



COMPLETED 06/18/08 *ST*
DRB CASE ACTION LOG (EPC SDP - BUILDING P.)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70228

Project # 1004221

Project Name: ACADEMY PLACE SUBDIVISION

Agent: CONSENSUS PLANNING

Phone No.: 897-3366

Your request was approved on 5-21-08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

→ TRANSPORTATION: - review plan per comments.

→ UTILITIES: - review plan

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
- Tax printout from the County Assessor.

- **3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

Created On:



DRB CASE ACTION LOG (EPC SDP – BUILDING P.)

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PARKS / CIP: _____

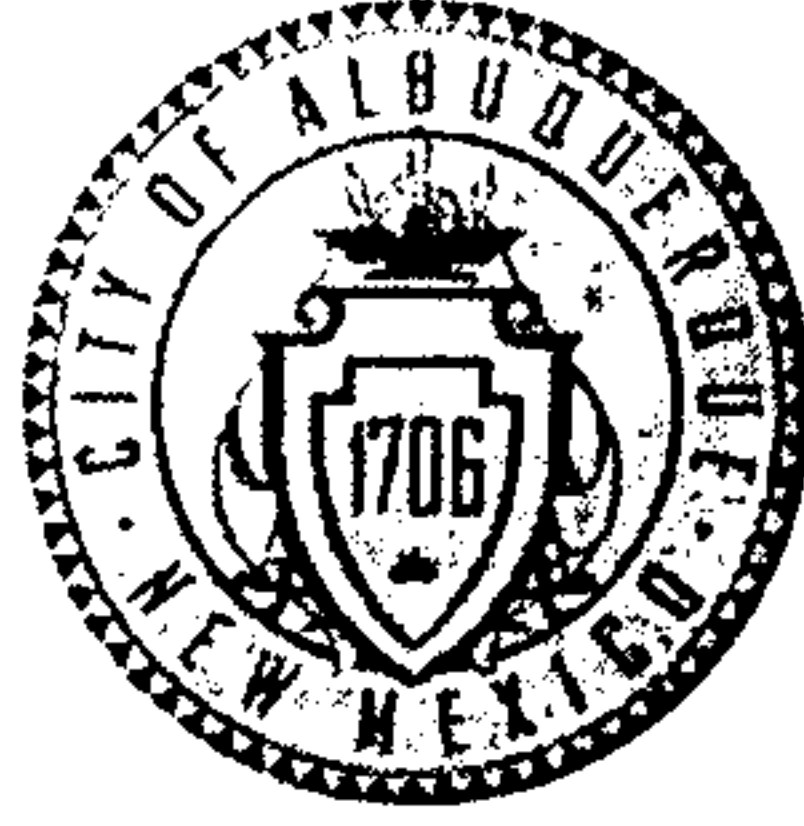
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- Copy of recorded plat for Planning.**

Created On:



**DEVELOPMENT REVIEW BOARD
Action Sheet**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building
May 21, 2008**

MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Brad Bingham, P.E., Hydrology/ Alternate City Engineer Christina Sandoval, Parks/Municipal Development**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

- 1. Project# 1007258**
08DRB-70200 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

RICK BENNETT ARCHITECTS agent(s) for RIO GRANDE PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 7A, **JOURNAL CENTER PHASE 2, UNIT 1**, zoned IP, located at the southern terminus of HANCOCK CT NW south of WOLCOTT AVE NW containing approximately 0.5 acre(s). (D-17) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR JOURNAL CENTER ARCHITECTURAL COMMENTS APPROVAL AND TO TRANSPORTATION FOR WRITTEN COMMENTS.**
- 2. Project# 1007259**
08DRB-70201 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

PETER BUTTERFIELD, ARCHITECT agent(s) for ALAMEDA PARTNERS, LLC request(s) the above action(s) for all or a portion of Lot 1, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on the southwest corner of ALAMEDA PARK DR NW AND ALAMEDA RD NW containing approximately 2.2014 acre(s). (C-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

3. **Project# 1005540**
 08DRB-70187 VACATION OF PUBLIC EASEMENT
 08DRB-70188 MAJOR - PRELIMINARY PLAT APPROVAL
 08DRB-70189 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION
- WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, INC. request(s) the above action(s) for all or a portion of Tract(s) D & E, LA CUENTISTA SUBDIVISION, zoned SU-2 (VOLCANO HEIGHTS SECTOR PLAN), located on the east side of KIMMICK DR NW BETWEEN FIRE THORN LN NW AND ROSA PARKS RD NW containing approximately 91.037 acre(s). (C-11, D-11)[*Deferred from 5/14/08*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH AN APPROVED GRADING AND DRAINAGE PLAN ENGINEER STAMP DATED 4/18/08 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT 'C' IN THE PLANNING FILE.**
4. **Project# 1006822**
 08DRB-70146 VACATION OF PUBLIC RIGHT-OF-WAY
 08DRB-70147 MINOR - PRELIMINARY/FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) [*Deferred from 4/16/08 & 4/30/08.*] **DEFERRED TO 6/4/08 AT THE AGENT'S REQUEST.**
5. **Project# 1001275**
 08DRB-70192 MAJOR - 2YR EXTENSION OF SUBDIVISION IMPROVEMENTS
- CONSENSUS PLANNING INC agent(s) for TEAM RETAIL COTTONWOOD, LTD request(s) the above action(s) for all or a portion of Lot(s) 1, **LOWES SUBDIVISION**, zoned SU-1/C-2/IP/R-3, located on the north side of OLD AIRPORT AVE NW BETWEEN COTTONWOOD DR NW AND COORS BLVD NW containing approximately 8.13 acre(s). (A-14) **THE TWO YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED**

6. **Project# 1000572**
08DRB-70197 VACATION OF PUBLIC
EASEMENT

SURV-TEK INC agent(s) for MW DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) B, **THE PRESIDIO (TBK COPPER POINTE SUBDIVISION)** zoned SU-1 FOR PRB, located on COPPER AVE NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 18.9993 acre(s). (K-21) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

08DRB-70212 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
08DRB-70226 EPC APPROVED SDP
FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for NW DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, B-2, B-3, B-4 & B-5, **THE PRESIDIO** zoned SU-1 FOR IP, located on COPPER AVE NE BETWEEN EUBANK BLVD NE AND MORRIS ST NE containing approximately 19 acre(s). (K-21) **DEFERRED TO 5/25/08 AT THE AGENT'S REQUEST.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

7. ~~**Project#-1004221**~~
08DRB-70228 EPC APPROVED SDP
FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for KENNY HINKES request(s) the above action(s) for all or a portion of Lot(s) D-3, **ACADEMY PLACE SUBDIVISION** zoned SU-1 FOR INSTITUTION, located on JUAN TABO BLVD NE BETWEEN SPAIN RD NE AND OSUNA RD NE containing approximately 1.0842 acre(s). (F-21) [Planner – *Randall Falkner*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR REVISED PLAN PER COMMENTS, AND TO ABCWUA FOR REVISED UTILITY PLAN.**

8. **Project# 1000771**
08DRB-70218 AMENDED EPC SDP
FOR SUBDIVISION

DEKKER/PERICH/SABATINI agent(s) for H.R. RENTAL PROPERTIES, INC request(s) the above action(s) for all or a portion of Tract(s) C, **COTTONWOOD POINTE** zoned SU-1, R-2, C-2, IP USES, located on EAGLE RANCH RD AND IRVING BLVD containing approximately 6.76 acre(s). (B-13) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

9. **Project# 1003125**
08DRB-70183 MINOR - SDP FOR
BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT**, zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) [*Deferred from 4/30/08 & 5/7/08*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR WRITTEN COMMENTS AND TO ABCWUA FOR REVISED UTILITY PLAN. 3 COPIES OF SITE PLAN MUST BE PROVIDED TO PLANNING.**

10. **Project# 1003801**
08DRB-70227 EPC APPROVED SDP
FOR BUILD PERMIT

DAC ENTERPRISES, INC agent(s) for DOUG PETERSON request(s) the above action(s) for all or a portion of Lot(s) 28-A, Block(s) A, **ALTURA ADDITION** zoned SU-1 FOR C-1 W/ EXCEPTIONS, located on CARLISLE BLVD NE BETWEEN INDIAN SCHOOL RD NE AND HANNETT AVE NE containing approximately 1 acre(s). (J-16) [*Planner - Jennifer Donofrio*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1005073**
08DRB-70217 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ALEJANDRO GONZALES-BASURTO agent(s) for GABRIEL & ARLENE GONZALES-BASURTO request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 2, **ROSEMONT PARK ADDITION** zoned SR, located on 12TH ST NW BETWEEN ROSEMONT AVE NW AND ARIAS AV NW containing approximately .48 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DEED DOCUMENT WEST OF 1- 40 BEFORE 1973. SHOW SETBACK FROM NEW PROPERTY LINE.**

