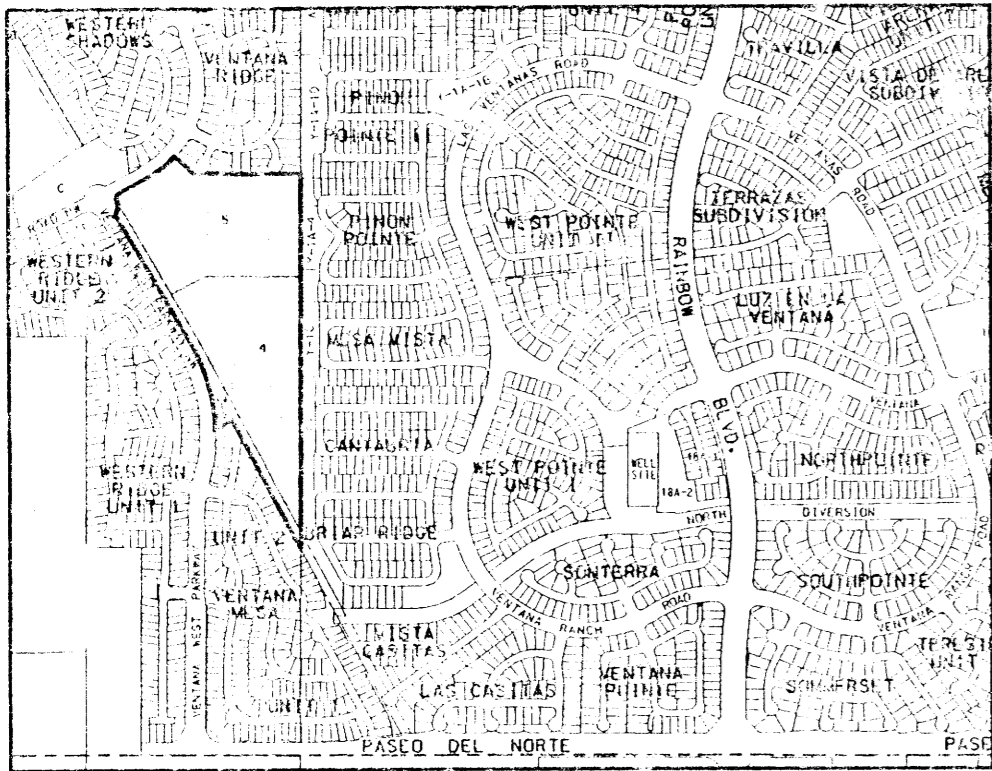


DESCRIPTION

FREE CONSENT AND DEDICATION



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE
SUBDIVISION DATA

- 1. DRB No. 1004173
2. Zone Atla. Index Nos. B-8-Z; Zoning: RL.T.
3. Gross Subdivision Acreage: 33.7594 Acres
4. Total Number of Tracts Created: One hundred Twenty-eight (128) Lots & Seven (7) Tracts.
5. Total Mileage of Full Width Public Streets created: 0.013 mile.
6. Total Mileage of Full Width Private Streets created: 0.972 mile.
7. Date of Survey: December, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in monumentation to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16-169".
6. This subdivision will have a Sub Home-owners Association to the Ventana Ranch West Community Association referred to as the Ventana Vista Homeowners Subassociation.
7. Tracts B, C, E, & F are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
8. Tracts B and C are subject to a blanket public Sanitary Sewer Easement granted to NMU and City of Albuquerque with the filing of this plat.
9. Tracts B, C, & F are subject to a blanket public Drainage Easement granted to City of Albuquerque with the filing of this plat.
10. Tracts B, C, E & F are subject to a blanket public Utility Easement granted with the filing of this plat.
11. Tract E is subject to a blanket public waterline easement granted to City of Albuquerque and NMU with the filing of this plat.
12. All interior streets (Tract A) are private to be granted to and maintained by the Ventana Ranch West Community Association and its assigns by separate document.
13. Tract A is subject to a blanket Public Sanitary Sewer and Water Easement granted to NMU and City of Albuquerque with the filing of this plat. Tract A is also subject to a blanket Private Access Easement to be maintained by the Ventana Ranch West Community Association and a Public Drainage Easement and Public Utility Easement granted with the filing of this plat.
14. Existing Tracts 5 & D-2 are subject to an existing thirty foot wide floating Public Storm Drain Easement (to be located perpendicular to existing pipelines) granted to the City of Albuquerque by plat filed: March 11, 2004 in Book 2004C, Page 84. Easement vacated by Vacation Action 05DRB 01192.
15. Existing Tracts 5 & D-2 are subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. Easement vacated by Vacation Action 05DRB 01192.
16. Tracts D-2-A & D-2-B are subject to an existing blanket private access and landscape easement granted to and maintained by Ventana Ranch West Community Association over Tract D of the Bulk Land Plat of Ventana Ranch West March 11, 2004 in book 2004C, Page 84.
17. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
18. No individual lots or tracts shall be allowed direct access to Ventana West Parkway NW, Ventana Ridge Road NW, and/or adjacent open space tracts.
19. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset.
20. Three (3) foot private drainage easements parallel to side lot lines as shown are granted with the filing of this plat.
21. Existing Tract D-2 is subject to a fifty foot wide PNM encroachment agreement filed: February 24, 2005 in Book A92, page 6249 as Document no. 2005020056.

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being and comprising all of Tracts 4 & 5 of the Bulk Land Plat of Ventana Ranch West filed in Book 2004C, Page 84 on March 11, 2004 in the office of the Bernalillo County Clerk, and Tract D-2 of the Plat of Tracts D-1 & D-2 Ventana Ranch West, Albuquerque, New Mexico as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on April 28, 2005 filed in Book 2005C, Page 130, being more particularly described as follows:

BEGINNING at the southerly corner of said Tract D-2, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "UNION 1963", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=363,409.02" and Y=1,523,440.96" bears S29°33'38"E a distance of 2,506.41 feet;

THENCE along the westerly line of said Tract D-2, N27°16'48"W a distance of 905.10 feet to an angle point;

THENCE continuing along said westerly line of Tract D-2, S62°43'12"W a distance of 118.36 feet, to a point on the easterly right-of-way line of Ventana West Parkway NW, a point of curvature;

THENCE continuing along said westerly line of said Tract D-2, and the easterly right-of-way line of said Ventana West Parkway NW, along a curve to the left that has an arc length of 563.74 feet, a radius of 1149.00 feet, a central angle of 28°06'41", and a chord of N15°09'38"W a distance of 556.10 feet to a point of tangency, point being on the westerly line of said Tract D-2, and the easterly right-of-way line of Ventana West Parkway NW;

THENCE along said westerly line of said Tract D-2 and the easterly right-of-way line of said Ventana West Parkway NW, N29°13'18"W a distance of 924.69 feet to the northeast corner of said Tract D-2;

THENCE along the northerly line of said Tract D-2 & said easterly right-of-way line, N15°46'42"E a distance of 70.71 feet to a point on the westerly line of said Tract 5;

THENCE leaving said Tract D-2 and running along the westerly line of said Tract 5 & the easterly line of Ventana West Parkway, N29°13'18"W a distance of 12.07 feet to a point of curvature;

THENCE continuing along said westerly line of said Tract 5, and leaving the easterly right-of-way line of said Ventana West Parkway NW, and running along Ventana Ridge Road NW, along a curve to the right that has an arc length of 78.5 feet, a radius of 50.00 feet, a central angle of 90°00'00", and a chord of N15°46'42"E a distance of 70.71 feet to a point of tangency, point being on the northerly line of said Tract 5, and the southerly right-of-way line of Ventana Ridge Road NW;

THENCE along the northerly line of said Tract 5 & the southerly right-of-way line of Ventana Ridge Road NW, N60°46'42"E a distance of 177.00 feet to a point of curvature;

THENCE along northerly line of Tract 5 & said southerly right-of-way line of Ventana Ridge Road NW, along a curve to the left that has an arc length of 221.15 feet, a radius of 688.00 feet, a central angle of 18°25'02", and a chord of N51°34'11"E a distance of 220.20 feet to a point on the northerly corner of said Tract 5;

THENCE continuing along said northerly line of said Tract 5, and leaving right-of-way line of said Ventana Ridge Road NW, S47°38'20"E a distance of 162.00 feet to a point on the northerly line of Tract 5;

THENCE continuing along the northerly line of said Tract 5, S89°39'17"E a distance of 652.43 feet to the northeast corner of said Tract 5;

THENCE along the easterly line of Tract 5, S00°20'43"W a distance of 2,352.72 feet to the POINT OF BEGINNING.

Tract contains 33.7584 acres of land, more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 4 & 5 of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, and Tract D-2 of the Plat of Tracts D-1 & D-2 Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on April 28, 2005 in Book 2005C, Page 130 as Document No. 2005058453 now comprising Lots 1 through 128 inclusive, and Tracts A, B, C, D-2-A, D-2-B, E and F, VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. A permanent access easement is granted across all of Tract A of this plat. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC. (Tracts 4 & 5)

Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 13 day of February 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 10-24-07 Stephanie L. Stratton, Notary Public

VENTANA WEST, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (Tracts 4 & 5)

Robert M. Murphy, President Sandia Properties Ltd., Co. Managing Member

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 13th day of Feb. 2006, by Robert M. Murphy, President of Sandia Properties Ltd., Co. a New Mexico limited liability company, Managing Member of Ventana West, LLC a New Mexico Limited Liability Company.

My Commission Expires: 10-11-08 Lisa K. Kilbreth, Notary Public

DISCLOSURE STATEMENT

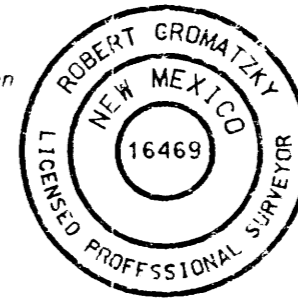
The purpose of this Plat is to subdivide all of Tracts 4 & 5, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 and Tract D-2 of the Plat of TRACTS D-1 & D-2 VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on April 28, 2005 in Book 2005C, Page 130 as Document No. 2005058453 into one hundred Twenty-eight (128) lots and Seven (7) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to vacate easements and to grant easements.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky, Robert Gromatzky, New Mexico Professional Surveyor 16469

Date: February 10, 2006



SHEET 1 OF 7



PLAT OF VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST (A REPLAT OF TRACTS 4, 5 & D-2 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO FEBRUARY, 2006

PROJECT NUMBER 1004173
APPLICATION NUMBER 06DRB-00215

FLAT APPROVAL

- UTILITY APPROVAL: Stephanie L. Stratton, 2-21-06
WEST: Kristin Carlson, 2-21-06
CUMCAST CABLE: David D. Mark, 2-21-06
PNM ELECTRIC SERVICES: David D. Mark, 2-21-06
PNM GAS SERVICES: [Signature], 2-21-06
NEW MEXICO UTILITIES, INC.: [Signature], 2-21-06

CITY APPROVAL: [Signature], 2-13-06
CITY SURVEYOR: [Signature], 2-22-06

- TRAFFIC ENGINEERING & TRANSPORTATION DIVISION: [Signature], 2/22/06
UTILITIES DEVELOPMENT: Christina Sandoval, 2/22/06
PARKS & RECREATION DEPARTMENT: Bradley J. Bingham, 2/22/06
A.M.A.F.C.A.: Bradley J. Bingham, 2/22/06
CITY ENGINEER: Andrew Garcia, 2-23-06
DRG CHAIRPERSON, PLANNING DEPARTMENT: [Signature], 2-23-06
REAL PROPERTY DIVISION: [Signature], 2/13/06
VENTANA RANCH WEST COMMUNITY ASSOCIATION: [Signature]

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # [Number]

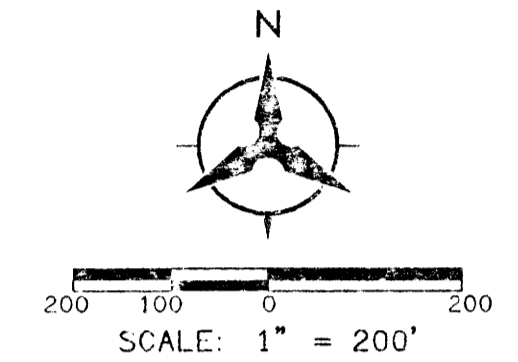
PROPERTY OWNER OF RECORD: Ventana West LLC
BERNALILLO COUNTY TREASURER'S OFFICE: [Signature]

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.



Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**PLAT OF
 VENTANA VISTA
 SUBDIVISION
 AT VENTANA RANCH WEST**
 (A REPLAT OF TRACTS 4, 5 & D-2
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006

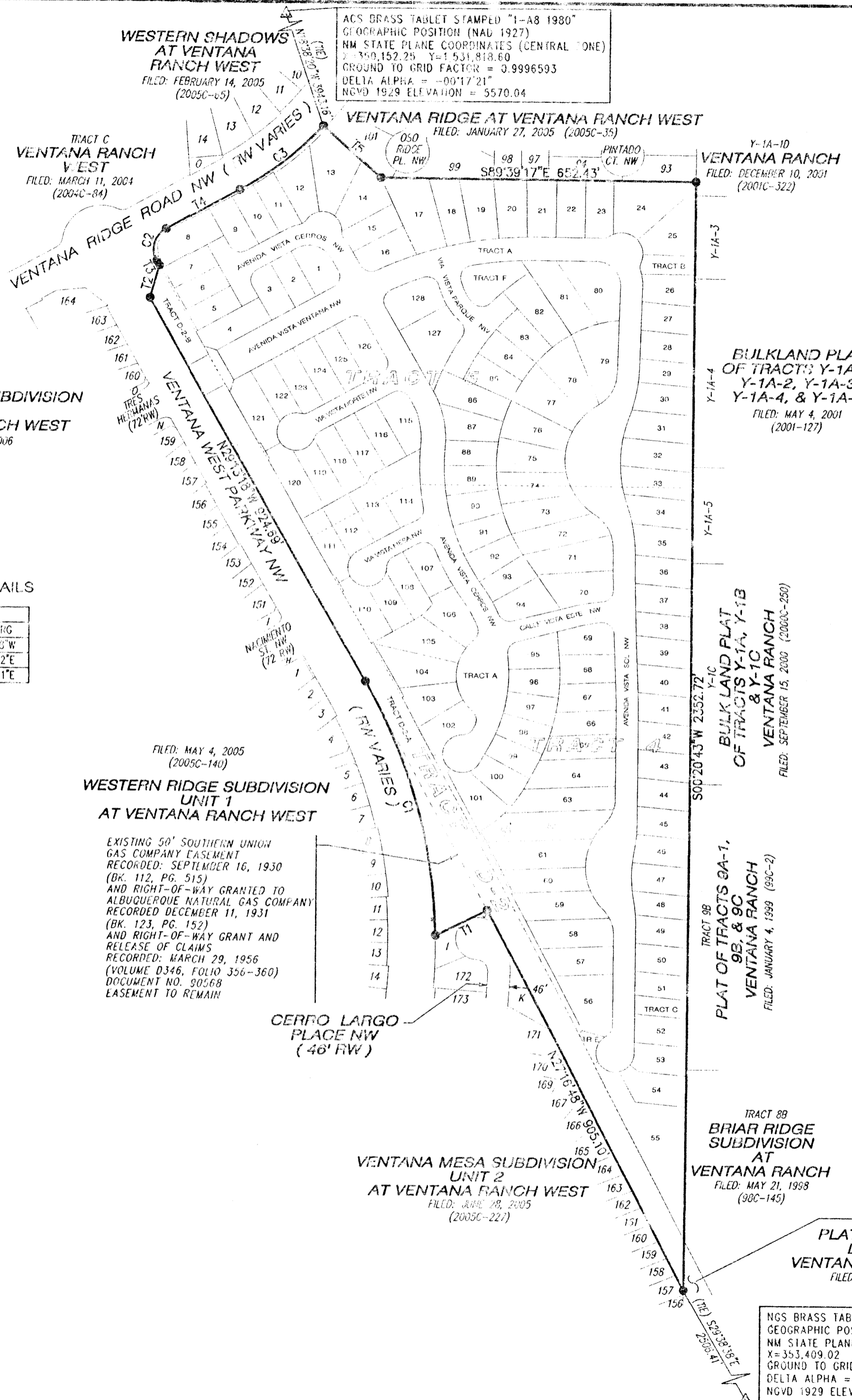


LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- SECTION LINE
- RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



ACS BRASS TABLE STAMPED "1-A8 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,818.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04

NGS BRASS TABLE STAMPED "UNION 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=353,409.02 Y=1,523,440.96
 GROUND TO GRID FACTOR = 0.99966044
 DELTA ALPHA = -00°16'53"
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

WESTERN RIDGE SUBDIVISION
 UNIT 2
 AT VENTANA RANCH WEST
 FILED: JANUARY 19, 2006
 (2005C-13)

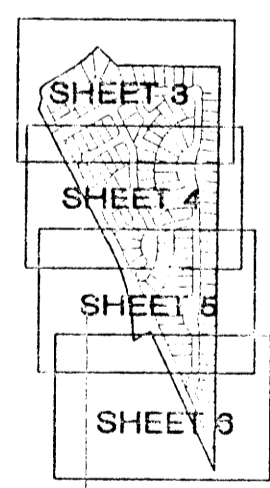
WESTERN RIDGE SUBDIVISION
 UNIT 1
 AT VENTANA RANCH WEST

EXISTING 50' SOUTHERN UNION
 GAS COMPANY EASEMENT
 RECORDED: SEPTEMBER 16, 1930
 (BK. 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO
 ALBUQUERQUE NATURAL GAS COMPANY
 RECORDED DECEMBER 11, 1931
 (BK. 123, PG. 152)
 AND RIGHT-OF-WAY GRANT AND
 RELEASE OF CLAIMS
 RECORDED: MARCH 29, 1956
 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90568
 EASEMENT TO REMAIN

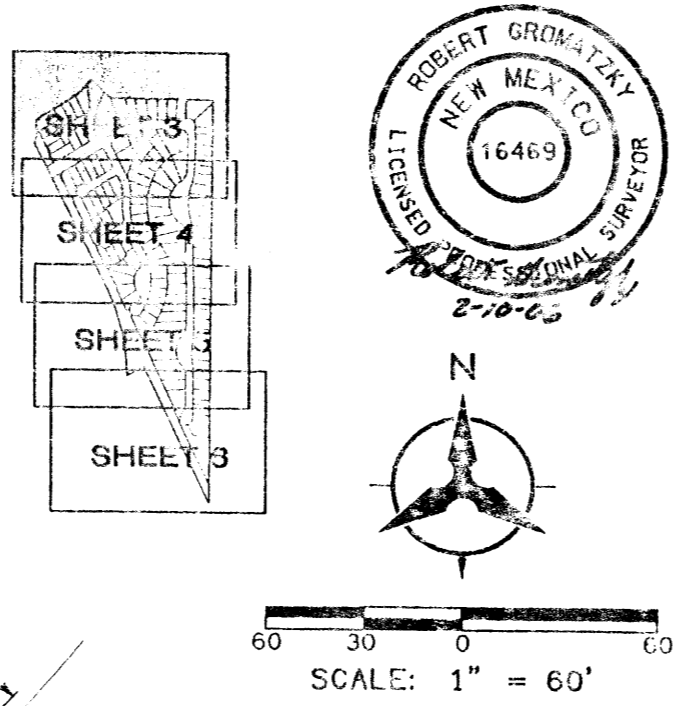
NOTE: TABLES ARE FOR THIS SHEET ONLY
 SEE SHEETS 3 THRU 6 FOR SUBDIVISION DETAILS

| Curve Data | | | | | | |
|------------|-----------|---------|---------|----------|---------|-------------|
| ID | DELTA | TANGENT | ARC | RADIUS | CHORD | CHORD BRG. |
| C1 | 28°06'41" | 267.66' | 563.74' | 1149.00' | 558.10' | N15°09'50"W |
| C2 | 5°09'00" | 50.00' | 78.54' | 50.00' | 70.71' | N15°46'42"E |
| C3 | 18°25'02" | 111.54' | 221.15' | 688.00' | 220.20' | N51°34'11"E |

| Tangent Data | | |
|--------------|-------------|----------|
| ID | BEARING | DISTANCE |
| T1 | S62°43'12"W | 118.36' |
| T2 | N15°46'42"E | 70.71' |
| T3 | N29°13'18"W | 12.07' |
| T4 | N60°46'42"E | 177.00' |
| T5 | S47°38'20"E | 162.00' |



ACS BRASS TABLE STAMPED "1-A8 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,819.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04

