

**SITE DATA:**

LEGAL DESCRIPTION: LOT 1, BOSQUE PLAZA SUBDIVISION

SITE AREA: 1.72 AC. / 74,923 SF

ZONING: C-1 (SC)

PROPOSED LAND USE: 2-STORY BUILDING FOR STORAGE AND RETAIL USES AS PERMITTED IN THE C-1 AND INDOOR CLIMATE CONTROLLED STORAGE USES. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIALS.

MAXIMUM FLOOR AREA RATIO: 1.0

BUILDING AREA: 69,600 SF = FAR OF 0.92

MAXIMUM BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT SHALL BE PURSUANT TO THE CITY C-1 ZONE (26-FEET) AND SHALL COMPLY WITH THE COORS CORRIDOR SECTOR DEVELOPMENT PLAN (CCSDP) VIEW PRESERVATION REQUIREMENTS FOR SEGMENT 3 (SEE SHEET 7).

**PARKING REQUIREMENTS:**

WAREHOUSE: 1 SPACE PER 2,000 SQUARE FEET OF NET LEASABLE SPACE	26.1
RETAIL: 1 SPACE PER 200 SQUARE FEET	7.5
OFFICE: 1 SPACE PER 200 SQUARE FEET	4.5
<b>TOTAL PARKING REQUIRED:</b>	<b>39</b>
<b>PROVIDED PARKING</b>	
OFF-STREET PARKING SPACES:	
COMPACT OFF-STREET PARKING SPACES (MAX 9):	9
PRIVATE ROADWAY EASEMENT PARKING SPACES:	+ 9
<b>TOTAL PARKING PROVIDED:</b>	<b>39</b>
HANDICAPPED REQUIRED:	3
HANDICAPPED PROVIDED:	3
MOTORCYCLE PARKING REQUIRED:	2
MOTORCYCLE PARKING PROVIDED:	2
BICYCLE REQUIRED:	2
BICYCLE PROVIDED:	4

TRANSIT: BUS ROUTES 96 (CROSSTOWN COMMUTER), 155 (COORS), 790 (BLUE LINE RAPID RIDE), AND 162 (VENTANA RANCH COMMUTER). BUS STOPS FOR 96 AND 155 ARE LOCATED ACROSS LA ORILLA NW APPROXIMATELY 400' TO THE NORTH WEST FROM THE SITE. BUS STOPS FOR 96, 155, AND 162 ARE LOCATED ACROSS COORS BLVD NW APPROXIMATELY 750' TO THE WEST FROM THE SITE.

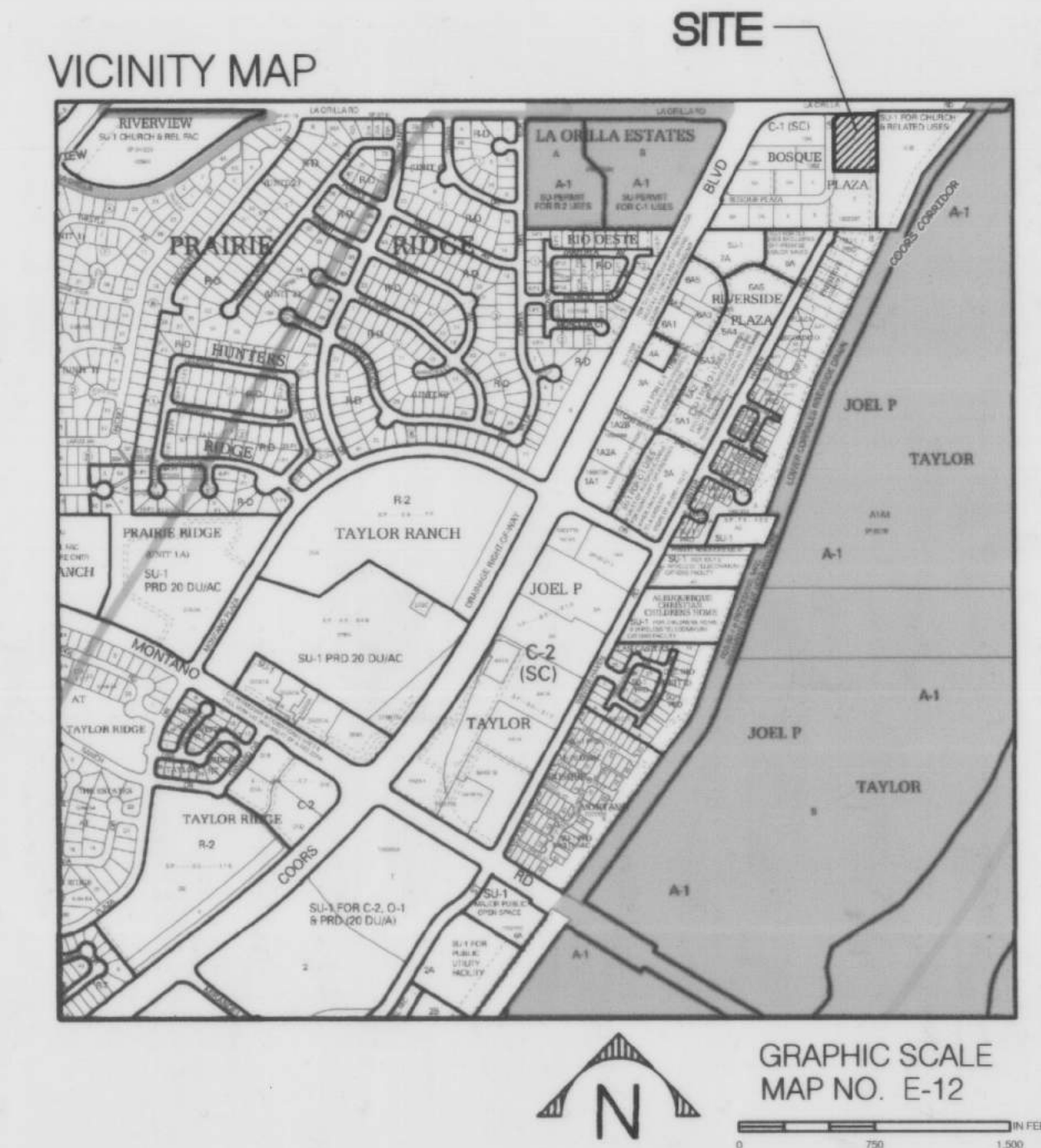
LIGHTING: LIGHTING SHALL BE FULLY SHIELDED AND CONSISTENT WITH THE COORS CORRIDOR PLAN LIGHTING REGULATIONS. THE HEIGHT OF POLE-MOUNTED LIGHTS WILL NOT EXCEED 20-FEET FROM THE GRADE OF THE PARKING LOT.

**GENERAL NOTES:**

- ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA LIGHTING REGULATIONS. PARKING LOT SITE LIGHTING SHALL BE A MAXIMUM 20 FEET AND COMPLY WITH THE BOSQUE PLAZA SITE PLAN FOR SUBDIVISION.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE (SHEET 3).
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS: SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).
- WINDOW FILM SIGNAGE SHALL BE PROHIBITED ON ALL WINDOWS.
- COMPACT PARKING SPACES SHALL HAVE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE.

**KEY NOTES:**

- |   |  |
|---|--|
| 1. PROPERTY BOUNDARY  | 18. SIDEWALK FLUSH WITH ASPHALT  |
| 2. EXISTING CURB AND GUTTER TO REMAIN   | 19. CONCRETE PARKING BUMPER  |
| 3. EXISTING ACCESSIBLE RAMP TO REMAIN   | 20. ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1.B NMSA 1978) |
| 4. EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN   | 21. ACCESSIBLE CONCRETE RAMP   |
| 5. EXISTING BLOCK WALL TO REMAIN  | 22. "DO NOT ENTER" SIGN 12"X18" ON STEEL POST  |
| 6. EXISTING CONCRETE SIDEWALK TO REMAIN   | 23. PAINTED DIRECTIONAL ARROW AND 1'-6" TALL LETTERS, TYP.   |
| 7. CONCRETE CURB AND GUTTER   | 24. 6" BENCH   |
| 8. CONCRETE DRIVE PAD   | 25. PONDING. SEE CONCEPTUAL GRADING AND DRAINAGE PLAN  |
| 9. CONCRETE SIDEWALK  | 26. 6" WIDE CONCRETE PEDESTRIAN CROSSING WITH WHITE EDGING   |
| 10. STRIPED ASPHALT PAVING  | 27. PORTION OF EXISTING CONCRETE DRAINAGE CHANNEL TO BE REMOVED  |
| 11. 8' HEIGHT WROUGHT IRON FENCE, COLOR: TO MATCH PRIMARY BUILDING COLOR  |  |
| 12. REFUSE ENCLOSURE  |  |
| 13. BICYCLE RACK  |  |
| 14. SITE LIGHTING   |  |
| 15. ELECTRIC GATE KEY PAD   |  |
| 16. "MOTORCYCLE PARKING ONLY" SIGN  |  |
| 17. ADA "HANDICAP PARKING ONLY" SIGN. MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." ADDITIONAL "VAN ACCESSIBLE" SIGN TO BE INCLUDED AT VAN ACCESSIBLE SPACE. |  |