12. **Project# 1006571**
08DRB-70225 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

DOUG SMITH agent(s) for GEROGE EK request(s) the above action(s) for all or a portion of Tract(s) 309-B-2, **LANDS OF GEORGE R EK** zoned RA-2, located on MOUNTAIN RD NW BETWEEN MONTOYA RD NW AND LULAC AVE NW containing approximately .5326 acre(s). (J-12) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO INDICATE REVISED WATER AND SEWER EASEMENTS TO DISCLOSURE STATEMENT.**

13. **Project# 1006868**
08DRB-70220 MAJOR - FINAL PLAT APPROVAL
- TIERRA WEST LLC agent(s) for PACIFIC PASEO DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 1-A, Block(s) 35, **NORTH ALBUQUERQUE ACRES / TBK LOTS 1-4, DEL NORTE PLAZA Unit(s) B**, zoned SU-2 FOR IP USES, located on HOLLY AVE NE BETWEEN SAN PEDRO DR NE AND LOUISIANA BLVD NE containing approximately 7.4007 acre(s). (C-18) **THE FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
14. **Project# 1006939**
08DRB-70078 MINOR - FINAL PLAT APPROVAL
- WAYJOHN SURVEYING INC agent(s) for E&J INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 1, **BRUNACINI INDUSTRIAL PARK Unit 3**, zoned M-1, located on PHOENIX AVE NE BETWEEN VASSAR DR NE AND GIRARD BLVD NE containing approximately 1.9085 acre(s). (H-16) [*Deferred from 2/27/08, 3/5/08 & 3/12/08*] **THE FINAL PLAT WAS APPROVED. A COPY OF THE RECORDED PLAT MUST BE PROVIDED TO PLANNING.**
15. **Project # 1002455**
07DRB-70004 VACATION OF PRIVATE EASEMENT
07DRB-70005 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- RIO GRANDE SURVEYING CO. agent(s) for SAN ANTONIO PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 3-7, **JJ SUBDIVISION**, zoned SU-1 for C-1 USES, located on SAN ANTONIO NE between INTERSTATE 25 NE and FOREST HILLS NE containing approximately 6.5044 acre(s). [*Indef deferred from 5/30/07*] (E-18) **DEFERRED TO 5/28/08 AT THE AGENT'S REQUEST.**
16. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD., #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) [*Deferred from 4/16/08, 4/30/08 & 5/14/08*]. **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project# 1006749**
08DRB-70216 SKETCH PLAT REVIEW
AND COMMENT

BRUNO MOROSIN agent(s) for BRUNO MOROSIN request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 13, **FOUR HILLS VILLAGE ADDITION** zoned R-1, located on HIDEAWAY LN SE AND STAGE COACH containing approximately 1.706 acre(s). (M-23)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for March 5, 2008.

Other Matters: None

ADJOURNED: 11:20

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004221

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: May 21, 2008

City of Albuquerque
Planning Department
Inter-Office Memorandum

TO: Jack Cloud, DRB Chair

FROM: Randall Falkner, Planner

SUBJECT: Project # 1004221

On March 20, 2008, the Environmental Planning Commission approved Project # 1004221, 08EPC-40015/40018, a request for a site development plan for building permit and a zone map amendment from SU-1 for Institution to SU-1 for O-1 Permissive Uses for all or a portion of lot D-3, Academy Place Subdivision, located on Juan Tabo Boulevard NE between Spain Rd NE and Osuna Rd NE containing approximately 1.08 acres.

The applicant has satisfied all of the EPC conditions of approval for the site development plan for building permit with the following exception:

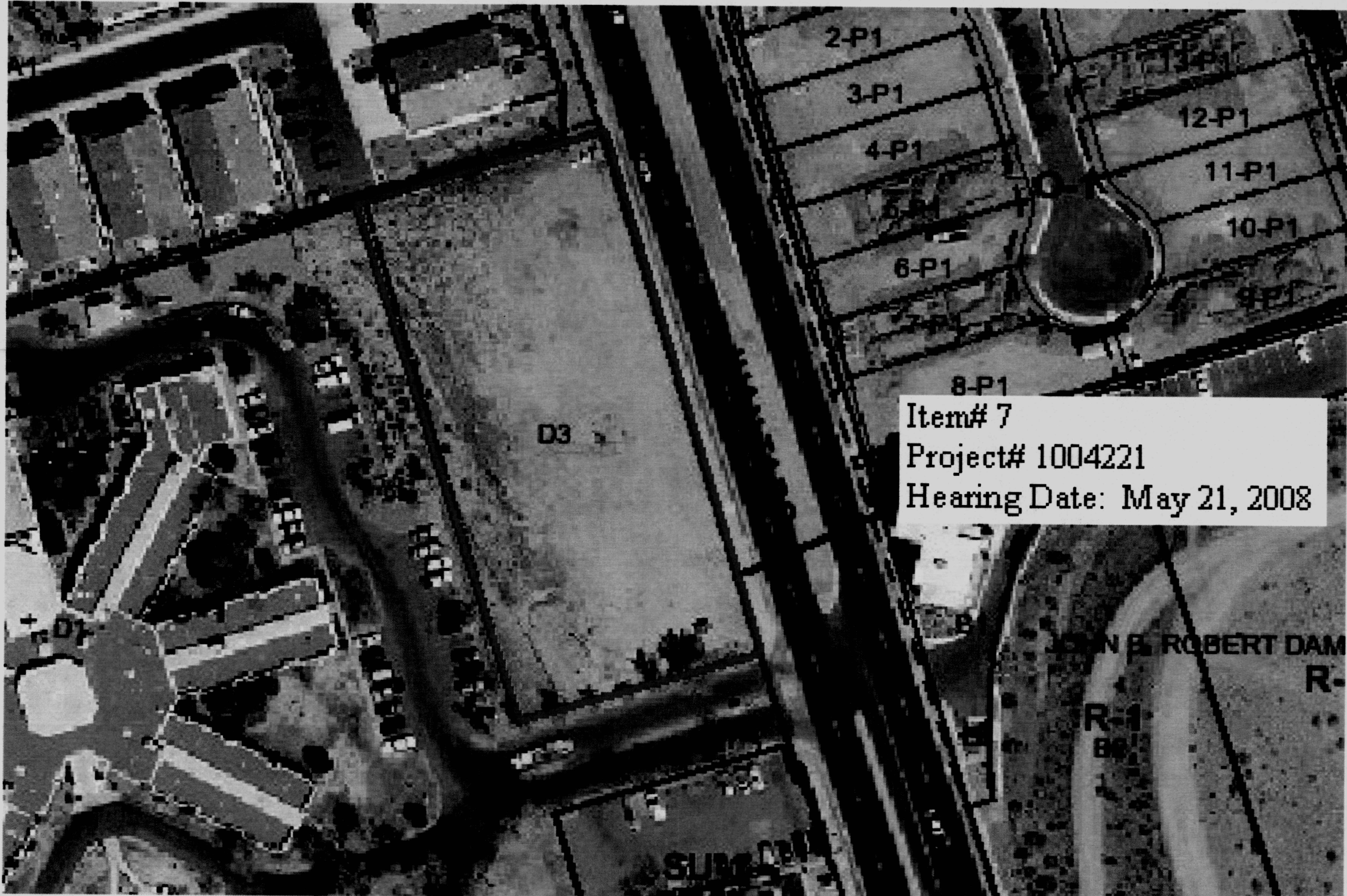
1. Condition number 6 concerning Revised Keyed Note #39 should include Section 14-16-3-18 (C)(3) at the end of the sentence. When I met with Mr. Strozier, he added it to the Mylar copy; however, I checked the Section number, because it reads Section 14-16-3-80(3) in the Official Notice of Decision, and it should read Section 14-16-3-18(C)(3), which addresses Major Facades Greater Than 100 Feet in Length in the General Building and Site for Non-Residential Regulations. There is no Section 14-16-3-80(3). Change the Section number on the Mylar copy to Section 14-16-3-18 (C)(3).

