

REQUIRED INFORMATION - SITE PLAN FOR SUBDIVISION:

Site: 11.46 acres zoned C-1 (SC) and contains 11 existing lots and Tract A for Bosque Plaza Lane, an existing private road.

Proposed Use: Retail - Neighborhood Commercial consistent with the C-1 (SC) regulations.
 - Only two fast food drive-up service windows are permitted and shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code.
 - One additional drive-thru facility shall be permitted for a financial institution.
 - No outdoor storage is permitted.
 - Wireless telecommunication facilities shall not be permitted.

Pedestrian and Vehicular Ingress and Egress: The Bosque Plaza Design Standards and Pedestrian Plan contain information regarding pedestrian and vehicular ingress and egress to the site.

Access: The primary access to the Bosque Plaza shopping center is from Coors Boulevard, which is identified as a Major Arterial on MRCOG's Roadway Functional Classification Map and La Orilla Road. There is no direct vehicular access to Coors Boulevard other than Bosque Plaza Lane and La Orilla Road.

Roadways: Bosque Plaza Lane is an existing 50 foot private easement that provides access to all lots within the shopping center. Cross-access agreements exist within Bosque Plaza and are filed in the Bosque Plaza Declaration of Easements, Covenants and restrictions (see note Sheet 1).

Pedestrian access: Access shall be accommodated through the development of City standard sidewalks on all abutting roadways and per the Bosque Plaza Pedestrian Plan found on Sheet 3.

Maximum Building Height: Maximum building height shall be pursuant to the City C-1 Zone and shall comply with the Coors Corridor Sector Development plan (CCSDP) view preservation requirements for Segment 3.

Minimum Building Setback: Building setback minimums shall be pursuant to the City C-1 Zone and the Coors Corridor Plan. A 35-foot landscape buffer is required adjacent to Coors Boulevard.

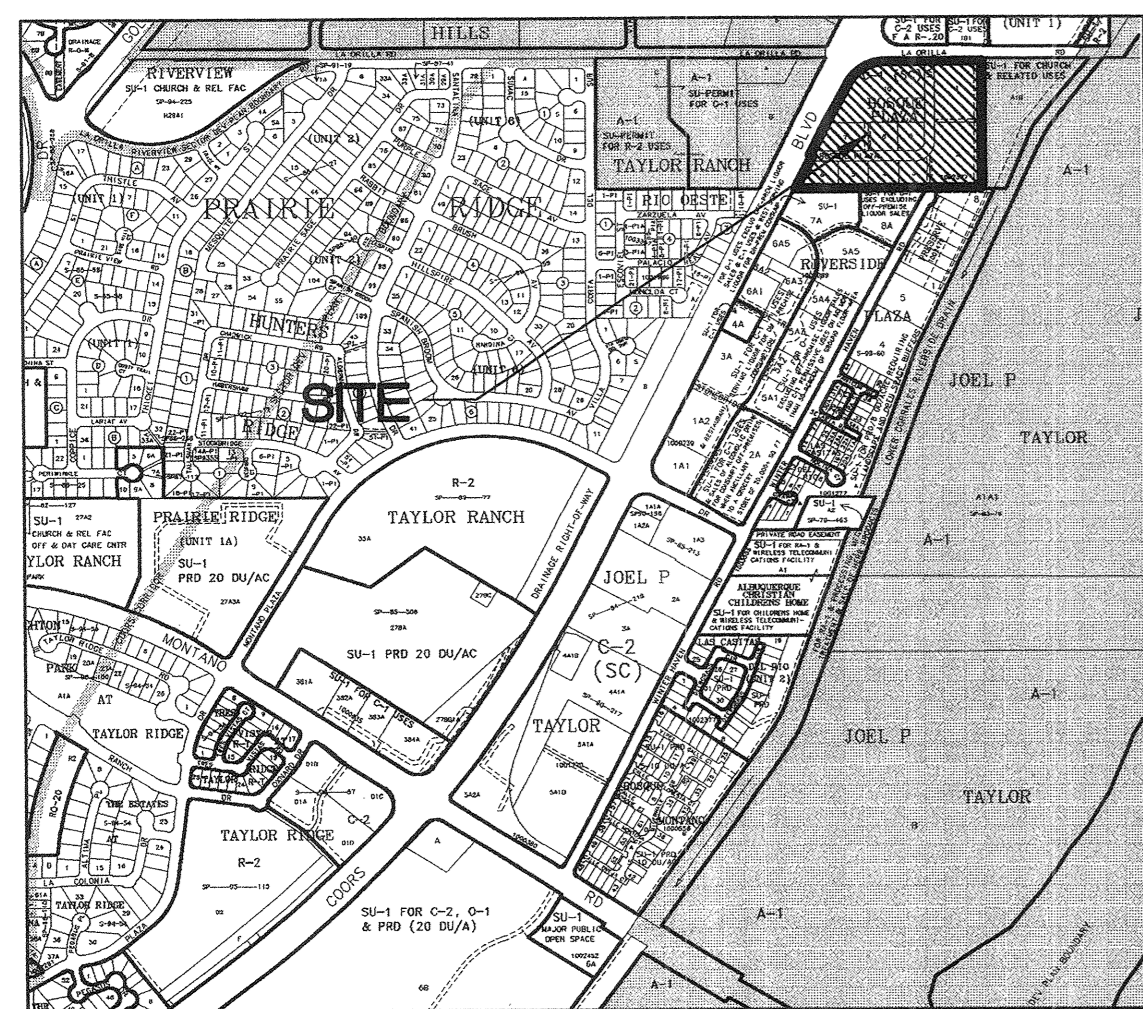
Maximum Floor Area Ratio: Retail - .30, Office - .40