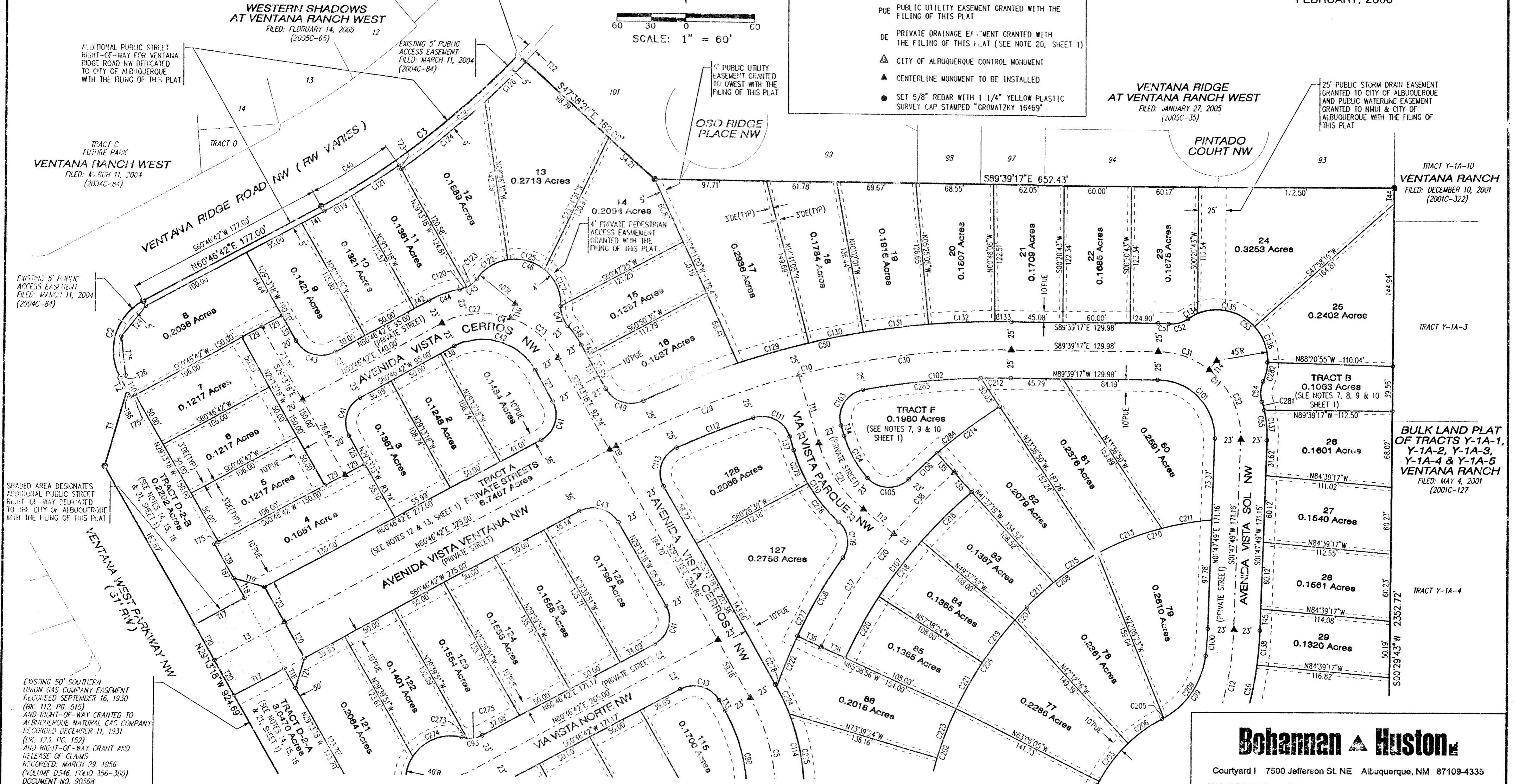


| LEGEND | |
|--------|--|
| | SUBDIVISION BOUNDARY LINE |
| | NEW LOT LINE |
| | CENTERLINE |
| | PROPOSED EASEMENT LINE |
| | EXISTING EASEMENT LINE |
| | ADJOINING PROPERTY LINE |
| | EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT |
| | DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1) |
| | CITY OF ALBUQUERQUE CONTROL MONUMENT |
| | CENTERLINE MONUMENT TO BE INSTALLED |
| | SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" |

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 Page: 3 of 7
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 Bk-2866C Pg-61

Mary Herrera Bern. Co. PLAT R 37.00

PLAT OF VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 4, 5 & D-2 VENTANA RANCH WLST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006



SHADE AREA DESIGNATES ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK 112, PG 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK 123, PG 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**PLAT OF
 VENTANA VISTA
 SUBDIVISION
 AT VENTANA RANCH WEST**
 (A REPLAT OF TRACTS 4, 5 & D-2
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006

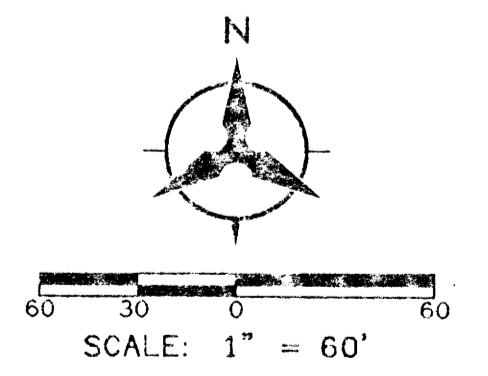
TRACT Y-1A-4



**BULK LAND PLAT
 OF TRACTS Y-1A-1,
 Y-1A-2, Y-1A-3,
 Y-1A-4 & Y-1A-5
 VENTANA RANCH**
 FILED: MAY 4, 2001
 (2001C-127)

| LEGEND | |
|--------|--|
| | SUBDIVISION BOUNDARY LINE |
| | NEW LOT LINE |
| | CENTERLINE |
| | PROPOSED EASEMENT LINE |
| | EXISTING EASEMENT LINE |
| | ADJOINING PROPERTY LINE |
| | EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT |
| | DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1) |
| | CITY OF ALBUQUERQUE CONTROL MONUMENT |
| | CENTERLINE MONUMENT TO BE INSTALLED |
| | SET 5/8" PEGBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" |

TRACT Y-1A-5
 BULK LAND PLAT
 OF TRACTS Y-1A, Y-1B & Y-1C
 VENTANA RANCH
 FILED: SEPTEMBER 15, 2000 (2000C-155)



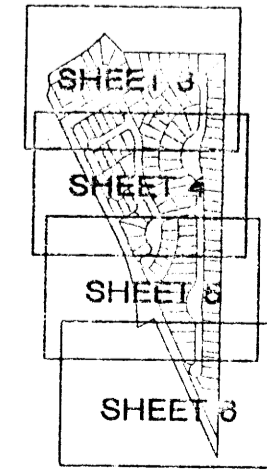
SHADED AREA DESIGNATES
 ADDITIONAL PUBLIC STREET
 RIGHT-OF-WAY DEDICATED
 TO THE CITY OF ALBUQUERQUE
 WITH THE FILING OF THIS PLAT

4" PRIVATE PEDESTRIAN
 ACCESS EASEMENT
 GRANTED WITH THE
 FILING OF THIS PLAT

4" PRIVATE PEDESTRIAN
 ACCESS EASEMENT
 GRANTED WITH THE
 FILING OF THIS PLAT

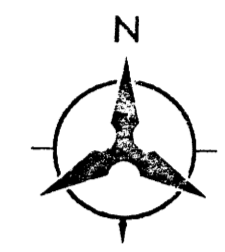
**WESTERN RIDGE
 SUBDIVISION
 UNIT 1 AT
 VENTANA RANCH WEST**
 FILED: MAY 4, 2005
 (2005C-140)

EXISTING 50' SOUTHERN
 UNION GAS COMPANY EASEMENT
 RECORDED SEPTEMBER 16, 1930
 (BK 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO
 ALBUQUERQUE NATURAL GAS COMPANY
 RECORDED DECEMBER 11, 1931
 (BK 123, PG. 182)
 * A RIGHT-OF-WAY GRANT AND
 RELEASE OF CLAIMS
 RECORDED: MARCH 29, 1956
 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90366



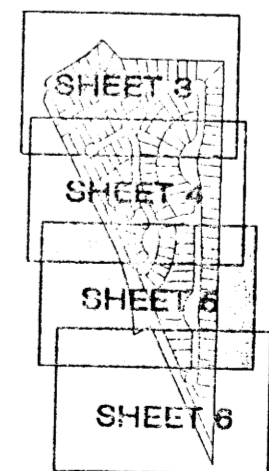
Bohannon & Huston
 7501 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**PLAT OF
 VENTANA VISTA
 SUBDIVISION
 AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 4, 5 & D-2
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006**



SCALE: 1" = 60'

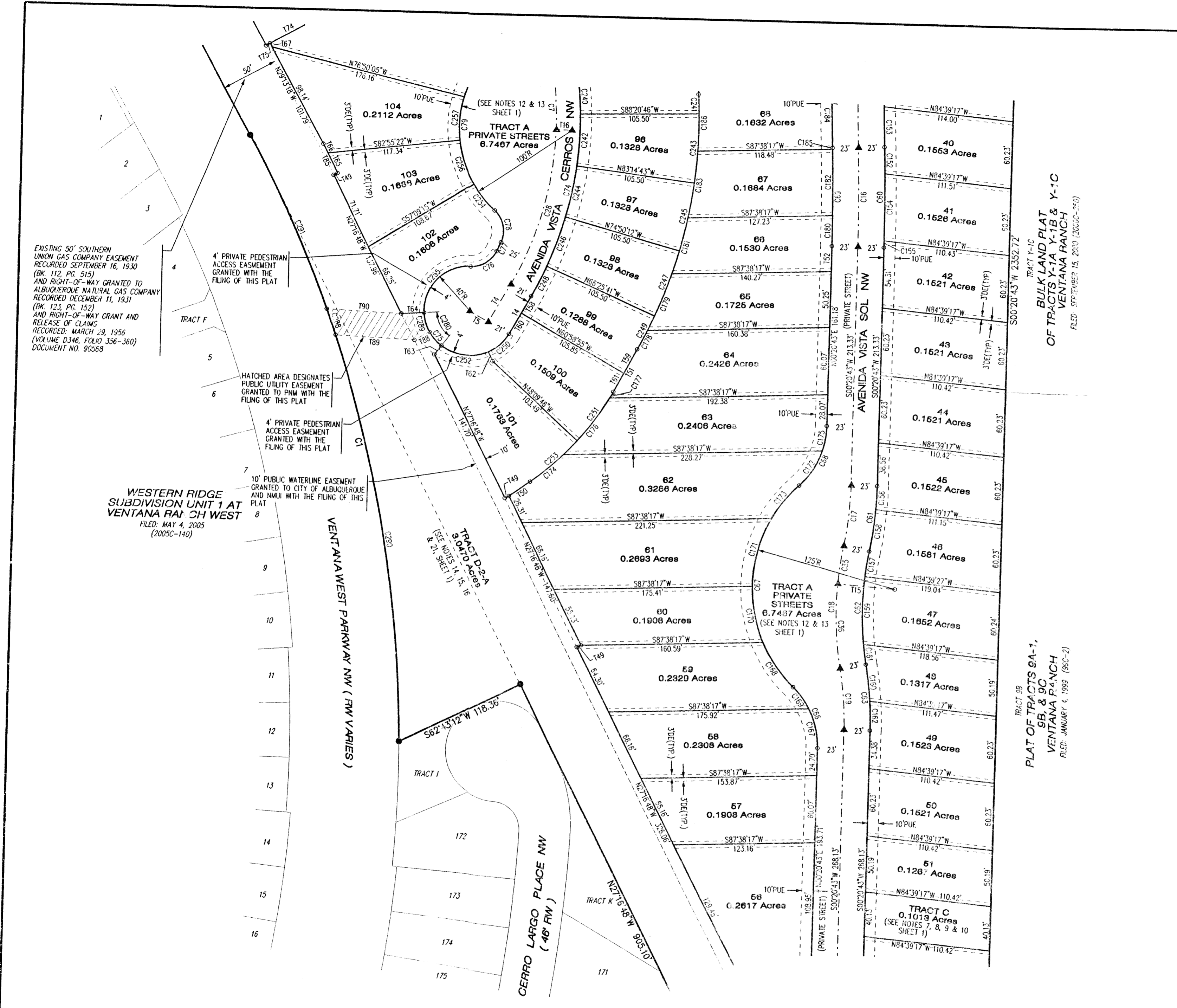
| LEGEND | |
|--------|--|
| | SUBDIVISION BOUNDARY LINE |
| | NEW LOT LINE |
| | CENTERLINE |
| | PROPOSED EASEMENT LINE |
| | EXISTING EASEMENT LINE |
| | ADJOINING PROPERTY LINE |
| | EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT |
| | DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1) |
| | CITY OF ALBUQUERQUE CONTROL MONUMENT |
| | CENTERLINE MONUMENT TO BE INSTALLED |
| | SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" |



Bohannon & Huston

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SHEET 5 OF 7



EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

4' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

HATCHED AREA DESIGNATES PUBLIC UTILITY EASEMENT GRANTED TO PNM WITH THE FILING OF THIS PLAT

4' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

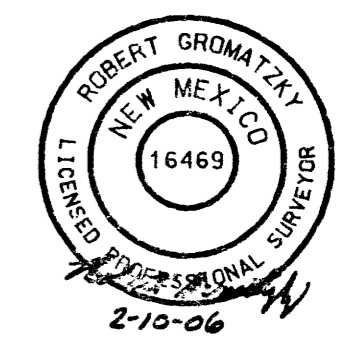
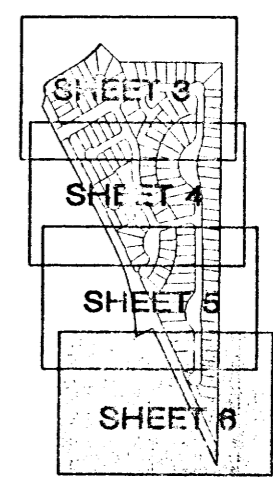
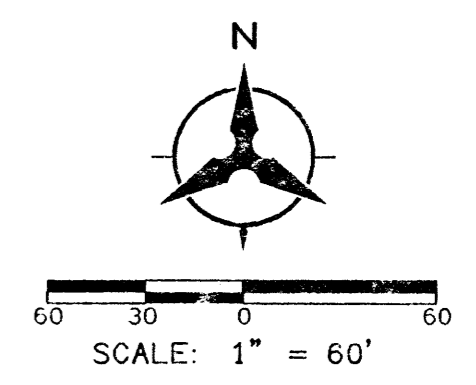
WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST
 FILED: MAY 4, 2005 (2005C-140)

TRACT D-2-A
 8.0470 Acres
 (SEE NOTES 14, 15, 16 & 21, SHEET 1)

TRACT A PRIVATE STREETS
 6.7487 Acres
 (SEE NOTES 12 & 13 SHEET 1)

TRACT 99
 PLAT OF TRACTS 9A-1, 9B, & 9C
 VENTANA RANCH
 FILED: JANUARY 4, 1999 (99C-2)

PLAT OF VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 4, 5 & D-2 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006



| LEGEND | |
|--------|--|
| | SUBDIVISION BOUNDARY LINE |
| | NEW LOT LINE |
| | CENTERLINE |
| | PROPOSED EASEMENT LINE |
| | EXISTING EASEMENT LINE |
| | ADJOINING PROPERTY LINE |
| | EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT |
| | DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1) |
| | CITY OF ALBUQUERQUE CONTROL MONUMENT |
| | CENTERLINE MONUMENT TO BE INSTALLED |
| | SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" |

VENTANA MESA SUBDIVISION UNIT 2 AT VENTANA RANCH WEST
 FILED: JUNE 28, 2005
 (2005C-227)

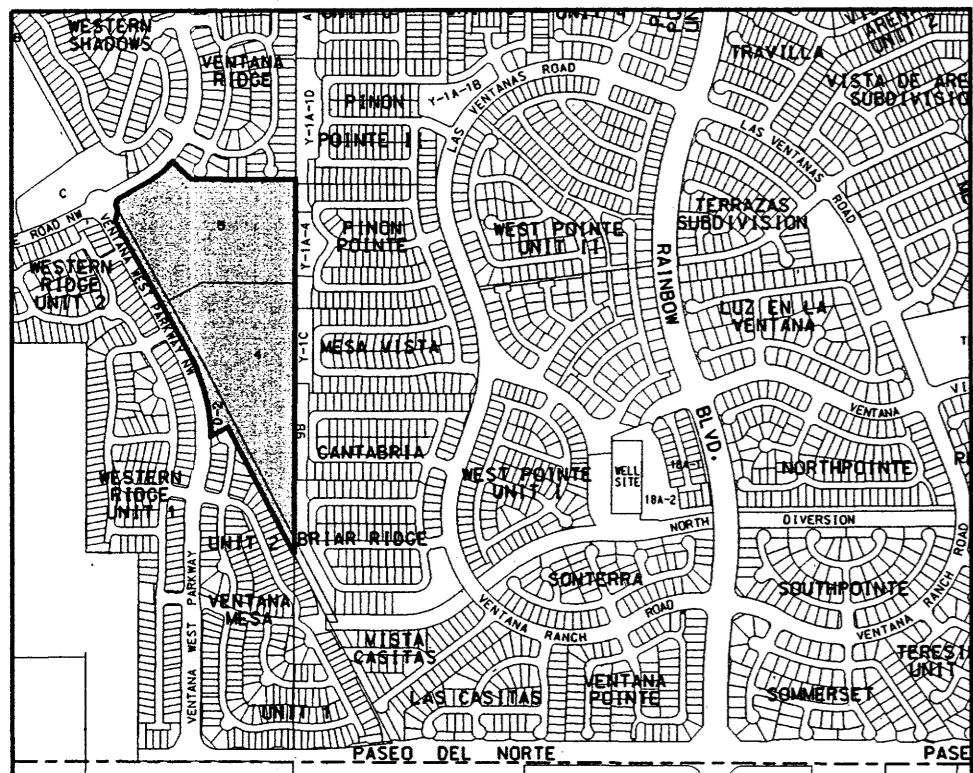
EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FGLIO 356-360) DOCUMENT NO. 90568

NGS BRASS TABLET STAMPED "UNION 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=353,409.02 Y=1,523,440.96
 GROUND TO GRID FACTOR = 0.99966044
 DELTA ALPHA = -00'16"58"
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