Condition number 8 requires that the applicant meet with the neighbors in a facilitated meeting to discuss issues pertaining to massing and height prior to final sign off at the DRB. The applicant did meet with the neighbors in a facilitated meeting and agreed to make the following changes prior to submittal to the DRB: (1) the site grading will be revised to lower the finished floor elevation by the maximum distance permitted by City of Albuquerque Code (the site was lowered by 2 feet); (2) the tower elements will be lowered to eliminate the additional façade area above the parapet. The pitched roof elements will remain, but will be lower than the approved elevations. No element will exceed the height of 27'7" from the sidewalk elevation (this refers specifically to the east side of the building along Juan Tabo Blvd because the neighbors across the street were concerned with massing and height of the bldg.); (3) the street trees along Juan Tabo Boulevard will be revised to reduce the height and view impact. All three of these conditions were met, the applicant lowered the site by 2 feet, the tower elements were either lowered or eliminated, and the Modesto Ash tree was replaced with a smaller tree, the Nettle Hackberry. Mr. Strozier met with Rosemary and Fred Eachus (who were the

neighbors most opposed to the development) in a final meeting after the facilitated meeting to show them the revised site plans, and they were fine with the revisions.

Compliance with City Engineer conditions should be verified with the City Engineer. If you should have any questions regarding this case, please do not hesitate to call me at 924-3933. I will be gone from May 16th to May 20th. I will return on the 21st.

Thank you.



Item# 7
Project# 1004221
Hearing Date: May 21, 2008

JOHN E. ROBERT DAM
R-1
R-

SUB D3

D1

D2

D3

2-P1

3-P1

4-P1

6-P1

8-P1

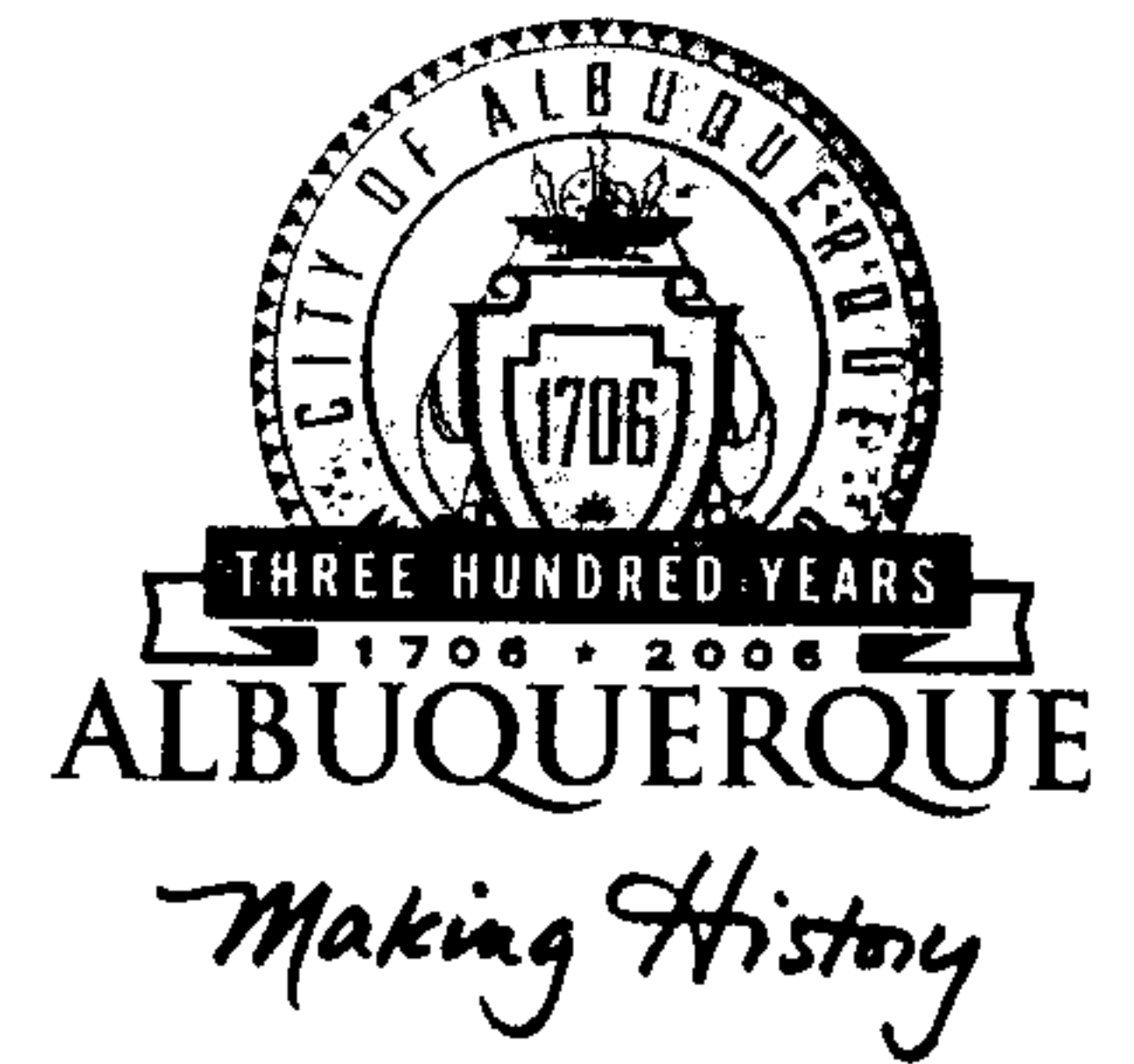
12-P1

11-P1

10-P1

PROJECT TRACKING HISTORY

Date	Project Name/#	Application Request	Action
6/1/01	1004221	Sketch	Comments given



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004221

AGENDA ITEM NO: 19

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(**x**) APP:(**0**) SIGN-OFF:(**0**) EXTN:(**0**) AMEND:(**0**)

P.O. Box 1293

ENGINEERING COMMENTS:

An approved drainage plan is required for Site Plan approval.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED *discussed* X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 31, 2005

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 1, 2005 DRB Comments**

ITEM # 19

PROJECT # 1004221

APPLICATION # 05-00879

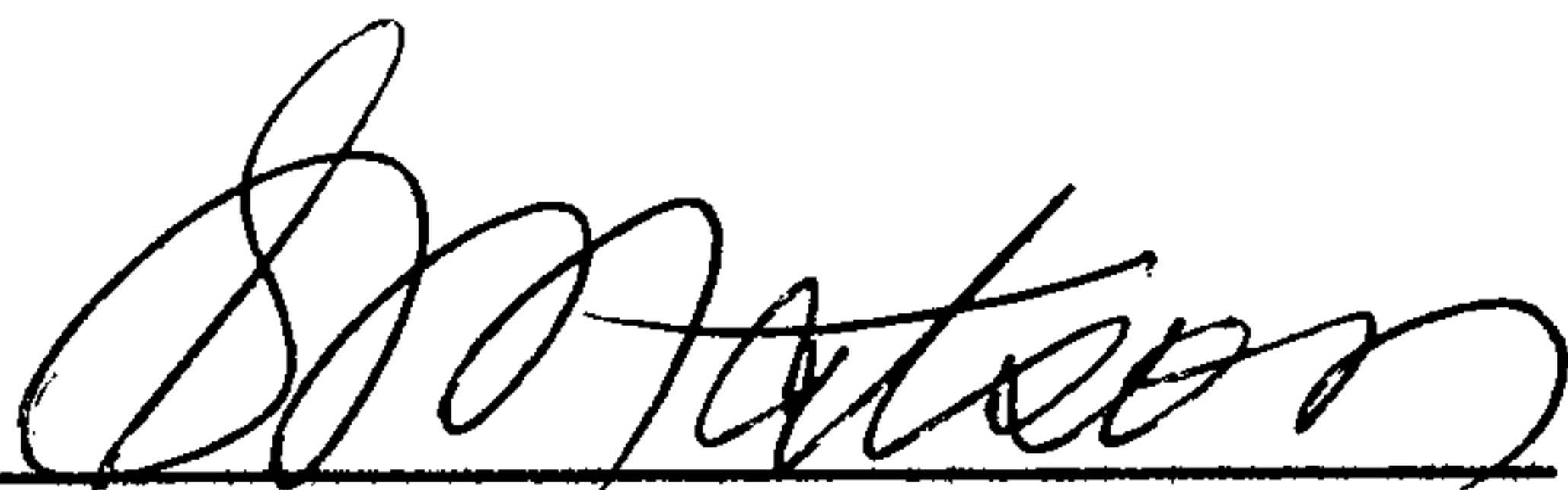
Re: Tract 3, Academy Place/sketch

Is the parking lot mentioned in the explanation letter existing now?

