

SITE DATA:
 LEGAL DESCRIPTION: LOT 1, BOSQUE PLAZA SUBDIVISION

SITE AREA: 1.72 AC. / 74,923 SF

ZONING: C-1 (SC)

PROPOSED LAND USE: 2-STORY BUILDING FOR STORAGE AND RETAIL USES AS PERMITTED IN THE C-1 AND INDOOR CLIMATE CONTROLLED STORAGE USES. STORAGE FACILITY TO PROHIBIT THE IMPROPER STORAGE OF HAZARDOUS, EXPLOSIVE OR ILLEGAL MATERIALS.

MAXIMUM FLOOR AREA RATIO: 1.0

BUILDING AREA: 69,600 SF = FAR of 0.92

MAXIMUM BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT SHALL BE PURSUANT TO THE CITY C-1 ZONE (26-FEET) AND SHALL COMPLY WITH THE COORS CORRIDOR SECTOR DEVELOPMENT PLAN (CCSDP) VIEW PRESERVATION REQUIREMENTS FOR SEGMENT 3 (SEE SHEET 7).

WORKING REQUIREMENTS:

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| WAREHOUSE: 1 SPACE PER 2,000 SQUARE FEET OF NET LEASABLE SPACE | 26.1 |
| RETAIL: 1 SPACE PER 200 SQUARE FEET | 7.5 |
| OFFICE: 1 SPACE PER 200 SQUARE FEET | 4.5 |

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| TOTAL PARKING REQUIRED: | 39 |
| PROVIDED PARKING | |
| OFF-STREET PARKING SPACES: | 21 |
| COMPACT OFF-STREET PARKING SPACES (MAX 9): | 9 |
| PRIVATE ROADWAY EASEMENT PARKING SPACES: | +9 |
| TOTAL PARKING PROVIDED: | 39 |
| HANDICAPPED REQUIRED: | 3 |
| HANDICAPPED PROVIDED: | 3 |
| MOTORCYCLE PARKING REQUIRED: | 2 |
| MOTORCYCLE PARKING PROVIDED: | 2 |
| BICYCLE REQUIRED: | 2 |
| BICYCLE PROVIDED: | 4 |

TRANSIT: BUS ROUTES 96 (CROSSTOWN COMMUTER), 155 (COORS), 790 (BLUE LINE RAPID RIDE), AND 162 (VENTANA RANCH COMMUTER). BUS STOPS FOR 96 AND 155 ARE LOCATED ACROSS LA ORILLA NW APPROXIMATELY 400' TO THE NORTH WEST FROM THE SITE. BUS STOPS FOR 96, 155, AND 162 ARE LOCATED ACROSS COORS BLVD NW APPROXIMATELY 750' TO THE WEST FROM THE SITE.

LIGHTING: LIGHTING SHALL BE FULLY SHIELDED AND CONSISTENT WITH THE COORS CORRIDOR PLAN LIGHTING REGULATIONS. THE HEIGHT OF POLE-MOUNTED LIGHTS WILL NOT EXCEED 20-FEET FROM THE GRADE OF THE PARKING LOT.

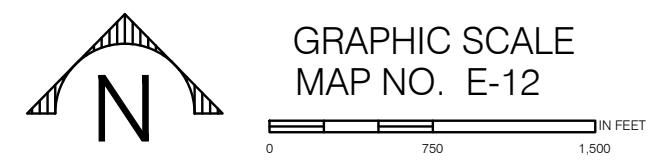
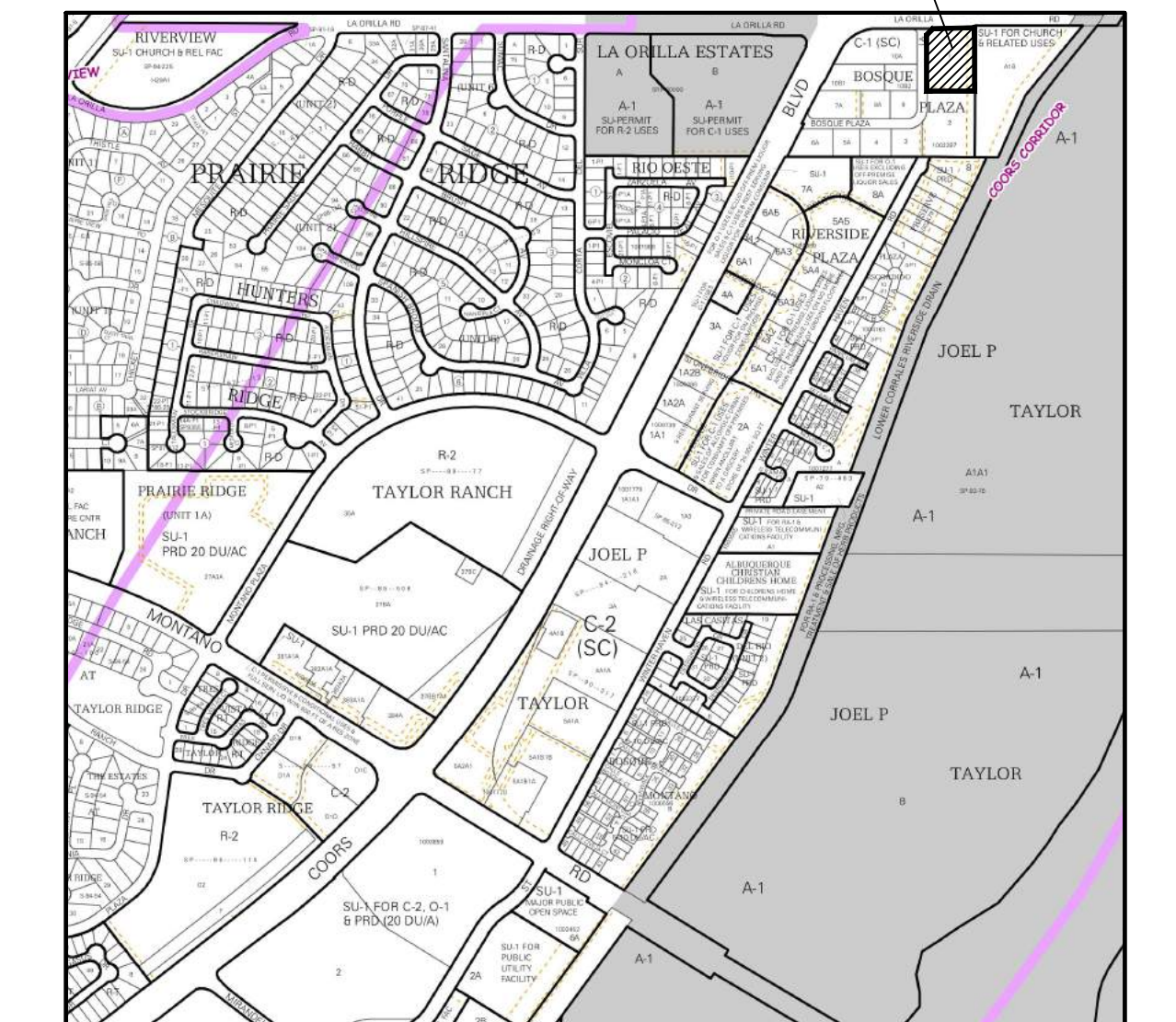
GENERAL NOTES:

- ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA LIGHTING REGULATIONS. PARKING LOT SITE LIGHTING SHALL BE A MAXIMUM 20 FEET AND COMPLY WITH THE BOSQUE PLAZA SITE PLAN FOR SUBDIVISION.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE (SHEET 3).
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).
- WINDOW FILM SIGNAGE SHALL BE PROHIBITED ON ALL WINDOWS.
- COMPACT PARKING SPACES SHALL HAVE THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE.

KEY NOTES:

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| 1. PROPERTY BOUNDARY | 18. SIDEWALK FLUSH WITH ASPHALT |
| 2. EXISTING CURB AND GUTTER TO REMAIN | 19. CONCRETE PARKING BUMPER |
| 3. EXISTING ACCESSIBLE RAMP TO REMAIN | 20. ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1.8 NMSA 1978) |
| 4. EXISTING CONCRETE DRAINAGE CHANNEL TO REMAIN | 21. ACCESSIBLE CONCRETE RAMP |
| 5. EXISTING BLOCK WALL TO REMAIN | 22. "DO NOT ENTER" SIGN 12"x18" ON STEEL POST |
| 6. EXISTING CONCRETE SIDEWALK TO REMAIN | 23. PAINTED DIRECTIONAL ARROW AND 1'-6" TALL LETTERS, TYP. |
| 7. CONCRETE CURB AND GUTTER | 24. 6" BENCH |
| 8. CONCRETE DRIVE PAD | 25. PONDING, SEE CONCEPTUAL GRADING AND DRAINAGE PLAN |
| 9. CONCRETE SIDEWALK | 26. 6" WIDE CONCRETE PEDESTRIAN CROSSING WITH WHITE EDGING |
| 10. STRIPED ASPHALT PAVING | 27. PORTION OF EXISTING CONCRETE DRAINAGE CHANNEL TO BE REMOVED |
| 11. 8' HEIGHT WROUGHT IRON FENCE, COLOR: TO MATCH PRIMARY BUILDING COLOR | |
| 12. REFUSE ENCLOSURE | |
| 13. BICYCLE RACK | |
| 14. SITE LIGHTING | |
| 15. ELECTRIC GATE KEY PAD | |
| 16. "MOTORCYCLE PARKING ONLY" SIGN | |
| 17. ADA "HANDICAP PARKING ONLY" SIGN. MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." ADDITIONAL "VAN ACCESSIBLE" SIGN TO BE INCLUDED AT VAN ACCESSIBLE SPACE. | |

VICINITY MAP



PROJECT NUMBER: 1004167
 Application Number: 17EPC-40009

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated May 12, 2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|----------------------------------------------|------|
| Traffic Engineering, Transportation Division | Date |
| Water Utility Department | Date |
| Parks and Recreation Department | Date |
| City Engineer | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

GUARDIAN STORAGE

SITE PLAN FOR BUILDING PERMIT

Prepared for:
 Guardian Storage VI, LLC
 9221 Eagle Ranch Rd NW
 Albuquerque, NM 87114

Prepared by:
 Consensus Planning, Inc.
 302 Eighth Street SW
 Albuquerque, NM 87102