Bohannon & Huston
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 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CURVE DATA

| ID | DELTA | TANGENT | ARC | RADIUS | CHORD | CHORD BRG | ID | DELTA | TANGENT | ARC | RADIUS | CHORD | CHORD BRG |
|-----|------------|---------|---------|----------|---------|-------------|------|-----------|---------|---------|----------|---------|-------------|
| C1 | 28°06'41" | 287.66' | 563.74' | 1149.00' | 558.10' | N15°09'58"W | C101 | 91°30'14" | 52.34' | 81.43' | 50.99' | 73.05' | N45°01'27"W |
| C2 | 90°00'00" | 50.00' | 78.54' | 50.00' | 70.71' | N15°46'42"E | C102 | 11°05'57" | 65.58' | 130.76' | 675.00' | 130.55' | S84°47'45"W |
| C3 | 18°25'02" | 111.54' | 221.15' | 688.00' | 220.20' | N51°34'11"E | C103 | 95°55'43" | 27.73' | 41.86' | 25.00' | 37.14' | S31°16'55"W |
| C4 | 90°00'00" | 75.00' | 117.81' | 75.00' | 106.07' | S74°13'18"E | C104 | 25°33'35" | 22.00' | 43.27' | 97.00' | 42.91' | S29°27'44"E |
| C5 | 34°31'57" | 55.95' | 108.49' | 180.00' | 106.85' | S11°57'19"E | C105 | 93°20'53" | 26.51' | 40.73' | 25.00' | 36.37' | S88°54'58"E |
| C6 | 40°01'24" | 171.54' | 329.01' | 471.00' | 322.36' | S14°41'59"E | C106 | 03°58'06" | 17.11' | 34.21' | 494.00' | 34.21' | N46°23'39"E |
| C7 | 63°43'46" | 186.48' | 333.69' | 300.00' | 316.75' | S02°50'48"E | C107 | 24°01'33" | 95.33' | 187.86' | 448.00' | 186.49' | S36°21'55"W |
| C8 | 18°16'47" | 52.29' | 103.69' | 325.00' | 103.25' | N84°34'05"E | C108 | 09°23'32" | 40.58' | 80.98' | 494.00' | 80.89' | N29°02'53"E |
| C9 | 15°14'26" | 26.76' | 53.20' | 290.00' | 53.04' | N68°23'56"E | C109 | 80°57'30" | 21.34' | 35.32' | 25.00' | 32.46' | N06°44'06"W |
| C10 | 29°34'01" | 184.73' | 361.23' | 700.00' | 357.23' | N75°33'43"E | C110 | 30°31'55" | 39.03' | 76.20' | 143.00' | 75.30' | N31°56'53"W |
| C11 | 91°27'06" | 76.92' | 119.71' | 75.00' | 107.40' | S43°55'44"E | C111 | 92°32'42" | 26.14' | 40.38' | 25.00' | 36.13' | N62°57'17"W |
| C12 | 19°02'26" | 50.31' | 99.70' | 300.00' | 99.24' | S11°19'02"W | C112 | 06°07'28" | 36.11' | 72.15' | 675.00' | 72.12' | S67°42'38"W |
| C13 | 39°25'46" | 107.50' | 206.45' | 300.00' | 202.40' | S01°07'22"W | C113 | 93°52'11" | 26.75' | 40.96' | 25.00' | 36.53' | S17°42'48"W |
| C14 | 18°19'27" | 48.39' | 95.95' | 300.00' | 95.54' | S09°25'47"E | C114 | 34°31'57" | 63.72' | 123.56' | 205.00' | 121.69' | S11°57'19"E |
| C15 | 01°56'58" | 136.11' | 272.20' | 8000.00' | 272.19' | S01°14'33"E | C115 | 40°01'24" | 162.43' | 311.55' | 446.00' | 305.25' | S14°41'59"E |
| C16 | 02°33'45" | 44.73' | 89.45' | 2000.00' | 89.44' | S00°56'09"E | C116 | 11°58'25" | 34.08' | 67.92' | 325.00' | 67.80' | S28°43'28"E |
| C17 | 10°28'31" | 27.50' | 54.85' | 300.00' | 54.77' | S05°34'59"W | C117 | 81°50'04" | 21.67' | 35.71' | 25.00' | 32.75' | S63°39'17"E |
| C18 | 20°57'02" | 55.47' | 109.70' | 300.00' | 109.09' | S00°20'43"W | C118 | 10°17'09" | 31.23' | 62.29' | 347.00' | 62.21' | N80°34'16"E |
| C19 | 10°28'31" | 27.50' | 54.85' | 300.00' | 54.77' | S04°53'32"E | C119 | 02°18'56" | 14.01' | 28.01' | 693.00' | 28.01' | N59°37'14"E |
| C20 | 24°01'34" | 100.23' | 197.51' | 471.00' | 196.06' | N36°21'55"E | C120 | 15°47'50" | 3.47' | 6.89' | 25.00' | 6.87' | S69°36'35"W |
| C21 | 34°18'29" | 37.04' | 71.85' | 120.00' | 70.79' | S33°50'11"E | C121 | 04°08'49" | 25.09' | 50.16' | 693.00' | 50.15' | N56°23'21"E |
| C22 | 47°17'58" | 32.84' | 61.91' | 75.00' | 60.17' | N84°25'41"E | C122 | 46°42'43" | 17.27' | 32.61' | 40.00' | 31.72' | S57°11'50"W |
| C23 | 42°42'02" | 29.32' | 55.90' | 75.00' | 54.61' | S50°34'19"E | C123 | 27°52'11" | 6.20' | 12.16' | 25.00' | 12.04' | S47°46'34"W |
| C24 | 20°42'46" | 86.08' | 170.27' | 471.00' | 169.35' | S05°02'41"E | C124 | 07°51'00" | 47.82' | 95.49' | 697.00' | 95.42' | N50°25'41"E |
| C25 | 19°18'35" | 80.13' | 158.74' | 471.00' | 157.99' | S25°03'23"E | C125 | 48°41'15" | 18.10' | 33.99' | 40.00' | 32.98' | N75°06'10"W |
| C26 | 19°37'17" | 51.88' | 102.74' | 300.00' | 102.24' | S24°54'02"E | C126 | 04°08'31" | 25.20' | 50.39' | 697.00' | 50.38' | N44°25'56"E |
| C27 | 16°05'33" | 42.41' | 84.26' | 300.00' | 83.98' | S07°02'37"E | C127 | 53°04'24" | 19.98' | 37.05' | 40.00' | 35.74' | N24°13'21"W |
| C28 | 28°00'55" | 74.84' | 146.63' | 300.00' | 145.23' | S15°00'37"W | C128 | 07°01'16" | 44.48' | 88.84' | 725.00' | 88.79' | S67°29'21"W |
| C29 | 14°06'22" | 86.61' | 172.34' | 790.00' | 171.90' | N67°49'53"E | C129 | 05°07'15" | 32.42' | 64.80' | 725.00' | 64.78' | S73°33'36"W |
| C30 | 15°27'40" | 95.02' | 188.89' | 790.00' | 188.32' | N82°36'54"E | C130 | 03°50'46" | 24.34' | 48.67' | 725.00' | 48.66' | S78°02'36"W |
| C31 | 38°04'56" | 25.85' | 49.85' | 75.00' | 48.94' | S70°36'49"E | C131 | 04°36'56" | 29.22' | 58.41' | 725.00' | 58.39' | S82°16'27"W |
| C32 | 53°22'10" | 37.70' | 69.86' | 75.00' | 67.36' | S24°53'16"E | C132 | 04°36'56" | 29.22' | 58.41' | 725.00' | 58.39' | S86°53'24"W |
| C33 | 09°53'55" | 62.74' | 125.49' | 8000.00' | 125.48' | S00°43'01"E | C133 | 01°08'52" | 7.26' | 14.52' | 725.00' | 14.52' | S89°46'18"W |
| C34 | 01°03'03" | 73.36' | 146.72' | 8000.00' | 146.71' | S01°41'31"E | C134 | 12°38'09" | 4.98' | 9.92' | 45.00' | 9.90' | S61°08'32"W |
| C35 | 06°28'17" | 16.95' | 33.88' | 300.00' | 33.87' | S07°35'06"W | C135 | 70°30'40" | 31.81' | 55.38' | 45.00' | 51.95' | N77°17'04"W |
| C36 | 14°28'45" | 38.11' | 75.81' | 300.00' | 75.61' | S02°53'25"E | C136 | 43°40'49" | 18.04' | 34.31' | 45.00' | 33.48' | N20°11'19"W |
| C37 | 14°39'30" | 60.53' | 120.50' | 471.00' | 120.17' | N31°40'53"E | C137 | 15°35'50" | 13.56' | 26.95' | 98.99' | 26.87' | N05°25'44"W |
| C38 | 09°22'04" | 38.59' | 77.01' | 471.00' | 76.92' | N43°41'40"E | C138 | 05°27'19" | 15.39' | 30.75' | 323.00' | 30.74' | N04°31'28"E |
| C39 | 11°59'31" | 73.21' | 145.88' | 693.00' | 145.61' | S48°21'26"W | C139 | 10°44'43" | 30.38' | 60.58' | 323.00' | 60.49' | N12°37'29"E |
| C40 | 06°27'45" | 39.12' | 78.17' | 693.00' | 69.00' | S57°32'49"W | C140 | 09°22'31" | 22.71' | 45.32' | 277.00' | 45.27' | N16°09'00"E |
| C41 | 90°00'00" | 25.00' | 39.27' | 25.00' | 35.36' | N15°46'42"E | C141 | 02°50'24" | 8.01' | 16.01' | 323.00' | 16.01' | N19°25'03"E |
| C42 | 90°00'00" | 52.00' | 81.68' | 52.00' | 73.54' | N74°13'18"W | C142 | 12°26'06" | 30.18' | 60.12' | 277.00' | 60.00' | N05°14'41"E |
| C43 | 90°00'00" | 25.00' | 39.27' | 25.00' | 35.36' | S74°13'18"E | C143 | 12°44'52" | 30.94' | 61.63' | 277.00' | 61.50' | N07°20'48"W |
| C44 | 16°43'48" | 14.41' | 28.62' | 98.00' | 28.51' | N69°08'36"E | C144 | 07°12'40" | 20.35' | 40.65' | 323.00' | 40.63' | N14°59'10"W |
| C45 | 43°40'02" | 10.02' | 19.05' | 25.00' | 18.60' | N55°40'29"E | C145 | 04°52'17" | 11.78' | 23.55' | 277.00' | 23.54' | N16°09'22"W |
| C46 | 148°28'23" | 141.70' | 103.65' | 40.00' | 76.99' | S71°55'20"E | C146 | 00°01'34" | 1.83' | 3.65' | 7977.00' | 3.65' | N00°16'51"W |
| C47 | 43°40'02" | 10.02' | 19.05' | 25.00' | 18.60' | S19°31'10"E | C147 | 11°06'47" | 31.42' | 62.65' | 323.00' | 62.55' | N05°49'27"W |
| C48 | 12°07'53" | 10.41' | 20.75' | 98.00' | 20.71' | S35°17'14"E | C148 | 00°26'00" | 30.16' | 60.31' | 7977.00' | 60.31' | N00°30'38"W |
| C49 | 86°47'59" | 23.64' | 37.87' | 25.00' | 34.35' | S72°37'18"E | C149 | 00°26'01" | 30.18' | 60.36' | 7977.00' | 60.36' | N00°56'38"W |
| C50 | 26°22'01" | 169.83' | 333.64' | 725.00' | 330.70' | N77°09'43"E | C150 | 00°21'42" | 25.17' | 50.34' | 7977.00' | 50.34' | N01°20'29"W |
| C51 | 05°29'23" | 4.75' | 9.49' | 99.00' | 9.48' | S86°21'10"E | C151 | 00°26'03" | 30.23' | 60.46' | 7977.00' | 60.46' | N01°44'22"W |
| C52 | 41°34'04" | 9.49' | 18.14' | 25.00' | 17.74' | N75°36'29"E | C152 | 00°41'09" | 12.11' | 24.22' | 2023.00' | 24.22' | N01°52'27"W |
| C53 | 149°03'42" | 162.60' | 117.07' | 45.00' | 86.74' | S50°38'42"E | C153 | 00°15'38" | 18.14' | 36.28' | 7977.00' | 36.28' | N02°05'13"W |
| C54 | 41°34'04" | 9.49' | 18.14' | 25.00' | 17.74' | S03°06'07"W | C154 | 01°42'32" | 30.17' | 60.34' | 2023.00' | 60.33' | N00°40'37"W |
| C55 | 20°03'06" | 17.50' | 34.64' | 98.99' | 34.47' | S07°39'23"E | C155 | 00°10'04" | 2.96' | 5.92' | 2023.00' | 5.92' | N00°15'41"E |
| C56 | 19°02'26" | 54.17' | 107.34' | 323.00' | 106.85' | S11°19'02"W | C156 | 03°50'07" | 10.81' | 21.62' | 323.00' | 21.62' | N02°15'47"E |
| C57 | 39°25'46" | 99.26' | 190.62' | 277.00' | 186.88' | S01°07'22"W | C157 | 34°41'14" | 11.34' | 22.66' | 277.00' | 22.65' | N08°25'38"E |
| C58 | 18°19'27" | 52.10' | 103.30' | 323.00' | 102.86' | S09°25'47"E | C158 | 06°38'24" | 18.74' | 37.43' | 323.00' | 37.41' | N07°39'02"E |
| C59 | 01°56'58" | 135.72' | 271.42' | 7977.00' | 271.41' | S01°14'33"E | C159 | 12°29'31" | 30.32' | 60.39' | 277.00' | 60.27' | N00°06'45"W |
| C60 | 02°33'45" | 45.25' | 90.48' | 2023.00' | 90.47' | S00°56'09"E | C160 | 05°52'07" | 16.56' | 33.08' | 323.00' | 33.07' | N07°11'45"W |
| C61 | 10°28'31" | 29.61' | 59.05' | 323.00' | 58.97' | S05°34'59"W | C161 | 03°46'18" | 9.12' | 18.23' | 277.00' | 18.23' | N08°14'39"W |
| C62 | 20°57'02" | 51.22' | 101.29' | 277.00' | 100.72' | S00°20'43"W | C162 | 04°36'24" | 12.99' | 25.97' | 323.00' | 25.96' | N01°57'29"W |
| C63 | 10°28'31" | 29.61' | 59.05' | 323.00' | 58.97' | S04°53'32"E | C163 | 38°01'59" | 13.79' | 26.55' | 40.00' | 26.07' | N19°21'43"E |
| C64 | 241°30'55" | ----- | 168.61' | 40.00' | 68.75' | N58°53'49"W | C164 | 38°29'39" | 13.97' | 26.87' | 40.00' | 26.37' | N57°37'32"E |
| C65 | 61°30'55" | 14.88' | 26.84' | 25.00' | 25.57' | N31°06'11"E | C165 | 75°50'51" | 31.17' | 52.95' | 40.00' | 49.17' | S65°12'14"E |
| C66 | 45°58'27" | 31.82' | 60.18' | 75.00' | 58.58' | N22°38'30"W | C166 | 05°05'54" | 1.78' | 3.56' | 40.00' | 3.56' | S59°18'41"W |
| C67 | 91°56'55" | 129.32' | 200.60' | 125.00' | 179.76' | N00°20'43"E | C167 | 27°47'08" | 18.55' | 36.37' | 75.00' | 36.02' | S13°32'51"E |
| C68 | 45°58'27" | 31.82' | 60.18' | 75.00' | 58.58' | N23°19'57"E | C168 | 22°01'26" | 24.32' | 48.05' | 125.00' | 47.75' | S34°37'01"E |
| C69 | 02°33'45" | 44.22' | 88.42' | 1977.00' | 88.41' | N00°56'09"W | C169 | 18°11'20" | 12.01' | 23.81' | 75.00' | 23.71' | S36°32'04"E |
| C70 | 00°43'09" | 50.36' | 100.72' | 8023.00' | 100.72' | N01°51'27"W | C170 | 23°24'08" | 25.89' | 51.06' | 125.00' | 50.70' | S11°54'14"E |
| C71 | 93°50'45" | 26.74' | 40.95' | 25.00' | 36.52' | N48°25'15"W | C171 | 29°01'02" | 32.35' | 63.31' | 125.00' | 62.63' | S14°18'21"E |
| C72 | 09°13'42" | 24.45' | 48.80' | 303.00' | 48.75' | S80°02'32"W | C172 | 28°48'14" | 19.26' | 37.70' | 75.00' | 37.31' | S31°55'03"W |
| C73 | 82°38'46" | 21.98' | 36.06' | 25.00' | 33.02' | S34°06'18"W | C173 | 17°30'18" | 19.25' | 38.19' | 125.00' | 38.04' | S37°34'01"W |
| C74 | 36°14'10" | 105.03' | 203.01' | 321.00' | 199.65' | S10°54'00"W | C174 | 09°13'42" | 19.37' | 38.66' | 240.00' | 38.61' | N49°47'49"E |
| C75 | 240°53'05" | ----- | 168.17' | 40.00' | 68.97' | N30°32'22"W | C175 | 17°10'13" | 11.32' | 22.48' | 75.00' | 22.39' | S08°55'50"W |
| C76 | 64°56'36" | 15.91' | 28.34' | 25.00' | 26.84' | N57°25'52"E | C176 | 15°34'30" | 32.82' | 65.24' | 240.00' | 65.04' | N37°23'43"E |
| C77 | 01°50'10" | 4.41' | 8.81' | 275.00' | 8.81' | N24°02'29"E | C177 | 01°32'09" | 3.22' | 6.43' | 240.00' | 6.43' | N28°50'24"E |
| C78 | 70°58'53" | 17.83' | 30.97' | 25.00' | 29.03' | N12°22'13"W | C178 | 02°36'17" | 9.70' | 19.39' | 426.50' | 19.39' | N26°46'10"E |
| C79 | 97°43'18" | | | | | | | | | | | | |



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE
SUBDIVISION DATA

1. DRB No. 1004173
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 33.7594 Acres
4. Total Number of Tracts Created: One hundred Twenty-eight (128) Lots & Seven (7) Tracts.
5. Total Mileage of Full Width Public Streets created: 0.013 mile.
6. Total Mileage of Full Width Private Streets created: 0.972 mile.
7. Total Mileage of Partial Width Streets created: 0.090 mile.
8. Date of Survey: December, 2005.
9. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in monumentation to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. This subdivision will have a Sub Homeowners Association to the Ventana Ranch West Community Association referred to as the Ventana Vista Homeowners Subassociation.
7. Tracts B, C, E, & F are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat.
8. Tracts B and C are subject to a blanket public Sanitary Sewer Easement granted to NMU and City of Albuquerque with the filing of this plat.
9. Tracts B, C, & F are subject to a blanket public Drainage Easement granted to City of Albuquerque with the filing of this plat.
10. Tracts B, C, E & F are subject to a blanket public Utility Easement granted with the filing of this plat.
11. Tract E is subject to a blanket public waterline easement granted to City of Albuquerque and NMU with the filing of this plat.
12. All interior streets (Tract A) are private to be granted to and maintained by the Ventana Ranch West Community Association and its assigns by separate document.
13. Tract A is subject to a blanket Public Sanitary Sewer and Water Easement granted to NMU and City of Albuquerque with the filing of this plat. Tract A is also subject to a blanket Private Access Easement to be maintained by the Ventana Ranch West Community Association and a Public Drainage Easement & Public Utility Easement granted with the filing of this plat.
14. Existing Tracts 5 & D-2 are subject to an existing thirty foot wide floating Public Storm Drain Easement (to be located perpendicular to existing pipelines) granted to the City of Albuquerque by plat filed: March 11, 2004 in Book 2004C, Page 84. Easement vacated by Vacation Action 05DRB 01192.
15. Existing Tracts 5 & D-2 are subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. Easement vacated by Vacation Action 05DRB 01192.
16. Tracts D-2-A & D-2-B are subject to an existing blanket private access and landscape easement granted to and maintained by Ventana Ranch West Community Association over Tract D of the Bulk Land Plat of Ventana Ranch West March 11, 2004 in book 2004C, Page 84.
17. Park Dedication Requirements shall be met with Tract C of the Bulk Land Plat of Ventana Ranch West a future park site, and in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC dated: March 10, 2004, Document No. 2004031336. Conveyance shall be by separate deed.
18. No individual lots or tracts shall be allowed direct access to Ventana West Parkway NW, Ventana Ridge Road NW, and/or adjacent open space tracts.
19. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset.
20. Three (3) foot private drainage easements parallel to side lot lines as shown are granted with the filing of this plat.
21. Existing Tract D-2 is subject to a fifty foot wide PNM encroachment agreement filed: February 24, 2005 in Book A92, page 6249 as Document no. 2005026346.

DESCRIPTION

A certain tract of land being located within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., Bernalillo County, New Mexico, and being and comprising all of Tracts 4 & 5 of the Bulk Land Plat of Ventana Ranch West filed in Book 2004C, Page 84 on March 11, 2004 in the office of the Bernalillo County Clerk, and Tract D-2 of the Plat of Tracts D-1 & D-2 Ventana Ranch West, Albuquerque, New Mexico as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on April 28, 2005 filed in Book 2005C, Page 130, being more particularly described as follows:

BEGINNING at the southerly corner of said Tract D-2, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "UNION 1969", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=353,409.02' and Y=1,523,440.96' bears S29°38'38"E a distance of 2,506.41 feet;

THENCE along the westerly line of said Tract D-2, N27°16'48"W a distance of 905.10 feet to an angle point;

THENCE continuing along said westerly line of Tract D-2, S62°43'12"W a distance of 118.36 feet, to a point on the easterly right-of-way line of Ventana West Parkway NW, a point of curvature;

THENCE continuing along said westerly line of said Tract D-2, and the easterly right-of-way line of said Ventana West Parkway NW, along a curve to the left that has an arc length of 563.74 feet, a radius of 1149.00 feet, a central angle of 28°06'41", and a chord of N15°09'58"W a distance of 558.10 feet to a point of tangency, point being on the westerly line of said Tract D-2, and the easterly right-of-way line of Ventana West Parkway NW;

THENCE along said westerly line of said Tract D-2 and the easterly right-of-way line of said Ventana West Parkway NW, N29°13'18"W a distance of 924.69 feet to the northeast corner of said Tract D-2;

THENCE along the northerly line of said Tract D-2 & said easterly right-of-way line, N15°46'42"E a distance of 70.71 feet to a point on the westerly line of said Tract 5;

THENCE leaving said Tract D-2 and running along the westerly line of said Tract 5 & the easterly line of Ventana West Parkway, N29°13'18"W a distance of 12.07 feet to a point of Curvature;

THENCE continuing along said westerly line of said Tract 5, and leaving the easterly right-of-way line of said Ventana West Parkway NW, and running along Ventana Ridge Road NW, along a curve to the right that has an arc length of 78.54 feet, a radius of 50.00 feet, a central angle of 90°00'00", and a chord of N15°46'42"E a distance of 70.71 feet to a point of tangency, point being on the northerly line of said Tract 5, and the southerly right-of-way line of Ventana Ridge Road NW;

THENCE along the northerly line of said Tract 5 & the southerly right-of-way line of Ventana Ridge Road NW, N60°46'42"E a distance of 177.00 feet to a point of curvature;

THENCE along northerly line of Tract 5 & said southerly right-of-way line of Ventana Ridge Road NW, along a curve to the left that has an arc length of 221.15 feet, a radius of 688.00 feet, a central angle of 18°25'02", and a chord of N51°34'11"E a distance of 220.20 feet to a point on the northerly corner of said Tract 5;

THENCE continuing along said northerly line of said Tract 5, and leaving right-of-way line of said Ventana Ridge Road NW, S47°38'20"E a distance of 162.00 feet to a point on the northerly line of Tract 5;

THENCE continuing along the northerly line of said Tract 5, S89°39'17"E a distance of 652.43 feet to the northeast corner of said Tract 5;

THENCE along the easterly line of Tract 5, S00°20'43"W a distance of 2,352.72 feet to the POINT OF BEGINNING.

