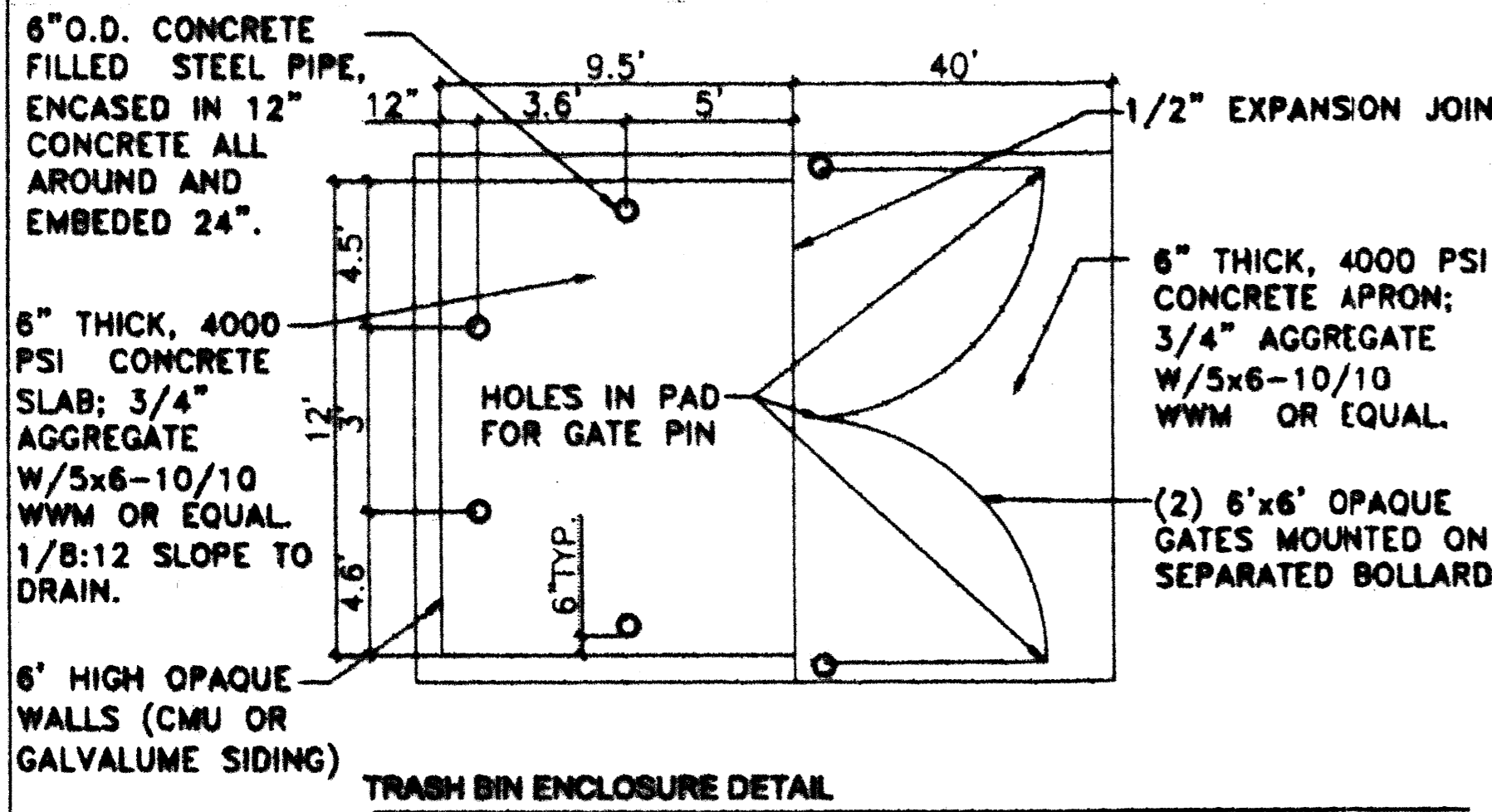
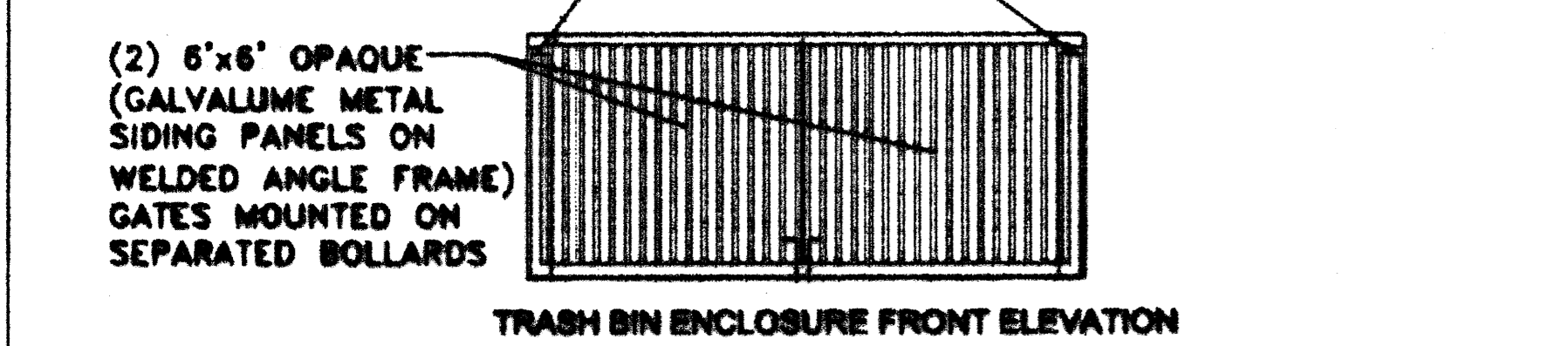
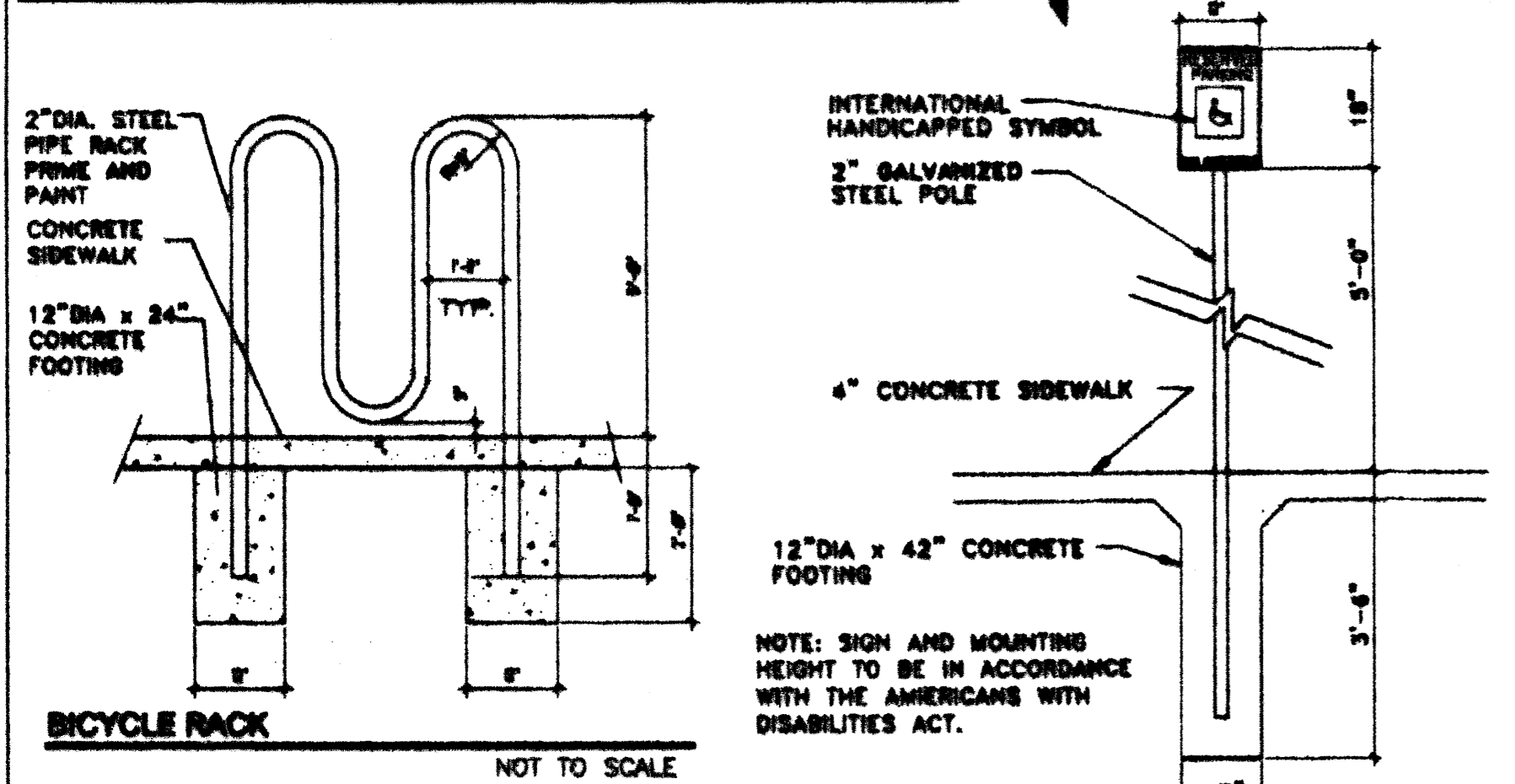
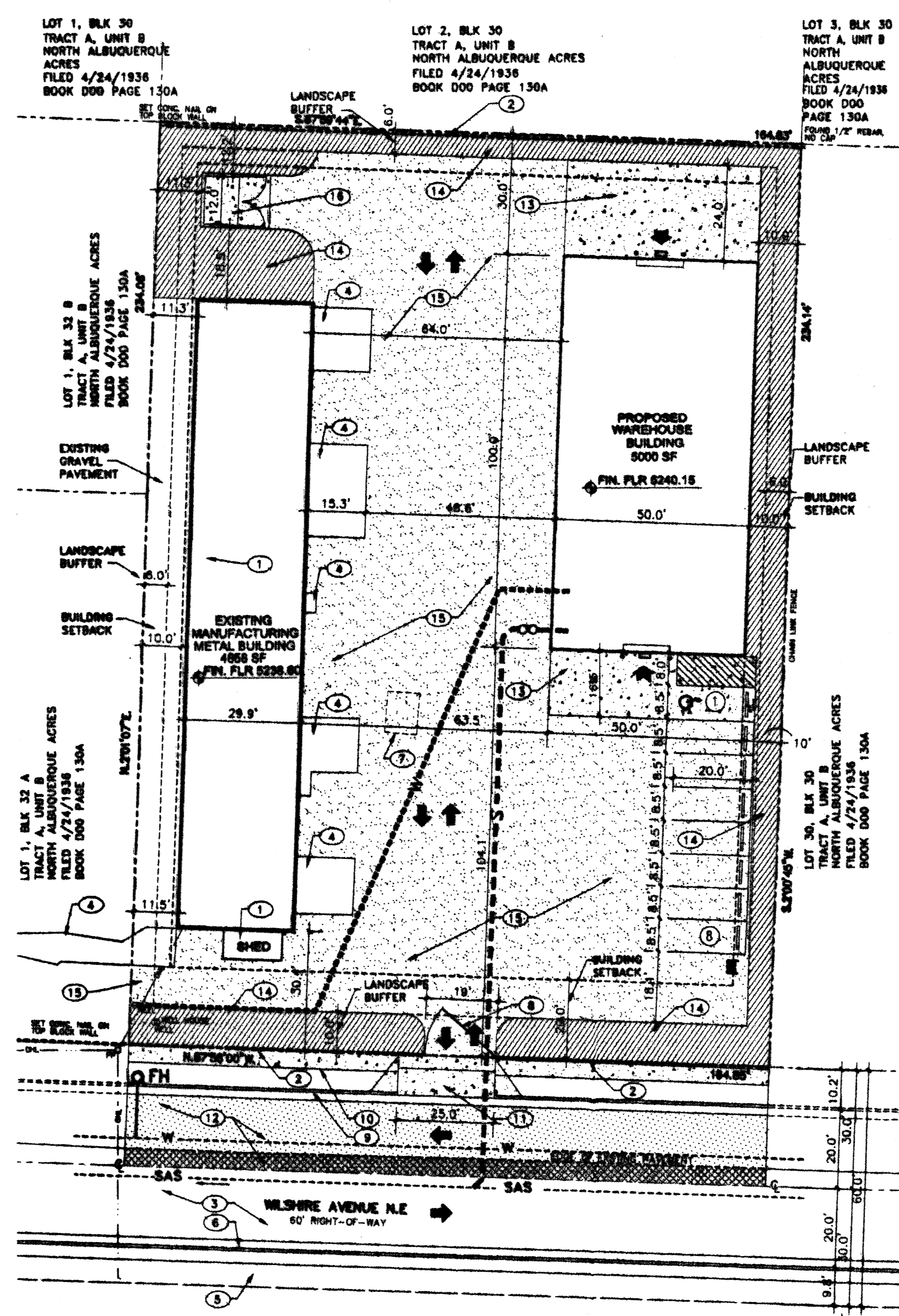


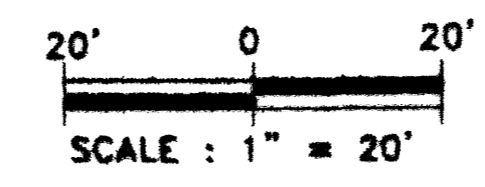
VICINITY MAP NTS C-19-Z



- NOTICE TO CONTRACTOR**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERNAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED WITH UPDATE NO.7 AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (280-1009) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING PRIOR TO COMMENCING THE WORK.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.