PROJECT NUMBER: 1004167  
Application Number: 17EPC-40009

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 12, 2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

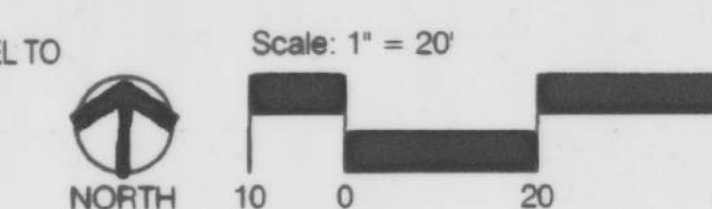
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

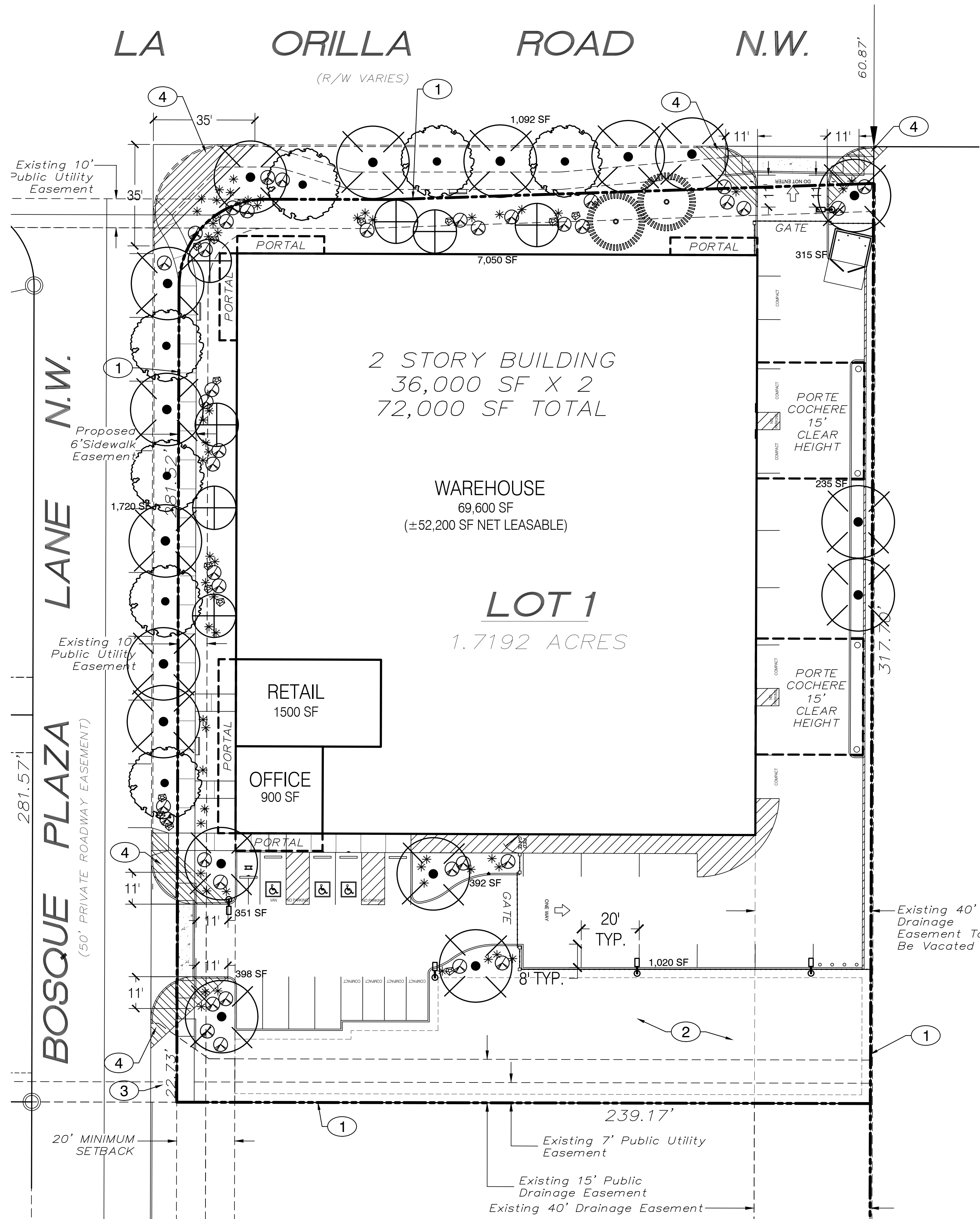
<i>Roguard M. Ward</i>	1/24/18
Transportation Division	Date
<i>Don Entzgaard</i>	1/24/18
Water Utility Department	Date
<i>John Coffey</i>	1/24/18
Parks and Recreation Department	Date
<i>James D. Beahm</i>	2-22-2018
City Engineer	Date
<i>Chris Wilkins</i>	1-3-18
Solid Waste Management	Date
<i>Kim</i>	2/2/18
DRB Chairperson, Planning Department	Date

**GUARDIAN STORAGE**  
SITE PLAN FOR BUILDING PERMIT

Prepared by:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102





**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
<b>TREES</b>					
7		QUERCUS FUSIFORMIS ESCAPMENT LIVE OAK	2' B&B	10' HT. X 6' SPR. 25' HT. X 25' SPR.	MED
17		KOELREUTIA PANICULATA GOLDENRAIN TREE	2' B&B	10' HT. X 6' SPR. 25' HT. X 25' SPR.	MED
2		PINUS ELDARICA AFGHAN PINE	B&B	6' MIN HT. 35' HT. X 18' SPR.	MED
7		VITEX AGNUS-CASTUS CHASE TREE	2' B&B	6' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
39		LARGE SHRUBS BACCHARIS 'STARH THOMPSON' DWARF COYOTE BUSH BUDDLEIA DAVIDII BUTTERFLY BUSH CARYOPTERIS X CLANDONENSIS BLUE MIST SPIREA RHUS TRILOBATA THREE LEAF SUMAC		5-GAL. 4 HT. X 4 SPR. 5-GAL. 5 HT. X 5 SPR. 5-GAL. 5 HT. X 5 SPR. 5-GAL. 6 HT. X 6 SPR.	LOW
54		SMALL SHRUBS & ACCENTS HESPERALOE PARVIFLORA RED YUCCA MUHLENBERGIA CAPILLARIS REGAL MIST MUHLY GRASS SALVIA GREGGI CHERRY SAGE YUCCA BACCATA BROADLEAF YUCCA		5-GAL. 3 HT. X 3 SPR. 1-GAL. 4 HT. X 3 SPR. 1-GAL. 2 HT. X 3 SPR. 5-GAL. 4 HT. X 4 SPR.	LOW
<b>BOULDERS, MULCHES, AND TURF</b>					
		MOSS ROCK BOULDERS (3X3' MIN)			
		3/8" - 1 1/4" GRAVEL MULCH, COLOR: AMARETTO BROWN OR EQUIVALENT (3" DEPTH OVER WEED CONTROL FABRIC)			

**GENERAL LANDSCAPE NOTES**

**LANDSCAPE DESIGN**  
ALL NEW PLANTING AREAS SHALL BE TOP DRESSED WITH GRAVEL MULCH.

**IRRIGATION**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING**  
SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**WATER HARVESTING**  
SEE GRADING AND DRAINAGE PLAN FOR STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (1.72 AC.):	74,923 SF
BUILDING AREA:	-36,000 SF
NET AREA	38,923 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	5,838 SF
PROVIDED LANDSCAPE AREA	12,573 SF (32%)

**LANDSCAPE LIVE VEGETATIVE COVERAGE**  
LANDSCAPE REQUIREMENTS IN THE BOSQUE PLAZA DESIGN STANDARDS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 80% OF THE TOTAL LANDSCAPED AREA.  
REQUIRED LIVE VEGETATIVE COVERAGE AREA: 10,058 SF (80%)  
PROVIDED LIVE VEGETATIVE COVERAGE AREA: 13,630 SF (108%)

**PARKING LOT TREES**  
27 OFF-STREET PARKING SPACES ARE PROVIDED. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.  
PARKING LOT TREES REQUIRED: 3  
PARKING LOT TREES PROVIDED: 3

**STREET TREES**  
STREET TREES REQUIREMENTS SPECIFY THAT ONE TREE IS REQUIRED FOR EACH 25' OF PUBLIC OR MAIN ACCESS ROADWAY FRONTAGE LESS DRIVEWAYS LOT 1 FRONTAGE IS 484'.  
STREET TREES REQUIRED: 19 TREES  
STREET TREES PROVIDED: 19 TREES

**PARKING LOT LANDSCAPE AREA**  
PARKING LOTS SHALL BE LANDSCAPED WITH A MINIMUM OF 20% OF THE PARKING LOTS AREA PER THE BOSQUE PLAZA DESIGN STANDARDS.  
PARKING LOT AREA: 5,987 SF  
REQUIRED PARKING LOT LANDSCAPE: (20%) 1,197 SF  
PROVIDED PARKING LOT LANDSCAPE: (23%) 1,422 SF