Normally, the required parking for commercial, institutional, retail, etc uses must be on the same lot as the use for which it is intended.

Recommended replat.

*AA needed to make 1 lot from
2 lots.*



Sheran Matson, AICP
924-3880 fax 924-3864
smatson@cabq.gov

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/13/2008 Issued By: E08375

.....
Permit Number: 2008 070 228 **Category Code 910**

Application Number: 08DRB-70228, Minor - Sdp For Building Permit

Address:

Location Description: JUAN TABO BLVD NE BETWEEN SPAIN RD NE AND OSUNA RD NE

Project Number: 1004221

Applicant
Kenny Hinkes

107 Bryn Mawr Drive Se
Albuquerque NM 87106
615-8613

Agent / Contact
Consensus Planning
James Strozier
302 8th St Nw
Albuquerque NM 87102

cp@consensusplanning

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	
TOTAL:		\$20.00

City Of Albuquerque
Treasury Division

5/13/2008 11:03AM LOC: ANNX
WSH 007 TRANS# 0023
RECEIPT# 00098476-00098476
PERMIT# 2008070228 TRSCXG
Trans Amt \$20.00
Conflict Manag. Fee \$20.00
VI \$20.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Kenny Hinkes PHONE: 505-615-8613
 ADDRESS: 107 Bryn Mawr Drive SE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: kenny@110richmond.com
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Consensus Planning, Inc. PHONE: 505-764-9801
 ADDRESS: 302 8th Street NW FAX: 505-842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: DRB Sign-off for an EPC approved Site Development Plan for Building Permit for construction of a two story office building

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D-3 Block: _____ Unit: _____
 Subdiv. / Addn. Academy Place Subdivision
 Current Zoning: SU-1 for Institution Proposed zoning: SU-1 for O-1 Permissive Uses
 Zone Atlas page(s): F-21-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 1.0842 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? no
 UPC No. 102106148734810204 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Juan Tabo Blvd. NE
 Between: Spain Road NE and Osuna Road NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004221, Z-79-77, Z-79-77-2, DRB-96133, 05AA-01020

Check-off if project was previously reviewed by Sketch Plat Plan?, or Pre-application Review Team?. Date of review: 04/17/07

SIGNATURE [Signature] DATE 05/12/08
 (Print) James K. Strozier, AICP _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> INTERNAL ROUTING	<u>OSDRB</u>	<u>SPBP</u>		\$ <u>0.00</u>
<input checked="" type="checkbox"/> All checklists are complete	<u>70228</u>	<u>CME</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> All fees have been collected				\$ _____
<input checked="" type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>May 21 2008</u>			Total \$ <u>20.00</u>

[Signature] 5/13/08 Project # 1004221

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Strozic, AICP
Applicant name (print)

[Signature]
Applicant signature / date

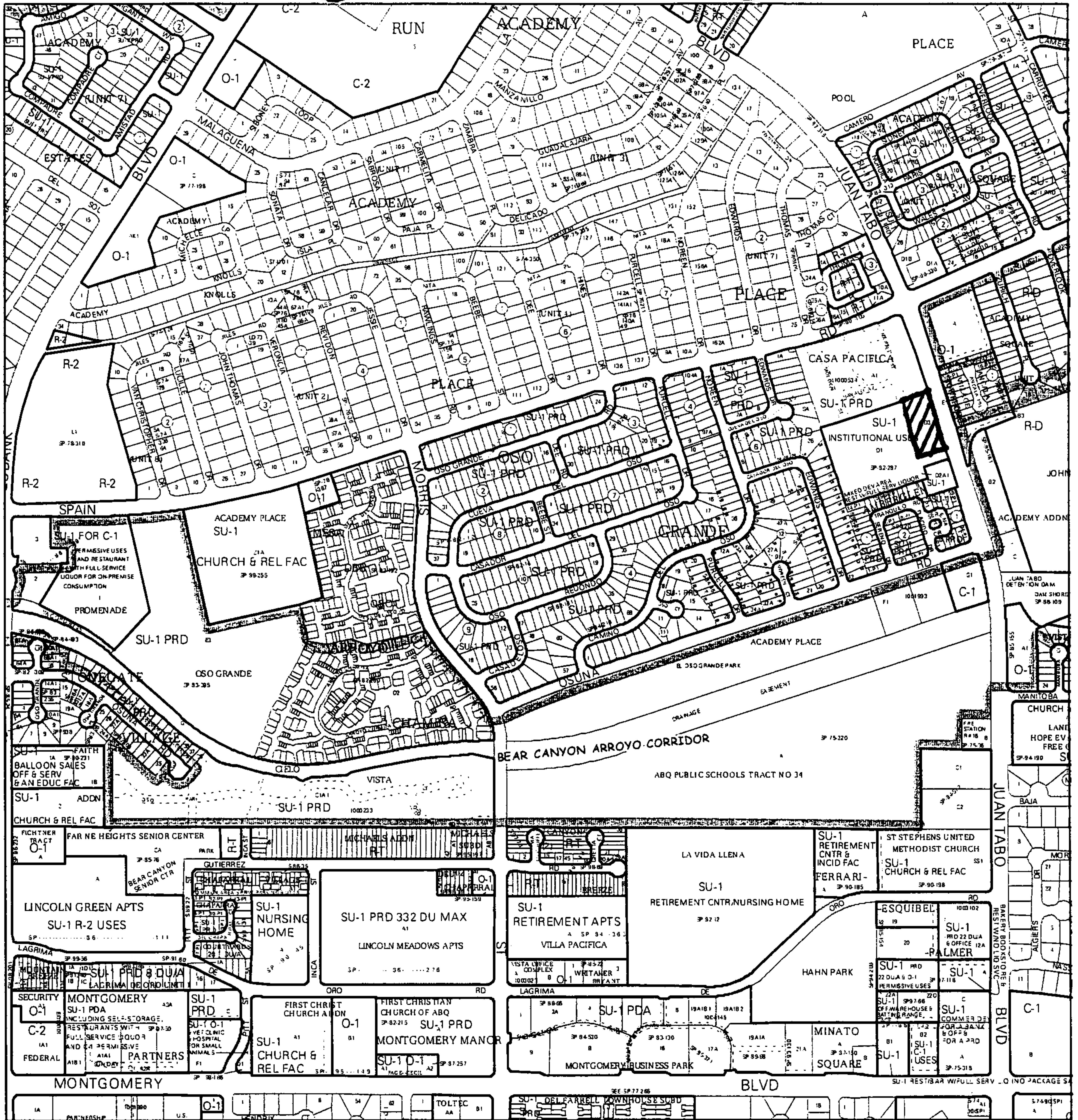


Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
28DRB - 10228

[Signature] 5/13/08
Planner/signature / date

Project # 1004221



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 3/22/2007

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-21-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



May 13, 2008

Mr. Jack Cloud, DRB Chair
City of Albuquerque
Plaza Del Sol
600 2nd Street NW
Albuquerque, NM 87102

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

RE: Project#1004221/ 08EPC-40015 Site Development Plan for Building Permit and 08EPC40018 Amendment to the Zone Map.

Dear Mr. Chairman:

The purpose of this letter is to explain how the Site Plans for Building Permit and Amendment to the Zone Map have been changed in response to the Environmental Planning Commission's conditions of approval dated March 21, 2008.

The Zone Map Amendment was approved with the following condition:

1. The accompanying site development plan for building permit must receive final DRB sign off within 6 months of this EPC action (Section 14-16-4-1) (C)(10).

The Site Plan is being submitted in conjunction with this letter to request sign-off.

The Site Plan for Building Permit was approved with the following conditions:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Agreed.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

A meeting is being set up with Randall Falkner to review these items prior to the DRB hearing.