SITE PLAN



KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING 6' HIGH CMU WALL TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE STOOP/APRON TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- EXISTING WOOD SHED TO BE DEMOLISHED
- EXISTING STEEL PIPE GATE TO REMAIN
- CONSTRUCT NEW STANDARD CONCRETE CURB & GUTTER PER COA STD DWG #2415A.
- CONSTRUCT NEW 4" WIDE CONCRETE SIDEWALK PER COA STD DWG #2430
- CONSTRUCT NEW CONCRETE DRIVEPAD PER COA STD DWG #2425
- REMOVE PORTION OF EXISTING ASPHALT PAVEMENT TO EXTENT SHOWN; INSTALL NEW ASPHALT PAVEMENT PER COA STD DRAWING AND SPECIFICATIONS, MATCH EXISTING PAVEMENT TYPE AND ELEVATIONS.
- CONSTRUCT NEW 4" CONCRETE APRON
- PROPOSED LANDSCAPING AREA
- PROPOSED CRUSHER FINES PAVEMENT, 6" THICK, MOISTURE CONTROLLED AND COMPACTED 95% PER ASTM D1557, OVER NON-WOVEN FILTER FABRIC (TREVIRA SPUNBOND 011/140 (AOS 70-100, 4.2 OZ-SY OR APPROVED EQUAL), OVER 8" THICK PREP (SCARIFIED AND MOISTURE CONTROLLED) SUBGRADE COMPACTED TO 95% PER ASTM D1557
- CONSTRUCT NEW CMU BLOCK TRASH BIN ENCLOSURE PER COA SOLID WASTE DEPARTMENT SPECIFICATIONS

OFF-STREET PARKINGS

PROPOSED DEVELOPMENT: WAREHOUSE BUILDING

PARKING REQUIREMENT:

- EXISTING SHOP BUILDING (4858 SF) 4.85 PARKING SPACES 1 P.S. PER 1000 SF
- PROPOSED NEW WAREHOUSE BLDG (5000 SF) 1 P.S. PER 2000 SF 2.5 PARKING SPACES
- TOTAL NUMBER OF SPACES REQUIRED: 8
- NUMBER OF SPACES PROVIDED: 8
- NUMBER OF HC SPACES REQUIRED: 1 VAN ACCESSIBLE P.S. 1 SPACE/1-25 REQUIRED P.S.
- NUMBER OF HC SPACES PROVIDED: 1, VAN ACCESSIBLE
- STANDARD SPACE DIMENSIONS: 8.5 ft x 20 ft.
- HC ACCESSIBLE SPACE DIMENSIONS: 8.5 ft x 20 ft with 8' x 20' delineated aisle.
- BICYCLE PARKING REQUIREMENT: 1 BICYCLE SPACE/20 REQUIRED CAR P.S.
- NUMBER OF SPACES REQUIRED: 1 SPACE
- NUMBER OF SPACES PROVIDED: 1 SPACE

NOTE:
ITEMS IDENTIFIED BY KEYED NOTES #9, 10, 11 AND 12 WILL BE CONSTRUCTED UNDER "PROCEDURE B" MODIFIED, WHEN THE REMAINING UNDEVELOPED PORTION OF THE WILSHIRE AVE. NE IS IMPROVED.

PROJECT NUMBER _____
Application Number _____

DRB SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION Date _____

WATER UTILITY DEPARTMENT Date _____

PARKS AND RECREATION DEPARTMENT Date _____

CITY ENGINEER Date _____
Michael Helton 5-24-05

SOLID WASTE MANAGEMENT Date _____

DRB CHAIRPERSON, PLANNING DEPARTMENT Date _____

LEGEND

- NEW CONCRETE PAVEMENT AREA
- NEW ASPHALT PAVEMENT AREA
- NEW CRUSHER FINES PAVEMENT AREA
- LANDSCAPING AREA
- PORTION OF EXISTING ASPHALT PAVEMENT TO BE REMOVED
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN, SEE DETAIL THIS SHEET.
- NEW PARKING SPACE; 4" WIDE WHITE STRIPE SPACE MARKING
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- PROPOSED NEW FIRE HYDRANT
- TRAFFIC FLOW DIRECTION
- EXISTING WATER LINE TO REMAIN
- EXISTING SEWER LINE TO REMAIN
- PROPOSED WATER LINE
- PROPOSED SEWER LINE

LOT 31, BLOCK 30, TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
LOT AREA 38,952.3 SF=0.8860 ± AC

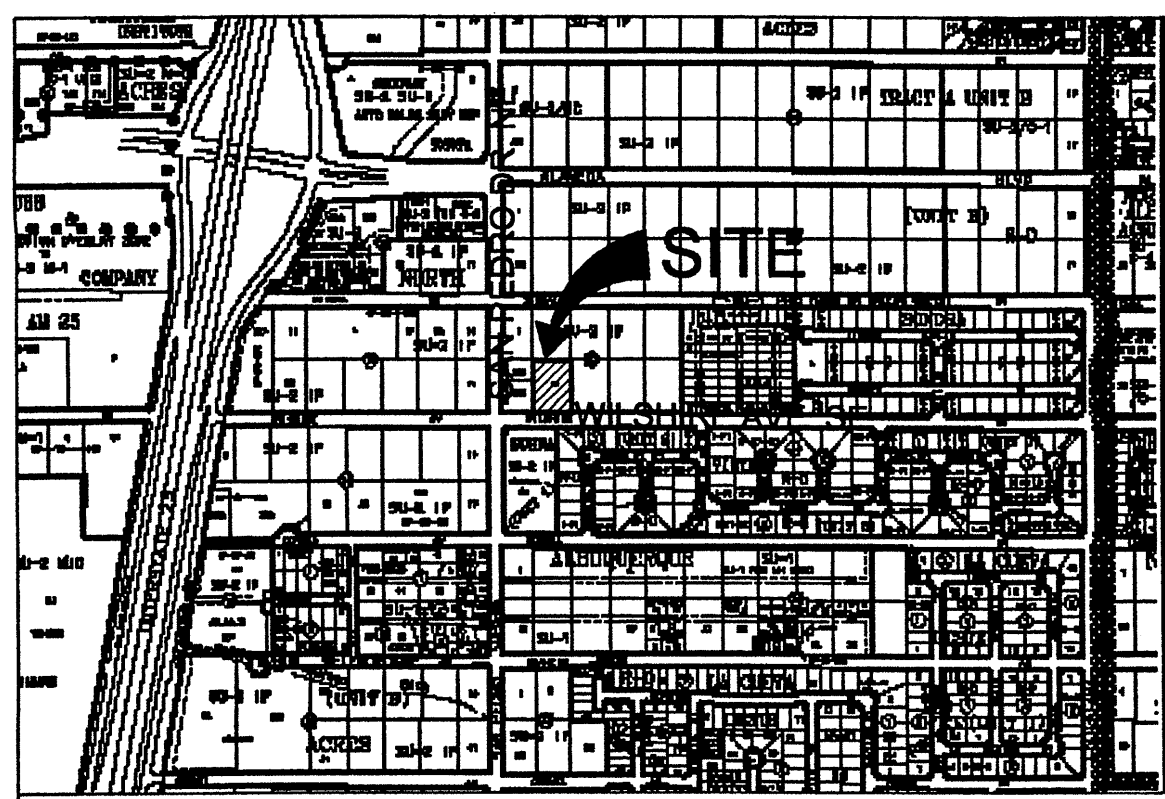
WAREHOUSE BUILDING

6285 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TRAFFIC CIRCULATION LAYOUT

	RHOMBUS P.A., INC. FACILITIES ENGINEERS/ ENVIRONMENTAL CONSULTANTS		PROJECT TITLE: WAREHOUSE BUILDING	
	e-mail: rhombus@rmie.com web site: www.RHOMBUSPA.COM 2820 San Mateo NE Suite B Albuquerque, NM 87110 TEL. (505) 881-8880 FAX (505) 881-8886		SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TRAFFIC CIRCULATION LAYOUT	
DRAWN BY: RB	CHECKED BY: CT	FIELD WORK BY: RHOMBUS P.A. INC.	DATE: 5/23/2005	MAP NO: C-18-Z
			RHOMBUS JOB NO: 05-C2-10	SHEET: C-1

PLANNING



VICINITY MAP NTS C-18-Z

KEYED NOTES

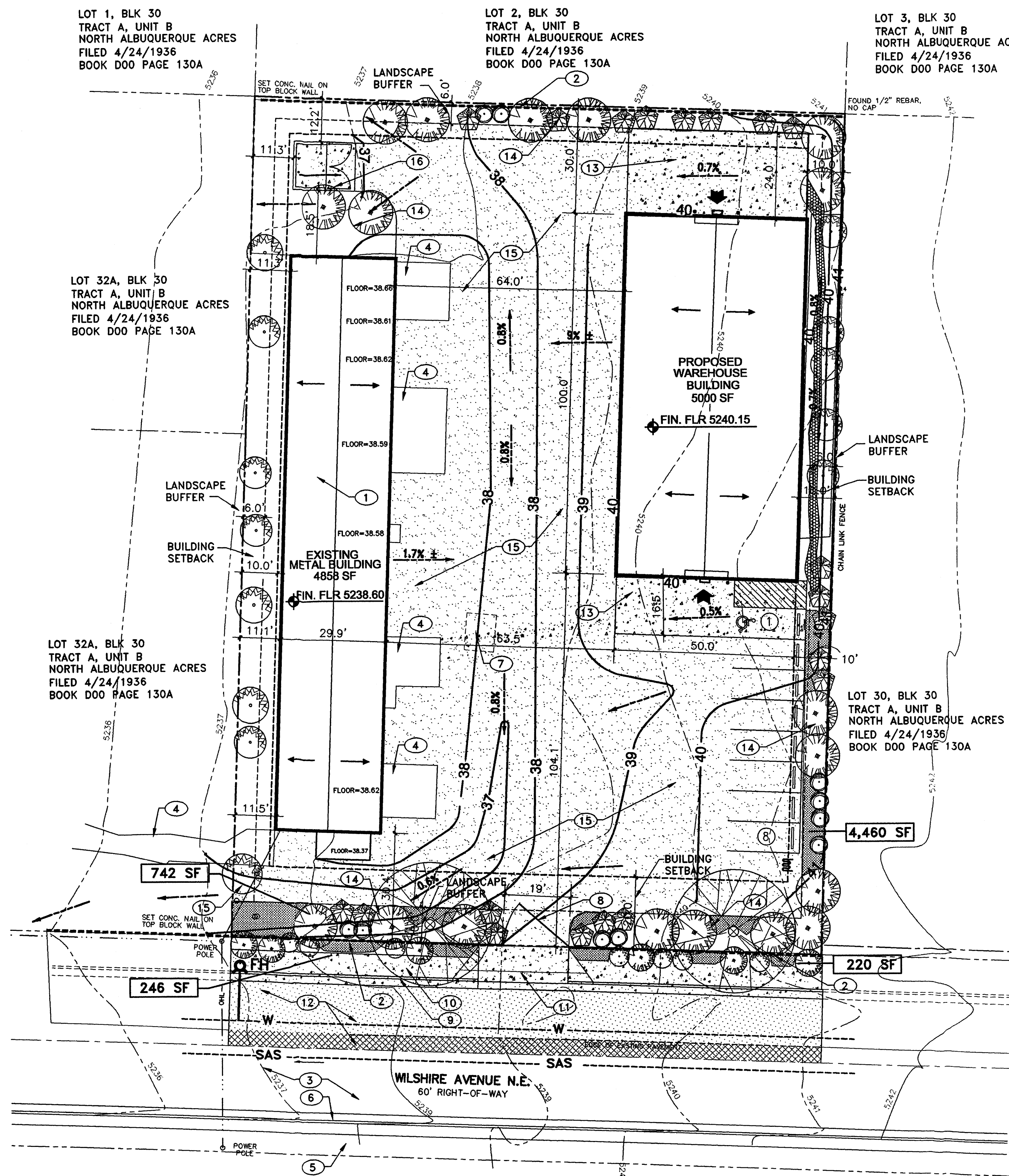
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- 13 CONSTRUCT NEW 4" CONCRETE APRON
- 14 PROPOSED LANDSCAPING AREA
- 15 PROPOSED CRUSHER FINES PAVEMENT, SEE DETAIL THIS SHEET
- 16 CONSTRUCT NEW CMU BLOCK TRASH BIN ENCLOSURE PER COA SOLID WASTE DEPARTMENT SPECIFICATIONS

