

G. SITE / ARCHITECTURAL OBJECTIVES

1. Site

The creation of an active pedestrian environment at Bosque Plaza is dependent upon creative site and architectural design. Individual sites within Bosque Plaza shall be linked together and to the surrounding neighborhoods. The relationship between the buildings and the street shall be key to providing a pedestrian oriented development.

- a. Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout shall minimize the need for pedestrians to cross parking aisles and landscaped islands.
- b. Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.
- c. Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- d. All pedestrian paths shall be designed to be accessible to the handicapped (See *Americans with Disabilities Act* criteria for barrier free design).
- e. Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6 foot clear and lined with shade trees in 6' x 6' (36 square feet) planters, spaced 25 feet on center.
- f. Only two drive-up service windows for fast food restaurants shall be permitted within Bosque Plaza. Drive-up service windows for fast-food restaurants shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code. When determining the appropriateness of a drive up service window, the following criteria shall be examined:
 - 1. No drive up service window shall face Coors Boulevard.
 - 2. The drive up service window and stacking lane shall be screened from public view and shall be integrated with the architecture of the building it serves.
 - 3. A pedestrian crossing across the stacking lane shall be demarcated and shall be clearly visible and highlighted with enhanced paving.
 - 4. No drive up service window shall be placed within 150' of any residential zoning district.

- g. One additional drive-thru facility shall be permitted for a financial institution.
- h. No cell phone towers shall be permitted.

2. General Building Elements

- a. Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other applicable codes.
- b. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures.
- c. The staggering of planes and/or distinct articulation of building facade is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- d. Windows and doors shall relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes.
- e. The top of all rooftop equipment shall be below the top of parapet.

3. Architectural Style, Materials, and Colors

The architectural objective is to create a site that is visually integrated through the use of architectural styles and similarities of scale, proportion, massing, and color.

- a. All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- b. Architectural styles are limited to Territorial and Territorial Revival only as described below:
 - 1. Territorial Design: flat-roofed, often with brick coping edging the parapet; earth-toned, usually one story; can be at least two rooms deep; often with a central hallway; multi-paned windows. Details include classic pedimented lintels over windows and doors; main entries with sidelights, sometimes shutters, and portales with squared, often chamfered, posts and no corbels. The Territorial architectural style began to develop after the opening of the Santa Fe Trail and roughly coincides with the historical period when New Mexico was a US territory.



Sample of Territorial Design

- 2. Territorial Revival: based on the fusion of New Mexican buildings with American trim developed when New Mexico became a territory; always flat-roofed with brick coping along the parapet; light-colored walls; and multi-paned windows. Details include classical wood trim (or metal, concrete, or other low maintenance material that is designed to have the appearance of wood), including shutters, awnings, pedimented lintels and squared porch posts, with sidelights and top lights at main entry.
- c. Shade structures (awnings, trellis, canopies) are permissible as an accent detail, provided that they are architecturally compatible to the building to which they are applied, shall be limited to colors that match the brick trim on buildings; and shall be made of materials that have a cloth-like appearance.
- d. Stucco shall be used as the primary surface treatment.
- e. The primary building colors shall be limited to warm medium browns (El Rey Stucco, Adobe 116 or equivalent) and beiges (El Rey Stucco, Sand 103 or equivalent). The middle range of reflectance is intended to avoid very light and very dark colors.
- f. No generic franchise building elevations are permitted.
- g. Architectural features or elements of a building shall be subject to the Coors Corridor Sector Development Plan View Preservation regulations (See Section J).
- h. Wainscoting shall be made of brick, stained concrete, real stone, cultured stone, or stucco. Colors shall be limited to red-brown, light brown or medium brown.

4. Prohibited Building Elements

- a. No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- b. No plastic or vinyl building panels, awnings, or canopies are permitted. Awnings and canopies shall be fabric integrated with building architecture, color scheme, and signage.
- c. No flags or other corporate decorations are permitted.
- d. Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.

H. UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of Bosque Plaza:

- 1. All new electric distribution lines shall be placed underground.
- 2. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- 3. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

I. CODE COMPLIANCE

This Site Development Plan for Subdivision will comply with all requirements of the City and the Coors Corridor Sector Development Plan.

J. VIEW PRESERVATION

All buildings within the Bosque Plaza shopping center shall comply with the Coors Corridor Sector Development Plan (View Preservation for Corridor Segments 3 and 4). The procedures to ensure view preservation shall be followed as outlined within the Coors Corridor Sector Development Plan.

- 1. Bosque and mountain views shall be maintained from the site in accordance with the Coors Corridor Sector Development Plan view preservation regulations and shall generally be available from semi-public locations such as patios, outdoor seating areas and intersections. The design of these features shall ensure that views are preserved and even enhanced.

