



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 18, 2010

Project# 1004240

10DRB-70216 MINOR - TEMP DEFR SWDK CONST
10DRB-70217 EXT OF SIA FOR TEMP DEFR SDWK CONST

JASON KENT PC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 1-P-1 THROUGH 16-P-1, **VILLAS LAS MANANITAS** zoned R-1, located on NORTHEAST CORNER OF RIO GRANDE BLVD NW & INDIAN SCHOOL NW (H-13)

At the August 18, 2010 Development Review Board meeting, the 2 year temporary deferral of sidewalk construction was approved. The two year extension for the for the temporary deferral of sidewalks was approved.

If you wish to appeal this decision, you must do so by September 2, 2010 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Jack Cloud, AICP, DRB Chair

Jason Kent, PC – 2021 Mountain Rd.NW – Albuquerque, NM 87104

Villas Las Nananitas Development, LLC – 8301 Lomas Blvd NE – Albuquerque, NM 87110

Marilyn Maldonado

file

HEARING

DATE

8-18-10 (TDS, ESIA)



transmittal memo

Date: February 25, 2009
To: Jack Cloud, Chair
Development Review Board

Via: Hand Delivery
From: Jim Strozier

Re: Las Mañanitas

Project #: 1003812/1004240

We are transmitting the following:

One copy of the Plat for the property.

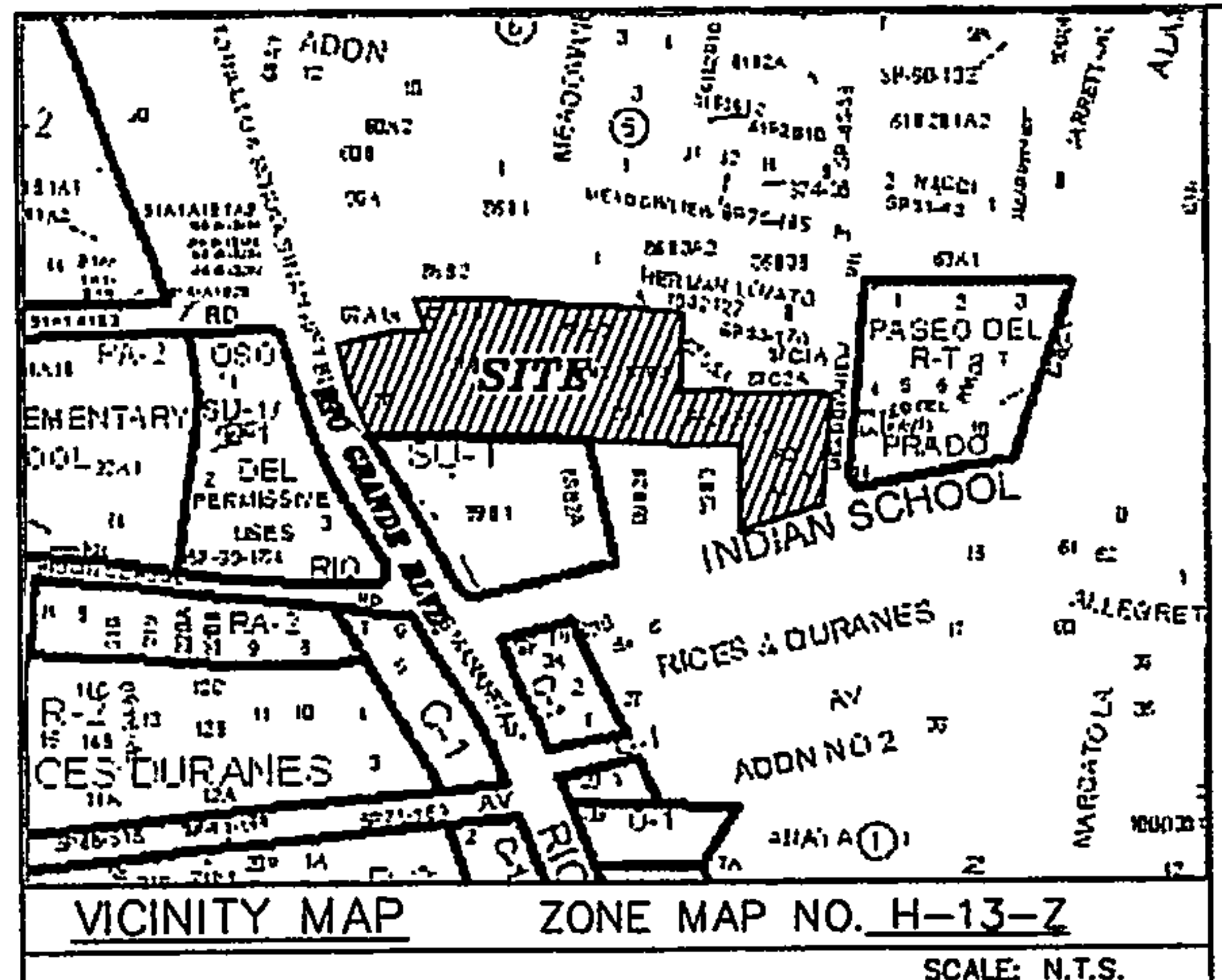
For your:

Review and Project File.

Comments:

Addresses the concern about the access easement to the residential properties to the north (See Easement Note 8).

c: Krystal Metro, Traffic Engineer (w/attachment)



VICINITY MAP ZONE MAP NO. H-13-Z SCALE: N.T.S.

DISCLOSURE STATEMENT:
 THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE EXISTING ELEVEN TRACTS INTO THREE TRACTS AND 16 LOTS, VACATE EXISTING PRIVATE ACCESS EASEMENT, AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TALOS LOG NO. 2006221776.
- BASIS OF BEARINGS IS THE BEARING BETWEEN CITY OF ALBUQUERQUE CONTROL STATIONS "7-H13" AND "8-H13"
- BEARINGS ARE NM STATE PLANE GRID, DISTANCES ARE GROUND.
- RECORDED BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
- SITE DATA: ZONING IS SU-1 FOR C-1 AND R-1.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THESE LOTS MUST BE VERIFIED AND COORDINATE WITH THE WATER RESOURCES DEPARTMENT, CITY OF ALBUQUERQUE.
- TOTAL AREA OF PROPERTY.....4.6524 ACRES
- NUMBER OF EXISTING TRACTS/LOTS.....11
- NUMBER OF TRACTS/LOTS CREATED.....19
- TRACT B IS GRANTED AS 29.26' PUBLIC SANITARY SEWER, WATERLINE PRIVATE ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1-P2 THRU 12-P2. PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT. TRACT B TO BE DEEDED TO THE HOME OWNERS ASSOCIATION.
- TRACT C IS DEDICATED AS 27.25' PRIVATE ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 13-P2 THRU 16-P2. PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT. TRACT C TO BE DEEDED TO HOME OWNERS ASSOCIATION.
- MILES OF FULL STREET CREATED.....0.0966

EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE PNM GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE COMMUNICATION, INC. FOR THE INSTALLATION, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE. INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 7, T. 10 N. R. 3 E. N.M.P.M., WITHIN THE CITY LIMITS OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE FOLLOWING:

TRACTS 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, AND 89B2A OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP 35. TOGETHER WITH:

LOTS A-1, A-2 LANDS OF E. MAES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 19, 1980, IN VOL. C17, FOLIO 46. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL HEREIN DESCRIBED, BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF RIO GRANDE BLVD. N.W., WHENCE A TIE TO ACS MONUMENT "7-H13", BEARS S. 65°34'08" W., AT A DISTANCE OF 74.79' FEET; THENCE,

FROM SAID BEGINNING POINT N. 30°15'46" W., A DISTANCE OF 160.57 FEET TO A POINT OF CURVATURE; THENCE,

NORTHWESTERLY, 284.97 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 1080.36 FEET AND A CHORD WHICH BEARS N. 22°48'24" W., A DISTANCE OF 284.14 FEET) TO A POINT OF TANGENCY; THENCE,
 N. 78°31'32" E., A DISTANCE OF 98.37 FEET TO A POINT; THENCE,
 N. 81°54'26" E., A DISTANCE OF 35.16 FEET TO AN ANGLE POINT; THENCE,
 N. 14°16'45" W., A DISTANCE OF 48.82 FEET TO AN ANGLE POINT; THENCE,
 S. 88°58'05" E., A DISTANCE OF 94.56 FEET TO A POINT; THENCE,
 S. 84°48'53" E., A DISTANCE OF 142.50 FEET TO A POINT; THENCE,
 S. 87°30'23" E., A DISTANCE OF 85.62 FEET TO A POINT; THENCE,
 S. 84°39'52" E., A DISTANCE OF 89.17 FEET TO AN ANGLE POINT; THENCE,
 S. 02°13'59" W., A DISTANCE OF 123.02 FEET TO AN ANGLE POINT; THENCE,
 S. 87°19'05" E., A DISTANCE OF 236.40 FEET TO A POINT AND THE POINT ON THE WEST RIGHT-OF-WAY LINE OF MEADOW VIEW ROAD NW.; THENCE,
 S. 08°15'22" W., A DISTANCE OF 77.51 FEET TO A POINT; THENCE,
 S. 05°02'28" W., A DISTANCE OF 76.40 FEET TO A POINT OF CURVATURE; THENCE,
 SOUTHEASTERLY, 30.13 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CHORD WHICH BEARS S. 39°43'46" W., A DISTANCE OF 28.34 FEET) TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF INDIAN SCHOOL ROAD NW.; THENCE,
 S. 74°15'04" W., A DISTANCE OF 111.96 FEET TO AN ANGLE POINT; THENCE,
 N. 00°21'02" E., A DISTANCE OF 133.19 FEET TO AN ANGLE POINT; THENCE,
 N. 88°42'21" W., A DISTANCE OF 232.41 FEET TO AN ANGLE POINT; THENCE,
 S. 11°45'59" E., A DISTANCE OF 196.55 FEET TO AN ANGLE POINT; THENCE,
 S. 74°15'04" W., A DISTANCE OF 213.92 FEET TO AN ANGLE POINT; THENCE,
 N. 79°55'26" W., A DISTANCE OF 29.63 FEET TO AN ANGLE POINT AND POINT OF BEGINNING, THE PARCEL HEREIN DESCRIBED; CONTAINING 4.6524 ACRES (202,656.49 SQUARE FEET), MORE OR LESS.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: Ed Garcia, managing member DATE: 10-16-06

OWNER(S) PRINT NAME: ED GARCIA MANAGING MEMBER FOR VILLAS LAS MAÑANITAS DEVELOPMENT, LLC.

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF OCTOBER,

20 06, BY ED GARCIA MANAGING MEMBER FOR VILLAS LAS MAÑANITAS DEVELOPMENT, LLC.

[Signature]
 NOTARY

MY COMMISSION EXPIRES:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC #1030590603342040 SEE ATTACH.

PROPERTY OWNER OF RECORD: Las Mananitas Properties LLC

BERNALILLO CO. TREASURER'S OFFICE: F. Juarez 10-31-06

**PLAT OF
 VILLAS LAS MAÑANITAS SUBDIVISION**

SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT
 PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2006

PROJECT NO. 1004240
 APPLICATION NO. 06 D26-0455 01524

UTILITY APPROVALS:

- Charles F. Brown 10-30-06
 PNM ELECTRIC SERVICES DATE
- Charles F. Brown 10-30-06
 PNM GAS SERVICES DATE
- Don Devalos 10-30-06
 QWEST TELECOMMUNICATIONS DATE
- Gene Bubar 10-27-06
 COMCAST DATE

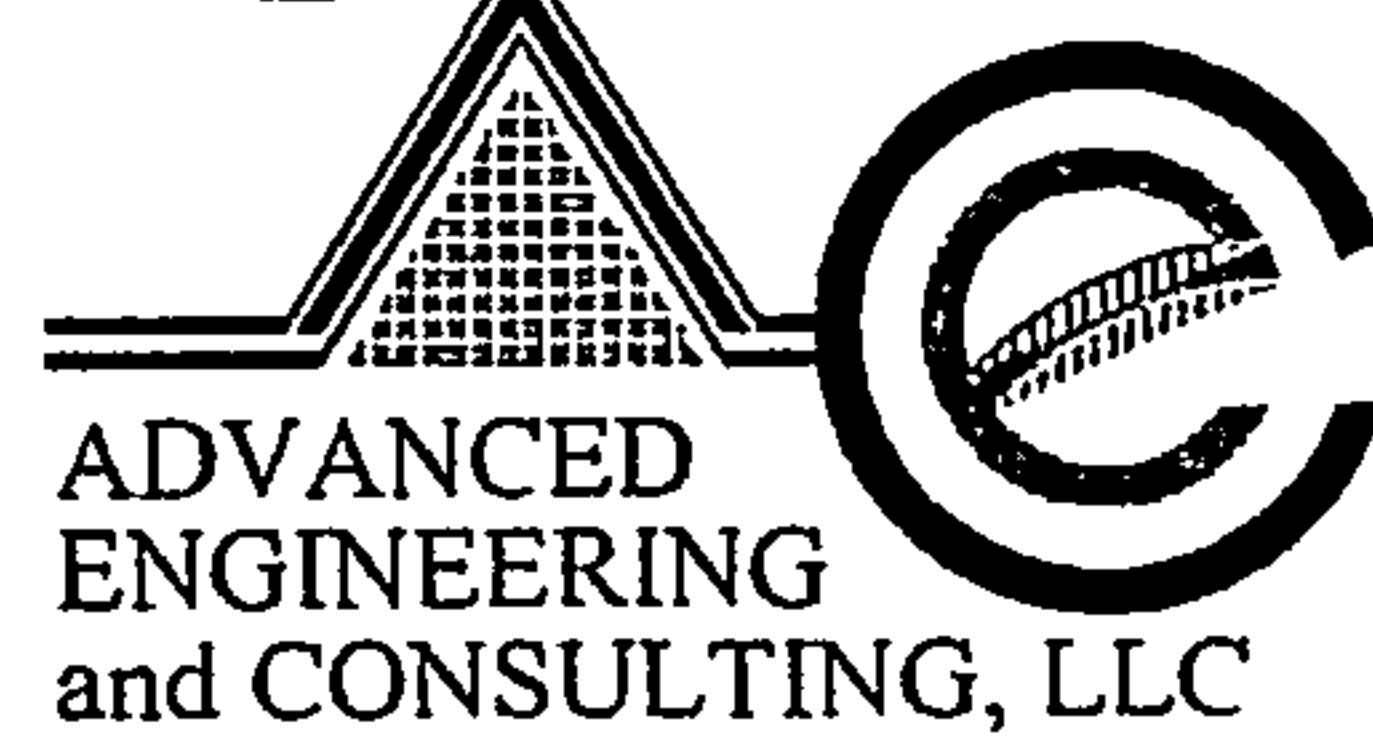
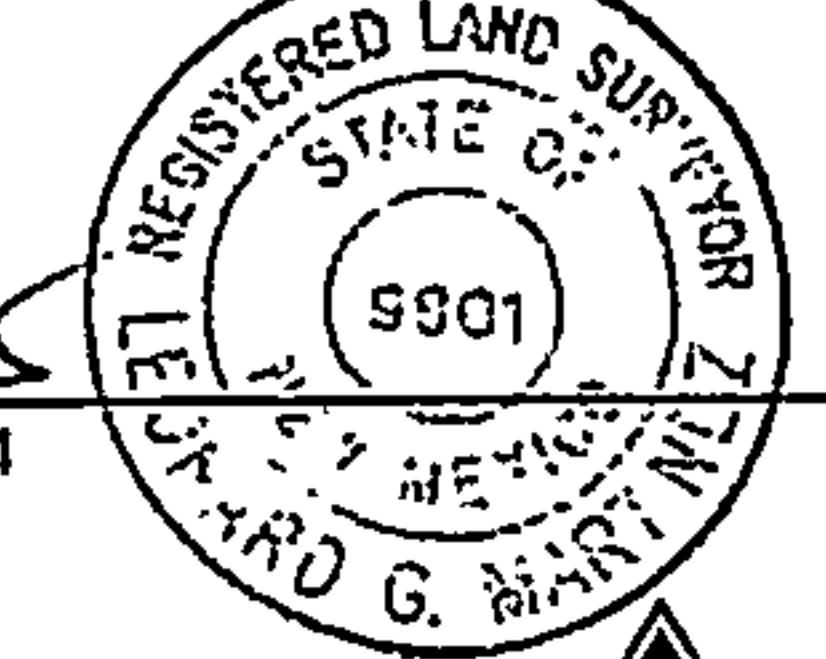
APPROVALS:

- [Signature] 10-17-06
 CITY SURVEYOR DATE
- [Signature] 10-20-06
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
- Roger J. Hoon 10-25-06
 UTILITIES DEVELOPMENT DATE
- Christina Dandoval 10/25/06
 PARKS AND RECREATION DEPARTMENT DATE
- Bradley L. Bingham 10/25/06
 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY DATE
- Bradley L. Bingham 10/25/06
 CITY ENGINEER DATE
- Andrew Garcia 10/31/06
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

SURVEYORS CERTIFICATE:

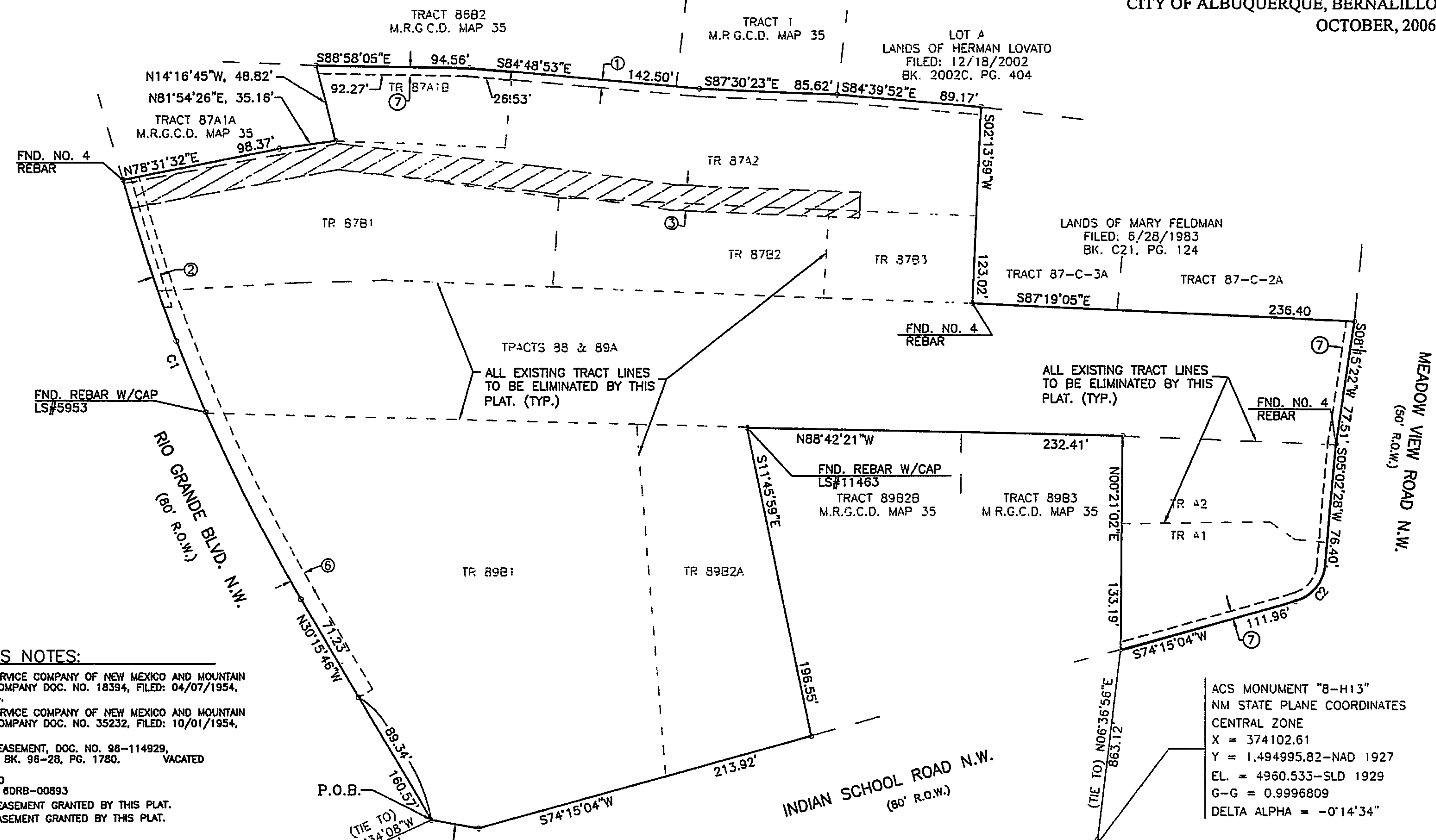
I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Leonard G. Martinez 10-16-06
 LEONARD MARTINEZ P.S. # 9801 DATE



416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

**PLAT OF
VILLAS LAS MAÑANITAS SUBDIVISION**
SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006



EASEMENTS NOTES:

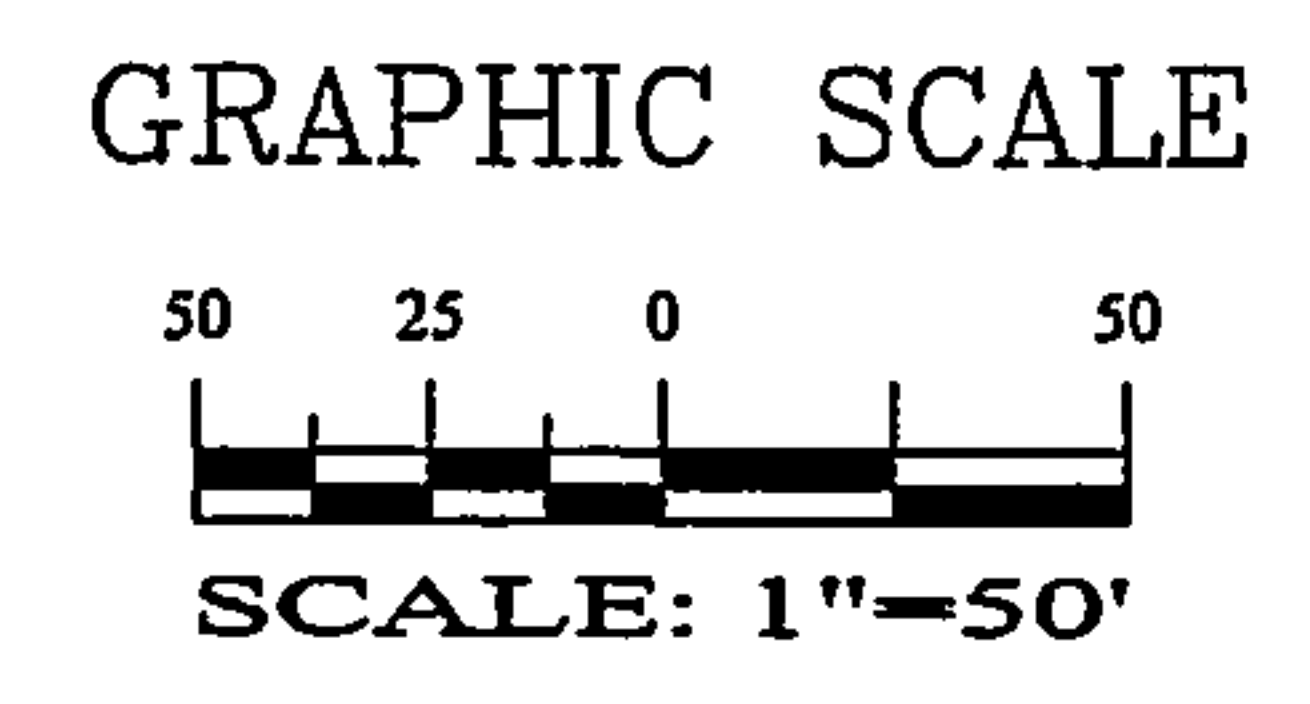
1. EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 18394, FILED: 04/07/1954, BK. D275, PG. 234.
2. EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 35232, FILED: 10/01/1954, BK. D292, PG. 335.
3. EXIST. 16' ACCESS EASEMENT, DOC. NO. 98-114929, FILED: 10/18/1996, BK. 98-28, PG. 1780. VACATED BY THIS PLAT.
PROJECT #: 1004240
VACATION ACTION #: 6DRB-00893
6. 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
7. 5' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

ACS MONUMENT "7-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 373707.44
Y = 1,495715.39-NAD 1927
EL. = 4961.715-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL. = 4960.533-SLD 1929
G-G = 0.9996809
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL. = 4960.533-SLD 1929
G-G = 0.9996809
DELTA ALPHA = -0°14'34"

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	284.97	1080.36	15°06'47"	143.32	284.14	N22°48'24"W
C2	30.13	25.00	69°02'37"	17.20	28.34	S39°43'46"W



4116 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

CITY PROJECT NO.
791581

ZONE MAP NO.
H-13-Z

SHEET 2 OF 7

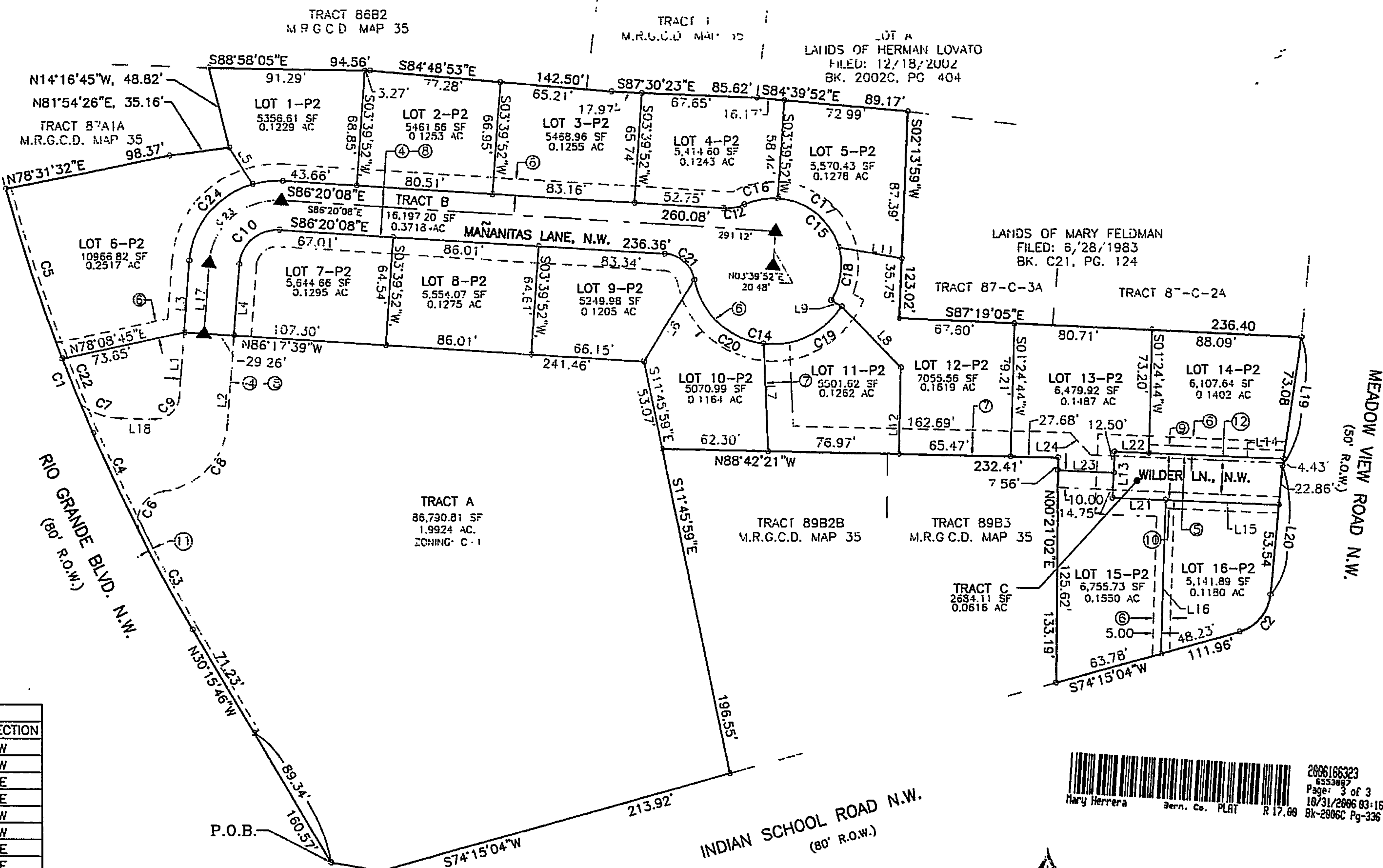
EASEMENTS NOTES:

4. 29.26' PRIVATE ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 1-P2 THRU 12-P2. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
5. 27.25' PRIVATE ACCESS AND DRAINAGE EASEMENT (TRACT C) GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 13-P2 THRU 16-P2. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
6. 10' PUBLIC UTILITY, CURB & GUTTER, AND SIDEWALK MAINTENANCE EASEMENT GRANTED BY THIS PLAT. THE PROPERTY OWNER OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
7. 15' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.
8. 29.26' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.
9. 5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 13-P2, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.
10. 5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 15-P2, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.
11. 3' PUBLIC ROAD EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.
12. 20' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.

**PLAT OF
VILLAS LAS MAÑANITAS SUBDIVISION**
SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

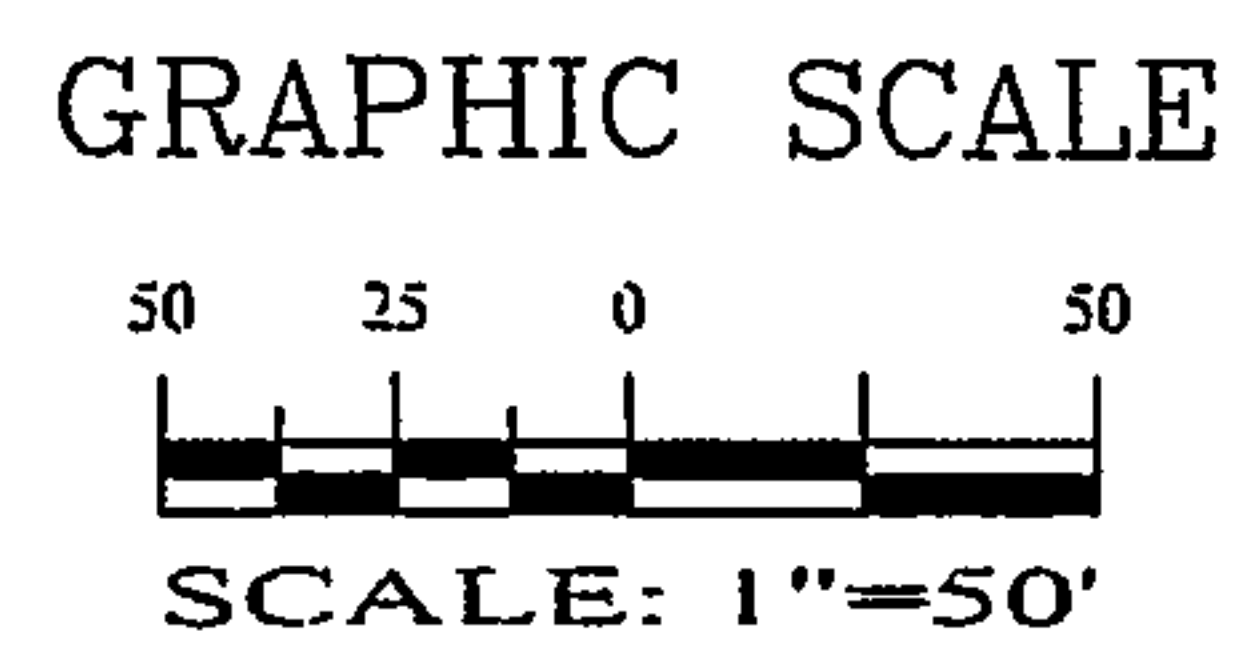
LINE	LENGTH	BEARING
L1	38.29	N04°02'50"E
L2	52.83	N04°02'50"E
L3	43.90	N04°02'50"E
L4	42.71	N04°02'50"E
L5	25.92	S31°50'58"E
L6	56.82	S31°19'50"W
L7	63.89	N02°32'00"W
L8	50.59	S44°05'11"E
L9	7.00	N58°36'54"W
L10	37.68	N79°58'03"W
L11	37.68	S79°58'03"E
L12	51.44	S01°08'15"W
L13	27.25	S02°21'38"W
L14	79.37	S87°38'22"E
L15	66.67	S87°38'22"E
L16	91.12	S01°37'18"W
L17	42.67	S04°03'14"E
L18	20.51	S88°10'17"E
L19	77.51	S08°15'22"W
L20	76.40	S05°02'28"W
L21	31.17	S87°38'22"E
L22	20.00	S87°38'22"E
L23	32.68	S87°38'22"E
L24	17.99	S42°49'10"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	284.97	1080.36	15°06'47"	143.32	284.14	N22°48'24"W
C2	30.13	25.00	69°02'37"	17.20	28.34	S39°43'46"W
C3	63.64	1080.36	3°22'30"	31.83	63.63	S28°40'32"E
C4	85.47	1080.36	4°31'59"	42.76	85.45	S24°43'18"E
C5	106.37	1080.36	5°38'29"	53.23	106.33	N18°04'15"W
C6	34.38	18.00	109°26'51"	25.44	29.39	S27°44'08"W
C7	25.62	42.00	34°57'26"	13.23	25.23	S70°41'34"E
C8	58.85	43.00	78°24'44"	35.08	54.36	N43°15'12"E
C9	21.45	14.00	87°46'53"	13.47	19.41	N47°56'17"E
C10	34.41	22.00	89°37'02"	21.85	31.01	S48°51'21"W
C11	79.77	51.00	89°37'02"	50.66	71.88	S48°51'21"W
C12	12.44	25.00	28°31'17"	12.44	12.32	N79°24'14"E
C13	11.81	8.00	84°33'20"	7.27	10.76	N44°03'28"W
C14	120.45	47.00	146°50'06"	157.83	90.09	S75°11'51"E
C15	102.10	40.00	146°14'31"	102.10	76.55	N41°44'09"W
C16	19.91	40.00	28°31'09"	19.91	19.71	S79°24'10"W
C17	49.43	40.00	70°48'21"	49.43	46.35	N50°56'05"W
C18	32.72	40.00	46°51'53"	32.72	31.81	N07°57'10"E
C19	46.03	47.00	56°06'46"	25.05	44.21	N59°26'29"E
C20	25.13	19.00	72°45'32"	14.78	23.34	N48°26'53"W
C21	59.68	47.00	72°45'32"	34.63	55.75	S46°56'24"E
C22	22.48	1080.36	1°33'49"	14.74	29.48	S21°40'24"E
C23	57.09	36.50	89°37'02"	36.26	51.45	S48°51'21"E
C24	80.18	51.26	89°37'02"	50.92	72.25	S48°51'21"W



CITY PROJECT NO. 791581
ZONE MAP NO. H-13-Z
SHEET 2A OF 7

NOTE:▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTION AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #9801".



