

BOSQUE PLAZA DESIGN STANDARDS

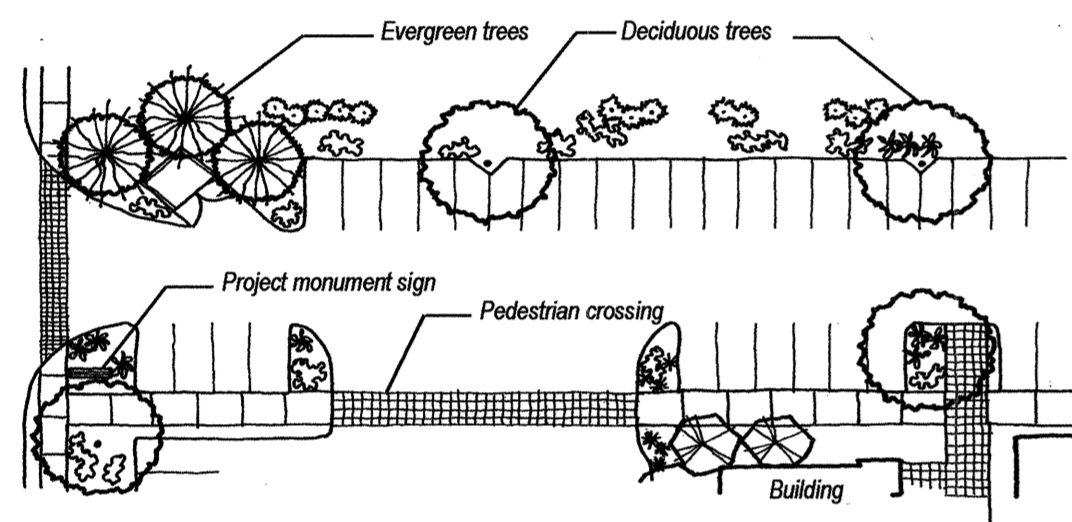
The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the goals and objectives to create a high quality commercial development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent City ordinances and applicable Plans, including the Coors Corridor Sector Development Plan. These standards shall apply to all properties within the Bosque Plaza Shopping Center.

A. LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within Bosque Plaza. To achieve a unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies (Water Conservation and Plant Ordinance). The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

- A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas and within the required 35 foot landscape setback adjacent to Coors Boulevard.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and Bosque Plaza Lane.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- Landscape areas over 36 square feet in size shall be covered with living, vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited.
- One tree is required for each twenty-five linear feet of public or main access roadway. The required trees shall be informally clustered with not more than a 35-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- Off-Street parking areas shall have one tree for every 10 parking spaces, and shall be distributed such that at least one tree is planted for every 15 linear parking spaces.



Off-street parking areas shall have one tree per every 10 parking spaces.

- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper or be 10 to 12 feet in height, and shrubs and groundcovers shall be a one gallon container or larger.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- All planting areas shall have a top dressing of crushed rock, river rock, or similar materials, which extends completely under the plant material. Bark shall only be utilized as mulch, not as a permanent form of ground-cover.
- Live plant materials shall be used extensively in all landscaped areas. Gravel, colored rock, bark, and similar materials are not acceptable as groundcover.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive conditions. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.
- Xeriscaping principles of design shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- Planter boxes and shade tree planting areas shall have a minimum size of 6'x6' (36 square feet).
- Parking lots shall be landscaped with a minimum of 20% of the parking lots area. Parking lot landscaping shall be defined as planting areas within the parking lot and within six feet of the perimeter of the parking lot.
- The Coors Corridor Plan, Policies 4b, 3 and 4 require site landscaping and front landscaping on the street yard. Policy 4 specifically requires a limited palette of landscape materials. The following is the plant palette for the shopping center divided by location:

Coors Boulevard frontage/buffer:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Desert Willow	Chilopsis linearis	Low	Low
New Mexico Olive	Forestiera neomexicana	Low	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Chinese Pistache	Pistachia chinensis	Med	Low
Chitalpa	Chilopsis x catalpa	Med	Low
Shrubs:			
Chamisa	Chrysothamnus nauseosus	Low	Low
Curl Leaf Mountain	Mahogany Cercocarpus ledifolius	Low	Low
Dwarf Coyotebush	Baccharis 'Starn Thompson'	Low	Low
Dwarf Turpentine Bush	Ericameria laricina	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atriplicifolia	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Threadgrass	Nasella tenuissima	Low	Low

Common Name	Botanical Name	Water Use	Pollen
Desert Accents:			
Banana Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Honeysuckle	Lonicera sempervirens	Med	Low
Parking lots and Sites:			
Common Name	Botanical Name	Water Use	Pollen
Trees:			
Bosnian Pine	Pinus leucodermis	Med	Low
Goldenrain Tree	Koelerutia paniculata	Med	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Escarpment Live Oak	Quercus fusiformis	Med	Moderate
Chasle Tree	Vitex agnus-castus	Med	Low
Alghan Pine	Pinus aldarica	Med	Low
Chinese Pistache	Pistachia chinensis	Med	Low
Chitalpa	Chilopsis x catalpa	Med	Low

Shrubs:			
Blue Mist Spirea	Caryopteris x clandonensis	Low-Med	Low
Cherry Sage	Salvia greggii	Low-Med	Low
Curl Leaf Mountain	Mahogany Cercocarpus ledifolius	Low	Low
Dwarf Coyotebush	Baccharis 'Starn Thompson'	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atriplicifolia	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Bear Grass	Nolina macrocarpa	Low	Low
Regal Mist Muhly Grass	Muhlenbergia capillaris	Med	Low
Desert Accents:			
Banana Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Honeysuckle	Lonicera sempervirens	Med	Low

B. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Bosque Plaza.

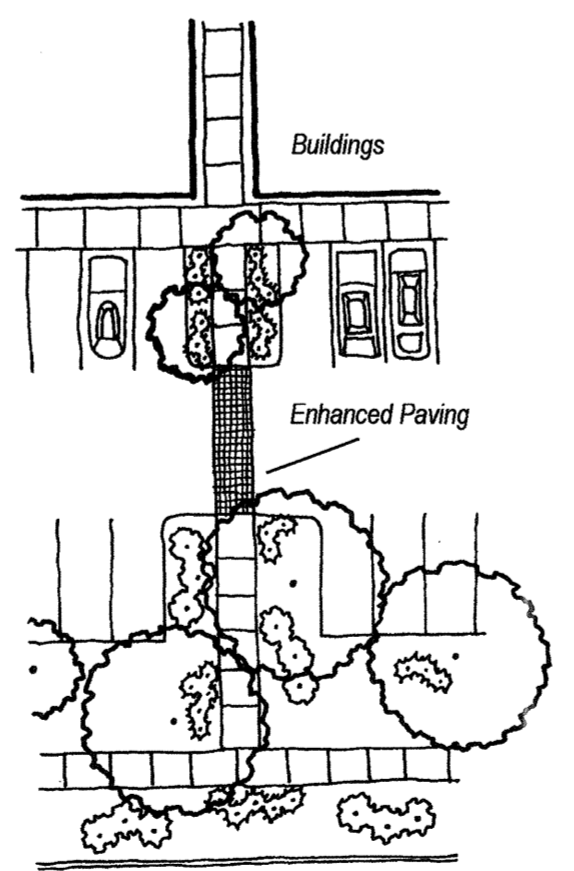
In order to comply with the Coors Corridor Sector Development Plan and create a pedestrian friendly environment along Bosque Plaza Lane, buildings shall be located on each site according to the following setback dimensions:

- 35 feet minimum from the Coors Boulevard R.O.W. per the Coors Corridor Sector Development Plan
- 10 feet minimum and 54' maximum adjacent to Bosque Plaza Lane.
- 0 or 5 feet minimum from internal lot lines in order to encourage continuous building facades

C. PARKING AND CIRCULATION

To create an aesthetically pleasing center, parking areas and pedestrian connections shall be designed as follows:

