

REQUIRED INFORMATION - SITE PLAN FOR SUBDIVISION:

Site: 11.46 acres zoned C-1 (SC) and contains 11 existing lots and Tract A for Bosque Plaza Lane, an existing private road.

- Proposed Use:** Retail - Neighborhood Commercial consistent with the C-1 (SC) regulations.
- Only two fast food drive-up service windows are permitted and shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code.
 - One additional drive-thru facility shall be permitted for a financial institution.
 - No outdoor storage is permitted.
 - Wireless telecommunication facilities shall not be permitted.
 - In accordance with the C-1 zone, this plan recognizes that indoor storage is a conditional use, but shall be restricted to Lot 1 only. (shall meet the C-1 Conditional Use requirements and subject to approval by the Zone Hearing Examiner).

Pedestrian and Vehicular Ingress and Egress: The Bosque Plaza Design Standards and Pedestrian Plan contain information regarding pedestrian and vehicular ingress and egress to the site.

Access: The primary access to the Bosque Plaza shopping center is from Coors Boulevard, which is identified as a Major Arterial on MRCOG's Roadway Functional Classification Map and La Orilla Road. Bosque Plaza Lane (a private roadway) provides direct access from all Bosque Plaza lots to Coors Boulevard. Access to Winter Haven Road is restricted to pedestrian access only.

Roadways: Bosque Plaza Lane is an existing 50 foot private easement that provides access to all lots within the shopping center. Cross-access agreements exist within Bosque Plaza and are filed in the Bosque Plaza Declaration of Easements, Covenants and restrictions (see note Sheet 1).

Pedestrian access: Access shall be accommodated through the development of City standard sidewalks on all abutting roadways and per the Bosque Plaza Pedestrian Plan found on Sheet 3.

Maximum Building Height: Maximum building height shall be pursuant to the City C-1 Zone (26-feet) and shall comply with the Coors Corridor Sector Development plan (CCSDP) view preservation requirements for Segment 3.

Minimum Building Setback: Building setback minimums shall be pursuant to the City C-1 Zone, this Site Plan for Subdivision, and the Coors Corridor Plan. A 35-foot landscape buffer is required adjacent to Coors Boulevard.

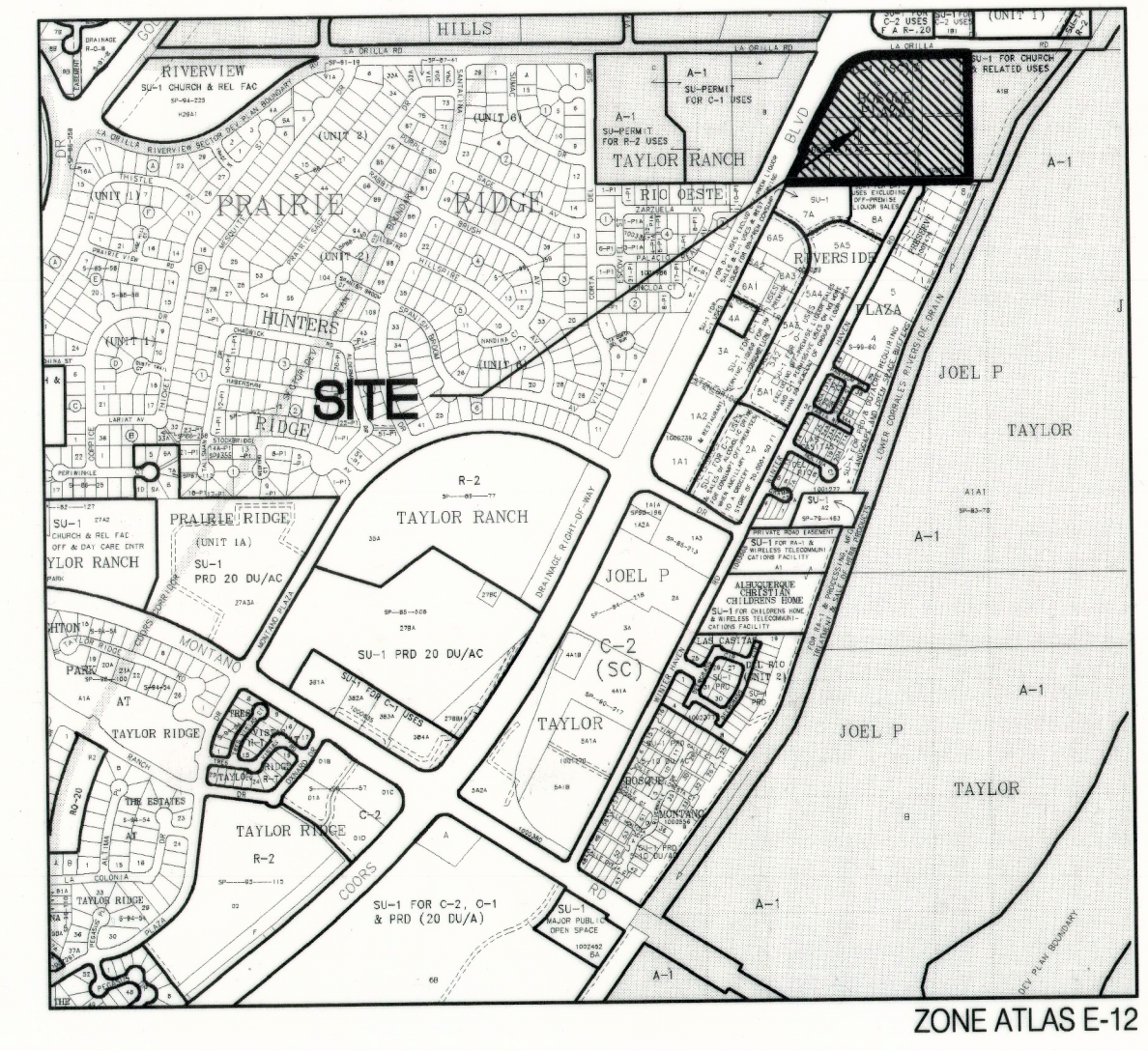
Maximum Floor Area Ratio: Retail - .30, Office - .40, Indoor Storage - 1.0

Landscape Plan: Landscaping shall be consistent with the City Zoning Code, Water Conservation Ordinance, and Pollen Ordinance. A 10 foot landscape buffer is required adjacent to the residential area to the south and east of the subject site (known as the "Preserve"). Street Trees are required on Coors Boulevard and La Orilla in accordance with the Street Tree Ordinance. Maintenance of the landscaping and irrigation system shall be the responsibility of each individual Lot Owner. Gravel is allowed to be used, but will not be used as a primary ground cover, only to bridge gaps between plants and as an accent in the landscaping beds. Landscape areas over 36 square feet in size shall be covered with living vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited. All planting areas will be maintained in a living, attractive, and weed free condition. Underground irrigation systems are required and shall consist of a fully automated sprinkler/drip irrigation system to irrigate trees, shrubs, and groundcover planting areas.

Lighting: Lighting shall be fully shielded and consistent with the Coors Corridor Plan lighting regulations. The height of pole-mounted lights will not exceed 20-feet from the grade of the parking lot. Lights within 150 feet of the adjacent residential area shall be limited to 16 feet in height and provide additional shielding on the residential side of the fixture.

Signage: One project identification sign will be permitted for the shopping center, which will be located on Lot 7, and building mounted signage shall be limited to 6% of the building facade to which it is applied and subject to the restrictions (Sheet 2).

