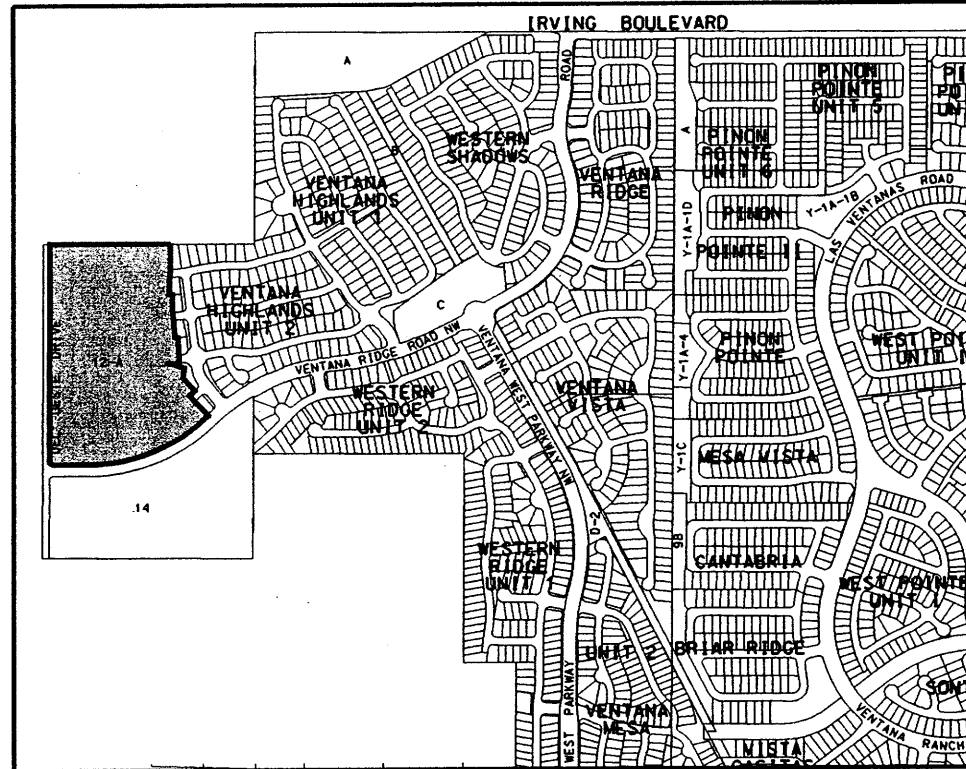


SP-2006101539



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 25.2633 Acres
4. Total Number of Tracts Created: One hundred nineteen (119) Lots & Three (3) Tracts.
5. Total Mileage of Full Width Streets created: 0.738 mile.
6. Total Mileage of Half width streets created: 0.166 mile.
7. Date of Survey: November, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 12-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 200617096 into One hundred nineteen (119) Lots & Three (3) Tracts, to dedicate public street right-of-way to the City of Albuquerque, to dedicate public non-vehicular right-of-way to the City of Albuquerque and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract 12-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 200617096 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 27) and ground distance as follows:

BEGINNING at the northeast corner of said Tract 12-A, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-A8 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25 and Y=1,531,818.60 bears N17°28'49"E a distance of 3,714.85 feet;

THENCE along the easterly boundary of said Tract 12-A, coincident with the westerly boundary line of Unit 2 Ventana Highlands Subdivision at Ventana Ranch West filed in the Office of the County Clerk of Bernalillo County, New Mexico on MARCH 30, 2006 in Book 2006C, Page 106 as Document No. 2006044221, the following seventeen courses;

- S0°35'56"W a distance of 157.94 feet;
S7°22'51"W a distance of 50.32 feet;
S1°14'51"W a distance of 110.00 feet to a point on curve (non-tangent);
20.72 feet along the arc of a curve to the left having a radius of 635.00 feet, a central angle of 01°52'10", and a chord of S89°41'14"E a distance of 20.72 feet;
S0°37'19"E a distance of 110.00 feet;
S4°26'15"E a distance of 50.10 feet;
S4°52'38"E a distance of 110.24 feet to a point on curve (non-tangent);
20.29 feet along the arc of a curve to the left having a radius of 905.00 feet, a central angle of 01°17'04", and a chord of N88°00'25"E a distance of 20.29 feet;
S2°38'07"E a distance of 160.00 feet to a point on curve (non-tangent);
71.99 feet along the arc of a curve to the right having a radius of 1,065.00 feet, a central angle of 03°52'23", and a chord of S89°18'04"W a distance of 71.98 feet to a point of reverse curvature;
4.06 feet along the arc of a curve to the left having a radius of 25.00 feet, a central angle of 0°18'10", and a chord of S86°35'11"W a distance of 4.05 feet to a point on curve (non-tangent);
9.26 feet along the arc of a curve to the right having a radius of 205.56 feet, a central angle of 2°34'51", and a chord of S83°14'59"E a distance of 9.26 feet;
S72°21'48"E a distance of 102.22 feet;
S7°40'25"W a distance of 60.12 feet;
S42°01'57"E a distance of 110.00 feet to a point on curve (non-tangent);
46.65 feet along the arc of a curve to the left having a radius of 1,458.00 feet, a central angle of 1°50'00", and a chord of S47°03'03"W a distance of 46.65 feet;
S43°51'57"E a distance of 170.00 feet to a point on curve (non-tangent) identical to the southeast corner of said Tract 12-A and being a point on the northerly right of way line of Ventana Ridge Road NW;

THENCE leaving said westerly line of Unit 2 Ventana Highlands Subdivision at Ventana Ranch and continuing along the southerly line of said Tract 12-A, coincident with the northerly right of way line of said Ventana Ridge Road NW, 10.81 feet along the arc of a curve to the left having a radius of 1,288.00 feet, a central angle of 0°26'52", and a chord of S45°53'37"W a distance of 10.81 feet to a point of reverse curvature;

THENCE continuing along said southerly line of Tract 12-A and said northerly right of way line of Ventana Ridge Road NW, 827.49 feet along the arc of a curve to the right, having a radius of 1,062.00 feet, a central angle of 44°38'38", and a chord of S67°58'30"W a distance of 806.72 feet;

THENCE continuing along said southerly line of Tract 12-A and said northerly right of way line of Ventana Ridge Road NW, N89°42'11"W a distance of 212.50 feet to a point of curvature for the east-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE, along said return of Ventana Ridge Road NW and Del Oeste Drive NW, 39.27 feet along the arc of a curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", and a chord of N44°42'11"W a distance of 35.36 feet to a point of tangency for the north-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE along the westerly boundary line of said Tract 12-A, coincident with the easterly right-of-way line of Del Oeste Drive NW, N0°17'49"E a distance of 1,362.04 feet to the northwest corner of said Tract 12-A;

THENCE leaving said easterly right-of-way line of Del Oeste Drive NW and continuing along the northerly boundary line of said Tract 12-A, S89°48'19"E a distance of 753.77 feet to the POINT OF BEGINNING.

Tract contains 25.2633 acres, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: March 27, 2006

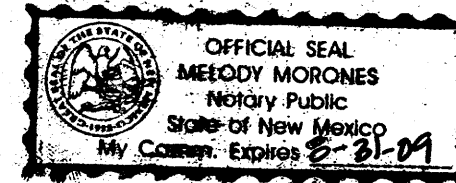


FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 12-A of the Plat of Ventana Highlands Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096, now comprising Lots 206 through 324 inclusive and Tracts X, Y & Z inclusive, VENTANA HIGHLANDS SUBDIVISION UNIT 3 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the easements. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY: Mark Ferguson, President
D.R. Horton, Inc.



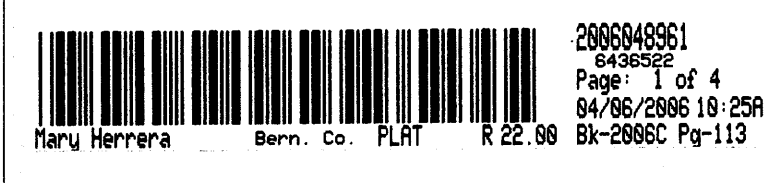
State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 27 day of March 2006, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 8-31-09

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in (lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. No individual lots shall be allowed direct access to Ventana Ridge Road NW or Lands outside of the subdivision boundary or Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
8. Park dedication requirements have been met with park site within Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC; dated March 10, 2004 as document No. 2004031336.
9. Tracts X, Y & Z are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts O thru V are subject to an underground public utility easement granted with the filing of this plat.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset parallel or radial to the centerline of roadway.



PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 3 AT
VENTANA RANCH WEST
(A REPLAT OF TRACT 12-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)

ALBUQUERQUE, NEW MEXICO
MARCH, 2005

PROJECT NUMBER 1004177
APPLICATION NUMBER OADR-00407

PLAT APPROVAL table with columns for Utility Approval, Date, and City Approval. Includes entries for PNM Electric Services, PNM Gas Services, and City Surveyor.

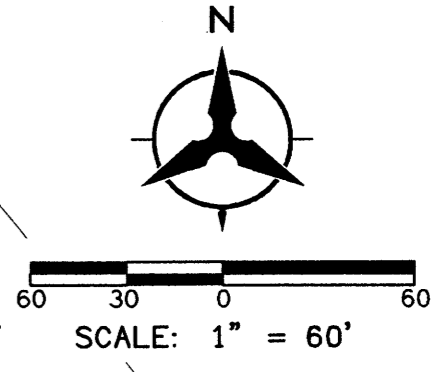
CITY APPROVALS table with columns for City Surveyor, Date, and Department. Includes entries for Traffic Engineering, Utilities Development, Parks & Recreation, and Real Property Division.

TAX CERTIFICATION table with columns for Property Owner of Record, Date, and Bernalillo County Treasurer's Office. Includes entry for Ventana West LLC dated 4-6-06.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive or release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. Engineering & Spatial Data & Advanced Technologies.

**PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 3 AT
VENTANA RANCH WEST**
(A REPLAT OF TRACT 12-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MARCH, 2005



**UNIT 2
VENTANA HIGHLANDS
SUBDIVISION AT
VENTANA RANCH WEST**
FILED: MARCH 30, 2006
(2006C-105)

EXISTING 10' PUBLIC
UTILITY EASEMENT
FILED: MARCH 30, 2006
(2006C-105)

EXISTING 10' PUBLIC
UTILITY EASEMENT
FILED: MARCH 30, 2006
(2006C-105)

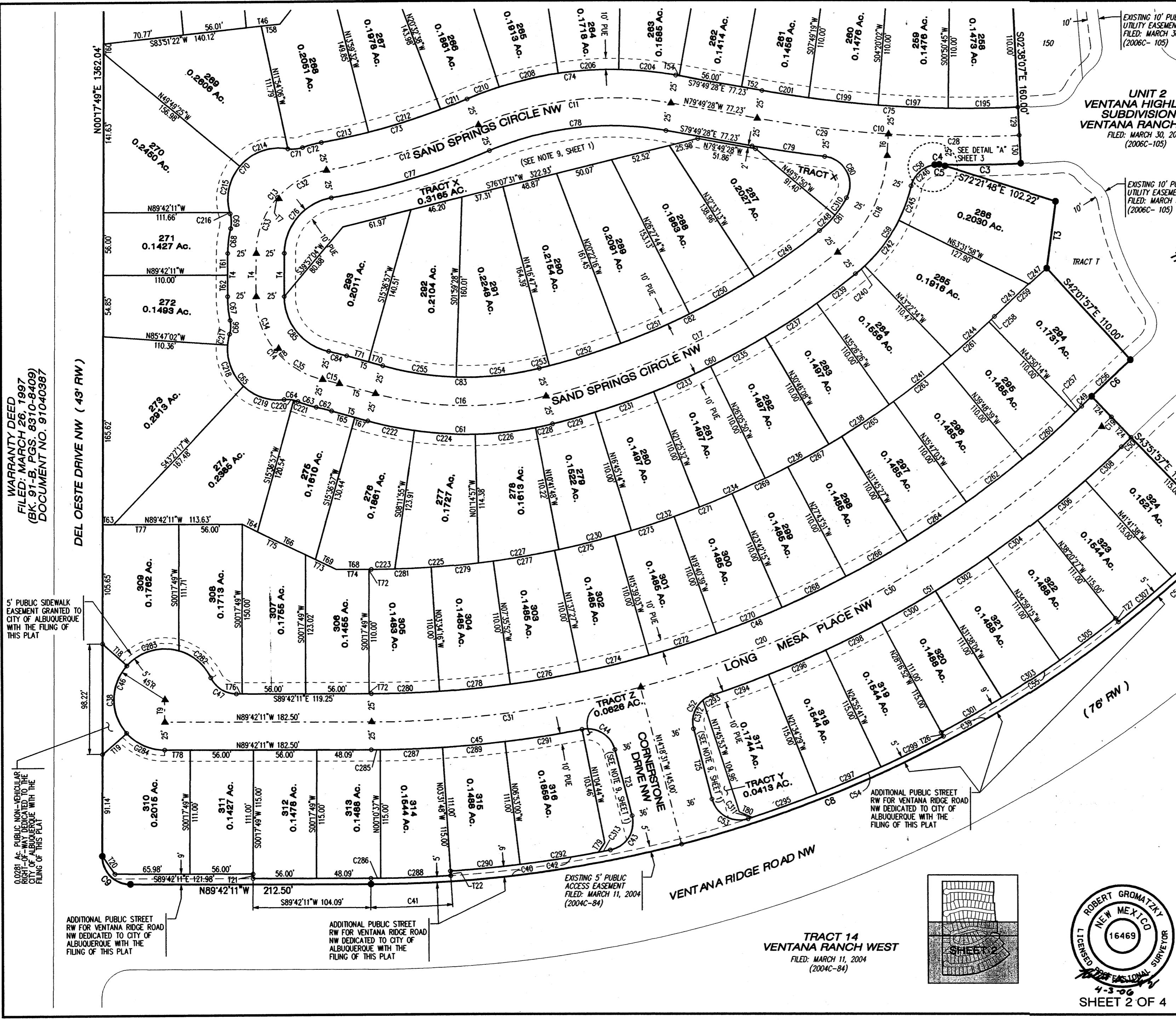
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GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=351,650.59 Y=1,527,002.51
GROUND TO GRID FACTOR = 0.9996595
DELTA ALPHA = -00'17"10"
NGVD 1929 ELEVATION = 5555.39

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT

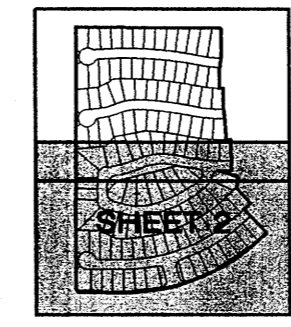


SHEET 2 OF 4

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



**TRACT 14
VENTANA RANCH WEST**
FILED: MARCH 11, 2004
(2004C-84)

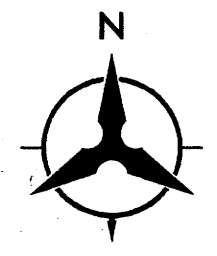


SPECIAL WARRANTY DEED
 FILED: MAY 22, 1991
 (BK. 91-B, PGS 8310-8409)
 DOCUMENT NO. 91040387

ACS BRASS TABLE STAMPED "1-A8 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,818.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04

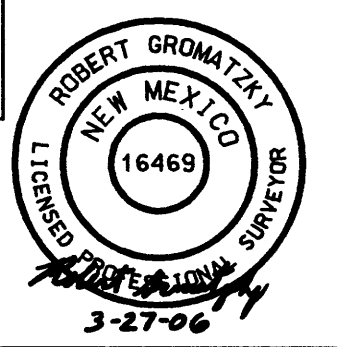
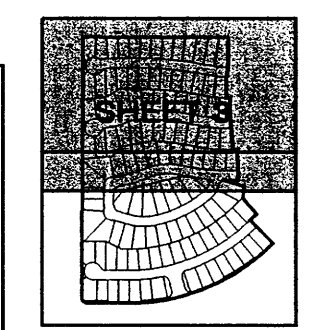
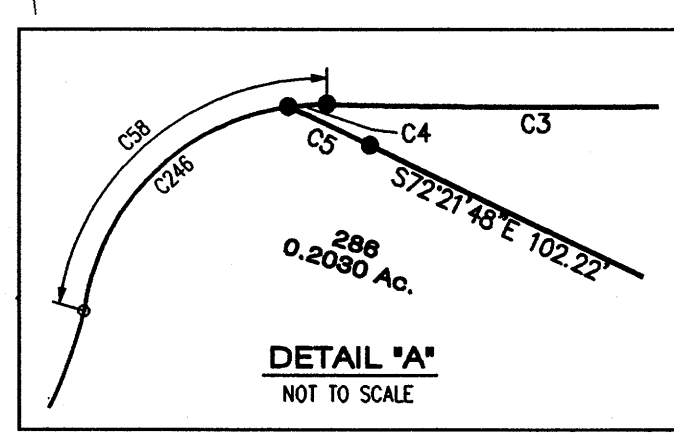


PLAT OF
**VENTANA HIGHLANDS
 SUBDIVISION
 UNIT 3 AT
 VENTANA RANCH WEST**
 (A REPLAT OF TRACT 12-A, UNIT 1
 VENTANA HIGHLANDS SUBDIVISION
 AT VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 MARCH, 2005

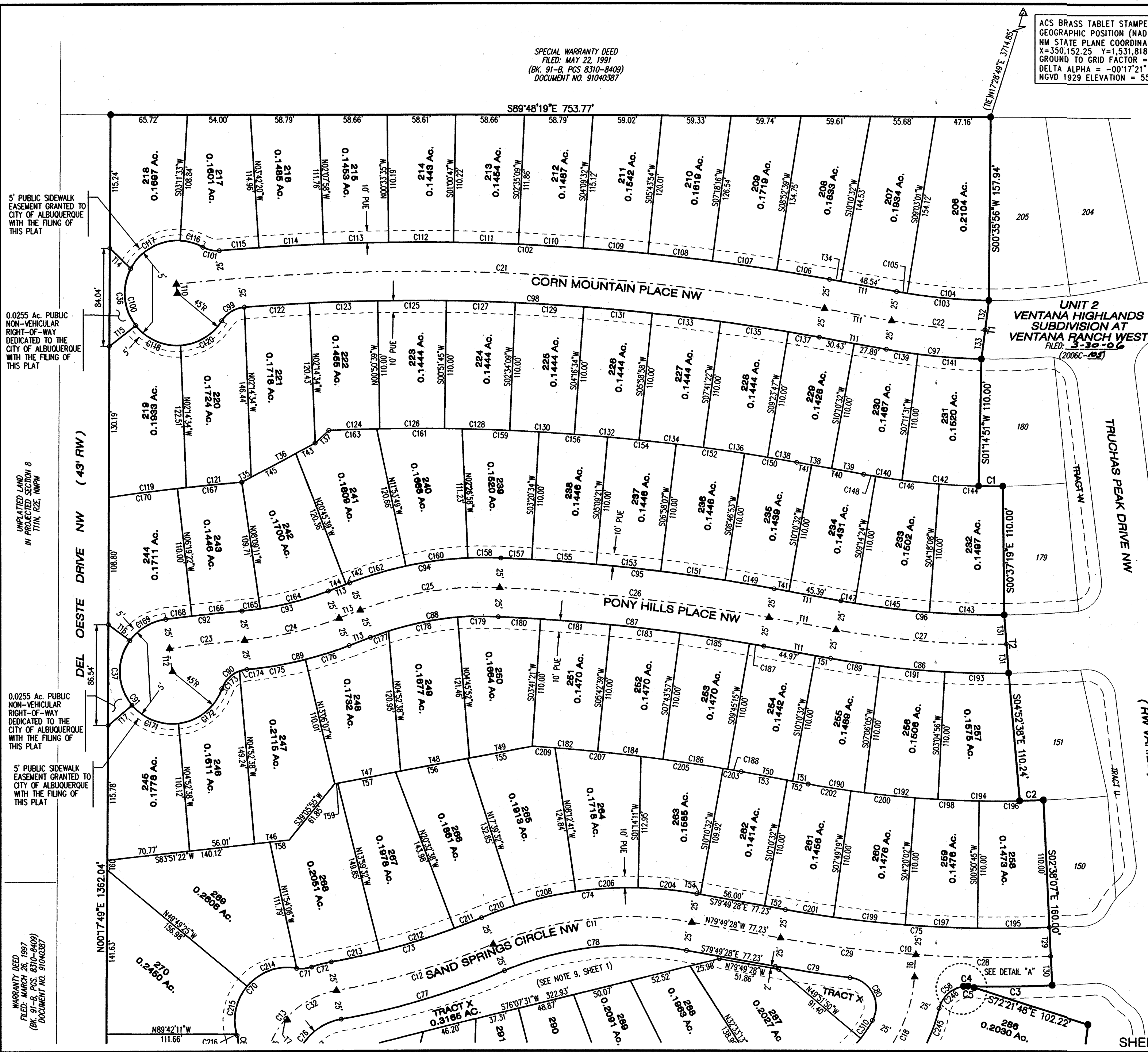


SCALE: 1" = 60'

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



5' PUBLIC SIDEWALK EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

0.0255 Ac. PUBLIC NON-VEHICULAR RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

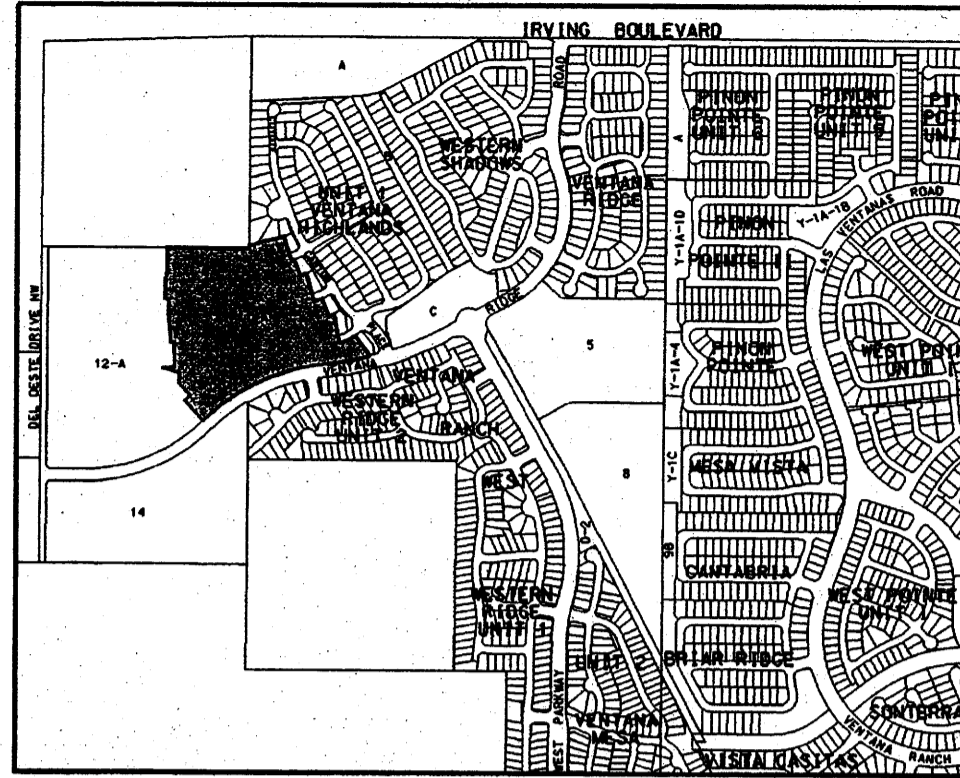
UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E, N14W

0.0255 Ac. PUBLIC NON-VEHICULAR RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

5' PUBLIC SIDEWALK EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

WARRANTY DEED FILED: MARCH 26, 1997 (BK. 91-B, PGS 8409) DOCUMENT NO. 91040387

Curve Data																				
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	01°52'10"	10.36'	20.72'	635.00'	20.72'	S89°41'14"E	C92	02°11'32"	32.81'	65.62'	1715.00'	65.62'	N84°01'41"E	C183	02°01'18"	30.08'	60.16'	1705.00'	60.16'	S83°16'42"E
C2	01°17'04"	10.15'	20.29'	905.00'	20.29'	N88°00'25"E	C93	15°53'06"	38.37'	76.24'	275.00'	76.00'	N77°10'54"E	C184	02°01'18"	28.14'	56.28'	1595.00'	56.28'	N83°16'42"W
C3	03°52'23"	16.01'	31.01'	1065.00'	31.01'	S89°18'04"W	C94	23°14'10"	66.82'	131.80'	325.00'	130.90'	N80°51'26"E	C185	02°01'18"	30.08'	60.16'	1705.00'	60.16'	S81°15'24"E
C4	09°18'10"	2.03'	4.06'	25.00'	4.05'	S86°35'11"W	C95	07°42'01"	118.11'	235.86'	1755.00'	235.69'	S83°40'29"E	C186	02°01'18"	28.14'	56.28'	1595.00'	56.28'	N81°15'24"W
C5	02°34'51"	4.63'	9.26'	205.56'	9.26'	S87°14'59"E	C96	10°47'51"	70.41'	140.40'	745.00'	140.19'	S85°13'23"E	C187	00°25'17"	6.27'	12.54'	1705.00'	12.54'	S80°02'06"E
C6	01°50'00"	23.33'	46.65'	1458.00'	46.65'	S47°03'03"W	C97	08°55'41"	40.99'	81.81'	525.00'	81.72'	N84°17'18"W	C188	00°25'17"	5.86'	11.73'	1595.00'	11.73'	N80°02'06"W
C7	00°28'52"	5.41'	10.81'	1288.00'	10.81'	S45°53'37"W	C98	14°20'21"	248.44'	494.27'	1975.00'	492.99'	N86°59'39"W	C189	03°04'27"	21.33'	42.66'	795.00'	42.65'	S81°21'42"E
C8	44°38'38"	436.03'	872.49'	1062.00'	806.72'	S67°58'30"W	C99	53°39'28"	12.64'	25.41'	25.00'	25.27'	S59°00'27"W	C190	03°04'27"	24.29'	48.56'	905.00'	48.55'	N81°21'42"W
C9	90°00'00"	25.00'	39.27'	25.00'	35.36'	N44°42'11"W	C100	26°70'53"	-----	209.75'	45.00'	65.25'	N14°23'18"W	C191	04°01'08"	27.89'	55.76'	795.00'	55.75'	S84°54'29"E
C10	12°48'39"	116.76'	232.54'	1040.00'	232.05'	N86°13'48"W	C101	33°48'38"	7.60'	14.75'	25.00'	14.54'	S77°45'40"E	C192	04°01'08"	31.75'	63.48'	905.00'	63.47'	N84°54'29"W
C11	33°10'07"	89.34'	173.67'	300.00'	171.26'	S83°35'29"W	C102	14°50'31"	263.76'	524.56'	2025.00'	523.09'	S87°14'44"E	C193	03°56'40"	27.38'	54.73'	795.00'	54.72'	S88°53'24"E
C12	13°10'19"	70.43'	140.23'	610.00'	139.93'	S73°35'35"W	C103	09°34'36"	39.79'	79.39'	475.00'	79.30'	S84°36'46"E	C194	04°25'59"	35.03'	70.02'	905.00'	70.01'	N89°08'03"W
C13	79°52'55"	62.80'	125.60'	75.00'	96.30'	S40°14'16"W	C104	08°27'04"	35.10'	70.06'	475.00'	70.00'	N85°10'31"W	C195	03°28'52"	30.84'	61.67'	1015.00'	61.66'	S89°06'19"W
C14	77°35'17"	60.29'	120.56'	75.00'	93.98'	S38°29'50"E	C105	10°07'31"	4.66'	9.33'	475.00'	9.33'	N80°23'14"W	C196	03°28'52"	27.50'	54.99'	905.00'	54.98'	N89°06'19"E
C15	02°54'25"	7.61'	15.22'	300.00'	15.22'	S75°50'15"E	C106	01°17'53"	22.94'	45.88'	2025.00'	45.88'	N80°28'25"W	C197	03°29'17"	30.91'	61.79'	1015.00'	61.78'	N87°24'36"W
C16	29°03'15"	77.74'	155.48'	300.00'	150.50'	S88°54'40"E	C107	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N81°54'32"W	C198	03°29'17"	27.56'	55.10'	905.00'	55.09'	S87°24'36"E
C17	25°41'06"	147.50'	295.00'	647.00'	287.62'	N63°43'09"E	C108	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N83°28'55"W	C199	03°29'17"	30.91'	61.79'	1015.00'	61.78'	N83°55'19"W
C18	47°21'41"	52.63'	99.19'	120.00'	96.39'	N27°11'46"E	C109	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N85°03'17"E	C200	03°29'17"	27.56'	55.10'	905.00'	55.09'	S83°55'19"E
C19	00°28'52"	6.02'	12.03'	1433.00'	12.03'	S45°53'37"W	C110	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N86°37'40"W	C201	02°21'13"	20.85'	41.69'	1015.00'	41.69'	N81°00'04"W
C20	44°38'38"	376.50'	714.51'	917.00'	696.57'	S67°58'30"W	C111	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N88°12'02"W	C202	02°21'13"	18.59'	37.17'	905.00'	37.17'	S81°00'04"E
C21	15°57'44"	280.41'	557.19'	2000.00'	555.39'	S87°48'20"E	C112	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N89°46'24"W	C203	00°34'16"	7.95'	15.90'	1595.00'	15.90'	S80°06'36"E
C22	09°14'09"	40.39'	80.60'	500.00'	80.51'	S84°26'33"E	C113	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S88°39'13"W	C204	05°56'21"	25.40'	50.71'	325.00'	50.65'	N84°17'39"W
C23	02°11'32"	32.34'	64.66'	1690.00'	64.66'	N84°01'41"E	C114	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S87°04'51"W	C205	02°33'16"	35.56'	71.11'	1595.00'	71.10'	S81°40'22"E
C24	15°53'06"	41.86'	83.17'	300.00'	82.91'	N77°10'54"E	C115	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S85°48'50"W	C206	09°26'52"	26.86'	53.59'	325.00'	53.53'	S86°30'45"W
C25	23°14'10"	61.68'	123.36'	300.00'	120.83'	N80°51'26"E	C116	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N73°49'55"W	C207	02°39'39"	37.04'	74.07'	1595.00'	74.07'	S84°16'49"E
C26	07°42'01"	116.43'	232.50'	1730.00'	232.33'	S83°40'29"E	C117	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S60°31'00"W	C208	09°26'52"	26.86'	53.59'	325.00'	53.53'	S77°03'53"W
C27	10°55'17"	73.61'	147.22'	770.00'	146.55'	S85°17'07"E	C118	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S65°43'31"E	C209	00°42'00"	9.74'	19.49'	1595.00'	19.49'	S85°57'39"E
C28	06°22'21"	57.89'	115.67'	1040.00'	115.61'	N89°26'57"W	C119	02°05'59"	33.44'	66.88'	1825.00'	66.88'	S82°52'05"W	C210	05°20'02"	15.14'	30.26'	325.00'	30.25'	S69°40'26"W
C29	06°26'19"	58.50'	116.87'	1040.00'	116.81'	N83°02'37"W	C120	04°28'09"	23.16'	46.32'	45.00'	41.19'	N59°18'50"E	C211	02°26'57"	12.51'	25.01'	585.00'	25.00'	S68°13'54"W
C30	29°37'15"	242.46'	474.07'	917.00'	468.81'	S60°27'49"W	C121	01°30'10"	23.94'	47.87'	1825.00'	47.87'	S84°40'10"W	C212	06°33'06"	33.48'	66.89'	585.00'	66.86'	S72°43'55"W
C31	15°01'22"	120.91'	240.44'	917.00'	239.75'	S82°47'08"W	C122	01°37'31"	28.01'	56.03'	1975.00'	56.02'	N86°38'57"E	C213	04°10'16"	21.30'	42.59'	585.00'	42.58'	S78°05'36"W
C32	38°27'39"	26.16'	52.31'	75.00'	49.41'	S60°56'54"W	C123	01°41'39"	29.20'	58.40'	1975.00'	58.39'	N88°18'32"E	C214	60°10'20"	26.07'	47.26'	45.00'	45.12'	S70°15'45"W
C33	41°25'16"	28.36'	56.72'	75.00'	53.05'	S21°00'27"W	C124	01°20'12"	21.76'	43.51'	1865.00'	43.51'	S88°29'15"W	C215	05°30'29"	23.68'	43.60'	45.00'	41.91'	S12°25'20"W
C34	40°03'06"	27.34'	54.68'	75.00'	51.37'	S19°43'44"E	C125	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S89°59'27"E	C216	01°34'50"	0.62'	1.24'	45.00'	1.24'	S16°07'20"E
C35	37°32'10"	25.49'	50.98'	75.00'	48.26'	S58°31'23"E	C126	01°42'24"	27.78'	55.56'	1865.00'	55.55'	N89°59'27"W	C217	12°27'33"	4.91'	9.79'	45.00'	9.77'	S10°26'45"W
C36	65°02'24"	29.13'	58.26'	45.00'	48.91'	S05°04'44"E	C127	01°42'24"	27.78'	55.56'	1865.00'	55.55'	S88°17'03"E	C218	05°45'41"	21.35'	39.87'	45.00'	38.58'	S21°09'52"E
C37	76°16'12"	35.33'	70.66'	45.00'	55.58'	S01°47'19"E	C128	01°42'24"	27.78'	55.56'	1865.00'	55.55'	N88°17'03"W	C219	49°38'23"	20.81'	38.99'	45.00'	37.78'	S71°21'54"E
C38	83°31'17"	40.18'	80.36'	45.00'	59.94'	S00°26'17"W	C129	01°42'24"	27.78'	55.56'	1865.00'	55.55'	S86°34'38"E	C220	19°26'33"	4.28'	8.48'	25.00'	8.44'	S86°27'49"E
C39	29°40'40"	281.37'	550.00'	1062.00'	543.96'	S60°29'31"W	C130	01°42'24"	27.78'	55.56'	1865.00'	55.55'	N86°34'38"W	C221	09°10'26"	2.01'	4.00'	25.00'	4.00'	S72°09'20"E
C40	14°57'57"	139.49'	277.40'	1062.00'	276.61'	S82°48'50"W	C131	01°42'24"	27.78'	55.56'	1865.00'	55.55'	S84°52'14"E	C222	07°25'22"	21.07'	42.07'	325.00'	42.04'	S78°05'34"E
C41	03°49'37"	35.31'	70.60'	1057.00'	70.59'	N88°23'00"E	C132	01°42'24"	27.78'	55.56'	1865.00'	55.55'	N84°52'14"W	C223	01°30'54"	10.34'	20.68'	782.00'	20.68'	S89°32'22"W
C42	07°44'59"	71.32'	142.63'	1053.00'	142.32'	N82°35'43"E	C133	01°42'24"	27.78'	55.56'	1865.00'	55.55'	S83°09'50"E	C224	09°26'52"	26.86'	53.59'	325.00'	53.53'	S86°31'31"E
C43	93°01'44"	26.36'	52.72'	25.00'	36.28'	N32°12'21"E	C134	01°42'24"	27.78'	55.56'	1865.00'	55.55'	N83°09'50"W	C225	05°24'25"	36.92'	73.79'	782.00'	73.77'	S86°04'42"E
C44	86°46'47"	23.63'	47.26'	25.00'	34.35'	N57°41'55"W	C135	01°42'24"	27.78'	55.56'	1865.00'	55.55'	S81°27'26"E	C226	09°26'52"	26.86'	53.59'	325.00'	53.53'	N84°01'37"E
C45	11°23'07"	93.90'	187.19'	942.00'	186.88'	S84°36'15"W	C136	01°42'24"	27.78'	55.56'	1865.00'	55.55'	N81°27'26"W	C227	05°17'16"	36.11'	72.17'	782.00'	72.15'	S80°43'52"W
C46	244°37'23"	-----	192.13'	45.00'	76.06'	N32°36'30"E	C137	00°46'45"	13.43'	26.86'	1975.00'	26.86'	S80°12'51"E	C228	02°44'29"	7.78'	15.55'	325.00'	15.55'	N77°55'57"E
C47	64°37'23"	15.81'	31.62'	25.00'	26.73'	S57°23'30"E	C138	00°46'45"	13.68'	27.37'	1865.00'	25.37'	N80°12'51"W	C229	03°18'56"	19.45'	38.89'	672.00'	38.88'	N74°54'14"E
C48	44°38'38"	366.23'	695.03'	892.00'	677.58'	N67°58'30"E	C139	02°59'01"	12.67'	25.34'	525.00'	27.34'	S81°18'58"E	C230	04°50'27"	33.06'	66.07'	782.00'	66.05'	S75°40'00"W
C49	00°28'52"	6.12'	12.24'	1458.00'	12.24'	N45°53'37"E	C140	02°59'01"	16.54'	33.07'	635.00'	33.06'	N81°18'58"W	C231	04°40'18"	27.41'	54.79'	672.00'	54.78'	N70°54'37"E
C50	00°28'52"	5.91'	11.82'	1408.00'	11.82'	S45°53'37"W	C141	05°56'40"	27.26'	54.47'	525.00'	54.44'	S85°46'49"E	C232	04°40'18"	31.90'	63.76'	782.00'	63.74'	S70°54'37"W
C51	26°01'30"	217.69'	427.88'	942.00'	424.21'	S58°39'56"W	C142	05°56'40"	32.97'	65.88'	635.00'	65.85'	N85°46'49"W	C233	04°40'18"	27.41'	54.79'	672.00'	54.78'	N66°14'19"E
C52	85°59'12"	23.31'	37.52'	25.00'	34.10'	S28°41'05"W	C143	04°55'27"	32.03'	64.03'	745.00'									