Tract contains 33.7584 acres of land, more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 4 & 5 of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, and Tract D-2 of the Plat of Tracts D-1 & D-2 Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on April 28, 2005 in Book 2005C, Page 130 as Document No. 2005058453 now comprising Lots 1 through 128 inclusive, and Tracts A, B, C, D-2-A, D-2-B, E and F, VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's and/or assigns property to access the easement areas for the purposes of performing the Work. A permanent access easement is granted across all of Tract A of this plat. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided: Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

PULTE HOMES OF NEW MEXICO, INC. (Tracts 4 & 5)

BY: *Garret Price*
Garret Price, Vice President of Land,
Pulte Homes of New Mexico, Inc.

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 13 day of February, 2006, by Garret Price, Vice President of Land, Pulte Homes of New Mexico, Inc.

My Commission Expires: 10-24-07 *Stephanie L. Stratton*
Notary Public

VENTANA WEST, LLC
A NEW MEXICO LIMITED LIABILITY COMPANY (Tract D-2)

BY: *Robert M. Murphy*
Robert M. Murphy, President
Sandia Properties Ltd., Co.
Managing Member

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 13th day of Feb. 2006, by Robert M. Murphy, President of Sandia Properties Ltd., Co. a New Mexico limited liability company, Managing Member of Ventana West, LLC a New Mexico Limited Liability Company.

My Commission Expires: *Lisa K. Kilbreth*
Notary Public

DISCLOSURE STATEMENT

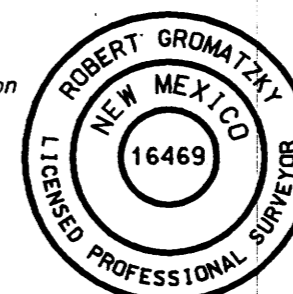
The purpose of this Plat is to subdivide all of Tracts 4 & 5, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 and Tract D-2 of the Plat of TRACTS D-1 & D-2 VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the county clerk of Bernalillo County, New Mexico on April 28, 2005 in Book 2005C, Page 130 as Document No. 2005058453 into one hundred Twenty-eight (128) lots and Seven (7) tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to vacate easements and to grant easements.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: February 10, 2006



PLAT OF
VENTANA VISTA
SUBDIVISION
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 4, 5 & D-2
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
FEBRUARY, 2006

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
APPROVED BY DRB
PLAT APPROVAL
UTILITY APPROVALS: ON 02/22/06

| QUEST | DATE |
|--|---------|
| COMCAST CABLE | DATE |
| PNM ELECTRIC SERVICES | DATE |
| PNM GAS SERVICES | DATE |
| NEW MEXICO UTILITIES, INC. | DATE |
| CITY APPROVALS: <i>Stephanie L. Stratton</i> | 2-13-06 |
| CITY SURVEYOR | DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE |
| UTILITIES DEVELOPMENT | DATE |
| PARKS & RECREATION DEPARTMENT | DATE |
| A. M. A. F. C. A. | DATE |
| CITY ENGINEER | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | DATE |
| REAL PROPERTY DIVISION | DATE |
| <i>Stephanie L. Stratton</i> | 2/13/06 |
| VENTANA RANCH WEST COMMUNITY ASSOCIATION | DATE |

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

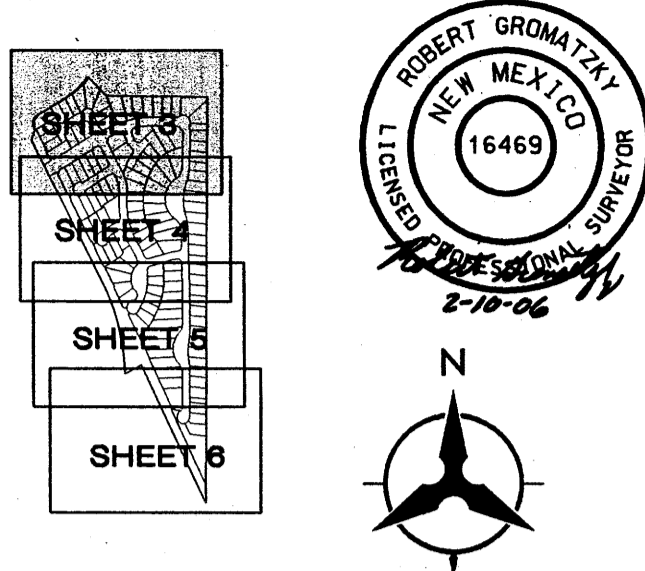
PROPERTY OWNER OF RECORD _____
BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

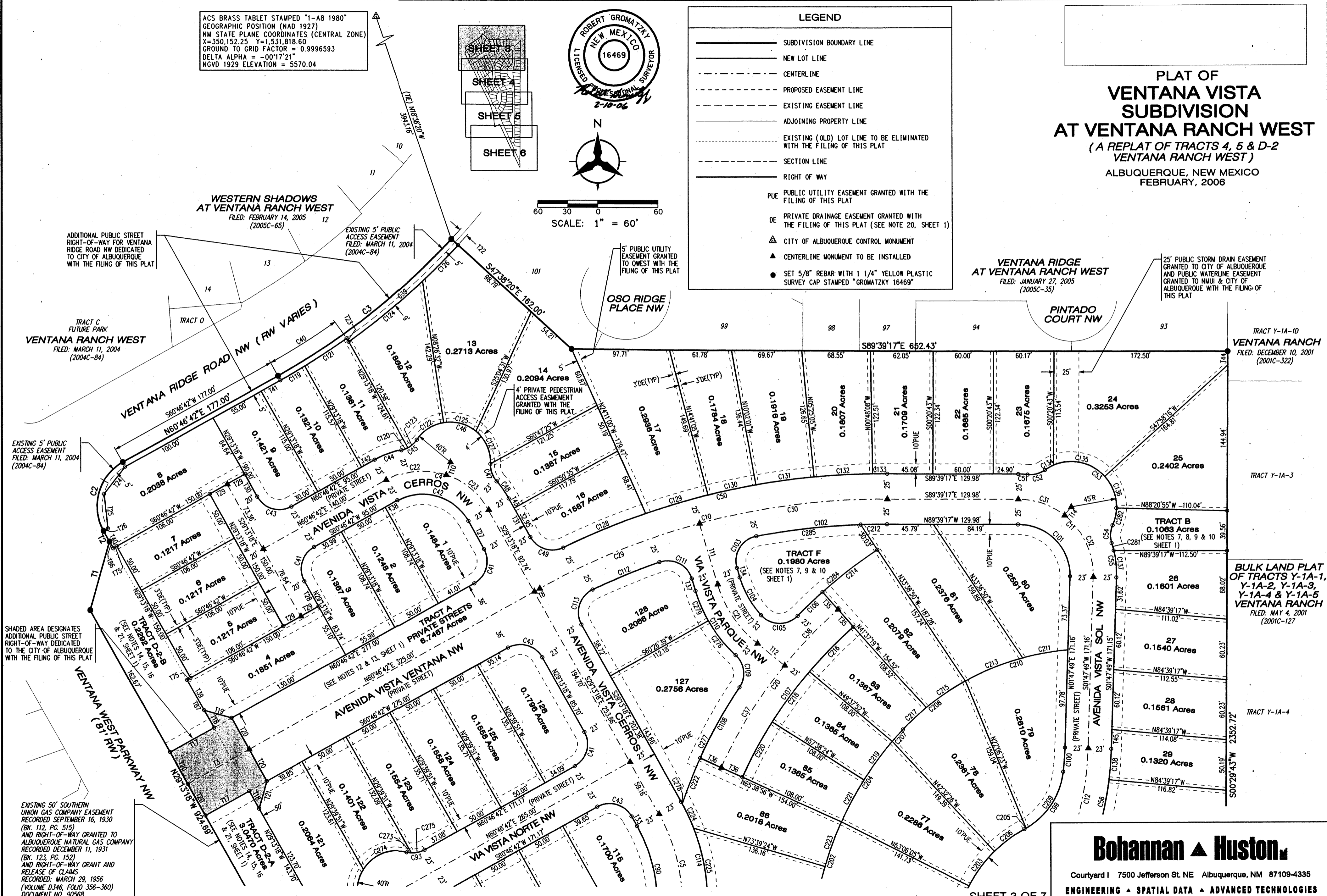
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

ACS BRASS TABLE STAMPED "1-A8 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,818.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04



| LEGEND | |
|--------|--|
| | SUBDIVISION BOUNDARY LINE |
| | NEW LOT LINE |
| | CENTERLINE |
| | PROPOSED EASEMENT LINE |
| | EXISTING EASEMENT LINE |
| | ADJOINING PROPERTY LINE |
| | EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT |
| | DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1) |
| | CITY OF ALBUQUERQUE CONTROL MONUMENT |
| | CENTERLINE MONUMENT TO BE INSTALLED |
| | SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" |

PLAT OF VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 4, 5 & D-2 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006



WESTERN SHADOWS AT VENTANA RANCH WEST
 FILED: FEBRUARY 14, 2005
 (2005C-65)

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)

ADDITIONAL PUBLIC STREET RIGHT-OF-WAY FOR VENTANA RIDGE ROAD NW DEDICATED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

TRACT C FUTURE PARK VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84)

EXISTING 5' PUBLIC ACCESS EASEMENT FILED: MARCH 11, 2004 (2004C-84)

SHADED AREA DESIGNATES ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

VENTANA RIDGE AT VENTANA RANCH WEST
 FILED: JANUARY 27, 2005
 (2005C-35)

25' PUBLIC STORM DRAIN EASEMENT GRANTED TO CITY OF ALBUQUERQUE AND PUBLIC WATERLINE EASEMENT GRANTED TO NMUI & CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

TRACT Y-1A-10 VENTANA RANCH FILED: DECEMBER 10, 2001 (2001C-322)

BULK LAND PLAT OF TRACTS Y-1A-1, Y-1A-2, Y-1A-3, Y-1A-4 & Y-1A-5 VENTANA RANCH FILED: MAY 4, 2001 (2001C-127)

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PLAT OF VENTANA VISTA SUBDIVISION AT VENTANA RANCH WEST

(A REPLAT OF TRACTS 4, 5 & D-2 VENTANA RANCH WEST)

ALBUQUERQUE, NEW MEXICO
FEBRUARY, 2006

TRACT Y-1A-4

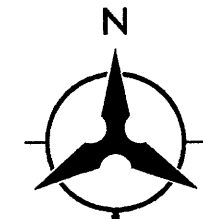
BULK LAND PLAT OF TRACTS Y-1A-1, Y-1A-2, Y-1A-3, Y-1A-4 & Y-1A-5 VENTANA RANCH

FILED: MAY 4, 2001
(2001C-127)



LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- SECTION LINE
- RIGHT OF WAY
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1)
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



SCALE: 1" = 60'

TRACT Y-1A-5
TRACT Y-1C
BULK LAND PLAT OF TRACTS Y-1A, Y-1B & Y-1C VENTANA RANCH
FILED: SEPTEMBER 15, 2000 (2000C-250)



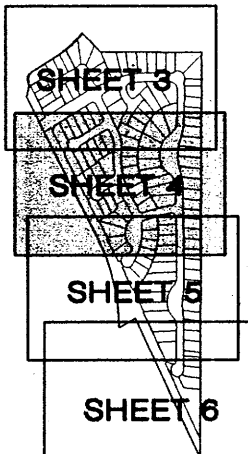
SHADED AREA DESIGNATES ADDITIONAL PUBLIC STREET RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

4' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

4' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

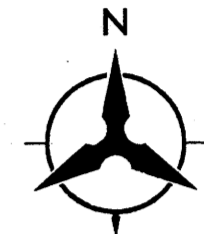
WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST
FILED: MAY 4, 2005
(2005C-140)

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D.346, FOLIO 356-360) DOCUMENT NO. 90568



Bohannon & Huston
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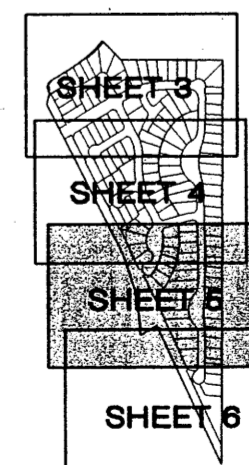
PLAT OF
**VENTANA VISTA
 SUBDIVISION**
 AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 4, 5 & D-2
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 FEBRUARY, 2006



60 30 0 30 60
 SCALE: 1" = 60'

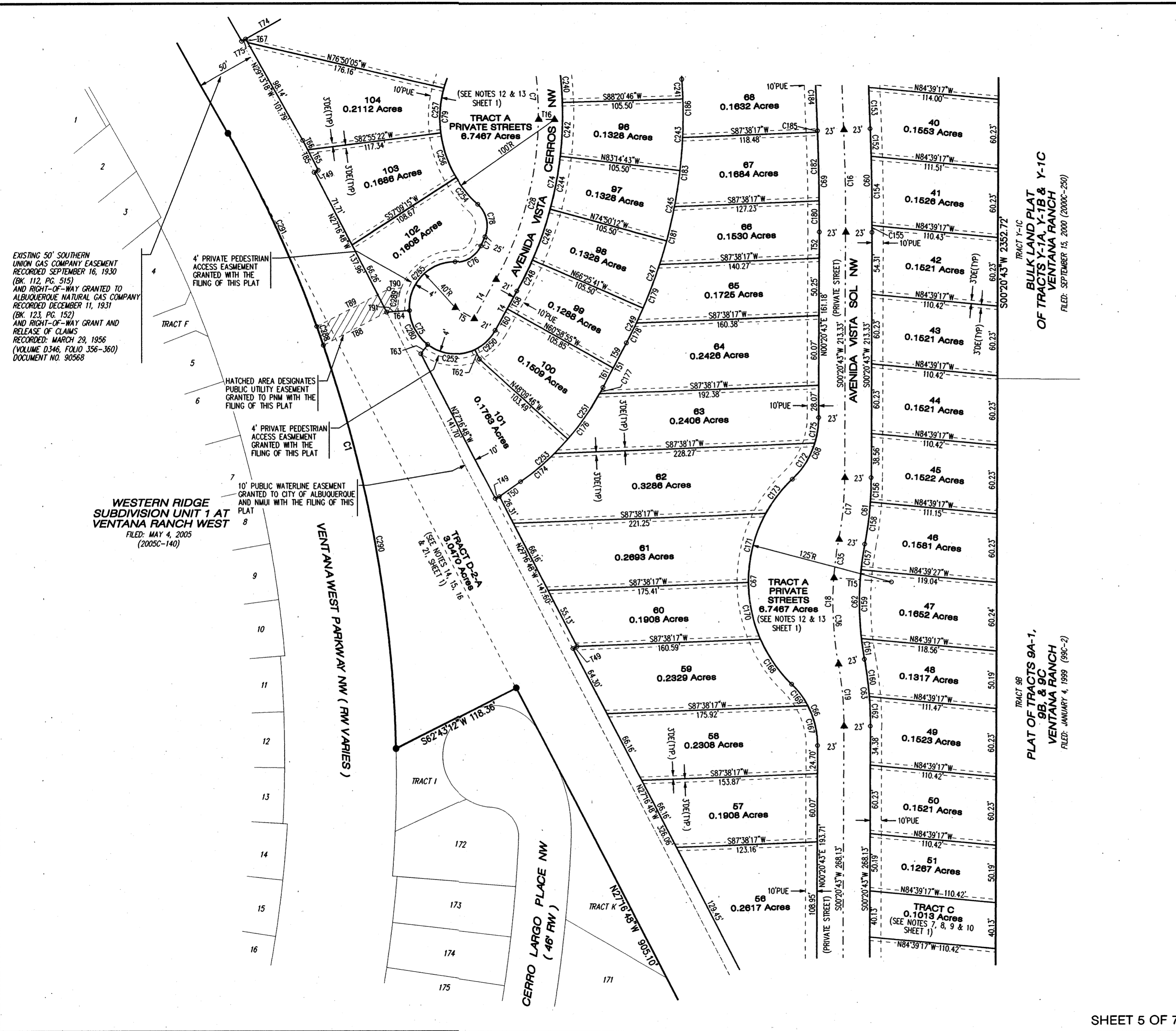
LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT
- - - SECTION LINE
- RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1)
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469"



SHEET 5 OF 7

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED: MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

4' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

HATCHED AREA DESIGNATES PUBLIC UTILITY EASEMENT GRANTED TO PNM WITH THE FILING OF THIS PLAT

4' PRIVATE PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT

10' PUBLIC WATERLINE EASEMENT GRANTED TO CITY OF ALBUQUERQUE AND NMUI WITH THE FILING OF THIS PLAT

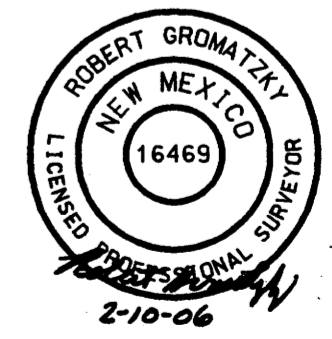
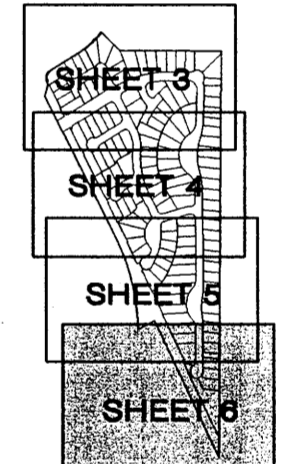
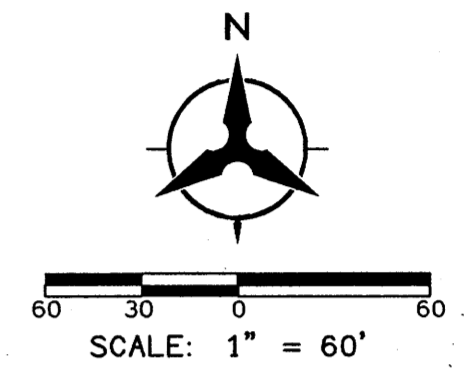
WESTERN RIDGE SUBDIVISION UNIT 1 AT VENTANA RANCH WEST
 FILED: MAY 4, 2005 (2005C-140)

TRACT D-2-A
 9.0470 Acres
 (SEE NOTES 14, 15, 16 & 21, SHEET 1)

TRACT A PRIVATE STREETS
 6.7467 Acres
 (SEE NOTES 12 & 13 SHEET 1)

TRACT 9B
 PLAT OF TRACTS 9A-1, 9B & 9C
 VENTANA RANCH
 FILED: JANUARY 4, 1999 (99C-2)

