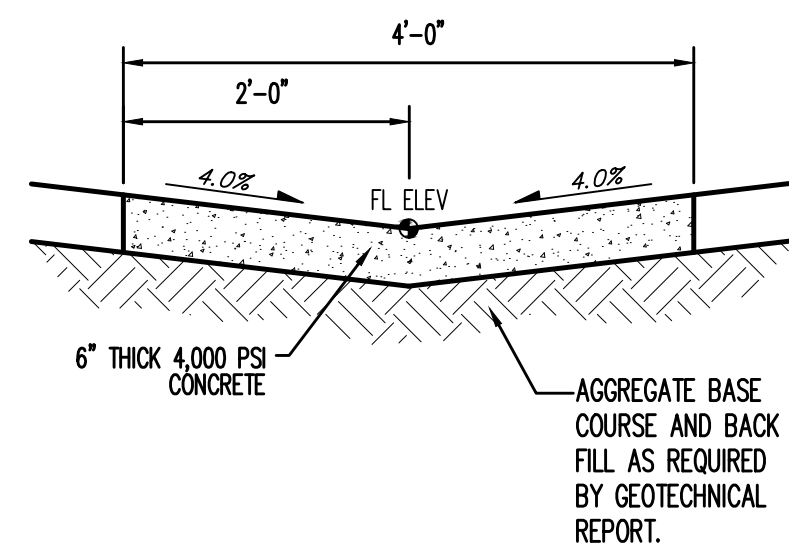
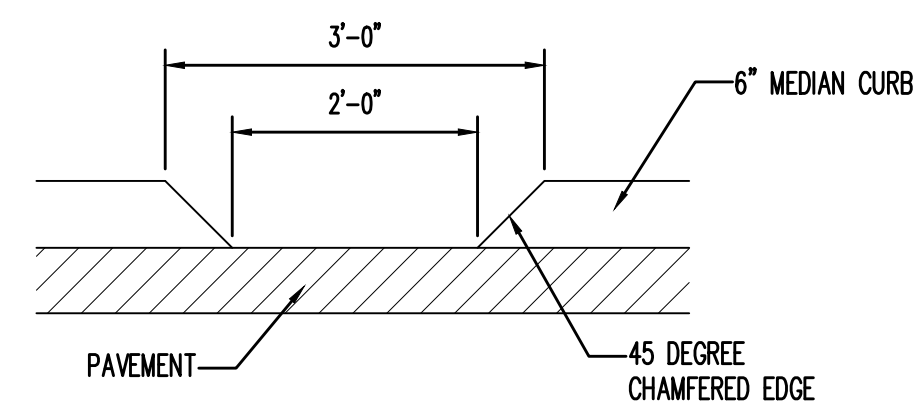


