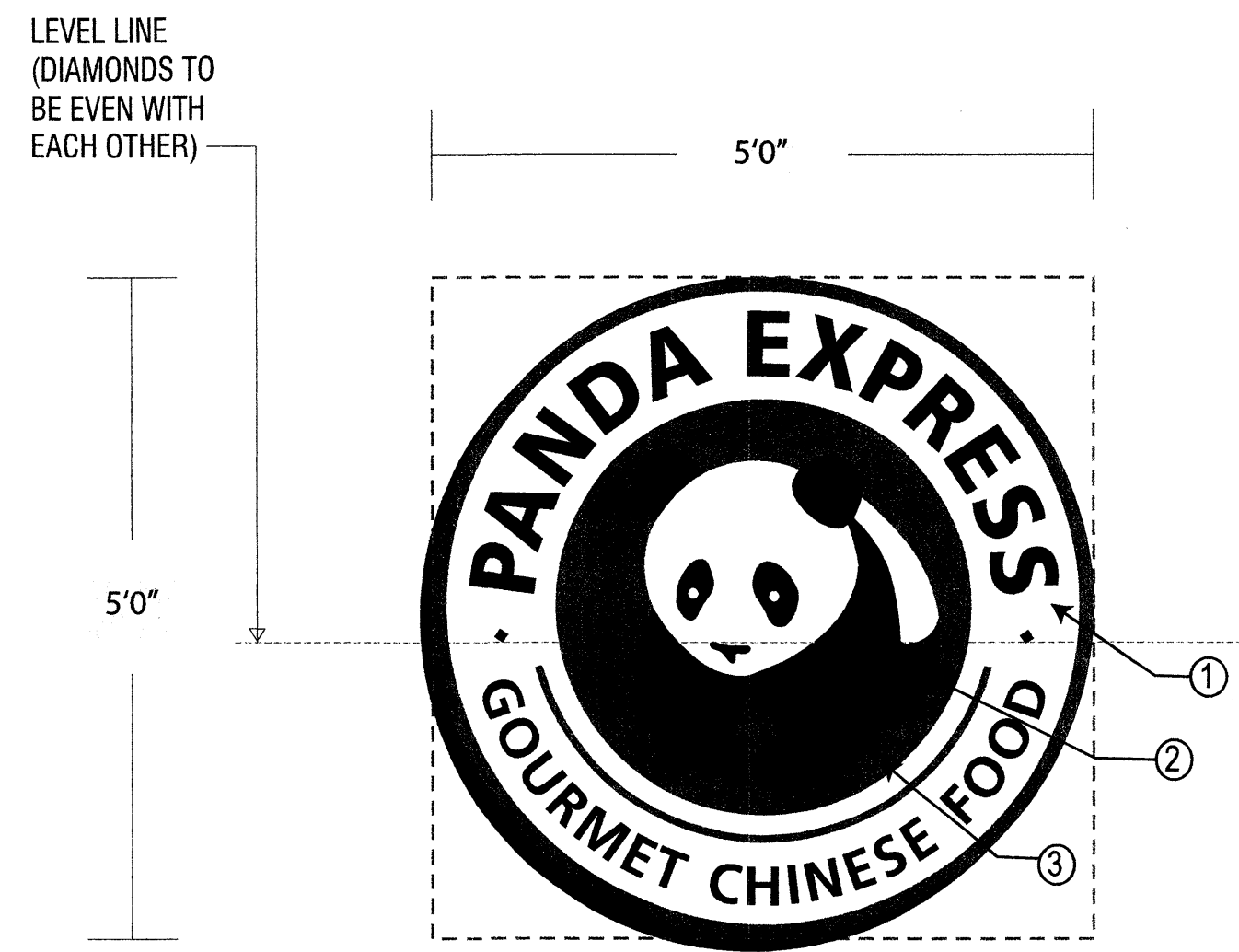
VIEW LINE
 STUDY

SHEET 7 OF 9
 SEPTEMBER 6, 2006



SECTION B-B

SECTION A-A

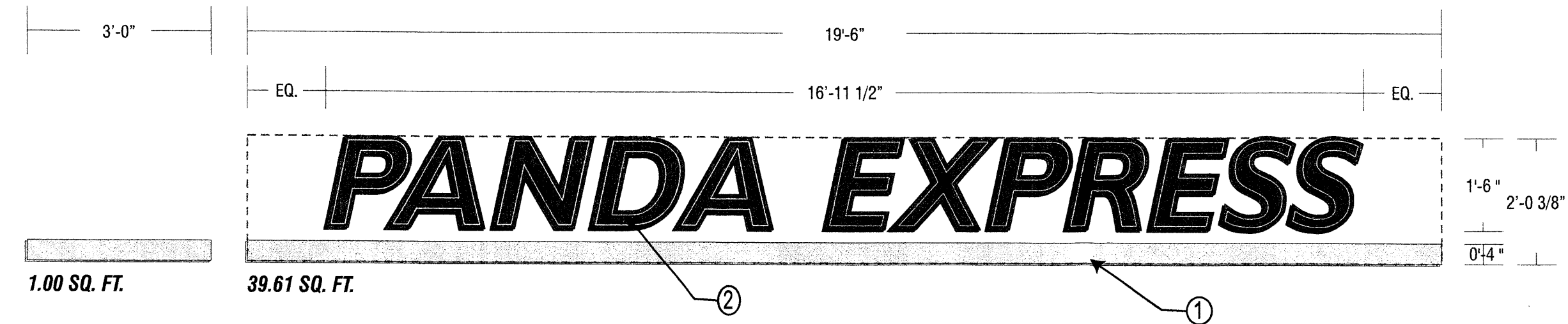


25.00 SF

LOGO @ ON NORTH, SOUTH, AND EAST ELEVATIONS

Vinyl Graphics w/ Fluorescent Lighting

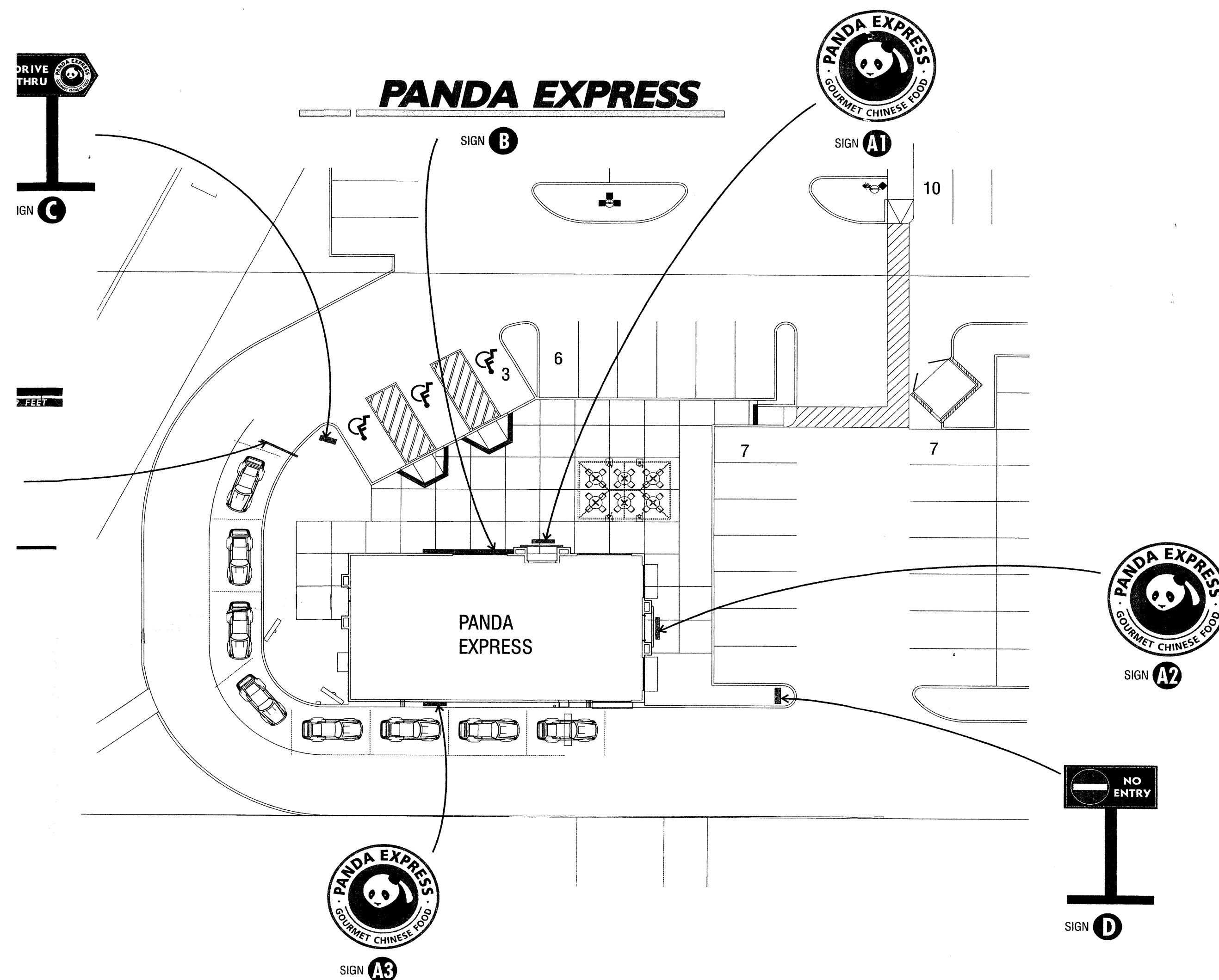
- ① White
- ② Black