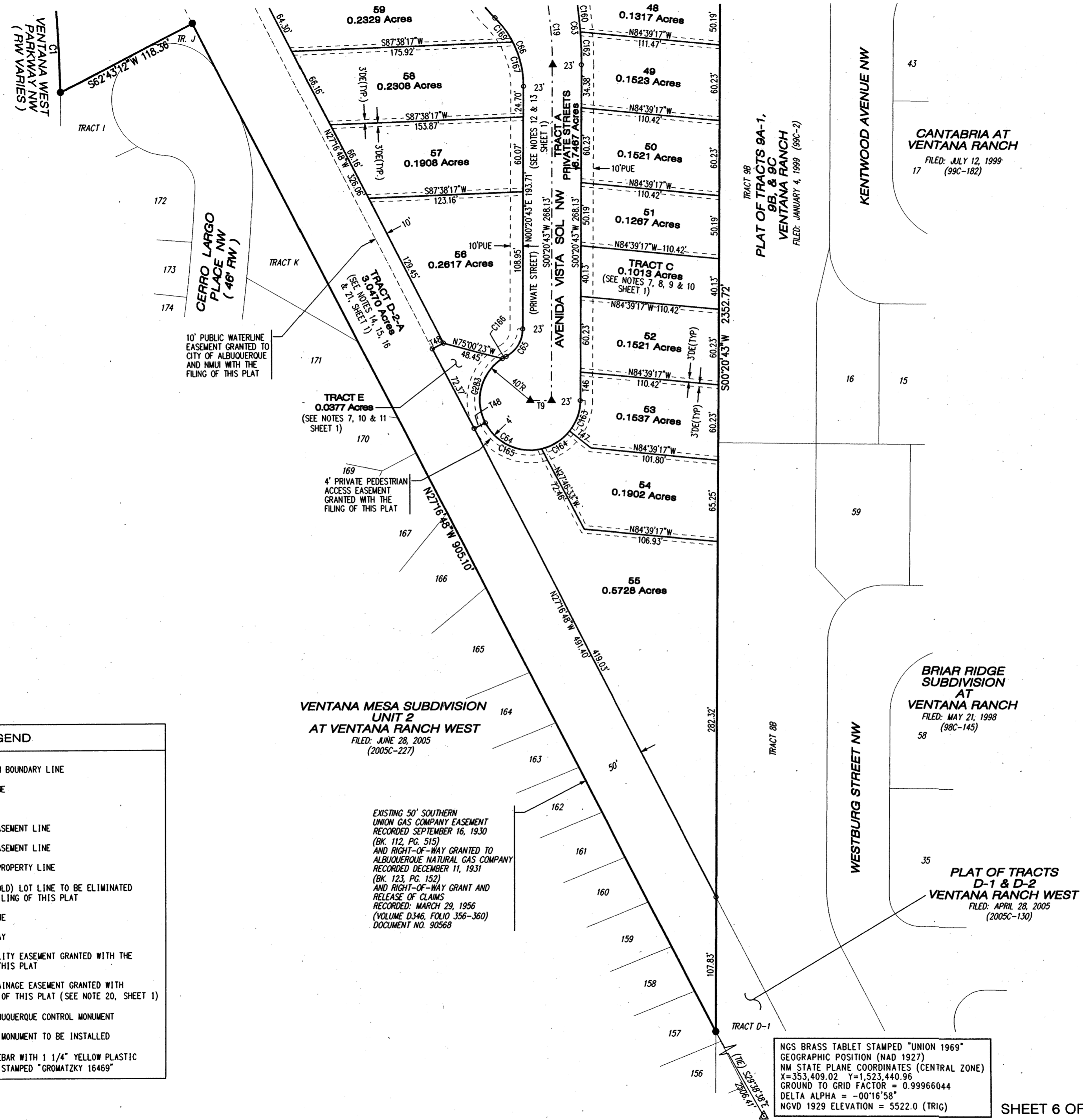
**PLAT OF
VENTANA VISTA
SUBDIVISION
AT VENTANA RANCH WEST**
(A REPLAT OF TRACTS 4, 5 & D-2
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
FEBRUARY, 2006



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

NGS BRASS TABLET STAMPED "UNION 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=353,409.02 Y=1,523,440.96
 GROUND TO GRID FACTOR = 0.99966044
 DELTA ALPHA = -00'16"58"
 NGVD 1929 ELEVATION = 5522.0 (TRIG)

SHEET 6 OF 7



| LEGEND | |
|--------|--|
| | SUBDIVISION BOUNDARY LINE |
| | NEW LOT LINE |
| | CENTERLINE |
| | PROPOSED EASEMENT LINE |
| | EXISTING EASEMENT LINE |
| | ADJOINING PROPERTY LINE |
| | EXISTING (OLD) LOT LINE TO BE ELIMINATED WITH THE FILING OF THIS PLAT |
| | SECTION LINE |
| | RIGHT OF WAY |
| | PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT |
| | DE PRIVATE DRAINAGE EASEMENT GRANTED WITH THE FILING OF THIS PLAT (SEE NOTE 20, SHEET 1) |
| | CITY OF ALBUQUERQUE CONTROL MONUMENT |
| | CENTERLINE MONUMENT TO BE INSTALLED |
| | SET 5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY 16469" |

**VENTANA MESA SUBDIVISION
UNIT 2
AT VENTANA RANCH WEST**
 FILED: JUNE 28, 2005
 (2005C-227)

EXISTING 50' SOUTHERN
 UNION GAS COMPANY EASEMENT
 RECORDED SEPTEMBER 16, 1930
 (BK. 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO
 ALBUQUERQUE NATURAL GAS COMPANY
 RECORDED DECEMBER 11, 1931
 (BK. 123, PG. 152)
 AND RIGHT-OF-WAY GRANT AND
 RELEASE OF CLAIMS
 RECORDED: MARCH 29, 1956
 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90568

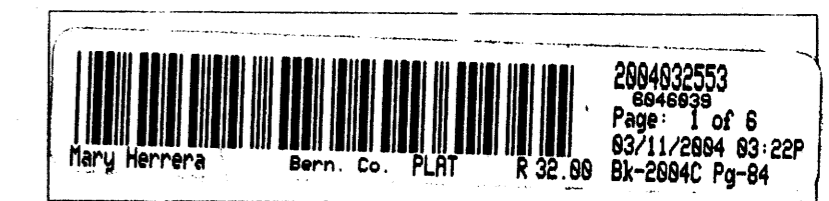
**BRIAR RIDGE
SUBDIVISION
AT
VENTANA RANCH**
 FILED: MAY 21, 1998
 (98C-145)

**PLAT OF TRACTS
D-1 & D-2
VENTANA RANCH WEST**
 FILED: APRIL 28, 2005
 (2005C-130)

CURVE DATA

| ID | DELTA | TANGENT | ARC | RADIUS | CHORD | CHORD BRG | ID | DELTA | TANGENT | ARC | RADIUS | CHORD | CHORD BRG |
|-----|--------------|---------|---------|----------|---------|----------------|------|-------------|---------|---------|----------|---------|----------------|
| C1 | 28° 06' 41" | 287.66' | 563.74' | 1149.00' | 558.10' | N15° 09' 58" W | C101 | 91° 30' 14" | 52.34' | 81.43' | 50.99' | 73.05' | N45° 01' 27" W |
| C2 | 90° 00' 00" | 50.00' | 78.54' | 50.00' | 70.71' | N15° 46' 42" E | C102 | 11° 05' 57" | 65.58' | 130.76' | 675.00' | 130.55' | S84° 47' 45" W |
| C3 | 18° 25' 02" | 111.54' | 221.15' | 688.00' | 220.20' | N51° 34' 11" E | C103 | 95° 55' 43" | 27.73' | 41.86' | 25.00' | 37.14' | S31° 16' 55" W |
| C4 | 90° 00' 00" | 75.00' | 117.81' | 75.00' | 106.07' | S74° 13' 18" E | C104 | 25° 33' 35" | 22.00' | 43.27' | 97.00' | 42.91' | S29° 27' 44" E |
| C5 | 34° 31' 57" | 55.95' | 108.49' | 180.00' | 106.85' | S11° 57' 19" E | C105 | 93° 20' 53" | 26.51' | 40.73' | 25.00' | 36.37' | S88° 54' 58" E |
| C6 | 40° 01' 24" | 171.54' | 329.01' | 471.00' | 322.36' | S14° 41' 59" E | C106 | 03° 58' 06" | 17.11' | 34.21' | 494.00' | 34.21' | N46° 23' 39" E |
| C7 | 63° 43' 46" | 186.48' | 333.69' | 300.00' | 316.75' | S02° 50' 48" E | C107 | 24° 01' 33" | 95.33' | 187.86' | 448.00' | 186.49' | S36° 21' 55" W |
| C8 | 18° 16' 47" | 52.29' | 103.69' | 325.00' | 103.25' | N84° 34' 05" E | C108 | 09° 23' 32" | 40.58' | 80.98' | 494.00' | 80.89' | N29° 02' 53" E |
| C9 | 15° 14' 28" | 26.76' | 53.20' | 200.00' | 53.04' | N68° 23' 56" E | C109 | 80° 57' 30" | 21.34' | 35.32' | 25.00' | 32.46' | N06° 44' 06" W |
| C10 | 29° 34' 01" | 184.73' | 361.23' | 700.00' | 357.23' | N75° 33' 43" E | C110 | 30° 31' 55" | 39.03' | 76.20' | 143.00' | 75.30' | N31° 56' 53" W |
| C11 | 91° 27' 06" | 76.92' | 119.71' | 75.00' | 107.40' | S43° 55' 44" E | C111 | 92° 32' 42" | 26.14' | 40.38' | 25.00' | 36.13' | N62° 57' 17" W |
| C12 | 19° 02' 26" | 50.31' | 99.70' | 300.00' | 99.24' | S11° 19' 02" W | C112 | 06° 07' 28" | 36.11' | 72.15' | 675.00' | 72.12' | S67° 42' 38" W |
| C13 | 39° 25' 46" | 107.50' | 206.45' | 300.00' | 202.40' | S01° 07' 22" W | C113 | 93° 52' 11" | 26.75' | 40.96' | 25.00' | 36.53' | S17° 42' 48" W |
| C14 | 18° 19' 27" | 48.39' | 95.95' | 300.00' | 95.54' | S09° 25' 47" E | C114 | 34° 31' 57" | 63.72' | 123.56' | 205.00' | 121.69' | S11° 57' 19" E |
| C15 | 01° 56' 58" | 136.11' | 272.20' | 8000.00' | 272.19' | S01° 14' 33" E | C115 | 40° 01' 24" | 162.43' | 311.55' | 446.00' | 305.25' | S14° 41' 59" E |
| C16 | 02° 33' 45" | 44.73' | 89.45' | 2000.00' | 89.44' | S00° 56' 09" E | C116 | 11° 58' 25" | 34.08' | 67.92' | 325.00' | 67.80' | S28° 43' 28" E |
| C17 | 10° 28' 31" | 27.50' | 54.85' | 300.00' | 54.77' | S05° 34' 59" W | C117 | 81° 50' 04" | 21.67' | 35.71' | 25.00' | 32.75' | S63° 39' 17" E |
| C18 | 20° 57' 02" | 55.47' | 109.70' | 300.00' | 109.09' | S00° 20' 43" W | C118 | 10° 17' 09" | 31.23' | 62.29' | 347.00' | 62.21' | N80° 34' 16" E |
| C19 | 10° 28' 31" | 27.50' | 54.85' | 300.00' | 54.77' | S04° 53' 32" E | C119 | 02° 18' 56" | 14.01' | 28.01' | 693.00' | 28.01' | N59° 37' 14" E |
| C20 | 24° 01' 34" | 100.23' | 197.51' | 471.00' | 196.06' | N36° 21' 55" E | C120 | 15° 47' 50" | 3.47' | 6.89' | 25.00' | 6.87' | S69° 36' 35" W |
| C21 | 34° 18' 29" | 37.04' | 71.85' | 120.00' | 70.79' | S33° 50' 11" E | C121 | 04° 08' 49" | 25.09' | 50.16' | 693.00' | 50.15' | N56° 23' 21" E |
| C22 | 47° 17' 58" | 32.84' | 61.91' | 75.00' | 60.17' | N84° 25' 41" E | C122 | 46° 42' 43" | 17.27' | 32.61' | 40.00' | 31.72' | S57° 11' 50" W |
| C23 | 42° 42' 02" | 29.32' | 55.90' | 75.00' | 54.61' | S50° 34' 19" E | C123 | 27° 52' 11" | 6.20' | 12.16' | 25.00' | 12.04' | S47° 46' 34" W |
| C24 | 20° 42' 48" | 86.08' | 170.27' | 471.00' | 169.35' | S05° 02' 41" E | C124 | 07° 51' 00" | 47.82' | 95.49' | 697.00' | 95.42' | N50° 25' 41" E |
| C25 | 19° 18' 35" | 80.13' | 158.74' | 471.00' | 157.99' | S25° 03' 23" E | C125 | 48° 41' 15" | 18.10' | 33.99' | 40.00' | 32.98' | N75° 06' 10" W |
| C26 | 19° 37' 17" | 51.88' | 102.74' | 300.00' | 102.24' | S24° 54' 02" E | C126 | 04° 08' 31" | 25.20' | 50.39' | 697.00' | 50.38' | N44° 25' 56" E |
| C27 | 16° 05' 33" | 42.41' | 84.26' | 300.00' | 83.98' | S07° 02' 37" E | C127 | 53° 04' 24" | 19.98' | 37.05' | 40.00' | 35.74' | N24° 13' 21" W |
| C28 | 28° 00' 55" | 74.84' | 146.69' | 300.00' | 145.23' | S15° 00' 37" W | C128 | 07° 01' 16" | 44.48' | 88.84' | 725.00' | 88.79' | S67° 29' 21" W |
| C29 | 14° 06' 22" | 86.61' | 172.34' | 700.00' | 171.90' | N67° 49' 53" E | C129 | 05° 07' 15" | 32.42' | 64.80' | 725.00' | 64.78' | S73° 33' 36" W |
| C30 | 15° 27' 40" | 95.02' | 188.89' | 700.00' | 188.32' | N82° 36' 54" E | C130 | 03° 50' 46" | 24.34' | 48.67' | 725.00' | 48.66' | S78° 02' 36" W |
| C31 | 38° 04' 56" | 25.88' | 49.85' | 75.00' | 48.94' | S70° 36' 49" E | C131 | 04° 36' 56" | 29.22' | 58.41' | 725.00' | 58.39' | S82° 16' 27" W |
| C32 | 53° 22' 10" | 37.70' | 69.86' | 75.00' | 67.36' | S24° 53' 16" E | C132 | 04° 36' 56" | 29.22' | 58.41' | 725.00' | 58.39' | S86° 53' 24" W |
| C33 | 00° 53' 55" | 62.74' | 125.49' | 8000.00' | 125.48' | S00° 43' 01" E | C133 | 01° 08' 52" | 7.26' | 14.52' | 725.00' | 14.52' | S89° 46' 18" W |
| C34 | 01° 03' 03" | 73.36' | 146.72' | 8000.00' | 146.71' | S01° 41' 31" E | C134 | 12° 38' 09" | 4.98' | 9.92' | 45.00' | 9.90' | S61° 08' 32" W |
| C35 | 06° 28' 17" | 16.96' | 33.88' | 300.00' | 33.87' | S07° 35' 06" W | C135 | 70° 30' 40" | 31.81' | 55.38' | 45.00' | 51.95' | N77° 17' 04" W |
| C36 | 14° 28' 45" | 38.11' | 75.81' | 300.00' | 75.61' | S02° 53' 25" E | C136 | 43° 40' 49" | 18.04' | 34.31' | 45.00' | 33.48' | N20° 11' 19" W |
| C37 | 14° 39' 30" | 60.58' | 120.50' | 471.00' | 120.17' | N31° 40' 53" E | C137 | 15° 35' 50" | 13.56' | 26.95' | 98.99' | 26.87' | N05° 25' 44" W |
| C38 | 09° 22' 04" | 38.59' | 77.01' | 471.00' | 76.92' | N43° 41' 40" E | C138 | 05° 27' 19" | 15.39' | 30.75' | 323.00' | 30.74' | N04° 31' 28" E |
| C39 | 11° 59' 31" | 73.21' | 145.88' | 697.00' | 145.61' | S48° 21' 26" W | C139 | 10° 44' 43" | 30.38' | 60.58' | 323.00' | 60.49' | N12° 37' 29" E |
| C40 | 06° 27' 45" | 39.12' | 78.17' | 693.00' | 78.12' | S57° 32' 49" W | C140 | 09° 22' 31" | 22.71' | 45.32' | 277.00' | 45.27' | N16° 09' 00" E |
| C41 | 90° 00' 00" | 25.00' | 39.27' | 25.00' | 35.36' | N15° 46' 42" E | C141 | 02° 50' 24" | 8.01' | 16.01' | 277.00' | 16.01' | N19° 25' 03" E |
| C42 | 90° 00' 00" | 52.00' | 81.68' | 52.00' | 73.54' | N74° 13' 18" W | C142 | 12° 26' 06" | 30.18' | 60.12' | 277.00' | 60.00' | N05° 14' 41" E |
| C43 | 90° 00' 00" | 25.00' | 39.27' | 25.00' | 35.36' | S74° 13' 18" E | C143 | 12° 44' 52" | 30.94' | 61.63' | 277.00' | 61.50' | N07° 20' 48" W |
| C44 | 16° 43' 48" | 14.41' | 28.62' | 98.00' | 28.51' | N69° 08' 36" E | C144 | 07° 12' 40" | 20.35' | 40.65' | 323.00' | 40.63' | N14° 59' 10" W |
| C45 | 43° 40' 02" | 10.02' | 19.05' | 25.00' | 18.60' | N55° 40' 29" E | C145 | 04° 52' 17" | 11.78' | 23.55' | 277.00' | 23.54' | N16° 09' 22" W |
| C46 | 148° 28' 23" | 141.70' | 103.65' | 40.00' | 76.99' | S71° 55' 20" E | C146 | 00° 01' 34" | 1.83' | 3.65' | 7977.00' | 3.65' | N00° 16' 51" W |
| C47 | 43° 40' 02" | 10.02' | 19.05' | 25.00' | 18.60' | S19° 31' 10" E | C147 | 11° 06' 47" | 31.42' | 62.65' | 323.00' | 62.55' | N05° 49' 27" W |
| C48 | 12° 07' 53" | 10.41' | 20.75' | 98.00' | 20.71' | S35° 17' 14" E | C148 | 00° 26' 00" | 30.16' | 60.31' | 7977.00' | 60.31' | N00° 30' 38" W |
| C49 | 86° 47' 59" | 23.64' | 37.87' | 25.00' | 34.35' | S72° 37' 18" E | C149 | 00° 26' 01" | 30.18' | 60.36' | 7977.00' | 60.36' | N00° 56' 38" W |
| C50 | 26° 22' 01" | 169.83' | 333.64' | 725.00' | 330.70' | N77° 09' 43" E | C150 | 00° 21' 42" | 25.17' | 50.34' | 7977.00' | 50.34' | N01° 20' 29" W |
| C51 | 05° 29' 23" | 4.75' | 9.49' | 99.00' | 9.48' | S86° 21' 10" E | C151 | 00° 26' 03" | 30.23' | 60.46' | 7977.00' | 60.46' | N01° 44' 22" W |
| C52 | 41° 34' 04" | 9.49' | 18.14' | 25.00' | 17.74' | N75° 36' 29" E | C152 | 00° 41' 09" | 12.11' | 24.22' | 2023.00' | 24.22' | N01° 52' 27" W |
| C53 | 149° 03' 42" | 162.60' | 117.07' | 45.00' | 86.74' | S50° 38' 42" E | C153 | 00° 15' 38" | 18.14' | 36.28' | 7977.00' | 36.28' | N02° 05' 13" W |
| C54 | 41° 34' 04" | 9.49' | 18.14' | 25.00' | 17.74' | S03° 06' 07" W | C154 | 01° 42' 32" | 30.17' | 60.34' | 2023.00' | 60.33' | N00° 40' 37" W |
| C55 | 20° 03' 06" | 17.50' | 34.64' | 98.99' | 34.47' | S07° 39' 23" E | C155 | 00° 10' 04" | 2.96' | 5.92' | 2023.00' | 5.92' | N00° 15' 41" E |
| C56 | 19° 02' 26" | 54.17' | 107.34' | 323.00' | 106.85' | S11° 19' 02" W | C156 | 03° 50' 07" | 10.81' | 21.62' | 323.00' | 21.62' | N02° 15' 47" E |
| C57 | 39° 25' 46" | 99.26' | 190.62' | 277.00' | 186.88' | S01° 07' 22" W | C157 | 04° 41' 14" | 11.34' | 22.66' | 277.00' | 22.65' | N08° 28' 38" E |
| C58 | 18° 19' 27" | 52.10' | 103.30' | 323.00' | 102.86' | S09° 25' 47" E | C158 | 06° 38' 24" | 18.74' | 37.43' | 323.00' | 37.41' | N07° 30' 02" E |
| C59 | 01° 56' 58" | 135.72' | 271.42' | 7977.00' | 271.41' | S01° 14' 33" E | C159 | 12° 29' 31" | 30.32' | 60.39' | 277.00' | 60.27' | N00° 06' 45" W |
| C60 | 02° 33' 45" | 45.25' | 90.48' | 2023.00' | 90.47' | S00° 56' 09" E | C160 | 05° 52' 07" | 16.56' | 33.08' | 323.00' | 33.07' | N07° 11' 45" W |
| C61 | 10° 28' 31" | 29.61' | 59.05' | 323.00' | 58.97' | S05° 34' 59" W | C161 | 03° 46' 18" | 9.12' | 18.23' | 277.00' | 18.23' | N08° 14' 39" W |
| C62 | 20° 57' 02" | 51.22' | 101.29' | 277.00' | 100.72' | S00° 20' 43" W | C162 | 04° 36' 24" | 12.99' | 25.97' | 323.00' | 25.96' | N01° 57' 29" W |
| C63 | 10° 28' 31" | 29.61' | 59.05' | 323.00' | 58.97' | S04° 53' 32" E | C163 | 38° 01' 59" | 13.79' | 26.55' | 40.00' | 26.07' | N19° 21' 43" E |
| C64 | 241° 30' 55" | ----- | 168.61' | 40.00' | 68.75' | N58° 53' 49" W | C164 | 38° 29' 39" | 13.97' | 26.87' | 40.00' | 26.37' | S57° 37' 32" E |
| C65 | 61° 30' 55" | 14.88' | 26.84' | 25.00' | 25.57' | N31° 06' 11" E | C165 | 75° 50' 51" | 31.17' | 52.95' | 40.00' | 49.17' | S65° 12' 14" E |
| C66 | 45° 58' 27" | 31.82' | 60.18' | 75.00' | 58.58' | N22° 38' 30" W | C166 | 05° 05' 54" | 1.78' | 3.56' | 40.00' | 3.56' | S59° 18' 41" W |
| C67 | 91° 56' 55" | 129.32' | 200.60' | 125.00' | 179.76' | N00° 20' 43" E | C167 | 27° 47' 08" | 18.55' | 36.37' | 75.00' | 36.02' | S13° 32' 51" E |
| C68 | 45° 58' 27" | 31.82' | 60.18' | 75.00' | 58.58' | N23° 19' 57" E | C168 | 22° 01' 26" | 24.32' | 48.05' | 125.00' | 47.75' | S34° 37' 01" E |
| C69 | 02° 33' 45" | 44.22' | 88.42' | 1977.00' | 88.41' | N00° 56' 09" W | C169 | 18° 11' 20" | 12.01' | 23.81' | 75.00' | 23.71' | S36° 32' 04" E |
| C70 | 00° 43' 09" | 50.36' | 100.72' | 8023.00' | 100.72' | N01° 51' 27" W | C170 | 23° 24' 08" | 25.89' | 51.06' | 125.00' | 50.70' | S11° 54' 14" E |
| C71 | 93° 50' 45" | 26.74' | 40.95' | 25.00' | 36.52' | N48° 25' 15" W | C171 | 29° 01' 02" | 32.35' | 63.31' | 125.00' | 62.63' | S14° 18' 21" W |
| C72 | 09° 13' 42" | 24.45' | 48.80' | 303.00' | 48.75' | S80° 02' 32" W | C172 | 28° 48' 14" | 19.26' | 37.70' | 75.00' | 37.31' | S31° 55' 03" W |
| C73 | 82° 38' 46" | 21.98' | 36.06' | 25.00' | 33.02' | S34° 06' 18" W | C173 | 17° 30' 18" | 19.25' | 38.19' | 125.00' | 38.04' | S37° 34' 01" W |
| C74 | 36° 14' 10" | 105.03' | 203.01' | 321.00' | 19 | | | | | | | | |