SITE VICINITY



PROJECT NUMBER: 1004167
Application Number: 04-022-01367

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 1/12/2017 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	2/22/17
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	02-22-17
Water Utility Department	Date
<i>[Signature]</i>	2/22/17
Parks and Recreation Department	Date
<i>[Signature]</i>	2/22/17
City Engineer	Date
<i>[Signature]</i>	2-22-17
Solid Waste Management	Date
<i>[Signature]</i>	2-22-17
DRB Chairperson, Planning Department	Date

NOTE

Said Lots 1 through 10A, B and C and Tract A are subject to all restrictions, conditions and requirements as set forth in that certain "BOSQUE PLAZA DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS", filed in the office of the County Clerk of Bernalillo County, New Mexico on the 28th day of July, 2004 in Book A81, Page 5448

*Coordination with Lots 7A and 8 in the Riverside Plaza will be required to accommodate the vehicular/pedestrian connection between lots 4 and 5 and Bonterra Trail. Final adjustments shall be determined in conjunction with the Site Development Plans for Building Permit.

Indoor Storage, Lot 1 only: FAR Maximum up to 1.0 only if Coors Corridor Plan View Regulations for massing and height are in compliance, large truck access/turning movements are incorporated, and in accordance with an approved grading and drainage plan to ensure that the drainage is fully functional and aesthetically pleasing.

Replaces original approval: Z-87-69, July 21, 1987

PROJECT NUMBER: 1004167
Application Number: 04-022-01367

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated July 20, 2006 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

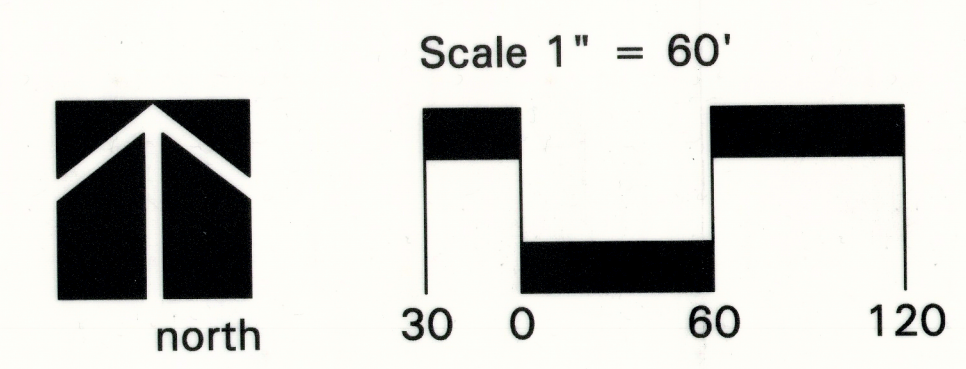
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i>	10-4-06
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	10/4/06
Water Utility Department	Date
<i>[Signature]</i>	10/4/06
Christina Sandoval	Date
Parks and Recreation Department	Date
<i>[Signature]</i>	10/4/06
Bradley A. Bingham	Date
City Engineer	Date
<i>[Signature]</i>	10/4/06
Solid Waste Management	Date
<i>[Signature]</i>	10/4/06
DRB Chairperson, Planning Department	Date

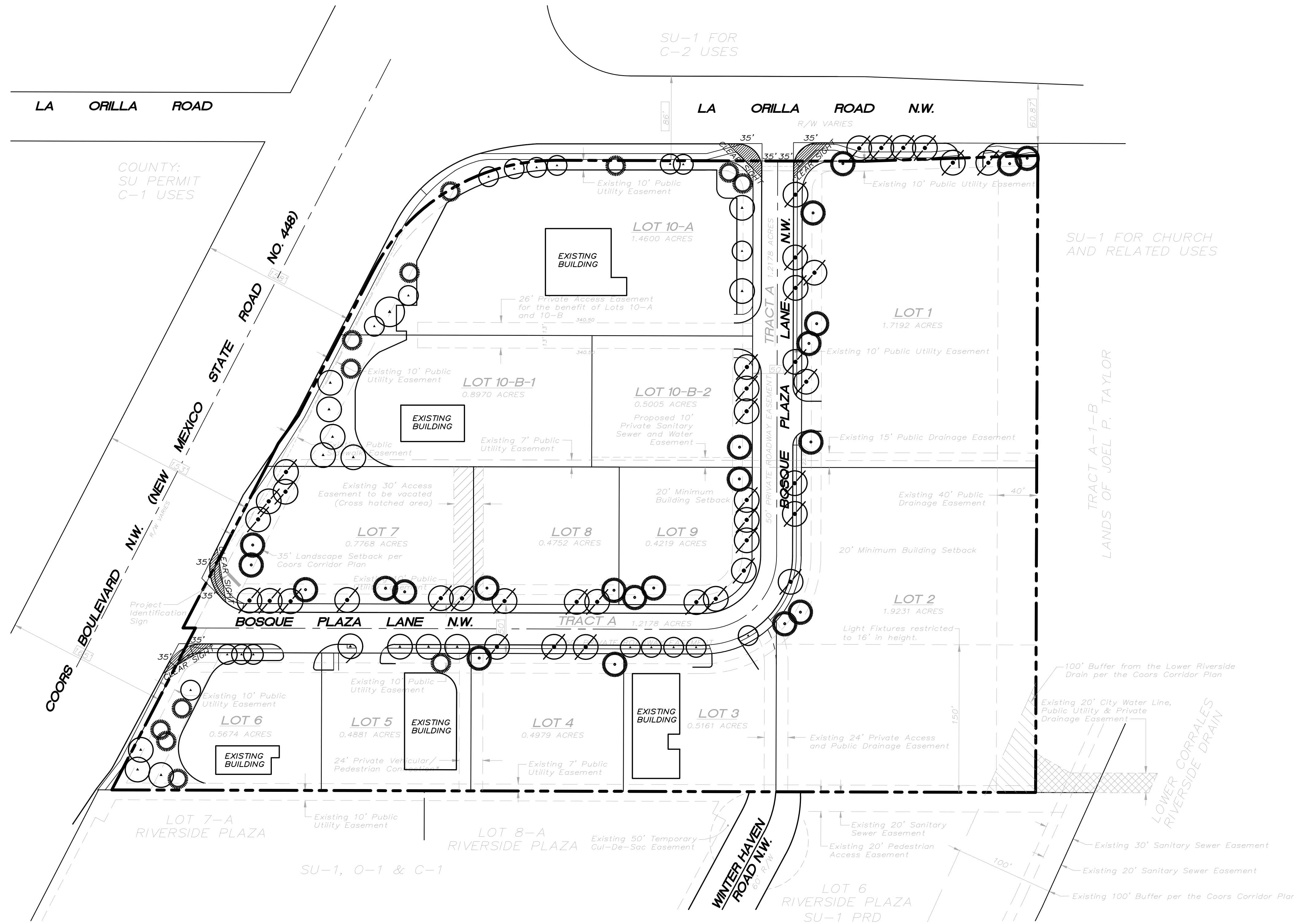
**SITE PLAN FOR SUBDIVISION
BOSQUE PLAZA**

Prepared for:
La Orilla Group LLC
5445 Edith NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



October 03, 2006
Amended 1/12/2017



GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL LANDSCAPE WILL COMPLY WITH THE BOSQUE PLAZA SITE PLAN FOR SUBDIVISION LANDSCAPE DESIGN STANDARDS.