3. Pedestrian/Bicycle Access and Circulation:
 - a. Increase the width of the sidewalk on the south side of the building to 6 feet wide.
The sidewalk width has been increased to 6 feet in width; see Site Plan, Sheet 2.
 - b. Increase the width of the sidewalk on the west side of the building in locations where it is only 6 feet wide to between 8 and 10 feet wide (Section 14-16-3-18).
The sidewalk on the west side of the building has been widened to a minimum of 8 feet in width; see Site Plan, Sheet 2.
4. Landscaping:
 - a. Replace the grass with a less water intensive water grass such as Blue Gramma or Buffalograss or with xeric plants.
The turf grass has been replaced with Blue Gramma; see Landscape Plan, Sheet 3.
 - b. Replace the Modesto Ash (high allergenic potential and medium plus water use) with another tree on the City Forester's list that has lower allergenic potential and water use.
The Modesto Ash has been replaced with Nettleaf Hackberry; see Landscape Plan, Sheet 3.
5. Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Building Permit shall include:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
Agreed.
 - b. Provide concurrence from the Fire Department and Solid Waste for the circular turn around.
Both Solid Waste and Fire were consulted and have approved the turn around prior to the EPC Hearing. They have both approved the plan being submitted for DRB sign-off.



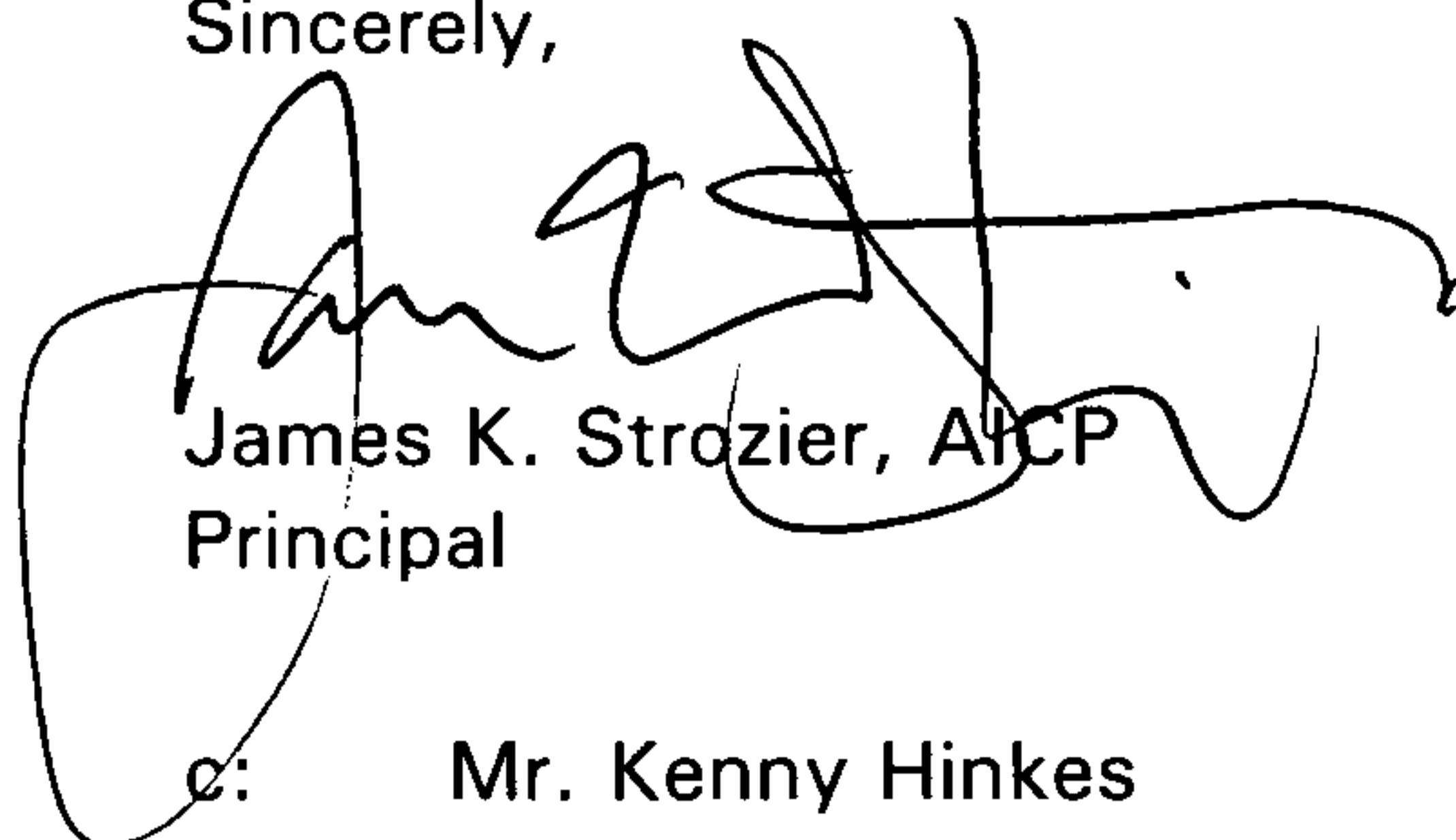
c. Site drive to be 30' wide with 25' curb returns as a minimum.
The site drive has been amended; see Site Plan, Sheet 2.

d. Site plan shall comply and be designed per DPM Standards.
Agreed.

6. Revised Keyed Note #39 of the Site Plan for Building Permit to add "for 8 People" after the word "seating" and add Section 14-16-3-80(3) of the Zoning Code to ensure compliance with General Building and Site Design Regulations for Non-Residential Uses within the Zoning Code.
Keyed Note 39 has been amended to reflect 18 seats with 14 under cover; see Site Plan, Sheet 2.
7. Signage:
 - a. Signage elevations shall be consistent with the signage notes.
The signage keyed notes and legend has been revised; see Elevations, Sheets 5 & 6.
 - b. On signage notes delete internally illuminated channel letters or exposed neon facing in all directions.
The signage legend has been revised; see Elevations, Sheets 5 & 6.
8. The applicant shall meet with the neighbors in a facilitated meeting within 2 weeks to discuss issues pertaining to massing and height prior to final sign off at the DRB.
The applicant held a facilitated meeting on March 31st and the parties reached an agreement. The agreement is reflected in the revised plans. The revised plans were reviewed on May 12, 2008 with Fred and Rosemary Eachus from the neighborhood and they agreed that the revised plans were consistent with the agreement.

Based upon the responses to the conditions imposed by the Environmental Planning Commission, we respectfully request that the DRB sign off on the attached Site Development Plan for Building Permit.

Sincerely,



James K. Strozier, AICP
Principal

c: Mr. Kenny Hinkes

February 4, 2008

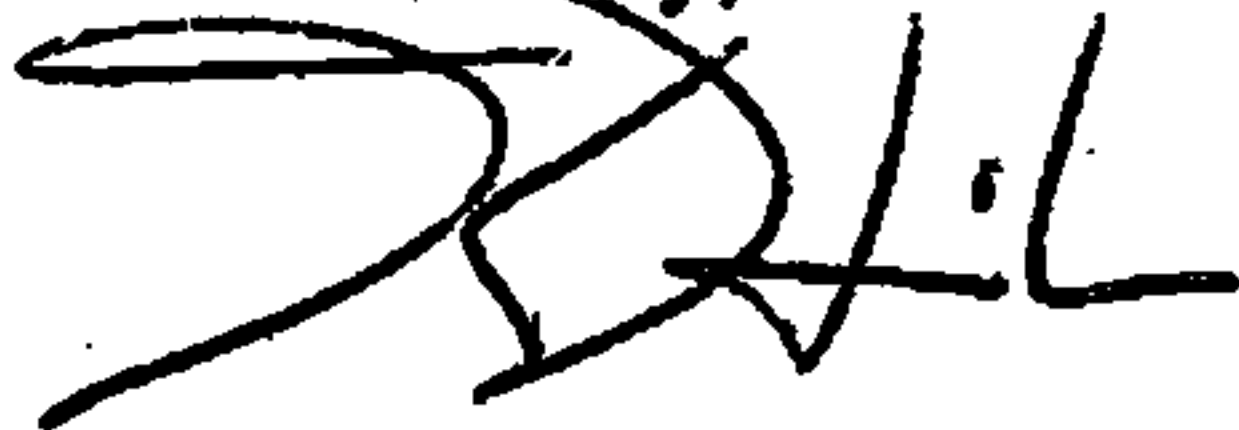
Ms. Laurie Moyer, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