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5370

2006166323
6533697
Page: 3 of 3
10/31/2006 03:16P
BR-2606C Pg-336

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: August 27, 2008
Zone Atlas Page: H-13
Notification Radius: 100 Ft.

Project# 1004240
App#08DRB-70347

Cross Reference and Location: MANANITAS LANE NW BETWEEN MEADOW
VIEW DR NE AND RIO GRANDE BLVD NW

Applicant: VILLAS LAS MANANITAS DEVELOPMENT LLC
8301 LOMAS BLVD NE
ALBUQUERQUE, NM 87110

Agent: ADVANCED ENGINEERING AND CONSULTING LLC
4416 ANAHEIM AVE NE
ALBUQUERQUE, NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: AUGUST 8, 2008
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Ave. NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

APPLICANT: Villas Las Mananitas Development, LLC. PHONE: (505) 821-0055
 ADDRESS: 8301 Lomas Blvd. NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Ed Garcia

DESCRIPTION OF REQUEST: Two Year Extension for SIA

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 1-P2 thru 16-P2, Tracts A thru C Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Villas Las Mananitas
 Existing Zoning: R-1 Proposed zoning: The Same MRGCD Map No _____
 Zone Atlas page(s): H-13-Z UPC Code: 101305907537021702, 101305908337021703 Please see attached for rest of the UPC codes

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 1004240, 05DRB-00918, 06DRB-01782, 06DRB-01524, 06DRB-01525, 07DRB-00357

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 17 No. of proposed lots: 17 Total area of site (acres): 4.5624 Acres

LOCATION PROPERTY BY STREETS: On or Near: Mananitas Lane NW
 Between: Meadow View Dr. NE and Rio Grand Blvd. NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Shawn Balzar DATE 08-01-08
 (Print) Shawn Balzar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB-703A7</u>	<u>SIA</u>	<u>52</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CRF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>08/27/08</u>			Total
				<u>\$ 145.00</u>

Sandy Handley 08/01/08
 Planner signature / date

Project # 1004240

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. SB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shahram Biazar
Applicant name (print)
[Signature] 8/1/08
Applicant signature / date



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
02000 - 70347
_____-_____
_____-_____

Sandy Handley 08/01/08
Planner signature / date
Project # 1004290

R e c	UPC	OWNER	OWNADD	OWNCITY	OWNS TATE	OWNZIP CODE	PR OP CL AS S	T A X DI ST	LEGALDESC	OB JEC TID
1	101305 912534 321715	HELMICK HOMES INC & WILDER SCHARLES TAF T & CECILIA MATGARITA	PO BOX 91 927	ALB UQU ERQ UE	NM	87199	V	A1 A M	LT 15-A- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONLT 15-A- P2 CONT .2731 AC	120 739
2	101305 912934 921717	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	TR C PLAT OF VILLAS LAS MA NANITAS SUBDIVISIONCONT . 0616 AC	120 740
3	101305 908334 421721	LAS MANANITAS PROPE RTIES LLC C/O ED GARC IA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	C	A1 A M	TR A PLAT OF VILLAS LAS MA NANITAS SUBDIVISIONCONT 1.9924 AC	120 741
4	101305 912935 521714	RICCOBENE BRENDAN T & SHELLY A COORS- RICCOBENE	11274 E SI ERRA PINT A DR	SCO TTS DAL E	AZ	85255	V	A1 A M	LT 14- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONCONT .1 402 AC	120 742
5	101305 907937 020416	TAFOYA CLEOFES JR & RUPERTA	2224 MEAD OW VIEW DR NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	TR 1 OF TRS 1 & 2 BEING A R EPL OF TRS 86B3A1 & 86B4 M RGCD MAP 35 CONT 0.31 ACC	128 362
6	101305 908836 820405	GARCIA EDWARD T	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	R	A1 A M	LT A PLAT OF LOTS A & B LAN DS OF HERMAN LOVATOCON T .2648 AC	128 454
7	101305 904032 421101	OSO DEL RIO LLC	2420 ROZI NANTE NW	ALB UQU ERQ UE	NM	87104	C	A1 A M	LT 3 PLAT OF LOTS 1, 2 AND 3 OSO DEL RIO CONT .7906 AC	131 415
8	101305 911534 421719	MCLEAN MICHAEL L & C HERYL K	2215 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	TR 89B3 & 89B4A MRGCD MA P 35 CONT .4400 AC	131 534
9	101305 912135 421713	STRUCK RAYNARD & MA RTA ROBLES	2205 WILD ER LN NW	ALB UQU ERQ UE	NM	87107	R	A1 A M	LT 13- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONCONT .1 487 AC	131 558
10	101305 911035 421711	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 11-A- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONLOT 11- A-P2 CONT .2883 AC	131 559
11	101305 911035 120413	FELDMAN MARK M & MA RY E	1821 MEAD OWVIEW D R NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	TR 87-C- 2A OF REDIV OF TRS 87-C- 1 & 87-C- 2 MRGCD MAP 35 NOWBEING LDS OF MARY FELDMAN CO NT 0.1879 AC	133 080
12	101305 909935 521710	LAS MANANITAS PROPE RTIES LLC % SHEILAH P GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 10- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONCONT .1 164 AC	133 131
13	101305 909336 021709	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 9- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONCONT .1 205 AC	133 132
14	101305 905029 920111	WILLIAMS CALVIN TRUS TEE WILLIAMS LVT	2414 LILAC DR NW	ALB UQU ERQ UE	NM	87104	C	A1 A M	* 004 RICE DURANES ADD #1	131 186
15	101305 910230 620206	HOWARD LORETTA ARC HEBEQUE	6831 ELON A NE	ALB UQU ERQ	NM	87113	R	A1 A M	* 023 RICES DURANES ADD # 2	125 294