LANDSCAPING SHALL BE CONSISTENT WITH THE CITY ZONING CODE, WATER CONSERVATION ORDINANCE, AND POLLEN ORDINANCE. STREET TREES ARE REQUIRED ON LA ORILLA IN ACCORDANCE WITH THE STREET TREE ORDINANCE. STREET TREES ARE REQUIRED ON BUILDING PERMIT PLANS PER THE SITE PLAN FOR SUBDIVISION. MAINTENANCE OF THE LANDSCAPING AND IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL LOT OWNER. GRAVEL IS ALLOWED TO BE USED, BUT WILL NOT BE USED AS A PRIMARY GROUND COVER, ONLY TO BRIDGE GAPS BETWEEN PLANTS AND AS AN ACCENT IN THE LANDSCAPING BEDS. LANDSCAPE AREAS OVER 36 SQUARE FEET IN SIZE SHALL BE COVERED WITH LIVING VEGETATIVE MATERIAL OVER AT LEAST 80% OF THE REQUIRED LANDSCAPE AREA. HIGH-WATER USE TURF IS PROHIBITED. ALL PLANTING AREAS WILL BE MAINTAINED IN A LIVING, ATTRACTIVE, AND WEED FREE CONDITION. UNDERGROUND IRRIGATION SYSTEMS ARE REQUIRED AND SHALL CONSIST OF A FULLY AUTOMATED SPRINKLER/D RIP IRRIGATION SYSTEM TO IRRIGATE TREES, SHRUBS, AND GROUND COVER PLANTING AREAS.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF EACH PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

WATER HARVESTING
SEE INDIVIDUAL BUILDING PERMIT GRADING AND DRAINAGE PLANS FOR DETAILS ON STRATEGY TO CAPTURE THE FIRST .44" OF FIRST FLUSH RAINFALL.

LANDSCAPE AREA COVERAGE
SEE INDIVIDUAL BUILDING PERMIT PLANS FOR PROVIDED LANDSCAPE AREA COVERAGE.

LANDSCAPE LIVE VEGETATIVE COVERAGE
THE BOSQUE PLAZA DESIGN STANDARDS SPECIFY LANDSCAPE AREAS TO HAVE LIVE VEGETATIVE MATERIAL COVERING 80% OF THE REQUIRED LANDSCAPE AREA. THIS PROJECT WILL MEET THIS REQUIREMENT.

PARKING LOT TREES
SEE INDIVIDUAL BUILDING PERMIT PLANS FOR PROVIDED PARKING LOT TREES.

STREET TREES
STREET TREE REQUIREMENTS SPECIFY THAT ONE TREE IS REQUIRED FOR EACH 25' OF PUBLIC OR MAIN ACCESS ROADWAY FRONTAGE LESS DRIVEWAYS.

LOT 1 FRONTAGE IS 484'	19
STREET TREES REQUIRED:	19
STREET TREES PROVIDED:	19
LOT 2 FRONTAGE IS 132'	5
STREET TREES REQUIRED:	5
STREET TREES PROVIDED:	5
LOT 3 (EXISTING) FRONTAGE IS 133'	5
STREET TREES REQUIRED:	5
STREET TREES PROVIDED:	5
LOT 4 FRONTAGE IS 124'	5
STREET TREES REQUIRED:	5
STREET TREES PROVIDED:	5
LOT 5 (EXISTING) FRONTAGE IS 120'	5
STREET TREES REQUIRED:	5
STREET TREES PROVIDED:	5
LOT 6 (EXISTING) FRONTAGE IS 163'	11
STREET TREES REQUIRED:	11
STREET TREES PROVIDED:	11
LOT 7 FRONTAGE IS 370'	15
STREET TREES REQUIRED:	15
STREET TREES PROVIDED:	15
LOT 8 FRONTAGE IS 116'	5
STREET TREES REQUIRED:	5
STREET TREES PROVIDED:	5
LOT 9 FRONTAGE IS 222'	9
STREET TREES REQUIRED:	9
STREET TREES PROVIDED:	9
LOT 10-A, EXISTING VILLAGE INN LANDSCAPE WAS DEVELOPED PRIOR TO THIS SITE PLAN.	
LOT 10-B-1 (EXISTING) FRONTAGE IS 196'	7
STREET TREES REQUIRED:	7
STREET TREES PROVIDED:	7
LOT 10-B-2 FRONTAGE IS 120'	4
STREET TREES REQUIRED:	4
STREET TREES PROVIDED:	4

NOTES:

- PROPOSED STREET TREE LAYOUT IS SCHEMATIC. TREE LOCATIONS WILL BE FINALIZED WITH LOCATION OF FUTURE DRIVEWAYS AND DETAILED LANDSCAPE PLANS FOR INDIVIDUAL LOTS.
- THIS LANDSCAPE PLAN ONLY APPLIES TO LOTS 1, 2, 7-9, AND 10-B2.

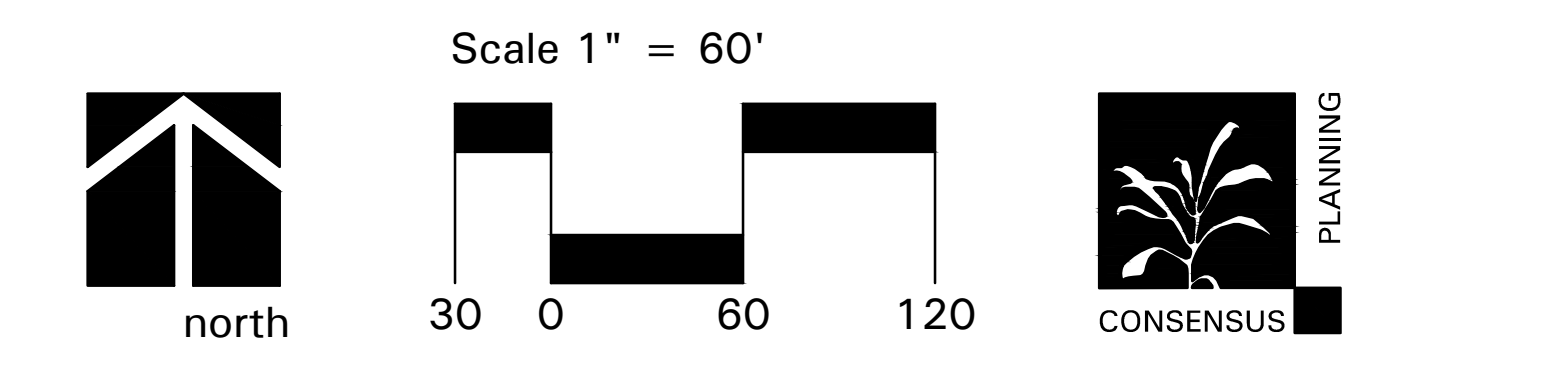
PLANT LEGEND

SYMBOL	DESCRIPTION COMMON NAME/BOTANICAL NAME (WATER USE)
EXISTING TREES	
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
PROPOSED TREES	
	PROPOSED DECIDUOUS TREE DESERT WILLOW/CHILOPSIS LINEARIS (L), NEW MEXICO OLIVE/FORESTIERA NEOMEXICANA (L), RAYWOOD ASH/FRAXINUS OXYCARPA RAYWOOD (M), CHINESE PISTACHE/PISTACHIA CHINENSIS (M), CHITALPA/CHILOPSIS X CATALPA (M), GOLDENRAIN TREE/KOELRUTIA PANICULATA (M), CHASTE TREE/NITEX AGNUS-CASTUS (M)
	PROPOSED EVERGREEN TREE BOSNIAN PINE/PINUS LEUCODERMIS (M), ESCARPMENT LIVE OAK/QUERCUS FUSIFORMIS (M), AFGHAN PINE/PINUS ELDIRICA (M)