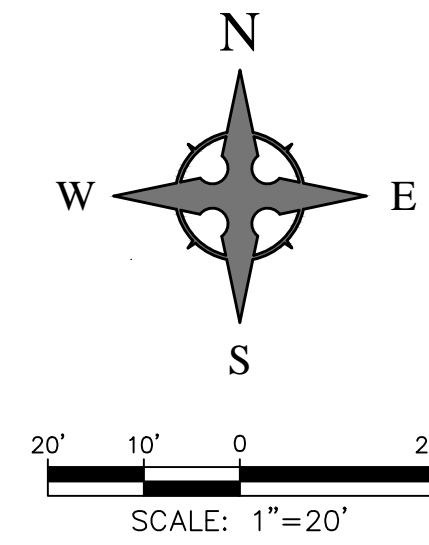
3' Wide Valley Gutter Detail  
NTS



4' Wide Valley Gutter Detail  
NTS

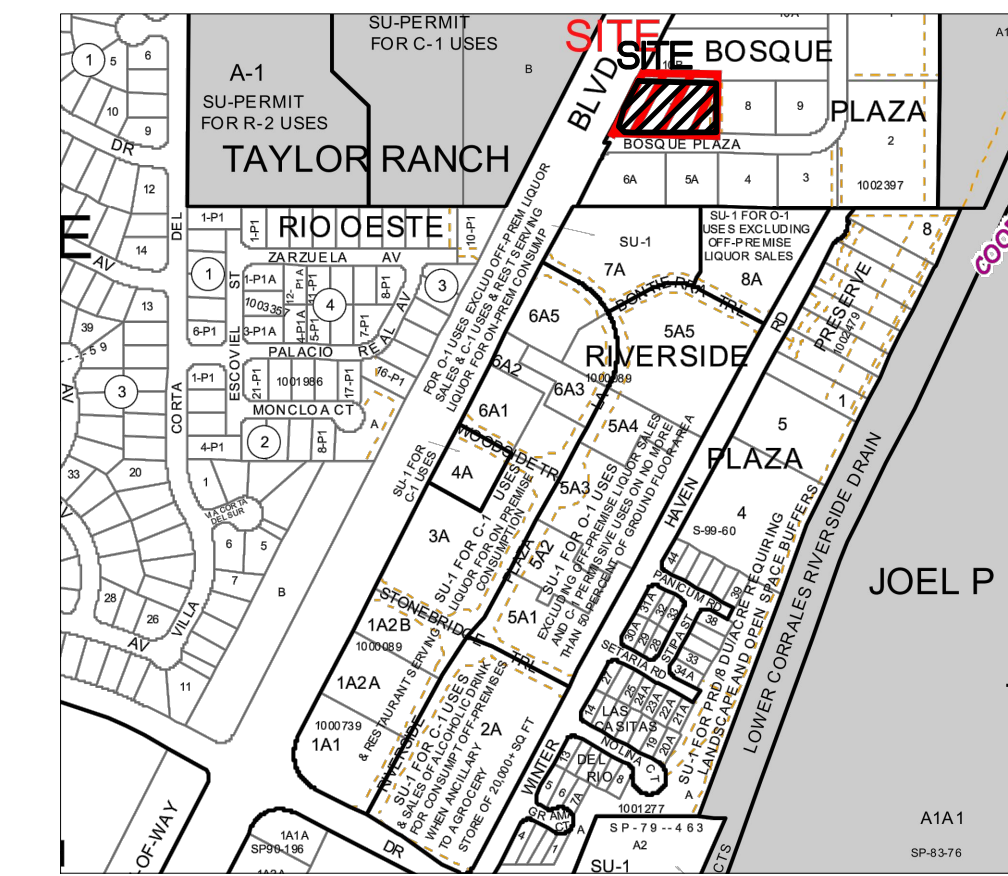


Curb Opening Detail  
NTS

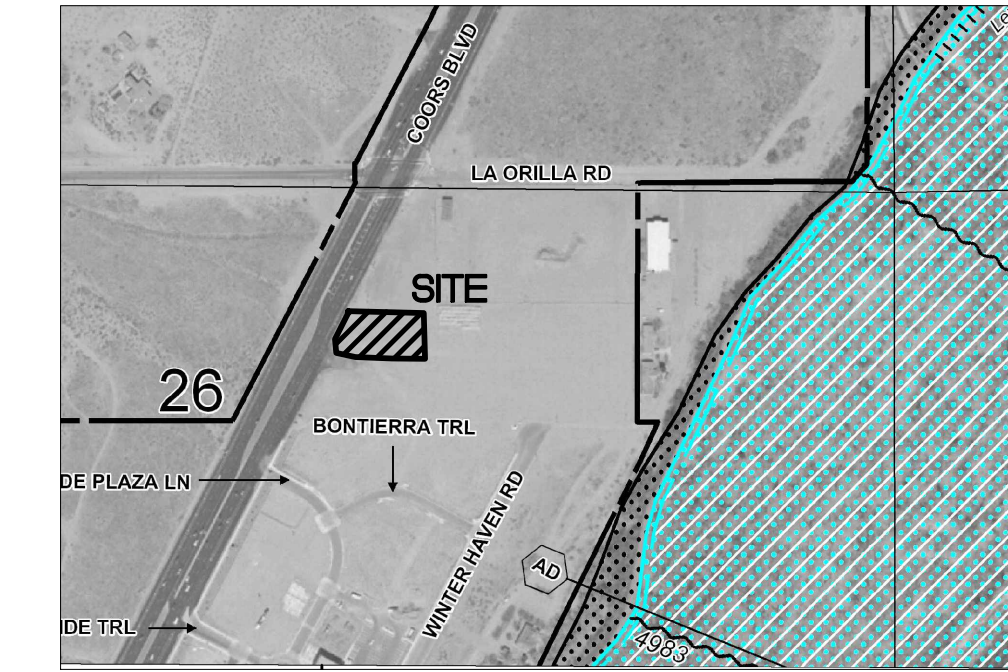


**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



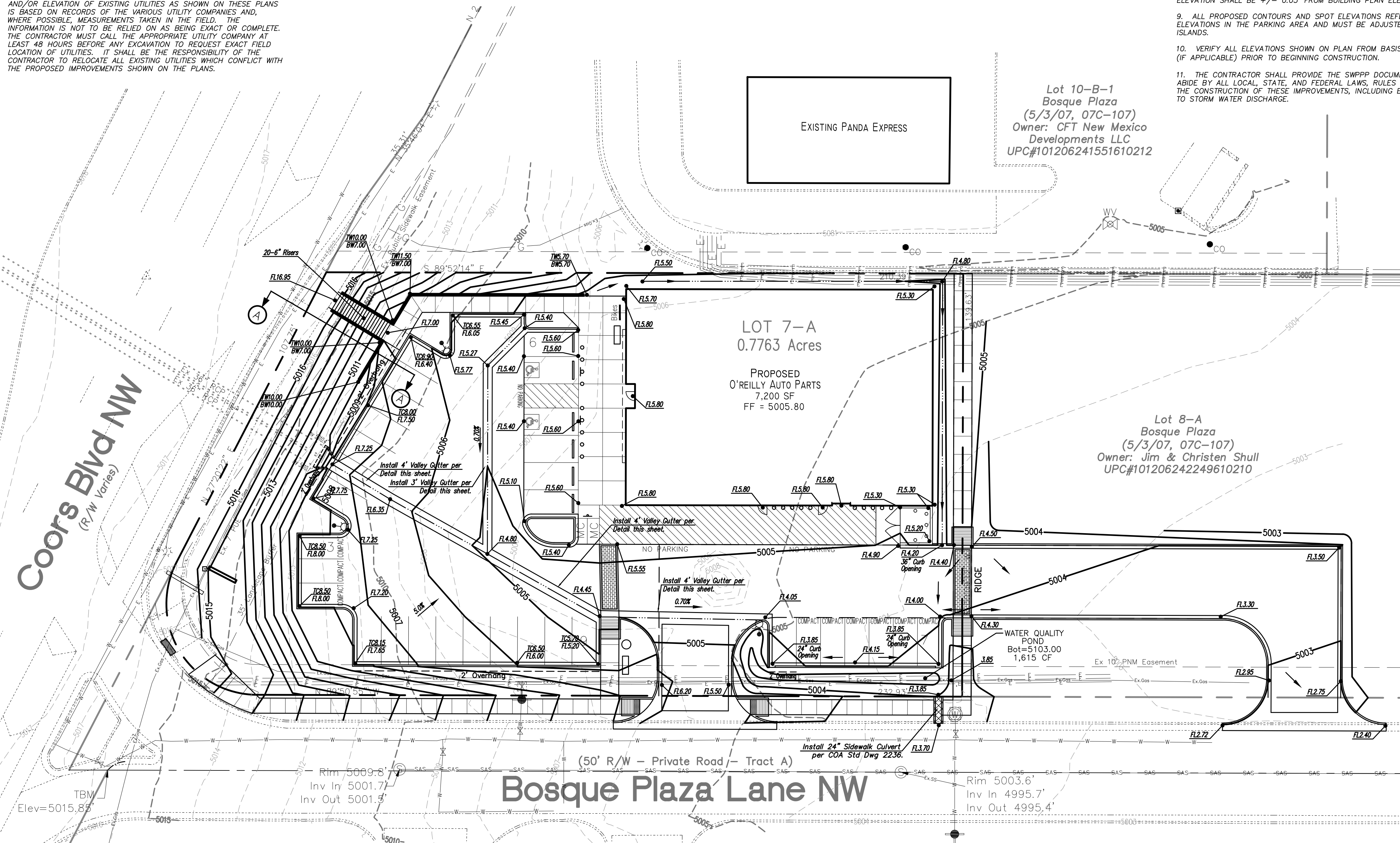
**VICINITY MAP - Zone Map E-12-Z**  
Legal Description: Lot 7-A, Bosque Plaza, 0.7763 Acres



**FIRM MAP 35001C0116G**  
Per FIRM Map 35001C0116G, dated September 26, 2008, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**DRAINAGE MANAGEMENT PLAN**

**INTRODUCTION**

The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the development of Lot 7-A, Bosque Plaza. The site is located at 6380 Coors Blvd NW (NEC of Coors Blvd NW and Bosque Plaza Ln NW) in Albuquerque, NM. The site contains approximately 0.7763 acres. The proposed development consists of a new O'Reilly Auto Parts store with the associated parking lot and landscaping. Tierra West LLC prepared the latest approved Drainage Report for this subdivision titled 'Southeast Corner of La Orilla and Coors, Lots 1, 2, 3, 4, 5, 6A, 7A, and 8 of the Lands of Martin L. Taylor.' The file number for this report is E12/D006.