- The maximum allowed parking shall be equal to the required parking plus 10% unless approval by the Planning Director.
- ADA compliant parking shall be located adjacent to the building entry.
- For office and commercial buildings, pedestrian crossings shall be a minimum width of 6 feet. They shall be clearly demarcated with textured, colored concrete (with the exception of any existing crosswalks on Lot 10-A) and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. Shaded pedestrian access shall be provided, including a clear 6 foot-wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 6 feet square (or equivalent).
- For office and commercial buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade shall be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 six square feet square (or equivalent). Sidewalks shall be provided adjacent to and along the full length of the buildings in compliance with Section 14-16-3-1(G)(4) of the Zoning Code.
- For office and commercial buildings shaded patio space with outdoor seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Restaurants shall have outdoor patio seating and dining.
- Convenient and direct connections shall be provided from each building to the internal circulation system and to adjacent roadways, sidewalks, and between adjacent buildings/lots.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.
- Motorcycle parking shall be provided at a minimum of 1 space per 25 vehicle spaces.
- Vehicular and pedestrian conflicts shall be minimized.
- Separate vehicle and pedestrian access shall be provided to individual lots.
- All crosswalks and internal (within the lots) crosswalks shall be enhanced and textured paving, which shall be defined as textured, colored concrete.

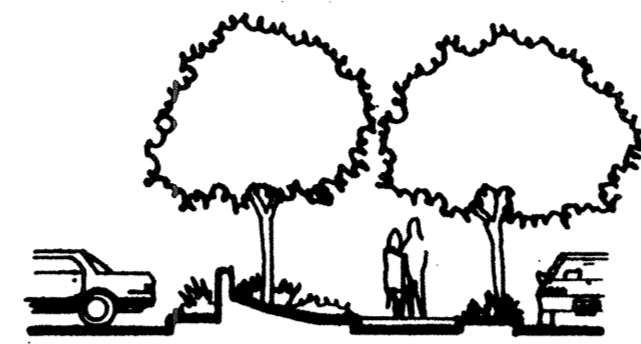


Pedestrian linkages shall be highlighted with enhanced paving and/or signage.

D. SCREENING WALLS AND FENCES

All walls shall be designed to comply with the Wall Regulations contained in the Comprehensive City Zoning Code. The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. When the site orientation causes service functions to face Coors Boulevard, the service area shall be screened with a four-foot fence.

The following are standards to ensure effective screening of negative elements:



Screen parking areas with a combination of plant materials, walls, and earthen berms

- All parking areas shall be screened from adjacent streets with a combination of plant materials, walls, and earthen berms. Such screening shall have a minimum height of 3 feet. Screening is not required where the parking area is 3 feet below street grade.
- All outdoor refuse containers shall be screened within a minimum 6 foot tall masonry enclosure, which is large enough to contain all refuse generated between collections.
- The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the building with compatible materials and colors utilized. Refuse enclosures shall include gates.
- Outdoor storage areas are prohibited.
- Chain link, barbed wire, and concertina wire are not allowed in Bosque Plaza.
- Security fences (for example, at back loading areas) cannot exceed four feet in height if the area is not incorporate into the building's architectural design. If the area appears to be an extension of the building (similar materials and color), the height is limited to 15'.
- Walls and fencing must be compatible with building architecture in terms of materials, colors, etc.
- No unfinished, flat-face CMU walls are permitted.