LANDSCAPE PLAN BOSQUE PLAZA

Prepared for:
La Orilla Group LLC
5445 Edith NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street SW
Albuquerque, NM 87102



BOSQUE PLAZA DESIGN STANDARDS

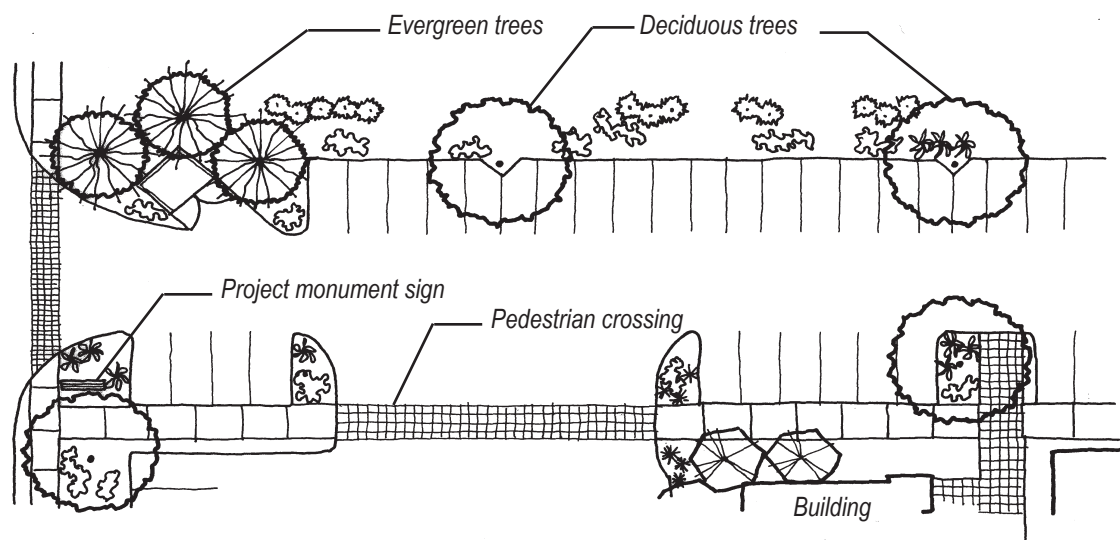
The purpose of these Design Standards is to provide a framework to assist developers and designers to understand the goals and objectives to create a high quality commercial development. These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired. These standards are to be used as a supplement to the City of Albuquerque Zone Code and other pertinent City ordinances and applicable Plans, including the Coors Corridor Sector Development Plan. These standards shall apply to all properties within the Bosque Plaza Shopping Center.

A. LANDSCAPE CONCEPT

The development of an overall landscape concept will establish a framework that unifies the individual sites within Bosque Plaza. To achieve a unified development, all areas of design need to be coordinated and responsive to existing environmental conditions and local building policies (Water Conservation and Plant Ordinance). The landscape concept and the selection of the proper plant materials are extremely important as strong unifying elements for the project.

The following are minimum standards for the development of specific site landscape plans:

- A mix of evergreen (coniferous and deciduous trees) shall be used within parking areas and within the required 35 foot landscape setback adjacent to Coors Boulevard.
- A landscape strip of no less than 10 feet shall be maintained between a parking area and Bosque Plaza Lane.
- Seventy-five percent of the required parking area trees shall be deciduous and have a mature height and canopy of at least 25 feet.
- A minimum of 15 percent of the site area (minus the building square footage) shall be devoted to landscape materials with an emphasis placed on areas with streetside exposure.
- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers shall be either 6" x 6" concrete, brick (side by side), or 1/8" x 4" steel construction.
- Landscape areas over 36 square feet in size shall be covered with living, vegetative material over at least 80% of the required landscape area. High-water use turf is prohibited.
- One tree is required for each twenty-five linear feet of public or main access roadway. The required trees shall be informally clustered with not more than a 35-foot gap between groupings and shall have a 60/40 mix of deciduous to evergreen trees.
- Off-Street parking areas shall have one tree for every 10 parking spaces, and shall be distributed such that at least one tree is planted for every 15 linear parking spaces.



Off-street parking areas shall have one tree per every 10 parking spaces.

- Minimum plant sizes at time of installation shall be as follows: Trees shall have a 2" caliper or be 10 to 12 feet in height, and shrubs and groundcovers shall be a one gallon container or larger.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components shall be checked periodically to ensure maximum efficiency.
- All planting areas shall have a top dressing of crushed rock, river rock, or similar materials, which extends completely under the plant material. Bark shall only be utilized as mulch, not as a permanent form of ground-cover.
- Live plant materials shall be used extensively in all landscaped areas. Gravel, colored rock, bark, and similar materials are not acceptable as groundcover.
- All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained by the owner in a living, attractive conditions. All areas shall be maintained free of weeds through the use of chemical spray or pervious filter material.
- Xeriscape principles of design shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- Planter boxes and shade tree planting areas shall have a minimum size of 6'x6' (36 square feet).
- Parking lots shall be landscaped with a minimum of 20% of the parking lots area. Parking lot landscaping shall be defined as planting areas within the parking lot and within six feet of the perimeter of the parking lot.
- The Coors Corridor Plan, Policies 4b, 3 and 4 require site landscaping and front landscaping on the street yard. Policy 4 specifically requires a limited palette of landscape materials. The following is the plant palette for the shopping center divided by location:

Coors Boulevard frontage/buffer:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Desert Willow	Chilopsis linearis	Low	Low
New Mexico Olive	Forestiera neomexicana	Low	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Chinese Pistache	Pistachia chinensis	Med	Low
Chitalpa	Chilopsis x catalpa	Med	Low
Shrubs:			
Chamisa	Chrysothamnus nauseosus	Low	Low
Curl Leaf Mountain	Mahogany Cercocarpus ledifolius	Low	Low
Dwarf Coyotebush	Baccharis 'Starn Thompson'	Low	Low
Dwarf Turpentine Bush	Ericameria laricifolia	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atriplicifolia	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low
Ornamental Grasses:			
Threadgrass	Nasella tenuissima	Low	Low

Common Name	Botanical Name	Water Use	Pollen
Desert Accents:			
Banana Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low
Vines:			
Honeysuckle	Lonicera sempervirens	Med	Low

Parking lots and Sites:

Common Name	Botanical Name	Water Use	Pollen
Trees:			
Bosnian Pine	Pinus leucodermis	Med	Low
Goldenrain Tree	Koeleria paniculata	Med	Low
Raywood Ash	Fraxinus oxycarpa 'Raywood'	Med	Allowed
Escarpment Live Oak	Quercus fusiformis	Med	Moderate
Chaste Tree	Vitex agnus-castus	Med	Low
Alghan Pine	Pinus eldarica	Med	Low
Chinese Pistache	Pistachia chinensis	Med	Low
Chitalpa	Chilopsis x catalpa	Med	Low
Shrubs:			
Blue Mist Spirea	Caryopteris x clandonensis	Low-Med	Low
Cherry Sage	Salvia greggi	Low-Med	Low
Curl Leaf Mountain	Mahogany Cercocarpus ledifolius	Low	Low
Dwarf Coyotebush	Baccharis 'Starn Thompson'	Low	Low
Three Leaf Sumac	Rhus trilobata	Low	Low
Russian Sage	Perovskia atriplicifolia	Med	Low
Butterfly Bush	Buddleia davidii	Med	Low

Ornamental Grasses:			
Bear Grass	Nolina macrocarpa	Low	Low
Regal Mist Muhly Grass	Muhlenbergia capillaris	Med	Low

Desert Accents:			
Banana Yucca	Yucca baccata	Low	Low
Red Flowering Yucca	Hesperaloe parviflora	Low	Low

Vines:			
Honeysuckle	Lonicera sempervirens	Med	Low

B. SETBACKS

The use of building and parking area setbacks is required to provide space for the creation of visually attractive streetscapes. Required within these setbacks will be pedestrian walkways, screening devices, and landscape improvements (refer to Landscape Standards). These measures are taken to ensure the aesthetic appeal of Bosque Plaza.