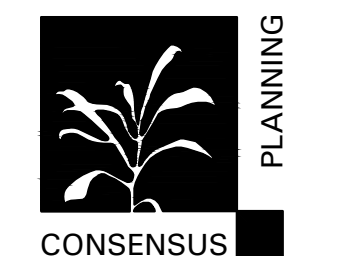
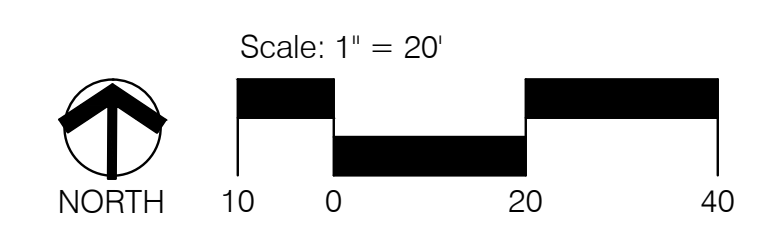
- KEY NOTES:**
1. PROPERTY BOUNDARY
  2. PONDING, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN
  3. EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN
  4. CLEAR SIGHT TRIANGLE

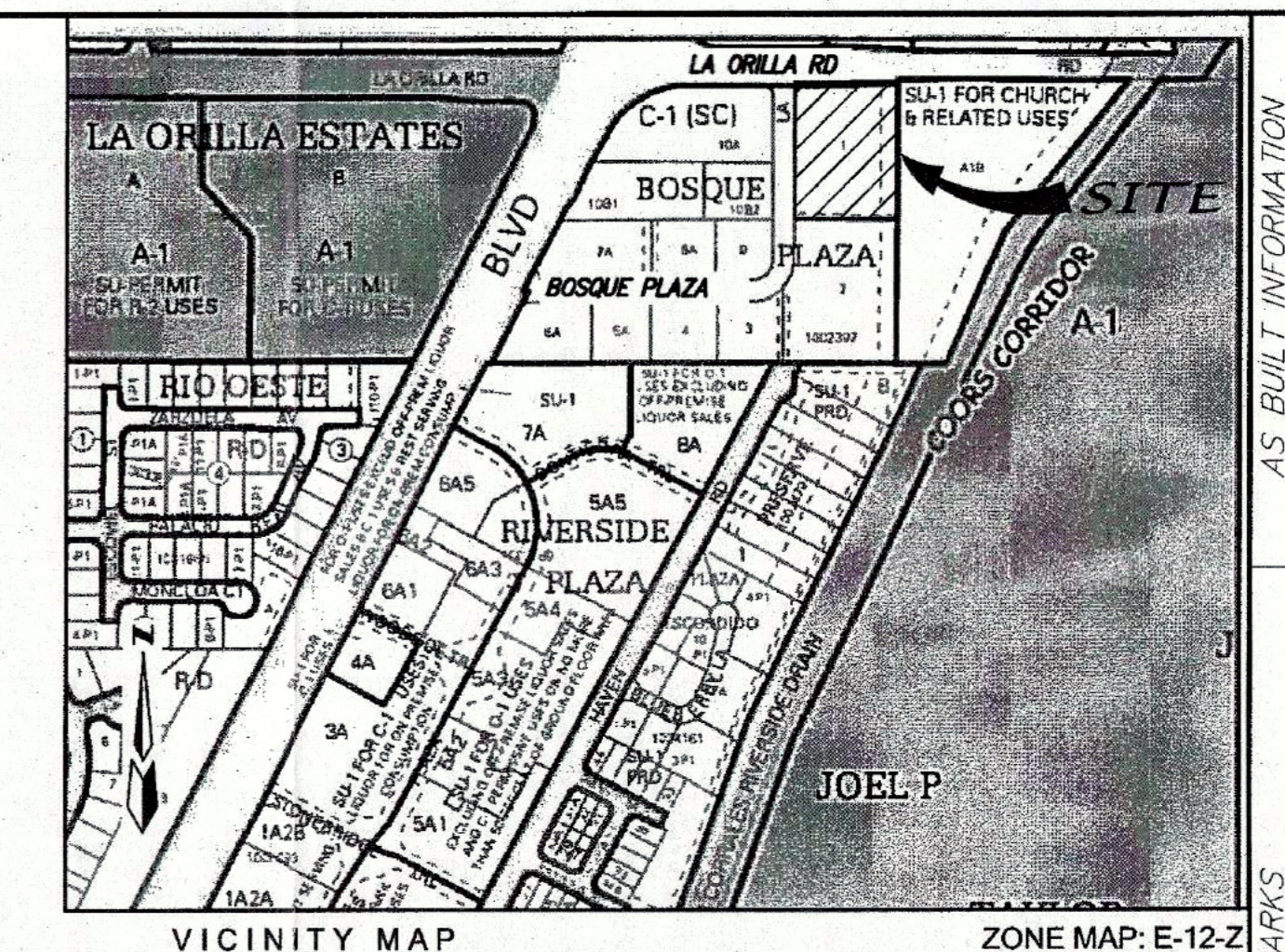
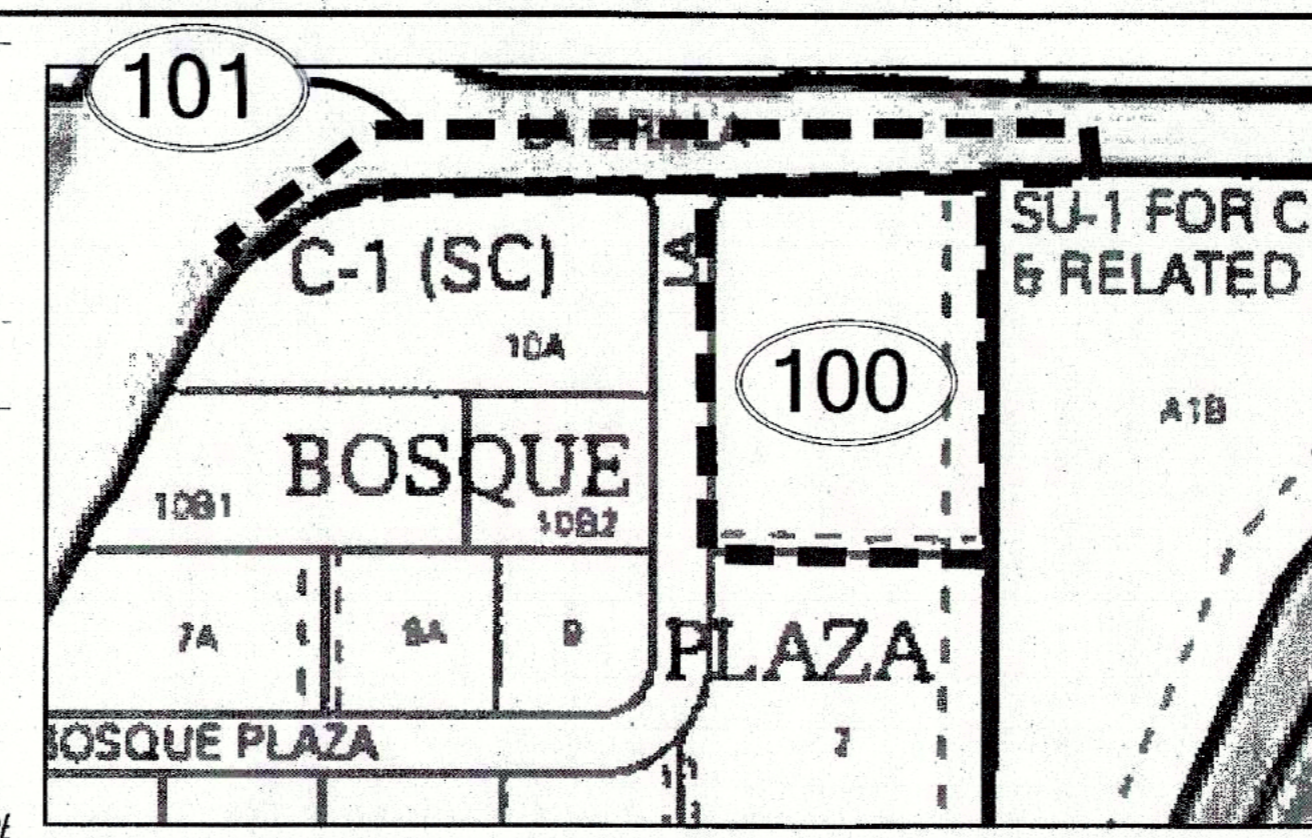
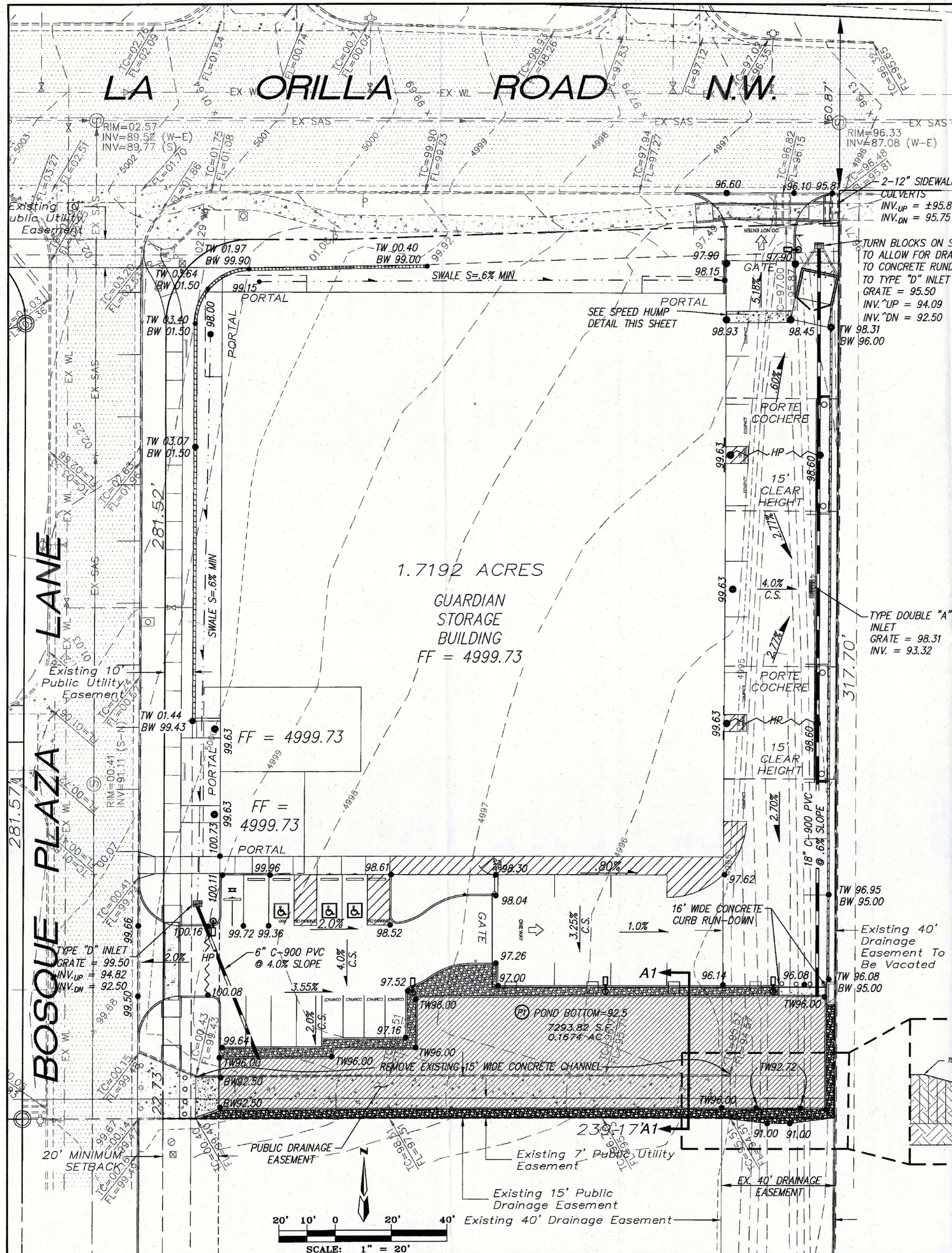
**GUARDIAN STORAGE**