				UE						
16	101305 909730 620205	LOPEZ NANCY L	2215 RICE NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	* 024 RICES DURANES ADD # 2	125 281
17	101305 909731 620219	ARAGON ERNEST C	2302 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	LOT 8 & WEST 4FT OF LOT 9 EXCEPT NORTHERLY PORTI ON TO R/W RICE DURANES N UM	135 525
18	101305 904930 520112	WILLIAMS CALVIN & MA RY E	2414 LILAC DR NW	ALB UQU ERQ UE	NM	87104	C	A1 A M	* 005 RICE DURANES ADD #1	125 280
19	101305 910638 521030	JARAMILLO BENERANDA	2217 MEAD OWVIEW N W	ALB UQU ERQ UE	NM	87104	R	A1 A M	*M REDIVISION LANDS OF BE NERANDA R JARAMILLO COM PRISING PORTIONS OF TRS 6 1B2B	134 199
20	101305 908536 021708	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 8- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONCONT .1 275 AC	136 287
21	101305 907636 121707	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 7- P2 PLAT OF VILLAS LAS MAN ANITAS SUBDIVISIONCONT .1 295 AC	136 288
22	101305 908836 521718	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	TR B PLAT OF VILLAS LAS MA NANITAS SUBDIVISIONCONT . 3718 AC	136 289
23	101305 910038 721031	SERRANO A J & SENAI D A	2219 MEAD OWVIEW P L NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	*J- 2 REDIVISION LANDS OF BEN ERANDA R JARAMILLO PORTI ON OF TRS 61B2B1C AND 61B 2B	134 190
24	101305 905237 820952	EYSTER GARY L & MELO DIE O EYSTER RVT	PO BOX 16 473	ALB UQU ERQ UE	NM	87191	V	A1 A M	LT 5 PLAT OF LOTS 1 THROU GH 7 THE BOULEVARD AT RI OGRANDE CONT .1427 AC +/-	134 124
25	101305 910835 720406	FELDMAN MARK M ETUX	1821 1/2 M EADOW VI EW DR NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	TR 87-C- 1A OF REDIV OF TRS 87-C- 1 & 87-C- 2 MRGCD MAP 35 NOWCOMP R LDS OF MARY FELDMAN C ONT 0.2287 AC	137 221
26	101305 910638 521030	JARAMILLO BENERANDA	2217 MEAD OWVIEW N W	ALB UQU ERQ UE	NM	87104	R	A1 A M	*M REDIVISION LANDS OF BE NERANDA R JARAMILLO COM PRISING PORTIONS OF TRS 6 1B2B	134 199
27	101305 904437 920951	EYSTER GARY L & MELO DIE O EYSTER RVT	PO BOX 16 473	ALB UQU ERQ UE	NM	87191	R	A1 A M	LT 6 PLAT OF LOTS 1 THROU GH 7 THE BOULEVARD AT RI OGRANDE CONT .1654 AC +/-	134 543
28	101305 903738 020950	EYSTER GARY L & MELO DIE O EYSTER RVT	PO BOX 16 473	ALB UQU ERQ UE	NM	87191	V	A1 A M	LT 7 PLAT OF LOTS 1 THROU GH 7 THE BOULEVARD AT RI OGRANDE CONT .1576 AC +/-	134 544
29	101305 911731 020209	MARTINEZ RICHARD L	2199 RANC HO SIRING O	SAN TA F E	NM	87505	R	A1 A M	* 020 RICES DURANES ADD # 2	135 129
30	101305 909731 620219	ARAGON ERNEST C	2302 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	LOT 8 & WEST 4FT OF LOT 9 EXCEPT NORTHERLY PORTI ON TO R/W RICE DURANES N UM	135 525
31	101305 912231 120210	CRAWFORD ANTHONY R AY & ANDREA S	2119 RICE AVE NW	ALB UQU ERQ	NM	87104	R	A1 A M	*19 RICES DURANES ADDN #2	135 663

				UE						
3 2	101305 905031 220113	WILLIAMS CALVIN & MARY E	2414 LILAC DR NW	ALB UQU ERQ UE	NM	87104	C	A1 A M	* 006 RICE DURANES ADD #1	135 666
3 3	101305 907231 220224	1600 LLC	151 HOP TREE TRL	COR RAL ES	NM	87048	C	A1 A M	* 03A REPL POR LTS 3 & 4 & 5 RICE'S DURANES ADDITION NO 2	135 668
3 4	101305 911030 820207	LUJAN ANTHONY WAYNE & LORRIE	1321 TABACCO RD SW	ALB UQU ERQ UE	NM	87121	R	A1 A M	LOTS 21 22 RICE DURANES ADDN NO 2	135 679
3 5	101305 902734 520317	OSO DEL RIO LLC	2420 ROZINANTE NW	ALB UQU ERQ UE	NM	87104	C	A1 A M	LOT 1 PLAT OF LOTS 1, 2, AND 3 OSO DEL RIO CONT .6340 AC	135 872
3 6	101305 912335 120513	SMITH BRUCE R & DONNA M	2133 PASEO DEL PRADO LN	ALB UQU ERQ UE	NM	87104	R	A1 A M	*4 PASEO DEL PRADO SUBD BEING A REPL OF TR A & B PUCETTI TRCONT 6,514.00 SQ FT M/L	136 277
3 7	101305 913835 120514	LIDDICOET WILLIAM B & DIANNE F TRUSTEES LIDDICOET LIVING TRUST	2127 PASEO DEL PRADO NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	*5 PASEO DEL PRADO SUBD BEING A REPL OF TR A & B PUCETTI TRCONT 4,696.93 SQ FT M/L	136 283
3 8	101305 908536 021708	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 8-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISIONCONT .1 275 AC	136 287
3 9	101305 907636 121707	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 7-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISIONCONT .1 295 AC	136 288
4 0	101305 908836 521718	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O ED GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	TR B PLAT OF VILLAS LAS MANANITAS SUBDIVISIONCONT .3718 AC	136 289
4 1	101305 902136 920810	PACHECO FIDEL ETUX	2808 NICOLAS RD NW	ALB UQU ERQ UE	NM	87104	C	A1 A M	MRGCD MAP # 35 TRACTS 91A1A1B2B, 91A1A1B2A2 & 91A1A1B2A1 CONT .2377 AC	136 811
4 2	101305 906537 920422	DUNCAN RONALD L	2226 MEADOW VIEW PL NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	MAP 35 TR 86 B1 MRGCD	137 012
4 3	101305 910835 720406	FELDMAN MARK M ETUX	1821 1/2 MEADOW VIEW DR NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	TR 87-C-1A OF REDIV OF TRS 87-C-1 & 87-C-2 MRGCD MAP 35 NOWCOMP RLDS OF MARY FELDMAN CONT 0.2287 AC	137 221
4 4	101305 906436 321701	G3 INVESTORS LLC % EDWARD T GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 6-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISIONCONT .2 517 AC	137 223
4 5	101305 910736 721706	G3 INVESTORS LLC % EDWARD T GARCIA	PO BOX 26 207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 5-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISIONCONT .1 278 AC	137 224
4 6	101305 909237 220417	LOVATO LINDA	1625 LOS ARBOLES NW	ALB UQU ERQ UE	NM	87107	R	A1 A M	MAP 35 TR 86B3 A2	137 229
4 7	101305 904836 220411	BRANCH HOLDINGS LLC	2025 RIO GRANDE BLVD NW	ALB UQU ERQ UE	NM	87107	R	A1 A M	MAP 35 TR 87A1A	137 273