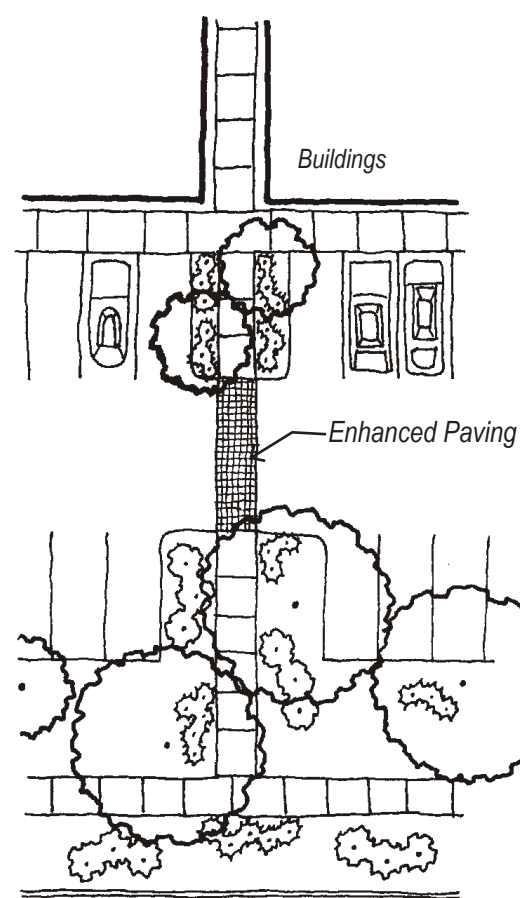
In order to comply with the Coors Corridor Sector Development Plan and create a pedestrian friendly environment along Bosque Plaza Lane, buildings shall be located on each site according to the following setback dimensions:

- 35 feet minimum from the Coors Boulevard R.O.W. per the Coors Corridor Sector Development Plan
- 20 feet minimum and 54' maximum adjacent to Bosque Plaza Lane.
- 0 or 5 feet minimum from internal lot lines in order to encourage continuous building facades

C. PARKING AND CIRCULATION

To create an aesthetically pleasing center, parking areas and pedestrian connections shall be designed as follows:

- The maximum allowed parking shall be equal to the required parking plus 10% unless approval by the Planning Director.
- ADA compliant parking shall be located adjacent to the building entry.
- For office and commercial buildings, pedestrian crossings shall be a minimum width of 6 feet. They shall be clearly demarcated with textured, colored concrete (with the exception of any existing crosswalks on Lot 10-A) and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. Shaded pedestrian access shall be provided, including a clear 6 foot-wide path with adjacent trees spaced approximately 25 feet on center with planters that have a minimum interior dimension of 6 feet square (or equivalent).
- For office and commercial buildings, a shaded sidewalk that is a minimum of 15 feet wide shall be provided along the entrance side of the building. For all other buildings, a standard sidewalk that is a minimum of 10 feet wide shall be provided along the entrance side of the building. Shade shall be provided at intervals of approximately 25 feet on center in planters with a minimum interior dimension of 5 six square feet square (or equivalent). Sidewalks shall be provided adjacent to and along the full length of the buildings in compliance with Section 14-16-3-1(G)(4) of the Zoning Code.
- For office and commercial buildings shaded patio space with outdoor seating shall be provided. The patio shall have adequate shading provided by trees and/or shade structure that integrates with building architecture.
- Restaurants shall have outdoor patio seating and dining.
- Convenient and direct connections shall be provided from each building to the internal circulation system and to adjacent roadways, sidewalks, and between adjacent buildings/lots.
- Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas.
- Motorcycle parking shall be provided at a minimum of 1 space per 25 vehicle spaces.
- Vehicular and pedestrian conflicts shall be minimized.
- Separate vehicle and pedestrian access shall be provided to individual lots.
- All crosswalks and internal (within the lots) crosswalks shall be enhanced and textured paving, which shall be defined as textured, colored concrete.

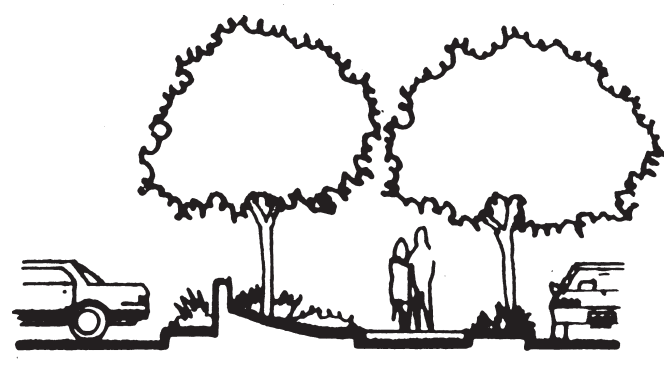


Pedestrian linkages shall be highlighted with enhanced paving and/or signage.

D. SCREENING WALLS AND FENCES

All walls shall be designed to comply with the Wall Regulations contained in the Comprehensive City Zoning Code. The effective use of screening devices for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding developments. When the site orientation causes service functions to face Coors Boulevard, the service area shall be screened with a four-foot fence.

The following are standards to ensure effective screening of negative elements:



Screen parking areas with a combination of plant materials, walls, and earthen berms

- Outdoor storage areas are prohibited.
- Chain link, barbed wire, and concertina wire are not allowed in Bosque Plaza.
- Security fences (for example, at back loading areas) cannot exceed four feet in height if the area is not incorporate into the building's architectural design. If the area appears to be an extension of the building (similar materials and color), the height is limited to 15'.
- Walls and fencing must be compatible with building architecture in terms of materials, colors, etc.
- No unfinished, flat-face CMU walls are permitted.

E. LIGHTING STANDARDS

1. General

- All lighting placement, safety, and illumination standards shall comply with the state and local regulations, provisions of the State of New Mexico's Night Sky Ordinance, and the Coors Corridor Plan.
- All light fixtures shall be fully shielded horizontal lamps with no light, lens, or bulb protruding below the bottom of the cut-off fixture in order that no fugitive light shall escape beyond the property line and no site lighting light source shall be visible from the site perimeter.
- Exterior elevations of any building fronting a street are encouraged to be lighted to enhance the identity of the building and to illuminate street addresses.
- High-pressure sodium lighting is prohibited.
- No uplighting permitted from free-standing or building-mounted fixtures or signs.
- Light poles within 25 feet of Bosque Plaza Lane shall be the same as internal street lights used in Riverside Plaza.