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE
SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 19.7487 Acres
4. Total Number of Tracts Created: Eighty-nine (89) Lots & eight (8) Tracts.
5. Total Mileage of Full Width Streets created: 1.087 mile.
6. Total Mileage of partial width streets created: 0.220 mile.
7. Date of Survey: November, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096 into eighty-nine (89) Lots & eight (8) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque and to grant easements.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 27) and ground distances as follows:

BEGINNING at the southeast corner of said Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West filed on February 6, 2006 in Book 2006C, page 42, also being a point on curve on the northerly right-of-way line of Ventana Ridge Road NW, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-BB 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=361,860.69' and Y=1,527,002.51' bears S85°28'48"E a distance of 1450.85 feet;

THENCE 295.12 feet along the arc of a curve to the right having a radius of 1,962.00 feet, a central angle of 8°37'06", and a chord of S90°19'00"W, a distance of 294.84 feet to a point of reverse curvature;

THENCE 865.29 feet along the arc of a curve to the left having a radius of 1,288.00 feet, a central angle of 38°29'31", and a chord of S65°22'48"W, a distance of 849.11 feet to the southwest corner of said Tract 11-A;

THENCE leaving said right-of-way, and continuing along the westerly boundary of said Tract 11-A, the following seventeen courses;

- N43°51'57"W a distance of 170.00 feet to a point on curve (non-tangent);
46.65 feet along the arc of a curve to the right having a radius of 1,458.00 feet, a central angle of 1°50'00", and a chord of N47°03'03"E, a distance of 46.65 feet;
N42°01'57"W a distance of 110.00 feet;
N07°40'25"E a distance of 60.12 feet;
N72°21'48"W a distance of 102.22 feet to a point of curvature;
9.26 feet along the arc of a curve to the left having a radius of 205.56 feet, a central angle of 2°34'51", and a chord of N83°14'59"W, a distance of 9.26 feet to a point on a curve (non-tangent);
4.06 feet along the arc of a curve to the right having a radius of 25.00 feet, a central angle of 9°18'10", and a chord of N88°35'11"E, a distance of 4.05 feet to a point of reverse curvature;
71.98 feet along the arc of a curve to the left having a radius of 1,065.00 feet, a central angle of 3°52'23", and a chord of N89°18'04"E, a distance of 71.98 feet;
N2°38'07"W a distance of 160.00 feet to a point on curve (non-tangent);
20.29 feet along the arc of a curve to the right having a radius of 906.00 feet, a central angle of 1°17'04", and a chord of S88°00'25"W, a distance of 20.29 feet;
N4°52'38"W a distance of 110.24 feet;
N4°26'15"W a distance of 50.10 feet;
N0°37'19"W a distance of 110.00 feet to a point on curve (non-tangent);
20.72 feet along the arc of a curve to the right having a radius of 635.00 feet, a central angle of 1°52'10", and a chord of N 89°41'14" W, a distance of 20.72 feet;
N1°14'51"E a distance of 110.00 feet;
N7°22'51"E a distance of 50.32 feet;
N0°35'50"E a distance of 157.94 feet to the northwest corner of said Tract 11-A;

THENCE along the northerly boundary line of said Tract 11-A S89°48'19"E a distance of 523.27 feet;

THENCE N0°17'55"E a distance of 17.95 feet to a point on curve (non-tangent);

THENCE continuing along said northerly boundary line of Tract 11-A, 177.50 feet along the arc of a curve to the right having a radius of 2108.00 feet, a central angle of 4°49'28", and a chord of N75°50'15"E, a distance of 177.44 feet to a point of reverse curvature;

THENCE 48.08 feet along the arc of a curve to the left having a radius of 365.00 feet, a central angle of 7°32'52", a chord of N74°28'33"E, a distance of 48.05 feet to the northeast corner of said Tract 11-A;

THENCE along the easterly boundary line of said Tract 11-A, S19°17'53"E a distance of 160.00 feet to a point on curve (non-tangent), a point on the southerly right-of-way line of Corn Mountain Place NW;

THENCE along said easterly boundary line and also along said southerly right-of-way line, 17.35 feet along the arc of a curve to the left having a radius of 525.00 feet, a central angle of 1°53'37", and a chord of N 69°45'18" E, a distance of 17.35 feet;

THENCE leaving said right-of-way line and continuing along said easterly boundary line of Tract 11-A, the following three courses;

- S21°11'31"E a distance of 110.00 feet to a point on curve (non-tangent);
39.46 feet along the arc of a curve to the left having a radius of 635.00 feet, a central angle of 3°33'36", and a chord of N 67°01'41" E, a distance of 39.45 feet;
S16°00'35"E a distance of 129.30 feet to a point on the northerly right-of-way line of Pony Hills Place NW;

THENCE crossing said right-of-way S13°12'14"E a distance of 50.05 feet to a point on curve (non tangent) on the southerly right-of-way line of Pony Hills Place NW;

THENCE along said southerly right-of-way line, 54.13 feet along the arc of a curve to the left having a radius of 425.00 feet, a central angle of 7°17'50", and a chord of N 70°40'19" E, a distance of 54.09 feet;

THENCE leaving said right-of-way line and continuing along the easterly boundary line of said Tract 11-A the following four courses;

- S22°58'36"E a distance of 124.29 feet;
N61°48'36"E a distance of 37.85 feet;
S8°32'16"E a distance of 130.73 feet;
S19°13'45"E a distance of 50.86 feet to a point on curve (non-tangent) a point on the southerly right-of-way line of Sand Springs Road NW;

THENCE continuing along the easterly boundary line of said Tract 11-A and said southerly right-of-way line 103.57 feet along the arc of a curve to the left having a radius of 205.00 feet, a central angle of 28°56'53", and a chord of N66°29'15"E, a distance of 102.46 feet;

THENCE leaving said right-of-way line and continuing along the easterly boundary line of said Tract 11-A, S38°05'11"E a distance of 158.40 feet to the POINT OF BEGINNING.

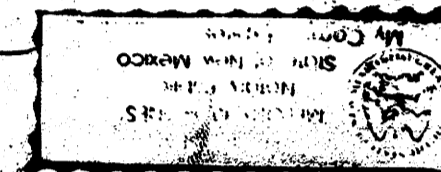
Tract contains 19.7487 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096, now comprising Lots 117 through 205 inclusive and Tracts P thru W inclusive, VENTANA HIGHLANDS SUBDIVISION UNIT 2 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement are granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

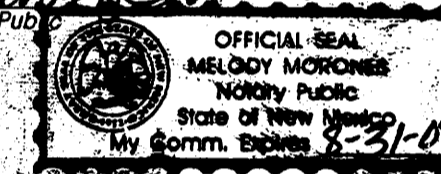
BY: Mark Ferguson, President D.R. Horton, Inc.



State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 20th day of March 2006, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: Aug. 31, 2009



NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline monumentation (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. No individual lots shall be allowed direct access to Ventana Ridge Road NW or Lands outside of the subdivision boundary or Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
8. Park dedication requirements have been met with park site within Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC, dated March 10, 2004 as document No. 2004031336.
9. Tracts P thru W are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts P thru W are subject to an underground public utility easement granted with the filing of this plat.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset parallel or radial to the centerline of roadway..

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: March 20, 2006



PLAT OF
VENTANA HIGHLANDS
SUBDIVISION UNIT 2 AT
VENTANA RANCH WEST
(A REPLAT OF TRACT 11-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MARCH, 2006

PROJECT NUMBER 1004177
APPLICATION NUMBER 06DRB-00374

PLAT APPROVAL

UTILITY APPROVALS:
3-27-06
3-27-06
3-23-06
3-23-06
3-27-06

CITY APPROVALS:
3-20-06
3-29-06
3/29/06
3/29/06
3/29/06
3/29/06
3/29/06
3/29/06

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC
1-008-065-290 356-10/01
1-008-065-327 412-10/02

PROPERTY OWNER OF RECORD Ventana West LLC
P. Ramirez 3/30/06
BERNALILLO COUNTY TREASURER'S OFFICE

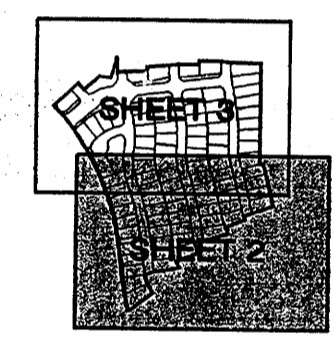
Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**PLAT OF
VENTANA HIGHLANDS
SUBDIVISION UNIT 2 AT
VENTANA RANCH WEST**
(A REPLAT OF TRACT 11-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MARCH, 2006

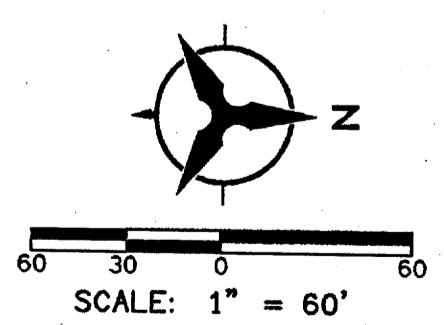
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1 AT
VENTANA RANCH WEST
FILED: FEBRUARY 6, 2006
(2006C-42)

ACS BRASS TABLE STAMPED "1-A8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=350,152.25 Y=1,531,818.60
GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -00°17'21"
NGVD 1929 ELEVATION = 5570.04

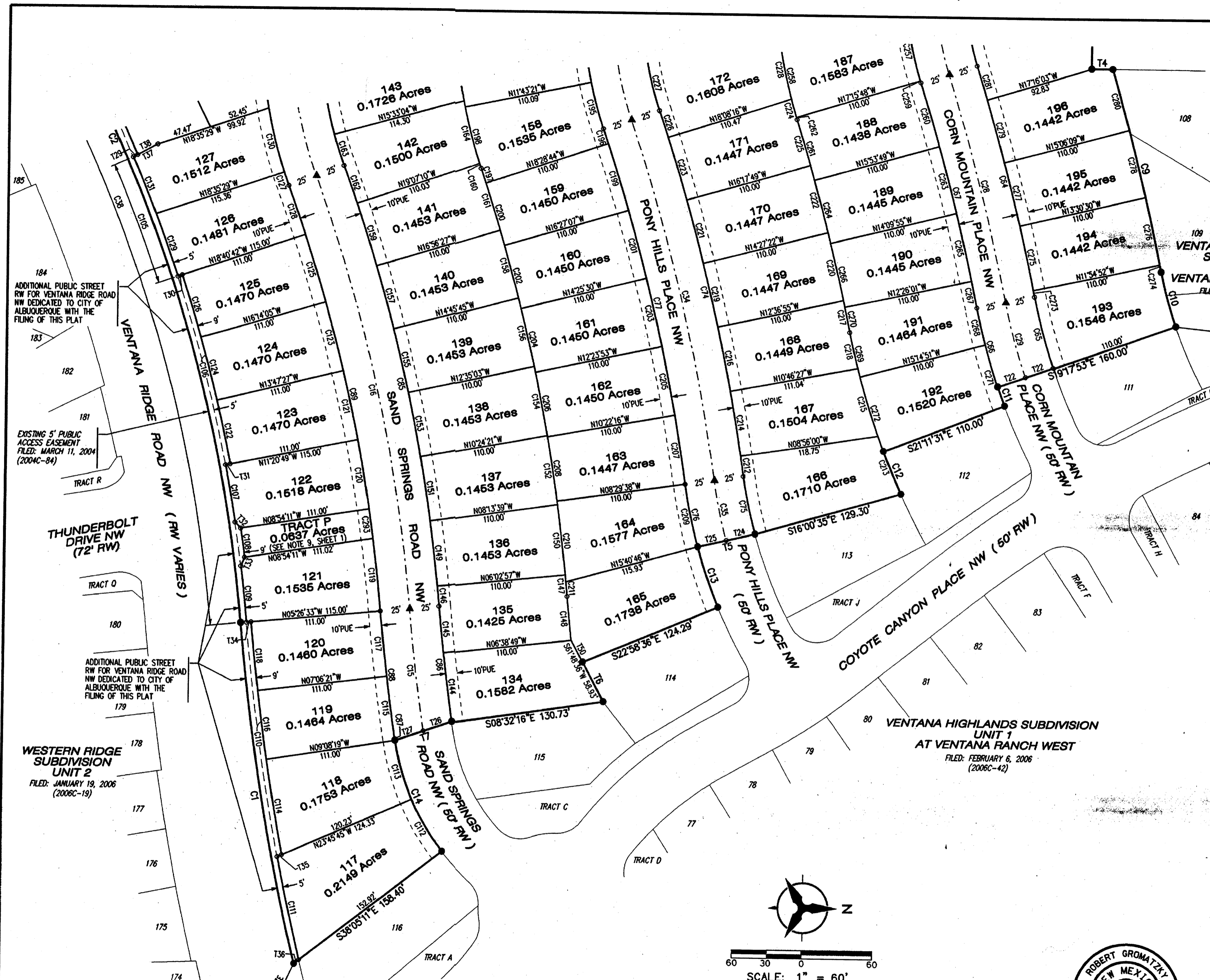


NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED 'GROMATZKY PS 16469'



Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



ACS BRASS TABLE STAMPED "1-B8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=351,650.59 Y=1,527,002.51
GROUND TO GRID FACTOR = 0.9996595
DELTA ALPHA = -00°17'10"
NGVD 1929 ELEVATION = 5555.39

ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

EXISTING 5' PUBLIC
ACCESS EASEMENT
FILED: MARCH 11, 2004
(2004C-84)

THUNDERBOLT
DRIVE NW
(72' RW)

ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

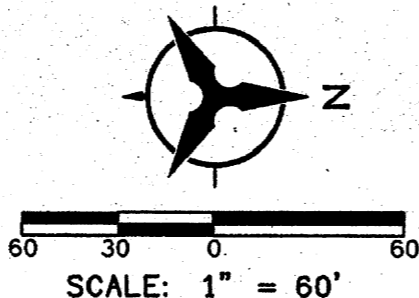
WESTERN RIDGE
SUBDIVISION
UNIT 2
FILED: JANUARY 19, 2006
(2006C-19)

VENTANA HIGHLANDS SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
FILED: FEBRUARY 6, 2006
(2006C-42)

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- RIGHT OF WAY
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA



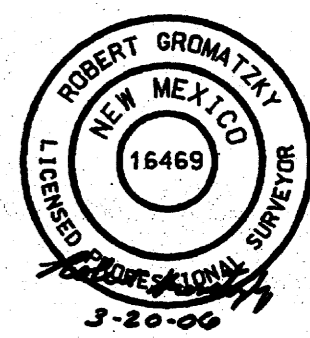
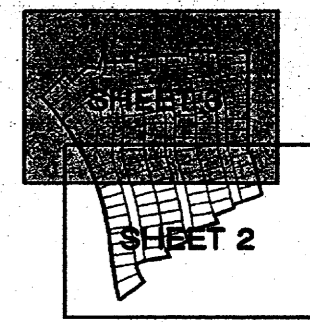
2006044921
 6432485
 Page: 3 of 4
 83/38/2866 81-44P
 Mary Herrera Bern. Co. PLRT R 22.00 Bk-2866C Pg-185

**PLAT OF
 UNIT 2
 VENTANA HIGHLANDS
 SUBDIVISION AT
 VENTANA RANCH WEST**
 (A REPLAT OF TRACT 11-A, UNIT 1
 VENTANA HIGHLANDS SUBDIVISION
 AT VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 MARCH, 2006

TRACT 12-A
**UNIT 1
 VENTANA HIGHLANDS SUBDIVISION
 AT VENTANA RANCH WEST**
 FILED: FEBRUARY 6, 2006
 (2006C-42)



QUITCLAIM DEED
 FILED: JUNE 8, 1982
 (BK. D163A, PG. 977)
 DOCUMENT NO. 82-29710



ADDITIONAL PUBLIC STREET
 RW FOR VENTANA RIDGE ROAD
 NW DEDICATED TO CITY OF
 ALBUQUERQUE WITH THE
 FILING OF THIS PLAT

TRACT 14
VENTANA RANCH WEST
 FILED: MARCH 11, 2004
 (2004C-84)

WESTERN RIDGE SUBDIVISION
 UNIT 2
AT VENTANA RANCH WEST
 FILED: JANUARY 19, 2006
 (2006C-19)

EXISTING 5' PUBLIC
 ACCESS EASEMENT
 FILED: MARCH 11, 2004
 (2004C-84)

ADDITIONAL PUBLIC STREET
 RW FOR VENTANA RIDGE ROAD
 NW DEDICATED TO CITY OF
 ALBUQUERQUE WITH THE
 FILING OF THIS PLAT

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CURVE DATA

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains 100 rows of curve data for points C1 through C100.

Table with columns: ID, DELTA, TANGENT, ARC, RADIUS, CHORD, CHORD BRG. Contains 5 rows of curve data for points C301 through C305.



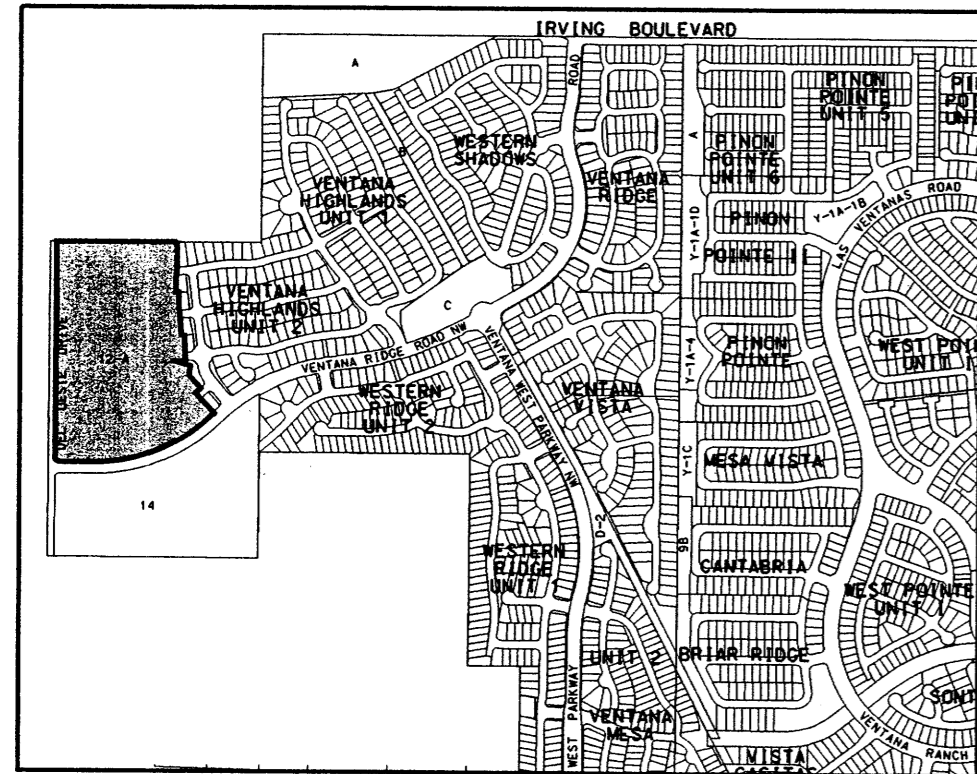
PLAT OF VENTANA HIGHLANDS SUBDIVISION UNIT 2 AT VENTANA RANCH WEST (A REPLAT OF TRACT 11-A, UNIT 1 VENTANA HIGHLANDS SUBDIVISION AT VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO MARCH, 2006

TANGENT DATA

Table with columns: ID, BEARING, DISTANCE. Lists bearing and distance data for points T1 through T54.



Bohannon & Huston logo and contact information: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 25.2633 Acres
4. Total Number of Tracts Created: One hundred nineteen (119) Lots & Three (3) Tracts.
5. Total Mileage of Full Width Streets created: 0.738 mile.
6. Total Mileage of Half width streets created: 0.166 mile.
7. Date of Survey: November, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 12-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 200617096 into One hundred nineteen (119) Lots & Three (3) Tracts, to dedicate public street right-of-way to the City of Albuquerque, to dedicate public non-vehicular right-of-way to the City of Albuquerque and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract 12-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 27) and ground distance as follows:

BEGINNING at the northeast corner of said Tract 12-A, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-A8 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=350,152.25 and Y=1,531,818.60 bears N17°28'49"E a distance of 3,714.85 feet;

THENCE along the easterly boundary of said Tract 12-A, coincident with the westerly boundary line of Unit 2 Ventana Highlands Subdivision at Ventana Ranch West filed in the Office of the County Clerk of Bernalillo County, New Mexico on _____, 2006 in Book 2006C, Page _____ as Document No. 2006 _____, the following seventeen courses;

- S0°35'56"W a distance of 157.94 feet;
S7°22'51"W a distance of 50.32 feet;
S1°14'51"W a distance of 110.00 feet to a point on curve (non-tangent);
20.72 feet along the arc of a curve to the left having a radius of 635.00 feet, a central angle of 01°52'10", and a chord of S89°41'14"E a distance of 20.72 feet;
S0°37'19"E a distance of 110.00 feet;
S4°26'15"E a distance of 50.10 feet;
S4°52'38"E a distance of 110.24 feet to a point on curve (non-tangent);
20.29 feet along the arc of a curve to the left having a radius of 905.00 feet, a central angle of 01°17'04", and a chord of N88°00'25"E a distance of 20.29 feet;
S2°38'07"E a distance of 160.00 feet to a point on curve (non-tangent);
71.99 feet along the arc of a curve to the right having a radius of 1,065.00 feet, a central angle of 03°52'23", and a chord of S89°18'04"W a distance of 71.98 feet to a point of reverse curvature;
4.06 feet along the arc of a curve to the left having a radius of 25.00 feet, a central angle of 9°18'10", and a chord of S86°35'11"W a distance of 4.05 feet to a point on curve (non-tangent);
9.26 feet along the arc of a curve to the right having a radius of 205.56 feet, a central angle of 2°34'51", and a chord of S83°14'59"E a distance of 9.26 feet;
S7°21'48"E a distance of 102.22 feet;
S7°40'25"W a distance of 60.12 feet;
S42°01'57"E a distance of 110.00 feet to a point on curve (non-tangent);
46.65 feet along the arc of a curve to the left having a radius of 1,458.00 feet, a central angle of 1°50'00", and a chord of S47°03'03"W a distance of 46.65 feet;
S43°51'57"E a distance of 170.00 feet to a point on curve (non-tangent) identical to the southeast corner of said Tract 12-A and being a point on the northerly right of way line of Ventana Ridge Road NW;

THENCE leaving said westerly line of Unit 2 Ventana Highlands Subdivision at Ventana Ranch and continuing along the southerly line of said Tract 12-A, coincident with the northerly right of way line of said Ventana Ridge Road NW, 10.81 feet along the arc of a curve to the left having a radius of 1,288.00 feet, a central angle of 0°28'52", and a chord of S45°53'37"W a distance of 10.81 feet to a point of reverse curvature;

THENCE continuing along said southerly line of Tract 12-A and said northerly right of way line of Ventana Ridge Road NW, 827.49 feet along the arc of a curve to the right, having a radius of 1,062.00 feet, a central angle of 44°38'38", and a chord of S67°58'30"W a distance of 806.72 feet;

THENCE continuing along said southerly line of Tract 12-A and said northerly right of way line of Ventana Ridge Road NW, N89°42'11"W a distance of 212.50 feet to a point of curvature for the east-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE, along said return of Ventana Ridge Road NW and Del Oeste Drive NW, 39.27 feet along the arc of a curve to the right having a radius of 25.00 feet, a central angle of 90°00'00", and a chord of N44°42'11"W a distance of 35.36 feet to a point of tangency for the north-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE along the westerly boundary line of said Tract 12-A, coincident with the easterly right-of-way line of Del Oeste Drive NW, N0°17'49"E a distance of 1,362.04 feet to the northwest corner of said Tract 12-A;

THENCE leaving said easterly right-of-way line of Del Oeste Drive NW and continuing along the northerly boundary line of said Tract 12-A, S89°48'19"E a distance of 753.77 feet to the POINT OF BEGINNING.

Tract contains 25.2633 acres, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: March 27, 2006

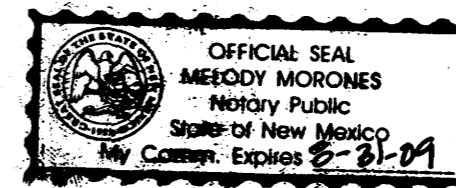


FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 12-A of the Plat of Ventana Highlands Subdivision Unit 1 at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096, now comprising Lots 206 through 324 inclusive and Tracts X, Y & Z inclusive, VENTANA HIGHLANDS SUBDIVISION UNIT 3 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY: Mark Ferguson, President
D.R. Horton, Inc.



State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 27 day of March 2006, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 8-31-09

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in (lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. No individual lots shall be allowed direct access to Ventana Ridge Road NW or Lands outside of the subdivision boundary or Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
8. Park dedication requirements have been met with park site within Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC; dated March 10, 2004 as document No. 2004031336.
9. Tracts X, Y & Z are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts O thru V are subject to an underground public utility easement granted with the filing of this plat.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+" in the curb and gutter at an even foot offset parallel or radial to the centerline of roadway.

PRELIMINARY PLAT
APPROVED BY DRB

ON PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 3 AT
VENTANA RANCH WEST
(A REPLAT OF TRACT 12-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MARCH, 2005

PROJECT NUMBER _____

APPLICATION NUMBER _____

PLAT APPROVAL

UTILITY APPROVALS:

QWEST _____ DATE _____

COMCAST CABLE _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

NEW MEXICO UTILITIES, INC. _____ DATE _____

CITY APPROVALS:

CITY SURVEYOR _____ DATE 3-27-06

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

UTILITIES DEVELOPMENT _____ DATE _____

PARKS & RECREATION DEPARTMENT _____ DATE _____

A. M. A. F. C. A. _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

VENTANA RANCH WEST COMMUNITY ASSOCIATION _____ DATE _____

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PROPERTY OWNER OF RECORD _____

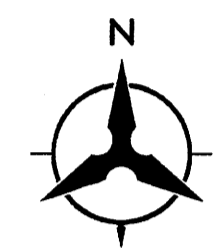
BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

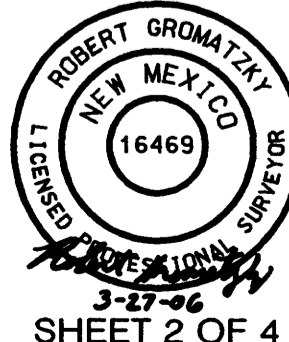
**PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 3 AT
VENTANA RANCH WEST**
(A REPLAT OF TRACT 12-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MARCH, 2005



SCALE: 1" = 60'

ACS BRASS TABLET STAMPED "I-B8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=351,650.59 Y=1,527,002.51
GROUND TO GRID FACTOR = 0.9996595
DELTA ALPHA = -00'17"10"
NGVD 1929 ELEVATION = 5555.39

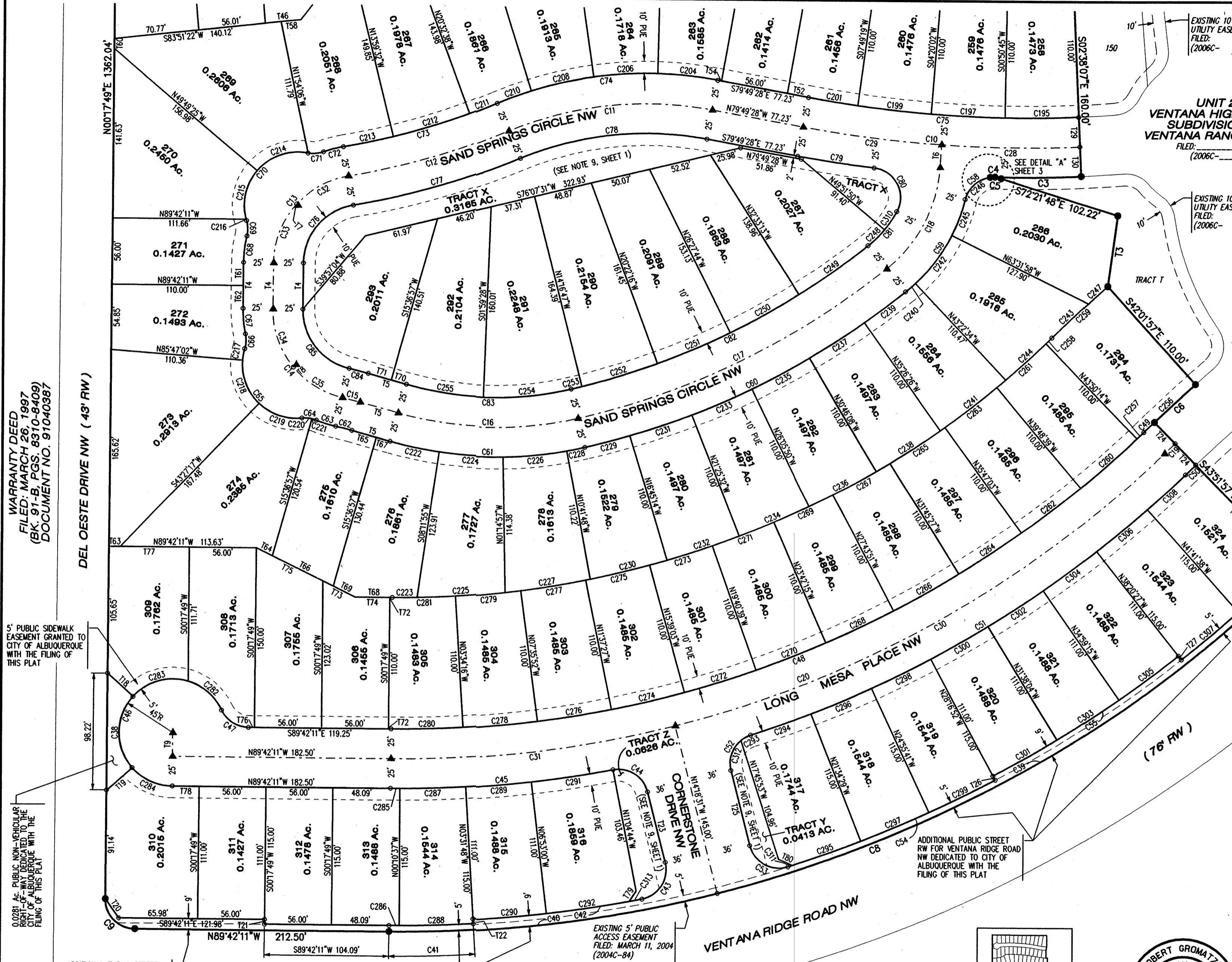
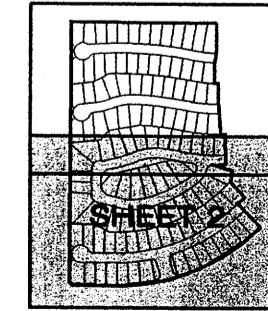
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT



SHEET 2 OF 4

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

TRACT 14
VENTANA RANCH WEST
FILED: MARCH 11, 2004
(2004C-84)



WARRANTY DEED
FILED: MARCH 26, 1997
(BK. 91-B, PGS. 8310-8409)
DOCUMENT NO. 91040387

5' PUBLIC SIDEWALK
EASEMENT GRANTED TO
CITY OF ALBUQUERQUE
WITH THE FILING OF
THIS PLAT

0.0281 AC. PUBLIC NON-VEHICULAR
RIGHT-OF-WAY DEDICATED TO THE
CITY OF ALBUQUERQUE WITH THE
FILING OF THIS PLAT

DEL OESTE DRIVE NW (43' RW)

ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

EXISTING 5' PUBLIC
ACCESS EASEMENT
FILED: MARCH 11, 2004
(2004C-84)

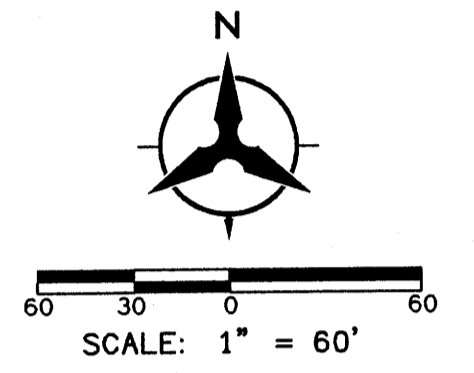
ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

(76' FW)

SPECIAL WARRANTY DEED
 FILED: MAY 22, 1991
 (BK. 91-B, PGS 8310-8409)
 DOCUMENT NO. 91040387

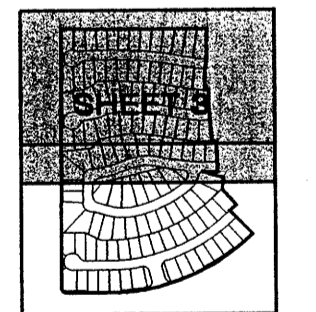
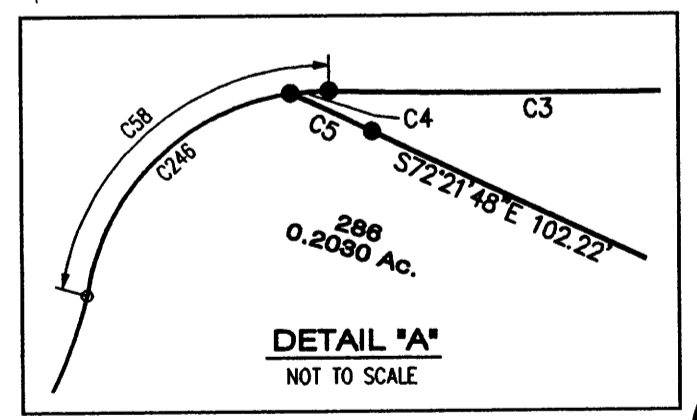
ACS BRASS TABLE STAMPED "1-A8 1980"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=350,152.25 Y=1,531,818.60
 GROUND TO GRID FACTOR = 0.9996593
 DELTA ALPHA = -00°17'21"
 NGVD 1929 ELEVATION = 5570.04

PLAT OF
**VENTANA HIGHLANDS
 SUBDIVISION
 UNIT 3 AT
 VENTANA RANCH WEST**
 (A REPLAT OF TRACT 12-A, UNIT 1
 VENTANA HIGHLANDS SUBDIVISION
 AT VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 MARCH, 2005

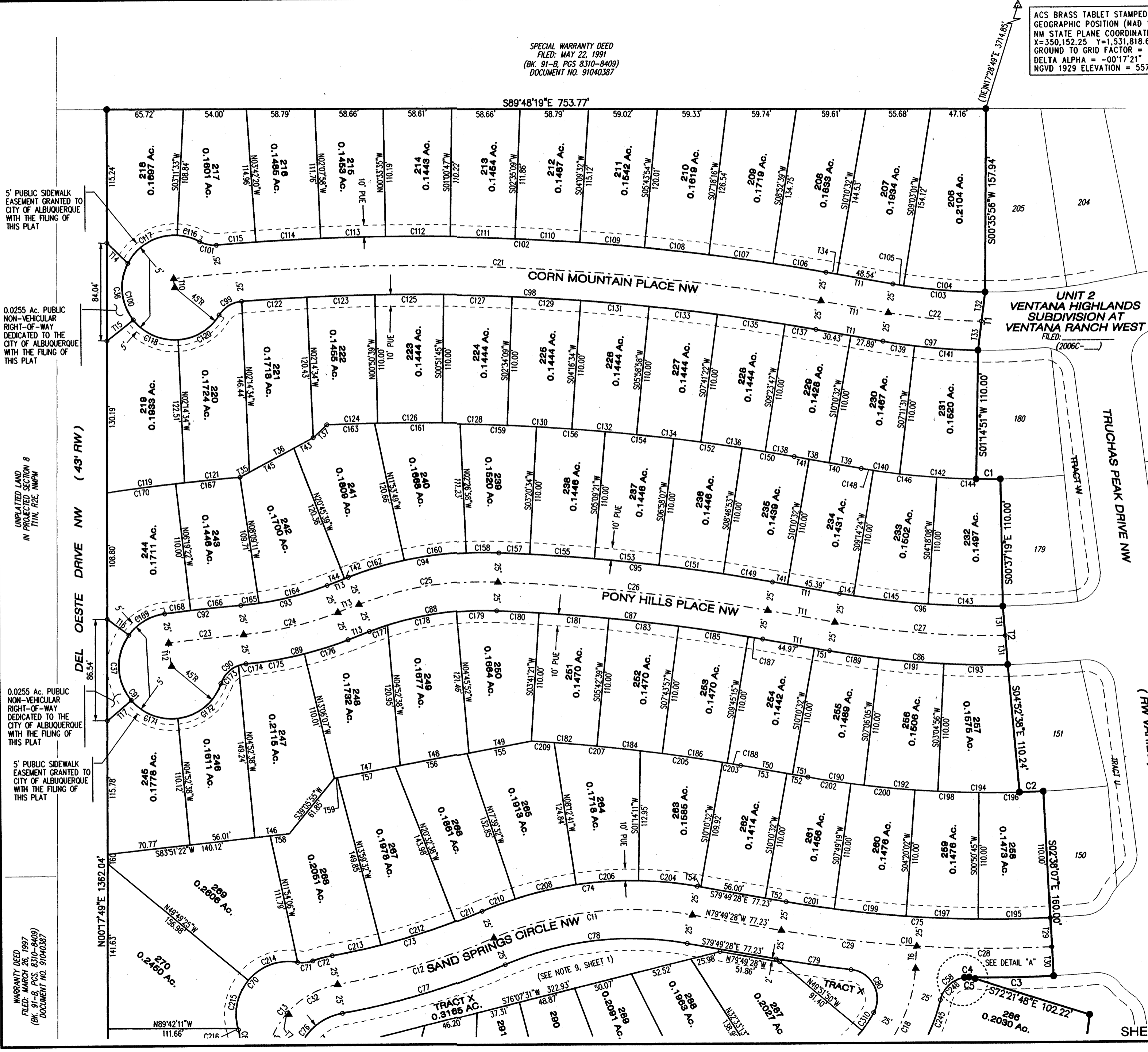


LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



5' PUBLIC SIDEWALK EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

0.0255 Ac. PUBLIC NON-VEHICULAR RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E, N18W

0.0255 Ac. PUBLIC NON-VEHICULAR RIGHT-OF-WAY DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

5' PUBLIC SIDEWALK EASEMENT GRANTED TO CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