**LANDSCAPE PLAN**

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102





**HYDROLOGY NOTES**

THE PROJECT SITE IS BOUNDED BY BOSQUE PLAZA LANE TO THE WEST, LA ORILLA ROAD TO THE NORTH, A DEVELOPED LOT TO THE EAST AND A CONCRETE DRAINAGE CHANNEL TO THE SOUTH. A 2-STORY STORAGE FACILITY IS BEING PROPOSED TO BE CONSTRUCTED ON THE 1.72 ACRE LOT. IT WILL HAVE TWO ACCESS ENTRANCE ROADS; ONE ON THE NORTH AND ONE ON THE WEST SIDE OF THE PROPERTY.

THIS SITE IS PART OF THE MASTER DRAINAGE PLAN FOR BOSQUE PLAZA (BY TIERRA WEST STAMPED 9/25/2002). LOT 1 IS SUBJECT TO ALL RESTRICTIONS, CONDITIONS, AND REQUIREMENTS AS SET FORTH IN "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS, AND RESTRICTIONS," FILED IN THE OFFICE OF BERNALILLO COUNTY, NEW MEXICO ON THE 28TH DAY OF JULY, 2004 IN BOOK 481, PAGE 5448.

THE SITE IS NOT LOCATED IN A 100YR FLOOD ZONE PER FEMA FIRM MAP 35001C0116G, SEPTEMBER 26, 2008.

EXISTING CONDITIONS: THE FLOW PATTERN FOR THIS AREA IS IN A GENERAL EAST TO SOUTHEAST DIRECTION. THE EXISTING CHANNEL ALONG THE SOUTH PROPERTY BOUNDARY WAS DESIGNED TO INTERCEPT RUNOFF FROM THE LOTS AND STREETS TO THE WEST. THIS EXISTING CHANNEL CONVEYS RUNOFF TO AN EXISTING DETENTION POND ALONG THE EASTERN PROPERTY BOUNDARY THAT IS CONTAINED WITHIN A 40' DRAINAGE EASEMENT. RUNOFF FROM THE DETENTION POND SPILLS THROUGH A CONTROLLED OUTFALL STRUCTURE WHERE IT IS THEN PUMPED. THERE ARE TWO EXISTING SIDEWALK CULVERTS ON LA ORILLA ROAD THAT WILL BE RELOCATED ABOUT 20 FEET TO THE EAST SO THEY ARE NOT IN THE MIDDLE OF THE NEW DRIVEWAY ENTRANCE.

PROPOSED DEVELOPED CONDITIONS: THE EXISTING CHANNEL LOCATED ALONG THE SOUTH PROPERTY LINE OF THIS LOT (LOT 1) IS TO BE CONVERTED AND EXPANDED TO REPLACE THE EXISTING PORTION OF THE POND ALONG THE PROJECT SITE'S EAST PROPERTY BOUNDARY.

THE 100 YR PEAK DISCHARGE FROM THE SITE IS 6.67 cfs. THE SITE WILL ALSO ACCEPT OFFSITE FLOWS (SB 101-2.93 cfs) FROM THE SOUTHERN PORTION OF LA ORILLA RD THAT ENTER THROUGH THE TWO EXISTING SIDEWALK CULVERTS.

THE HYDROLOGY WAS CALCULATED PER COA DPM USING AHYMO  $P_m = 2.49$  FROM NOAA 14. THE RESULTS ARE SUMMARIZED IN THE HYDROLOGY TABLE ON THIS SHEET.

DRAINAGE FROM THE BUILDING WILL RUNOFF TOWARDS THE EAST TO THE ROAD AND THEN TO EITHER A SUMP INLET OR TOWARDS THE 16 FOOT WIDE RUNDOWN LOCATED AT THE NE CORNER OF THE POND AREA. THE TWO SUMP INLETS WILL BE CONNECTED TO THE POND THROUGH AN 18" STORM PIPE. THE RUNDOWN WILL BE PROTECTED BY BOLLARDS. THE POND WILL HAVE A MAXIMUM DEPTH OF 3.5 FEET.

THE DETENTION POND DESIGN VOLUME FOR THE EXISTING POND WAS 1.50 AC-FT. THE CALCULATED VOLUME OF THE EXISTING POND LOCATED ON LOT 1 AS DETERMINED BY RECENT SURVEY INFORMATION IS 0.43 AC-FT. THE PROPOSED POND WILL HAVE A DESIGN VOLUME OF 0.59 AC-FT. THIS WILL ALLOW FOR A SMALL FACTOR OF SAFETY.

WITHIN THE DETENTION POND THE WATER WILL BE RELEASED TO THE EXISTING ADJACENT CHANNEL SOUTH OF THE SITE IN THE 40' EASEMENT AND RELEASED BY THE EXISTING LIFT STATION FURTHER DOWNSTREAM.