Landscape Plan: Landscaping shall be consistent with the City Zoning Code, Water Conservation Ordinance, and Pollen Ordinance. A 10 foot landscape buffer is required adjacent to the residential area to the south and east of the subject site (known as the "Preserve"). Street Trees are required on Coors Boulevard and La Orilla in accordance with the Street Tree Ordinance. Maintenance of the landscaping and irrigation system shall be the responsibility of each individual Lot Owner. Gravel is allowed to be used, but will not be used as a primary ground cover, only to bridge gaps between plants and as an accent in the landscaping beds. Landscape areas over 36 square feet in size shall be covered with living vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited. All planting areas will be maintained in a living, attractive, and weed free condition. Underground irrigation systems are required and shall consist of a fully automated sprinkler/drip irrigation system to irrigate trees, shrubs, and groundcover planting areas.

Lighting: Lighting shall be fully shielded and consistent with the Coors Corridor Plan lighting regulations. The height of pole-mounted lights will not exceed 20-feet from the grade of the parking lot. Lights within 150 feet of the adjacent residential area shall be limited to 16 feet in height and provide additional shielding on the residential side of the fixture.

Signage: One project identification sign will be permitted for the shopping center, which will be located on Lot 7, and building mounted signage shall be limited to 6% of the building facade to which it is applied and subject to the restrictions (Sheet 2).

SITE VICINITY



NOTE

Said Lots 1 through 10A, B and C and Tract A are subject to all restrictions, conditions and requirements as set forth in that certain "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book AB1, Page 5448

*Coordination with Lots 7A and 8A in the Riverside Plaza will be required to accommodate the vehicular/pedestrian connection between lots 4 and 5 and Bonterra Trail. Final adjustments shall be determined in conjunction with the Site Development Plans for Building Permit.

Replaces original approval: Z-87-69, July 21, 1987
 PROJECT NUMBER: 1004167
 Application Number: ~~05EPC-01297~~ 06DRB-01367

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated July 20, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

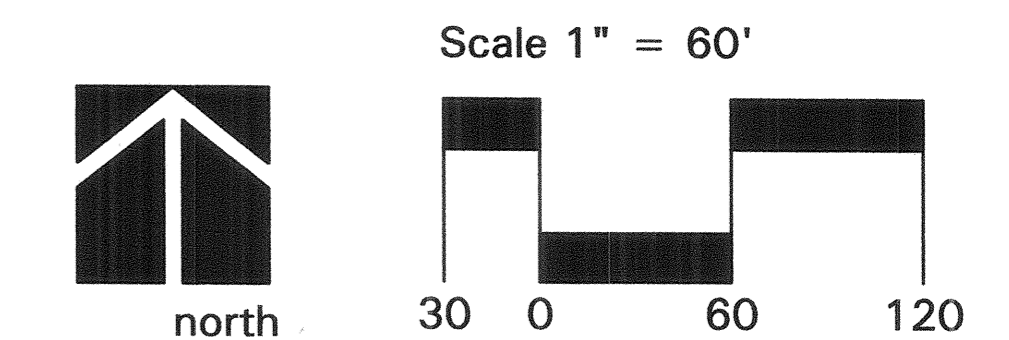
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	10-4-06 Date
<i>[Signature]</i> Water Utility Department	10/4/06 Date
<i>[Signature]</i> Parks and Recreation Department	10/4/06 Date
<i>[Signature]</i> City Engineer	10/4/06 Date
<i>[Signature]</i> Solid Waste Management	Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10/4/06 Date

**SITE PLAN FOR SUBDIVISION
BOSQUE PLAZA**

Prepared for:
La Orilla Group LLC
5445 Edith NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



October 03, 2006

Sheet 1 of 3