WARRANTY DEED FILED: MARCH 26, 1997 (BK. 91-B, PGS. 8310-8409) DOCUMENT NO. 91040387

Curve Data																					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	
C1	01°52'10"	10.36'	20.72'	635.00'	20.72'	S89°41'14"E	C92	02°11'32"	32.81'	65.62'	1715.00'	65.62'	N84°01'41"E	C183	02°01'18"	30.08'	60.16'	1705.00'	60.16'	S83°16'42"E	
C2	01°17'04"	10.15'	20.29'	905.00'	20.29'	N88°00'25"E	C93	15°53'06"	38.37'	76.24'	275.00'	76.00'	N77°10'54"E	C184	02°01'18"	28.14'	56.28'	1595.00'	56.28'	N83°15'24"E	
C3	03°52'23"	36.01'	71.99'	1065.00'	71.99'	S89°18'04"W	C94	23°14'10"	66.82'	131.80'	325.00'	130.90'	N80°51'26"E	C185	02°01'18"	30.08'	60.16'	1705.00'	60.16'	S81°55'24"E	
C4	09°18'10"	2.03'	4.06'	25.00'	4.06'	S86°35'11"W	C95	07°42'01"	118.11'	235.86'	1755.00'	235.69'	S83°40'29"E	C186	02°01'18"	28.14'	56.28'	1595.00'	56.28'	S80°02'06"E	
C5	02°34'51"	4.63'	9.26'	205.56'	9.26'	S83°14'59"E	C96	10°47'51"	70.41'	140.40'	745.00'	140.19'	S85°13'23"E	C187	00°25'17"	6.27'	12.54'	1705.00'	12.54'	N80°02'06"W	
C6	01°50'00"	23.33'	46.65'	1458.00'	46.65'	S47°03'03"W	C97	08°55'41"	40.99'	81.81'	525.00'	81.72'	N84°17'18"W	C188	00°25'17"	5.86'	11.73'	1595.00'	11.73'	S81°21'42"E	
C7	00°28'52"	5.41'	10.81'	1288.00'	10.81'	S45°53'37"W	C98	14°20'21"	248.44'	494.27'	1975.00'	492.99'	N86°59'39"W	C189	03°04'27"	21.33'	42.66'	795.00'	42.66'	N81°21'42"E	
C8	44°38'38"	436.03'	872.49'	1062.00'	806.72'	S67°58'30"W	C99	53°39'28"	12.64'	23.41'	25.00'	22.57'	S59°00'27"W	C190	03°04'27"	24.29'	48.56'	905.00'	48.56'	N81°21'42"E	
C9	90°00'00"	25.00'	39.27'	25.00'	35.36'	N44°42'11"W	C100	26°70'53"	-----	209.75'	45.00'	65.25'	N14°23'18"W	C191	04°01'08"	27.89'	55.76'	795.00'	55.76'	S84°54'29"W	
C10	12°48'39"	116.76'	232.54'	1040.00'	232.05'	N86°13'48"W	C101	33°48'38"	7.60'	14.75'	25.00'	14.54'	S77°45'40"E	C192	04°01'08"	31.75'	63.48'	905.00'	63.48'	S88°53'24"E	
C11	33°10'07"	89.34'	173.67'	300.00'	171.26'	S83°35'29"W	C102	14°50'31"	263.76'	524.56'	2025.00'	523.09'	S87°14'44"E	C193	03°56'40"	27.38'	54.73'	795.00'	54.73'	S88°53'24"E	
C12	13°10'19"	70.43'	140.23'	610.00'	139.93'	S73°35'35"W	C103	09°34'36"	39.79'	79.39'	475.00'	79.30'	S84°36'46"E	C194	04°25'59"	35.03'	70.02'	905.00'	70.02'	N89°08'03"W	
C13	79°52'55"	62.80'	104.57'	75.00'	96.30'	S40°14'16"W	C104	08°27'04"	35.10'	70.06'	475.00'	70.00'	N80°23'14"W	C195	03°28'52"	27.50'	54.99'	905.00'	54.99'	N89°06'19"E	
C14	77°35'17"	60.29'	101.56'	75.00'	93.98'	S38°29'50"E	C105	01°07'31"	4.66'	9.33'	475.00'	9.33'	N80°28'25"W	C196	03°29'17"	30.91'	61.79'	1015.00'	61.78'	N87°24'36"W	
C15	02°54'25"	7.61'	15.22'	300.00'	15.22'	S75°50'15"E	C106	01°17'53"	22.94'	45.88'	2025.00'	45.88'	N81°54'32"E	C197	03°29'17"	27.56'	55.10'	905.00'	55.09'	S87°24'36"E	
C16	29°03'15"	77.74'	152.13'	300.00'	150.50'	S88°54'40"E	C107	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N83°28'55"W	C198	03°29'17"	30.91'	61.79'	1015.00'	61.78'	N83°55'19"W	
C17	25°41'06"	147.50'	290.04'	647.00'	287.62'	N63°43'09"E	C108	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N85°03'17"W	C199	03°29'17"	27.56'	55.10'	905.00'	55.09'	S83°55'19"E	
C18	47°21'41"	52.63'	99.19'	120.00'	96.39'	N27°11'46"E	C109	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N88°12'02"W	C200	02°21'13"	18.59'	37.17'	905.00'	37.17'	S81°00'04"E	
C19	00°28'52"	6.02'	12.03'	1433.00'	12.03'	S45°53'37"W	C110	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N89°46'24"W	C201	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S81°00'04"E	
C20	44°38'38"	376.50'	714.51'	917.00'	696.57'	S67°58'30"W	C111	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N88°12'02"W	C202	02°21'13"	18.59'	37.17'	905.00'	37.17'	S81°00'04"E	
C21	15°57'44"	280.41'	557.19'	2000.00'	555.39'	S87°48'20"W	C112	01°34'22"	27.80'	55.59'	2025.00'	55.59'	N89°46'24"W	C203	00°34'16"	7.95'	15.90'	1595.00'	15.90'	S80°06'36"E	
C22	09°14'09"	40.39'	80.60'	500.00'	80.51'	S84°26'33"E	C113	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S88°39'13"W	C204	08°56'21"	25.40'	50.71'	325.00'	50.65'	N84°17'39"W	
C23	02°11'32"	32.34'	64.66'	1690.00'	64.66'	N84°01'41"E	C114	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S87°04'51"W	C205	02°33'16"	35.56'	71.11'	1595.00'	71.10'	S81°40'22"E	
C24	15°53'06"	41.86'	83.17'	300.00'	82.91'	N77°10'54"E	C115	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S87°04'51"W	C206	09°26'52"	26.86'	53.59'	325.00'	53.53'	S86°30'45"W	
C25	23°14'10"	61.68'	123.66'	300.00'	120.83'	N80°51'26"E	C116	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S85°48'50"W	C207	02°39'39"	37.04'	74.07'	1595.00'	74.07'	S84°16'49"E	
C26	07°42'01"	116.43'	232.50'	1730.00'	232.33'	S83°40'29"E	C117	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S80°31'00"W	C208	09°26'52"	26.86'	53.59'	325.00'	53.53'	S85°57'39"E	
C27	10°55'17"	73.61'	146.77'	770.00'	146.55'	S85°17'07"E	C118	01°34'22"	27.80'	55.59'	2025.00'	55.59'	S65°43'31"E	C209	00°42'00"	9.74'	19.49'	1595.00'	19.49'	S85°57'39"E	
C28	06°22'21"	57.89'	115.67'	1040.00'	115.61'	N89°26'57"W	C119	02°05'59"	33.44'	66.88'	1825.00'	66.88'	S82°52'05"W	C210	05°20'02"	15.14'	30.26'	325.00'	30.25'	S69°40'26"W	
C29	06°26'19"	58.50'	116.87'	1040.00'	116.81'	N83°02'37"W	C120	04°28'09"	23.16'	47.78'	1825.00'	47.87'	S84°40'10"W	C211	02°26'57"	12.51'	25.01'	585.00'	25.00'	S68°13'54"W	
C30	29°37'15"	242.46'	474.07'	917.00'	468.81'	S60°27'49"W	C121	01°30'10"	23.94'	47.87'	1825.00'	47.87'	N59°18'50"E	C212	06°33'06"	33.48'	66.89'	585.00'	66.86'	S72°43'55"W	
C31	15°01'22"	120.91'	240.44'	917.00'	239.75'	S82°47'08"W	C122	01°37'31"	28.01'	56.03'	1975.00'	56.02'	N86°38'57"E	C213	04°10'16"	21.30'	42.59'	585.00'	42.58'	S78°05'36"W	
C32	38°27'39"	26.16'	50.35'	75.00'	49.41'	S60°56'54"W	C123	01°41'39"	29.20'	58.40'	1975.00'	58.39'	N88°18'32"E	C214	06°10'20"	26.07'	52.14'	45.00'	45.00'	S12°25'20"W	
C33	41°25'16"	28.36'	54.22'	75.00'	53.05'	S21°00'27"W	C124	01°20'12"	21.76'	43.51'	1865.00'	43.51'	S88°29'15"W	C215	55°30'29"	23.68'	43.60'	45.00'	45.00'	S12°25'20"W	
C34	40°03'06"	27.34'	52.43'	75.00'	51.37'	S19°43'44"E	C125	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S89°59'27"E	C216	01°34'50"	0.62'	1.24'	45.00'	1.24'	S16°07'20"E	
C35	37°32'10"	25.49'	49.13'	75.00'	48.26'	S58°31'23"E	C126	01°42'24"	29.42'	58.83'	1975.00'	58.83'	N89°59'27"W	C217	12°27'33"	4.91'	9.79'	45.00'	9.77'	S10°26'45"W	
C36	65°50'24"	29.13'	51.71'	45.00'	48.91'	S05°04'44"E	C127	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S88°17'03"E	C218	50°45'41"	21.35'	39.87'	45.00'	38.58'	S21°09'52"E	
C37	76°16'12"	35.33'	59.90'	45.00'	55.58'	S01°47'19"E	C128	01°42'24"	29.42'	58.83'	1975.00'	58.83'	N88°17'03"W	C219	49°38'23"	20.81'	38.99'	45.00'	37.78'	S71°21'54"E	
C38	83°31'17"	40.18'	65.60'	45.00'	59.94'	S00°26'17"W	C129	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S86°34'38"E	C220	19°26'33"	4.28'	8.48'	25.00'	8.44'	S86°27'49"E	
C39	29°40'40"	281.37'	550.09'	1062.00'	543.96'	S60°29'31"W	C130	01°42'24"	29.42'	58.83'	1975.00'	58.83'	N86°34'38"E	C221	09°10'26"	2.01'	4.00'	25.00'	4.00'	S72°09'20"E	
C40	14°57'57"	139.49'	277.40'	1062.00'	276.61'	S82°48'50"W	C131	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S84°52'14"E	C222	07°25'02"	21.07'	42.07'	325.00'	42.04'	S89°30'34"E	
C41	03°49'37"	35.31'	70.60'	1057.00'	70.59'	N88°23'00"E	C132	01°42'24"	29.42'	58.83'	1975.00'	58.83'	N84°52'14"W	C223	01°30'54"	10.34'	20.68'	782.00'	20.68'	S89°32'22"W	
C42	07°44'59"	71.32'	142.43'	1053.00'	142.32'	N82°35'43"E	C133	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S83°09'50"W	C224	09°26'52"	26.86'	53.59'	325.00'	53.53'	S86°04'42"W	
C43	93°01'44"	26.36'	40.59'	25.00'	36.28'	N32°12'21"E	C134	01°42'24"	29.42'	58.83'	1975.00'	58.83'	N83°09'50"W	C225	05°24'25"	36.92'	73.79'	782.00'	73.77'	S87°05'34"E	
C44	86°46'47"	23.63'	37.86'	25.00'	34.35'	S57°41'55"W	C135	01°42'24"	29.42'	58.83'	1975.00'	58.83'	S81°27'26"W	C226	09°26'52"	26.86'	53.59'	325.00'	53.53'	N84°01'37"E	
C45	11°23'07"	93.90'	187.19'	942.00'	186.88'	S84°36'15"W	C136	01°42'24"	29.42'	58.83'	1975.00'	58.83'	N81°27'26"W	C227	05°17'16"	36.11'	72.17'	782.00'	72.15'	S80°43'52"W	
C46	244°37'23"	-----	192.13'	45.00'	76.06'	N32°36'30"E	C137	00°46'45"	13.43'	26.86'	1975.00'	26.86'	S80°12'51"E	C228	02°44'29"	7.78'	15.55'	325.00'	15.55'	S84°46'14"E	
C47	64°37'23"	15.81'	28.20'	25.00'	26.73'	S57°23'30"E	C138	00°46'45"	13.43'	26.86'	1975.00'	26.86'	N80°12'51"W	C229	03°18'56"	19.45'	38.89'	672.00'	38.88'	N74°54'14"E	
C48	44°38'38"	366.23'	695.03'	892.00'	677.58'	N67°58'30"E	C139	02°59'01"	13.67'	27.34'	525.00'	27.34'	S81°18'58"E	C230	04°50'27"	33.06'	66.07'	782.00'	66.05'	S75°40'00"W	
C49	00°28'52"	6.12'	12.24'	1458.00'	12.24'	N45°53'37"E	C140	02°59'01"	13.67'	27.34'	525.00'	27.34'	N81°18'58"W	C231	04°40'18"	27.41'	54.79'	672.00'	54.78'	N70°54'37"E	
C50	00°28'52"	5.91'	11.82'	1408.00'	11.82'	S45°53'37"W	C141	05°56'40"	32.97'	65.88'	635.00'	65.85'	S85°46'49"E	C232	04°40'18"	27.41'	54.79'	672.00'	54.78'	S70°54'37"W	
C51	26°01'30"	217.69'	427.88'	942.00'	424.21'	S58°39'56"W	C142	05°56'40"	32.97'	65.88'	635.00'	65.85'	N85°46'49"W	C233	04°40'18"	27.41'	54.79'	672.00'	54.78'	N66°14'19"E	
C52	85°59'12"	23.31'	37.52'	25.00'	34.10'	S28°41'05"W	C143	04°55'27"	32.03'	64.03'	745.00'	64.01'	N88°09'35"E	C234	04°40'18"	31.90'	63.76'	782.00'	63.74'	S66°14'19"W	
C53	93°45'37"	26.70'	40.91'	25.00'																	

DESCRIPTION

FREE CONSENT AND DEDICATION

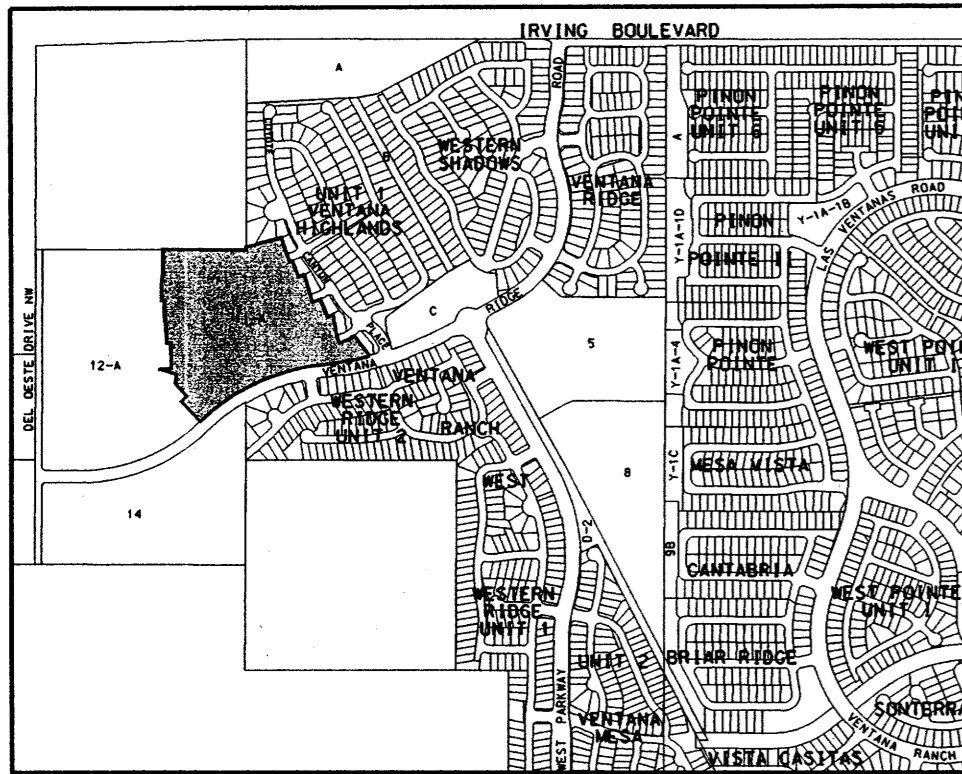
PRELIMINARY PLAT

APPROVED BY DRB

ON 3/29/06

PLAT OF VENTANA HIGHLANDS SUBDIVISION UNIT 2 AT VENTANA RANCH WEST

(A REPLAT OF TRACT 11-A, UNIT 1 VENTANA HIGHLANDS SUBDIVISION AT VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO MARCH, 2006



LOCATION MAP

ZONE ATLAS INDEX MAP No. B-8

NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RL.T.
3. Gross Subdivision Acreage: 19.7487 Acres
4. Total Number of Tracts Created: Eighty-nine (89) Lots & eight (8) Tracts.
5. Total Mileage of Full Width Streets created: 1.087 mile.
6. Total Mileage of partial width streets created: 0.220 mile.
7. Date of Survey: November, 2005.
8. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E,

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096 into eighty-nine (89) Lots & eight (8) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque and to grant easements.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive or release any easement or easement rights to which it may be entitled.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

A certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 27) and ground distances as follows:

BEGINNING at the southeast corner of said Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West filed on February 6, 2006 in Book 2006C, page 42, also being a point on curve on the northerly right-of-way line of Ventana Ridge Road NW, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-B8 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=351,650.59' and Y=1,527,002.51' bears S65°28'48"E a distance of 1450.85 feet;

THENCE 295.12 feet along the arc of a curve to the right having a radius of 1,962.00 feet, a central angle of 8°37'06", and a chord of S80°19'00"W, a distance of 294.84 feet to a point of reverse curvature;

THENCE 865.29 feet along the arc of a curve to the left having a radius of 1,288.00 feet, a central angle of 38°29'31", and a chord of S65°22'48"W, a distance of 849.11 feet to the southwest corner of said Tract 11-A;

THENCE leaving said right-of-way, and continuing along the westerly boundary of said Tract 11-A, the following seventeen courses;

- N43°51'57"W a distance of 170.00 feet to a point on curve (non-tangent);
46.65 feet along the arc of a curve to the right having a radius of 1,458.00 feet, a central angle of 1°50'00", and a chord of N47°03'03"E, a distance of 46.65 feet;
N42°01'57"W a distance of 110.00 feet;
N07°40'25"E a distance of 60.12 feet;
N72°21'48"W a distance of 102.22 feet to a point of curvature;
9.26 feet along the arc of a curve to the left having a radius of 205.56 feet, a central angle of 2°34'51", and a chord of N83°14'59"W, a distance of 9.26 feet to a point on a curve (non-tangent);
4.06 feet along the arc of a curve to the right having a radius of 25.00 feet, a central angle of 9°18'10", and a chord of N86°35'11"E, a distance of 4.05 feet to a point of reverse curvature;
71.99 feet along the arc of a curve to the left having a radius of 1,065.00 feet, a central angle of 3°52'23", and a chord of N89°18'04"E, a distance of 71.98 feet;
N2°38'07"W a distance of 160.00 feet to a point on curve (non-tangent);
20.29 feet along the arc of a curve to the right having a radius of 905.00 feet, a central angle of 1°17'04", and a chord of S88°00'25"W, a distance of 20.29 feet;
N4°52'38"W a distance of 110.24 feet;
N4°26'15"W a distance of 50.10 feet;
N0°37'19"W a distance of 110.00 feet to a point on curve (non-tangent);
20.72 feet along the arc of a curve to the right having a radius of 635.00 feet, a central angle of 1°52'10", and a chord of N 89°41'14" W, a distance of 20.72 feet;
N1°14'51"E a distance of 110.00 feet;
N7°22'51"E a distance of 50.32 feet;
N0°35'56"E a distance of 157.94 feet to the northwest corner of said Tract 11-A;

THENCE along the northerly boundary line of said Tract 11-A S89°48'19"E a distance of 523.27 feet;

THENCE N0°17'55"E a distance of 17.95 feet to a point on curve (non-tangent);

THENCE continuing along said northerly boundary line of Tract 11-A, 177.50 feet along the arc of a curve to the right having a radius of 2108.00 feet, a central angle of 4°49'28", and a chord of N75°50'15"E, a distance of 177.44 feet to a point of reverse curvature;

THENCE 48.08 feet along the arc of a curve to the left having a radius of 365.00 feet, a central angle of 7°32'52", a chord of N74°28'33"E, a distance of 48.05 feet to the northeast corner of said Tract 11-A;

THENCE along the easterly boundary line of said Tract 11-A, S19°17'53"E a distance of 160.00 feet to a point on curve (non-tangent), a point on the southerly right-of-way line of Corn Mountain Place NW;

THENCE along said easterly boundary line and also along said southerly right-of-way line, 17.35 feet along the arc of a curve to the left having a radius of 525.00 feet, a central angle of 1°53'37", and a chord of N 69°45'18" E, a distance of 17.35 feet;

THENCE leaving said right-of-way line and continuing along said easterly boundary line of Tract 11-A, the following three courses;

- S21°11'31"E a distance of 110.00 feet to a point on curve (non-tangent);
39.46 feet along the arc of a curve to the left having a radius of 635.00 feet, a central angle of 3°33'36", and a chord of N 67°01'41" E, a distance of 39.45 feet;
S16°00'35"E a distance of 129.30 feet to a point on the northerly right-of-way line of Pony Hills Place NW;

THENCE crossing said right-of-way S13°12'14"E a distance of 50.05 feet to a point on curve (non tangent) on the southerly right-of-way line of Pony Hills Place NW;

THENCE along said southerly right-of-way line, 54.13 feet along the arc of a curve to the left having a radius of 425.00 feet, a central angle of 7°17'50", and a chord of N 70°40'19" E, a distance of 54.09 feet;

THENCE leaving said right-of-way line and continuing along the easterly boundary line of said Tract 11-A the following four courses;

- S22°58'36"E a distance of 124.29 feet;
N61°48'36"E a distance of 37.85 feet;
S8°32'16"E a distance of 130.73 feet;
S19°13'45"E a distance of 50.86 feet to a point on curve (non-tangent) a point on the southerly right-of-way line of Sand Springs Road NW;

THENCE continuing along the easterly boundary line of said Tract 11-A and said southerly right-of-way line 103.57 feet along the arc of a curve to the left having a radius of 205.00 feet, a central angle of 28°56'53", and a chord of N66°23'15"E, a distance of 102.48 feet;

THENCE leaving said right-of-way line and continuing along the easterly boundary line of said Tract 11-A, S38°05'11"E a distance of 158.40 feet to the POINT OF BEGINNING.

Tract contains 19.7487 acres, more or less.

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract 11-A of the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096, now comprising Lots 117 through 205 inclusive and Tracts P thru W inclusive, VENTANA HIGHLANDS SUBDIVISION UNIT 2 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement are granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

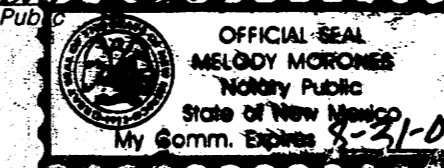
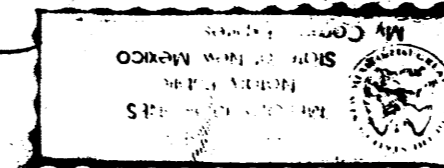
D.R. HORTON, INC

BY: Mark Ferguson, President D.R. Horton, Inc.

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 20th day of March 2006, by Mark Ferguson, President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: Aug. 31, 2009



NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Plat of Unit 1 Ventana Highlands Subdivision at Ventana Ranch West, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 6, 2006 in Book 2006C, Page 42 as Document No. 2006017096
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline monumentation (in lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. No individual lots shall be allowed direct access to Ventana Ridge Road NW or Lands outside of the subdivision boundary or Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
8. Park dedication requirements have been met with park site within Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC; dated March 10, 2004 as document No. 2004031336.
9. Tracts P thru W are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts P thru W are subject to an underground public utility easement granted with the filing of this plat.
10. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+*" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan. Front corners that mark a "pc,pt" will be marked by a chiseled "+*" in the curb and gutter at an even foot offset parallel or radial to the centerline of roadway.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky, New Mexico Professional Surveyor 16469

Date: March 20, 2006



SHEET 1 OF 4

PROJECT NUMBER
APPLICATION NUMBER

PLAT APPROVAL

UTILITY APPROVALS:

Table with columns for utility service (QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, NEW MEXICO UTILITIES, INC.) and Date.

CITY APPROVALS: [Signature] 3-20-06

CITY SURVEYOR

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEVELOPMENT

PARKS & RECREATION DEPARTMENT

A. M. A. F. C. A.

CITY ENGINEER

DRB CHAIRPERSON, PLANNING DEPARTMENT

REAL PROPERTY DIVISION

VENTANA RANCH WEST COMMUNITY ASSOCIATION

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE



Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

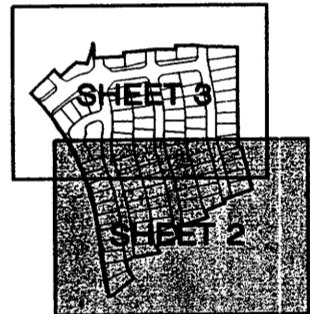
PLAT OF VENTANA HIGHLANDS SUBDIVISION UNIT 2 AT VENTANA RANCH WEST

(A REPLAT OF TRACT 11-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)

ALBUQUERQUE, NEW MEXICO
MARCH, 2006

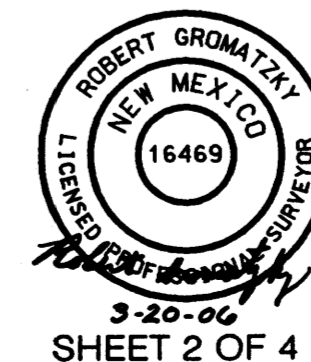
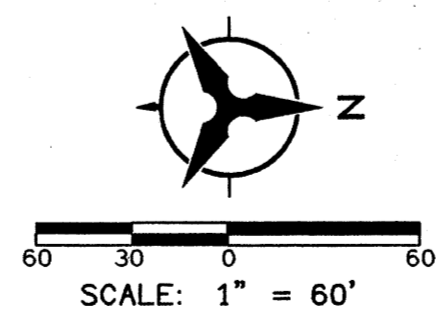
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1 AT
VENTANA RANCH WEST
FILED: FEBRUARY 6, 2006
(2006C-42)

ACS BRASS TABLE STAMPED "1-A8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=350,152.25 Y=1,531,818.60
GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -00°17'21"
NGVD 1929 ELEVATION = 5570.04



NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

ACS BRASS TABLE STAMPED "1-B8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=351,650.59 Y=1,527,002.51
GROUND TO GRID FACTOR = 0.9996595
DELTA ALPHA = -00°17'10"
NGVD 1929 ELEVATION = 5555.39





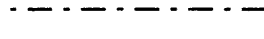
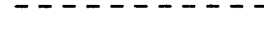







ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

EXISTING 5' PUBLIC
ACCESS EASEMENT
FILED: MARCH 11, 2004
(2004C-84)

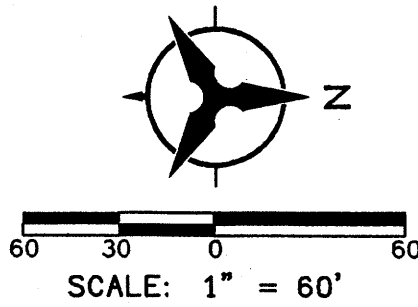
THUNDERBOLT
DRIVE NW
(72' RW)

WESTERN RIDGE
SUBDIVISION
UNIT 2
FILED: JANUARY 19, 2006
(2006C-19)

LEGEND

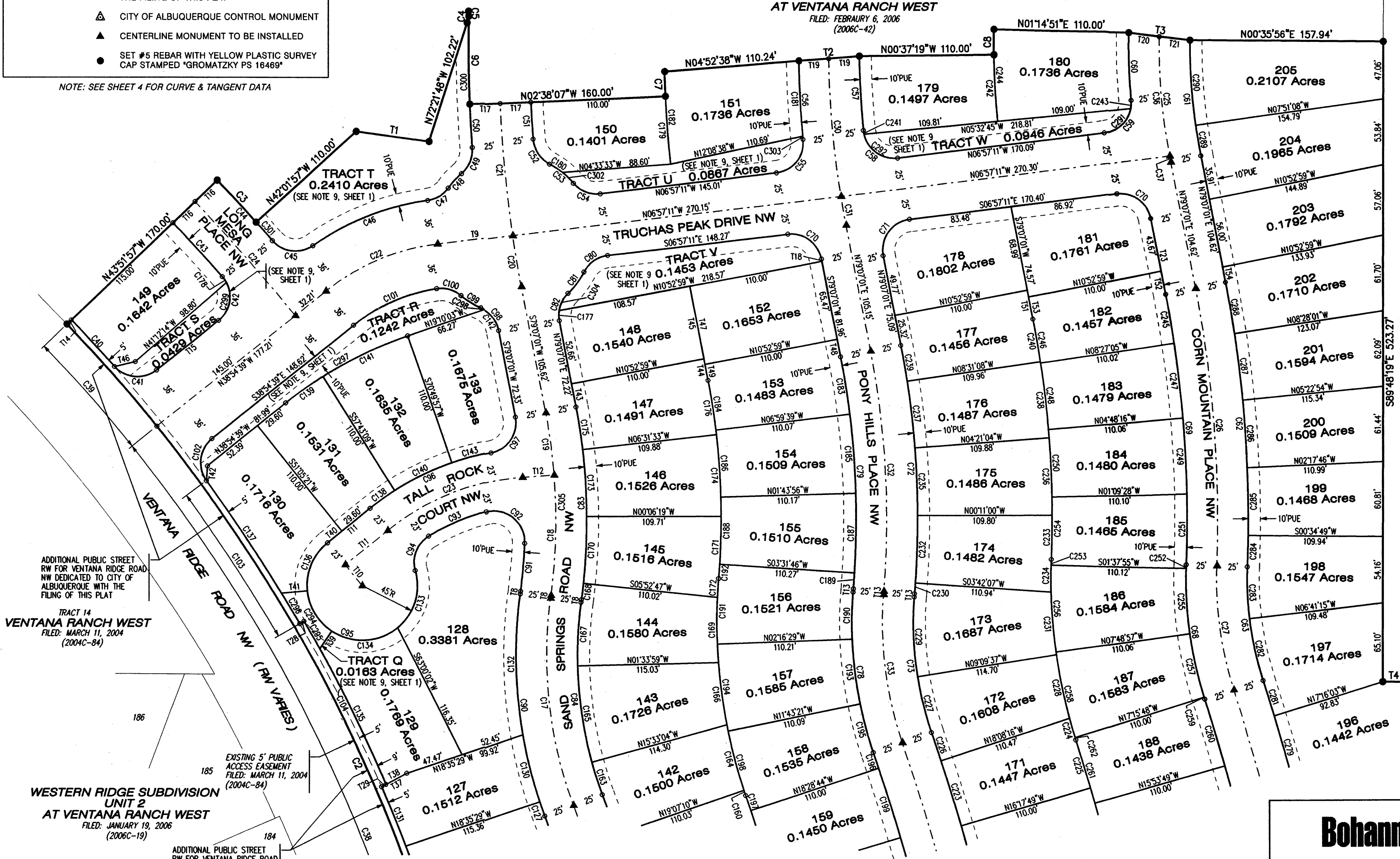
-  SUBDIVISION BOUNDARY LINE
-  NEW LOT LINE
-  CENTERLINE
-  PROPOSED EASEMENT LINE
-  EXISTING EASEMENT LINE
-  ADJOINING PROPERTY LINE
-  RIGHT OF WAY
-  PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
-  CITY OF ALBUQUERQUE CONTROL MONUMENT
-  CENTERLINE MONUMENT TO BE INSTALLED
-  SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA

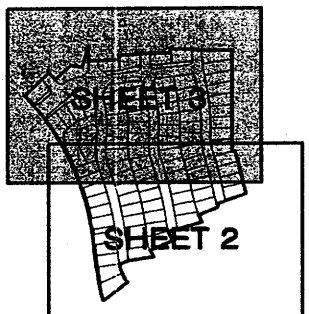


**PLAT OF
UNIT 2
VENTANA HIGHLANDS
SUBDIVISION AT
VENTANA RANCH WEST**
(A REPLAT OF TRACT 11-A, UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
MARCH, 2006

TRACT 12-A
UNIT 1
VENTANA HIGHLANDS SUBDIVISION
AT VENTANA RANCH WEST
FILED: FEBRUARY 6, 2006
(2006C-42)



QUITCLAIM DEED
FILED: JUNE 8, 1982
(BK. D163A, PG. 977)
DOCUMENT NO. 82-29710

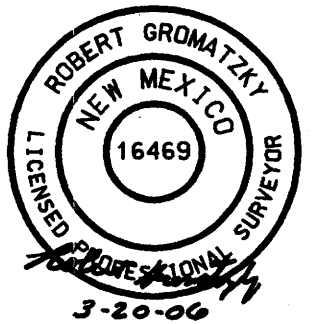


ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

TRACT 14
VENTANA RANCH WEST
FILED: MARCH 11, 2004
(2004C-84)

WESTERN RIDGE SUBDIVISION
UNIT 2
AT VENTANA RANCH WEST
FILED: JANUARY 19, 2006
(2006C-19)

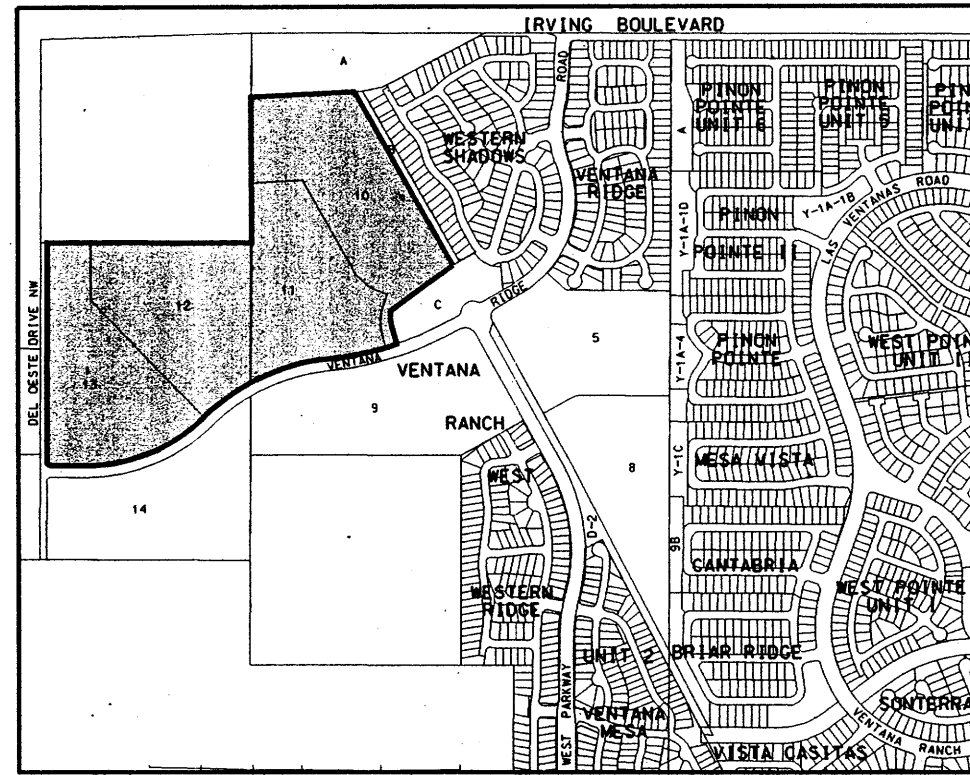
ADDITIONAL PUBLIC STREET
RW FOR VENTANA RIDGE ROAD
NW DEDICATED TO CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 3 OF 4



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 73.0485 Acres
4. Total Number of Tracts Created: One hundred sixteen (116) Lots & seventeen (17) Tracts.
5. Total Mileage of Full Width Streets created: 1.087 mile.
6. Date of Survey: December, 2005.
7. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 10, 11, 12, & 13, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into One hundred sixteen (116) Lots & seventeen (17) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque and to grant easements

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts 10, 11, 12, & 13 of the Bulk Land Plat for Ventana Ranch West as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84, as Document No. 2004032553 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 27) and ground distances as follows:

BEGINNING at the southeast corner of said Tract 10 of the Bulk Land Plat for Ventana Ranch West filed in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84, also being a point on curve on the northerly right-of-way line of Ventana Ridge Road NW, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-B8 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=351,650.59" and Y=1,527,002.51" bears S61°24'03"E, a distance of 1343.00 feet;

THENCE along said northerly right-of-way and also along the southerly boundary line of said Tracts 10, 11, 12, & 13 along the arc of a curve to the right having an arc length of 441.79 feet, a radius of 1962.00 feet, a central angle of 12°54'06", and a chord of S76°10'31"W, a distance of 440.86 feet to a point of reverse curvature;

THENCE along the arc of a curve to the left having an arc length of 876.10 feet, a radius of 1288.00 feet, a central angle of 38°58'22", and a chord of S65°08'22"W, a distance of 859.31 feet to a point of reverse curvature;

THENCE along the arc of a curve to the right having an arc length of 827.49 feet, a radius of 1062.00 feet, a central angle of 44°38'38", and a chord of S67°58'30" W, a distance of 806.72 feet to a point of tangency;

THENCE N89°42'11"W, a distance of 212.50 feet to a point of curvature at the east-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE along said return an arc length of 39.27 feet, having a radius of 25.00 feet, a central angle of 90°00'00", and a chord of N44°42'11"W, a distance of 35.36 feet to a point of tangency being the north-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE along the westerly boundary line of said Tract 13 and also along the easterly right-of-way line of Del Oeste Drive NW N0°17'49"E, a distance of 1362.04 feet to the northwest corner of said Tract 13;

THENCE leaving said easterly right-of-way line of Del Oeste Drive NW along the northerly boundary line of said Tracts 12 & 13, S89°48'19"E, a distance of 1277.04 feet to the northeast corner of said Tract 12, a point on the westerly boundary line of said Tract 11;

THENCE along the westerly boundary line of said Tracts 10 & 11, N0°17'55"E, a distance of 917.01 feet to the northwest corner of said Tract 10;

THENCE along the northerly boundary line of said Tract 10, N87°13'46"E, a distance of 644.99 feet to the northeast corner of said Tract 10;

THENCE along the westerly boundary line of said Tract 10 the following four courses and distances;

S29°13'18"E, a distance of 1250.68 feet;
S54°04'11"W, a distance of 474.83 feet to a point of curvature (non-tangent);
along the arc of a curve to the left having an arc length of 114.20 feet, a radius of 264.00 feet and a central angle of 24°47'08", said arc subtended by a chord of S4°22'30"E, a distance of 113.32 feet to a point of tangency;
S16°46'04"E, a distance of 99.03 feet to the POINT OF BEGINNING.