E. LIGHTING STANDARDS

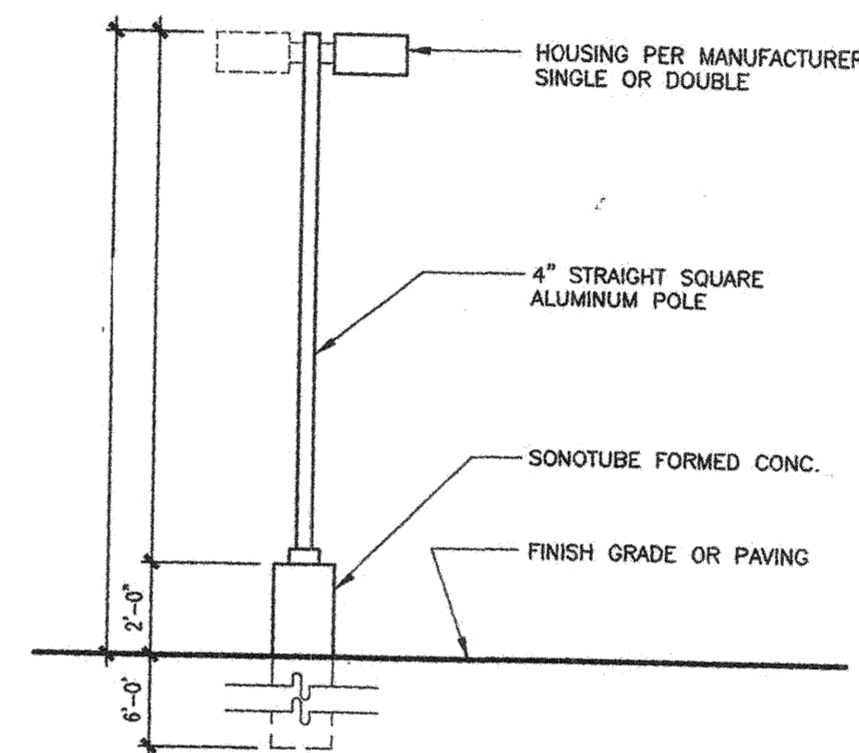
1. General

- All lighting placement, safety, and illumination standards shall comply with the state and local regulations, provisions of the State of New Mexico's Night Sky Ordinance, and the Coors Corridor Plan.
- All light fixtures shall be fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.

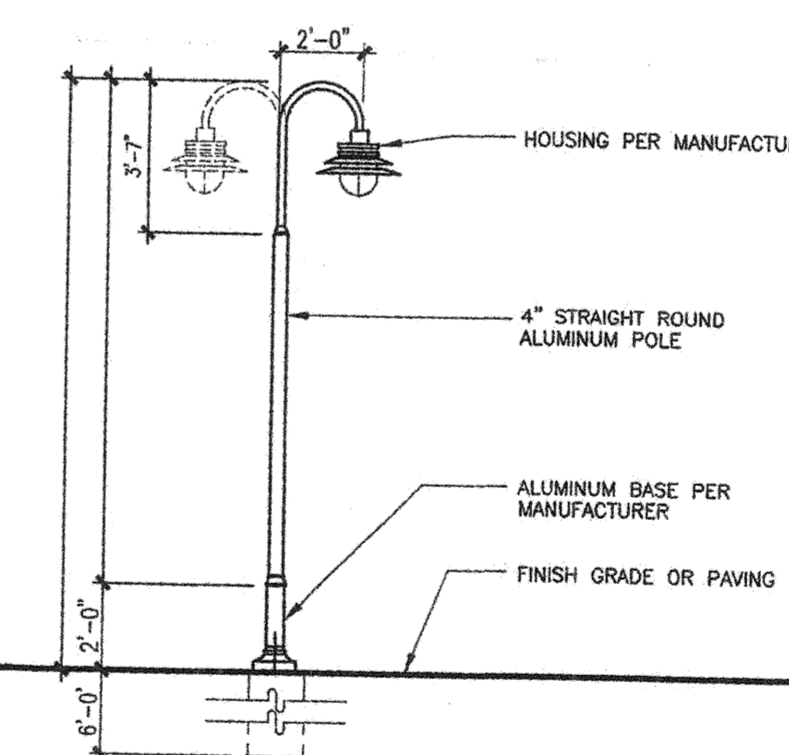
- Exterior elevations of any building fronting a street are encouraged to be lighted to enhance the identity of the building and to illuminate street addresses.
- High-pressure sodium lighting is prohibited.
- No uplighting permitted from free-standing or building-mounted fixtures or signs.
- Light poles within 25 feet of Bosque Plaza Lane shall be the same as internal street lights used in Riverside Plaza.