NOTE:

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LANDSCAPING NOTES

1. LANDSCAPING SHALL BE MANUALLY WATERED BY THE OWNER.
2. APPROVAL OF THIS PLAN SHALL NOT IMPLY OR CONSTITUTE EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER WASTE AND LANDSCAPING ORDINANCES. WATER MANAGEMENT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
3. THE OWNER SHALL PRUNE AND TRIM TREES UNDER OVERHEAD POWER LINES IN CLOSE COORDINATION AND PER UTILITY COMPANY'S REQUIREMENTS.
4. LANDSCAPING MATERIAL WHICH DIES SHALL BE REPLACED BY THE OWNER ON TERMS DEFINED IN THE CITY OF ALBUQUERQUE ZONING, PLANNING AND BUILDING CODE.
5. ALL AREAS NOT COVERED WITH LIVING, DROUGHT-RESISTANT, VEGETATIVE MATERIALS, SHALL BE COVERED WITH 3/4" SANTA FE BROWN ROCK MULCH OR CRUSHER FINES OVER A COMMERCIAL GRADE WEED BARRIER FABRIC.
6. MINIMUM ACCEPTABLE PLANT SIZES:
 - TREES:** TWO INCHES IN CALIPER MEASURED SIX INCHES ABOVE GRADE, OR 10-12 FEET IN HEIGHT, W/MATURE CANOPY DIAMETER 25' MINIMUM.
 - SHRUBS AND LOW-GROWING EVERGREENS:** FIVE OR ONE GALLON
 - GROUND COVER AND TURF:** ADEQUATE TO PROVIDE GENERAL GROUND COVER WITHIN ONE GROWING SEASON AFTER PLANTING.



LEGEND

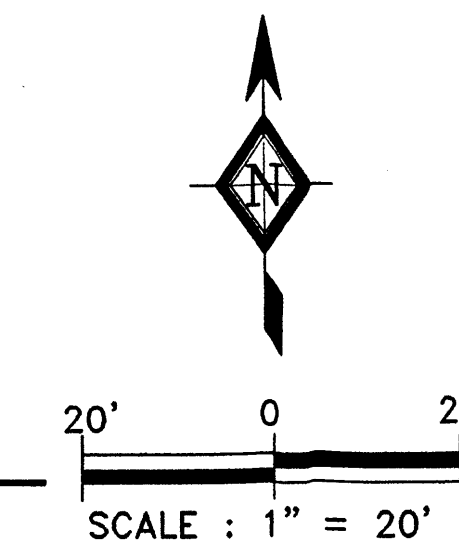
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- PROPOSED ELEV. CONTOUR
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- PROPOSED BUILDING FINISH FLOOR ELEV.
- FLOW DIRECTION
- ROOF FLOW DIRECTION
- PROPERTY LINE
- (2) CHINESE PISTACHE (PISTACIA CHINENSIS) AT MATURITY - 40'± HIGH, 30'± WIDE CANOPY
- (24) PHOTINIA (PHOTINIA FRASERI), AT MATURITY - 12'± HIGH, 12'± WIDE
- (20) HAWTHORN (RAPHIOLEPSIS "JACK EVANS"), AT MATURITY - 4'± HIGH, 6'± WIDE
- (10) APACHE PLUME (FELLUGIA PARADOXA), AT MATURITY - 4'± HIGH, 5'± WIDE
- (18) RUSSIAN SAGE (PEROVSKIA ATRIPLICIFOLIA), AT MATURITY - 5'± HIGH, 5'± WIDE
- GROUNDCOVER -(APPROX. 85) TURKISH SPEEDWELL (VERONICA LIWANENSIS), AT MATURITY - 3"± HIGH, 3'± WIDE
- 2"-4" SANTA ANA TAN COBBLE

NOTE: ALL SHRUB PLANTING AREA SHALL BE TOP DRESSED WITH 3/4" SANTA FE BROWN ROCK MULCH

LANDSCAPING CALCULATIONS

TOTAL SITE AREA:	38,592 SF
TOTAL BUILDING AREA:	9,858 SF
NET SITE AREA:	28,734 SF
REQUIRED LANDSCAPING AREA (15%):	4,310 SF
PROVIDED LANDSCAPING AREA (18.1%):	5,202 SF

LANDSCAPING PLAN



	RHOMBUS P.A., INC. FACILITIES ENGINEERS/ ENVIRONMENTAL CONSULTANTS	PROJECT TITLE:	WAREHOUSE BUILDING	
	e-mail: rhombus@nmia.com web site: www.RHOMBUSPA.COM 2620 San Mateo NE Suite B Albuquerque, NM 87110 TEL. (505) 881-6890 FAX (505) 881-6896	6205 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO		SHEET TITLE:
CELIA S. TOMLINSON, PE	DRAWN BY: RG CHECKED BY: CT FIELD WORK BY: DATE: 6/13/2005	MAP NO: C-18-Z RHOMBUS JOB NO: 05-C2-10	SHEET: C-3	

DRB SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
APPROVED BY DRB
 ON _____

WATER UTILITY DEPARTMENT _____ Date _____

PARKS AND RECREATION DEPARTMENT _____ Date _____

CITY ENGINEER _____ Date _____
Michael Helton 5-24-05

SOLID WASTE MANAGEMENT _____ Date _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ Date _____