K. SIDEWALKS / BIKEWAYS

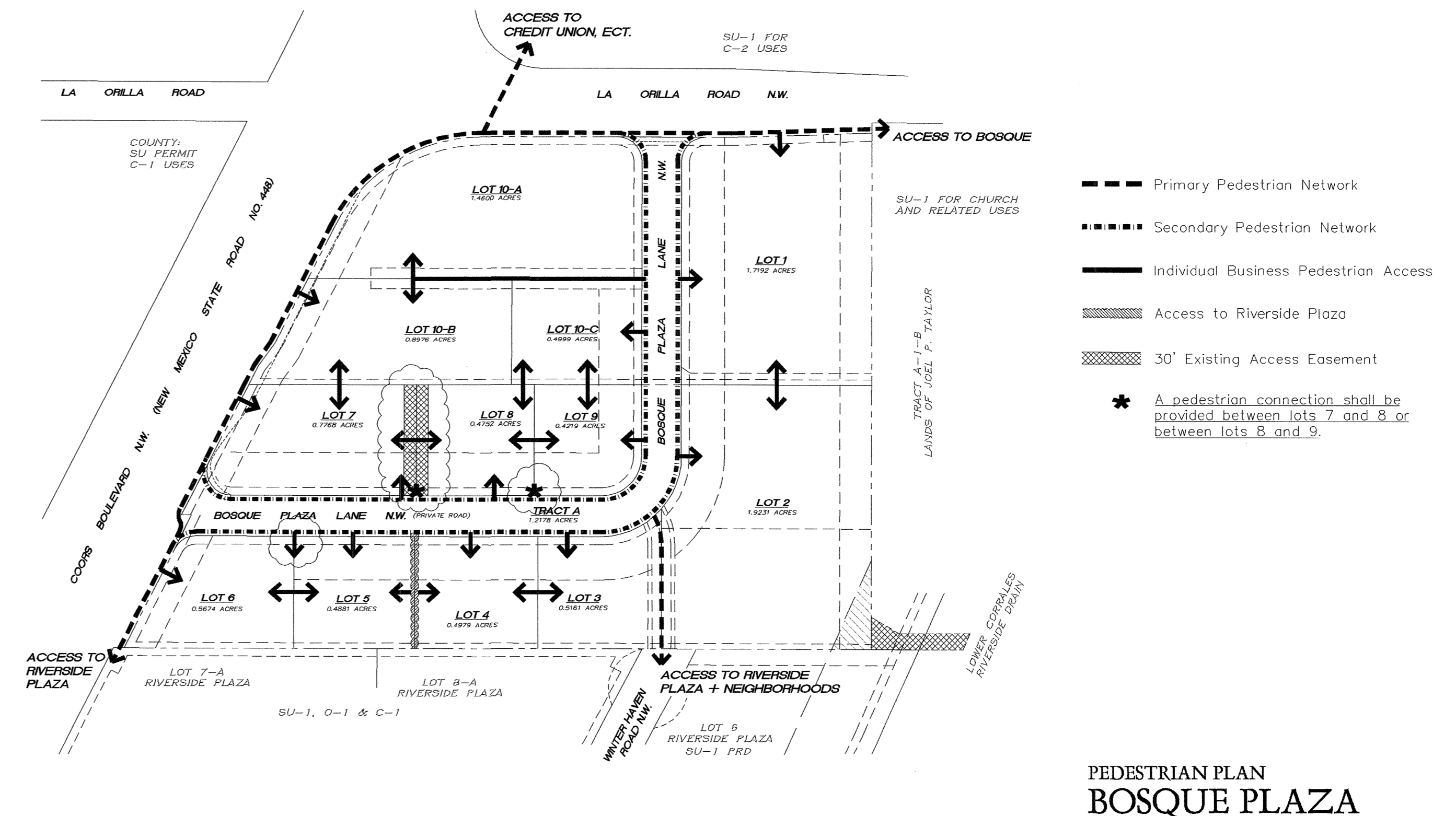
To encourage and enhance the pedestrian nature of Bosque Plaza, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. Pedestrian connections shall be provided to physically connect the parcels adjacent to Coors Boulevard.

- 1. Sidewalks shall be provided along the interior private drive at a minimum of 6 feet in width and shaded by trees planted 25 feet on center.
- 2. Access to the Bosque trail system shall be from La Orilla.
- 3. A sidewalk shall be provided along Coors Boulevard, which will connect to Bosque Plaza at several points. The Coors Corridor Plan encourages both pedestrian and bikeways facilities and it is the intent to provide these facilities. The following Pedestrian Plan illustrates the connectivity and pedestrian orientated environment that Bosque Plaza will provide.
- 4. To mitigate instance of pedestrian/vehicle conflict, a pedestrian trail shall be provided from Bosque Plaza Lane into each lot.
- 5. Coordination with Lots 7A and 8A in the Riverside Plaza will be required to accommodate the pedestrian connection between lots 4 and 5 and Bonterra Trail.
- 6. A pedestrian access similar to that on Lot 6 shall be provided to Coors Boulevard from Lot 10-B, which is approximately the mid-point of Bosque Plaza frontage along Coors Boulevard.

L. PEDESTRIAN PLAN

To encourage and enhance the pedestrian nature of Bosque Plaza, the adjacent Pedestrian Plan is added to demonstrate the pedestrian connections to and from the site and the connections within the site that will provide for pedestrian movement.

- 1. The Primary Pedestrian Network is illustrated along Coors Boulevard and La Orilla Road. This provides for access along Coors Boulevard and La Orilla Road, toward the Bosque. This Primary Pedestrian Network also provides necessary connections to individual properties along Coors Boulevard, in addition to Bosque Plaza Lane.
- 2. Bosque Plaza Lane provides a Secondary Pedestrian Network on both sides of the street and to individual lots along the roadway. As indicated on the Plan, over ten pedestrian connections are provided from Bosque Plaza Lane to individual lots.
- 3. Individual Business Pedestrian Access is also indicated on the Plan. The Plan also provides for connections between each of the lots and to adjacent properties.
- 4. Future pedestrian access is indicated on the Plan between Lots 4 and 5 from these lots and Bosque Plaza Lane to Riverside Plaza to the south.
- 5. Future pedestrian (and vehicular access) is also indicated on the Plan from Winterhaven Road to Bosque Plaza Lane. In addition to this connection being provided for vehicular access, it is also available for pedestrians.
- 6. To comply with the Coors Corridor Sector Development Plan, pedestrian access for individual businesses shall not be via drive aisles and shall be provided separately from vehicular access.



PEDESTRIAN PLAN
BOSQUE PLAZA

DESIGN STANDARDS
BOSQUE PLAZA

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