- ③ Red



NORTH ELEVATION

Channel Letters with Fluorescent Lighting

- ① Yellow
- ② Red



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ISSUE DATE:

1ST	
2ND	
3RD	
4TH	
5TH	
6TH	

DRAWN BY: WT

PANDA PROJECT #: S805D470
ARCH PROJECT #: 050122

ARCHITECT:

ITRA GROUP INC.
556 N. Diamond Bar Blvd.
Suite 304A
Diamond Bar, CA 91765
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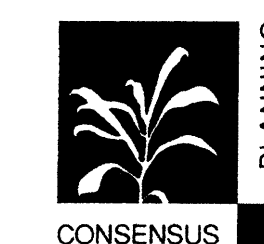
SIGNAGE PLAN

SHEET 8 OF 9
September 6, 2006

ultrasigns

ELECTRICAL ADVERTISING

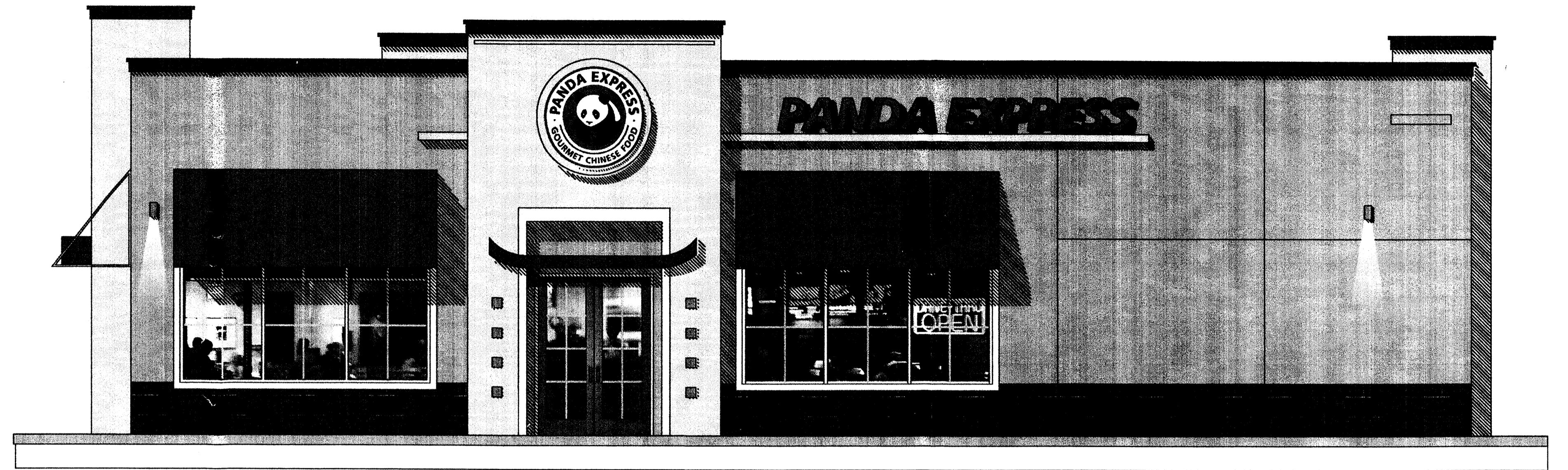
TEL: 858-569-1400 FAX: 858-569-1453
9025 BALBOA AVENUE, STE 150
SAN DIEGO, CA 92123-1520