IS AN INFRASTRUCTURE LIST REQUIRED? YES (Y) NO (N) _____
 IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING 6" HIGH CMU WALL TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
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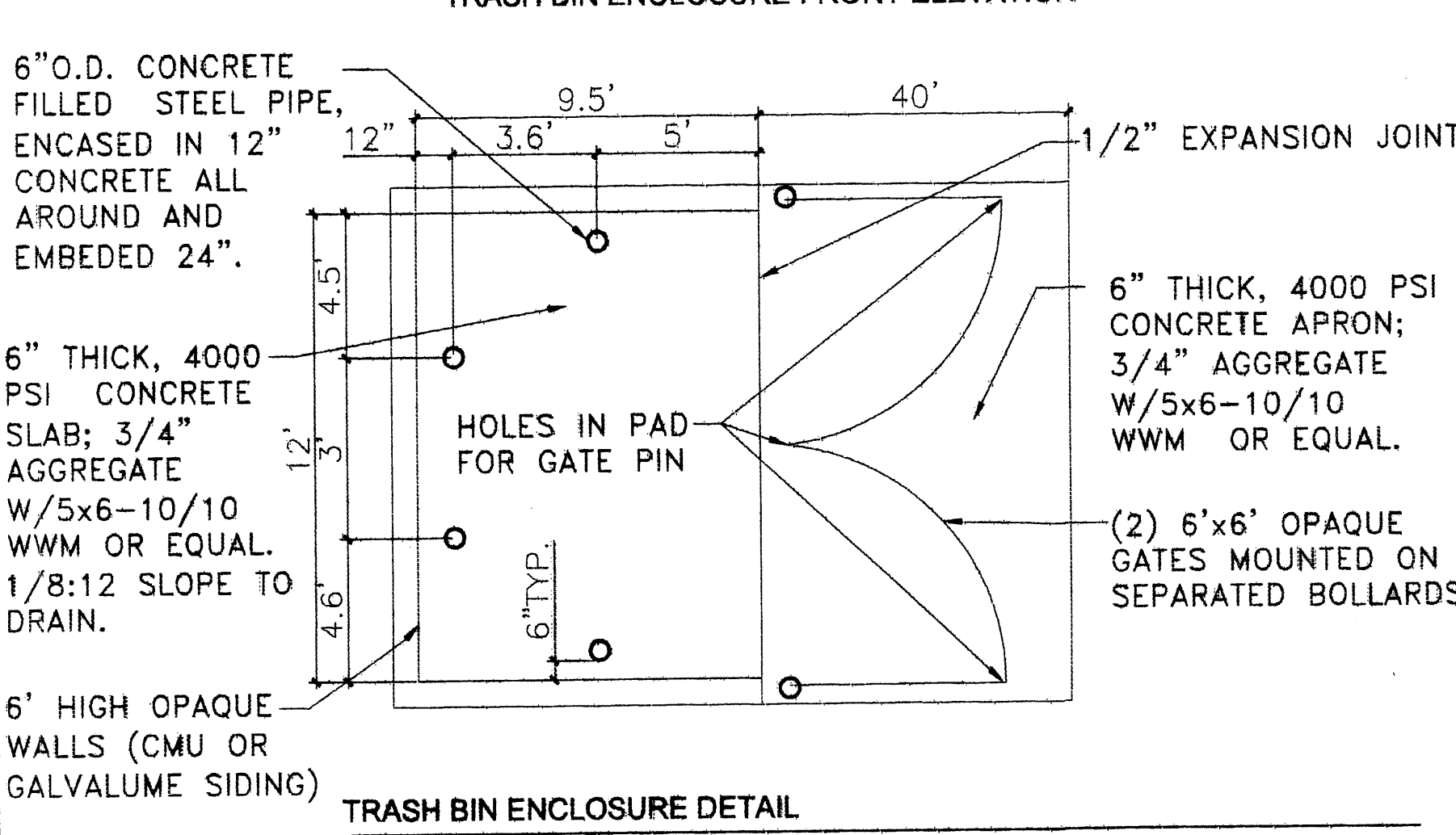
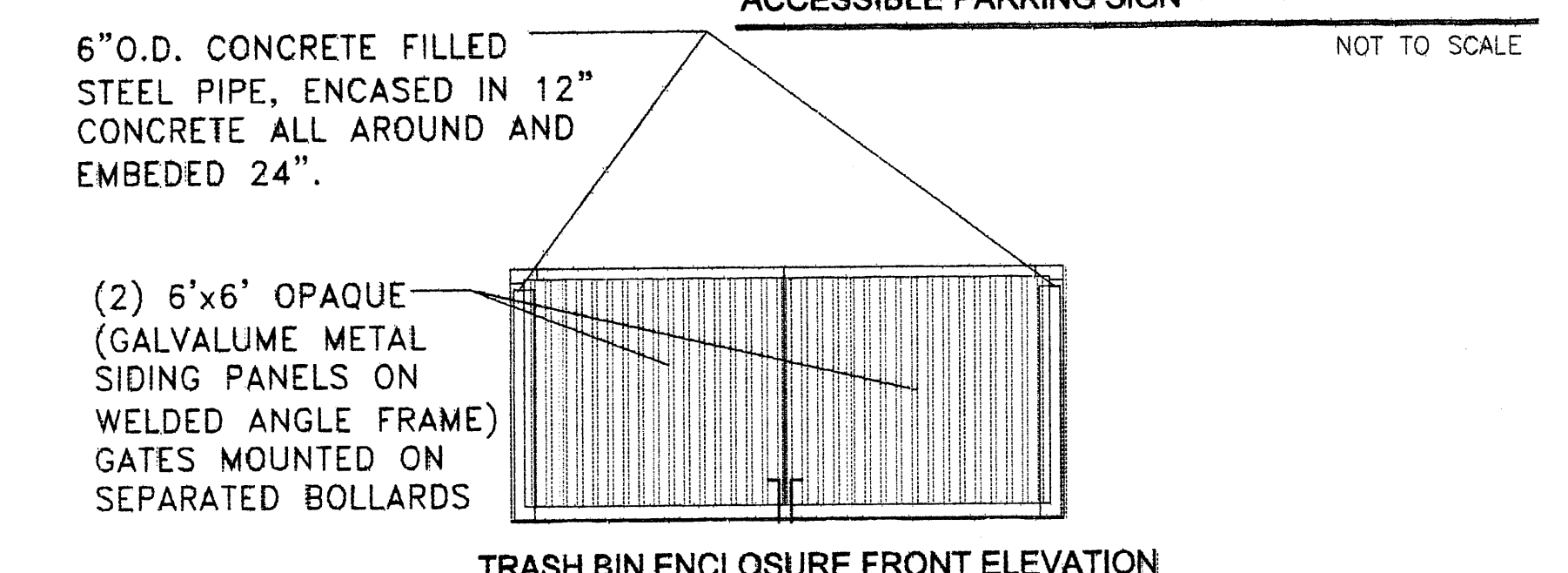
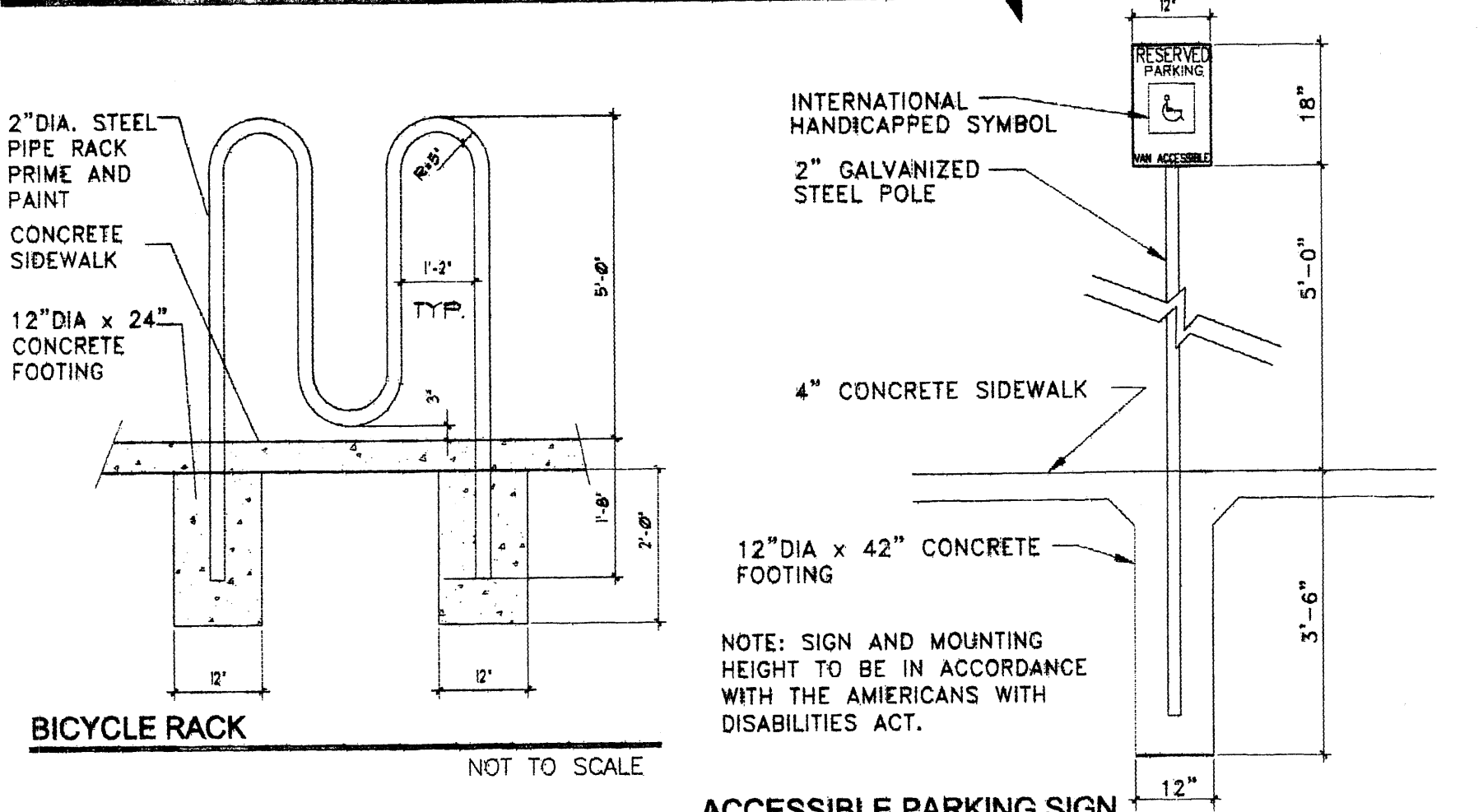
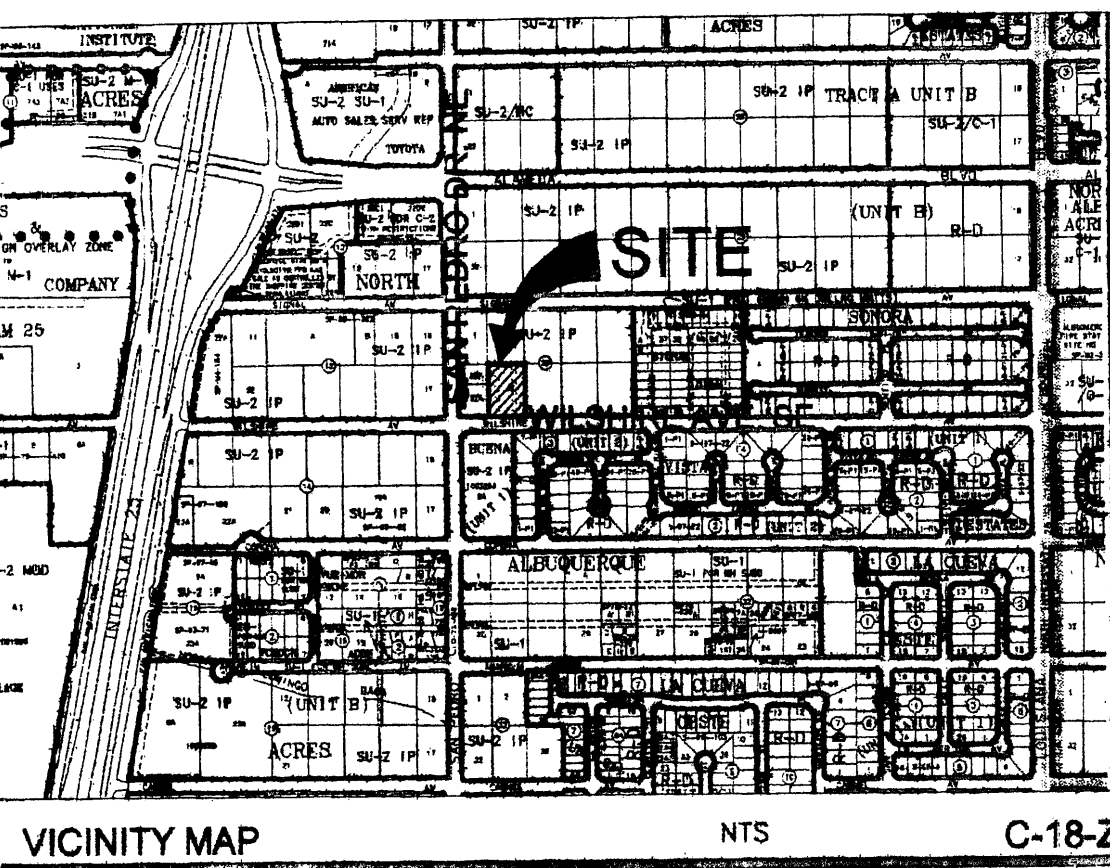
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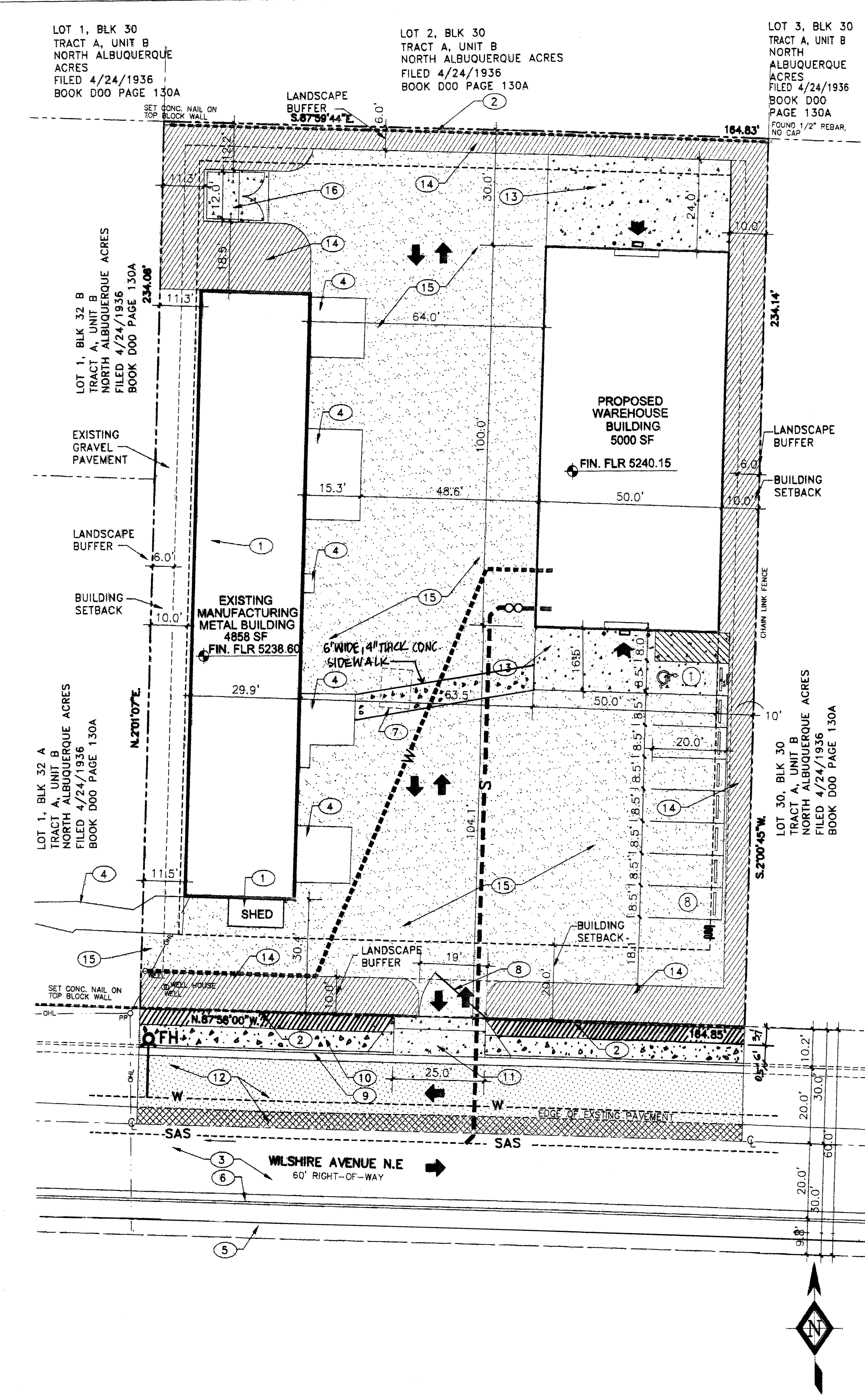
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NOTICE TO CONTRACTOR