Tract contains 73.0485 acres, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 1-19-06



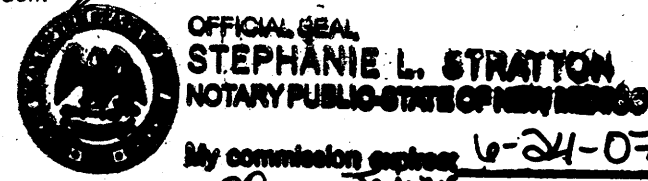
FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 10, 11, 12, & 13 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 116 inclusive, Tracts A thru O inclusive, and Tracts 11-A & 12-A, VENTANA HIGHLANDS SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY: Mark Ferguson
Mark Ferguson Vice President
D.R. Horton, Inc.

State of New Mexico)
County of Bernalillo)



This instrument was acknowledged before me on 20 day of JULY 2006, by Mark Ferguson, Vice President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 6-24-07 Stephanie L. Stratton
Notary Public

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in (lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. No individual lots shall be allowed direct access to Ventana Ridge Road NW, Del Oeste Drive NW, Lands outside of the subdivision boundary of Tract A, Tract B, and Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
8. Park dedication requirements have been met with park site within Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC; dated March 10, 2004 as document no. 2004031336. Conveyance shall be by separate deed.
9. Tracts A thru O are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts A thru O are subject to an underground public utility easement granted with the filing of this plat.
10. Tracts A & B are subject to a blanket public storm drain easement granted to the City of Albuquerque with the filing of this plat.
11. Tract M is subject to a blanket public sanitary sewer easement granted to NMU with the filing of this plat.
12. Tract N is subject to a blanket public sanitary sewer and public waterline easement granted to NMU with the filing of this plat.
13. Existing Tract 10 is subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque and an existing thirty foot wide floating Public Storm Drain Easement granted to the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. These easements shall be confined and defined to within future public right of way dedicated by this plat. These easements are now defined and confined to within public right of way dedicated with this plat.
14. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.

PLAT OF VENTANA HIGHLANDS SUBDIVISION UNIT 1 AT VENTANA RANCH WEST (A REPLAT OF TRACTS 10, 11, 12, & 13 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2006

PROJECT NUMBER
APPLICATION NUMBER

UTILITY APPROVALS: PLAT APPROVAL

Table with columns for utility name (QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, NEW MEXICO UTILITIES, INC., CITY ENGINEER, TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, UTILITIES DEVELOPMENT, PARKS & RECREATION DEPARTMENT, A.M.A.F.C.A., DRB CHAIRPERSON, PLANNING DEPARTMENT, VENTANA RANCH WEST COMMUNITY ASSOCIATION) and DATE.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo and address: Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

NOTE: TABLES ARE FOR THIS SHEET ONLY

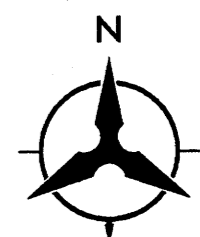
Curve Data						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	24°47'08"	58.01'	114.20'	264.00'	113.32'	S04°22'30"E
C2	12°54'06"	221.84'	441.79'	1962.00'	440.86'	S78°10'31"W
C3	38°58'22"	455.76'	876.10'	1288.00'	859.31'	S65°08'22"W
C4	44°38'38"	436.03'	827.49'	1062.00'	806.72'	S67°58'30"W
C5	90°00'00"	25.00'	39.27'	25.00'	35.36'	N44°42'11"W
C6	08°37'06"	147.84'	295.12'	1962.00'	294.84'	S80°19'00"W
C7	38°29'31"	449.69'	865.29'	1288.00'	849.11'	S65°22'48"W
C8	01°50'00"	23.33'	46.65'	1458.00'	46.65'	N47°03'03"E
C9	02°34'51"	4.63'	9.26'	205.56'	9.26'	N83°14'59"W
C10	09°18'10"	2.03'	4.06'	25.00'	4.05'	N86°35'11"E
C11	03°52'23"	36.01'	71.99'	1065.00'	71.98'	N89°18'04"E
C12	01°17'04"	10.15'	20.29'	905.00'	20.29'	S88°00'25"W
C13	01°52'10"	10.36'	20.72'	635.00'	20.72'	N89°41'14"W
C14	04°49'28"	88.80'	177.50'	2108.00'	177.44'	N75°50'15"E
C15	07°32'52"	24.08'	48.08'	365.00'	48.05'	N74°28'33"E
C16	01°53'37"	8.68'	17.35'	525.00'	17.35'	N69°45'18"E
C17	03°33'36"	19.73'	39.46'	635.00'	39.45'	N67°01'41"E
C18	07°17'50"	27.10'	54.13'	425.00'	54.09'	N70°40'19"E
C19	28°56'53"	52.92'	103.57'	205.00'	102.48'	N66°23'15"E
C20	00°28'52"	5.41'	10.81'	1288.00'	10.81'	S45°53'37"W
C21	04°17'00"	73.37'	146.67'	1962.00'	146.64'	S73°51'58"W

Tangent Data		
ID	BEARING	DISTANCE
T1	S16°46'04"E	99.03'
T2	N89°42'11"W	212.50'
T3	N42°01'57"W	110.00'
T4	S07°40'25"W	60.12'
T5	N72°21'48"W	102.22'
T6	N04°52'38"W	110.24'
T7	N04°26'15"W	50.10'
T8	N00°37'19"W	110.00'
T9	S01°14'51"W	110.00'
T10	S07°22'51"W	50.32'
T11	S00°17'55"W	17.95'
T12	N19°17'53"W	160.00'
T13	N21°11'31"W	110.00'
T14	N16°00'35"W	129.30'
T15	N1°12'14"W	50.05'
T16	N22°58'36"W	124.29'
T17	S61°48'36"W	37.85'
T18	N08°32'16"W	130.73'
T19	N19°13'45"W	50.86'

NOTE: TABLES ARE FOR THIS SHEET ONLY

ACS BRASS TABLE STAMPED "1-A8 1980"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=350,152.25 Y=1,531,818.60
GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -00°17'21"
NGVD 1929 ELEVATION = 5570.04

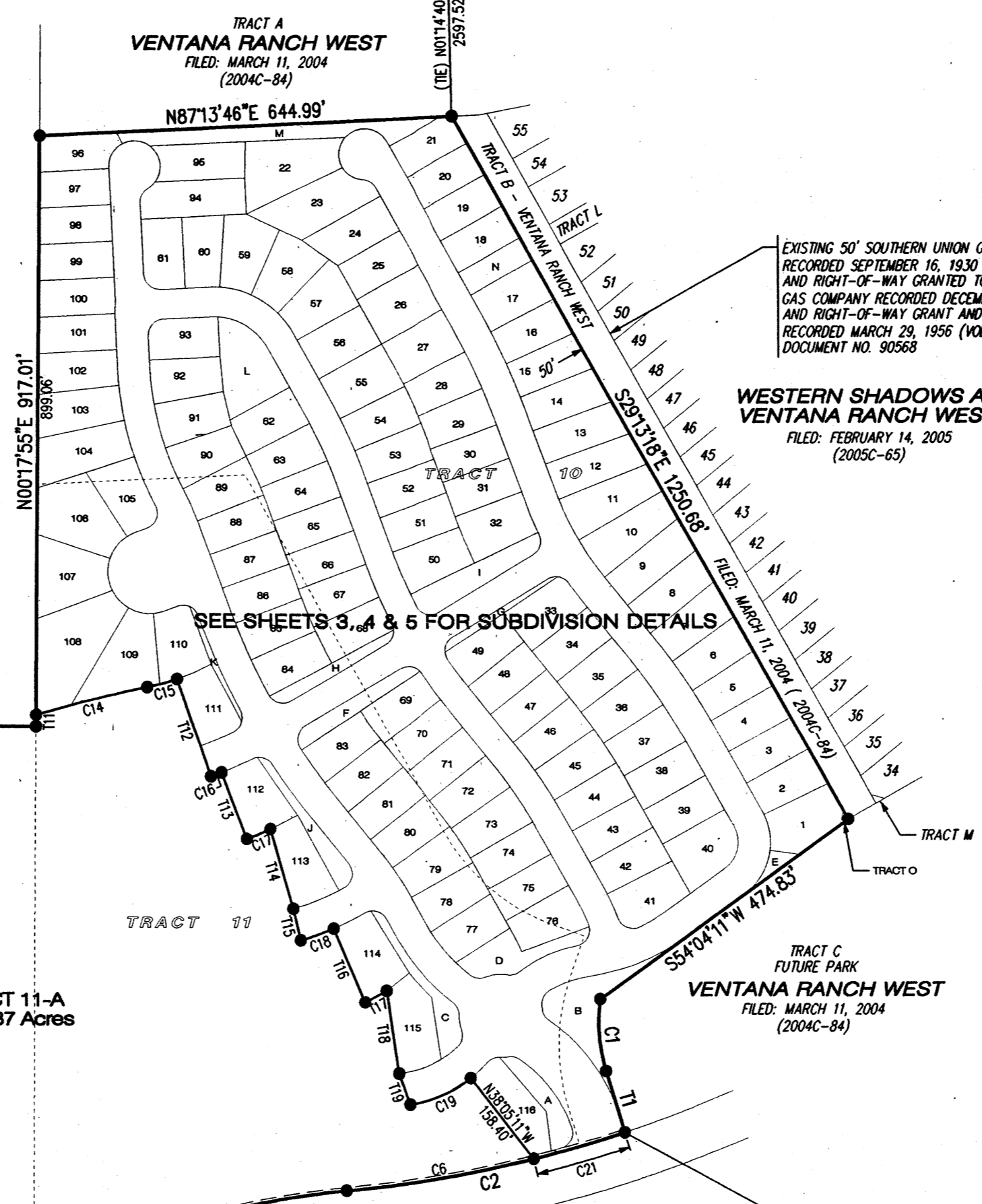
**PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 10, 11, 12, & 13
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006**



SCALE: 1" = 200'

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT
RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL
GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS
RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360)
DOCUMENT NO. 90568

**WESTERN SHADOWS AT
VENTANA RANCH WEST**
FILED: FEBRUARY 14, 2005
(2005C-65)



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

UNPLATTED LAND IN PROJECTED SECTION 8 T11N, R2E, NMPM

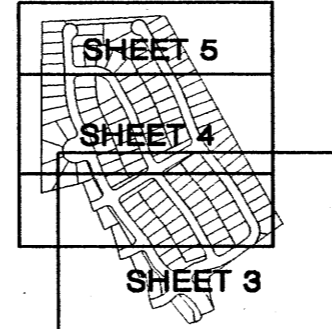
QUITCLAIM DEED
FILED: JUNE 8, 1982
(BK. D163A, PG. 977)
DOCUMENT NO. 82-29710

WARRANTY DEED
FILED: MARCH 26, 1997
(BK. 91-8, PGS. 3996-3999)
DOCUMENT NO. 9708694

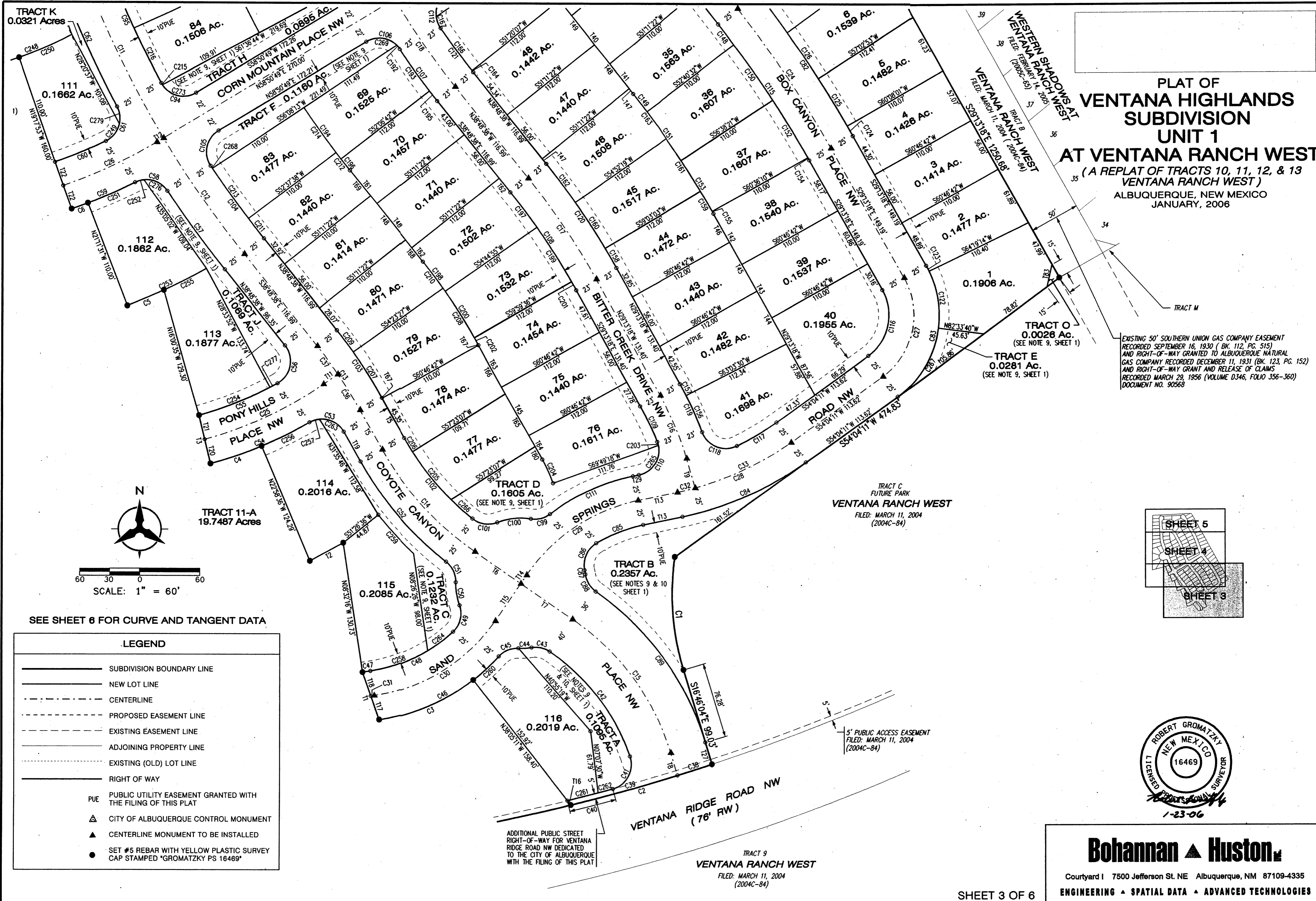
SPECIAL WARRANTY DEED
FILED: MARCH 22, 1991
(BK. 91-8, PGS. 8310-8409)
DOCUMENT NO. 91040381



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GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=351,650.59 Y=1,527,002.51
GROUND TO GRID FACTOR = 0.9996595
DELTA ALPHA = -00°17'10"
NGVD 1929 ELEVATION = 5555.39

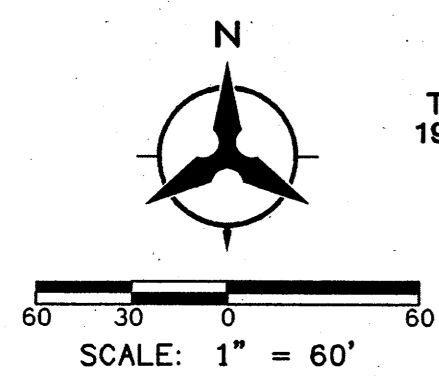


Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



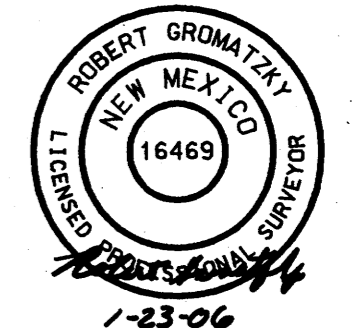
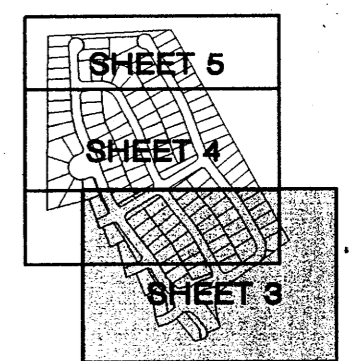
**PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST**
(A REPLAT OF TRACTS 10, 11, 12, & 13
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT
RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL
GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS
RECORDED MARCH 29, 1956 (VOLUME 0346, FOLIO 356-360)
DOCUMENT NO. 90568



SEE SHEET 6 FOR CURVE AND TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"



ADDITIONAL PUBLIC STREET
RIGHT-OF-WAY FOR VENTANA
RIDGE ROAD NW DEDICATED TO
THE CITY OF ALBUQUERQUE
WITH THE FILING OF THIS PLAT

5' PUBLIC ACCESS EASEMENT
FILED: MARCH 11, 2004
(2004C-84)

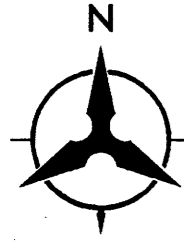
TRACT 9
VENTANA RANCH WEST
FILED: MARCH 11, 2004
(2004C-84)

TRACT C
FUTURE PARK
VENTANA RANCH WEST
FILED: MARCH 11, 2004
(2004C-84)

TRACT 11-A
19.7487 Acres

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



SCALE: 1" = 60'

PLAT OF VENTANA HIGHLANDS SUBDIVISION UNIT 1 AT VENTANA RANCH WEST (A REPLAT OF TRACTS 10, 11, 12, & 13 VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO JANUARY, 2006

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

WESTERN SHADOWS AT VENTANA RANCH WEST FILED: FEBRUARY 14, 2005 (2005C-65)

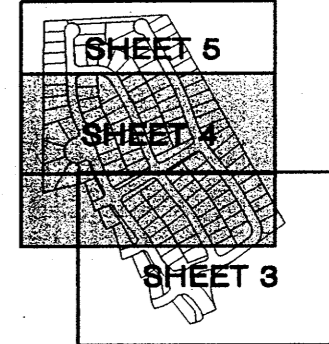
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SEE SHEET 6 FOR CURVE & TANGENT DATA

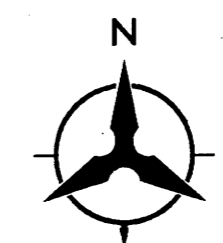
LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE
- RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"



Bohannon & Huston
 Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

TRACT A
VENTANA RANCH WEST
 FILED: MARCH 11, 2004
 (2004C-84)



SCALE: 1" = 60'

**PLAT OF
 VENTANA HIGHLANDS
 SUBDIVISION
 UNIT 1
 AT VENTANA RANCH WEST**
 (A REPLAT OF TRACTS 10, 11, 12, & 13
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2006

SEE SHEET 6 FOR CURVE & TANGENT DATA

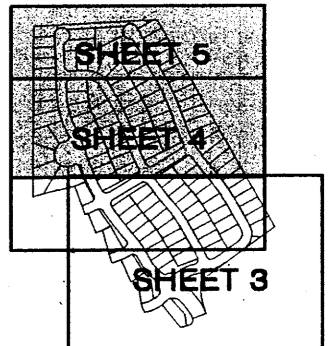
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

QUITCLAIM DEED
 FILED: MARCH 11, 2004
 (BK 01634, PG. 977)
 DOCUMENT NO. 82-23710



**WESTERN SHADOWS AT
 VENTANA RANCH WEST**
 FILED: FEBRUARY 14, 2005
 (2005C-65)

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT
 RECORDED SEPTEMBER 16, 1930 (BK 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL
 GAS COMPANY RECORDED DECEMBER 11, 1931 (BK 123, PG. 152)
 AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS
 RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90568

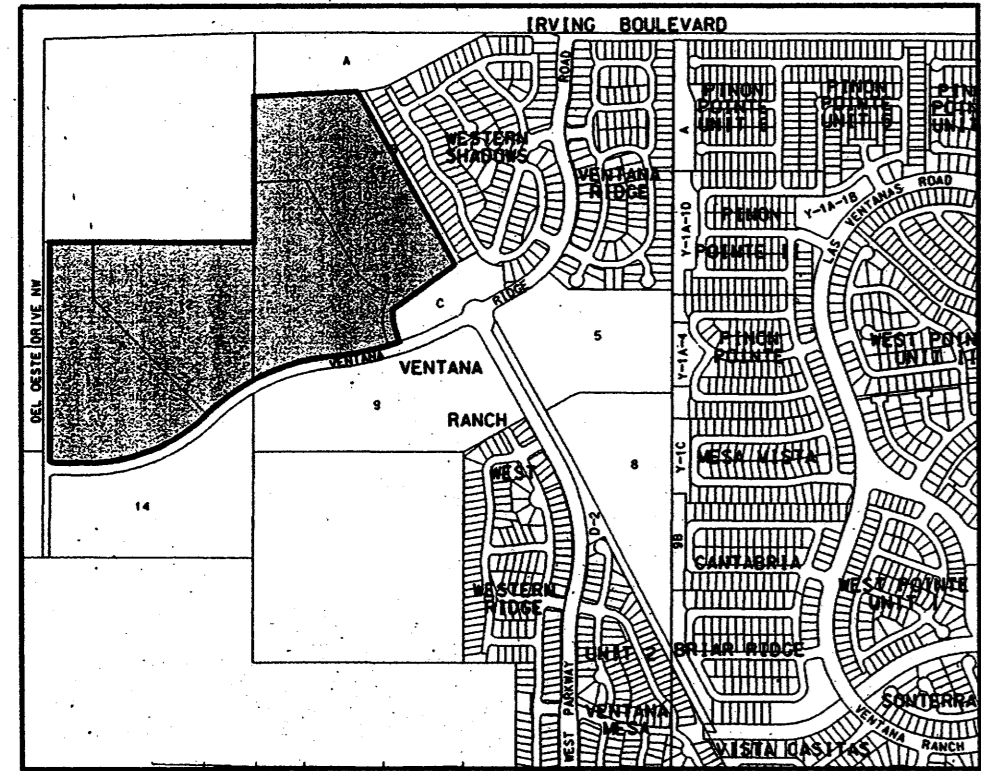


SHEET 5 OF 6

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

**PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 10, 11, 12, & 13
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006**

Curve Data																				
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	24'47'08"	58.01'	114.20'	264.00'	113.32'	S04'22'30"E	C86	71'17'21"	17.93'	31.11'	25.00'	29.14'	S23'38'37"W	C171	02'13'38"	16.81'	33.62'	865.00'	33.62'	S21'17'58"E
C2	04'17'00"	73.37'	146.67'	1962.00'	146.64'	S73'51'58"W	C87	03'42'11"	2.10'	4.20'	65.00'	4.20'	S10'08'58"E	C172	04'10'43"	27.47'	54.92'	753.00'	54.91'	N24'30'09"W
C3	28'56'53"	52.92'	103.57'	205.00'	102.48'	S66'23'15"W	C88	46'40'27"	10.79'	20.37'	25.00'	19.81'	S31'38'06"E	C173	04'10'43"	31.56'	63.09'	865.00'	63.07'	S24'30'09"E
C4	07'17'50"	27.10'	54.13'	425.00'	54.09'	S70'40'19"W	C89	38'12'15"	99.05'	190.70'	286.00'	187.19'	S35'52'12"E	C174	02'37'48"	17.28'	34.56'	753.00'	34.56'	N27'54'24"W
C5	03'33'36"	19.73'	39.46'	635.00'	39.45'	S67'01'41"W	C90	63'41'01"	60.24'	120.81'	97.00'	102.35'	S61'03'48"E	C175	02'37'48"	19.86'	39.70'	865.00'	39.70'	S27'54'24"E
C6	01'53'37"	8.68'	17.35'	525.00'	17.35'	S69'45'18"W	C91	09'02'09"	55.86'	111.50'	707.00'	111.38'	S24'42'13"E	C176	16'47'43"	21.11'	41.92'	143.00'	41.77'	N37'37'10"W
C7	07'32'52"	24.08'	48.08'	365.00'	48.05'	S74'28'33"W	C92	07'28'14"	51.77'	103.40'	793.00'	103.32'	S23'55'16"E	C177	20'09'13"	25.41'	50.30'	143.00'	50.04'	N56'05'38"W
C8	04'49'28"	88.80'	177.50'	2108.00'	177.44'	S75'50'15"W	C93	86'30'12"	23.52'	37.74'	25.00'	34.26'	S15'35'43"W	C178	20'09'13"	25.41'	50.30'	143.00'	50.04'	N76'14'51"W
C9	24'38'20"	109.20'	218.40'	500.00'	213.36'	S15'13'29"E	C94	92'53'19"	26.29'	40.53'	25.00'	36.24'	N74'42'32"W	C179	06'34'51"	8.22'	16.42'	143.00'	16.42'	N89'36'53"W
C10	07'21'30"	29.58'	59.08'	460.00'	59.04'	S23'51'54"E	C95	08'04'43"	71.68'	143.11'	1015.00'	143.00'	N24'13'31"W	C180	01'25'03"	8.75'	17.49'	707.00'	17.49'	S28'30'46"E
C11	10'48'29"	98.38'	196.18'	1040.00'	195.89'	S25'35'23"E	C96	07'21'30"	31.19'	62.29'	485.00'	62.25'	N23'51'54"W	C181	05'14'40"	32.38'	64.72'	707.00'	64.69'	S25'10'55"E
C12	07'49'00"	71.05'	141.88'	1040.00'	141.77'	S34'54'08"E	C97	24'38'20"	103.74'	204.26'	475.00'	202.69'	N15'13'29"W	C182	02'42'05"	14.03'	28.05'	595.00'	28.05'	N23'54'37"W
C13	09'35'20"	38.58'	76.98'	460.00'	76.89'	S34'00'58"E	C98	90'00'00"	25.00'	37.27'	25.00'	35.36'	N42'05'41"E	C183	02'22'25"	14.65'	29.29'	707.00'	29.29'	S21'22'22"E
C14	26'25'29"	70.43'	138.36'	300.00'	137.14'	S42'26'02"E	C99	46'30'30"	10.74'	20.29'	25.00'	19.74'	S75'33'29"W	C184	02'22'25"	12.33'	24.65'	595.00'	24.65'	N21'22'22"W
C15	38'52'43"	88.23'	169.64'	250.00'	166.40'	S36'12'26"E	C100	30'10'28"	17.52'	34.23'	65.00'	33.84'	S83'43'30"W	C185	00'15'31"	1.79'	3.58'	793.00'	3.58'	S20'18'54"E
C16	13'16'33"	34.91'	69.51'	300.00'	69.36'	N22'35'01"W	C101	59'59'42"	14.43'	28.18'	25.00'	25.00'	N81'21'53"W	C186	00'15'31"	2.04'	4.08'	905.00'	4.08'	N20'18'54"W
C17	09'35'20"	61.23'	122.17'	730.00'	122.03'	N34'00'58"W	C102	22'08'44"	53.82'	106.29'	275.00'	105.63'	N40'17'40"W	C187	03'58'18"	27.50'	54.97'	793.00'	54.96'	S22'25'49"E
C18	07'52'21"	52.98'	105.80'	770.00'	105.72'	N34'52'28"W	C103	09'35'20"	40.68'	81.17'	485.00'	81.07'	N34'00'58"W	C188	03'58'18"	31.38'	62.74'	905.00'	62.72'	N22'25'49"W
C19	10'45'08"	72.46'	144.50'	770.00'	144.29'	N25'33'43"W	C104	05'06'14"	45.24'	90.41'	1015.00'	90.38'	N36'13'31"W	C189	03'14'25"	22.43'	44.85'	793.00'	44.84'	S26'02'11"E
C20	09'02'09"	57.68'	115.12'	730.00'	115.01'	N24'42'13"W	C105	92'33'13"	26.14'	40.38'	25.00'	36.13'	N12'34'12"E	C190	23'57'06"	5.30'	10.45'	25.00'	10.37'	S15'40'50"E
C21	63'41'01"	74.52'	133.38'	120.00'	126.62'	N61'03'48"W	C106	86'54'32"	23.69'	37.92'	25.00'	34.39'	S77'41'55"E	C191	03'58'18"	31.38'	62.73'	905.00'	62.72'	N26'24'07"W
C22	09'02'09"	79.02'	157.70'	1000.00'	157.54'	S24'42'13"E	C107	04'33'59"	31.62'	63.20'	793.00'	63.18'	S36'31'39"E	C192	11'27'43"	2.51'	5.00'	25.00'	4.99'	S39'58'31"E
C23	18'37'29"	81.99'	162.53'	500.00'	161.82'	S29'29'54"E	C108	09'35'20"	59.30'	118.32'	707.00'	118.18'	N42'05'41"E	C193	03'38'39"	25.23'	50.44'	793.00'	50.43'	S36'03'59"E
C24	09'35'20"	83.87'	167.36'	1000.00'	167.16'	S34'00'58"E	C109	08'17'25"	20.07'	40.08'	277.00'	40.04'	S25'04'36"E	C194	04'00'20"	31.65'	63.27'	905.00'	63.26'	N35'53'08"W
C25	18'56'13"	66.71'	133.20'	400.00'	131.60'	N64'41'50"E	C110	98'55'08"	29.23'	43.16'	25.00'	38.00'	S28'31'41"W	C195	00'55'20"	6.38'	12.76'	793.00'	12.76'	S38'20'58"E
C26	11'51'18"	51.91'	103.45'	500.00'	103.27'	N64'46'28"E	C111	25'41'01"	46.73'	91.89'	205.00'	91.13'	S65'08'44"W	C196	00'55'20"	7.28'	14.57'	905.00'	14.57'	N38'20'58"W
C27	08'17'29"	66.70'	109.03'	75.00'	99.68'	S12'25'27"W	C112	93'30'10"	26.58'	40.80'	25.00'	36.42'	N12'05'44"E	C197	03'33'33"	21.97'	43.92'	707.00'	43.91'	S37'01'51"E
C28	23'55'04"	63.54'	125.23'	300.00'	124.33'	S66'01'43"W	C113	85'23'59"	23.07'	37.26'	25.00'	33.91'	S78'27'11"E	C198	03'33'33"	18.49'	36.96'	905.00'	36.96'	N37'01'51"W
C29	43'38'02"	72.06'	137.08'	180.00'	133.79'	S56'10'14"W	C114	03'03'26"	14.01'	28.01'	525.00'	28.01'	S37'16'55"E	C199	05'14'40"	32.38'	64.72'	707.00'	64.69'	S32'37'44"E
C30	46'51'13"	77.99'	147.19'	180.00'	143.13'	S57'46'49"W	C115	09'35'20"	81.78'	163.17'	975.00'	162.98'	S34'00'58"E	C200	05'14'40"	27.25'	54.46'	595.00'	54.44'	N32'37'44"W
C31	00'06'22"	1.68'	3.37'	181.00'	3.37'	S81'15'37"W	C116	83'17'29"	44.46'	72.69'	50.00'	66.45'	S12'25'27"W	C201	00'47'06"	4.84'	9.69'	707.00'	9.69'	S29'36'51"E
C32	03'31'01"	9.21'	18.41'	300.00'	18.41'	N76'13'45"E	C117	09'36'07"	23.10'	46.09'	275.00'	46.03'	S58'52'15"W	C202	00'47'06"	4.08'	8.15'	595.00'	8.15'	N29'36'51"E
C33	20'24'03"	53.98'	106.82'	300.00'	106.26'	N64'16'13"E	C118	96'34'54"	28.05'	42.14'	25.00'	37.33'	N68'02'15"W	C203	08'22'01"	1.83'	3.65'	25.00'	3.65'	S16'44'52"E
C34	07'59'19"	34.91'	69.71'	500.00'	69.66'	N34'48'59"W	C119	09'28'30"	26.77'	53.41'	323.00'	53.35'	N24'29'03"W	C204	09'02'36"	13.05'	26.04'	165.00'	26.02'	N24'42'00"W
C35	10'38'10"	46.54'	92.82'	500.00'	92.68'	N25'30'14"W	C120	09'35'20"	63.16'	126.02'	753.00'	125.87'	N34'00'58"W	C205	12'47'49"	30.84'	61.42'	275.00'	61.29'	N39'00'47"W
C36	05'15'47"	21.14'	42.26'	460.00'	42.24'	N31'51'12"W	C121	04'09'17"	27.10'	54.17'	747.00'	54.16'	N36'43'59"W	C206	03'23'35"	8.14'	16.29'	275.00'	16.28'	N30'55'05"W
C37	04'19'33"	17.37'	34.73'	460.00'	34.72'	N36'38'52"W	C122	33'07'06"	29.73'	57.80'	100.00'	57.00'	N09'07'13"W	C207	06'23'15"	27.06'	54.07'	485.00'	54.04'	N32'24'56"W
C38	01'03'05"	18.00'	36.01'	1962.00'	36.01'	S72'15'00"W	C123	03'32'32"	3.09'	6.18'	100.00'	6.18'	N27'27'02"W	C208	06'23'15"	33.20'	66.33'	595.00'	66.30'	S32'24'56"E
C39	03'13'54"	55.35'	110.67'	1962.00'	110.65'	S74'23'30"W	C124	00'38'41"	5.77'	11.54'	1025.00'	11.54'	N29'32'39"W	C209	03'12'05"	13.55'	27.10'	485.00'	27.10'	N37'12'36"W
C40	01'22'21"	23.44'	46.88'	1957.00'	46.87'	N75'23'13"E	C125	03'05'08"	27.61'	55.20'	1025.00'	55.19'	N31'24'33"W	C210	03'12'05"	16.63'	33.24'	595.00'	33.24'	S37'12'36"E
C41	93'41'58"	26.67'	40.88'	25.00'	36.48'	N27'51'04"E	C126	03'05'08"	27.61'	55.20'	1025.00'	55.19'	N34'29'41"W	C211	01'26'16"	12.73'	25.47'	1015.00'	25.47'	N38'05'30"W
C42	36'44'09"	69.73'	134.64'	210.00'	132.35'	N37'22'00"W	C127	02'46'23"	24.81'	49.61'	1025.00'	49.60'	N37'25'27"W	C212	01'26'16"	11.35'	22.71'	905.00'	22.71'	S38'05'30"E
C43	43'40'25"	10.02'	19.06'	25.00'	18.60'	N77'34'16"W	C128	00'06'10"	0.43'	0.85'	475.00'	0.85'	N38'45'33"W	C213	03'29'32"	30.94'	61.87'	1015.00'	61.86'	N35'37'36"W
C44	11'36'43"	6.61'	13.17'	65.00'	13.15'	S86'23'53"W	C129	08'27'04"	35.10'	70.06'	475.00'	70.00'	N34'28'55"W	C214	03'29'25"	27.57'	55.13'	905.00'	55.12'	S35'37'40"E
C45	50'05'13"	11.68'	21.85'	25.00'	21.17'	S67'09'38"W	C130	08'27'04"	35.10'	70.06'	475.00'	70.00'	N26'01'51"W	C215	05'00'30"	1.09'	2.19'	25.00'	2.18'	N30'46'07"W
C46	38'44'39"	72.08'	138.62'	205.00'	136.00'	S61'29'22"W	C131	01'37'10"	6.71'	13.42'	475.00'	13.42'	N20'59'44"W	C216	03'26'13"	30.45'	60.88'	1015.00'	60.87'	S26'32'46"W
C47	00'15'18"	3.99'	7.98'	1792.00'	7.98'	N81'20'05"E	C132	01'00'21"	9.00'	17.99'	1025.00'	17.99'	N20'41'20"W	C217	03'33'36"	28.12'	56.23'	905.00'	56.22'	S26'36'28"E
C48	34'34'55"	48.25'	93.55'	155.00'	92.14'	N63'54'58"E	C133	03'05'08"	27.61'	55.20'	1025.00'	55.19'	N22'44'04"W	C218	03'29'17"	30.91'	61.79'	1015.00'	61.78'	N23'05'01"W
C49	66'13'00"	16.30'	28.89'	25.00'	27.31'	N13'31'01"E	C134	03'05'08"	27.61'	55.20'	1025.00'	55.19'	S29'12'17"	C219	03'29'17"	27.56'	55.10'	905.00'	55.09'	S23'05'01"E
C50	20'36'38"	11.82'	23.38'	65.00'	23.26'	N09'17'10"W	C135	01'51'32"	16.63'	33.26'	1025.00'	33.25'	N28'17'32"W	C220	01'09'13"	10.22'	20.44'	1015.00'	20.44'	N20'45'46"W
C51	53'28'28"	12.59'	23.33'	25.00'	22.49'	N25'43'05"W	C136	72'10'45"	29.16'	50.39'	40.00'	47.12'	S05'06'46"W	C221	01'09'13"	9.11'	18.22'	905.00'	18.22'	S20'45'46"E
C52	23'14'01"	66.81'	131.79'	325.00'	130.89'	N40'50'18"W	C137	55'39'57"	21.12'	38.86'	40.00'	37.35'	S58'48'35"E	C222	01'12'00"	5.08'				



LOCATION MAP
ZONE ATLAS INDEX MAP No. B-8
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index Nos. B-8-Z; Zoning: RLT.
3. Gross Subdivision Acreage: 73.0485 Acres
4. Total Number of Tracts Created: One hundred sixteen (116) Lots & seventeen (17) Tracts.
5. Total Mileage of Full Width Streets created: 1.087 mile.
6. Date of Survey: December, 2005.
7. Plat is located within the Town of Alameda Grant, within projected Section 8, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tracts 10, 11, 12, & 13, BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553 into One hundred sixteen (116) Lots & seventeen (17) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque and to grant easements

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
E. New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground, or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5) on each side.