**RE: Zone Map Amendment and Site Development Plan for Building Permit
Lot D-3, Academy Place Subdivision
UPC# 102106148734810204
Project # 1004221**

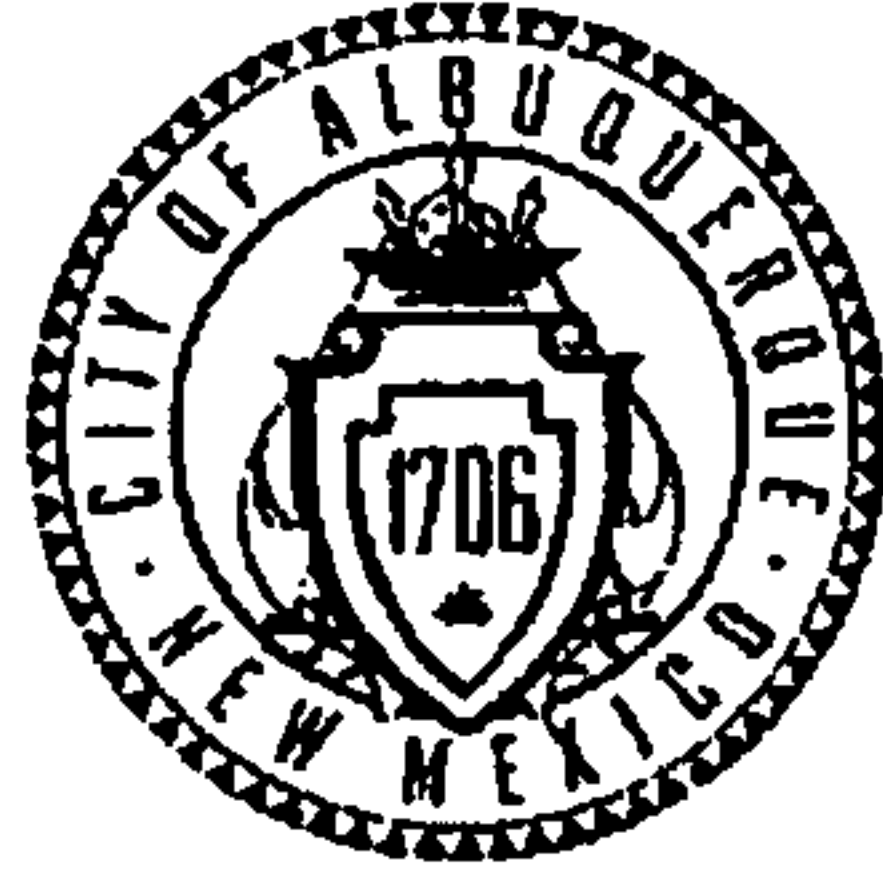
Dear Ms. Moyer:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent on the request for Zone Map Amendment and Site Development Plan for Building Permit for ± 1.0842 acres in northeast Albuquerque. The property is located on Juan Tabo NE between Spain Road and Osuna Road NE.

Sincerely,

A handwritten signature in black ink, appearing to read 'KH', with a stylized flourish extending from the end.

Kenny Hinkes



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 21, 2008

OFFICIAL NOTIFICATION OF DECISION

FILE: Project# 1004221

08EPC-40015 SITE DEVELOPMENT -
BUILDG PRMT

08EPC-40018 AMNDT TO ZONE MAP (ZONE
CHG)

Kenny Hinkes
107 Bryn Mawr Dr. SE
Albuq. NM 87106

LEGAL DESCRIPTION: for all or a portion of lot D-3, ACADEMY PLACE SUBDIVISION zoned SU-1 FOR INSTITUTION to SU-1 FOR 0-1 PERMISSIVE USES located on' JUAN TABO BLVD NE BETWEEN SPAIN RD NE AND OSUNA RD NE containing approximately 1.0842 acres. (F-21) Randall Falkner, Staff Planner

On March 20, 2008 the Environmental Planning Commission voted to approve Project 1004221/08EPC 40018, a zone map amendment, from SU-1 for Institutional Uses to SU-1 for 0-1 Permissive Uses, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for review and approval of a zone map amendment for all or a portion of Tract D-3, Academy Place Subdivision, from SU-1 for Institutional Uses to SU-1 for 0-1 Permissive Uses.
2. The subject site is within the area designated Established Urban by the Comprehensive Plan.
3. The following Comprehensive Plan policies for Developing and Established Urban Areas are supported by the proposal:
 - a. Policy II.B.5a — The proposed zoning will help to increase land use variety in the area and will be compatible with surrounding zoning and uses.
 - b. Policy II.B.5d — The proposed SU-1 for 0-1 Permissive Uses will allow for a use that is compatible with the surrounding area and respect existing neighborhood values and natural environmental conditions.

- c. Policy II.B.5e — The property is immediately adjacent to existing urban facilities and services. Full urban services are available to this site and the integrity of existing neighborhoods can be ensured under the proposed zoning.
 - d. Policy II.B.5i — The proposed zoning will provide employment uses that will complement residential areas and will not have adverse effects on the surrounding neighborhood.
 - e. Policy II.B.5o — The proposed zoning will help to redevelop the site and strengthen the existing neighborhoods in the Established Urban Area.
4. The request furthers Comprehensive Plan Policies II.D.4b and II.D.4g, because pedestrian opportunities are integrated into the development and it will help to create jobs along an Enhanced Transit Corridor.
 5. The request furthers Comprehensive Plan Policies II.D.6a and II.D.6f by providing the surrounding neighborhoods with new businesses, a variety of jobs, and by providing sound economic growth to the community.
 6. The applicant has adequately justified the zone change request pursuant to Resolution 270-1980:
 - a. The request furthers most applicable Comprehensive Plan policies and is generally consistent with the City's health, safety, morals, and general welfare.
 - b. The proposed zoning is similar to the existing and surrounding zoning and maintains the stability of land uses in the area. The applicant has cited a number of goals and objectives in the Comprehensive Plan that are furthered by this request.
 - c. The zone change is not in significant conflict with adopted elements of the Comprehensive Plan and the applicant has cited multiple policies that support the proposal.
 - d. The applicant has demonstrated that a different use category would be more advantageous to the community because the previous zoning was contingent on further development of the assisted living facility that did not expand. The lot has remained vacant and become an eyesore. The special use category would allow the vacant land to develop offices that would serve the community and provide infill development.
 - e. The requested zoning would change from SU-1 for Institutional Uses to SU-1 for 0-1 Permissive Uses. The proposed office use would not be harmful to the community or surrounding neighborhoods. The SU-1 designation, which requires a site development plan, would help ensure the quality and type of uses located on the property.
 - f. The proposed zone change requires no major or unprogrammed capital expenditures by the City in order to be developed.
 - g. Economic considerations are a factor, but not the determining factor in this analysis.
 - h. The subject's site on Juan Tabo Boulevard NE is not the determining factor for this request.
 - i. This site is adjacent to other properties that have similar zoning. This request does not constitute a spot zone.
 - j. This request does not constitute a strip zone.

7. There
is no
known
opposi

tion from Oso Grande Neighborhood Association, John B. Robert Neighborhood Association, or from the Amberglen Homeowner Association. Both John B. Robert N.A. and Oso Grande N.A. have included letters of support for the project.

8. After publication of the staff report, some neighbors expressed objections that they were not properly notified. A series of emails between the Office of Neighborhood Coordination and the neighbors concerning the notification process was forwarded to the EPC on Tuesday, March 18. The neighbors are requesting a 30-day deferral.

CONDITION :

1. The accompanying site development plan for building permit must receive final DRB sign off within 6 months of this EPC action (Section 14-16-4-1) (C)(10).
-

On March 20, 2008 the Environmental Planning Commission voted to approve Project 1004221/08EPC 40015, a site development plan for building permit, for all or a portion of Tract D-3, Academy Place Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS :

1. This request is for review and approval of a site development plan for building permit for all or a portion of Tract D-3, Academy Place Subdivision, located on Juan Tabo Boulevard NE, between Spain Road NE and Osuna Road NE containing approximately 1 acre.
2. The site development plan for building permit (08EPC 40015) is dependent upon the accompanying zone map amendment request (08 EPC 40018), which is necessary to allow the proposed use. The zone map amendment request is justified per Resolution 270-1980 and applicable Comprehensive Plan and Sector Plan policies.
3. The following Comprehensive Plan policies for Developing and Established Urban Areas are supported by the proposal:
 - a. Policy II.B.5a — The subject site will help to increase land use variety in the area and will be compatible with surrounding uses.
 - b. Policy II.B.Sd — The project will develop vacant land that is designed to enhance the existing streetscape. The proposed SU-1 for 0-1 Permissive Uses will allow for a use that is compatible with the surrounding area and respect existing neighborhood values and natural environmental conditions.