Tom Sams
287-3729

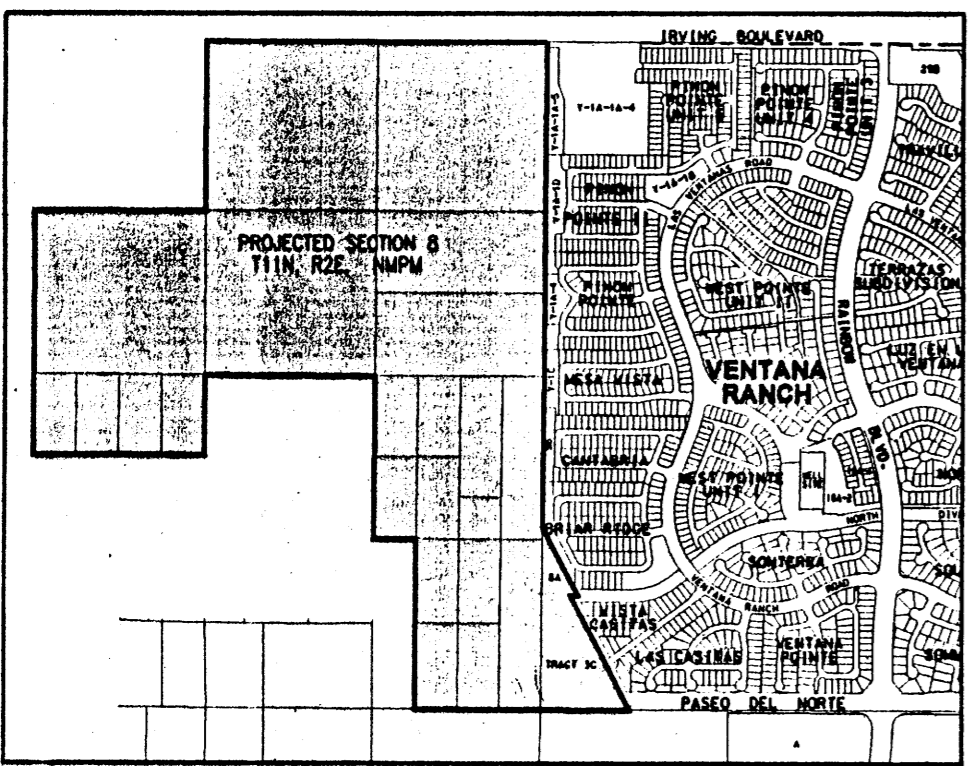


BULK LAND PLAT FOR VENTANA RANCH WEST

WITHIN THE CITY OF ALBUQUERQUE AND BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2004

PROJECT NUMBER: 1002778
APPLICATION NUMBER: 0410RB-00128

| PLAT APPROVAL | |
|--------------------------------------|---------|
| CITY APPROVALS: | |
| WEST | 2-25-04 |
| CONCAST CABLE | 2-25-04 |
| PNM ELECTRIC SERVICES | 2-23-04 |
| PNM GAS SERVICES | 2-23-04 |
| NEW MEXICO UTILITIES, INC. | 2-23-04 |
| CITY SURVEYOR | 2-23-04 |
| TRANSPORTATION DIVISION | 2-25-04 |
| UTILITIES DEPARTMENT | 2-25-04 |
| PARKS & RECREATION DEPARTMENT | 2-25-04 |
| A.W.P.C.A. | 2/25/04 |
| CITY ENGINEER | 3/1/04 |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | |
| REAL PROPERTIES MANAGEMENT | |



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. B-8-Z & B-9-Z
NOT TO SCALE

SUBDIVISION DATA

- DRB NO.
- ZONE ATLAS INDEX Nos. B-8-Z & B-9-Z
- GROSS SUBDIVISION ACREAGE: 299.2179 ACRES
- TOTAL NUMBER OF TRACTS CREATED: NINETEEN (19) TRACTS.
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 1.6249 MILE.
- TOTAL MILEAGE OF PARTIAL WIDTH STREETS CREATED: 0.3139 MILE.
- DATE OF SURVEY: JUNE, 2003.
- PLAT IS LOCATED WITHIN THE TOWN OF ALAMEDA GRANT, WITHIN PROJECTED SECTIONS 8 & 9, T11N, R2E, N1M1.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS FOR THE ASSEMBLAGE & SUBDIVISION OF RECORDED WARRANTY DEEDS TOGETHER WITH ALL OF TRACT 3C, PLAT OF TRACTS 3B & 3C, VENTANA RANCH, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 21, 1997 IN VOLUME 97C, FOLIO 255 AS DOCUMENT NO. 97085835 AND TRACT 8A, PLAT OF BRIAR RIDGE SUBDIVISION AT VENTANA RANCH, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 1998 IN BOOK 98C, PAGE 145 AS DOCUMENT NO. 1998062949 INTO EIGHTEEN (18) TRACTS, TO DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE, TO GRANT EASEMENTS, AND TO VACATE EASEMENTS.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON JOINT USE OF:

- PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
- NEW MEXICO UTILITIES, INC. FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND WATER AND SANITARY SEWER LINES ACROSS THE EASEMENT.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMERS/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN THE TOWN OF ALAMEDA GRANT, WITHIN PROJECTED SECTIONS 8 AND 9, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO, BEING THE SAME AS DESCRIBED IN WARRANTY DEEDS RECORDED JULY 28, 1983 IN BOOK D189-2, PAGE 963 AS DOCUMENT NO. 83-49185; RECORDED NOVEMBER 14, 1995 IN BOOK 95-27, PAGE 8094 AS DOCUMENT NO. 9517143; RECORDED MAY 3, 1997 IN BOOK 97-3, PAGES 7772-7773 AS DOCUMENT NO. 9701592; RECORDED FEBRUARY 7, 1997 IN BOOK 97-12, PAGES 5830-5831 AS DOCUMENT NO. 97046442; RECORDED JANUARY 7, 1997 IN BOOK 97-1, PAGES 3079-3080 AS DOCUMENT NO. 97001289; RECORDED FEBRUARY 18, 2000 IN BOOK A2, PAGE 6173 AS DOCUMENT NO. 2000016251; RECORDED MAY 1, 2002 IN BOOK A35, PAGE 6545 AS DOCUMENT NO. 2002056704; RECORDED AUGUST 14, 2002 IN BOOK A40, PAGE 9052 AS DOCUMENT NO. 2002109370; RECORDED SEPTEMBER 19, 2002 IN BOOK A42, PAGE 74 AS DOCUMENT NO. 2002120415; RECORDED SEPTEMBER 20, 2002 IN BOOK A44, PAGE 654 AS DOCUMENT NO. 2002120995; RECORDED NOVEMBER 14, 2002 IN BOOK A44, PAGE 8391 AS DOCUMENT NO. 2002148793; RECORDED NOVEMBER 14, 2002 IN BOOK A44, PAGE 8392 AS DOCUMENT NO. 2002148794; RECORDED DECEMBER 3, 2002 IN BOOK A45, PAGE 3589 AS DOCUMENT NO. 2002160006; RECORDED FEBRUARY 12, 2003 IN BOOK A50, PAGE 2896 AS DOCUMENT NO. 2003022939; RECORDED FEBRUARY 13, 2003 IN BOOK A50, PAGE 4041 AS DOCUMENT NO. 2003024284; RECORDED FEBRUARY 17, 2003 IN BOOK A50, PAGE 5762 AS DOCUMENT NO. 2003025808; RECORDED FEBRUARY 25, 2003 IN BOOK A51, PAGE 1276 AS DOCUMENT NO. 2003031331; RECORDED APRIL 15, 2003 IN BOOK A54, PAGE 1385 AS DOCUMENT NO. 2003061509; RECORDED MAY 20, 2003 IN BOOK A56, PAGES 4565 AND 4566 AS DOCUMENT NOS. 2003084746 AND 2003084747; RECORDED JULY 7, 2003 IN BOOK A59, PAGE 6232 AS DOCUMENT NO. 2003116483; RECORDED OCTOBER 28, 2003 IN BOOK A67, PAGE 6383 AS DOCUMENT NO. 2003196792; TOGETHER WITH TRACT 3C, PLAT OF TRACTS 3B & 3C, VENTANA RANCH, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 21, 1997 IN VOLUME 97C, FOLIO 255 AS DOCUMENT NO. 97085835 AND TRACT 8A, PLAT OF BRIAR RIDGE SUBDIVISION AT VENTANA RANCH, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 21, 1998 IN BOOK 98C, PAGE 145 AS DOCUMENT NO. 1998062949 AND BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE NAD 1927) AND GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE SECTION CORNER COMMON TO PROJECTED SECTIONS 8, 9, 16, AND 17, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, WHENCE THE ALBUQUERQUE CITY SURVEY (ACS) MONUMENT "UNION", A STANDARD NGS BRASS TABLET SET IN TOP OF A LAVA OUTCROP, HAVING NEW MEXICO STATE PLANE GRID COORDINATES CENTRAL ZONE (NAD 1927) OF X=553,409.02 AND Y=1,523,440.96 BEARS S55°06'16"E, A DISTANCE OF 1521.07 FEET AND FROM SAID POINT OF BEGINNING RUNNING THENCE ALONG THE SOUTHERLY BOUNDARY LINE OF THE TRACT HEREIN DESCRIBED AND ALSO ALONG THE SECTION LINE COMMON TO SAID PROJECTED SECTIONS 8 AND 17, N89°48'48"W, A DISTANCE OF 973.53 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, THENCE LEAVING SAID SECTION LINE AND RUNNING THENCE ALONG THE WESTERLY BOUNDARY LINE OF THE TRACT HEREIN DESCRIBED, N00°17'55"E, A DISTANCE OF 1318.85 FEET TO A POINT; THENCE, N89°52'51"W, A DISTANCE OF 330.00 FEET TO A POINT; THENCE, N00°17'54"E, A DISTANCE OF 1318.07 FEET TO A POINT; THENCE, N89°48'19"W, A DISTANCE OF 1320.00 FEET TO A POINT; THENCE, S00°17'55"W, A DISTANCE OF 659.80 FEET TO A POINT; THENCE, N89°48'58"W, A DISTANCE OF 1319.98 FEET TO A POINT; THENCE, N00°17'19"E, A DISTANCE OF 1020.05 FEET TO A POINT; THENCE, S89°48'19"W, A DISTANCE OF 1320.04 FEET TO A POINT; THENCE, N00°17'55"E, A DISTANCE OF 1321.88 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, A POINT ON THE SECTION LINE OF PROJECTED SECTIONS 5 AND 8, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, THENCE RUNNING ALONG THE NORTHERLY BOUNDARY LINE OF THE TRACT HEREIN DESCRIBED AND ALSO SAID PROJECTED SECTION LINE, S89°50'36"E, A DISTANCE OF 2627.85 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, SAID CORNER BEING THE SECTION CORNER COMMON TO PROJECTED SECTIONS 4, 5, 8 AND 9, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, THENCE RUNNING ALONG THE EASTERLY BOUNDARY LINE OF THE TRACT HEREIN DESCRIBED AND ALSO SAID PROJECTED SECTION LINE, S00°20'14"W, A DISTANCE OF 1863.94 FEET TO THE NORTHEAST CORNER OF SAID TRACT 8A, THENCE LEAVING SAID PROJECTED SECTION LINE AND RUNNING THENCE ALONG THE EASTERLY BOUNDARY LINE OF SAID TRACT 8A, S27°16'48"E, A DISTANCE OF 40.28 FEET TO THE SOUTHEAST CORNER OF SAID TRACT 8A, THENCE RUNNING ALONG THE SOUTHERLY BOUNDARY LINE OF SAID TRACT 8A, N89°39'18"W, A DISTANCE OF 36.43 FEET TO THE NORTHEAST CORNER OF SAID TRACT 3C, THENCE N00°17'19"E, A DISTANCE OF 1020.05 FEET TO A POINT; THENCE, S27°16'48"E, A DISTANCE OF 994.82 FEET TO THE SOUTHEAST CORNER OF SAID TRACT 3C, A POINT ON THE SECTION LINE COMMON TO SAID PROJECTED SECTIONS 9 AND 16, THENCE RUNNING ALONG THE SOUTHERLY BOUNDARY LINE OF SAID TRACT 3C AND ALSO SAID PROJECTED SECTION LINE, N89°48'48"W, A DISTANCE OF 683.66 FEET TO THE POINT AND PLACE OF BEGINNING.

TRACT CONTAINS 299.2179 ACRES, MORE OR LESS.

NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY.
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
- PARK AND OPEN SPACE REQUIREMENTS.
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
- EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

PNM STAMP

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

FREE CONSENT AND DEDICATION

THE FOREGOING PLAT OF LAND HEREOF DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS BULK PLAT IS THEIR FREE ACT AND DEED AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREOF TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY, AND DRAINAGE EASEMENTS HEREOF, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREOF FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, PIPES FOR UNDERGROUND AND GRESS FOR UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE CITY HAS THE RIGHT TO ENTER UPON THE GRANTEE'S PROPERTY AT ANY TIME AND PERFORM WHATEVER INSPECTION, INSTALLATION, MAINTENANCE, REPAIR, MODIFICATION OR REMOVAL ("WORK") IT DEEMS APPROPRIATE WITHOUT LIABILITY TO THE CITY, IF WORK EFFECTS ANY IMPROVEMENTS OR ENCROACHMENTS MADE BY THE GRANTEE, THE CITY WILL NOT BE FINANCIALLY OR OTHERWISE RESPONSIBLE FOR REBUILDING OR REPAIRING OF IMPROVEMENTS OR ENCROACHMENTS. IF IN THE OPINION OF THE CITY, THE WORK TO BE PERFORMED BY THE CITY COULD ENDANGER THE STRUCTURAL INTEGRITY OR OTHERWISE DAMAGE THE IMPROVEMENTS OR ENCROACHMENTS, THE GRANTEE SHALL, AT ITS OWN EXPENSE, TAKE WHATEVER PROTECTIVE MEASURES ARE REQUIRED TO SAFEGUARD THE IMPROVEMENTS OR ENCROACHMENTS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS WITH THEIR FREE ACT AND DEED.

VENTANA WEST, LLC
A NEW MEXICO LIMITED LIABILITY COMPANY

BY: *[Signature]*
ROBERT M. MURPHY, PRESIDENT
SANDIA PROPERTIES LTD., CO.
MANAGING PARTNER

STATE OF NEW MEXICO)
) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 22 DAY OF February, 2004, BY ROBERT M. MURPHY, PRESIDENT OF SANDIA PROPERTIES LTD., CO. A NEW MEXICO LIMITED LIABILITY COMPANY, MANAGING PARTNER OF VENTANA WEST, LLC A NEW MEXICO LIMITED LIABILITY COMPANY.

MY COMMISSION EXPIRES: 2-22-06 *[Signature]*
NOTARY PUBLIC

LAS VENTANAS LIMITED PARTNERSHIP
A NEW MEXICO LIMITED PARTNERSHIP

BY: *[Signature]*
ROBERT M. MURPHY, PRESIDENT
SANDIA PROPERTIES LTD., CO.
MANAGING PARTNER

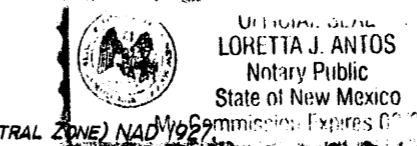
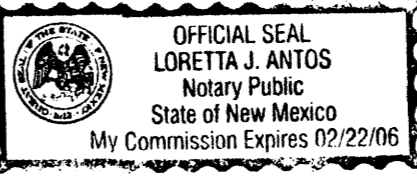
STATE OF NEW MEXICO)
) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 22 DAY OF February, 2004, BY ROBERT M. MURPHY, PRESIDENT OF SANDIA PROPERTIES LTD., CO. A NEW MEXICO LIMITED LIABILITY COMPANY, MANAGING PARTNER OF LAS VENTANAS LIMITED PARTNERSHIP, A NEW MEXICO LIMITED PARTNERSHIP.

MY COMMISSION EXPIRES: 2-22-06 *[Signature]*
NOTARY PUBLIC

NOTES

- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE) NAD 1927.
- DISTANCES ARE GROUND DISTANCES.
- ALL EASEMENTS OF RECORD ARE SHOWN.
- RECORD BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS ().
- THESE PROPERTIES ARE WITHIN THE NEW MEXICO UTILITIES, INC. (NMU, INC.) FRANCHISE AREA. WATER AND SANITARY SEWER SYSTEMS CAPABILITY ARE BASED ON NMU, INC. FACILITIES, NOT THE CITY OF ALBUQUERQUE.
- CENTERLINE IN (LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD 3-1/2" ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".
- PARK DEDICATION REQUIREMENTS SHALL BE MET WITH PARK SITE NO. 2 OF A MINIMUM OF 2 ACRES WITHIN TRACT 14, VENTANA RANCH WEST AND IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004.
- TRACT A HAS A SMALL AREA DESIGNATED AS ZONE "A" (SPECIAL FLOOD HAZARD AREA) CONFINED TO AN EAST-WEST ARROYO IN THE NORTHEAST ONE-QUARTER (NE1/4) OF PROJECTED SECTION 8, TOWNSHIP 11 NORTH, RANGE 2 EAST, N1M1 AS SHOWN AND DESIGNATED ON F.I.R.M. PANEL NUMBER 350001 0100, EFFECTIVE DATE: SEPTEMBER 15, 1983 AND PANEL NUMBER 35001C103 D EFFECTIVE DATE: SEPTEMBER 20, 1996.
- PER DRAINAGE MANAGEMENT PLAN DATED: OCTOBER 10, 2003 AND ADDENDUM NO. 1 DATED: DECEMBER 23, 2003 AND APPROVED BY AMAFCA AND CITY OF ALBUQUERQUE, ADDITIONAL DRAINAGE CONSTRUCTION REQUIRED WITHIN TRACT A IS TO BE DEFINED VIA A FUTURE TURN KEY AGREEMENT WITH AMAFCA FOR THIS OUTFALL. TRACT A IS TO BE CONVEYED TO AMAFCA BY SPECIAL WARRANTY DEED AT A FUTURE DATE.
- TRACTS B & D ARE SUBJECT TO A PRIVATE ACCESS & LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE VENTANA RANCH WEST COMMUNITY ASSOCIATION.
- TRACTS 5, 8 & D ARE SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT (TO BE LOCATED PERPENDICULAR TO EXISTING PIPELINES) TO BE GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. THIS EASEMENT SHALL BE CONFINED AND DEFINED TO WITHIN FUTURE PUBLIC EASEMENTS AND/OR RIGHT-OF-WAY DEDICATED AND/OR GRANTED BY FUTURE PLATTING.
- TRACTS 2, 5, 6, 10 & D ARE SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC STORM DRAIN EASEMENT (TO BE LOCATED PERPENDICULAR TO EXISTING PIPELINES) TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. THIS EASEMENT SHALL BE CONFINED AND DEFINED TO WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING.
- PARK DEDICATION REQUIREMENTS SHALL BE MET WITH TRACT C, A FUTURE PARK SITE, AND IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004, DOCUMENT NO. 2004031333. DEDICATION SHALL BE BY SEPARATE DEED.
- TRACTS 1A, 1B AND 2 ARE SUBJECT TO A FIFTY FOOT WIDE FLOATING PUBLIC STORM DRAIN EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. THIS EASEMENT SHALL BE CONFINED AND DEFINED TO WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING.
- TRACTS 1A, 1B, 6, 7, & 10 ARE SUBJECT TO A THIRTY FOOT WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED TO NEW MEXICO UTILITIES, INC. AND THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. THIS EASEMENT SHALL BE CONFINED AND DEFINED TO WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING.