**BASIN DATA**

BASIN ID	% D	% C	AREA	Q(100)	VOLUME
100	76.5	23.5	1.54 AC.	6.67 cfs	.2781 AC-FT
101	88	12	0.6643 AC.	2.93 cfs	.1097 AC-FT

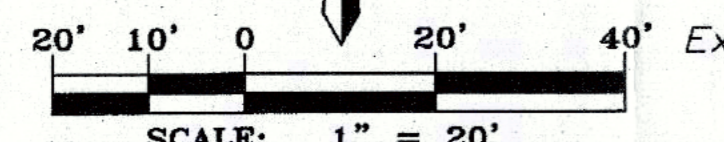
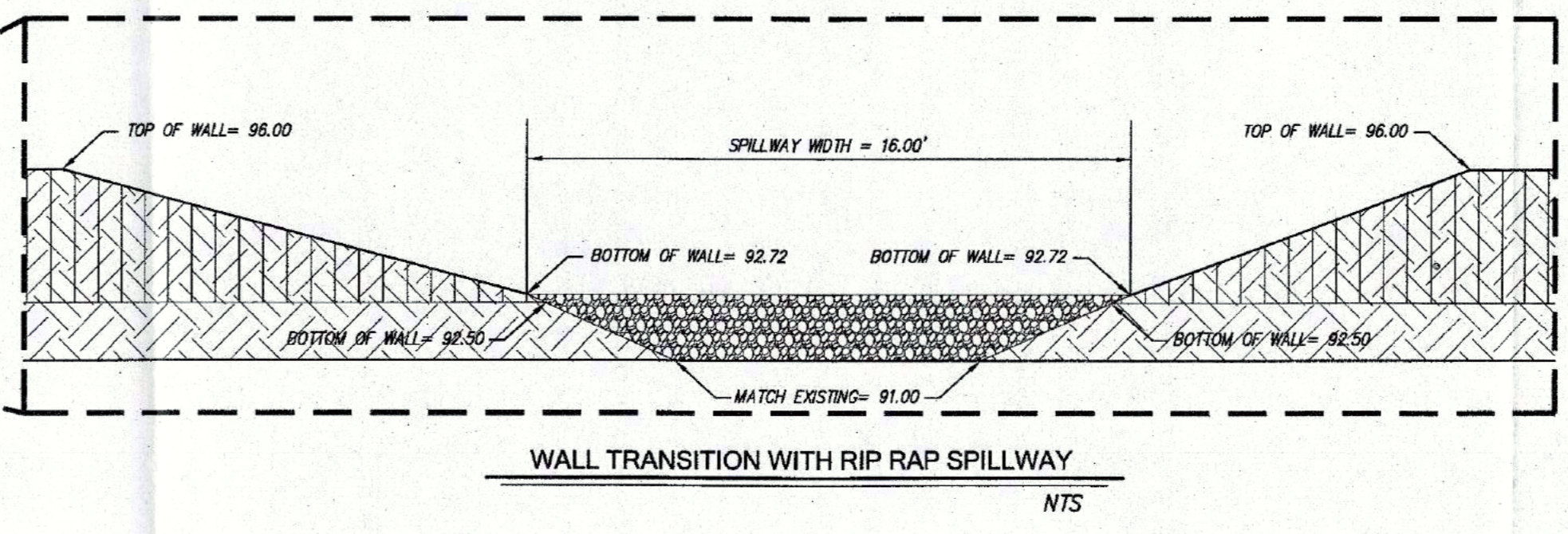
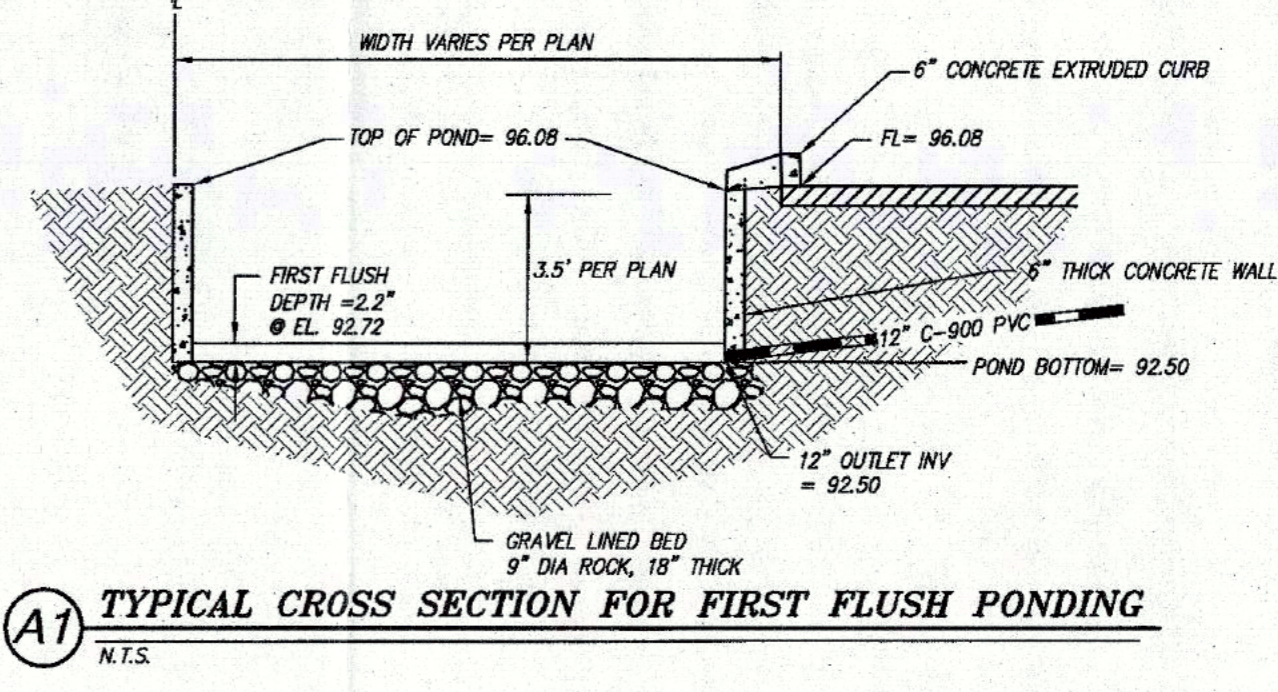
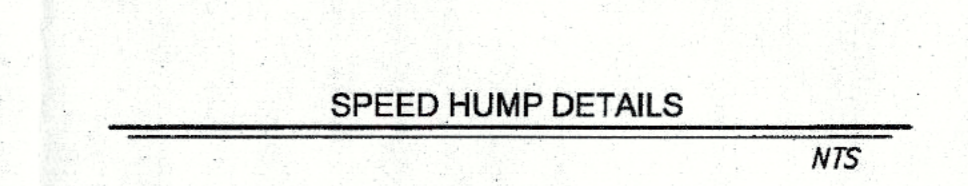
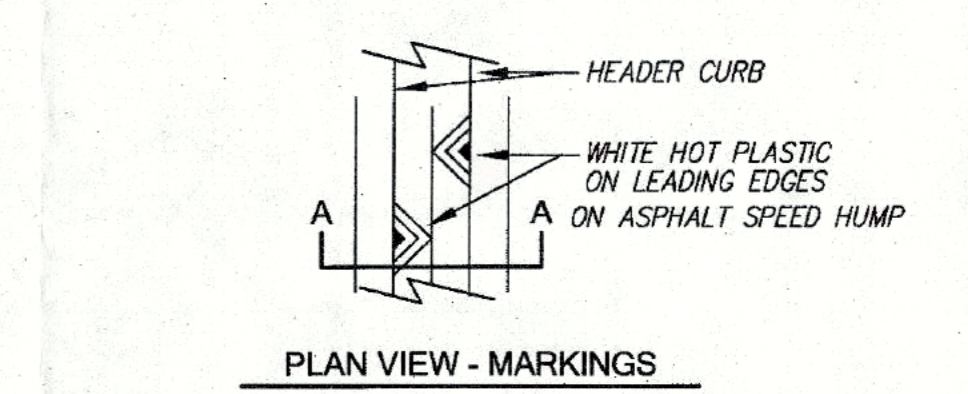
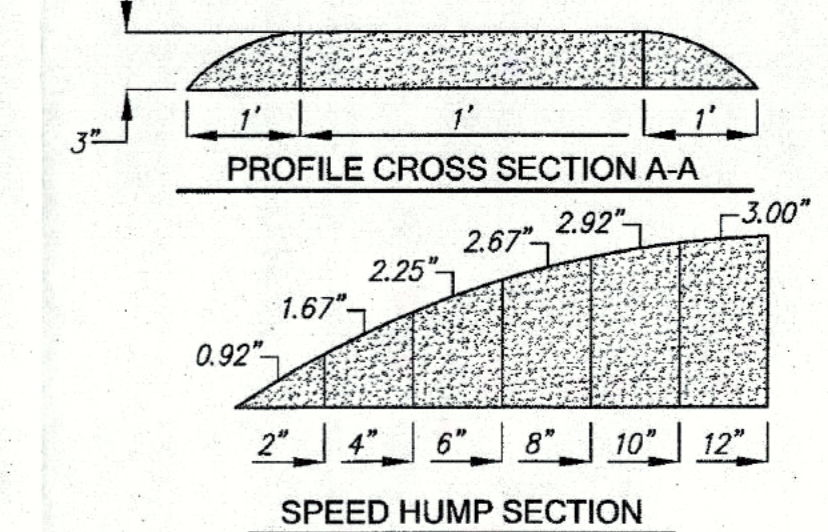
THE INTENT OF THIS PLAN IS TO PROVIDE COMPLETE DETENTION OF THE DEVELOPED, 100 YEAR, 24 HR. STORM.

**FIRST FLUSH**

THE "FIRST FLUSH" IS BEING ACCOMPLISHED THROUGH THE DETENTION POND ON SITE.