- c. Policy II.B.5e — The property is immediately adjacent to existing urban facilities and services. Full urban services are available to this site and the integrity of existing neighborhoods can be ensured.
 - d. Policy II.B.5i — The proposed office building will provide employment uses that will complement residential areas and will not have adverse effects on the surrounding neighborhood.
 - e. Policy II.B.5k — The site has been planned to minimize the harmful effects of traffic on the surrounding neighborhoods.
 - f. Policies II.B.51 & II.B.5m — The proposed property is a quality design which maintains unique vistas, reinforces the street edge along Juan Tabo Boulevard NE, separates the street from the majority of the parking, and is appropriate to the plan area.
 - g. Policy II.B.5o — The infill development of the current vacant lot will help to redevelop and strengthen older neighborhoods in the Established Urban Area.
4. The request furthers Comprehensive Plan Policies II.D.4b and II.D.4g, because pedestrian opportunities are integrated into the development and it will help to create jobs along an Enhanced Transit Corridor.
 5. The request furthers Comprehensive Plan Policies II.D.6a and II.D.6f by providing the surrounding neighborhoods with new businesses, a variety of jobs, and by providing sound economic growth to the community.
 6. There is no known opposition from Oso Grande Neighborhood Association, John B. Robert Neighborhood Association, or from the Amberglen Homeowner Association. Both John B. Robert N.A. and Oso Grande N.A. have included letters of support for the project.
 7. After publication of the staff report, some neighbors expressed objections that they were not properly notified. A series of emails between the Office of Neighborhood Coordination and the neighbors concerning the notification process was forwarded to the EPC on Tuesday, March 18. The neighbors are requesting a 30-day deferral.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Pedestrian/Bicycle Access and Circulation:
 - a. Increase the width of the sidewalk on the south side of the building to 6 feet wide.
 - b. Increase the width of the sidewalk on the west side of the building in locations where it is only 6 feet wide to between 8 and 10 feet wide (Section 14-16-3-18).
4. Landscaping:
 - a. Replace the grass with a less water intensive water grass such as Blue Gramma or Buffalograss or with xeric plants.
 - b. Replace the Modesto Ash (high allergenic potential and medium plus water use) with another tree on the City Forester's list that has lower allergenic potential and water use.
5. Conditions of approval for the proposed Zone Map Amendment and Site Development Plan for Building Permit shall include:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Provide concurrence from the Fire Department and Solid Waste for the circular turn around.
 - c. Site drive to be 30' wide with 25' curb returns as a minimum.
 - d. Site plan shall comply and be designed per DPM Standards.
6. Revised Keyed Note #39 of the Site Plan for Building Permit to add "for 8 People" after the word "seating" and add Section 14-16-3-80(3) of the Zoning Code to ensure compliance with General Building and Site Design Regulations for Non-Residential Uses within the Zoning Code.
7. Signage:
 - a. Signage elevations shall be consistent with the signage notes.
 - b. On signage notes delete internally illuminated channel letters or exposed neon facing in all directions.
8. The applicant shall meet with the neighbors in a facilitated meeting within 2 weeks to discuss issues pertaining to massing and height prior to final sign off at the DRB..

OFFICIAL NOTICE OF DECISION
MARCH 20, 2008
PROJECT #1004221
PAGE 6 OF 7

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 4, 2008 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.3.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

6/17A0,4-fie.

Richard Dineen
Planning Director

RD/RF/ac

cc: Consensus Planning Inc., 302 8th St. NW, Albuquerque, NM 87102
James Green, Oso Grande NA, 10421 Camino del Oso NE, Albuquerque, NM 87111
Becky Tays, Oso Grande NA, 4908 Noreen Ct. NE, Albuquerque, NM 87111 Sue
Hilts, John Robert NA, 11314 Overlook NE, Albuquerque, NM 87111 Lars
Wells, John Roberts NA, 11208 Overlook NE, Albuquerque, NM 87111 Greg
Everett, Amberglen HOA Inc., 4900 Sereno Dr. NE, Albuquerque, NM 87111 Judy
Reabuck, Amberglen HOA Inc., 4909 'A Sereno NE, Albuquerque, NM 87111 Church
Baldonado, 5209 Ancala Trl. NE, Albuquerque, NM 87111
Shirlene, Gordon, 5209 Ancala Trl NE, Albuquerque, NM 87111
Enrico Embroli, 5100 Juan Tabo NE, Albuquerque, NM 87111
Fred Eachus, 5215 Ancala Trl. NE, Albuquerque, NM 87111

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 2/6/08
Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- ~~N/A~~ G. Loading facilities *None*
- H. Site lighting (indicate height & fixture type)
- ~~N/A~~ I. Indicate structures within 20 feet of site *None*
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 68 provided: 69
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 4
provided: 4
 - ~~N/A~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ~~N/A~~ 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - ~~N/A~~ 1. Bikeways and bike-related facilities

- N/A 2. Pedestrian trails and linkages *No trails*
- ✓ 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- ✓ 1. Fire hydrant locations, existing and proposed.
- ✓ 2. Distribution lines
- ✓ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ✓ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ✓ 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. *No Phasing needed*

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- ✓ 1. Scale - must be same as scale on sheet #1 - Site plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - ✓ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ✓ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - N/A C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - ✓ A. Existing, indicating whether it is to preserved or removed.
 - ✓ B. Proposed, to be established for general landscaping.
 - ✓ C. Proposed, to be established for screening/buffering.
- ✓ 8. Describe irrigation system – Phase I & II . . .
- ✓ 9. Planting Beds, indicating square footage of each bed
- ✓ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- ✓ 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- ✓ 15. Planting or tree well detail
- ✓ 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- N/A 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

City of Albuquerque



DEVELOPMENT PLAN REVIEW APPLICATION

SUBDIVISION	Supplemental form S	ZONING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Change	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> ...for Subdivision Purposes		APPEAL / PROTEST of...	A
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>George Garza</u>	PHONE: <u>210-733-1822</u>
ADDRESS: <u>224 Glenarm St.</u>	FAX: <u>210-736-4003</u>
CITY: <u>San Antonio</u> STATE <u>TX</u> ZIP <u>78201</u>	E-MAIL: <u>ggarza@hcr-manorcare.com</u>
Proprietary interest in site: _____	
AGENT (if any): <u>Isaac Benton & Associates</u>	PHONE: <u>505-243-3499</u>
ADDRESS: <u>624 Tijeras Ave NW</u>	FAX: <u>505-243-3583</u>
CITY: <u>Albuquerque</u> STATE <u>NM</u> ZIP <u>87102</u>	E-MAIL: <u>Bhall@swcp.com</u>

DESCRIPTION OF REQUEST: _____

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. D3 Block: 0000 Unit: _____

Subdiv. / Addn. Academy Place

Current Zoning: SU-1 *for institutional uses* Proposed zoning: _____

Zone Atlas page(s): F21 No. of existing lots: _____ No. of proposed lots: _____

Total area of site (acres): 1.0842 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? _____

UPC No. 102106148734810204 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Juan Tabo and Osuna
Between: Spain

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB 96-133, Z-18-88, Z-79-77

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/29/05

(Print) BOB HALL Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>05DRB - 00879</u>	<u>SK</u>	<u>53</u>	\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>06/01/05</u>			\$ <u>0</u>
<u>Sandy Handley 05/24/05</u>		Project # <u>1004221</u>		
Planner signature / date				

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bob Hall / ISAAC BENTON Assoc
Applicant name (print)
[Signature] 5/29/05
Applicant signature / date



Form revised February 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05 DRB - 00879

Sandy Handley 05/24/05
Planner signature / date
Project # 1004221

HCR-Manorcare, Inc.
333 N. Summit St.
Toledo, OH 43604-2617
(419)252-5500

May 23, 2005

City of Albuquerque
Planning Department
600 2nd Street NW, Room 400
Albuquerque, New Mexico 87102

RE: ManorCare Parking Lot Project
5123 Juan Tabo Blvd NE
Albuquerque, New Mexico
Site Sketch Plan Review

Dear City Planner:

This letter is written on behalf of Isaac Benton & Associates who is under contract to represent HCR ManorCare for the submittal of our proposed parking lot for DRB review. Isaac Benton & Associates has the authority to act on the owner's behalf during the DRB review process for our project.