DESCRIPTION

A certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts 10, 11, 12, & 13 of the Bulk Land Plat for Ventana Ranch West as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84, as Document No. 2004032553 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 27) and ground distances as follows:

BEGINNING at the southeast corner of said Tract 10 of the Bulk Land Plat for Ventana Ranch West filed in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84, also being a point on curve on the northerly right-of-way line of Ventana Ridge Road NW, WHENCE the brass cap for Albuquerque City Survey (ACS) Monument "1-B8 1980", having New Mexico State Plane Grid Coordinates Central Zone (NAD 27) of X=351,650.59' and Y=1,527,002.51' bears S61°24'03"E, a distance of 1343.00 feet;

THENCE along said northerly right-of-way and also along the southerly boundary line of said Tracts 10, 11, 12, & 13 along the arc of a curve to the right having an arc length of 441.79 feet, a radius of 1962.00 feet, a central angle of 12°54'08", and a chord of S78°10'31"W, a distance of 440.86 feet to a point of reverse curvature;

THENCE along the arc of a curve to the left having an arc length of 876.10 feet, a radius of 1288.00 feet, a central angle of 38°58'22", and a chord of S65°08'22"W, a distance of 859.31 feet to a point of reverse curvature;

THENCE along the arc of a curve to the right having an arc length of 827.49 feet, a radius of 1082.00 feet, a central angle of 44°38'38", and a chord of S67°58'30"W, a distance of 806.72 feet to a point of tangency;

THENCE N89°42'11"W, a distance of 212.50 feet to a point of curvature at the east-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE along said return arc length of 39.27 feet, having a radius of 25.00 feet, a central angle of 90°00'00", and a chord of N44°42'11"W, a distance of 35.36 feet to a point of tangency being the north-northeast point of return of said Ventana Ridge Road NW and Del Oeste Drive NW;

THENCE along the westerly boundary line of said Tract 13 and also along the easterly right-of-way line of Del Oeste Drive NW N0°17'49"E, a distance of 1362.04 feet to the northwest corner of said Tract 13;

THENCE leaving said easterly right-of-way line of Del Oeste Drive NW along the northerly boundary line of said Tracts 12 & 13, S89°48'19"E, a distance of 1277.04 feet to the northeast corner of said Tract 12, a point on the westerly boundary line of said Tract 11;

THENCE along the westerly boundary line of said Tracts 10 & 11, N0°17'55"E, a distance of 917.01 feet to the northwest corner of said Tract 10;

THENCE along the northerly boundary line of said Tract 10, N87°13'46"E, a distance of 644.99 feet to the northeast corner of said Tract 10;

THENCE along the westerly boundary line of said Tract 10 the following four courses and distances:

S29°13'18"E, a distance of 1250.68 feet;
S54°04'11"W, a distance of 474.83 feet to a point of curvature (non-tangent);
along the arc of a curve to the left having an arc length of 114.20 feet, a radius of 264.00 feet and a central angle of 24°47'08", said arc subtended by a chord of S4°22'30"E, a distance of 113.32 feet to a point of tangency;
S16°46'04"E, a distance of 99.03 feet to the POINT OF BEGINNING.

Tract contains 73.0485 acres, more or less.

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: 1-19-06



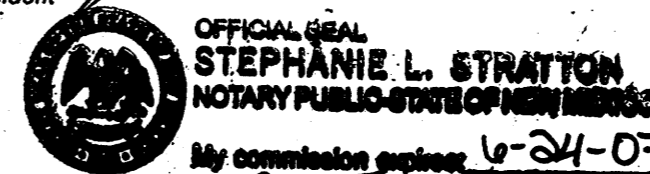
FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Alameda Grant, within projected Section 8, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts 10, 11, 12, & 13 of the BULK LAND PLAT FOR VENTANA RANCH WEST, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, now comprising Lots 1 through 116 inclusive, and Tracts A thru O inclusive, and Tracts 11-A & 12-A, VENTANA HIGHLANDS SUBDIVISION UNIT 1 AT VENTANA RANCH WEST, Albuquerque, New Mexico is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public street rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants, and do hereby grant: All access, Utility and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the Encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work affects any of the Encroachments. The City shall also have the right if reasonably necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

D.R. HORTON, INC

BY: Mark Ferguson Vice President
D.R. Horton, Inc.

State of New Mexico)
County of Bernalillo)

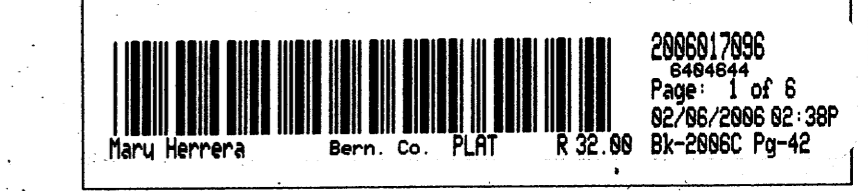


This instrument was acknowledged before me on 20 day of July, 2006, by Mark Ferguson, Vice President of D.R. Horton, Inc., a Delaware Corporation

My Commission Expires: 6-24-07

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 and are the same as shown on the Bulk Land Plat for Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
2. Distances are ground distances.
3. All easements of record are shown.
4. These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
5. Centerline in (lieu of R/W monumentation) to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
6. All streets are public, to be dedicated to the City of Albuquerque with the filing of this plat.
7. No individual lots shall be allowed direct access to Ventana Ridge Road NW, Del Oeste Drive NW, Lands outside of the subdivision boundary or Tract A, Tract B, and Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553.
8. Park dedication requirements have been met with park site within Tract C of the Bulk Land Plat For Ventana Ranch West, Albuquerque, New Mexico, recorded on March 11, 2004 in Book 2004C, Page 84 as Document No. 2004032553, in accordance with the Park Dedication Agreement between the City of Albuquerque and Ventana West, LLC; dated March 10, 2004 as document no. 2004031336. Conveyance shall be by separate deed.
9. Tracts A thru O are to be conveyed to and maintained by the Ventana Ranch West Community Association as private open space by separate deed. Tracts are subject to a pedestrian access and community landscaping easement granted with the filing of this plat. Tracts A thru O are subject to an underground public utility easement granted with the filing of this plat.
10. Tracts A & B are subject to a blanket public storm drain easement granted to the City of Albuquerque with the filing of this plat.
11. Tract M is subject to a blanket public sanitary sewer easement granted to NMUI with the filing of this plat.
12. Tract N is subject to a blanket public sanitary sewer and public waterline easement granted to NMUI with the filing of this plat.
13. Existing Tract 10 is subject to an existing thirty foot wide floating Public Sanitary Sewer Easement granted to New Mexico Utilities, Inc. and the City of Albuquerque and an existing thirty foot wide floating Public Storm Drain Easement granted to the City of Albuquerque by plat filed: March 11, 2004 in book 2004C, Page 84. These easements shall be confined and defined to within future public right of way dedicated by this plat. These easements are now defined and confirmed to within public right of way dedicated with this plat.
14. The front (adjacent to street right-of-way) lot corner will not be staked. A witness corner projected along the property line (10' offset), being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset may be adjusted by even foot increments where necessary to fall within the pan.



PLAT OF VENTANA HIGHLANDS SUBDIVISION UNIT 1 AT VENTANA RANCH WEST (A REPLAT OF TRACTS 10, 11, 12, & 13 VENTANA RANCH WEST)

ALBUQUERQUE, NEW MEXICO
JANUARY, 2006

PROJECT NUMBER 1004177
APPLICATION NUMBER QDRB-00098

Table with columns for APPROVALS, PLAT APPROVAL, CITY SURVEYOR, TRAFFIC ENGINEERING, UTILITIES DEVELOPMENT, PARKS & RECREATION DEPARTMENT, CITY ENGINEER, DRB CHAIRPERSON, VENTANA RANCH WEST COMMUNITY ASSOCIATION, and DATE.

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #
See tax certificate
PROPERTY OWNER OF RECORD Ventana West LLC
Bernalillo County Treasurer's Office

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.



Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

NOTE: TABLES ARE FOR THIS SHEET ONLY

Curve Data						Tangent Data			
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	BEARING	DISTANCE
C1	24°47'08"	58.01'	114.20'	264.00'	113.32'	S04°22'30"E	T1	S16°46'04"E	99.03'
C2	12°54'06"	221.84'	441.79'	1962.00'	440.86'	S78°10'31"W	T2	N89°42'11"W	212.50'
C3	38°58'22"	455.76'	876.10'	1288.00'	859.31'	S65°08'22"W	T3	N42°01'57"W	110.00'
C4	44°38'38"	436.03'	827.49'	1062.00'	806.72'	S67°58'30"W	T4	S07°40'25"W	60.12'
C5	90°00'00"	25.00'	39.27'	25.00'	35.36'	N44°42'11"W	T5	N72°21'48"W	102.22'
C6	08°37'06"	147.84'	295.12'	1962.00'	294.84'	S80°19'00"W	T6	N04°52'38"W	110.24'
C7	38°29'31"	449.69'	865.29'	1288.00'	849.11'	S65°22'48"W	T7	N04°26'15"W	50.10'
C8	01°50'00"	23.33'	46.65'	1458.00'	46.65'	N47°03'03"E	T8	N00°37'19"W	110.00'
C9	02°34'51"	4.63'	9.26'	205.56'	9.26'	N83°14'59"W	T9	S01°14'51"W	110.00'
C10	09°18'10"	2.03'	4.06'	25.00'	4.05'	N86°35'11"E	T10	S07°22'51"W	50.32'
C11	03°52'23"	36.01'	71.99'	1065.00'	71.98'	N89°18'04"E	T11	S00°17'55"W	17.95'
C12	01°17'04"	10.15'	20.29'	905.00'	20.29'	S88°00'25"W	T12	N19°17'53"W	160.00'
C13	01°52'10"	10.36'	20.72'	635.00'	20.72'	N89°41'14"W	T13	N21°11'31"W	119.30'
C14	04°49'28"	88.80'	177.50'	2108.00'	177.44'	N75°50'15"E	T14	N16°00'35"W	129.30'
C15	07°32'52"	24.08'	48.08'	365.00'	48.05'	N74°28'33"E	T15	N13°12'14"W	50.05'
C16	01°53'37"	8.68'	17.35'	525.00'	17.35'	N69°45'18"E	T16	N22°58'36"W	124.29'
C17	03°33'36"	19.73'	39.46'	635.00'	39.45'	N67°01'41"E	T17	S61°48'36"W	37.85'
C18	07°17'50"	27.10'	54.13'	425.00'	54.09'	N70°40'19"E	T18	N08°32'16"W	130.73'
C19	28°56'53"	52.92'	103.57'	205.00'	102.48'	N66°23'15"E	T19	N19°13'45"W	50.86'
C20	00°28'52"	5.41'	10.81'	1288.00'	10.81'	S45°53'37"W			
C21	04°17'00"	73.37'	146.67'	1962.00'	146.64'	S73°51'58"W			

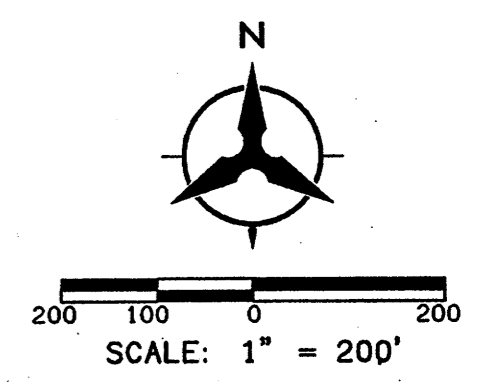
NOTE: TABLES ARE FOR THIS SHEET ONLY

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GROUND TO GRID FACTOR = 0.9996593
DELTA ALPHA = -00°17'21"
NGVD 1929 ELEVATION = 5570.04

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Page: 2 of 6
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Blk-2886C Pg-42

Harv Herrera Bern. Co. PLRT R 32.00 Blk-2886C Pg-42

PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 10, 11, 12, & 13
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006

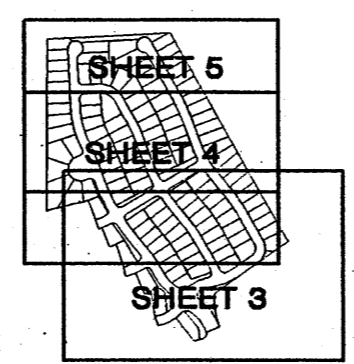
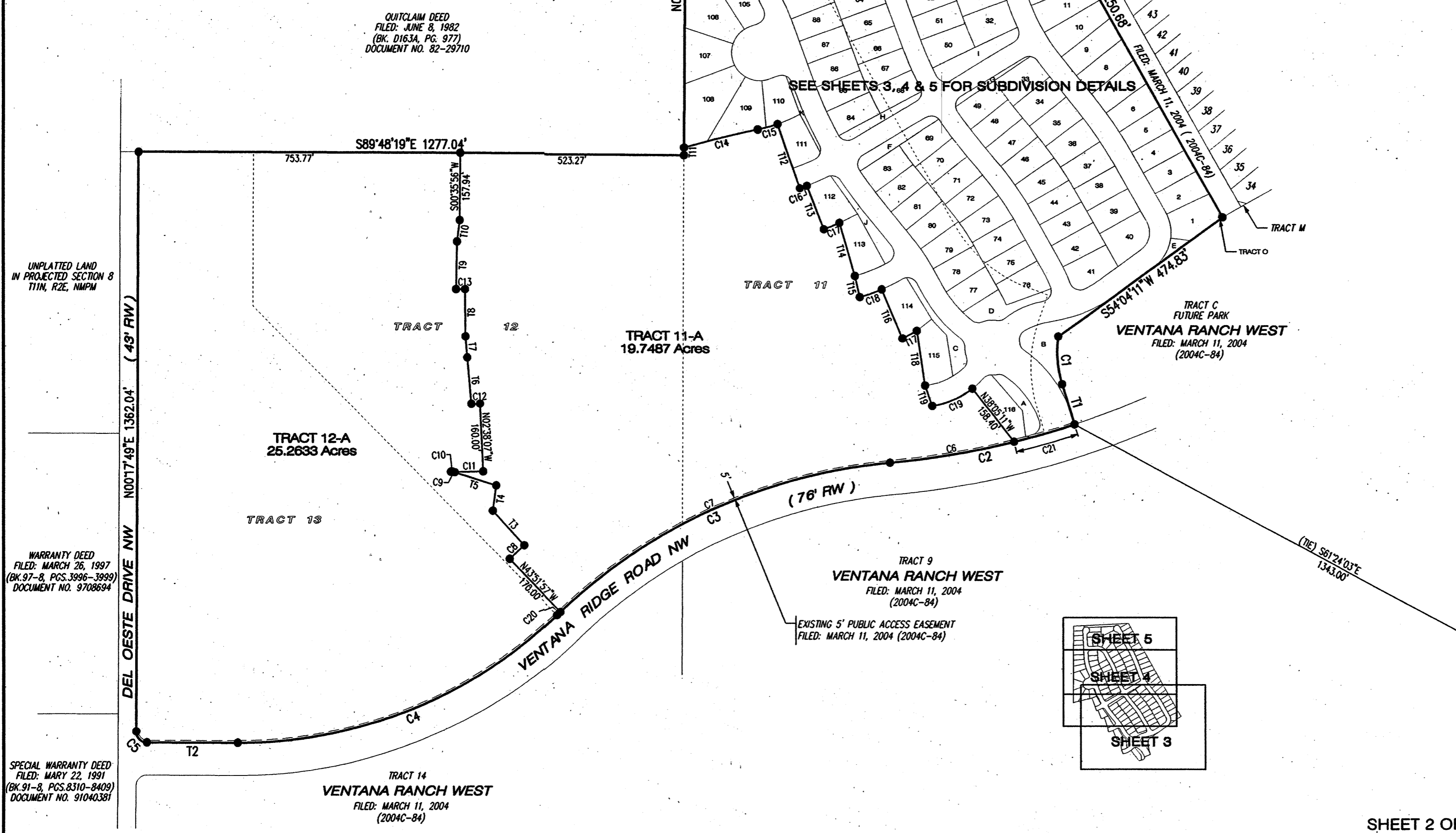


LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (OLD) LOT LINE
- RIGHT OF WAY
- PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"



ACS BRASS TABLE STAMPED "1-B8 1980"
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NM STATE PLANE COORDINATES (CENTRAL ZONE)
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NGVD 1929 ELEVATION = 5555.39

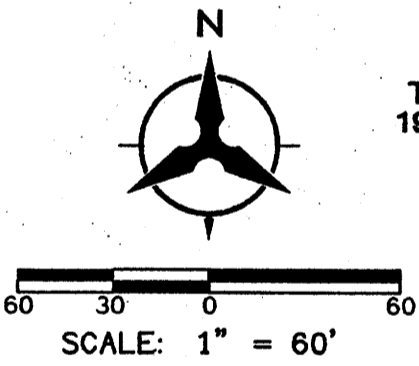


Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**PLAT OF
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 UNIT 1
 AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 10, 11, 12, & 13
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2006**

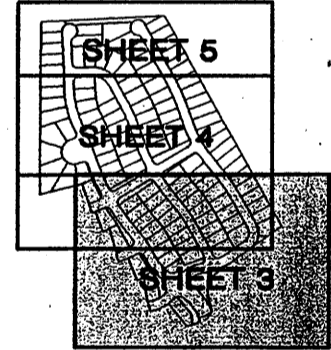


EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT
 RECORDED SEPTEMBER 16, 1930 (BK 112, PG. 515)
 AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL
 GAS COMPANY RECORDED DECEMBER 11, 1931 (BK 123, PG. 152)
 AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS
 RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360)
 DOCUMENT NO. 90568



SEE SHEET 6 FOR CURVE AND TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

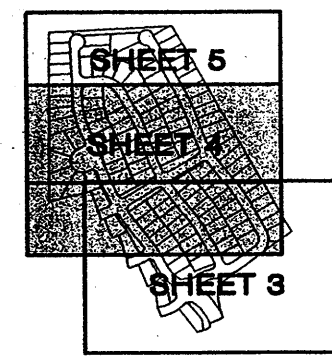


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 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**PLAT OF
VENTANA HIGHLANDS
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UNIT 1
AT VENTANA RANCH WEST**
(A REPLAT OF TRACTS 10, 11, 12, & 13
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006

EXISTING 50' SOUTHERN UNION GAS COMPANY
EASEMENT RECORDED SEPTEMBER 16, 1930
(BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE
NATURAL GAS COMPANY
RECORDED DECEMBER 11, 1931
(BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND RELEASE OF
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(VOLUME D346, FOLIO 356-360)
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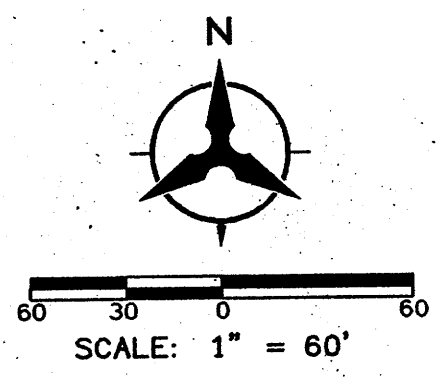
**WESTERN SHADOWS AT
VENTANA RANCH WEST**
40 FILED: FEBRUARY 14, 2005
(20056-65)



Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 4 OF 6



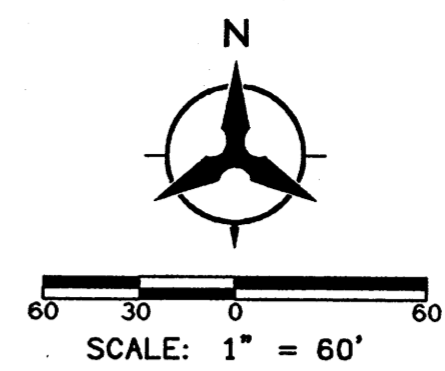
SEE SHEET 6 FOR CURVE & TANGENT DATA

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	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET. #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

TRACT A
VENTANA RANCH WEST
FILED: MARCH 11, 2004
(2004C-84)

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Page: 5 of 6
02/06/2006 02:38P
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Mary Herrera Bern. Co. PLRT R 32.00 Bk-2806C Pg-42



PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
(A REPLAT OF TRACTS 10, 11, 12, & 13
VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006

SEE SHEET 6 FOR CURVE & TANGENT DATA

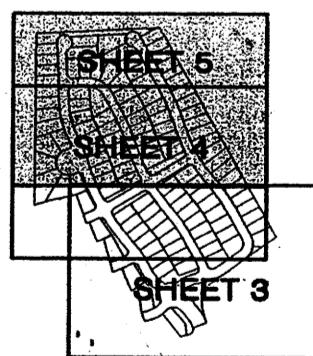
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	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"

QUITCLAIM DEED
FILED: JUNE 8, 1982
(BK. D163A, PG. 977)
DOCUMENT NO. 82-29710



WESTERN SHADOWS AT
VENTANA RANCH WEST
FILED: FEBRUARY 14, 2005
(2005C-65)

EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT
RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515)
AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL
GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152)
AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS
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DOCUMENT NO. 90568



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

PLAT OF
VENTANA HIGHLANDS
SUBDIVISION
UNIT 1
AT VENTANA RANCH WEST
 (A REPLAT OF TRACTS 10, 11, 12, & 13
 VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2006

Curve Data													
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	24°47'08"	58.01'	114.20'	264.00'	113.32'	S04°22'30"E	C86	71°17'21"	17.93'	31.11'	25.00'	29.14'	S23°38'37"W
C2	04°17'00"	73.37'	146.67'	1962.00'	146.64'	S73°51'58"W	C87	03°42'11"	2.10'	4.20'	65.00'	4.20'	S10°08'58"E
C3	28°56'53"	52.92'	103.57'	205.00'	102.48'	S66°23'15"W	C88	46°40'27"	10.79'	20.37'	25.00'	19.81'	S31°38'06"E
C4	07°17'50"	27.10'	54.13'	425.00'	54.09'	S70°40'19"W	C89	38°12'15"	99.05'	190.70'	286.00'	187.19'	S35°52'12"E
C5	03°33'36"	19.73'	39.46'	635.00'	39.45'	S67°01'41"W	C90	63°41'01"	60.24'	107.81'	97.00'	102.35'	S61°03'48"E
C6	01°53'37"	8.68'	17.35'	525.00'	17.35'	S69°45'18"W	C91	09°02'09"	58.86'	111.50'	707.00'	111.38'	S24°42'13"E
C7	07°32'52"	24.08'	48.08'	365.00'	48.05'	S74°28'33"W	C92	07°28'14"	51.77'	103.40'	793.00'	103.32'	S23°55'16"E
C8	04°49'28"	88.80'	177.50'	2108.00'	177.44'	S75°50'15"W	C93	86°30'12"	23.52'	37.74'	25.00'	34.26'	S15°35'43"W
C9	24°38'20"	109.20'	218.40'	500.00'	213.36'	S151°32'29"E	C94	92°53'19"	26.29'	40.53'	25.00'	36.24'	N74°42'32"W
C10	07°21'30"	29.58'	59.08'	460.00'	59.04'	S23°51'54"E	C95	08°04'43"	71.68'	143.11'	1015.00'	143.00'	N24°13'31"W
C11	10°48'29"	98.38'	196.18'	1040.00'	195.89'	S25°35'23"E	C96	07°21'30"	31.19'	62.29'	485.00'	62.25'	N23°51'54"W
C12	07°49'00"	71.05'	141.88'	1040.00'	141.77'	S34°54'08"E	C97	24°38'20"	103.74'	204.26'	475.00'	202.69'	N15°13'29"W
C13	09°35'20"	38.58'	76.98'	460.00'	76.89'	S34°00'58"E	C98	90°00'00"	25.00'	39.27'	25.00'	35.36'	N42°05'41"E
C14	26°25'29"	70.43'	138.36'	300.00'	137.14'	S42°26'02"E	C99	46°30'30"	10.74'	20.29'	25.00'	19.74'	S75°33'29"W
C15	38°52'43"	88.23'	166.46'	250.00'	166.40'	S36°12'26"E	C100	30°10'28"	17.52'	34.23'	65.00'	33.84'	S83°43'30"W
C16	13°16'33"	34.91'	69.51'	300.00'	69.36'	N22°35'01"W	C101	59°59'42"	14.43'	26.18'	25.00'	25.00'	N81°21'53"W
C17	09°35'20"	61.23'	122.17'	730.00'	122.03'	N34°00'58"W	C102	22°08'44"	53.82'	106.29'	275.00'	105.63'	N40°17'40"W
C18	07°52'21"	52.98'	105.80'	770.00'	105.72'	N34°52'28"W	C103	09°35'20"	40.68'	81.17'	485.00'	81.07'	N34°00'58"W
C19	10°45'08"	72.46'	144.50'	770.00'	144.29'	N25°33'43"W	C104	05°06'14"	45.24'	90.41'	1015.00'	90.38'	N36°15'31"W
C20	09°02'09"	57.68'	115.12'	730.00'	115.01'	N24°42'13"W	C105	92°33'13"	26.14'	40.38'	25.00'	36.13'	N12°34'12"E
C21	63°41'01"	74.52'	133.38'	120.00'	126.62'	N61°03'48"W	C106	86°54'32"	23.69'	37.92'	25.00'	34.39'	S77°41'55"E
C22	09°02'09"	79.02'	157.70'	1000.00'	157.54'	S24°42'13"E	C107	04°33'59"	31.62'	63.20'	793.00'	63.18'	S36°31'39"E
C23	18°37'29"	81.99'	162.53'	500.00'	161.82'	S29°29'54"E	C108	09°35'20"	59.30'	118.32'	707.00'	118.18'	S34°00'58"E
C24	09°35'20"	83.87'	167.36'	1000.00'	167.16'	S34°00'58"E	C109	08°17'25"	20.07'	40.08'	277.00'	40.04'	S25°04'36"E
C25	18°56'13"	66.71'	132.20'	400.00'	131.60'	N64°41'50"E	C110	98°55'08"	29.23'	43.16'	25.00'	38.00'	S28°31'41"W
C26	11°51'18"	51.91'	103.45'	500.00'	103.27'	N64°46'28"E	C111	25°41'01"	46.73'	91.89'	205.00'	91.13'	S65°08'44"W
C27	83°17'29"	66.70'	109.03'	75.00'	99.68'	S12°25'27"W	C112	93°30'10"	26.58'	40.80'	25.00'	36.42'	N12°05'44"E
C28	23°55'04"	63.54'	125.23'	300.00'	124.33'	S66°01'43"W	C113	85°23'59"	23.07'	37.26'	25.00'	33.91'	S78°27'11"E
C29	43°38'02"	72.06'	137.08'	180.00'	133.79'	S56°10'14"W	C114	03°03'26"	14.01'	28.01'	525.00'	28.01'	S37°16'55"E
C30	46°51'13"	77.99'	147.19'	180.00'	143.13'	S57°46'49"W	C115	09°35'20"	81.78'	163.17'	975.00'	162.98'	S34°00'58"E
C31	00°06'22"	1.68'	3.37'	1817.00'	3.37'	S81°15'37"W	C116	83°17'29"	44.46'	72.69'	50.00'	66.45'	S12°25'27"W
C32	03°31'01"	9.21'	18.41'	300.00'	18.41'	N76°13'45"E	C117	09°36'07"	23.10'	46.09'	275.00'	46.03'	S58°52'15"W
C33	20°24'03"	53.98'	106.82'	300.00'	106.26'	N64°16'13"E	C118	96°34'54"	28.05'	42.14'	25.00'	37.33'	N68°02'15"W
C34	07°59'19"	34.91'	69.71'	500.00'	69.66'	N34°48'59"W	C119	09°28'30"	26.77'	53.41'	323.00'	53.35'	N24°29'03"W
C35	10°38'10"	46.54'	92.82'	500.00'	92.68'	N25°30'14"W	C120	09°35'20"	63.16'	126.02'	753.00'	125.87'	N34°00'58"W
C36	05°15'47"	21.14'	42.26'	460.00'	42.24'	N31°51'12"W	C121	04°09'17"	27.10'	54.17'	747.00'	54.16'	N36°43'59"W
C37	04°19'33"	17.37'	34.73'	460.00'	34.72'	N36°38'52"W	C122	33°07'06"	29.73'	57.80'	100.00'	57.00'	N09°07'13"W
C38	01°03'05"	18.00'	36.01'	1962.00'	36.01'	S72°15'00"W	C123	03°32'32"	3.09'	6.18'	100.00'	6.18'	N27°27'02"W
C39	03°13'54"	55.35'	110.67'	1962.00'	110.65'	S74°23'30"W	C124	00°38'41"	5.77'	11.54'	1025.00'	11.54'	N29°32'39"W
C40	10°22'21"	23.44'	46.88'	1957.00'	46.87'	N75°23'13"E	C125	03°05'08"	27.61'	55.20'	1025.00'	55.19'	N31°24'33"W
C41	93°41'58"	26.67'	40.88'	25.00'	36.48'	N27°51'04"E	C126	03°05'08"	27.61'	55.20'	1025.00'	55.19'	N34°29'41"W
C42	36°44'09"	69.73'	134.64'	210.00'	132.35'	N37°22'00"W	C127	02°46'23"	24.81'	49.61'	1025.00'	49.60'	N37°25'27"W
C43	43°40'25"	10.02'	19.06'	25.00'	18.60'	N77°34'16"W	C128	00°06'10"	0.43'	0.85'	475.00'	0.85'	N38°45'33"W
C44	11°36'43"	6.61'	13.17'	65.00'	13.15'	S86°23'53"W	C129	08°27'04"	35.10'	70.06'	475.00'	70.00'	N34°28'55"W
C45	50°05'13"	11.68'	21.85'	25.00'	21.17'	S67°09'38"W	C130	08°27'04"	35.10'	70.06'	475.00'	70.00'	N26°01'51"W
C46	38°44'39"	72.08'	138.62'	205.00'	136.00'	S61°29'22"W	C131	01°37'10"	6.71'	13.42'	475.00'	13.42'	N20°59'44"W
C47	00°15'18"	3.99'	7.98'	1792.00'	7.98'	N81°20'05"E	C132	01°00'21"	9.00'	17.99'	1025.00'	17.99'	N22°44'04"W
C48	34°34'55"	48.25'	93.55'	155.00'	92.14'	N63°54'58"E	C133	03°05'08"	27.61'	55.20'	1025.00'	55.19'	N20°44'04"W
C49	66°13'00"	16.30'	28.89'	25.00'	27.31'	N13°31'01"E	C134	03°05'08"	27.61'	55.20'	1025.00'	55.19'	N25°49'12"W
C50	20°36'38"	11.82'	23.38'	65.00'	23.26'	N09°17'10"W	C135	01°51'32"	16.63'	33.26'	1025.00'	33.25'	N28°17'32"W
C51	53°28'28"	12.59'	23.33'	25.00'	22.49'	N25°43'05"W	C136	72°10'45"	29.16'	50.39'	40.00'	47.12'	S05°06'46"W
C52	23°14'01"	66.81'	131.79'	325.00'	130.89'	N40°50'18"W	C137	55°39'57"	21.12'	38.86'	40.00'	37.35'	S58°48'35"E
C53	91°00'05"	25.44'	39.71'	25.00'	35.66'	N74°43'20"W	C138	02°21'33"	20.08'	40.15'	975.00'	40.15'	S28°02'31"E
C54	14°32'37"	54.23'	107.88'	425.00'	107.59'	S67°02'56"W	C139	02°21'33"	17.81'	35.62'	865.00'	35.62'	N28°02'31"E
C55	12°59'55"	42.72'	85.08'	375.00'	84.89'	N67°29'27"E	C140	03°38'48"	31.04'	62.06'	975.00'	62.05'	S25°02'20"E
C56	99°48'08"	29.69'	43.55'	25.00'	38.25'	N11°05'26"E	C141	03°38'48"	27.54'	55.05'	865.00'	55.05'	N25°02'20"E
C57	05°15'44"	48.94'	97.81'	1065.00'	97.78'	N36°10'46"W	C142	03°01'47"	25.79'	51.56'	975.00'	51.56'	S21°42'03"E
C58	83°17'48"	22.23'	36.35'	25.00'	33.23'	N75°11'49"W	C143	03°01'47"	22.88'	45.74'	865.00'	45.74'	N21°42'03"W
C59	07°32'50"	34.63'	69.15'	525.00'	69.10'	S66°55'42"W	C144	05°26'56"	24.98'	49.93'	525.00'	49.91'	S22°54'37"E
C60	06°38'29"	27.56'	55.06'	475.00'	55.03'	N67°22'52"E	C145	05°27'03"	30.23'	60.41'	635.00'	60.39'	N22°54'40"W
C61	92°20'03"	26.04'	40.29'	25.00'	36.07'	N17°53'36"E	C146	05°04'22"	28.13'	56.22'	635.00'	56.20'	N36°16'27"W
C62	08°05'17"	75.29'	150.34'	25.00'	150.21'	N24°13'47"W	C147	48°40'32"	11.31'	21.24'	25.00'	20.61'	S60°05'28"E
C63	90°01'34"	25.01'	39.28'	25.00'	35.36'	N65°11'56"W	C148	01°29'10"	12.65'	25.29'	975.00'	25.29'	S38°04'03"E
C64	180°00'00"	-----	204.20'	65.00'	130.00'	N20°12'43"W	C149	01°29'10"	11.22'	22.44'	865.00'	22.44'	N38°04'03"E
C65	97°08'18"	28.33'	42.38'	25.00'	37.49'	N21°13'08"E	C150	03°57'49"	33.74'	67.45'	975.00'	67.44'	S35°20'34"E
C66	00°11'38"	0.74'	1.47'	435.00'	1.47'	N27°26'50"W	C151	03°57'49"	29.93'	59.84'	865.00'	59.83'	N35°20'34"W
C67	24°38'20"	114.66'	225.77'	525.00'	224.03'	N15°13'29"W	C152	03°57'49"	33.74'	67.45'	975.00'	67.44'	S31°22'45"E
C68	241°30'55"	-----	168.61'	40.00'	68.75'	S62°08'52"E	C153	03°57'49"	29.93'	59.84'	865.00'	59.83'	N31°22'45"W
C69	61°30'55"	14.88'	26.84'	25.00'	25.57'	S27°51'08"W	C154	00°10'32"	1.49'	2.99'	975.00'	2.99'	S29°18'34"E
C70	90°00'00"	25.00'	39.27'	25									

PRELIMINARY PLAT

VENTANA HIGHLANDS SUBDIVISION

UNIT 1, UNIT 2 & UNIT 3

(REPLAT OF TRACT 10, 11, 12 & 13 AT VENTANA RANCH WEST) ALBUQUERQUE, NEW MEXICO

JUNE, 2005

APPROVED BY DDC
ON 8/2/05

LEGAL DESCRIPTION:
TRACTS 10, 11, 12 & 13 OF VENTANA RANCH WEST
FILED: MARCH 11, 2004 (2004C-84)

PROPOSED ZONING: R-1
SINGLE FAMILY DETACHED RESIDENTIAL

2. TOTAL NUMBER OF LOTS: 324 LOTS
PROPOSED DENSITY: 4.44 D.U. PER ACRE

UNIT 1 ACREAGE: 28.04 ACRES
NUMBER OF LOTS: 116 LOTS

UNIT 2 ACREAGE: 19.75 ACRES
PROPOSED DENSITY: 4.14 D.U. PER ACRE

UNIT 3 ACREAGE: 89 LOTS
PROPOSED DENSITY: 4.51 D.U. PER ACRE

UNIT 3 ACREAGE: 25.26 ACRES
NUMBER OF LOTS: 119 LOTS

PROPOSED DENSITY: 4.71 D.U. PER ACRE
AND RIGHT-OF-WAY GRANT AND
RELEASE OF CLAIMS

RECORDED: MARCH 29, 1996
(VOLUME D346, FOLIO 356-360)

DOCUMENT NO. 90368

4. ALL STREETS AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, TO BE DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.