REQUIRED VOLUME =  $0.34' \times$  IMPERVIOUS AREA  
 =  $0.34' \times 12' \times (57316 \text{ SF})$   
 = 1624 CF  
 = .04 AC-FT  
 = 2.2'

(P1) DEPTH = 3.5' (SEE DETAIL) POND BOTTOM = 92.5  
 AREA = 7294 SF  
 VOLUME = 25529 CF = .59 AC-FT



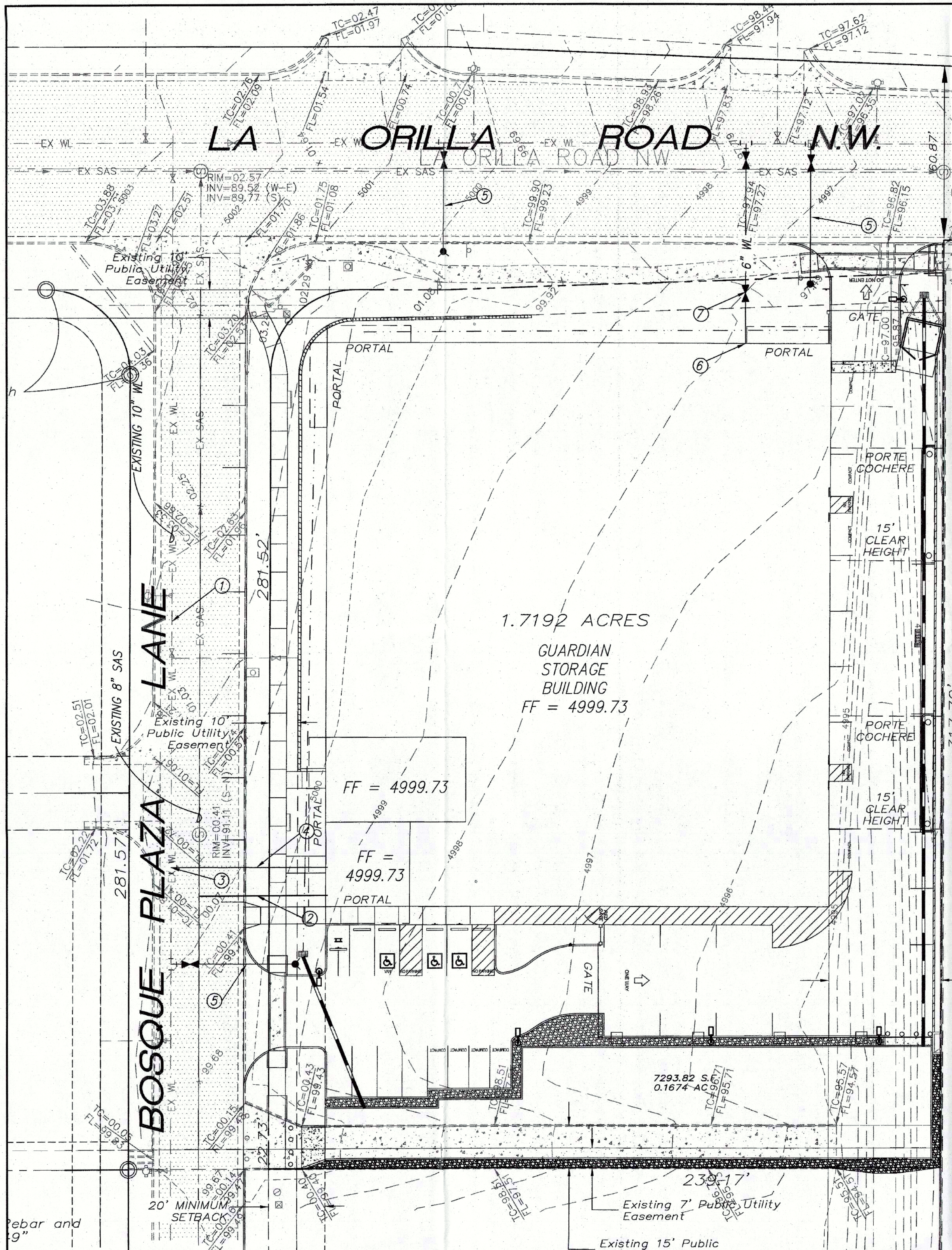
**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 OFFICE (505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE  
 PLANNING DEPARTMENT**

TITLE: **GUARDIAN STORAGE  
 CONCEPTUAL GRADING & DRAINAGE PLAN**

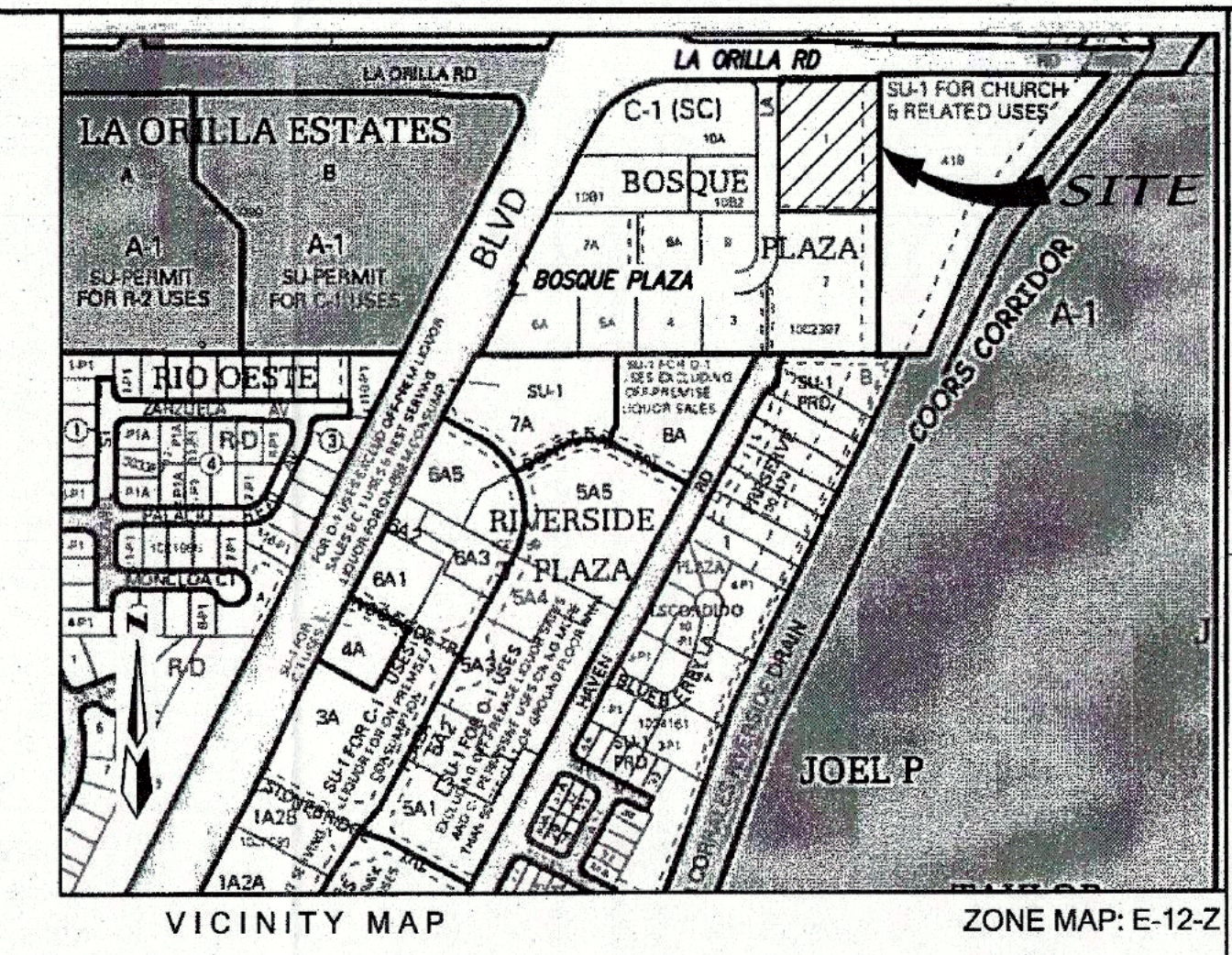
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. \_\_\_\_\_ ZONE MAP NO. **E-12** SHEET **C101**



- GENERAL NOTES**
1. FIELD VERIFY ALL EXISTING UTILITY ELEVATIONS PRIOR TO CONSTRUCTION.
  2. CITY OF ALBUQUERQUE STANDARD DETAILS SHALL BE USED WHEN APPLICABLE.

- KEYED UTILITY NOTES**
1. FIELD VERIFY EXISTING 8" SAS LINE AND WL PRIOR TO CONSTRUCTION.
  2. INSTALL NEW 4" SAS SERVICE.
  3. FIELD VERIFY EXISTING WATER SERVICE LINE PRIOR TO CONSTRUCTION. EXTEND NEW WATER SERVICE LINE TO BUILDING.
  4. INSTALL NEW 3/4" W. SERVICE.
  5. INSTALL NEW FIRE HYDRANT.
  6. INSTALL NEW 6" W.
  7. PROPOSED POST INDICATOR VALVE (PIV).
  8. CAUTION: FIELD VERIFY EXISTING UTILITIES. CONTACT ENGINEER IF CONFLICT EXISTS.