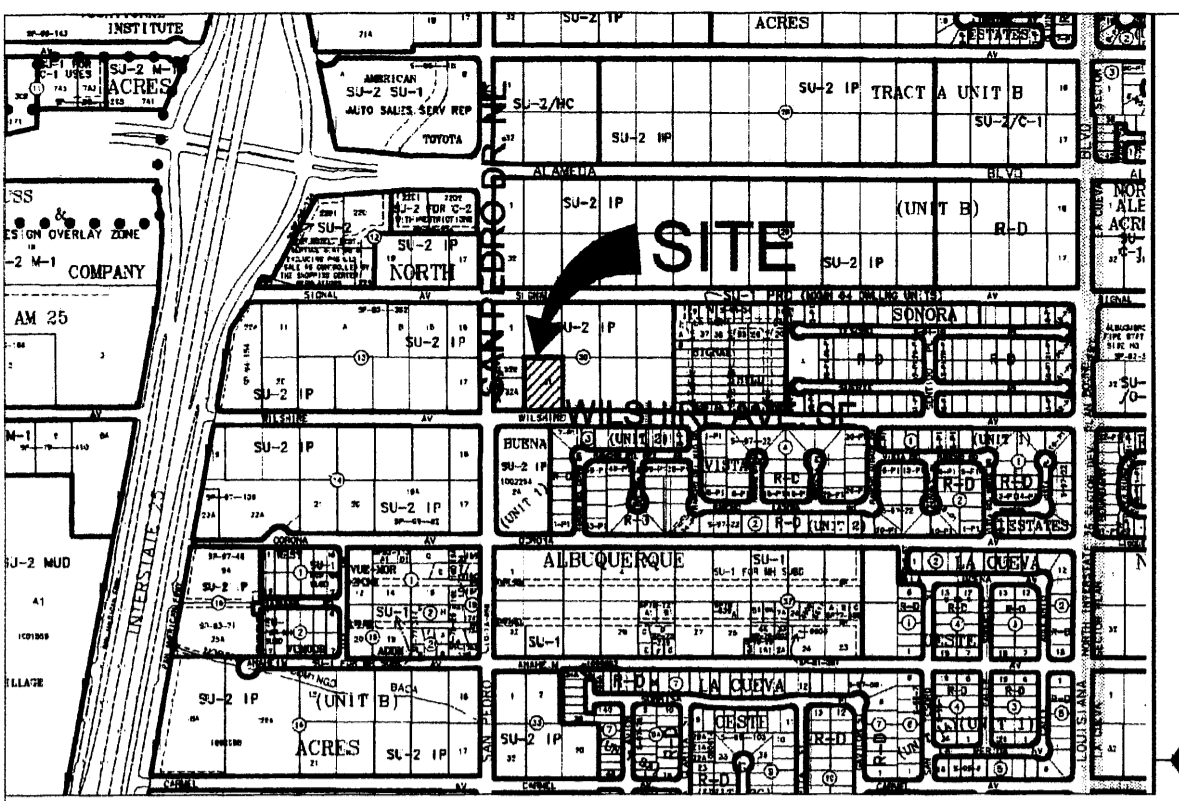
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SITE PLAN
 SCALE: 1" = 20'

REVISED 6/6/2005 CELIA S. TOMLINSON, PE	RHOMBUS P.A., INC. FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS e-mail: rhombus@nmia.com web site: www.RHOMBUSPA.COM 2620 San Mateo NE Suite B Albuquerque, NM 87110 TEL. (505) 881-8690 FAX (505) 881-8896	PROJECT TITLE: WAREHOUSE BUILDING 6205 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TRAFFIC CIRCULATION LAYOUT MAP NO: C-18-Z RHOMBUS JOB NO: 05-C2-10 SHEET C-1
DRAWN BY: RG CHECKED BY: CT FIELD WORK BY: RHOMBUS P.A. INC. DATE: 5/23/2005		

R.C. Sanchez 5-24-05



VICINITY MAP NTS C-18-Z

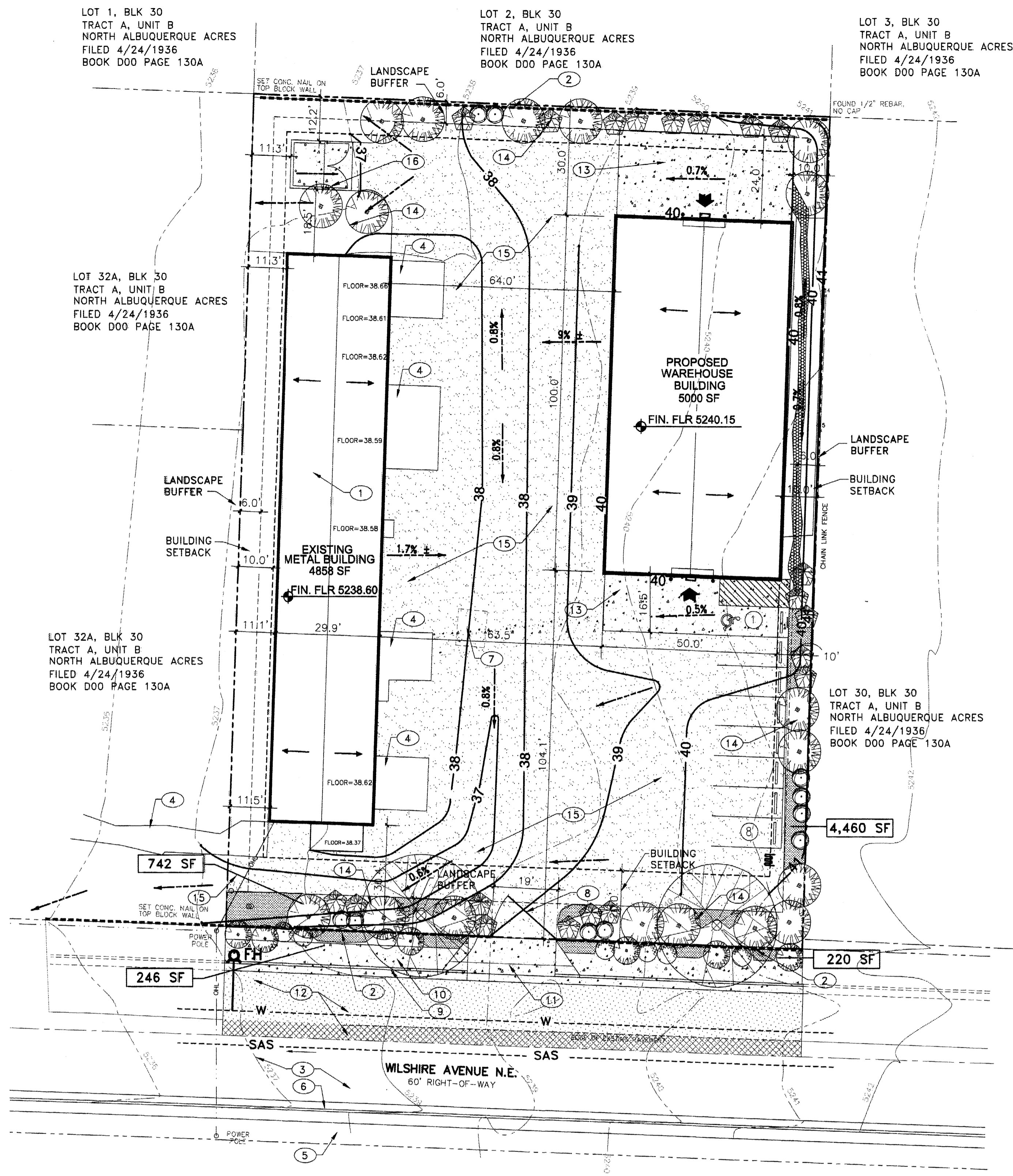
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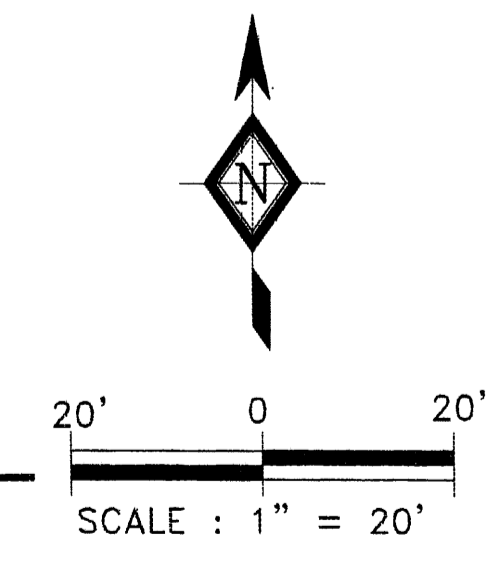
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2. APPROVAL OF THIS PLAN SHALL NOT IMPLY OR CONSTITUTE EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER WASTE AND LANDSCAPING ORDINANCES. WATER MANAGEMENT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.
3. THE OWNER SHALL PRUNE AND TRIM TREES UNDER OVERHEAD POWER LINES IN CLOSE COORDINATION AND PER UTILITY COMPANY'S REQUIREMENTS.
4. LANDSCAPING MATERIAL WHICH DIES SHALL BE REPLACED BY THE OWNER ON TERMS DEFINED IN THE CITY OF ALBUQUERQUE ZONING, PLANNING AND BUILDING CODE.
5. ALL AREAS NOT COVERED WITH LIVING, DROUGHT-RESISTANT, VEGETATIVE MATERIALS, SHALL BE COVERED WITH 3/4" SANTA FE BROWN ROCK MULCH OR CRUSHER FINES OVER A COMMERCIAL GRADE WEED BARRIER FABRIC.
6. MINIMUM ACCEPTABLE PLANT SIZES:
TREES: TWO INCHES IN CALIPER MEASURED SIX INCHES ABOVE GRADE, OR 10-12 FEET IN HEIGHT, W/MATURE CANOPY DIAMETER 25" MINIMUM.
SHRUBS AND LOW-GROWING EVERGREENS: FIVE OR ONE GALLON
GROUND COVER AND TURF: ADEQUATE TO PROVIDE GENERAL GROUND COVERAGE WITHIN ONE GROWING SEASON AFTER PLANTING.



LANDSCAPING PLAN



LEGEND

- PROPOSED CONCRETE PAVEMENT AREA
- PROPOSED ASPHALT PAVEMENT AREA
- PROPOSED CRUSHER FINES PAVEMENT AREA
- PORTION OF EXISTING ASPHALT PAVEMENT TO BE REMOVED
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN, SEE DETAIL SHEET C-1.
- NEW PARKING SPACE; 4" WIDE WHITE STRIPE SPACE MARKING
- HC SYMBOL PAVEMENT MARKING
- INSTALL NEW BLDG WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- BOLLARD, 6" O.D. STEEL PIPE, CONCRETE FILLED, ENCASED IN 12" DIA CONCRETE ALL AROUND AND EMBEDDED 24"
- PROPOSED NEW FIRE HYDRANT
- EXISTING WATER LINE TO REMAIN
- EXISTING SEWER LINE TO REMAIN
- PROPOSED ELEV. CONTOUR
- EXISTING ELEV. CONTOUR TO REMAIN
- PROPOSED BUILDING FINISH FLOOR ELEV.
- FLOW DIRECTION
- ROOF FLOW DIRECTION
- PROPERTY LINE
- (2) CHINESE PISTACHE (PISTACIA CHINENSIS) AT MATURITY - 40'± HIGH, 30'± WIDE CANOPY
- (24) PHOTINIA (PHOTINIA FRASERI), AT MATURITY - 12'± HIGH, 12'± WIDE
- (20) HAWTHORN (RAPHIOLEPSIS "JACK EVANS"), AT MATURITY - 4'± HIGH, 6'± WIDE
- (10) APACHE PLUM (FELLUGIA PARADOXA), AT MATURITY - 4'± HIGH, 5'± WIDE
- (6) RUSSIAN SAGE (PEROVSKIA ATRIPLICIFOLIA), AT MATURITY - 5'± HIGH, 5'± WIDE
- GROUNDCOVER -(APPROX. 85) TURKISH SPEEDWELL (VERONICA LIWANENSIS), AT MATURITY - 3"± HIGH, 3'± WIDE
- 2"-4" SANTA ANA TAN COBBLE