**EXISTING HYDROLOGIC CONDITIONS**

Per the above Drainage Report by Tierra West LLC, the site was previously mass graded to allow for future development and generally slopes from west to east then surface drains south into Bosque Plaza Lane. The drainage systems for the subdivision allow free discharge of fully developed conditions. During a recent site visit, we located a pair of 36" culverts that drain east across Coors Blvd and onto the site. To our knowledge, the NMDOT does not have an easement on the subject property for the pipes or for the drainage being conveyed across the site. According to the recently approved La Orilla Estates' Drainage Report by Tierra West LLC, there is approximately 3.15 cfs that discharges from these pipes and onto the subject site. This flow currently traverses the site and surface discharges into Bosque Plaza Lane.

**PROPOSED HYDROLOGIC CONDITIONS**

The site will continue to surface drain from west to east and surface discharge into Bosque Plaza Lane via a sidewalk culvert. As discussed above, the Bosque Plaza drainage systems were designed to accommodate the fully developed conditions of this tract.

A new Stormwater Quality Pond is to be built near the southeast corner of the property which will discharge into Bosque Plaza Lane via a 24" Wide Sidewalk Culvert. The pond is slightly undersized and the site is 200 CF short of meeting the requirement. The Developer will need to make a Payment-in-Lieu for this 200 CF per the current Ordinance.

**CONCLUSION**

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and meet city requirements. The proposed improvements for the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting approval of the conceptual grading plan for the Site Plan for Building Permit.

**O'Reilly Auto Parts**  
6380 Coors Blvd. NW  
Albuquerque, New Mexico 87120

**Not For Construction**

Project Number 2017004  
Drawn By RG  
Checked JW  
Issue Date September 20, 2017  
Conceptual Grading Plan

NOTE: ALL LANDSCAPE BEDS SHALL BE DEPRESSED BELOW ADJACENT GRADE.

**LEGEND**

- 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 PROPOSED TOP OF CURB ELEVATIONS
- TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION
- TWB3.40 FINISHED GRADE AT TOP OF WALL
- BWB3.40 FINISHED GRADE AT BOTTOM OF WALL
- 515 EXISTING CONTOUR
- 515 PROPOSED CONTOUR
- EXISTING STORM DRAIN

**IMPERVIOUS AREA CALCULATIONS**  
PROPOSED SITE CONDITIONS  
TOTAL SITE AREA: 33,817 SF  
PERVIOUS AREA: 8,551 SF (25.3%)  
IMPERVIOUS AREA: 25,266 SF (74.7%)

**FIRST FLUSH CALCULATION**  
TOTAL IMPERVIOUS AREA = 25,266 SF  
FIRST FLUSH = 25,266 \* 0.34' / 12 = 716 CF  
TOTAL VOLUME PROVIDED = 516 CF

**Pre-Developed Drainage Calculations**

This table is based on the COA DPM Section 22.2, Zone: 2

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>260</sub> (CF)	V(100) <sub>440</sub> (CF)	V(100) <sub>1049</sub> (CF)
			A	B	C	D						
Site	33817	0.78	0.0%	0.0%	100.0%	0.0%	3.14	2.44	1.13	3184	3184	3184
TOTAL	33817	0.78						2.44		3184	3184	3184

**Post-Developed Drainage Calculations**

This table is based on the COA DPM Section 22.2, Zone: 2

Ultimate Development Conditions Basin Data Table

BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) <sub>260</sub> (CF)	V(100) <sub>440</sub> (CF)	V(100) <sub>1049</sub> (CF)
			A	B	C	D						
Site	33817	0.78	0.0%	0.0%	25.0%	75.0%	4.31	3.35	1.87	5277	6122	8659
TOTAL	33817	0.78						3.35		5277	6122	8659