TAX CERTIFICATION

PROPERTY OWNER OF RECORD: *[Signature]*
BERNALILLO COUNTY TREASURER'S OFFICE

SURVEYOR'S CERTIFICATION

I, A. DWAIN WEAVER, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS IN OCTOBER, 2000 AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

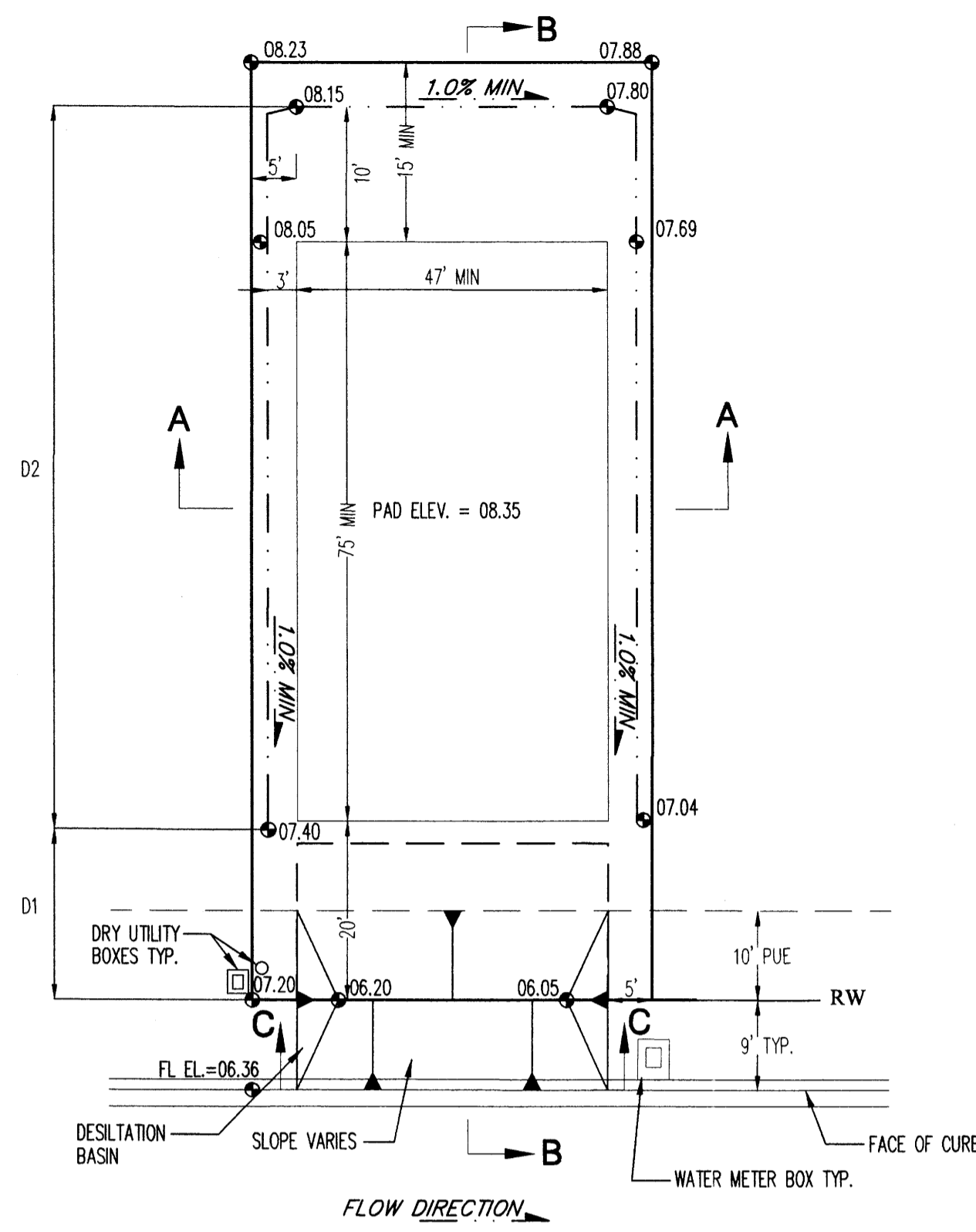
[Signature]
A. DWAIN WEAVER
NEW MEXICO PROFESSIONAL SURVEYOR 6544
DATE: FEBRUARY 20, 2004



Behanman & Huston

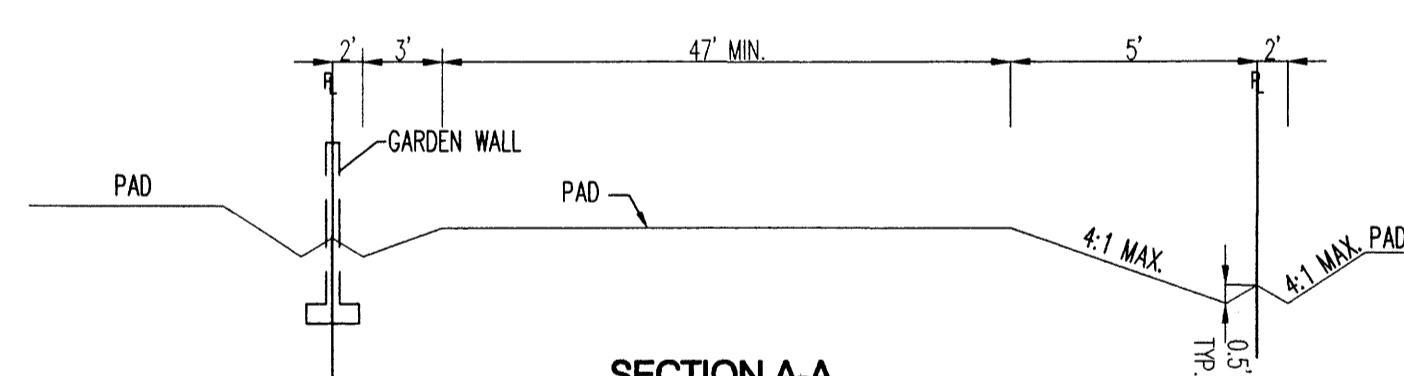
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

2802

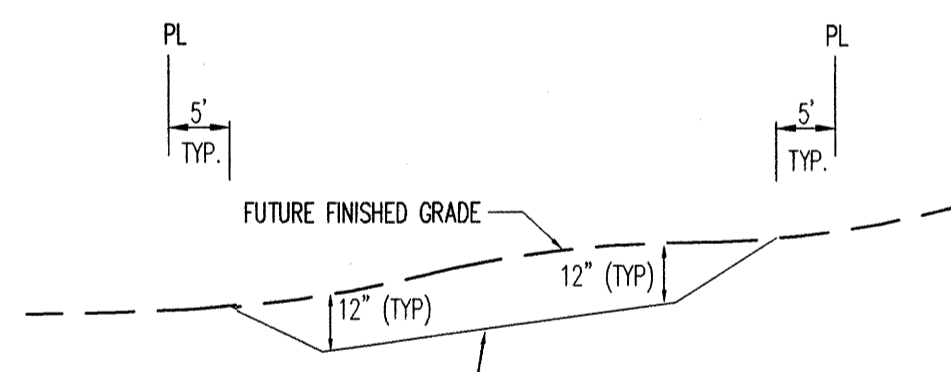


**TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL**
NOT TO SCALE

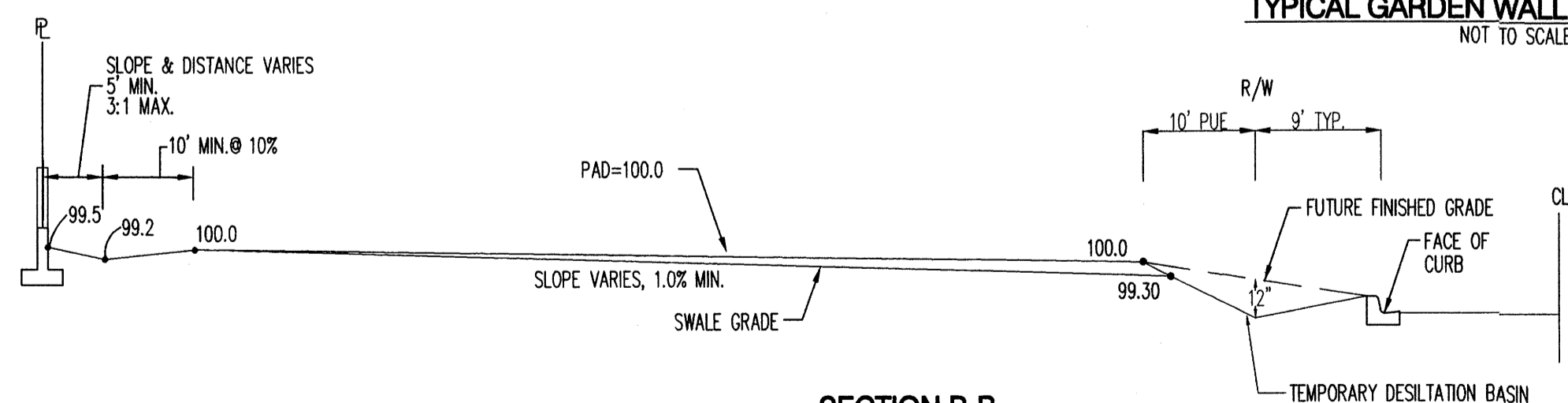
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



**SECTION A-A
TYPICAL SIDE YARD SWALE**
NOT TO SCALE

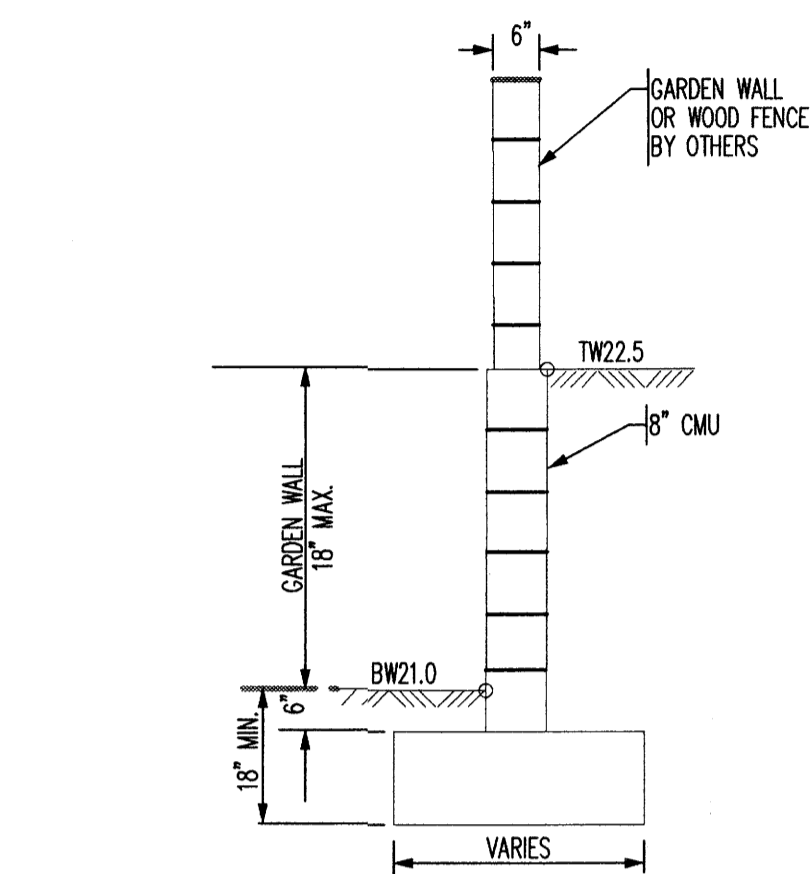


**SECTION C-C
TYPICAL GARDEN WALL NOMENCLATURE**
NOT TO SCALE

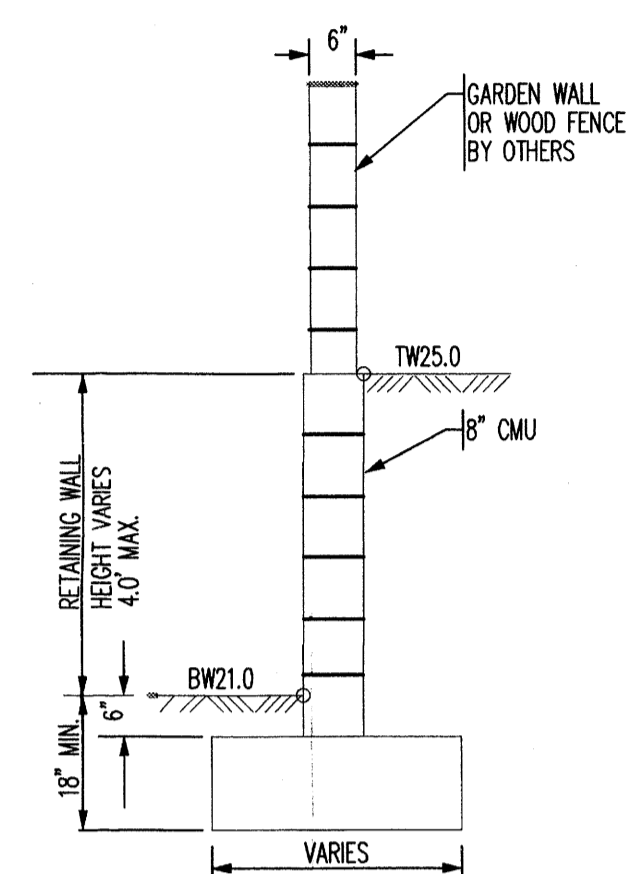


**SECTION B-B
TYPICAL GARDEN WALL NOMENCLATURE**
NOT TO SCALE

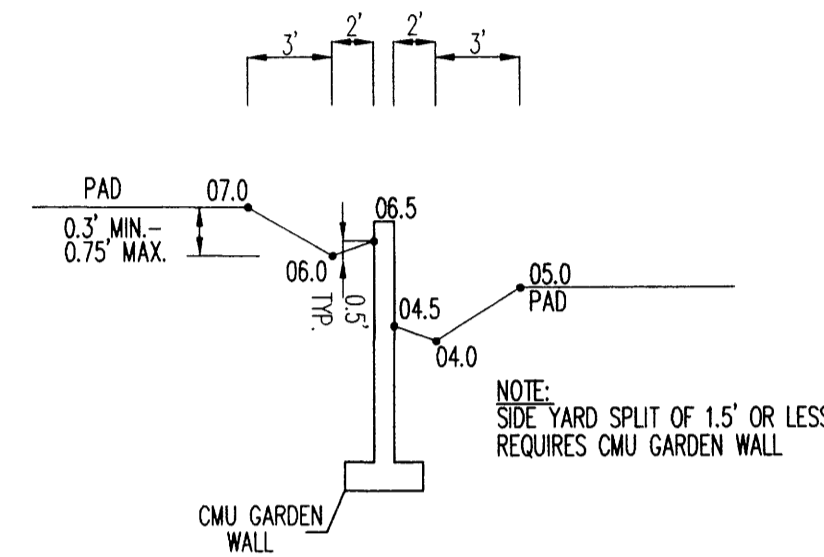
- NOTE:
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
 - FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
 - HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



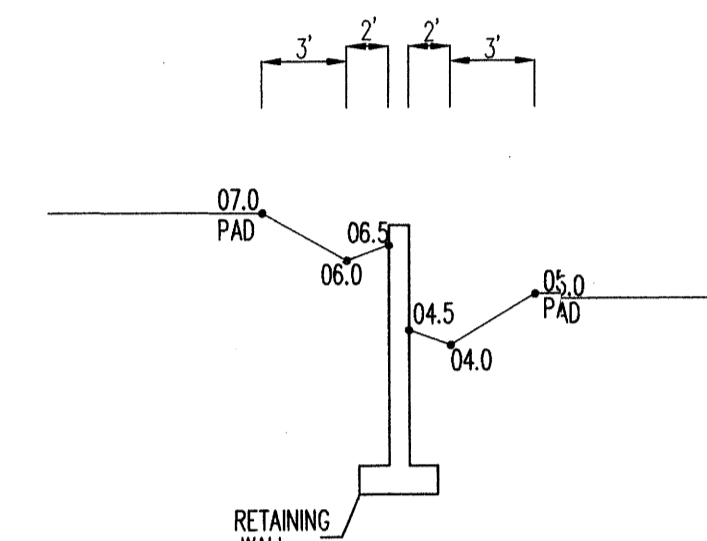
TYPICAL GARDEN WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



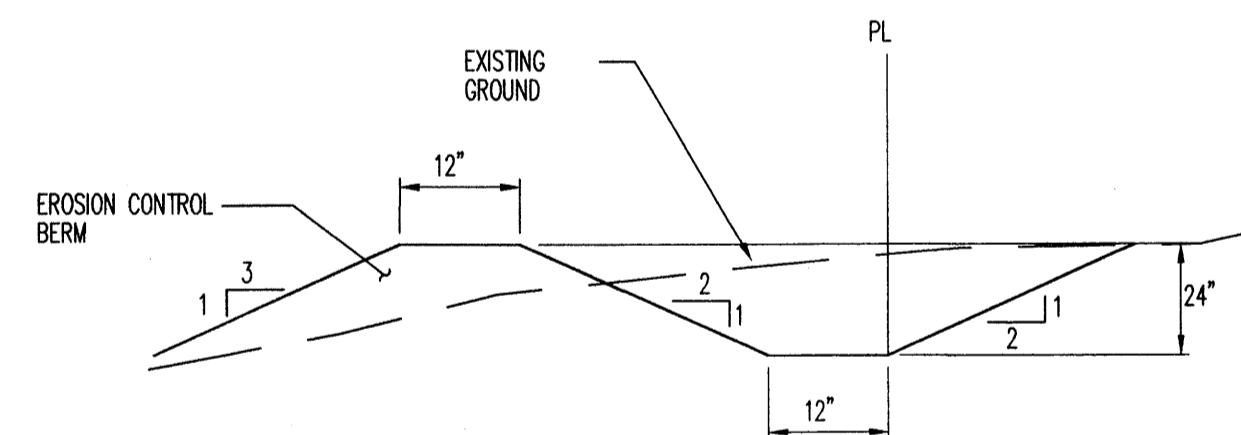
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SIDE YARD GARDEN WALL DETAIL
NOT TO SCALE



SIDE YARD RETAINING WALL DETAIL
NOT TO SCALE



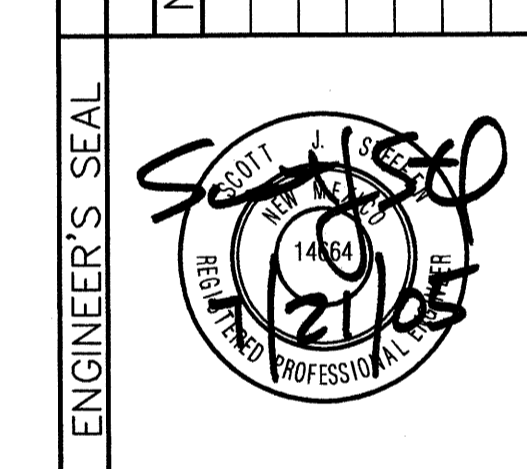
- EROSION CONTROL BERM**
- TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST BOUNDARY OF THE SITE.
 - WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
 - AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
 - CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION

EROSION CONTROL PLAN
NOT TO SCALE

| AS-BUILT INFORMATION | |
|---------------------------|------|
| CONTRACTOR | DATE |
| DRAWN BY | DATE |
| INSPECTOR'S ACCEPTANCE BY | DATE |
| REVISIONS BY | DATE |
| APPROVED BY | DATE |
| RECORDED BY | DATE |

| BENCH MARKS | |
|-------------|--|
| | |
| | |

| SURVEY INFORMATION | |
|--------------------|------|
| FIELD NOTES | DATE |
| BY | |
| NO. | |



| REVISIONS | By | Date |
|-----------|----|------|
| DESIGN | | |
| | | |
| | | |

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

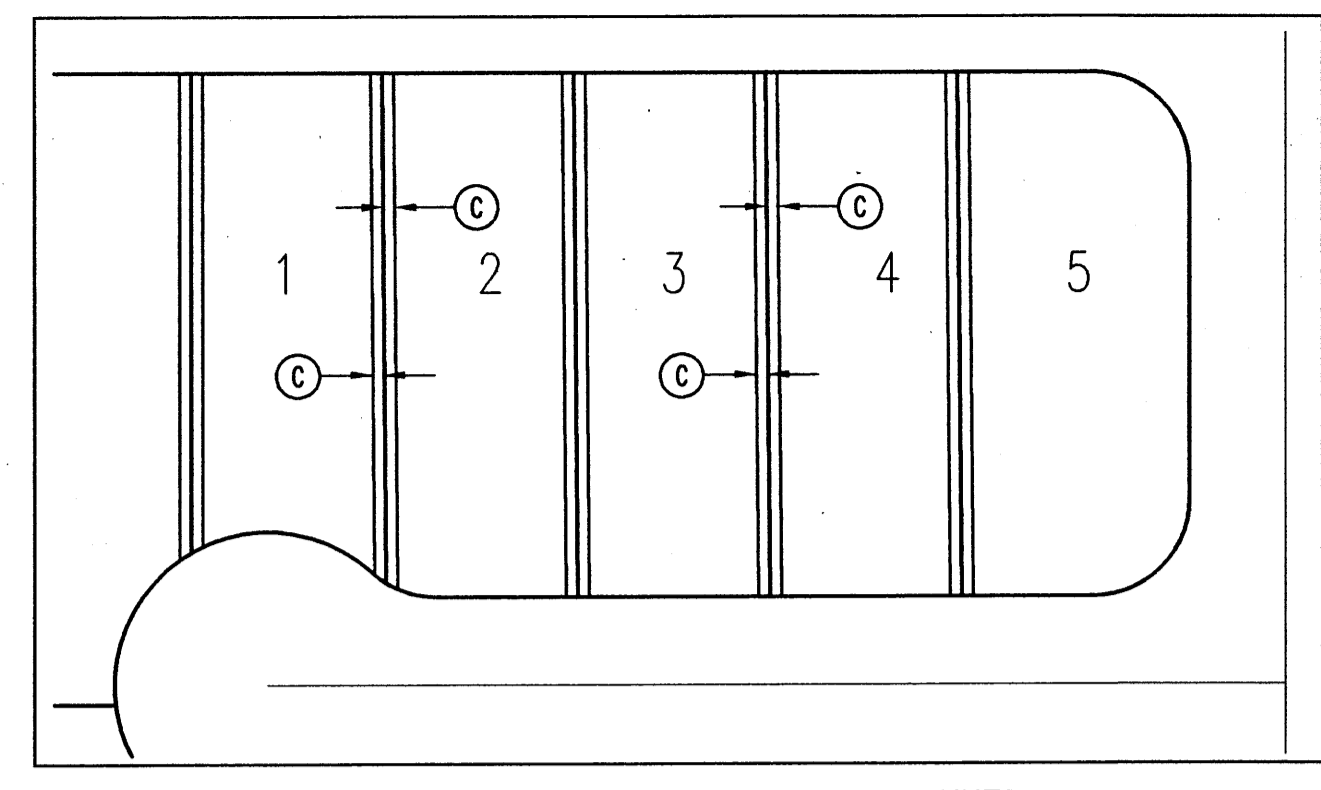
**VENTANA VISTA SUBDIVISION
GRADING AND EROSION CONTROL PLAN
GRADING DETAILS**

| | | | | |
|-------------------------|------------------------|--------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update | Mo./Day/Yr. | Mo./Day/Yr. |
| | | | | |

| | | | |
|------------------|--------------|-------|----|
| City Project No. | Zone Map No. | Sheet | Of |
| XXXXX | B-8 | 4 | 4 |

SURVEY NOTES:

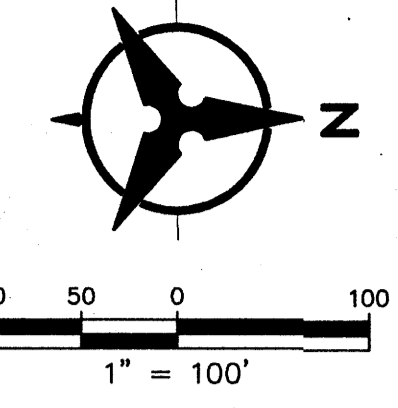
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.



TYPICAL SIDERYARD DRAINAGE EASEMENTS
SCALE: 1" = 50'

LEGEND

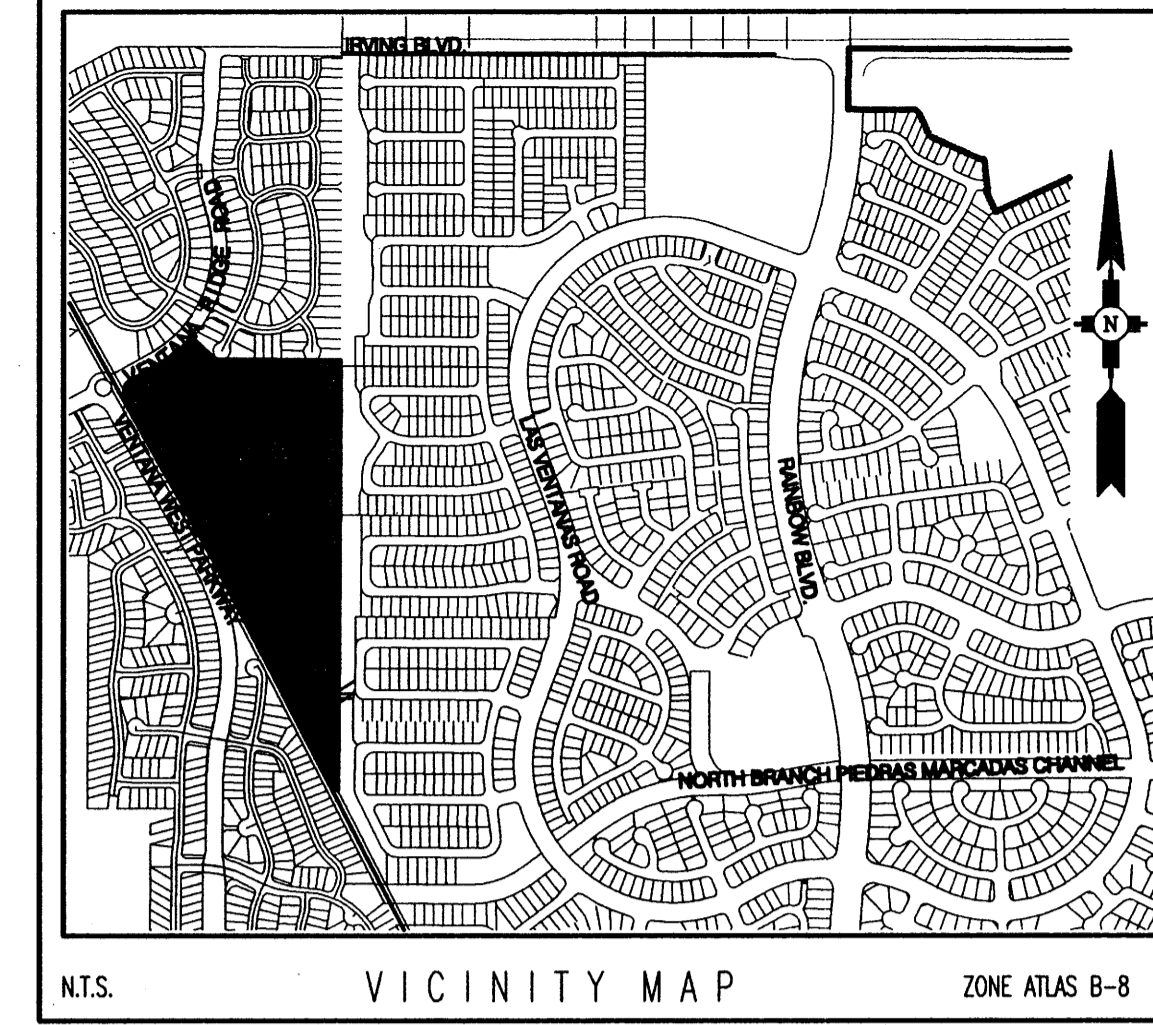
- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT



| ID | ARC | RADIUS | DELTA | TANGENT |
|----|---------|----------|-----------|---------|
| C1 | 78.54' | 50.00' | 90°00'00" | 50.00' |
| C2 | 221.15' | 688.00' | 18°25'02" | 111.54' |
| C3 | 563.74' | 1149.00' | 28°06'41" | 287.66' |

KEYED NOTES

- (A) 10' PUBLIC UTILITY EASEMENT.
- (B) 20' PUBLIC WATER EASEMENT.
- (C) 3' PRIVATE DRAINAGE EASEMENT.
- (D) TO BE PART OF TRACT D-2-a.
- (E) TO BE PART OF TRACT D-2-b.



PRELIMINARY PLAT FOR VENTANA VISTA SUBDIVISION
REPLAT OF TRACTS 4, 5, & D-2 AT VENTANA RANCH WEST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2005

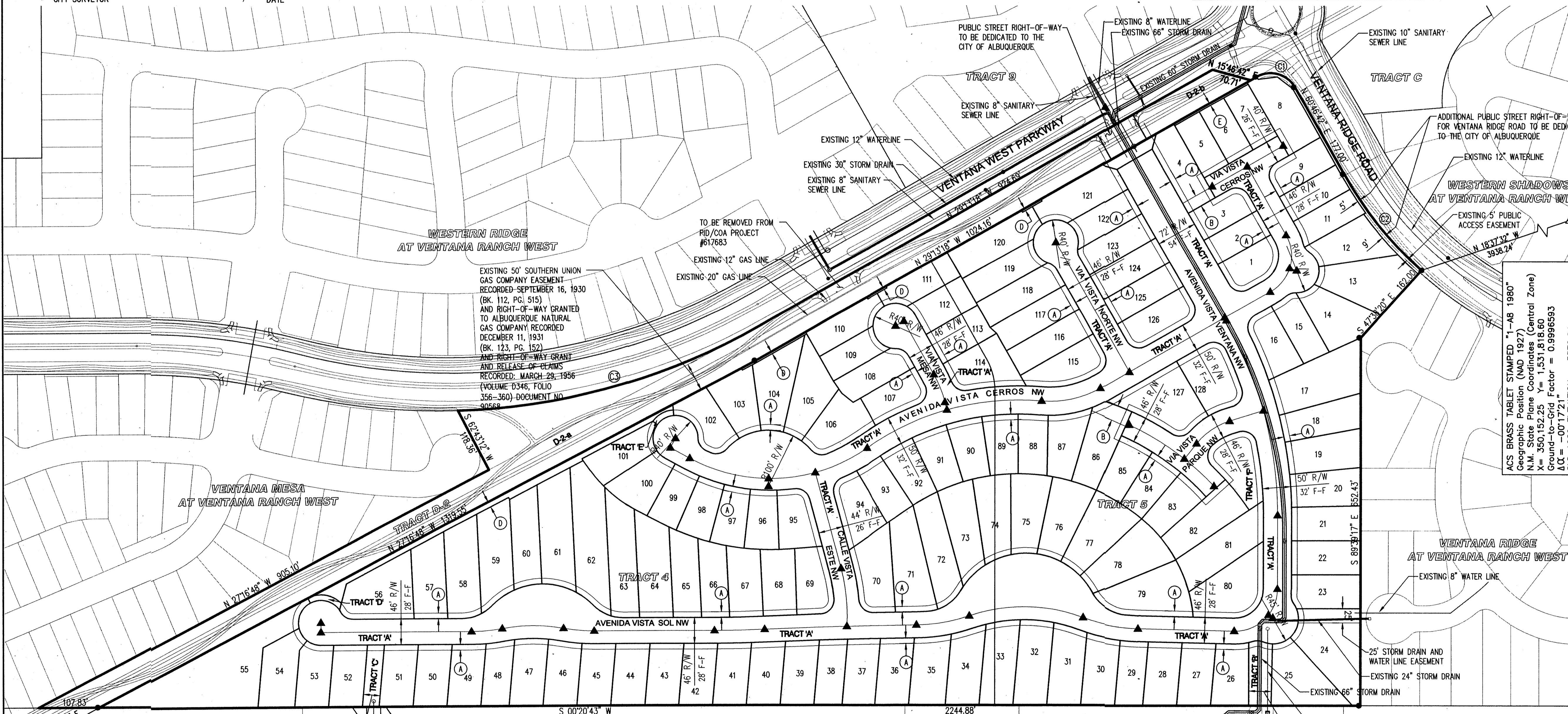
LEGAL DESCRIPTION

TRACTS 4 & 5 OF VENTANA RANCH WEST FILED: MARCH 11, 2004 (2004C-84), AND TRACT D-2 OF THE REPLAT OF TRACT D, VENTANA RANCH WEST FILED: APRIL 28, 2005 (2005C-130)

GENERAL NOTES

- EXISTING ZONING: RL1
PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED RESIDENTIAL
- PROPOSED ACREAGE: 30.6 AC
NUMBER OF LOTS: 128
PROPOSED DENSITY: 4.18 DU/AC
- MIN. LOT DIMENSIONS: 50' x 105'
MINIMUM LOT AREA: 5,250.00 SQ. FT.
- LOT SETBACKS SHALL CONFORM TO RL1 ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:
FRONT YARD: (15' w/ 20' TO GARAGE MIN.)
SIDE YARD: 5' (MIN.)
BACK YARD: 15' (MIN.)
CORNER SIDE YARD: 10' TO R/W
- ALL DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO VENTANA WEST PARKWAY, VENTANA RIDGE ROAD, AND/OR ADJACENT OPEN SPACE TRACTS.
- VENTANA VISTA HOMEOWNERS SUBASSOCIATION: THIS SUBDIVISION WILL HAVE A SUB HOMEOWNERS ASSOCIATION TO THE VENTANA RANCH WEST COMMUNITY ASSOCIATION. TRACTS "B" THROUGH "F" SHALL BE DEDICATED AS PRIVATE OPEN SPACE. PRIVATE ACCESS AND PRIVATE LANDSCAPE EASEMENTS ACROSS TRACTS "B" THROUGH "F" TO BE GRANTED TO AND MAINTAINED BY THE VENTANA VISTA HOMEOWNERS SUBASSOCIATION. A PUBLIC SANITARY SEWER EASEMENT ACROSS TRACTS "B" AND "C" TO BE GRANTED TO NMUI AND THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. A PUBLIC DRAINAGE EASEMENT ACROSS TRACTS "B", "C", AND "F" TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.
- PRIVATE ACCESS: THIS SUBDIVISION IS PLANNED TO BE A GATED COMMUNITY. ALL ROADS WITHIN THE DEVELOPMENT EXIST WITHIN TRACT "A" (PRIVATE STREET RIGHT-OF-WAY). STREET IMPROVEMENTS ARE TO BE PRIVATE AND MAINTAINED BY THE VENTANA VISTA HOMEOWNERS SUBASSOCIATION. A PUBLIC SANITARY SEWER AND WATER EASEMENT ACROSS TRACT "A" TO BE GRANTED TO NMUI AND THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. A PUBLIC DRAINAGE EASEMENT ACROSS TRACT "A" TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT. A PUBLIC UTILITY EASEMENT ACROSS TRACT "A" TO BE GRANTED WITH THE FILING OF THIS PLAT.
- THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES INC. (NMUI) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON NMUI'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMUI.
- PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH THE PARK SITE WITHIN TRACT C OF THE VENTANA RANCH WEST BULK PLAT IN ACCORDANCE WITH THE PARK DEDICATION AGREEMENT BETWEEN THE CITY OF ALBUQUERQUE AND VENTANA WEST, LLC DATED: MARCH 10, 2004 AS DOCUMENT NO. 2004031336.
- TRACT 5 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOATING PUBLIC STORM DRAIN EASEMENT (TO BE LOCATED PERPENDICULAR TO EXISTING PIPELINES) THAT HAS BEEN GRANTED TO THE CITY OF ALBUQUERQUE. THIS EASEMENT SHALL BE DEFINED AND CONFINED TO WITHIN FUTURE PUBLIC RIGHT-OF-WAY DEDICATED BY FUTURE PLATTING. FILED: MARCH 11, 2004 IN BOOK 2004C, PAGE 84. EASEMENT SHALL BE CONFINED TO THE PUBLIC RIGHT-OF-WAY DEDICATED WITH THE FINAL PLAT. TO BE VACATED WITH THE FILING OF THIS PLAT.
- TRACT 5 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOATING PUBLIC SANITARY SEWER EASEMENT GRANTED TO NEW MEXICO UTILITIES INC. AND THE CITY OF ALBUQUERQUE. FILED: MARCH 11, 2004 IN BOOK 2004C, PAGE 84. EASEMENT SHALL BE CONFINED TO THE PUBLIC RIGHT-OF-WAY DEDICATED WITH THE FINAL PLAT. TO BE VACATED WITH THE FILING OF THIS PLAT.
- TRACTS D-2-a AND D-2-b ARE SUBJECT TO A PRIVATE ACCESS AND LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE VENTANA RANCH WEST COMMUNITY ASSOCIATION.

APPROVED: [Signature]
CITY SURVEYOR
DATE: 7/22/05



NGS BRASS TABLET STAMPED "UNION 1969"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X = 353,409.02 Y = 1,523,440.96
Ground-to-Grid Factor = 0.99966044
Δα = -00°16'58"
SLD 1929 ELEVATION = 5522.0 (TRIG)

ACS BRASS TABLET STAMPED "1-AB 1980"
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X = 350,152.25 Y = 1,531,818.60
Ground-to-Grid Factor = 0.9996593
Δα = -00°17'21"
SLD 1929 ELEVATION = 5570.04

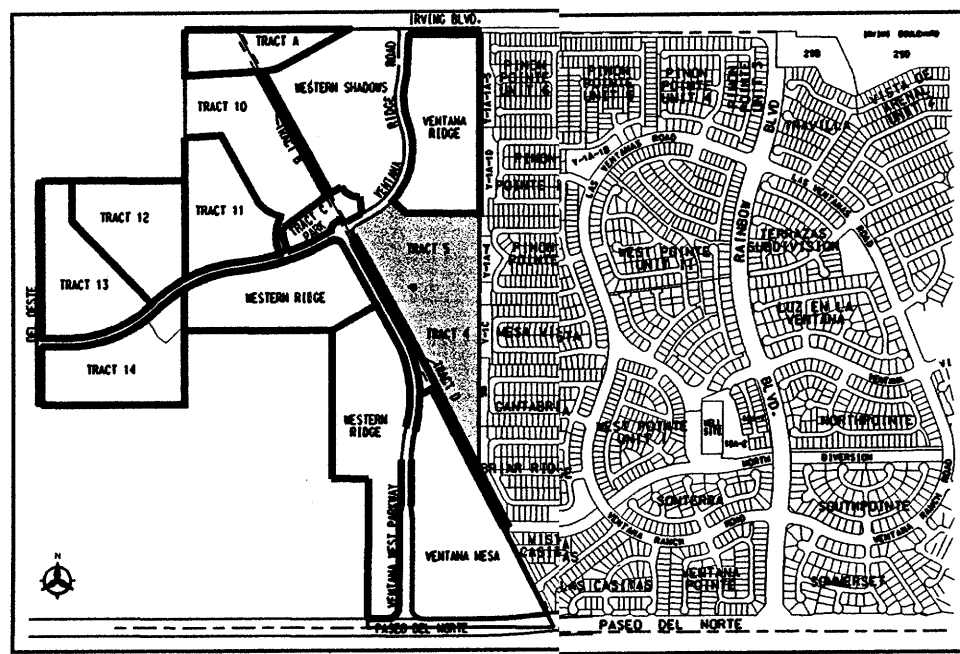
[Signature]
ROBERT M. MURPHY, PRESIDENT
SANDIA PROPERTIES LTD. CO.
MANAGING MEMBER
DATE: 7/22/05

Bohannon & Huston
Engineering & Spatial Data • Advanced Technologies
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87100-4395

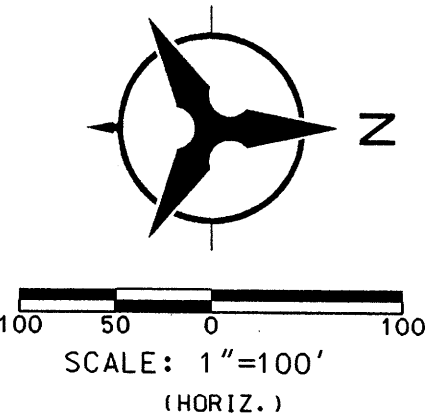


EXISTING
VENTANA RANCH

SKETCH PLAT
TRACTS 4 & 5
(AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MAY, 2005



LOCATION MAP
ZONE ATLAS MAP NOS. B-8-2
NOT TO SCALE



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 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
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