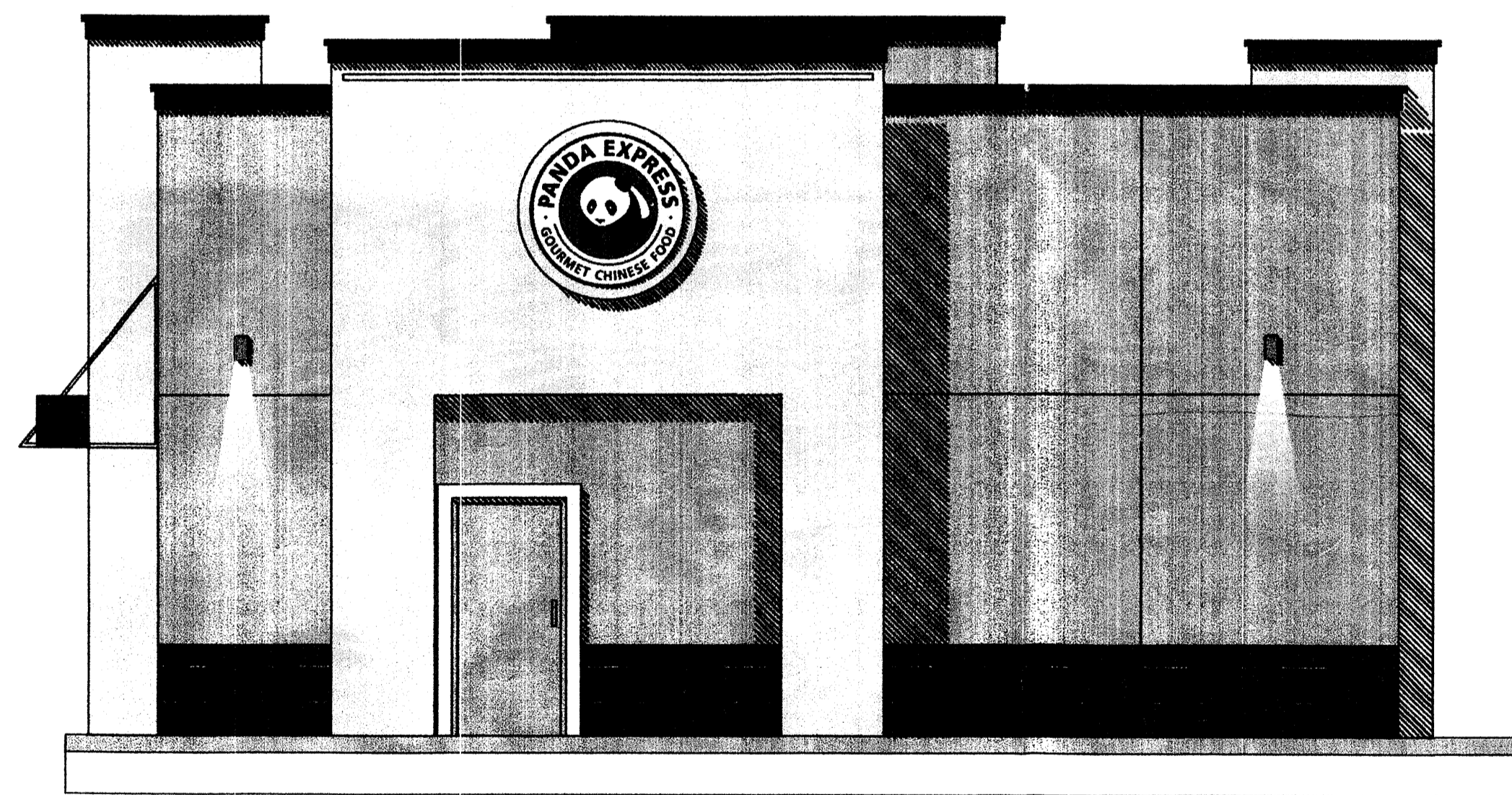
CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
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e-mail: cp@consensusplanning.com