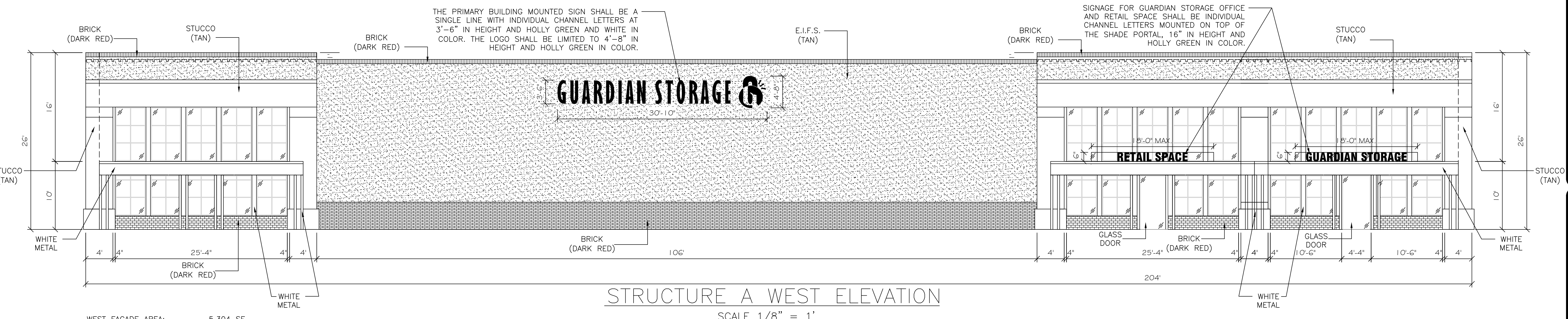
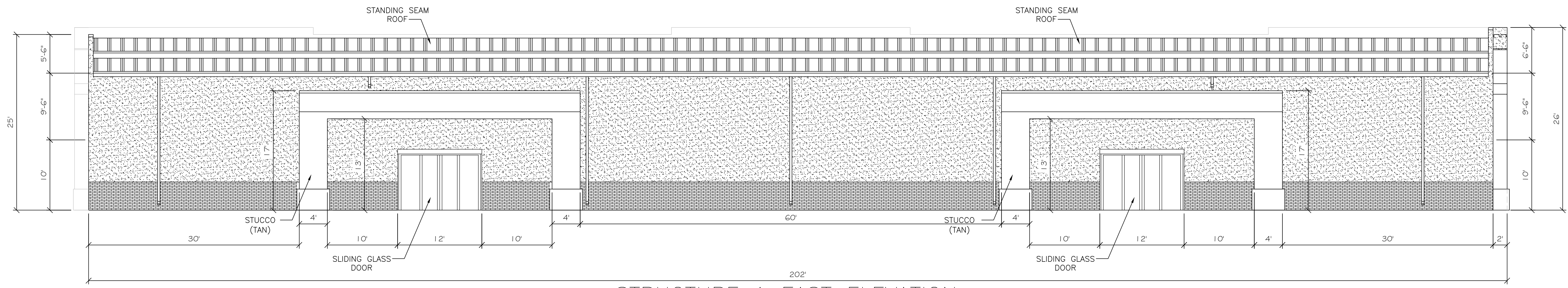
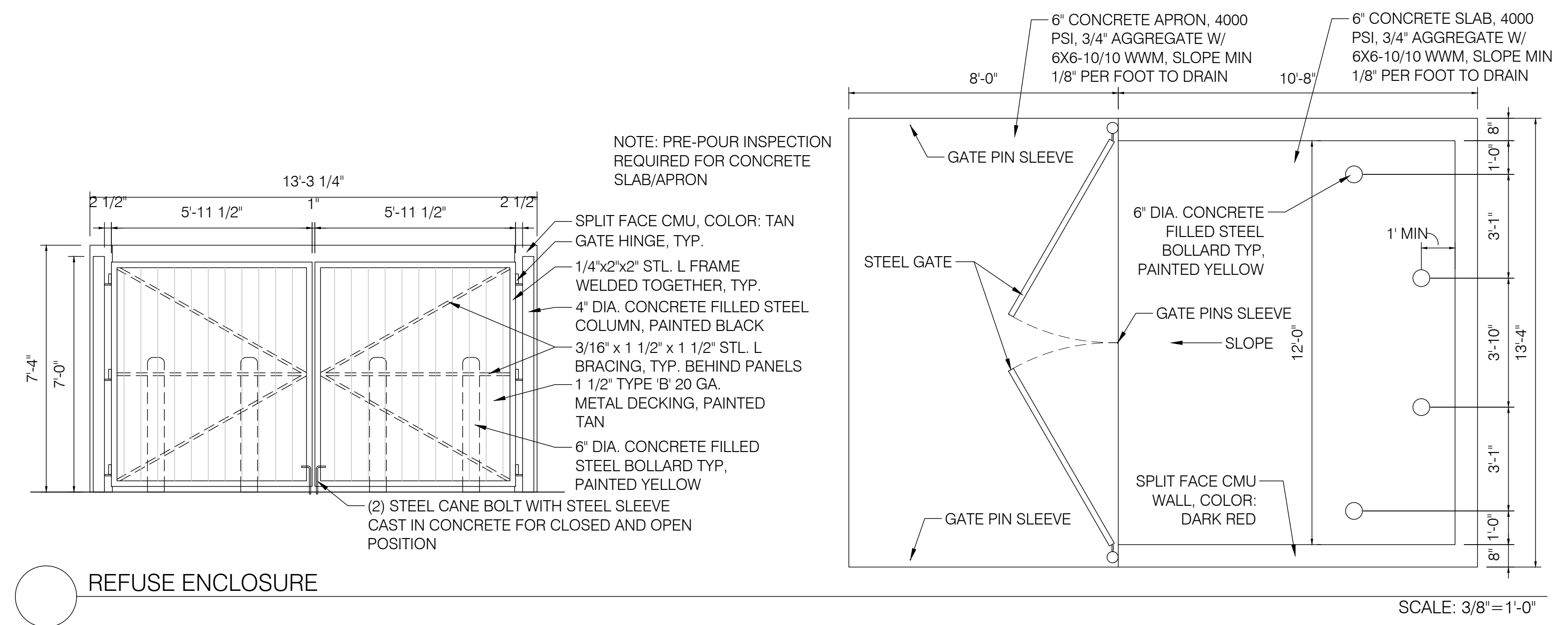
**MARK GOODWIN & ASSOCIATES, P.A.**  
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 ALBUQUERQUE, NEW MEXICO 87199  
 OFFICE (505) 928-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
 PLANNING DEPARTMENT

TITLE: **GUARDIAN STORAGE CONCEPTUAL UTILITY PLAN**

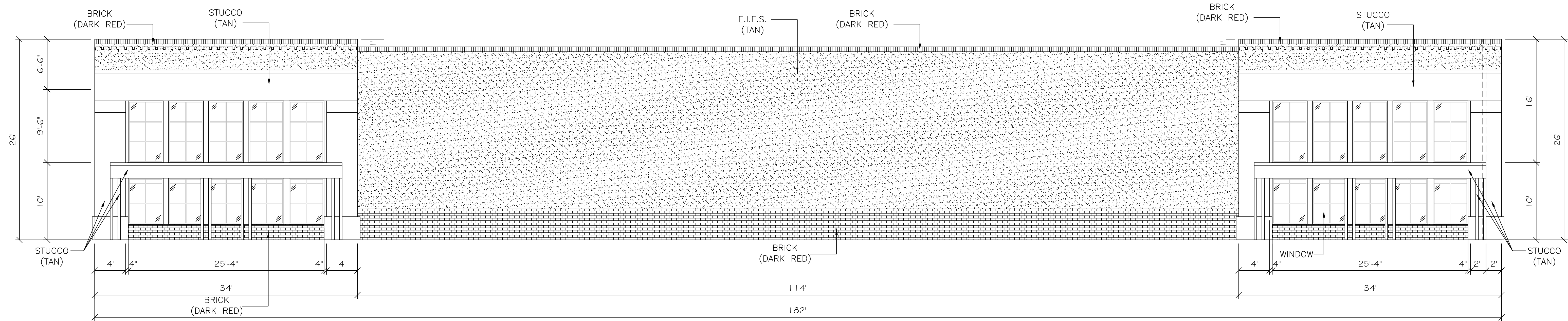
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	<b>C102</b>

AS BUILT INFORMATION		
CONTRACTOR	DATE	
BENCH MARKS		
AGRS Brass Cap stamped "NM448-NB"		
From the intersection of Montano Road and Coors Boulevard NW, travel north on Coors Boulevard 1.05 miles to the station on the right. Elevation in feet (NAVD88) = 5021.651		
SURVEY INFORMATION		
FIELD NOTES	DATE	
ENGINEER'S SEAL		
NO.	DATE	BY
REVISIONS	DATE	BY
DESIGNED BY <b>HLC</b>	DATE <b>01/18</b>	
DRAWN BY <b>HLC</b>	DATE <b>01/18</b>	
CHECKED BY <b>DMG</b>	DATE <b>01/18</b>	