5. THIS SUBDIVISION LIES WITHIN THE NEW MEXICO UTILITIES, INC. (NMU) FRANCHISE AREA. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON NMU'S FACILITIES, AND NOT ON THE CITY OF ALBUQUERQUE'S WATER AND SANITARY SEWER INFRASTRUCTURE. IMPROVEMENTS MUST BE APPROVED BY BOTH THE CITY OF ALBUQUERQUE AND NMU.

6. ALL SANITARY AND WATER UTILITIES IN THE STREET R/W ARE TO BE OWNED AND MAINTAINED BY NMU.

7. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO VENTANA RANCH ROAD, DEL OESTE DRIVE, AND UNPAVED LANS OUTSIDE THE SUBDIVISION BOUNDARY OR TRACT A.

8. LOT SETBACKS SHALL CONFORM TO RLZ ZONE REGULATIONS. REQUIRED SETBACKS SHALL INCLUDE:
FRONT YARD: (15' x .20' TO GARAGE MIN.)
SIDE YARD: 5' (MIN.)
BACK YARD: 15' (MIN.)
CORNER SIDE YARD: 10' TO R/W

9. PARK DEDICATION REQUIREMENTS HAVE BEEN MET WITH NM STATE PLANE COORDINATES (CENTRAL ZONE).
NM STATE PLANE COORDINATES (CENTRAL ZONE):
NAD 1987
GEOGRAPHIC POSITION (NAD 1987)
NAD 1929 ELEVATION = 5522.0 (TR10)
DELTA ALPHA = -00'16.58"
GROUND TO GRID FACTOR = 0.99966044

10. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED PERPENDICULAR TO THE CITY OF ALBUQUERQUE. THIS EASEMENT SHALL BE DEDICATED TO THE CITY OF ALBUQUERQUE WITHIN FUTURE PLANNING.

11. TRACTS A THRU Y ARE TO BE DEDICATED TO AND MAINTAINED TO AN UNDERGROUND PUBLIC UTILITY EASEMENT EXCEPT TRACTS N AND O.

12. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.

13. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.

14. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.

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20. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.

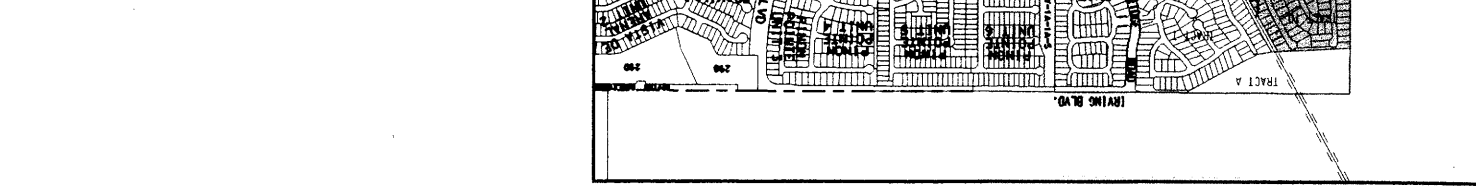
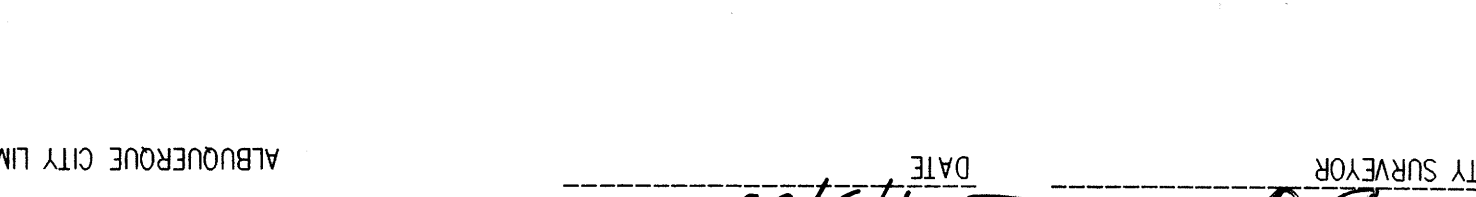
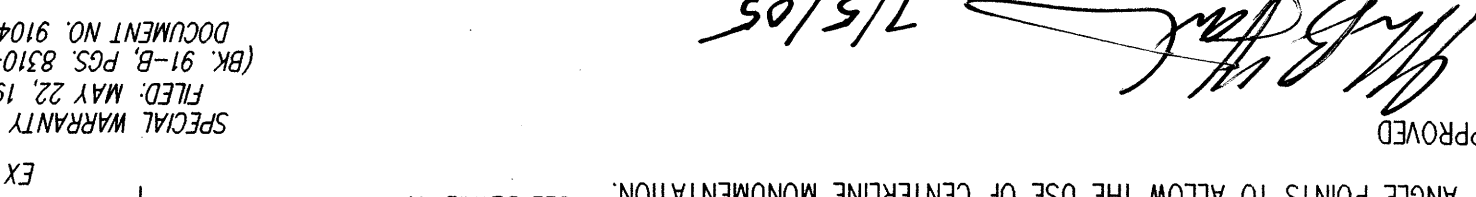
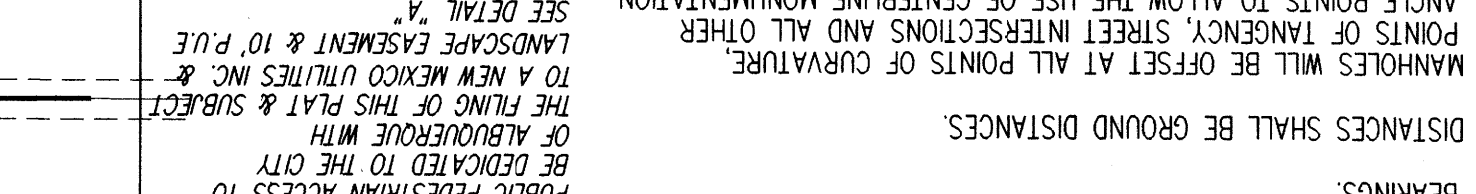
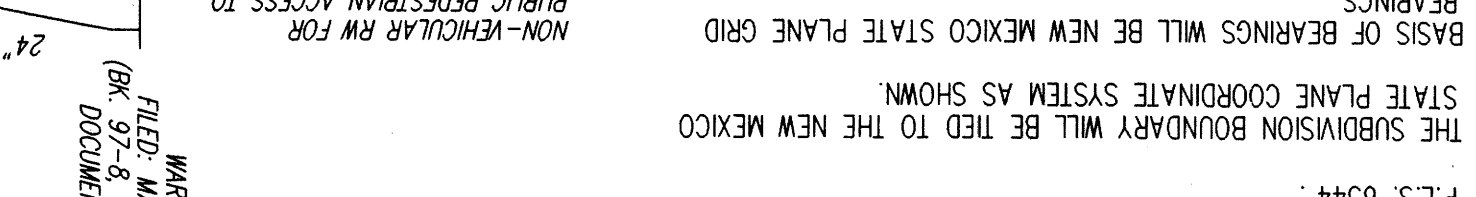
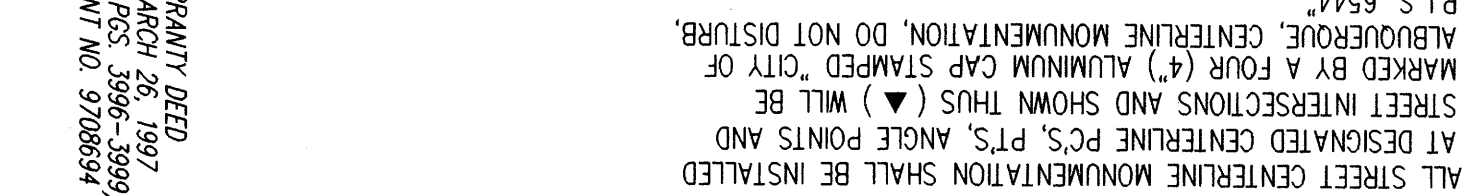
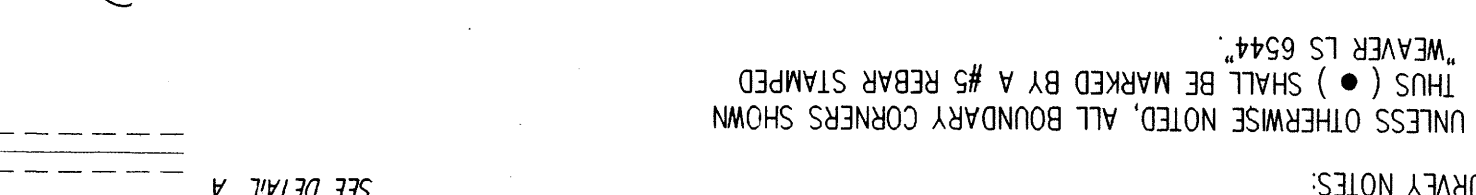
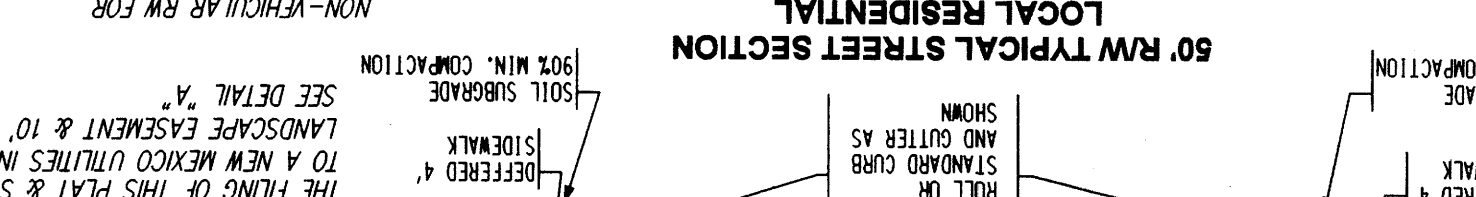
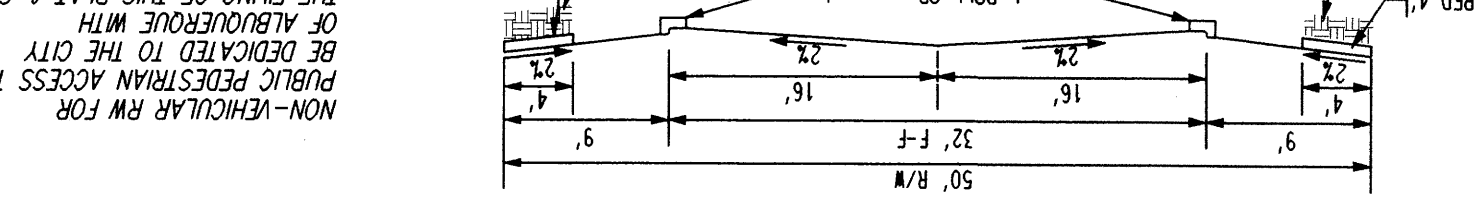
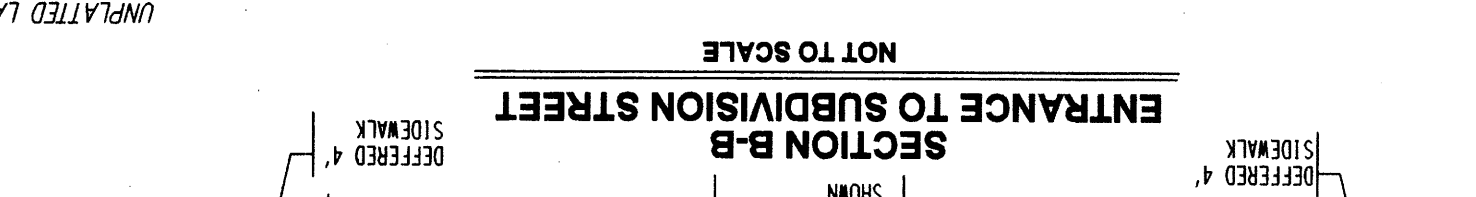
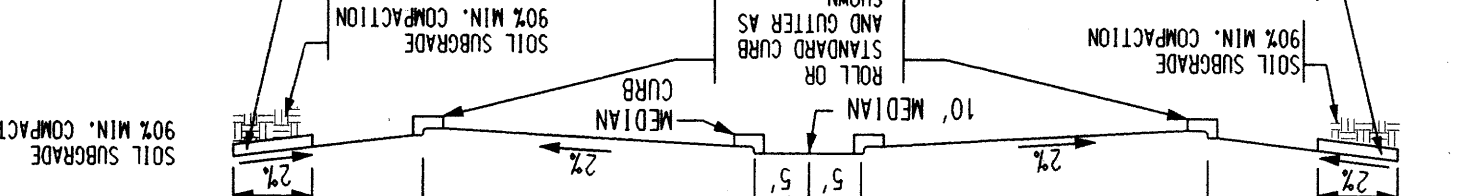
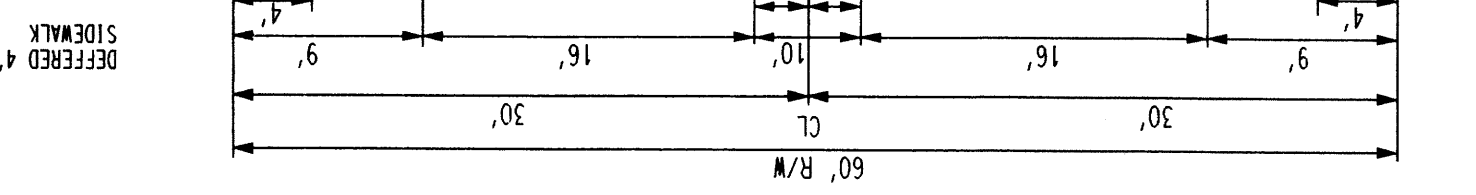
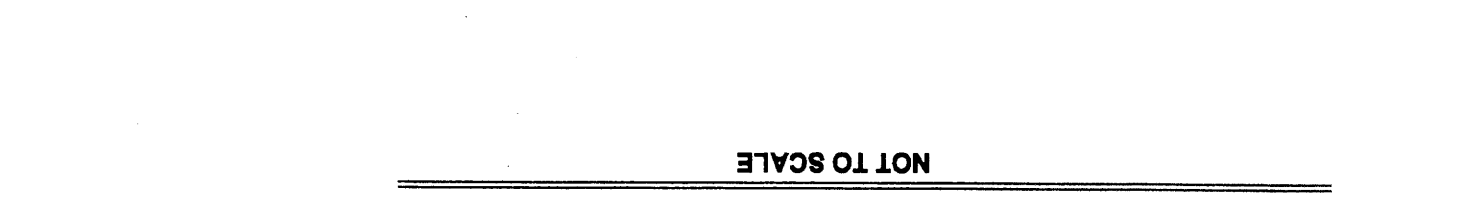
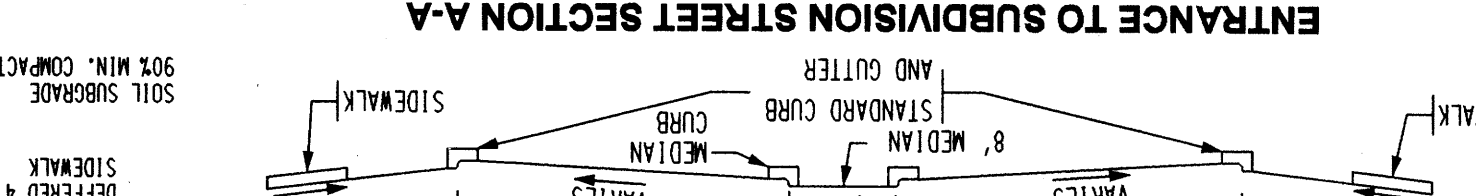
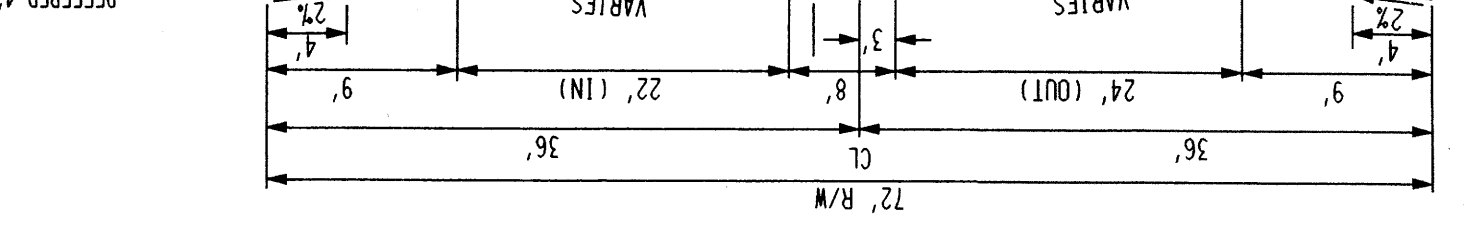
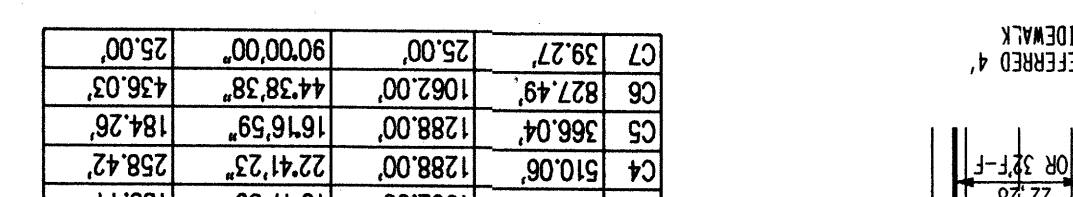
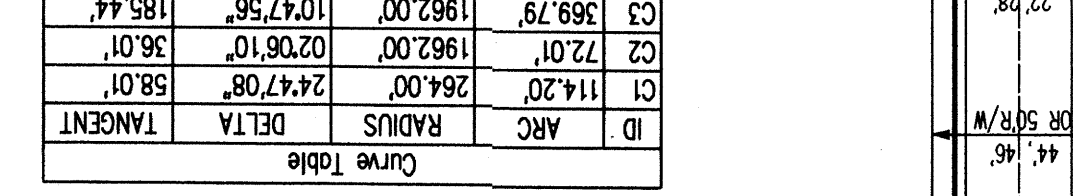
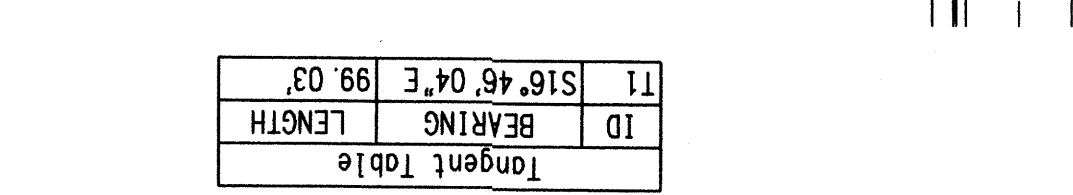
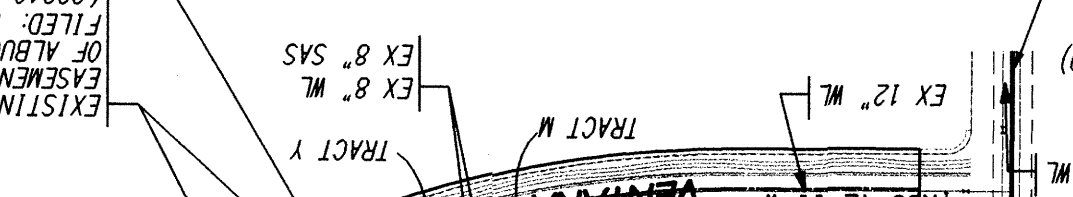
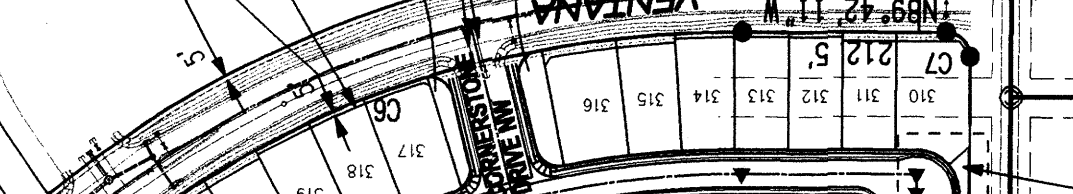
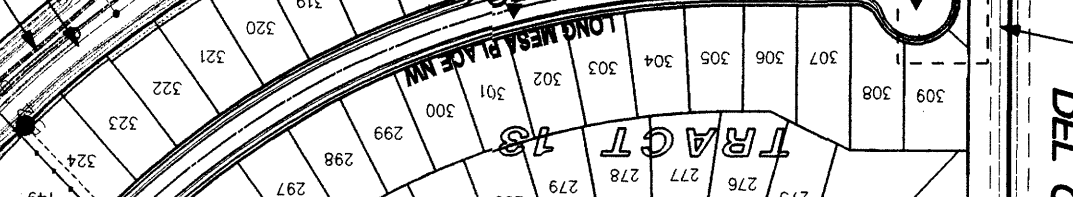
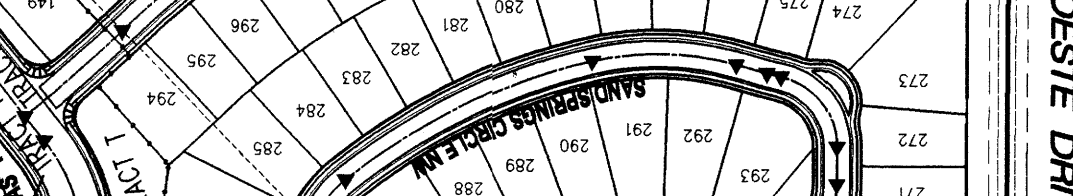
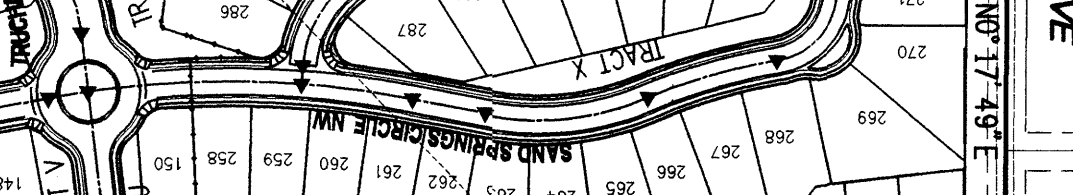
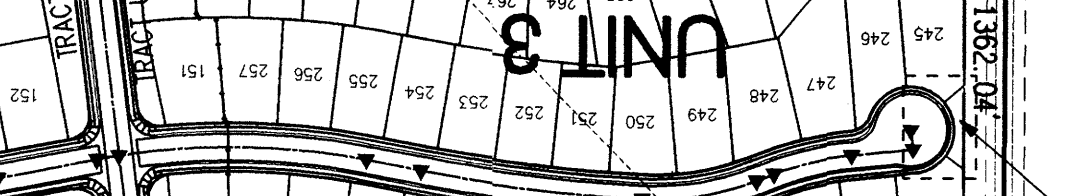
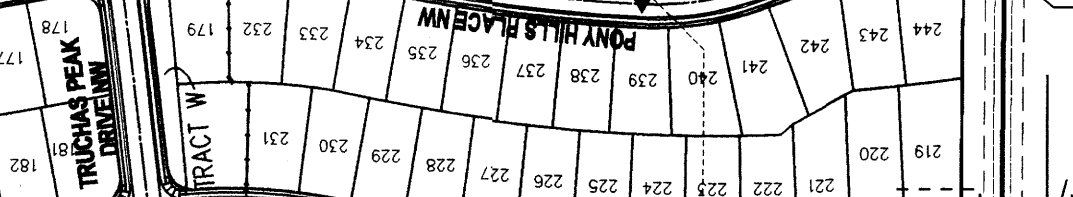
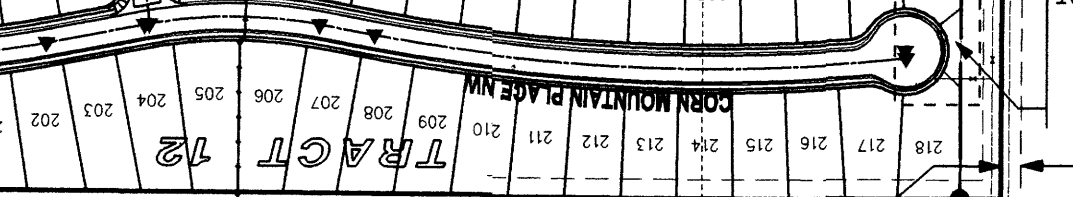
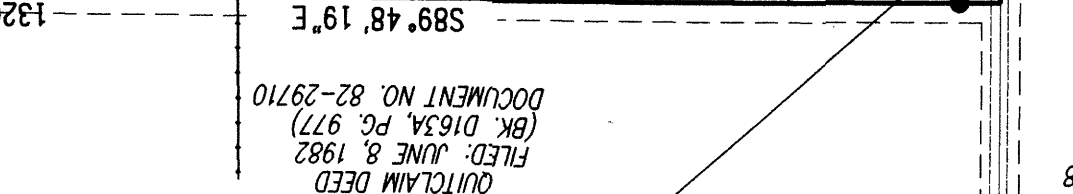
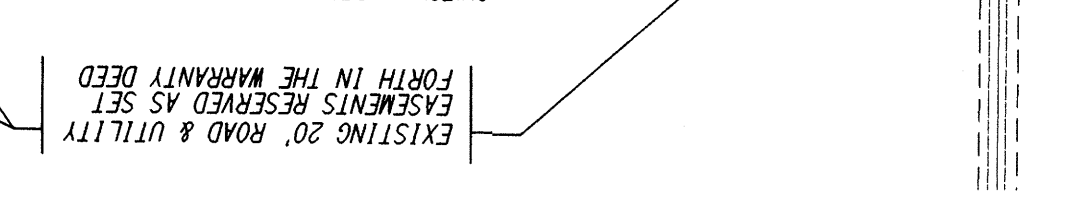
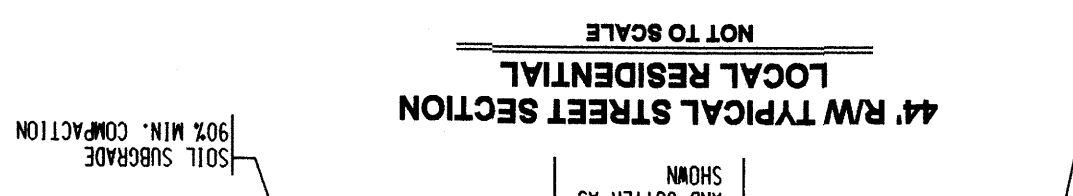
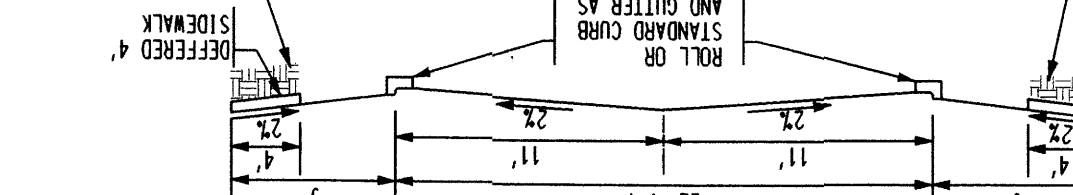
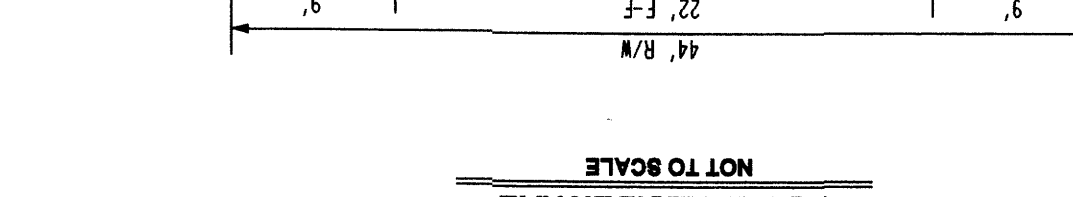
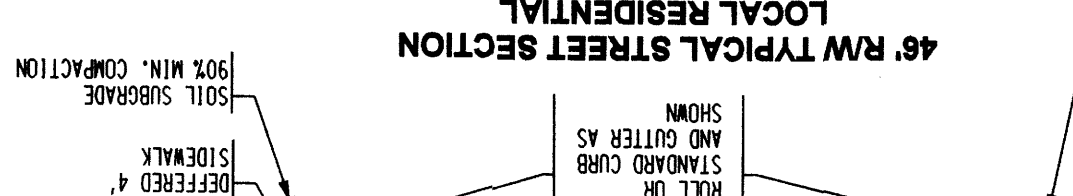
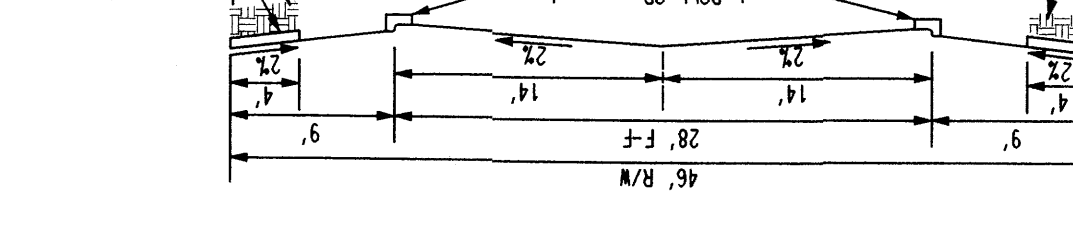
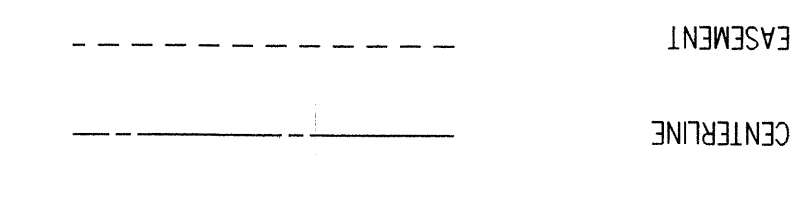
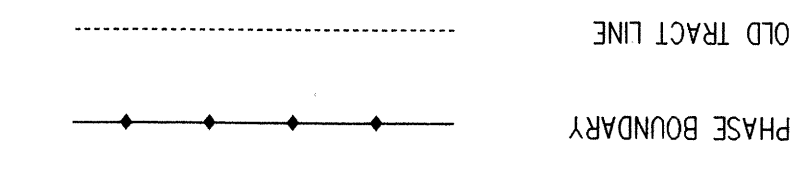
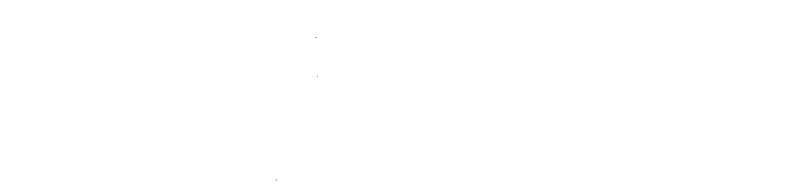
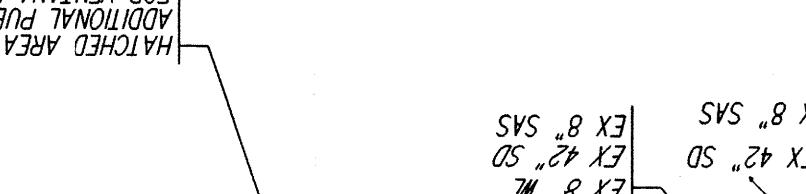
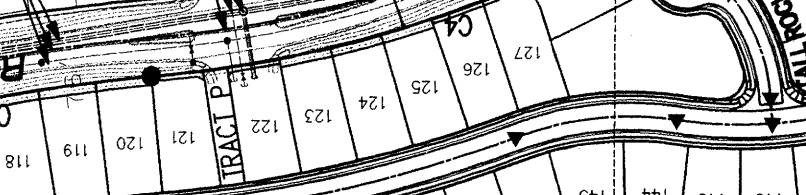
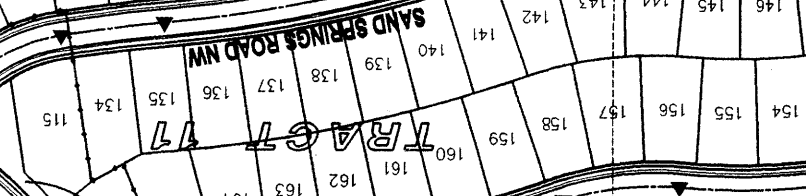
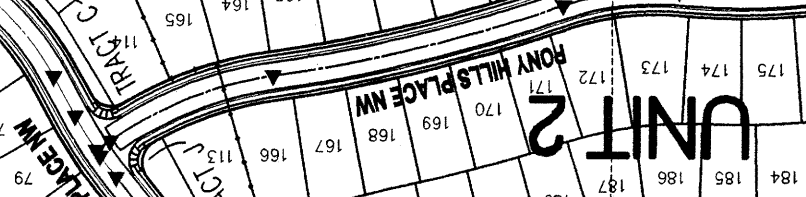
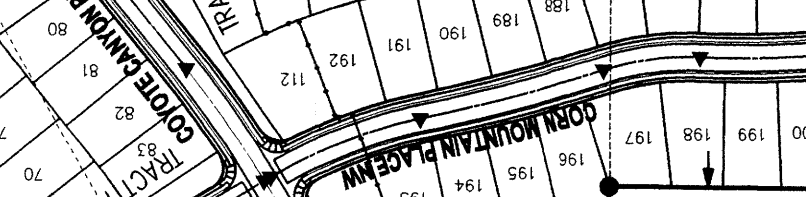
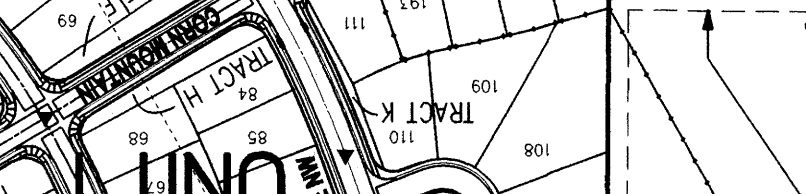
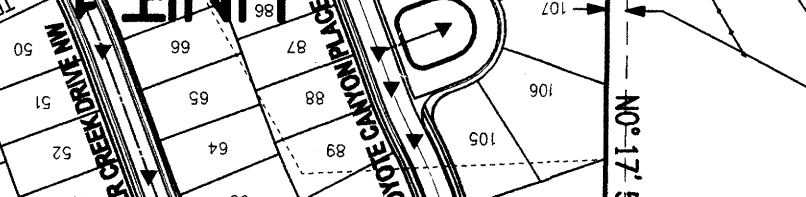
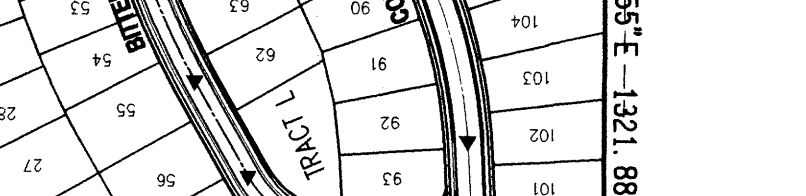
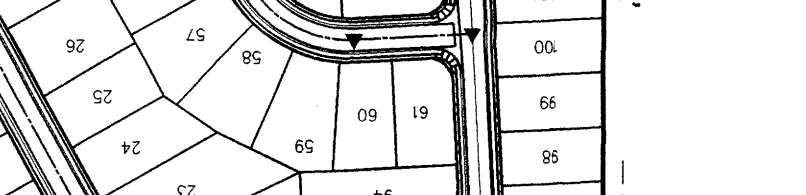
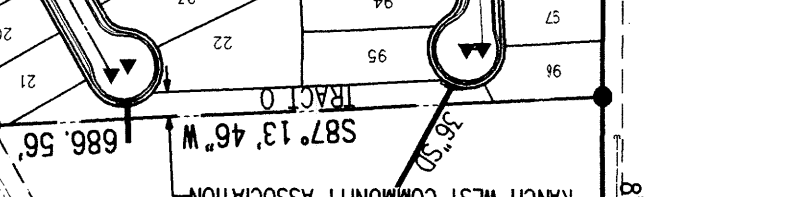
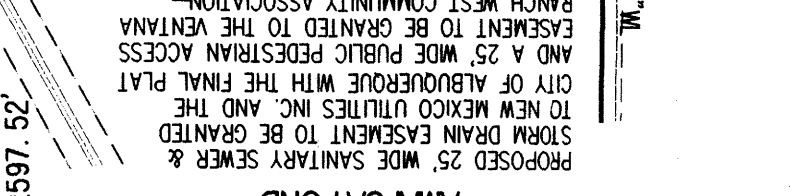
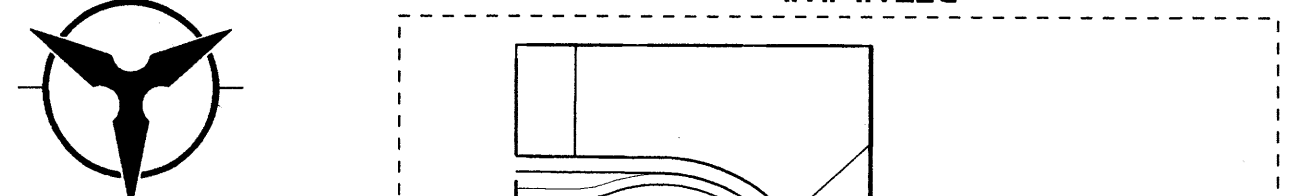
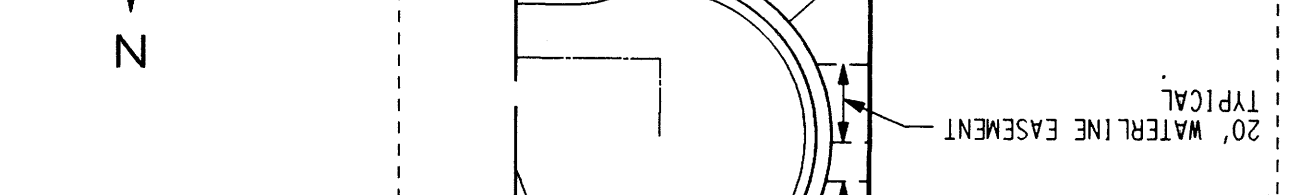
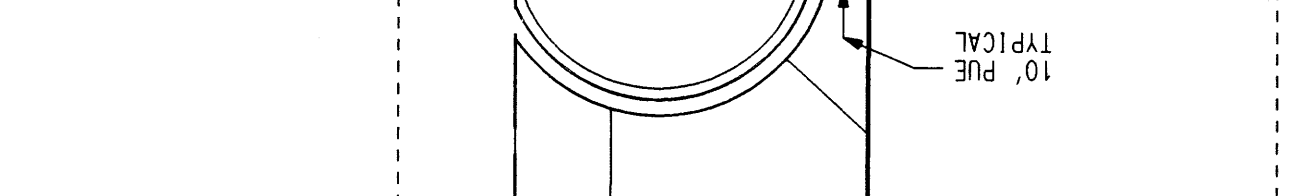
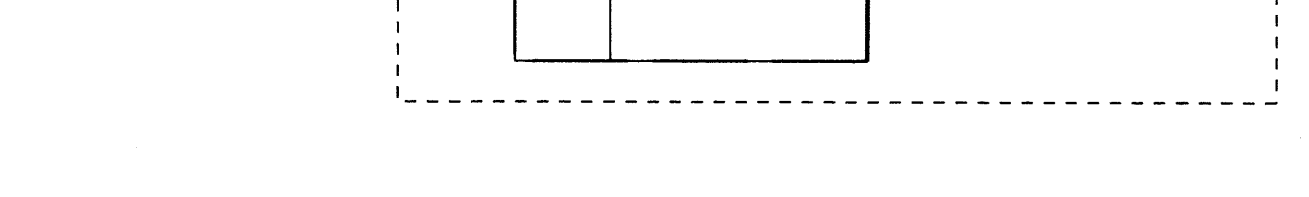
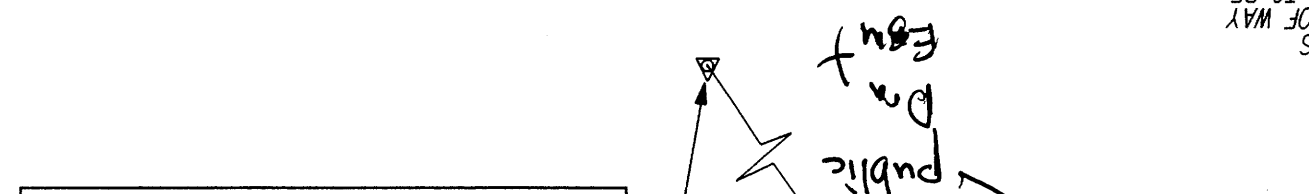
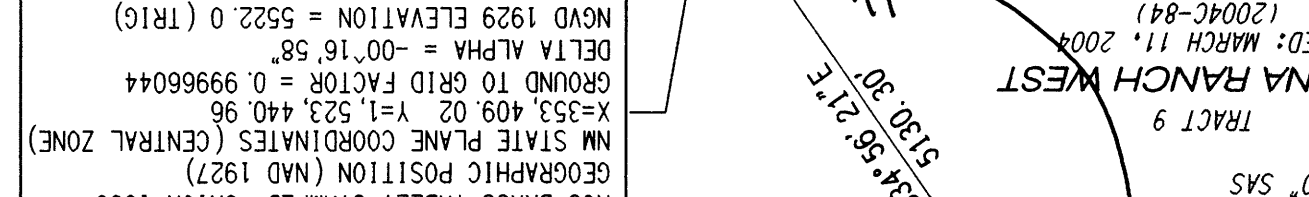
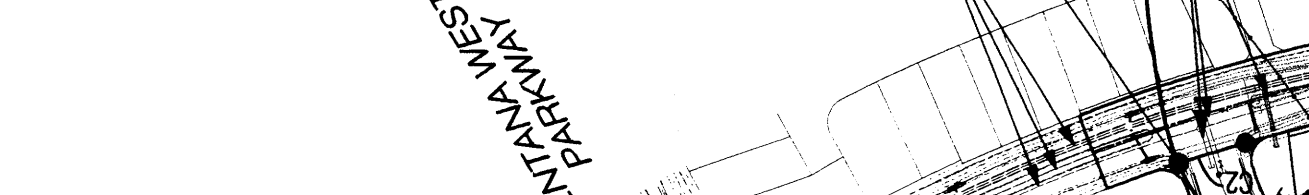
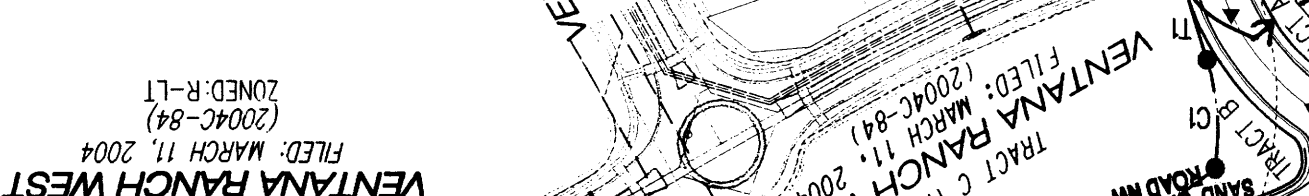
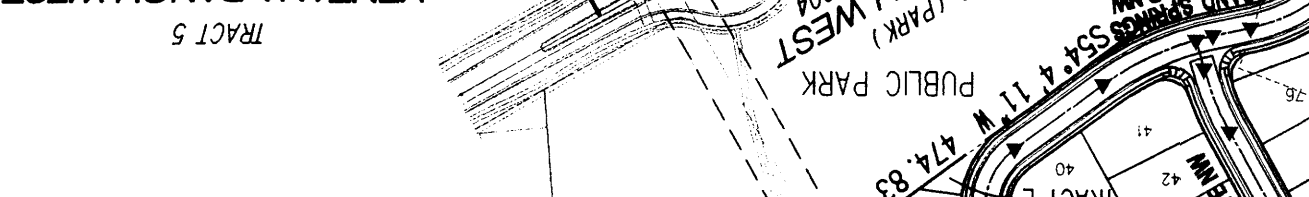
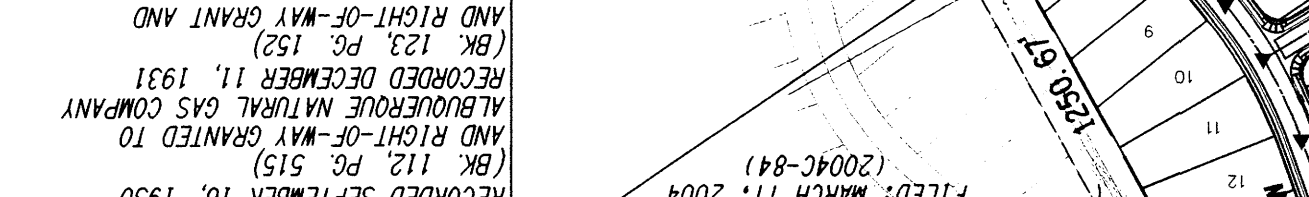
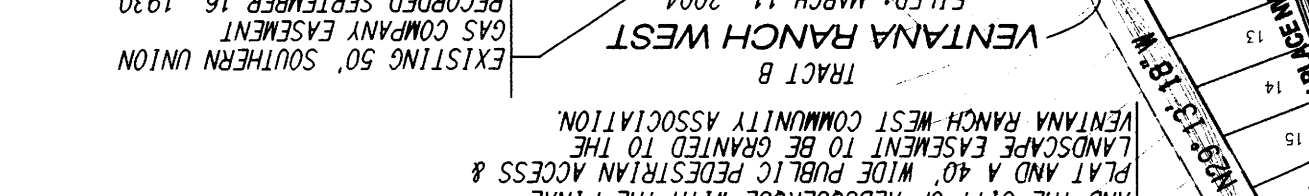
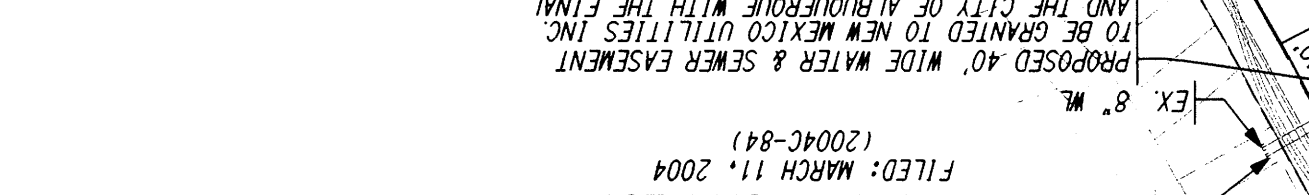
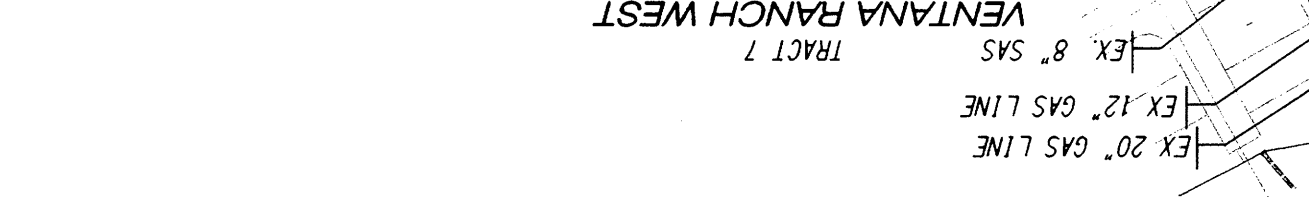
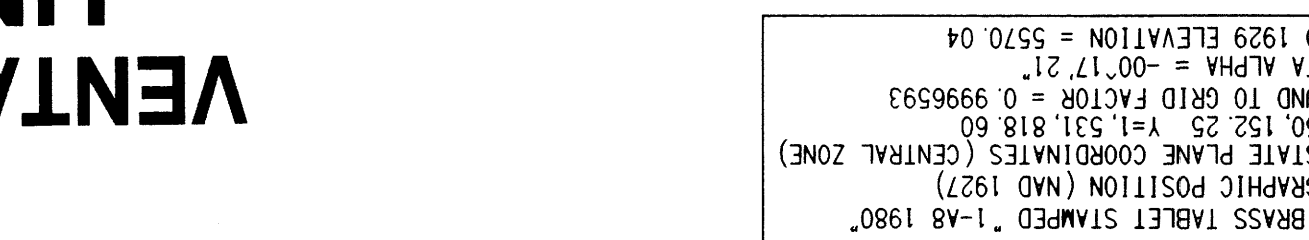
21. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.

22. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.

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25. TRACT 10 IS SUBJECT TO AN EXISTING THIRTY (30') WIDE FLOODING PUBLIC STORM DRAIN EASEMENT TO BE LOCATED WITHIN THE FINAL PLAT FOR UNIT 1.



Tangent Table

ID	ARC	RADIUS	DELTA	TANGENT
C1	114.20'	264.00'	247.08'	58.01'
C2	72.01'	1962.00'	1047.56'	185.44'
C3	369.79'	1962.00'	1047.56'	185.44'
C4	510.08'	1288.00'	2241.23'	258.42'
C5	366.04'	1288.00'	1616.39'	184.26'
C6	827.49'	1062.00'	4438.38'	436.03'
C7	39.27'	25.00'	9000.00'	25.00'

Tangent Table

ID	BEARING	LENGTH
T1	S16°46'04"E	99.03'

Curve Table

ID	ARC	RADIUS	DELTA	TANGENT
C1	114.20'	264.00'	247.08'	58.01'
C2	72.01'	1962.00'	1047.56'	185.44'
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Curve Table

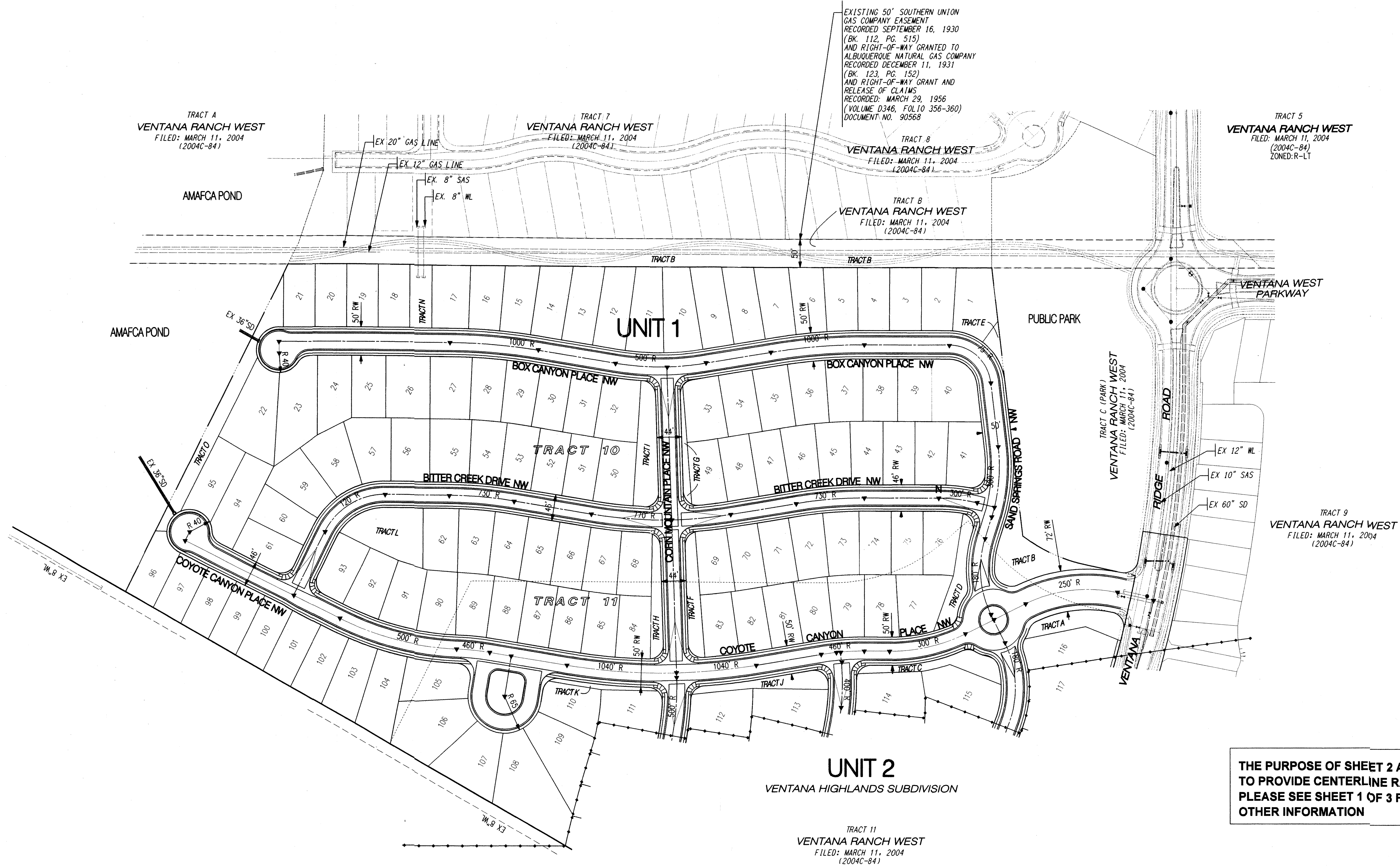
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Curve Table

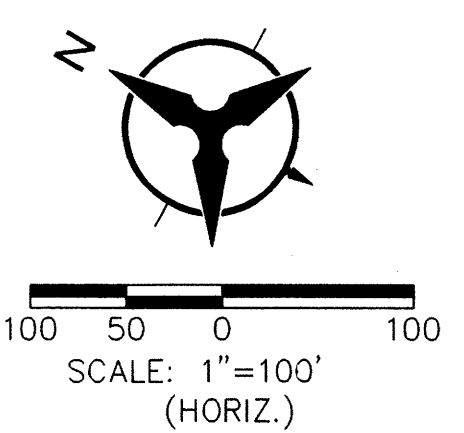
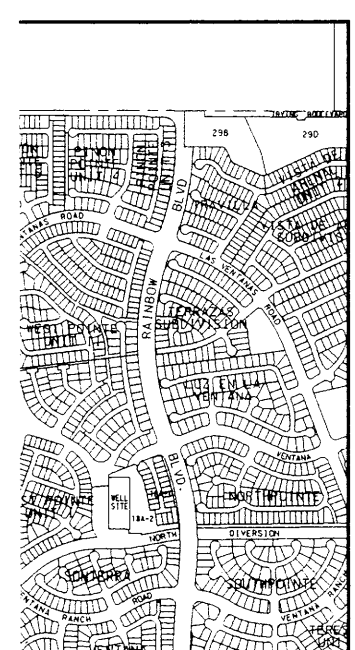
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EXISTING 50' SOUTHERN UNION GAS COMPANY EASEMENT RECORDED SEPTEMBER 16, 1930 (BK. 112, PG. 515) AND RIGHT-OF-WAY GRANTED TO ALBUQUERQUE NATURAL GAS COMPANY RECORDED DECEMBER 11, 1931 (BK. 123, PG. 152) AND RIGHT-OF-WAY GRANT AND RELEASE OF CLAIMS RECORDED MARCH 29, 1956 (VOLUME D346, FOLIO 356-360) DOCUMENT NO. 90568

THE PURPOSE OF SHEET 2 AND 3 IS TO PROVIDE CENTERLINE RADII. PLEASE SEE SHEET 1 OF 3 FOR ALL OTHER INFORMATION

PRELIMINARY PLAT
UNIT 1
VENTANA HIGHLANDS SUBDIVISION
 (REPLAT OF TRACT 10, 11, 12 & 13 AT VENTANA RANCH WEST)
 ALBUQUERQUE, NEW MEXICO
 JUNE, 2005

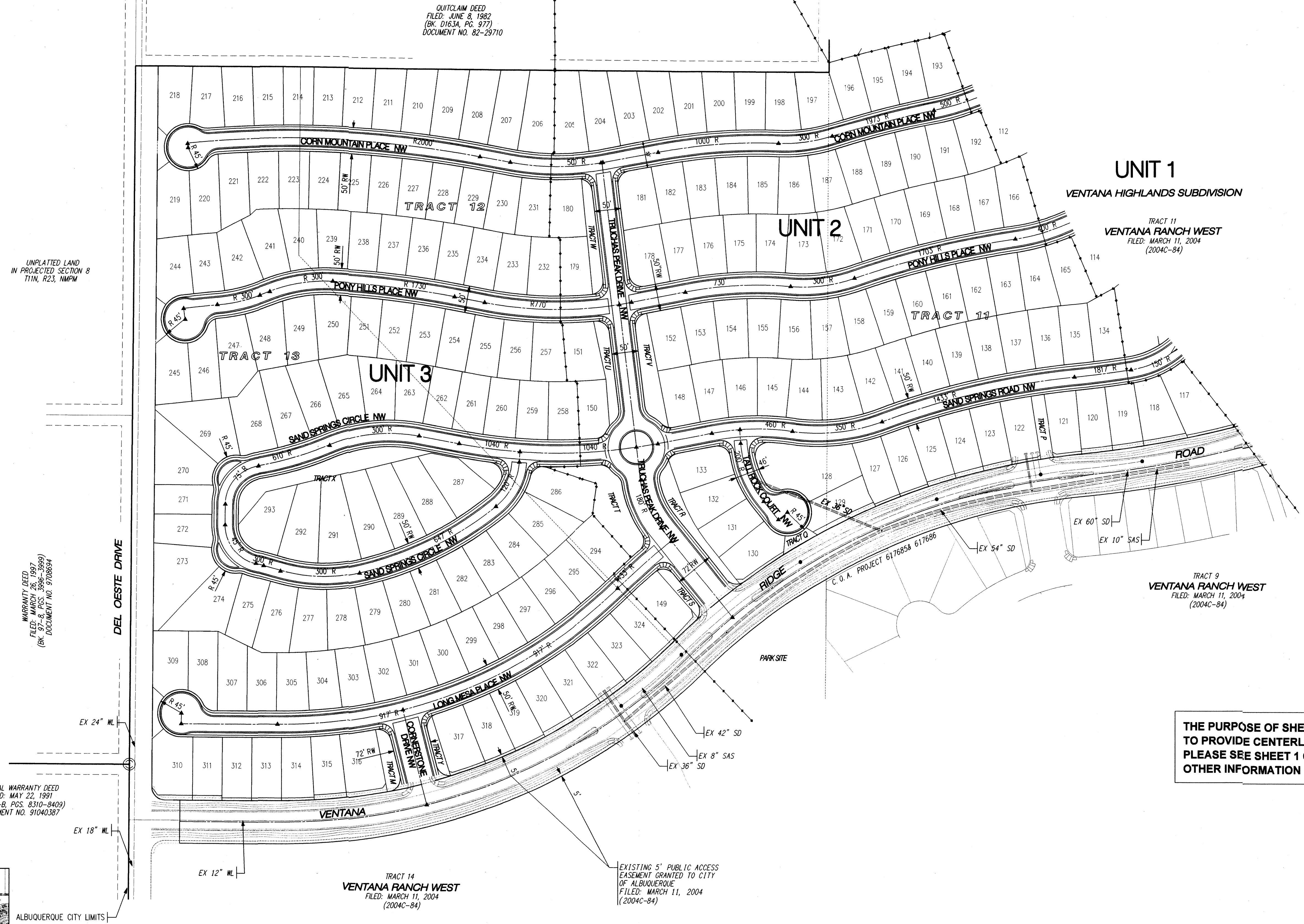


SHEET 2 of 3

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

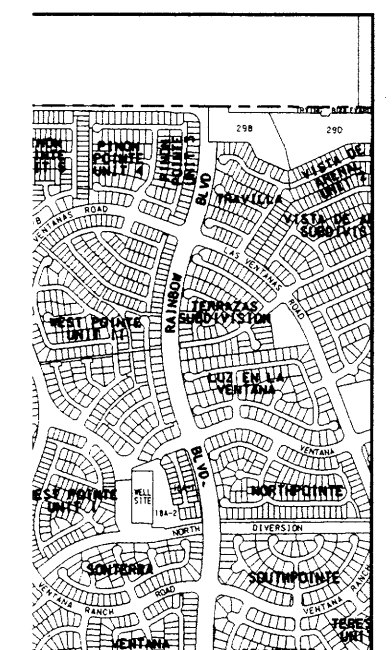
P
 -8



UNPLATTED LAND
IN PROJECTED SECTION 8
T1N, R2S, NMPM

WARRANTY DEED
FILED: MARCH 26, 1997
(BK. 97-8, PGS. 3998-3999)
DOCUMENT NO. 9708654

SPECIAL WARRANTY DEED
FILED: MAY 22, 1991
(BK. 91-B, PGS. 8310-8409)
DOCUMENT NO. 91040387

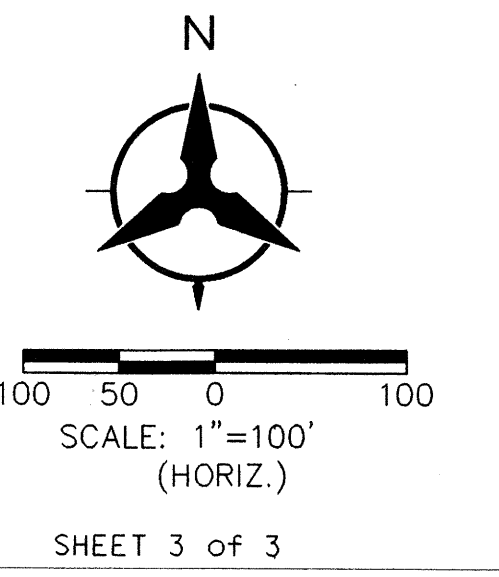


ALBUQUERQUE CITY LIMITS

QUITCLAIM DEED
FILED: JUNE 8, 1982
(BK. D163A, PG. 377)
DOCUMENT NO. 82-29710

THE PURPOSE OF SHEET 2 AND 3 IS
TO PROVIDE CENTERLINE RADII.
PLEASE SEE SHEET 1 OF 3 FOR ALL
OTHER INFORMATION

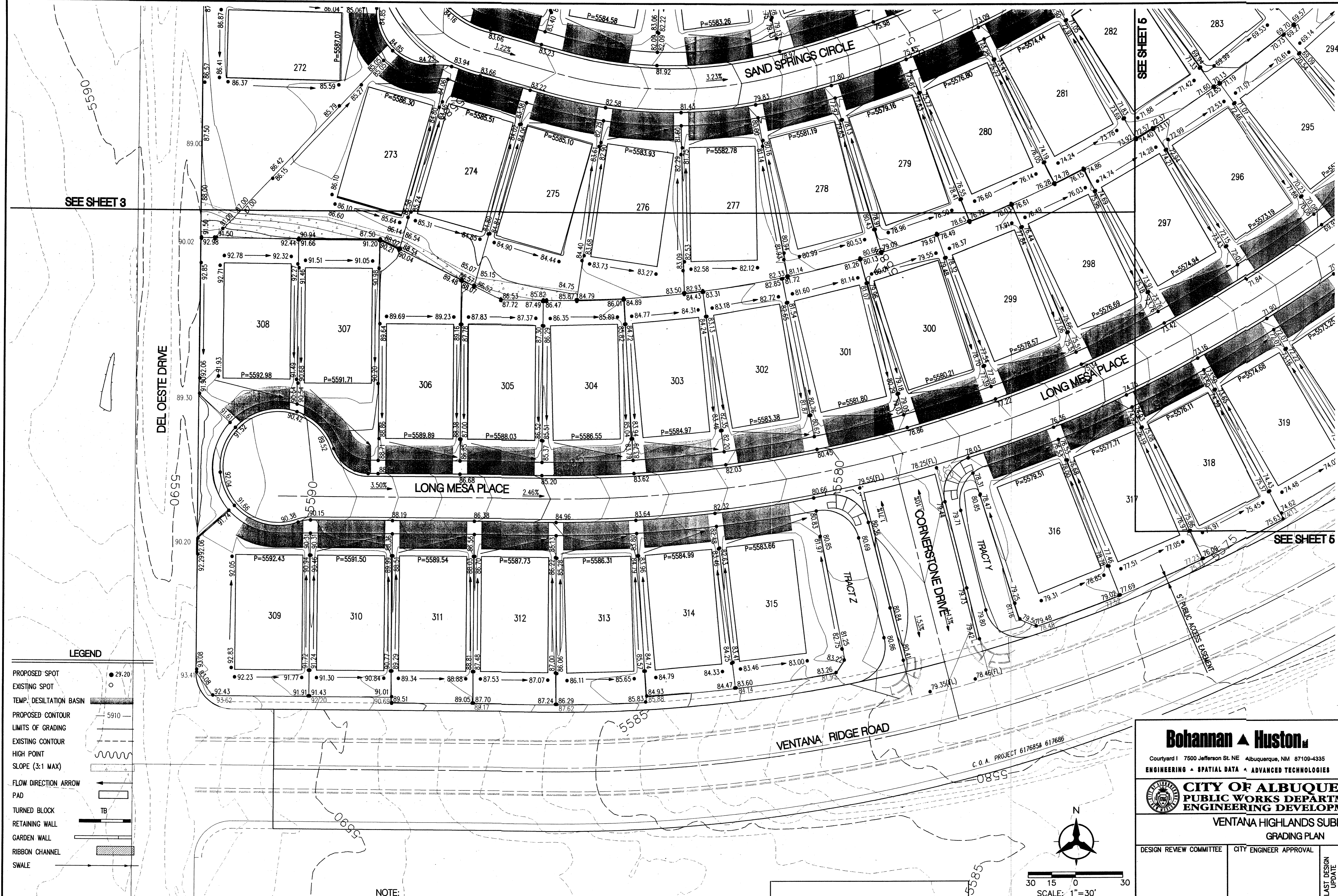
PRELIMINARY PLAT
UNIT 2 & UNIT 3
VENTANA HIGHLANDS SUBDIVISION
(REPLAT OF TRACT 10, 11, 12 & 13
AT VENTANA RANCH WEST)
ALBUQUERQUE, NEW MEXICO
JUNE, 2005



SHEET 3 of 3

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SEE SHEET 3

SEE SHEET 6

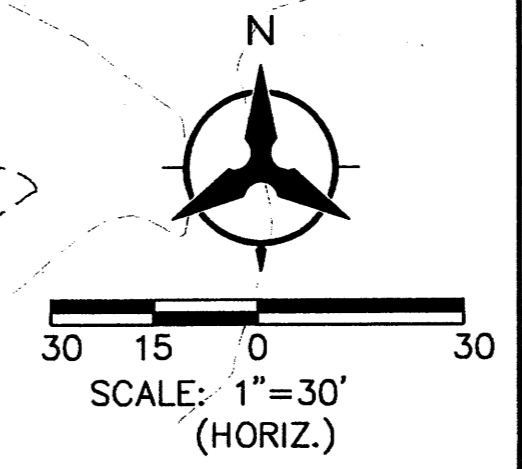
SEE SHEET 6

LEGEND

- PROPOSED SPOT 29.20
- EXISTING SPOT
- TEMP. DESILTATION BASIN
- PROPOSED CONTOUR 5910
- LIMITS OF GRADING
- EXISTING CONTOUR
- HIGH POINT
- SLOPE (3:1 MAX)
- FLOW DIRECTION ARROW
- PAD
- TURNED BLOCK TB
- RETAINING WALL
- GARDEN WALL
- RIBBON CHANNEL
- SWALE

NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

APPROVED FOR ROUGH GRADING DATE



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 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

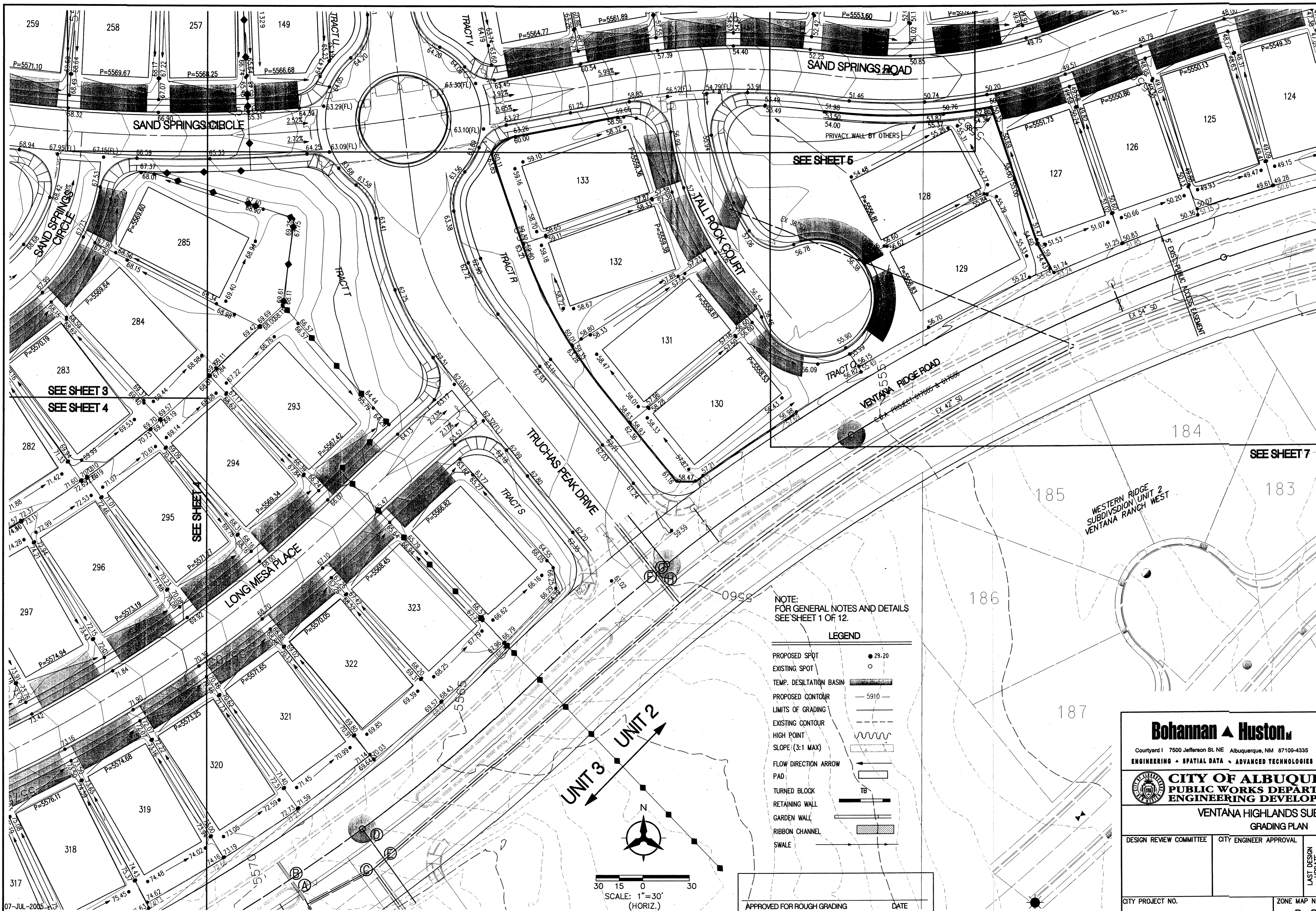
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **B-8** SHEET **4** OF **12**

ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
		NO.	DATE	NO.	DATE	CONTRACTOR	STARTED BY	CONTRACTOR	DATE
		REVISIONS	REMARKS	NO.	DATE	INSPECTOR'S ACCEPTANCE BY	DATE	INSPECTOR'S ACCEPTANCE BY	DATE
NO. DATE 1 05/2005 2 05/2005 3 05/2005		NO. DATE 1 05/2005 2 05/2005 3 05/2005		NO. DATE 1 05/2005 2 05/2005 3 05/2005		N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=350,152.25 Y=1,531,818.60 GROUND-TO-GRID FACTOR = 0.99996593 DELTA ALPHA = -0017.21" NGVD 1929 ELEVATION = 5570.04		MICRO-FILM INFORMATION RECORDED BY _____ DATE _____ NO. _____	



NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

LEGEND

- PROPOSED SPOT ● 29.20
- EXISTING SPOT ○
- TEMP. DESILTATION BASIN ▬
- PROPOSED CONTOUR — 5910 —
- LIMITS OF GRADING
- EXISTING CONTOUR - - -
- HIGH POINT ~
- SLOPE (3:1 MAX) ▬
- FLOW DIRECTION ARROW →
- PAD ▭
- TURNED BLOCK TB
- RETAINING WALL ▬
- GARDEN WALL ▬
- RIBBON CHANNEL ▬
- SWALE ▬

SCALE: 1" = 30'
(HORIZ.)