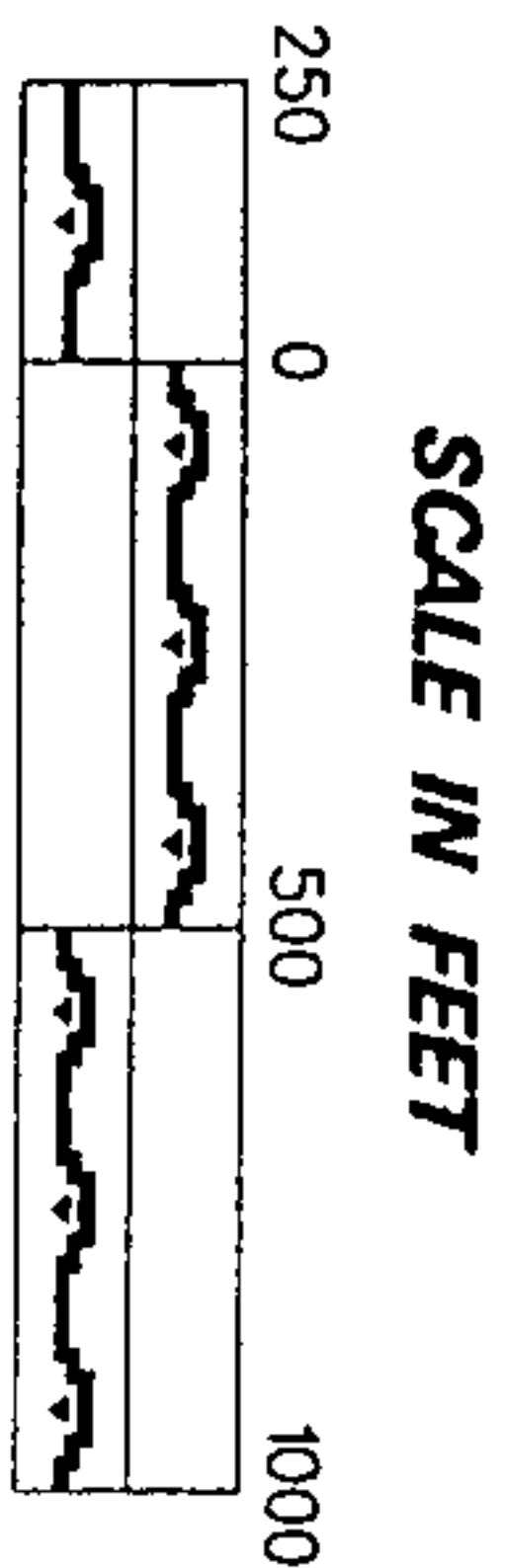
Please contact me should you have any further questions at 210-269-3794 or by email at ggarza@hcr-manorcare.com.

Sincerely,

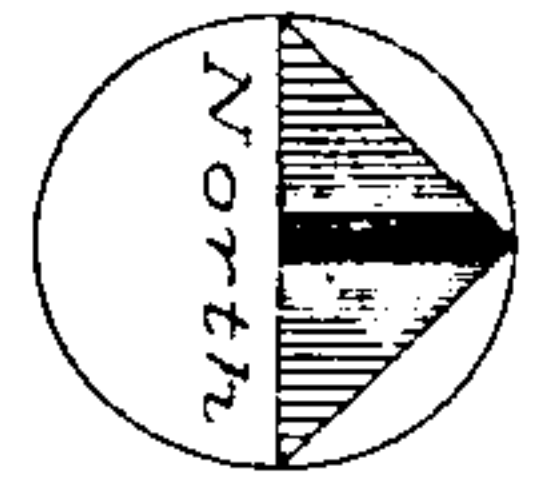


George Garza

HCR Manorcare
Manager of Plant Operations
Mid-States Division

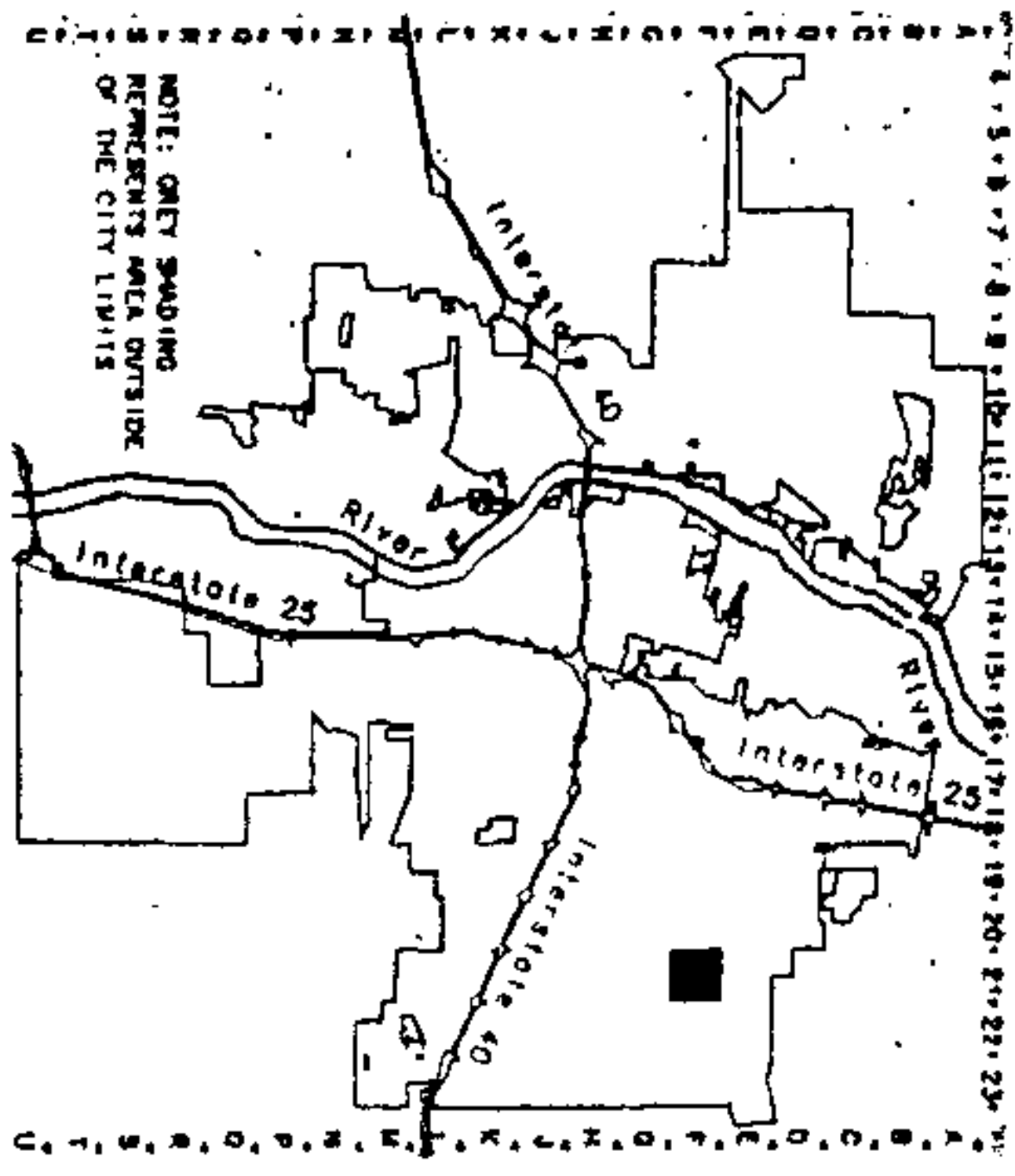


PHOTOCOPY--NOT TO SCALE



AGIS
 Geographic Information Systems
 Planning Department

Map Amended through May 18, 1994



LEGAL DESCRIPTION

T11N
 R4E
 SEC 33

UNIFORM PROPERTY CODE

1-031-061

F-21-Z