2. Height

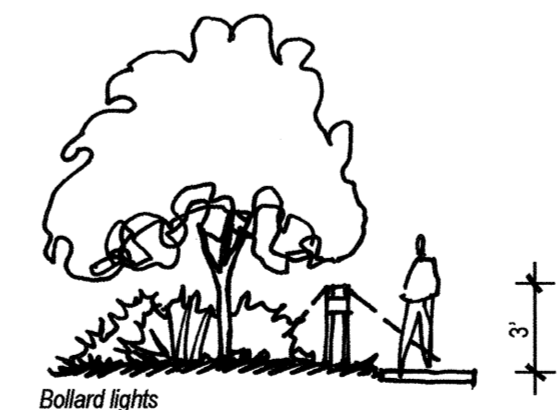
- 16 feet for all walkways and entry plazas.
- 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.



Sample of Parking Lot Light



Sample of Internal Street Light



Area lighting shall be used to highlight public spaces and walkways.



Wall pocket lights

F. SIGNAGE STANDARDS

The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Bosque Plaza and are pursuant to the Coors Corridor Plan. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.

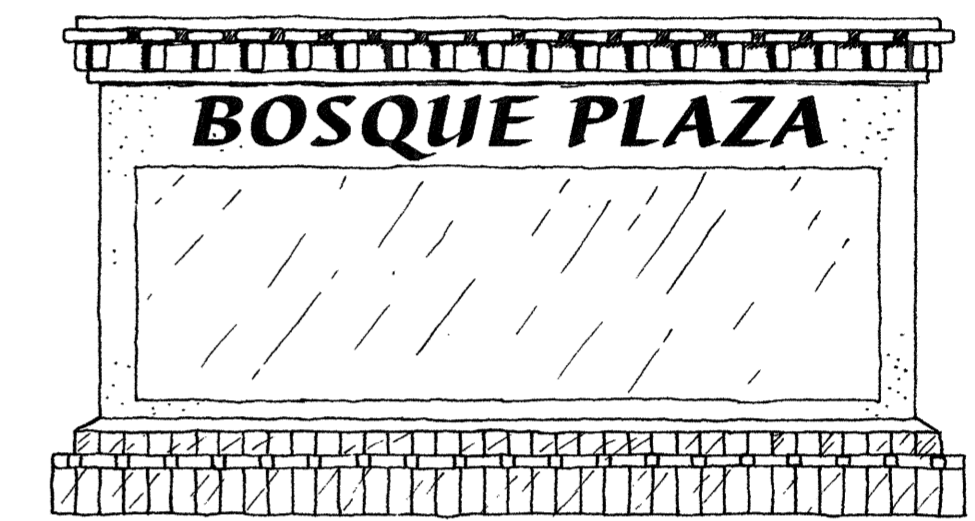
Signs at Bosque Plaza are limited to wall signs and free-standing monument signs. The following are general guidelines for signage design and placement:

1. General

- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- All elements of a sign shall be maintained in a visually appealing manner.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- Lots adjacent to the internal roadway shall have either one free-standing business monument sign or one building mounted sign facing the roadway.

2. Free-Standing Signs

- Bosque Plaza is allowed one Project Entry signs at the access point on Coors Boulevard (NE corner of Bosque Plaza Lane and Coors Boulevard) The height of the free-standing Project Entry sign shall not exceed 9 feet. The size of the sign face shall not exceed 75 square feet, with a total of 10 items of information.



Sample Project Entry Sign

- Free-standing signs shall not require any external bracing, angle-iron supports, guy wires or similar devices.
- Monument sign design shall integrate with building architecture.
- Monument signs are also permitted for properties along Bosque Plaza Lane and shall not exceed 3 feet in height and 15 square feet in sign face area.

3. Building-Mounted Signs

- Individual building-mounted signs shall have an area not to exceed 6% of the facade to which it is applied.
- The height of a building-mounted sign shall not exceed the height of the wall to which it is attached.
- No signage permitted on east sides for buildings on Lots 1, 2, and 3 and south sides for buildings on Lots 2, 3, 4, 5, and 6.

4. Prohibited Signs

- No off-premise signs are allowed.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including search lights used for promotional events).
- Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are prohibited.
- Signs located on rocks, trees, or other natural features are prohibited.
- Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are prohibited.

DESIGN STANDARDS BOSQUE PLAZA

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