APPROVED FOR ROUGH GRADING DATE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORK PERFORMED	ACS BRASS TABLET STAMPED "1-A8 1980"	DATE	NO.	BY		REVISIONS
DATE	ACCEPTANCE BY	GEOGRAPHIC POSITION (NAD 1927)	DATE	NO.	BY		DESIGN
DATE	DATE	N.M. STATE PLANE COORDINATES	DATE	NO.	BY		
MICRO-FILM INFORMATION		(CENTRAL ZONE)	DATE	DESIGNED BY		DATE 05/2005	
RECORDED BY		X=350,152.25 Y=1,531,818.60	DATE	DRAWN BY		DATE 05/2005	
NO.		GROUND-TO-GRID FACTOR = 0.9996593	DATE	CHECKED BY		DATE 05/2005	
		DELTA ALPHA = -001721"	DATE				
		NGVD 1929 ELEVATION = 5570.04	DATE				
			DATE				

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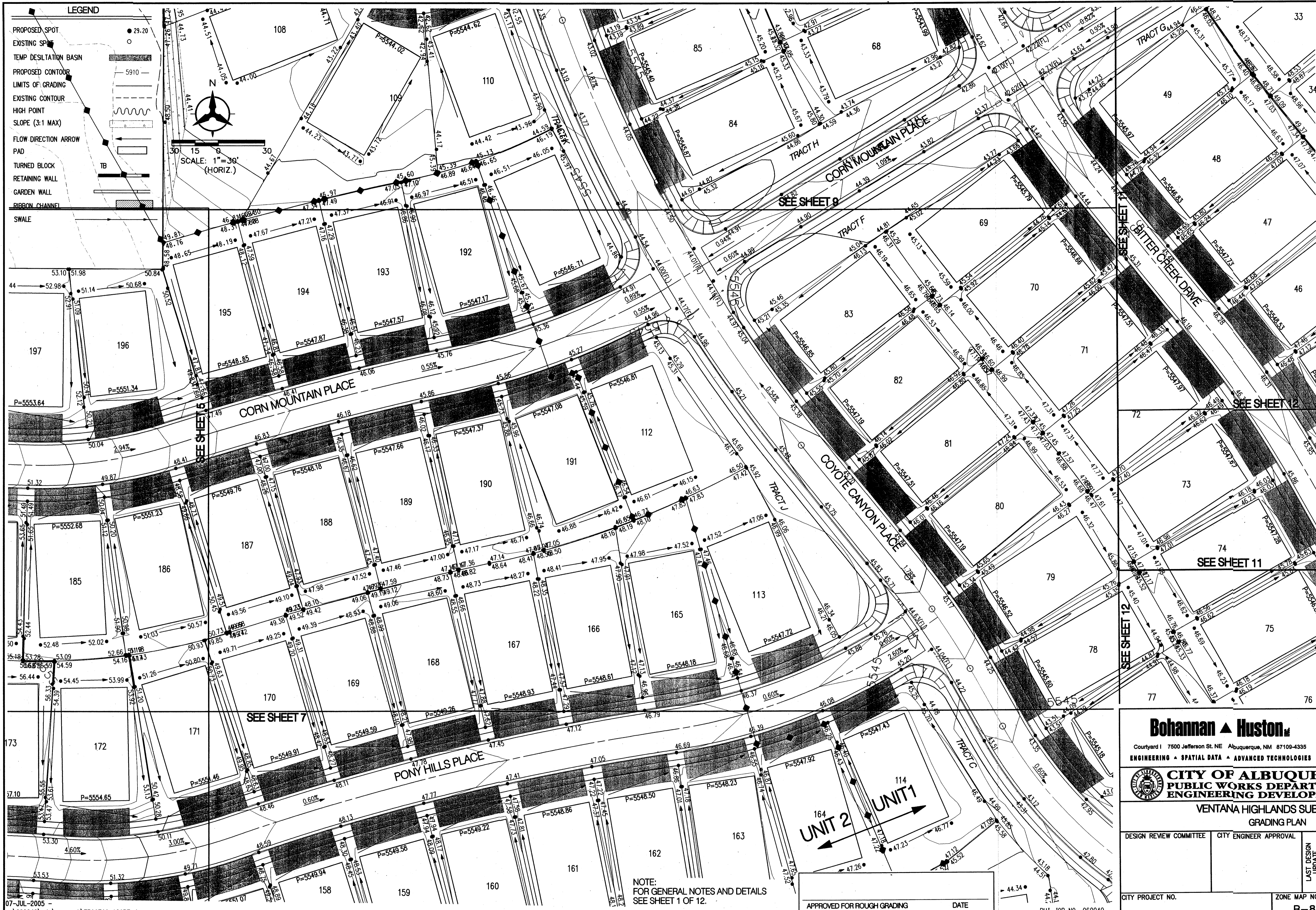
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. **B-8** SHEET **6** OF **12**

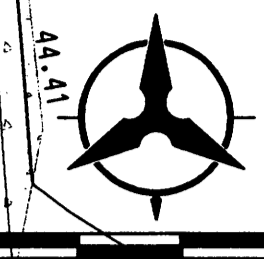
BHI JOB NO. 060040



LEGEND

- PROPOSED SPOT: 29.20
- EXISTING SPOT: 29.20
- TEMP DESILTATION BASIN
- PROPOSED CONTOUR
- LIMITS OF GRADING
- EXISTING CONTOUR
- HIGH POINT
- SLOPE (3:1 MAX)
- FLOW DIRECTION ARROW
- PAD
- TURNED BLOCK
- RETAINING WALL
- GARDEN WALL
- RIBBON CHANNEL
- SWALE

SCALE: 1" = 30'
(HORIZ.)



07-JUL-2005
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NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

APPROVED FOR ROUGH GRADING DATE

BHI JOB NO. 060040

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	ACS BRASS TABLET STAMPED "1-A8 1980"	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S	GEOGRAPHIC POSITION (NAD 1927)	BY		BY		BY	
ACCEPTANCE BY	N.M. STATE PLANE COORDINATES						
DATE	(CENTRAL ZONE)						
DRAWINGS	X=350192.25 Y=1531.818.60						
CONTRACTED BY	GROUND-TO-GRID FACTOR = 0.9998593						
DATE	DELTA ALPHA = -001721"						
MICRO-FILM INFORMATION	NGVD 1929 ELEVATION = 5570.04						
RECORDED BY							
NO.							

NO.	DATE	REMARKS	BY
		DESIGN	

DESIGNED BY	DATE	CHECKED BY	DATE
	05/2005		05/2005
	05/2005		05/2005

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<p>CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP</p>	
<p>VENTANA HIGHLANDS SUBDIVISION GRADING PLAN</p>	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.
	B-8
SHEET	OF
8	12



SCALE: 1"=30'
(HORIZ.)

SEE SHEET 10

LEGEND

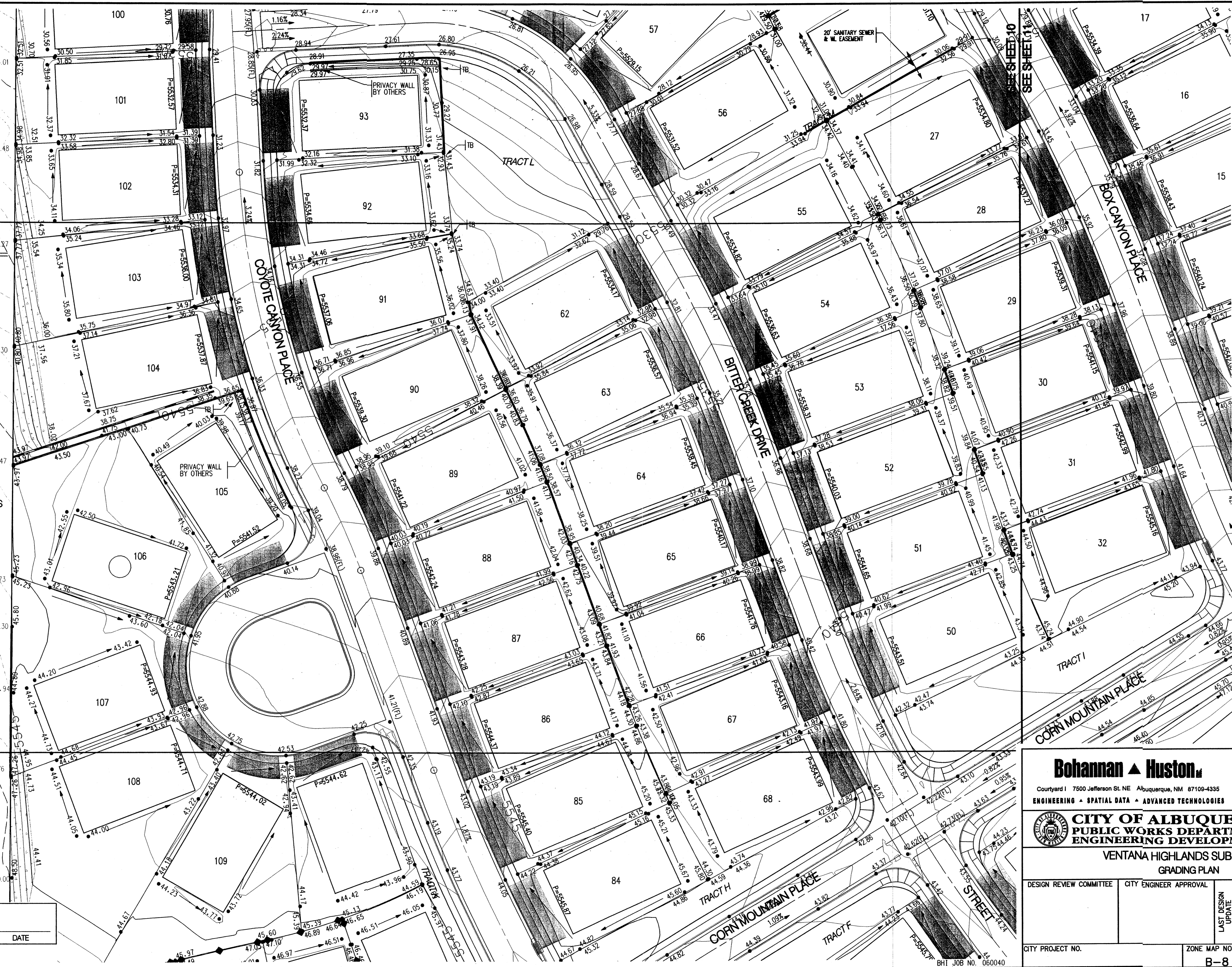
- PROPOSED SPOT ● 29.20
- EXISTING SPOT ○
- TEMP. DESILTATION BASIN ▨
- PROPOSED CONTOUR — 5910
- LIMITS OF GRADING —
- EXISTING CONTOUR - - -
- HIGH POINT 〰 42.30
- SLOPE (3:1 MAX) ▨
- FLOW-DIRECTION ARROW →
- PAD ▭
- TURNED BLOCK TB
- RETAINING WALL ▬
- GARDEN WALL ▬
- RIBBON CHANNEL ▨
- SWALE ▬

NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

SEE SHEET 8

UNIT 2
UNIT 1

APPROVED FOR ROUGH GRADING DATE



SEE SHEET 10
SEE SHEET 11

AS-BUILT INFORMATION	
CONTRACTOR	ACS BRASS TABLET STAMPED "1-AB 1980"
INSPECTOR'S ACCEPTANCE BY	DATE
DRAWINGS CORRECTED BY	DATE
VERIFICATION BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	

BENCH MARKS	
NO.	DATE
BY	

FIELD NOTES	
NO.	DATE
BY	

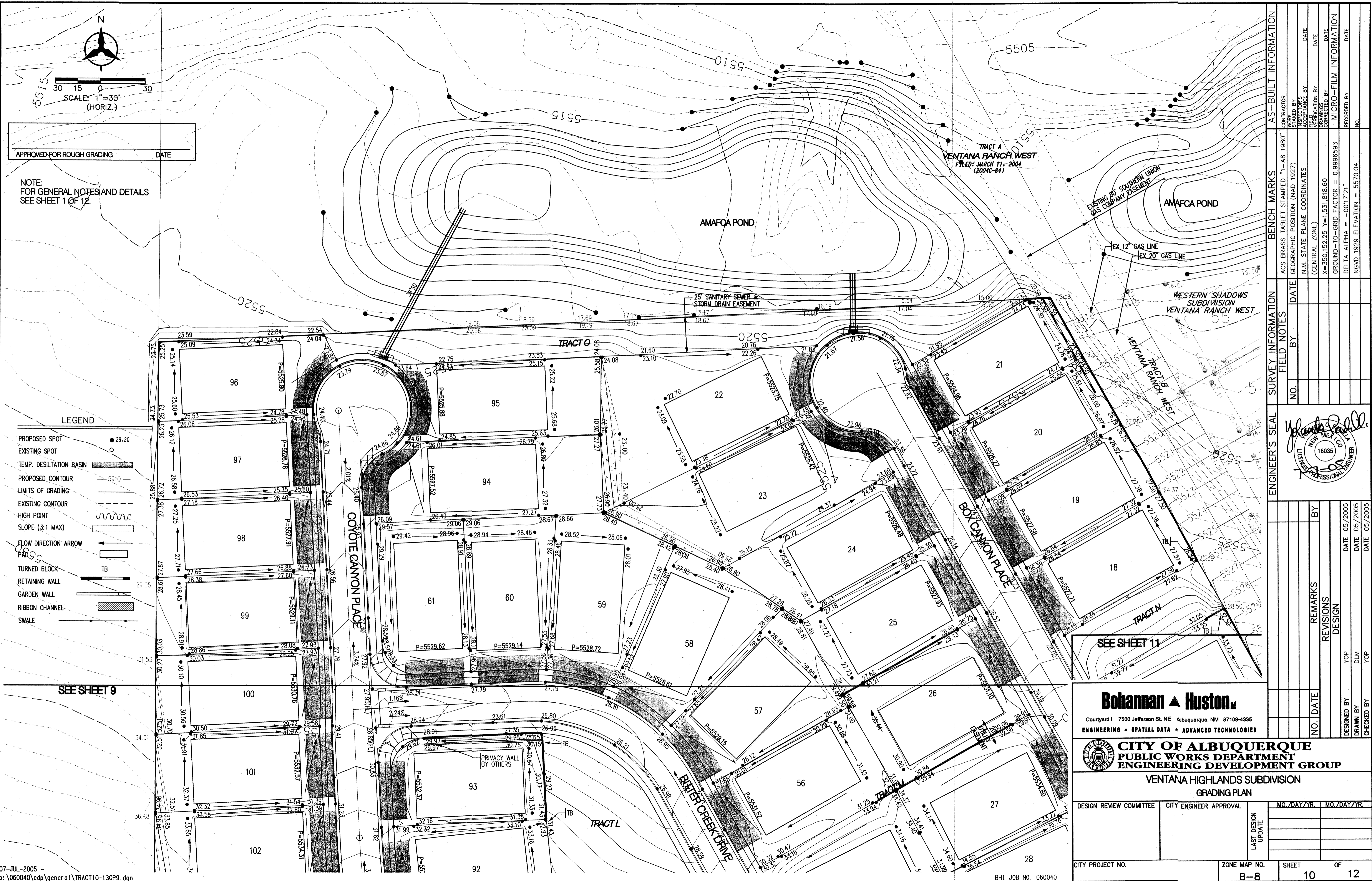
ENGINEER'S SEAL

REVISIONS	
NO.	DATE
BY	
DESIGNED BY	DATE 05/2005
DRAWN BY	DATE 05/2005
CHECKED BY	DATE 05/2005

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ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION	
GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.
	B-8
SHEET	OF
9	12



SCALE: 1"=30'
(HORIZ.)

APPROVED FOR ROUGH GRADING _____ DATE _____

NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.

LEGEND

- PROPOSED SPOT 29.20
- EXISTING SPOT
- TEMP. DESILTATION BASIN
- PROPOSED CONTOUR 5910
- LIMITS OF GRADING
- EXISTING CONTOUR
- HIGH POINT
- SLOPE (3:1 MAX)
- FLOW DIRECTION ARROW
- PAD
- TURNED BLOCK TB
- RETAINING WALL
- GARDEN WALL
- RIBBON CHANNEL
- SWALE

SEE SHEET 9

SEE SHEET 11

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION
GRADING PLAN

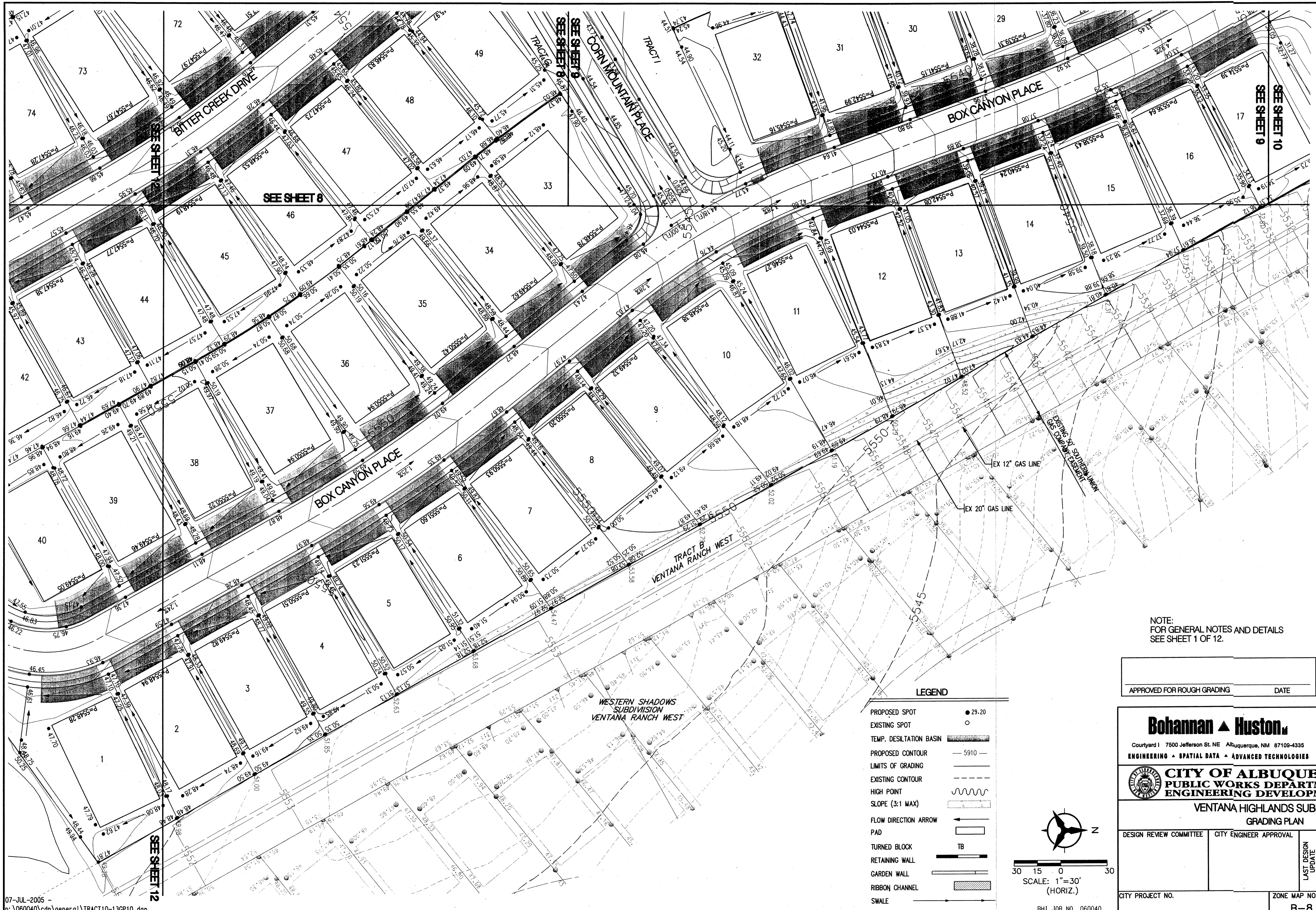
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.		ZONE MAP NO.	SHEET OF
		B-8	10 12

AS-BUILT INFORMATION	
CONTRACTOR	NO.
STARTED BY	DATE
INSPECTOR'S FIELD LABEL BY	DATE
VERIFICATION BY	DATE
DATE	DATE
MICRO-FILM INFORMATION	
NO.	DATE

BENCH MARKS	
ACS BRASS TABLET STAMPED "1-A8 1980"	NO.
GEOGRAPHIC POSITION (NAD 1927)	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	NO.
X=350,152.25 Y=1,531,818.60	DATE
GROUND-TO-GRID FACTOR = 0.9996593	NO.
DELTA ALPHA = -0017.21"	DATE
NGVD 1929 ELEVATION = 5570.04	NO.

ENGINEER'S SEAL

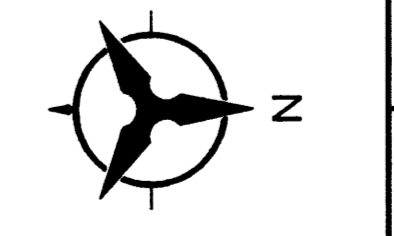
NO.	DATE	REVISIONS	BY
		DESIGN	



07-JUL-2005
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LEGEND

- PROPOSED SPOT 29.20
- EXISTING SPOT
- TEMP. DESILTATION BASIN
- PROPOSED CONTOUR 5910
- LIMITS OF GRADING
- EXISTING CONTOUR
- HIGH POINT
- SLOPE (3:1 MAX)
- FLOW DIRECTION ARROW
- PAD
- TURNED BLOCK TB
- RETAINING WALL
- GARDEN WALL
- RIBBON CHANNEL
- SWALE



SCALE: 1"=30'
(HORIZ.)

BHI JOB NO. 060040

NOTE:
 FOR GENERAL NOTES AND DETAILS
 SEE SHEET 1 OF 12.

APPROVED FOR ROUGH GRADING _____ DATE _____

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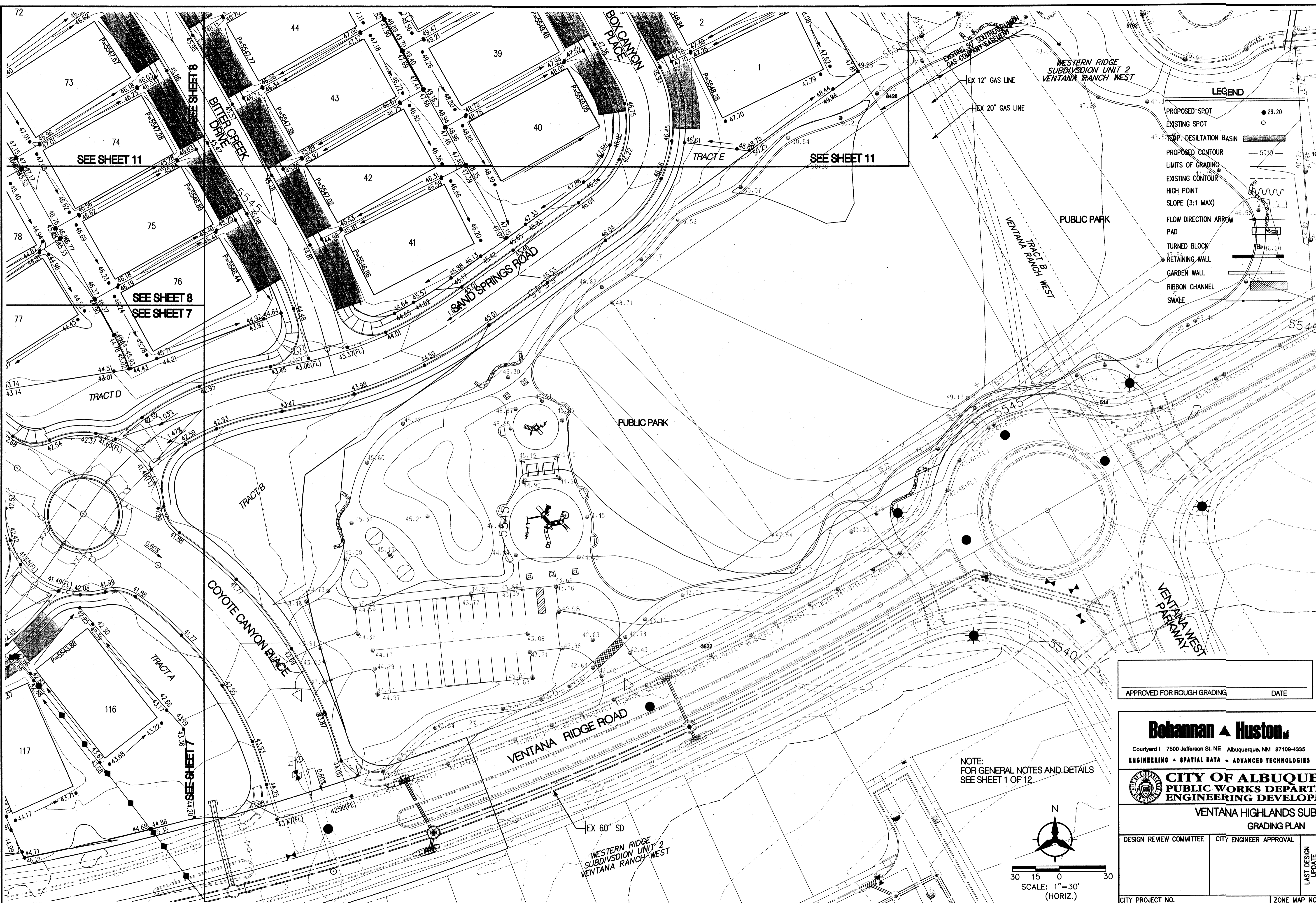
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **B-8**

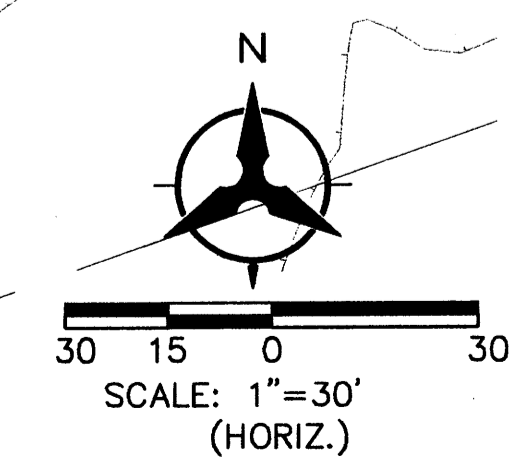
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORK	ACC. BRASS	TABLET STAMPED	NO.	DATE		REMARKS REVISIONS DESIGN
STAKED BY	DATE	GEOGRAPHIC POSITION (NAD 1927)	(NAD 1927)	BY	DATE		
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES	(CENTRAL ZONE)			DESIGNED BY	DATE 05/2005
FIELD VERIFICATION BY	DATE	GROUND-TO-GRID FACTOR = 0.99966993	DELTA ALPHA = -001721"			DRAWN BY	DATE 05/2005
CHECKED BY	DATE	NGVD 1929 ELEVATION = 5570.04				CHECKED BY	DATE 05/2005



LEGEND

- PROPOSED SPOT: ● 29.20
- EXISTING SPOT: ○
- TEMP. DESILTATION BASIN: [Symbol]
- PROPOSED CONTOUR: — 5910
- LIMITS OF GRADING: [Symbol]
- EXISTING CONTOUR: [Symbol]
- HIGH POINT: [Symbol]
- SLOPE (3:1 MAX): [Symbol]
- FLOW DIRECTION ARROW: [Symbol]
- PAD: [Symbol]
- TURNED BLOCK: [Symbol]
- RETAINING WALL: [Symbol]
- GARDEN WALL: [Symbol]
- RIBBON CHANNEL: [Symbol]
- SWALE: [Symbol]

NOTE:
FOR GENERAL NOTES AND DETAILS
SEE SHEET 1 OF 12.



APPROVED FOR ROUGH GRADING _____ DATE _____

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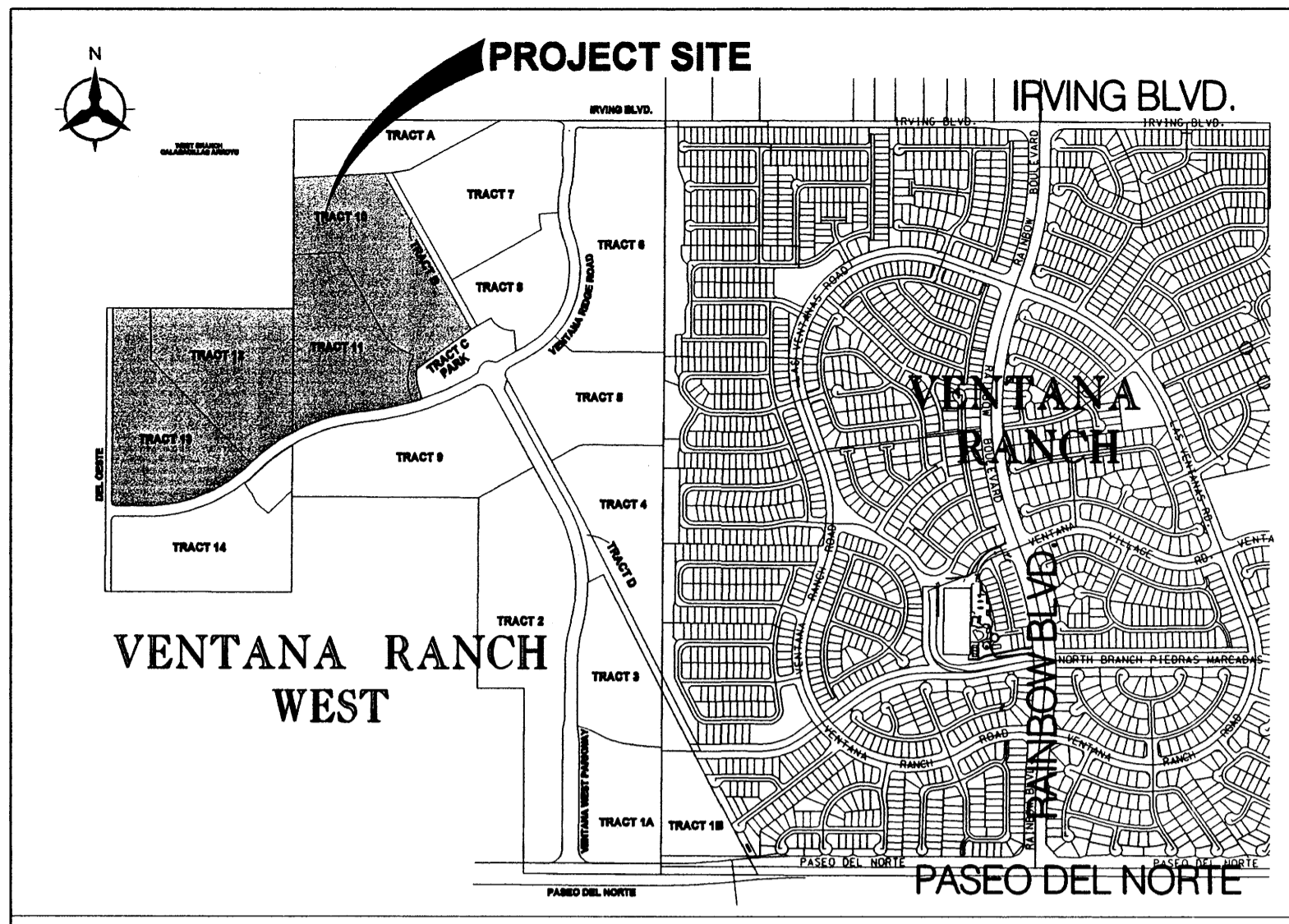
CITY OF ALBUQUERQUE
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 ENGINEERING DEVELOPMENT GROUP

VENTANA HIGHLANDS SUBDIVISION
 GRADING PLAN

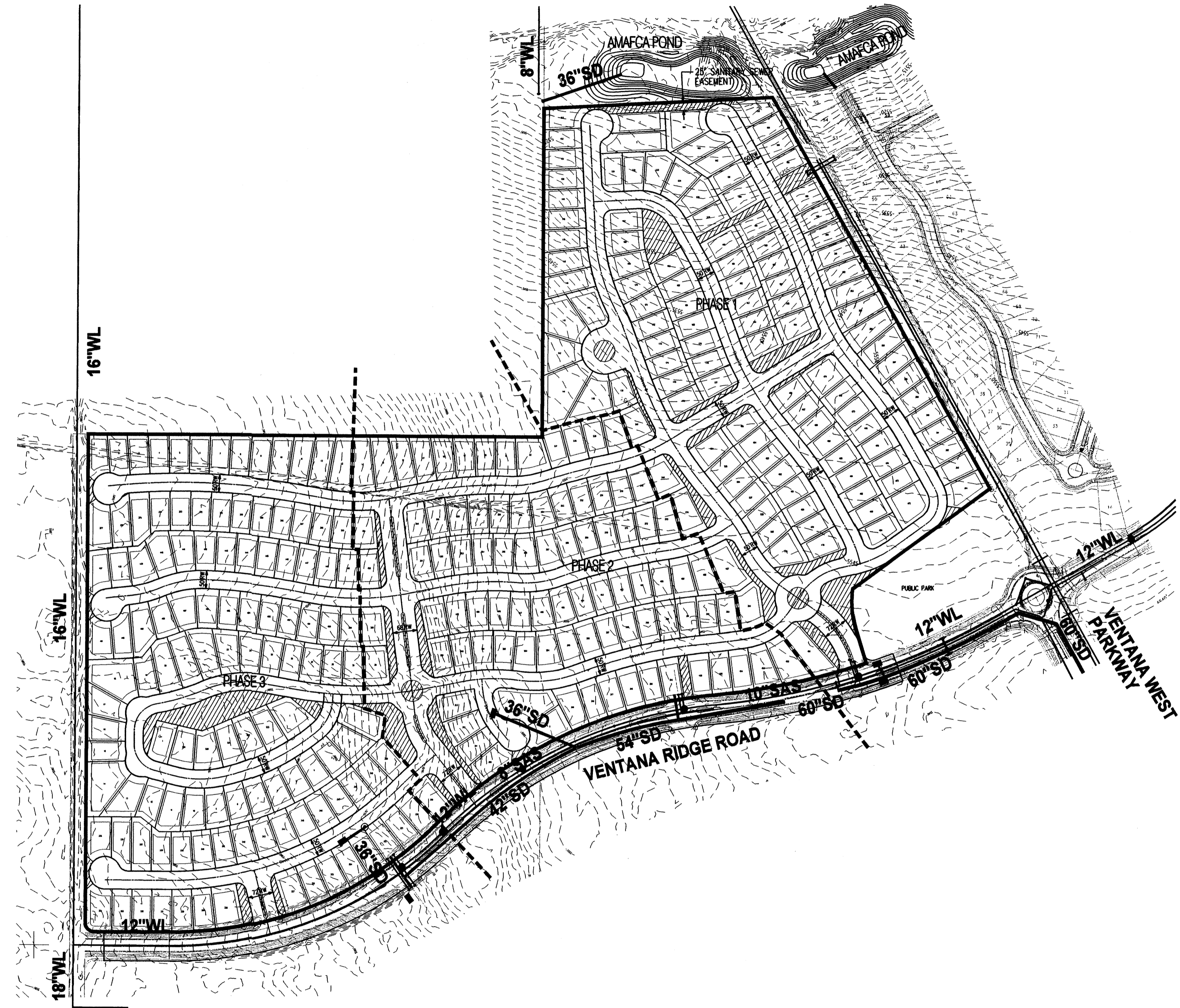
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. _____ SHEET 12 OF 12

ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
		WORKED BY: _____ ACCEPTANCE BY: _____ DATE: _____		CONTRACTOR: _____ DATE: _____		ACS BRASS TABLET STAMPED "1-A8 1980" GEOGRAPHIC POSITION (NAD 1927) N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=350,152.25 Y=1,531,818.60 GROUND-TO-GRID FACTOR = 0.9996593 DELTA ALPHA = -001721" NGVD 1929 ELEVATION = 5570.04		MICRO-FILM INFORMATION RECORDED BY: _____ DATE: _____ NO. _____	
		REMARKS REVISIONS DESIGN		DESIGNED BY: YOP DATE: 05/2005		DRAWN BY: DLM DATE: 05/2005		CHECKED BY: YOP DATE: 05/2005	



VICINITY MAP

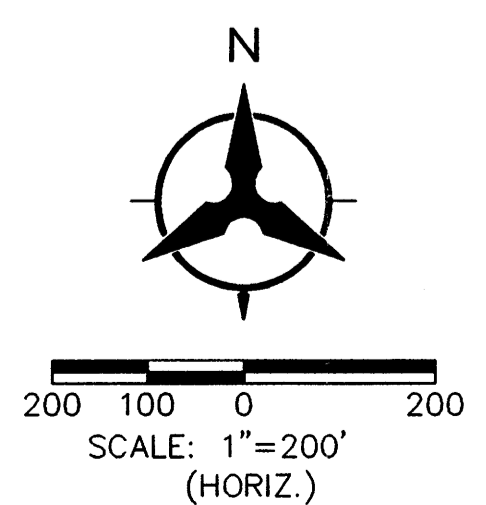


LEGEND

- AREAS TO BE LANDSCAPED (MAINTENANCE BY HOA) OR PEDESTRIAN ACCESS CORRIDORS
- PHASE BOUNDARY
- PROJECT BOUNDARY

SKETCH PLAT
VENTANA RANCH WEST TRACTS 10-13

324 TOTAL LOTS @ 56' x 108' MIN.



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