2. Height

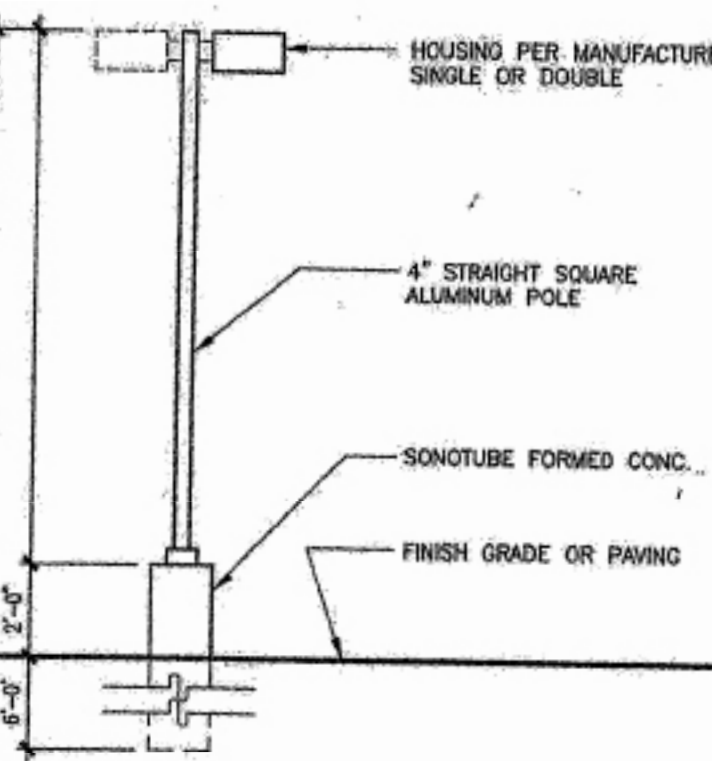
- 16 feet for all walkways and entry plazas.
- 20 feet for street lights and parking area lights (restricted to 16 feet within 150 feet of residential). The height of street lights and parking area lights shall be kept to a minimum necessary to meet safety requirements.

F. SIGNAGE STANDARDS

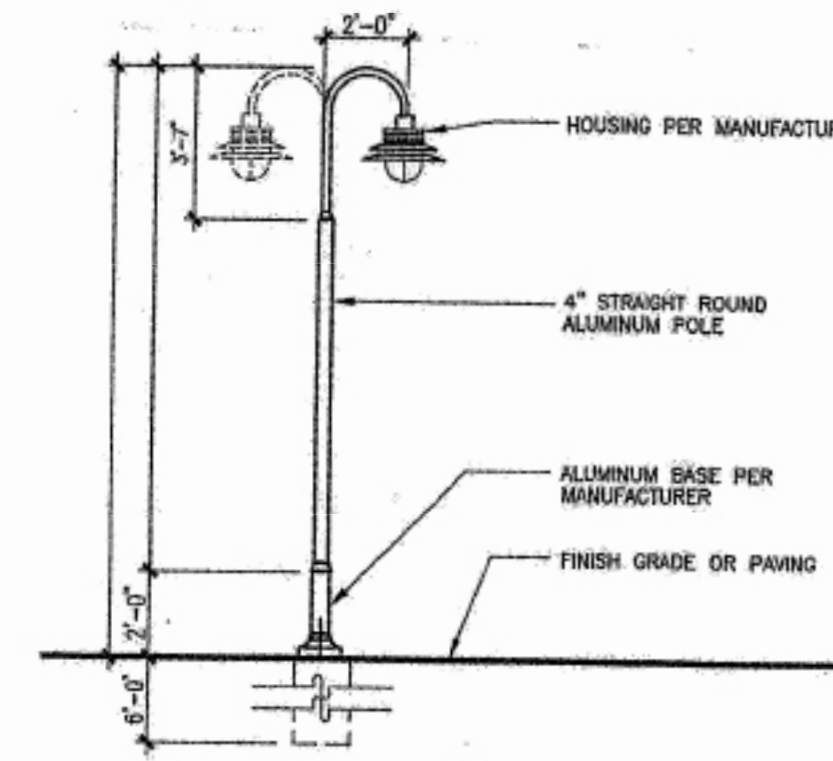
The signage standards were developed as reasonable criteria to regulate the size, location, type, and quality of sign elements within Bosque Plaza and are pursuant to the Coors Corridor Plan. A properly implemented signage program will serve four very important functions: to direct and inform employees and visitors; to provide circulation requirements and restrictions; to provide for public safety; and, to complement the visual character of the development.



Area lighting shall be used to highlight public spaces and walkways.



Sample of Parking Lot Light



Sample of Internal Street Light



Wall pocket lights

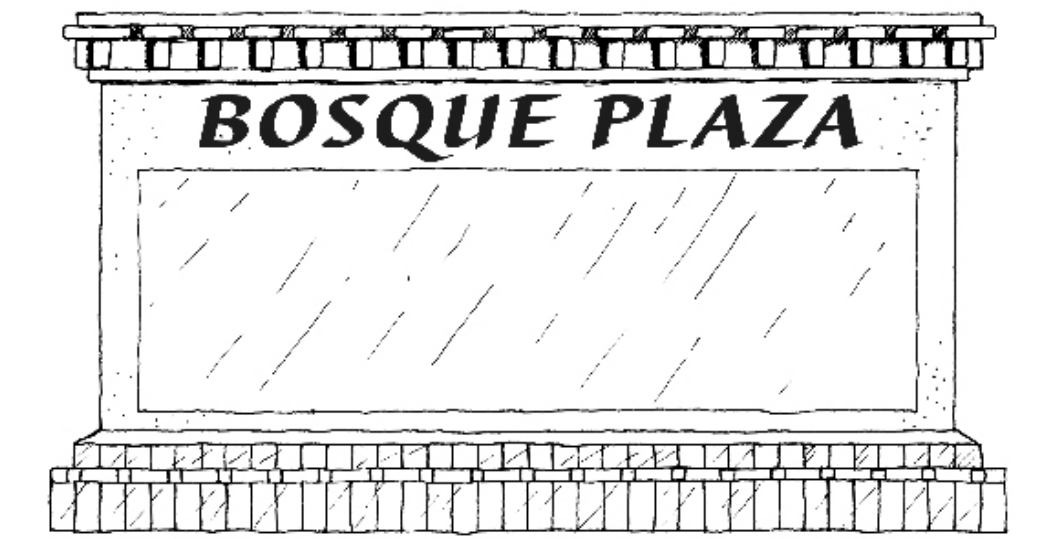
Signs at Bosque Plaza are limited to wall signs and free-standing monument signs. The following are general guidelines for signage design and placement:

1. General

- All signage shall be designed to be consistent with and complement the materials, color, and architectural style of the building or site location.
- All elements of a sign shall be maintained in a visually appealing manner.
- No sign shall overhang into the public right-of-way or extend above the building roof line.
- Lots adjacent to the internal roadway shall have either one free-standing business monument sign or one building mounted sign facing the roadway.

2. Free-Standing Signs

- Bosque Plaza is allowed one Project Entry signs at the access point on Coors Boulevard (NE corner of Bosque Plaza Lane and Coors Boulevard) The height of the free-standing Project Entry sign shall not exceed 9 feet. The size of the sign face shall not exceed 75 square feet, with a total of 10 items of information.
- Free-standing signs shall not require any external bracing, angle-iron supports, guy wires or similar devices.
- Monument sign design shall integrate with building architecture.
- Monument signs are also permitted for properties along Bosque Plaza Lane and shall not exceed 3 feet in height and 15 square feet in sign face area.