NOTE: ALL SHRUB PLANTING AREA SHALL BE TOP DRESSED WITH 3/4" SANTA FE BROWN ROCK MULCH

LANDSCAPING CALCULATIONS

TOTAL SITE AREA:	38,592 SF
TOTAL BUILDING AREA:	9,858 SF
NET SITE AREA:	28,734 SF
REQUIRED LANDSCAPING AREA (15%):	4,310 SF
PROVIDED LANDSCAPING AREA (18.1%):	5,202 SF

		RHOMBUS P.A., INC. FACILITIES ENGINEERS • ENVIRONMENTAL CONSULTANTS	PROJECT TITLE:
		e-mail: rhombus@nmaia.com web site: www.RHOMBUSPA.COM 2620 San Mateo NE Suite B Albuquerque, NM 87110 TEL. (505) 881-6690 FAX (505) 881-6896	WAREHOUSE BUILDING 6205 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO
DRAWN BY: RG CHECKED BY: CT FIELD WORK BY: DATE: 6/6/2005	MAP NO: C-18-Z RHOMBUS JOB NO: 05-C2-10 SHEET: C-3	SHEET TITLE: LANDSCAPING PLAN	

DRAINAGE AND GRADING PLAN

FOR
LOT 31, BLOCK 30, TRACT A, UNIT B
 NORTH ALBUQUERQUE ACRES
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY
 NEW MEXICO

LEGAL DESCRIPTION

Lot 31, Block 30, Tract A, Unit B, North Albuquerque Acres Subdivision,
 City of Albuquerque, New Mexico

FLOOD HAZARD ZONE

Lot A is located in Flood Hazard Zone X (i.e., Areas determined to be outside
 500-year floodplain) designated on the Federal Emergency Management Agency's
 (FEMA's) Flood Insurance Rate Map Panel No. 35001C0357E (November 19, 2003).

DRAINAGE ANALYSIS

REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 -
 Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event

Precipitation Zone 4 (Table A-1)

Excess Precipitation (Table A-8):

$E_1 = 0.80$ in (Land Treatment 'A'), $E_2 = 1.08$ in (Land Treatment 'B')
 $E_3 = 1.46$ in (Land Treatment 'C'), & $E_4 = 2.64$ in (Land Treatment 'D')

Peak Discharge (Table A-9):

$Q_{P1} = 2.20$ ft³/sec-acre (Land Treatment 'A')
 $Q_{P2} = 2.92$ ft³/sec-acre (Land Treatment 'B')
 $Q_{P3} = 3.73$ ft³/sec-acre (Land Treatment 'C')
 $Q_{P4} = 5.25$ ft³/sec-acre (Land Treatment 'D')

On-Site 'Existing' Conditions:

Total Site Area = 38,589 ft² x 1 acre/43,560 ft² = 0.8859 acres
 80.04% Land Treatment 'C', 19.96% Land Treatment 'D' (Table A-4)

Weighted E = $((E_3 \times 0.7091 \text{ acres}) + (E_4 \times 0.1768 \text{ acres})) / 0.8859 \text{ acres}$
 = 1.696 in

$V_{360} = 1.696 \text{ in} \times 0.8859 \text{ acres} \times 1 \text{ ft}/12 \text{ in}$
 = 0.1252 acre-ft x 43,560 ft²/acre
 = 5452 ft³

Total $Q_p = (Q_{P3} \times 0.7091 \text{ acres}) + (Q_{P4} \times 0.1768 \text{ acres})$
 = 3.57 ft³/sec

On-Site 'Post Development' Conditions:

9.09% Land Treatment "B", 70.00% Treatment 'C', 20.91% Treatment 'D'

Weighted E = $((E_2 \times 0.0805 \text{ acres}) + (E_3 \times 0.6201 \text{ acres}) + (E_4 \times 0.1853 \text{ acres})) / 0.8859 \text{ acres}$
 = 1.672 in

$V_{360} = (1.672 \text{ in} \times 0.8859 \text{ acres}) \times 1 \text{ ft}/12 \text{ in}$
 = 0.1234 acre-ft x 43,560 ft²/acre
 = 5375 ft³

Total $Q_p = (Q_{P2} \times 0.0805 \text{ acres}) + (Q_{P3} \times 0.6201 \text{ acres}) + (Q_{P4} \times 0.1853 \text{ acres})$
 = 3.52 ft³/sec

Off-Site 'Existing' Conditions:

Offsite Drainage Basin: Vacant lot, undeveloped except for some dirt tracks and
 parking of trucks and other vehicles (2003 aerial photo) plus adjacent Wilshire ROW

Drainage Basin Area = 149,587 ft² x 1 acre/43,560 ft² = 3.4340 acres
 71.07% Land Treatment 'A', 18.63% Treatment 'C', 10.30% Treatment 'D',

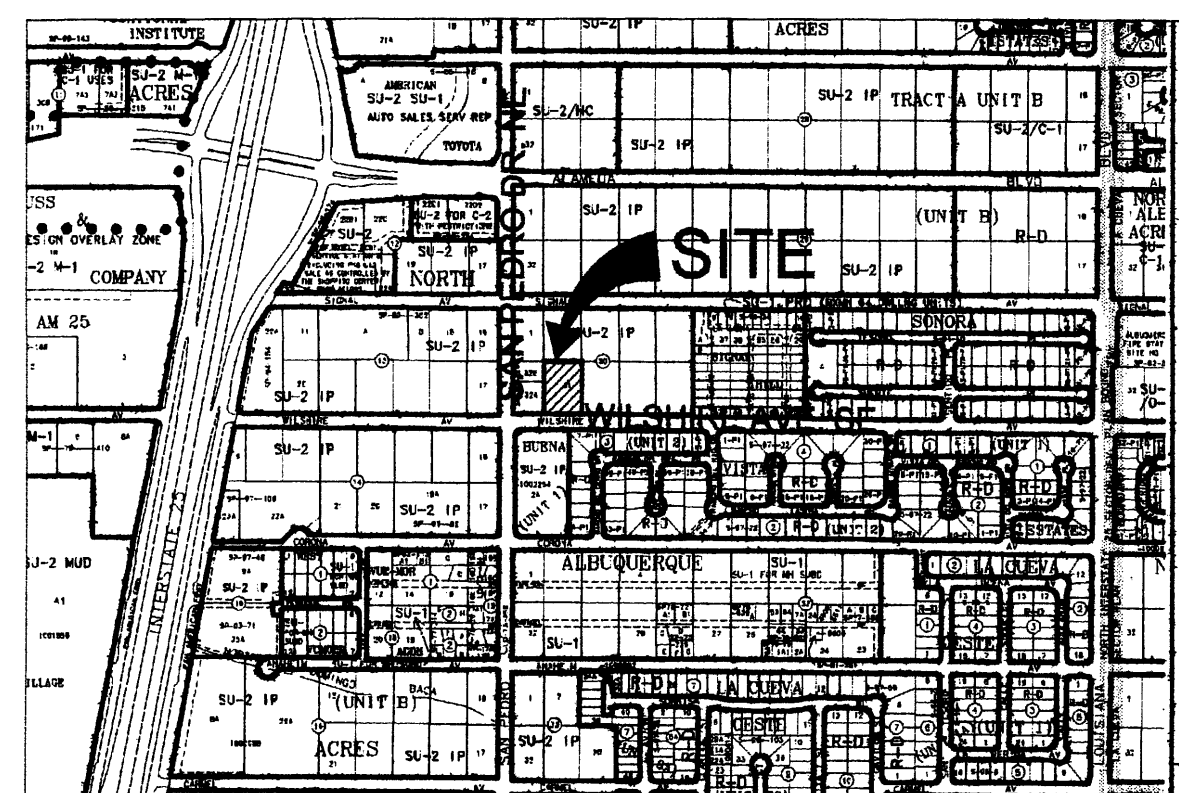
Weighted E = $((E_1 \times 0.24407 \text{ acres}) + (E_3 \times 0.6398 \text{ acres}) + (E_4 \times 0.3535 \text{ acres})) / 3.4340 \text{ acres}$
 = 1.112 in

$V_{360} = (1.112 \text{ in} \times 3.4340 \text{ acres}) \times 1 \text{ ft}/12 \text{ in}$
 = 0.3182 acre-ft x 43,560 ft²/acre
 = 13,867 ft³

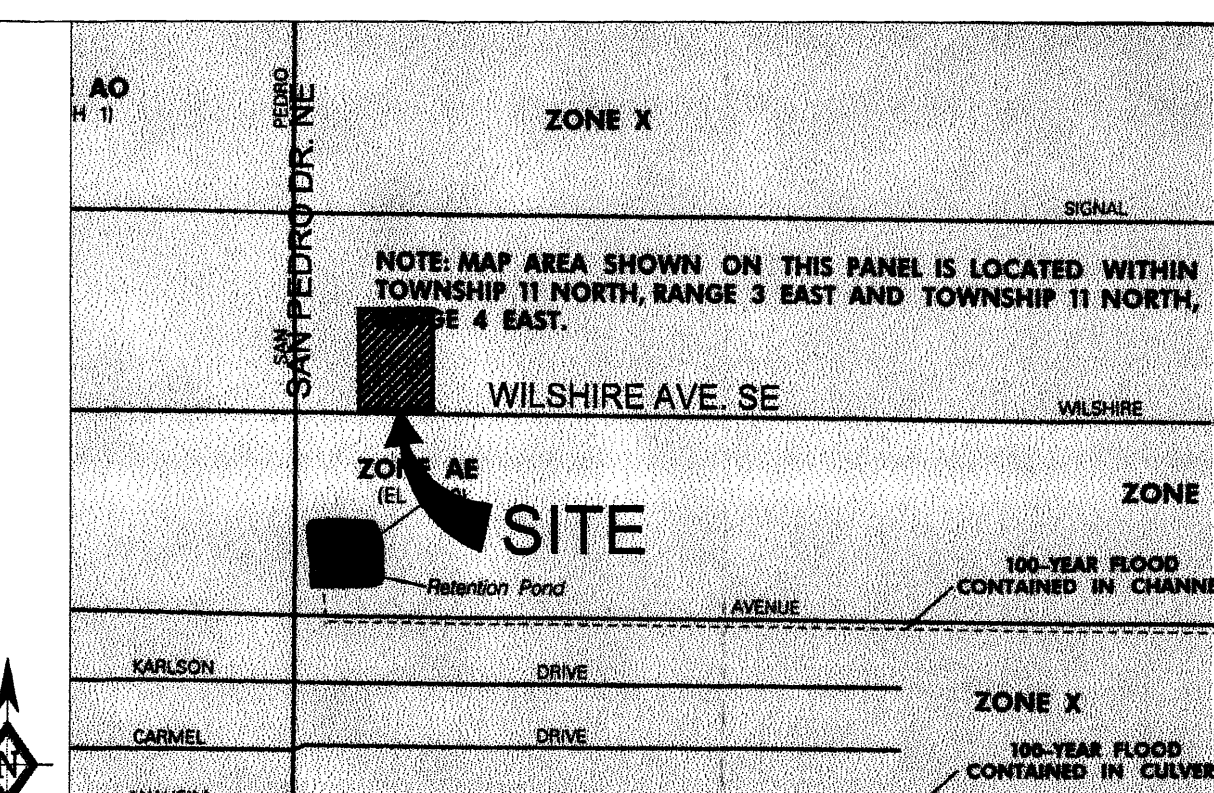
Total $Q_p = (Q_{P1} \times 2.4407 \text{ acres}) + (Q_{P3} \times 0.6398 \text{ acres}) + (Q_{P4} \times 0.3535 \text{ acres})$
 = 9.61 ft³/sec

Offsite flow reaches the site only from the lot adjacent on the east
 and part of the road right of way (Wilshire) next to it. There is a
 gentle ridge running east-west at about the center of this lot. This
 water will either be accepted onto the site or diverted to Wilshire. It
 is likely that runoff from the north part will be accepted onto the
 project site without mitigation and that runoff from the south part
 and Wilshire ROW will be diverted onto Wilshire, which is basically
 where it would head after passing through the site. However, this
 flow may also be passed through the project site.