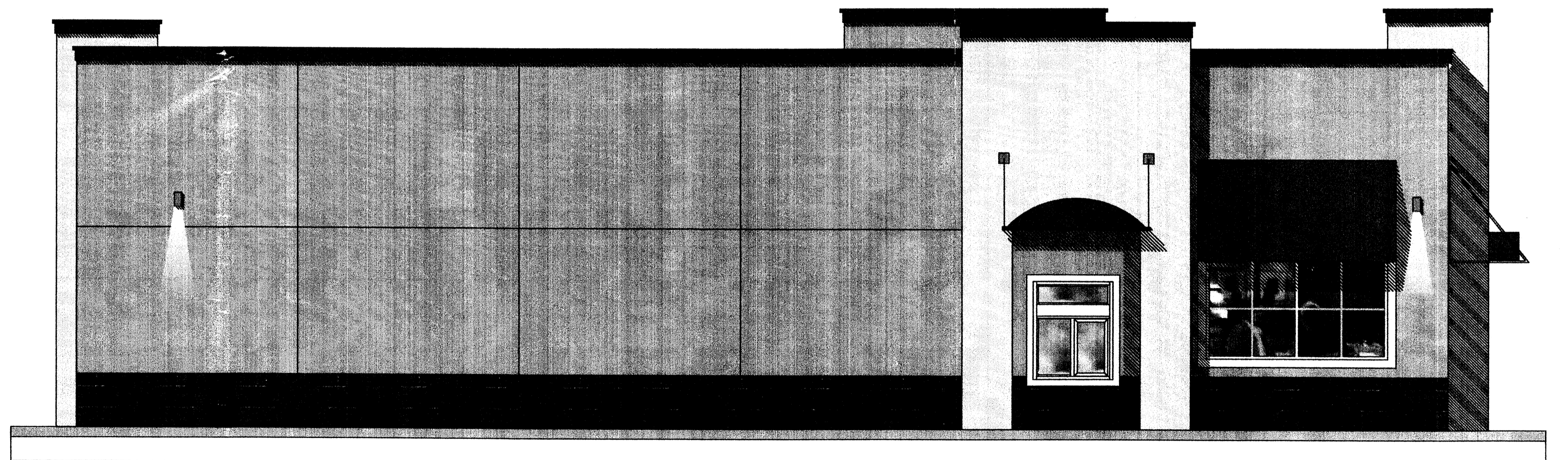
EAST ELEVATION (3)
SCALE: 1/8" = 1'-0"



NORTH ELEVATION (1)
SCALE: 1/8" = 1'-0"



WEST ELEVATION (4)
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (2)
SCALE: 1/8" = 1'-0"

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ELEVATIONS
(COLOR)

SHEET 9 of 9

SEPTEMBER 6, 2006