Sample Project Entry Sign

3. Building-Mounted Signs

- Individual building-mounted signs shall have an area not to exceed 6% of the facade to which it is applied.
- The height of a building-mounted sign shall not exceed the height of the wall to which it is attached.
- No signage permitted on east sides for buildings on Lots 1, 2, and 3 and south sides for buildings on Lots 2, 3, 4, 5, and 6.

4. Prohibited Signs

- No off-premise signs are allowed.
- No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights (including searchlights used for promotional events).
- Signs that are portable, fixed on a moveable stand, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are prohibited.
- Signs located on rocks, trees, or other natural features are prohibited.
- Vinyl banner signs, vehicles used as sign mediums, roof mounted signs, and time/temperature signs are prohibited.

DESIGN STANDARDS BOSQUE PLAZA

Prepared for:
La Orilla Group, LLC
5445 Edith Boulevard NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

G. SITE / ARCHITECTURAL OBJECTIVES

1. Site

The creation of an active pedestrian environment at Bosque Plaza is dependent upon creative site and architectural design. Individual sites within Bosque Plaza shall be linked together and to the surrounding neighborhoods. The relationship between the buildings and the street shall be key to providing a pedestrian oriented development.

- a. Parking areas shall be designed so that pedestrians walk parallel to moving cars. Site layout shall minimize the need for pedestrians to cross parking aisles and landscaped islands.
- b. Pedestrian linkages shall be clearly visible and highlighted with enhanced paving.
- c. Parking areas shall be designed to include a pedestrian link to the street sidewalk network.
- d. All pedestrian paths shall be designed to be accessible to the handicapped (See Americans with Disabilities Act criteria for barrier free design).
- e. Pedestrian access and circulation shall provide direct connections from sidewalks to building entrances that minimize pedestrian/vehicular conflicts. All pedestrian ways and paths shall be at least 6 foot clear and lined with shade trees in 6' x 6' (36 square feet) planters, spaced 25 feet on center.
- f. Only two drive-up service windows for fast food restaurants shall be permitted within Bosque Plaza. Drive-up service windows for fast-food restaurants shall require approval of a conditional use permit, pursuant to the City of Albuquerque Comprehensive Zoning Code. When determining the appropriateness of a drive up service window, the following criteria shall be examined:
 - 1. No drive up service window shall face Coors Boulevard.
 - 2. The drive up service window and stacking lane shall be screened from public view and shall be integrated with the architecture of the building it serves.
 - 3. A pedestrian crossing across the stacking lane shall be demarcated and shall be clearly visible and highlighted with enhanced paving.
 - 4. No drive up service window shall be placed within 150' of any residential zoning district.
- g. One additional drive-thru facility shall be permitted for a financial institution.
- h. No cell phone towers shall be permitted.

2. General Building Elements

- a. Buildings and structures erected within the site shall comply with all applicable zoning and building code requirements as well as other applicable codes.
- b. Building design and construction shall be used to create a structure with attractive sides of high quality, rather than placing all emphasis on the front elevation of the structure and neglecting or downgrading the aesthetic appeal of the side and rear elevations. Finished building materials must be applied to all exterior sides of buildings and structures.
- c. The staggering of planes and/or distinct articulation of building facade is required along an exterior wall elevation to create pockets of light and shadow, providing relief from monotonous expanses of individual facades.
- d. Windows and doors shall relate to the scale of the elevation on which they appear. The use of recessed openings helps to provide depth and contrast on elevation planes.
- e. The top of all rooftop equipment shall be below the top of parapet.

3. Architectural Style, Materials, and Colors

The architectural objective is to create a site that is visually integrated through the use of architectural styles and similarities of scale, proportion, massing, and color.

- a. All out buildings and canopies shall be architecturally integrated and compatible in material and design.
- b. Architectural styles are limited to Territorial and Territorial Revival only as described below:
 - 1. Territorial Design: flat-roofed, often with brick coping edging the parapet; earth-toned, usually one story; can be at least two rooms deep; often with a central hallway; multi-paned windows. Details include classic pedimented lintels over windows and doors; main entries with sidelights, sometimes shutters, and portales with squared, often chamfered, posts and no corbels. The Territorial architectural style began to develop after the opening of the Santa Fe Trail and roughly coincides with the historical period when New Mexico was a US territory.



Sample of Territorial Design

- 2. Territorial Revival: based on the fusion of New Mexican buildings with American trim developed when New Mexico became a territory; always flat-roofed with brick coping along the parapet; light-colored walls; and multi-paned windows. Details include classical wood trim (or metal, concrete, or other low maintenance material that is designed to have the appearance of wood), including shutters, awnings, pedimented lintels and squared porch posts, with sidelights and top lights at main entry.

3. Territorial Style Elements for larger buildings (Only applicable to Lot 1): It is understood that the height and massing of a larger building, necessitates a custom approach to the architectural design. All provisions of these Design Standards shall also apply to the proposed "larger building" on Lot 1. Key additional elements for Lot 1 shall include:

- Real brick coping along the top of the parapet;
- Real brick wainscoting is required on all four elevations; Primary color shall be light brown;
- Building entry highlighted with a shade canopy/portal (white);
- Multipaned windows, trimmed in white, shall be provided on first and second stories of building corners and middle of west elevation (as shown below);
- Night lighting shall be muted during non-business hours;
- Retail shall be provided at street level (minimum 1,500 sf., retail shall be independent of the storage business);
- Architectural features, including portals at corners and at the middle of the west and north elevations of, shall be provided (as shown below);
- Pedestrian oriented signage shall be provided at the SW corner of the building (as shown below); and
- An outdoor patio shall be provided and pedestrian benches at the portales along western and northern elevations.



Prototype Indoor Storage Facility (Lot 1 - NE Perspective)



Prototype Indoor Storage Facility (Lot 1 - SW Perspective)

- c. Shade structures (awnings, trellis, canopies) are permissible as an accent detail, provided that they are architecturally compatible to the building to which they are applied, shall be limited to colors that match the brick trim on buildings; and shall be made of materials that have a cloth-like appearance.
- d. Stucco shall be used as the primary surface treatment.
- e. The primary building colors shall be limited to warm medium browns (El Rey Stucco, Adobe 116 or equivalent) and beiges (El Rey Stucco, Sand 103 or equivalent). The middle range of reflectance is intended to avoid very light and very dark colors.
- f. No generic franchise building elevations are permitted.
- g. Architectural features or elements of a building shall be subject to the Coors Corridor Sector Development Plan View Preservation regulations (See Section J).
- h. Wainscoting shall be made of brick, stained concrete, real stone, cultured stone, or stucco. Colors shall be limited to red-brown, light brown or medium brown.

4. Prohibited Building Elements

- a. No freestanding cell towers or antenna shall be permitted; antenna shall be integrated into the building architecture.
- b. No plastic or vinyl: building panels, awnings, or canopies are permitted. Awnings and canopies shall be fabric integrated with building architecture, color scheme, and signage.
- c. No flags or other corporate decorations are permitted.
- d. Highly reflective surfaces (other than windows), exposed, untreated precision block walls, and materials with high maintenance requirements are undesirable and shall be avoided.

H. UTILITIES

To mitigate the negative visual image presented by some utility equipment and to ensure the overall aesthetic quality of Bosque Plaza:

- 1. All new electric distribution lines shall be placed underground.
- 2. When an above-ground backflow prevention device is required, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used they shall be appropriately screened from view by walls and/or landscaping.
- 3. Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and vegetation when viewed from the public right-of-way.

I. CODE COMPLIANCE

This Site Development Plan for Subdivision will comply with all requirements of the City and the Coors Corridor Sector Development Plan.