As demonstrated by the calculations presented herein, the proposed
 new building, in combination with the new landscaping, will not
 increase the peak discharge from the project site. The proposed
 building addition will not create an additional impact on the capacity
 of the adjacent streets or any downstream channel; therefore,
 continued free discharge from the subject site is recommended.



VICINITY MAP NTS C-18-Z



FIRM MAP NTS 35001C0357 E

KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING 6' HIGH CMU WALL TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE STOOP/APRON TO REMAIN
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- EXISTING WOOD SHED TO BE DEMOLISHED
- EXISTING STEEL PIPE GATE TO REMAIN
- CONSTRUCT NEW STANDARD CONCRETE CURB &
GUTTER PER COA STD DWG #2415A.
- CONSTRUCT NEW 4' WIDE CONCRETE SIDEWALK
PER COA STD DWG #2430
- CONSTRUCT NEW CONCRETE DRIVEPAD PER COA
STD DWG #2425
- REMOVE PORTION OF EXISTING ASPHALT PAVEMENT
TO EXTENT SHOWN; INSTALL NEW ASPHALT
PAVEMENT PER COA STD DRAWING AND
SPECIFICATIONS, MATCH EXISTING PAVEMENT TYPE
AND ELEVATIONS.
- CONSTRUCT NEW 4" CONCRETE APRON
- PROPOSED LANDSCAPING AREA
- PROPOSED CRUSHER FINES PAVEMENT, SEE
DETAIL THIS SHEET
- CONSTRUCT NEW CMU BLOCK TRASH BIN ENCLOSURE
PER COA SOLID WASTE DEPARTMENT SPECIFICATIONS

LEGEND

- NEW CONCRETE PAVEMENT AREA
- NEW ASPHALT PAVEMENT AREA
- NEW CRUSHER FINES PAVEMENT AREA
- LANDSCAPING AREA
- PORTION OF EXISTING ASPHALT PAVEMENT
TO BE REMOVED
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN, SEE DETAIL SHEET C-1.
- NEW PARKING SPACE; 4" WIDE
WHITE STRIPE SPACE MARKING
- HC SYMBOL PAVEMENT MARKING
- INSTALL NEW BLDG WALL MOUNTED
LIGHT FIXTURE, SEE ELECTRICAL SITE
PLAN FOR LOCATION(S)
- BOLLARD, 6" O.D. STEEL PIPE, CONCRETE
FILLED, ENCASED IN 12" DIA CONCRETE
ALL AROUND AND EMBEDDED 24"
- PROPOSED NEW FIRE HYDRANT
- EXISTING WATER LINE TO REMAIN
- EXISTING SEWER LINE TO REMAIN
- PROPOSED ELEV. CONTOUR
- EXISTING ELEV. CONTOUR TO REMAIN
- PROPOSED BUILDING FINISH FLOOR ELEV.
- FLOW DIRECTION
- ROOF FLOW DIRECTION
- EXISTING TOP OF ASPHALT ELEVATION
TO REMAIN
- EXISTING TOP OF GRADE ELEVATION
TO REMAIN
- EXISTING TOP OF CONCRETE ELEVATION
TO REMAIN
- EXISTING TOP OF CURB ELEVATION
TO REMAIN
- PROPOSED TOP OF PAVEMENT SPOT
ELEVATION
- PROPOSED TOP OF CONCRETE SLAB
SPOT ELEVATION

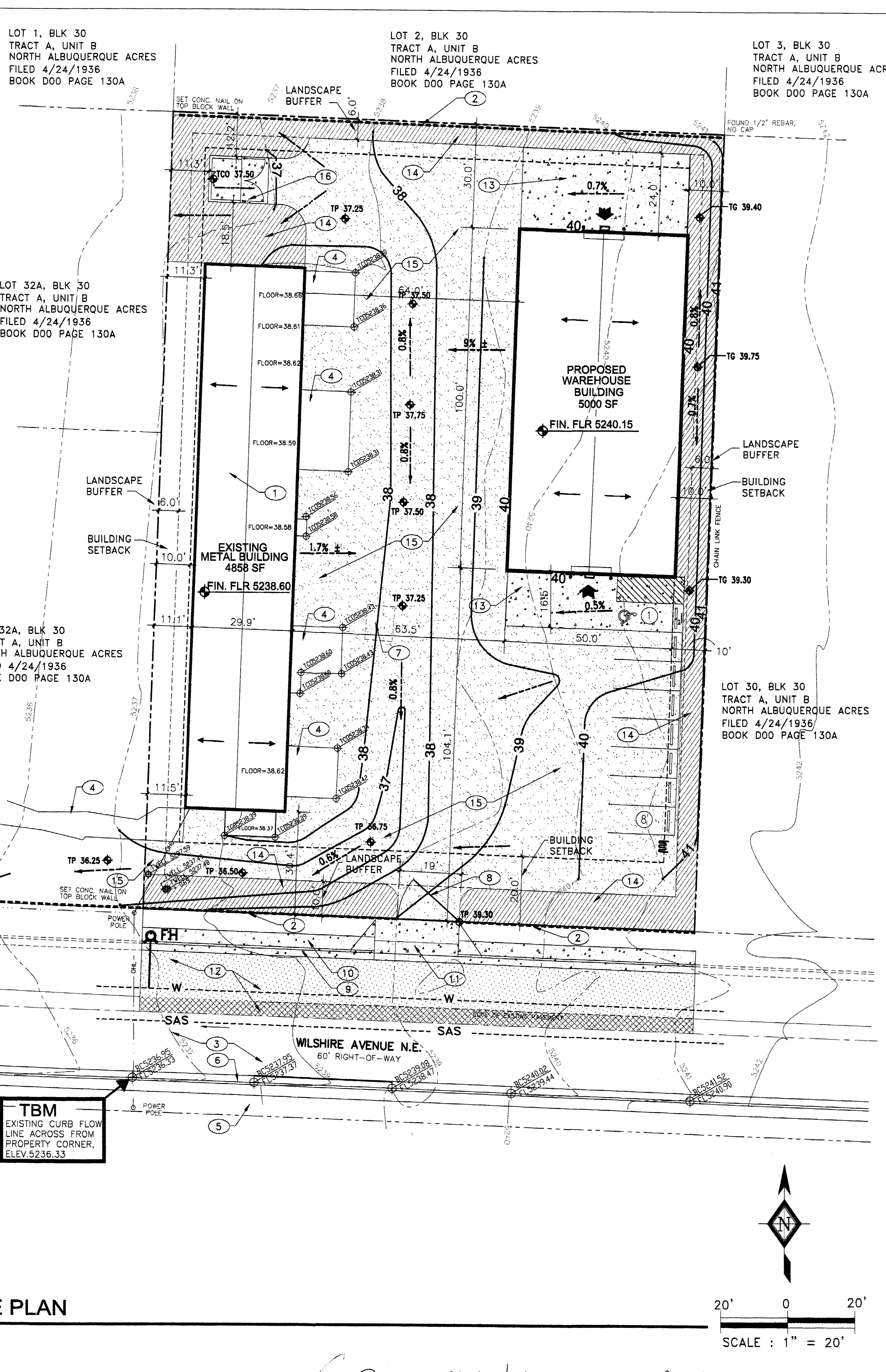
NOTE:
 ITEMS IDENTIFIED BY KEYED NOTES
 #10, 11 12 AND 13 WILL BE
 CONSTRUCTED UNDER "PROCEDURE B"
 MODIFIED, WHEN THE REMAINING
 UNDEVELOPED PORTION OF THE WILSHIRE
 AVE. NE WILL BE IMPROVED.

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET
RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS
PERMIT.
- ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED, EXCEPT AS OTHERWISE PROVIDED HEREON, IN
ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION,
1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE
(260-1009) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL
LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER
SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON
THE DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP
SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, INCLUDING TOP OF EXISTING PAVEMENT ELEVATIONS, FIN. FLOOR
ELEVATION, EXACT LOCATION OF EXISTING WROUGHT IRON GATES, LOCATION OF EXISTING UTILITY LINES, ETC., PRIOR TO COMMENCING
THE WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PROMPTLY.
- WARNING: EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE
ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER
OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED
FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS
CONSTRUCTION 1986 EDITION, AS AMENDED WITH UPDATE NO. 7.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS,
RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL
OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR COMMENCING THE WORK,
SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPES OF EXISTING UNDERGROUND UTILITY
LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR
SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION
WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND
PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES,
RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION,
WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NEW MEXICO ONE CALL SYSTEM" PROCEDURES, OR OTHERWISE.

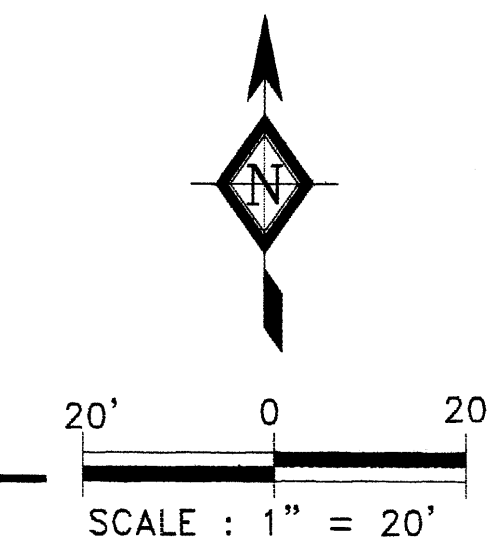


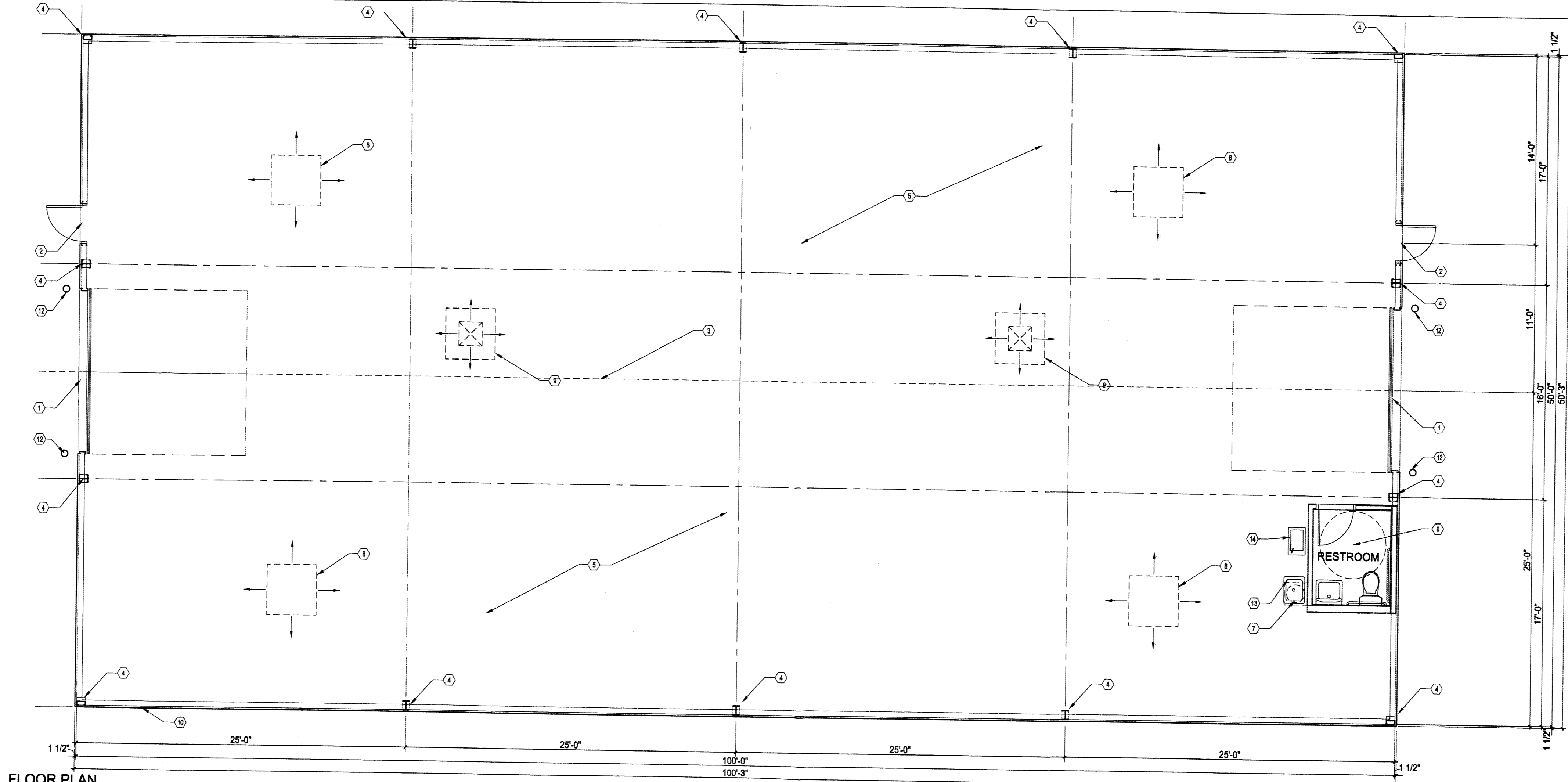
BENCHMARK:
ACS 9-C18
ELEVATION 5232.47
 ACS ALUMINUM CAP
 STAMPED "9-C18 1985",
 RIVETED TO 2 1/2" ALUM. TUBE
 PROJECTING 0.05 FT BELOW
 THE GROUND.