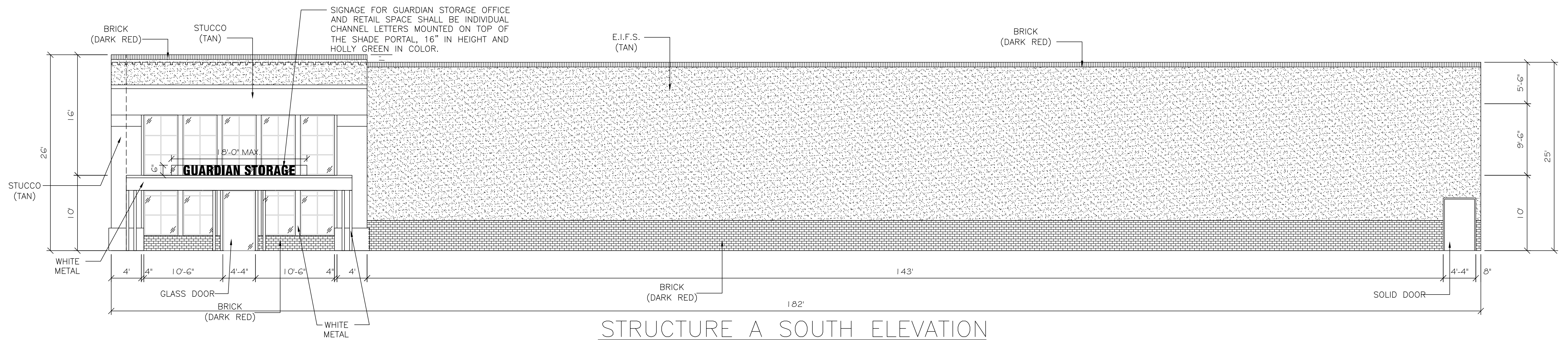
WEST FACADE AREA: 5,304 SF.  
MAX. ALLOWABLE SIGN AREA: 318.24 SF. (6% OF FACADE AREA)  
ILLUSTRATED SIGN AREA: 161.36 SF. (3% OF FACADE AREA)

NOTE:  
ALL DIMENSIONS MUST BE VERIFIED  
BY CERTIFIED CIVIL ENGINEER



STRUCTURE A NORTH ELEVATION

SCALE 1/8" = 1'



STRUCTURE A SOUTH ELEVATION

SCALE 1/8" = 1'

WEST FACADE AREA: 4,732 SF.  
 MAX. ALLOWABLE SIGN AREA: 283.92 SF. (6% OF FACADE AREA)  
 ILLUSTRATED SIGN AREA: 24.0 SF. (0.5% OF FACADE AREA)

NOTE:  
 ALL DIMENSIONS MUST BE VERIFIED  
 BY CERTIFIED CIVIL ENGINEER

DRAWN BY: EIDJ  
 DATE: 8/15/2017

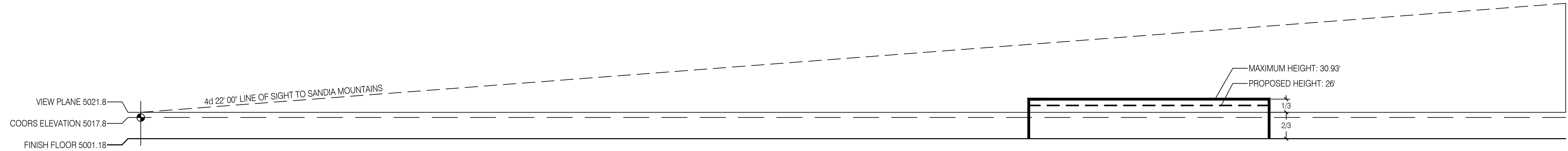
BOSQUE GUARDIAN STORAGE  
 ALBUQUERQUE, NM

THE RABCO CORPORATION  
 1041 CROWN PARK CIRCLE • WINTER GARDEN, FL 34787  
 800/989-0220 • CB C04783 • Fax: 407/877-9065

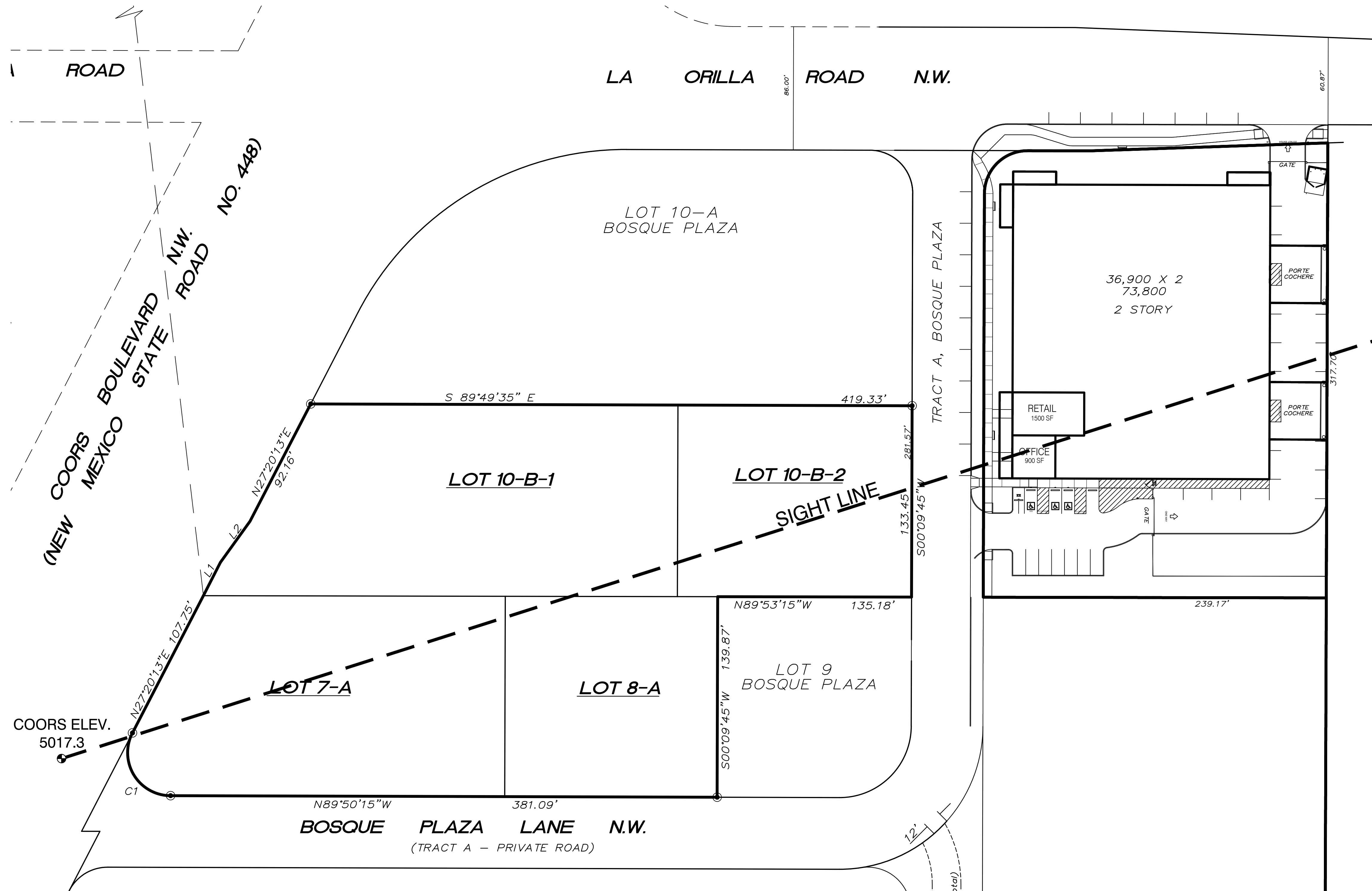


JOB #:  
 B4468PH1

ELV-2



SIGHT LINE SECTION



VIEW PLANE CALCULATIONS

(FINISH FLOOR, COORS GRADE, AND VIEW PLANE ARE IN FEET ABOVE SEA LEVEL. HEIGHTS ARE IN FEET ABOVE FINISH FLOOR.)

COORS BOULEVARD EAST DRIVE LANE ELEVATION:	5017.80
VIEW PLANE 4- FEET ABOVE EAST DRIVE LANE:	5021.80
BUILDING FINISH FLOOR ELEVATION:	5001.18

1/3 ABOVE VIEW PANE	10.31'
2/3 BELOW VIEW PANE	20.62'
MAXIMUM BUILDING HEIGHT	*30.93'
*MAXIMUM BUILDING HEIGHT PER C1 ZONE IS 26' THEREFORE PROPOSED BUILDING SHALL NOT EXCEED 26' IN HEIGHT.	

# GUARDIAN STORAGE

## VIEW CORRIDOR COMPLIANCE PLAN

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102