J. VIEW PRESERVATION

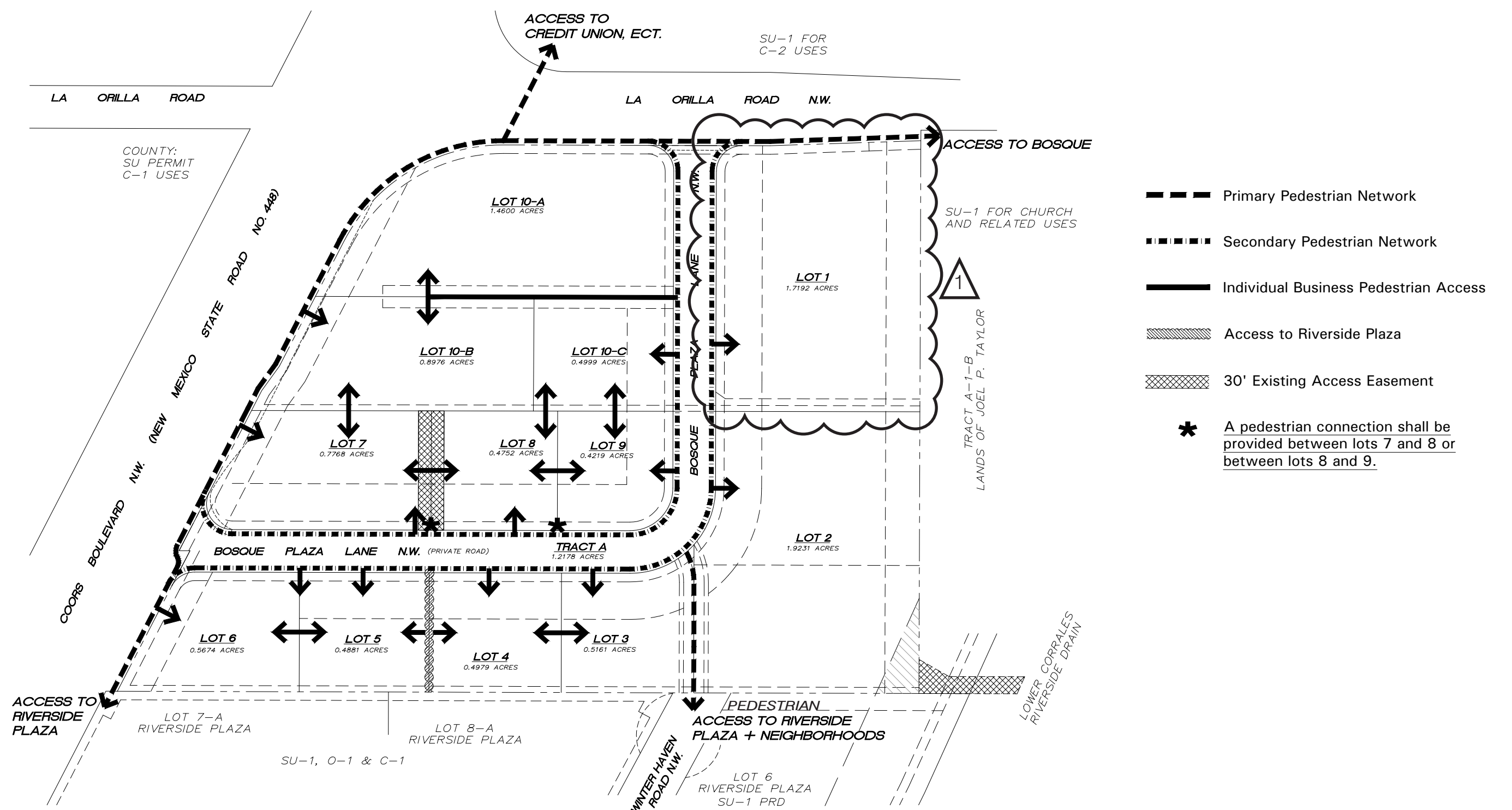
All buildings within the Bosque Plaza shopping center shall comply with the Coors Corridor Sector Development Plan (View Preservation for Corridor Segments 3 and 4). The procedures to ensure view preservation shall be followed as outlined within the Coors Corridor Sector Development Plan.

- 1. Bosque and mountain views shall be maintained from the site in accordance with the Coors Corridor Sector Development Plan view preservation regulations and shall generally be available from semi-public locations such as patios, outdoor seating areas and intersections. The design of these features shall ensure that views are preserved and even enhanced.

K. SIDEWALKS / BIKEWAYS

To encourage and enhance the pedestrian nature of Bosque Plaza, sidewalks and/or bikeways are required in certain areas as an integral element of the streetscape. Pedestrian connections shall be provided to physically connect the parcels adjacent to Coors Boulevard.

- 1. Sidewalks shall be provided along the interior private drive at a minimum of 6 foot in width and shaded by trees planted 25 feet on center.
- 2. Access to the Bosque trail system shall be from La Orilla.
- 3. A sidewalk shall be provided along Coors Boulevard, which will connect to Bosque Plaza at several points. The Coors Corridor Plan encourages both pedestrian and bikeways facilities and it is the intent to provide these facilities. The following Pedestrian Plan illustrates the connectivity and pedestrian orientated environment that Bosque Plaza will provide.
- 4. To mitigate instance of pedestrian/vehicle conflict, a pedestrian trail shall be provided from Bosque Plaza Lane into each lot.



PEDESTRIAN PLAN
BOSQUE PLAZA

- 5. Coordination with Lots 7A and 8A in the Riverside Plaza will be required to accommodate the pedestrian connection between lots 4 and 5 and Bonterra Trail.
- 6. A pedestrian access similar to that on Lot 6 shall be provided to Coors Boulevard from Lot 10-B, which is approximately the mid-point of Bosque Plaza frontage along Coors Boulevard.

L. PEDESTRIAN PLAN

To encourage and enhance the pedestrian nature of Bosque Plaza, the adjacent Pedestrian Plan is added to demonstrate the pedestrian connections to and from the site and the connections within the site that will provide for pedestrian movement.

- 1. The Primary Pedestrian Network is illustrated along Coors Boulevard and La Orilla Road. This provides for access along Coors Boulevard and La Orilla Road, toward the Bosque. This Primary Pedestrian Network also provides necessary connections to individual properties along Coors Boulevard, in addition to Bosque Plaza Lane.
- 2. Bosque Plaza Lane provides a Secondary Pedestrian Network on both sides of the street and to individual lots along the roadway. As indicated on the Plan, over ten pedestrian connections are provided from Bosque Plaza Lane to individual lots.
- 3. Individual Business Pedestrian Access is also indicated on the Plan. The Plan also provides for connections between each of the lots and to adjacent properties.
- 4. Future pedestrian access is indicated on the Plan between Lots 4 and 5 from these lots and Bosque Plaza Lane to Riverside Plaza to the south.
- 5. Pedestrian only access is indicated on the Plan from Winterhaven Road to Bosque Plaza Lane. <Per condition #4, original Notice of Decision>
- 6. To comply with the Coors Corridor Sector Development Plan, pedestrian access for individual businesses shall not be via drive aisles and shall be provided separately from vehicular access.

DESIGN STANDARDS
BOSQUE PLAZA

Prepared for:
La Orilla Group, LLC
5445 Edith Boulevard NE
Albuquerque, NM 87107

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

September 6, 2006
Amended 1/12/2017

Sheet 3 of 3