ENGINEERS CERTIFICATION
 I HEREBY CERTIFY THAT I HAVE PERSONALLY
 INSPECTED THE SITE AND THAT NO GRADING,
 FILLING OR EXCAVATION HAS OCCURRED SINCE
 THE DATE OF THE TOPOGRAPHIC SURVEY
 (DECEMBER 20, 2004).
 Celia S. Tomlinson
 5/3/05
 CELIA S. TOMLINSON, PE

RHOMBUS P.A., INC.
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 TEL. (505) 881-6690 FAX (505) 881-6896

PROJECT TITLE:
WAREHOUSE BUILDING
 6205 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO
 SHEET TITLE:
GRADING AND DRAINAGE
 MAP NO: C-18-Z RHOMBUS JOB NO: 05-C2-10 SHEET C-2

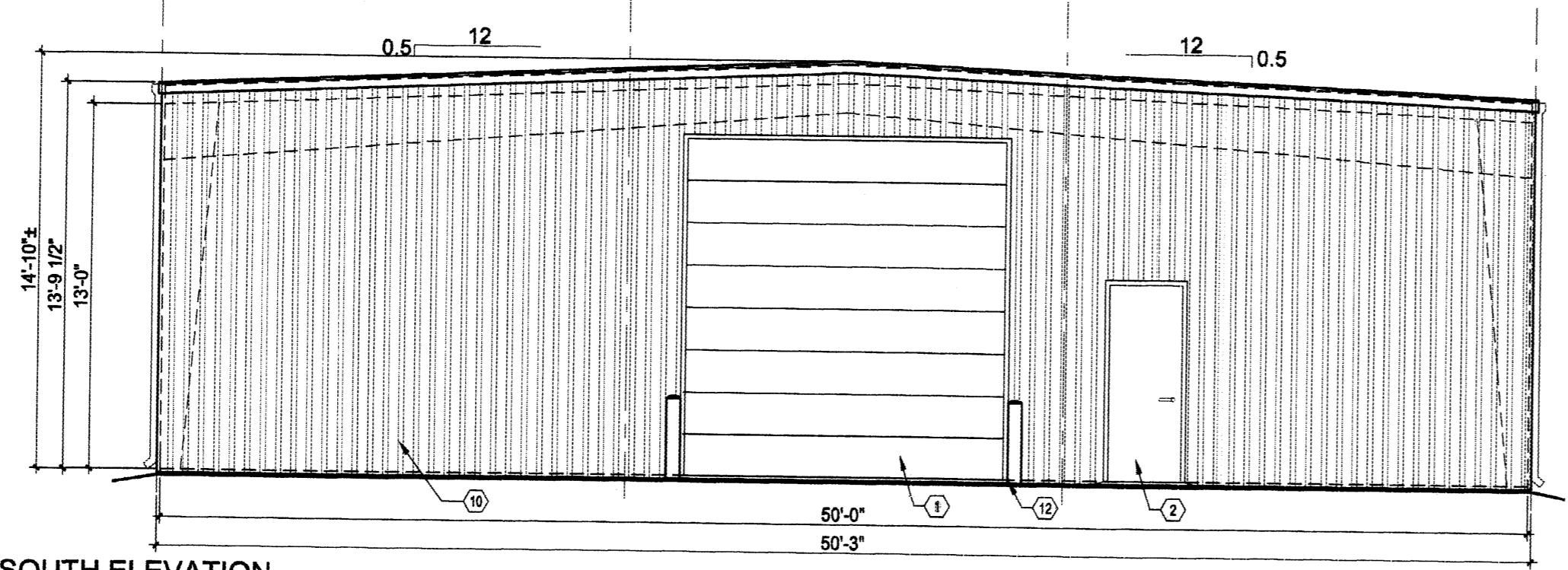




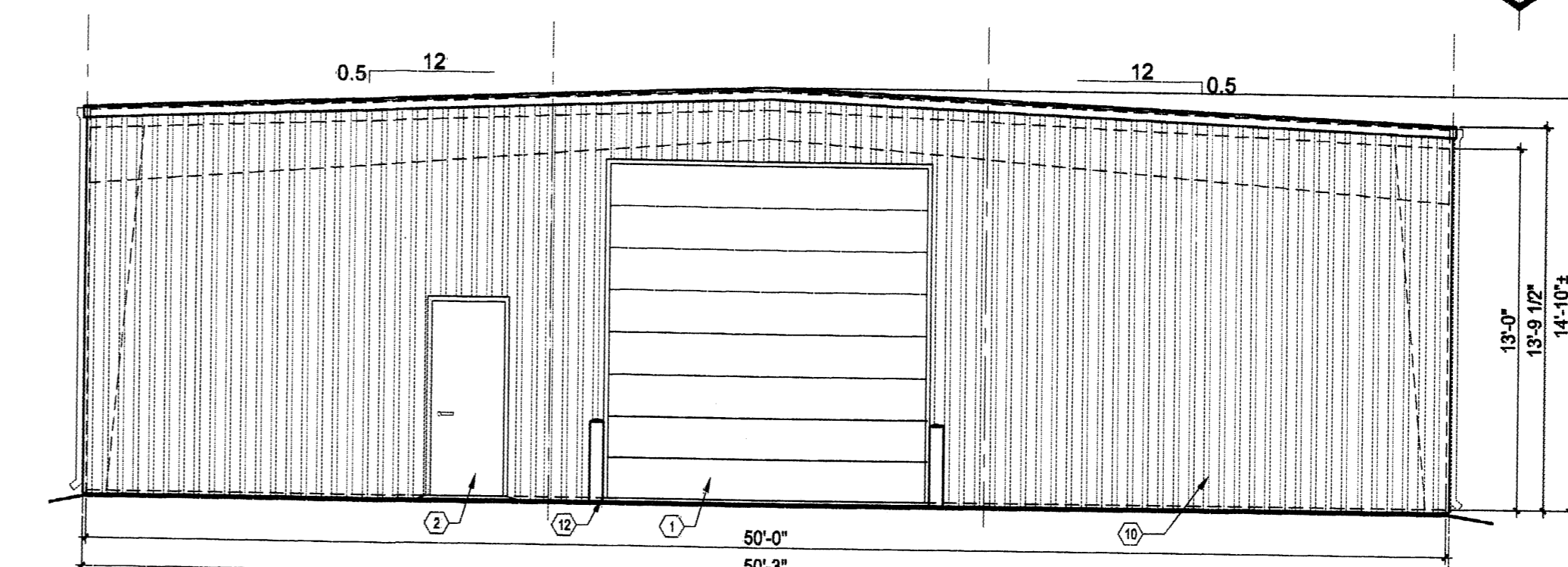
FLOOR PLAN

- KEYED NOTES:**
- 1 12x12 OVERHEAD DOOR
 - 2 3x7' DOOR
 - 3 RIDGE LINE ABOVE
 - 4 PREFABRICATED METAL BUILDING FRAME. SEE SUPPLIERS SHOP DRAWINGS FOR DETAILS.
 - 5 EXPOSED CONCRETE FLOOR
 - 6 VCT TILE FLOOR AND VINYL BASE.
 - 7 ELECTRIC WATER HEATER (SEE PLUMBING PLAN), MOUNT SHELF @ 8'-0" A.F.F.
 - 8 CEILING MOUNTED SPACE HEATER (SEE MECHANICAL PLAN)
 - 9 ROOF MOUNTED EVAPORATIVE COOLER (SEE MECHANICAL PLAN)
 - 10 METAL SIDING PER METAL BUILDING SUPPLIER.
 - 11 METAL ROOFING PER METAL BUILDING SUPPLIER.
 - 12 STEEL PIPE CONCRETE FILLED BOLLARDS, EACH OVERHEAD DOOR
 - 13 UTILITY FLOOR SINK
 - 14 DRINKING FOUNTAIN

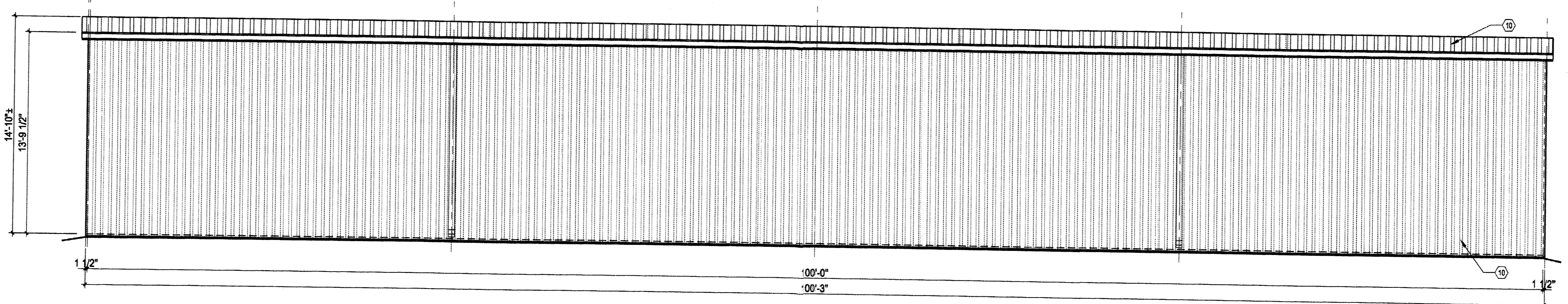
- BUILDING COLOR SCHEME**
- WALLS - METAL SIDING, "LIGHT STONE" DURA-20 BY MID-WEST STEEL
 - TRIMS, GUTTERS, DOWNSPOUTS "CHARCOAL GRAY" DURA-20 BY MID-WEST STEEL
 - DOORS MATCH SIDING
 - DOOR FRAMES MATCH TRIMS



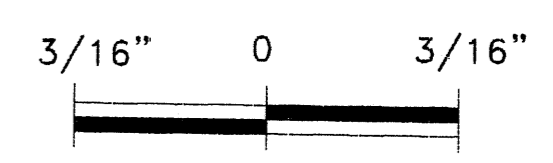
SOUTH ELEVATION



NORTH ELEVATION



EAST AND WEST ELEVATIONS



<p>Celia S. Tomlinson, PE</p>		<p>RHOMBUS P.A., INC. FACILITIES ENGINEERS • ENVIRONMENTAL CONSULTANTS</p>	<p>PROJECT TITLE: WAREHOUSE BUILDING</p>
		<p>e-mail: rhombus@nmia.com web site: www.RHOMBUSPA.COM</p> <p>2820 San Mateo NE Suite B Albuquerque, NM 87110 TEL. (505) 881-6890 FAX (505) 881-6896</p>	<p>6205 WILSHIRE AVE. N.E. ALBUQUERQUE, NEW MEXICO</p> <p>SHEET TITLE: FLOOR PLAN AND ELEVATIONS</p>
<p>DRAWN BY: RG</p>	<p>CHECKED BY: CT</p>	<p>FIELD WORK BY:</p>	<p>DATE: 6/5/2005</p>
<p>MAP NO: C-18-Z</p>	<p>RHOMBUS JOB NO: 05-C2-10</p>	<p>SHEET A-1</p>	