48	101305905737020415	DE BACA ANITA C	1908 RIO GRANDE BLVD NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	MAP 35 TR 86B2	137345
49	101305910837020418	DEAGUERO JOSEPH A	1833 MEADOW VIEW DR NW	ALB UQU ERQ UE	NM	87104	R	A1 A M	MAP 35 TR 86B3B	137350
50	101305913837120504	PUCETTI ALICE JACQUELINE & MICHAEL D	7602 BURN SIDE CT	FALLS CHURCH	VA	22043	R	A1 A M	MAP 35 TR 63A1	137362
51	101305910636420414	ENCEE BIANCA	2427 WILLIAMS SE	ALB UQU ERQ UE	NM	87102	F	A1 A M	LT B PLAT OF LOTS A & B LANDS OF HERMAN LOVATO CONT .2500 AC	137431
52	101305915537020501	PUCETTI MICHAEL DEAN & ALICE JACQUELINE	7602 BURN SIDE CT	FALLS CHURCH	VA	22043	F	A1 A M	LTS 1, 2 & 3 PASEO DEL PRADO SUBDIVISION BEING A REPLAT OF TRACT A & B OF THE PUCETTI TRACT CONT .6757 AC	137451
53	101305909936921705	HELMICK HOMES INC	PO BOX 91927	ALB UQU ERQ UE	NM	87199	V	A1 A M	LT 4-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISION CONT .1243 AC	137513
54	101305909136921704	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O EDGAR CIA	PO BOX 26207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 3-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISION CONT .1255 AC	137514
55	101305908337021703	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O EDGAR CIA	PO BOX 26207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 2-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISION CONT .1253 AC	137515
56	101305907537021702	VILLAS LAS MANANITAS DEVELOPMENT LLC C/O EDGAR CIA	PO BOX 26207	ALB UQU ERQ UE	NM	87125	V	A1 A M	LT 1-P2 PLAT OF VILLAS LAS MANANITAS SUBDIVISION CONT .1229 AC	137516
57	101305909635420492	MEHLHOP PATRICIA	1819 MEADOWVIEW DR NW	ALB UQU ERQ UE	NM	87104	F	A1 A M	TR 87-C-3A OF REDIV OF TRS 87-C-1 & 87-C-2 MRGCD MAP 35 NOW BEING LOTS OF MARY FELDMAN CONT 0.2117 AC	137544
58	101305910631620217	DURAN YOLANDA ROMERO	2228 INDIAN SCHOOL RD NW	ALB UQU ERQ UE	NM	87104	F	A1 A M	* 010 RICES DURANES ADD #2 EXC N PORT TO RW	137563
59	101305912934120521	MCKEE SHANNON H	5191 TAYLOR AVE NE	BAINBRIDGE IS	WA	98110	F	A1 A M	*12 PASEO DEL PRADO SUBD BEING A REPL OF TR A & B PUCETTI TR CONT 4,981.79 SQ FT M/L	137593
60	101305913434120520	ROSS WALLACE & ROSE F	3027 45TH AVE SW	SEATTLE	WA	98116	F	A1 A M	*11 PASEO DEL PRADO SUBD BEING A REPL OF TR A & B PUCETTI TR CONT 4,839.84 SQ FT M/L	137594
61	101305912534120522	CORNS JEANNE M	2132 PASEO DEL PRADO NW	ALB UQU ERQ UE	NM	87104	F	A1 A M	*13 PASEO DEL PRADO SUBD BEING A REPL OF TR A & B PUCETTI TR CONT 3,819.37 AC M/L	137595

62	1013059023326 20316	SANCHO PANZA LL C	2401 CALL E DE PANZ A NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 C A M	LOT 2 PLAT OF LOTS 1, 2, AND 3 OSO DE L RIO CONT .4990 AC	13 76 03
63	1013059122341 20523	FINDLAY JOHN GR AHAM & NOLA B	2426 DIETZ FARM RD NW	ALB UQU ERQ UE	N M	8 7 1 0 7	A 1 F A M	*14 PASEO DEL PRADO SUBD BEING A R EPL OF TR A & B PUCETTI TRCONT 6,23 9.24 SQ FT M/L	13 76 10
64	1013059104343 21720	SCOTT DONNA MUI R & MARION	2217 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	TR 89B2B MRGCD MAP 35 CONT .4900 A C	13 76 45
65	1013059091315 20220	CUELLAR LEE M	3112 EL CA BALLERO D R SW	ALB UQU ERQ UE	N M	8 7 1 2 1	A 1 V A M	* 007 RICES DURANES ADD #2 EXC N PO RT RW	13 76 74
66	1013059115318 20214	SANTISTEVAN GLO RIA	2224 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 7	A 1 F A M	* 012 E 46FT OF LOT 12 & W 4FT OF LOT 13 & W 4FT OF LOT 12 EXC NLY POR OU T TO R/	13 77 33
67	1013059051291 20110	WILLIAMS CALVIN TRUSTEE WILLIAM S LVT	2414 LILAC DR NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	* 003 RICE DURANES ADD #1	13 77 48
68	1013059131322 20208	CEBADA LARRY E	2108 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	*15 RICE'S DURANES ADDN #2 CONT 5,0 00 SQ FT	13 78 47
69	1013059123321 20213	WOLFORD MARY J	2110 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	* 014 RICES DURANES ADD NO 2 E 46 FT OF 13	13 78 58
70	1013059111317 20216	JARAMILLO JOYCE	2226 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	* 011 RICES DURANES ADD =2 N PORTO R W	13 78 70
71	1013059101316 20218	ABEYTA FAMILY TR UST	2300 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	EAST 46FT LOT 9 EXCEPT NORTHERLY PORTION TO RIGHT OF WAY RICE DURA NES ADDI	13 78 99
72	1013059086314 20221	ZARATE MANUEL J JR	2449 FRAN ZEN RD SW	ALB UQU ERQ UE	N M	8 7 1 0 5	A 1 F A M	* 006 RICES DURANES ADD #2 EXC N PO RT RW	13 79 36
73	1013059031313 20116	FULLER DONNA L	2424 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 4	A 1 F A M	LTS 8 & 9 RICE DURANES ADDITION #1 (EXCL W'LY PORT)CONT .3182 AC +/-	13 79 42
74	1013059080313 20222	STANLEY MARK A ETUX	2308 INDIA N SCHOOL RD NW	ALB UQU ERQ UE	N M	8 7 1 0 6	A 1 F A M	* 05A REPL POR LTS 3 & 4 & 5 RICE'S DU RANES ADDITION NO 2	13 80 64
75	1013059044312 20114	WILLIAMS CALVIN & MARY E	2414 LILAC DR NW	ALB UQU ERQ UE	N M	8 7 1 0 7	A 1 F A M	* 007 RICE DURANES ADD #1	13 80

				ERQ UE		1 0 4	A M		68
76	1013059092305 20204	GUERRERO SERGI O & NATALIA	3000 HOOV ER ST	RED WO OD CITY	C A	9 4 0 6 3	F A M	* 025 RICES DURANES ADDN NO 2	13 80 79
77	1013059087305 20203	MAESTAS ALFONS O G & BERLINA V	PO BOX 91 3	COR RAL ES	N M	8 7 0 4 8	V A M	* 026 RICES DURANES ADDN NO 2	13 80 90
78	1013059055388 20953	EYSTER GARY L & MELODIE O EYSTE R RVT	PO BOX 16 473	ALB UQU ERQ UE	N M	8 7 1 9 1	V A M	LT 4 PLAT OF LOTS 1 THROUGH 7 THE B OULEVARD AT RIOGRANDE CONT .1456 AC +/-	14 37 97
79	1013059046389 20954	EYSTER GARY L & MELODIE O EYSTE R RVT	PO BOX 16 473	ALB UQU ERQ UE	N M	8 7 1 9 1	V A M	LT 3 PLAT OF LOTS 1 THROUGH 7 THE B OULEVARD AT RIOGRANDE CONT 1627 AC +/-	14 37 98

OR CURRENT RESIDENT
101305907231220224
1600 LLC
151 HOP TREE TRL
CORRALES, NM 87048

OR CURRENT RESIDENT
101305904836220411
BRANCH HOLDINGS LLC
2025 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305912231120210
CRAWFORD ANTHONY RAY &
ANDREA S
2119 RICE AVE NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305910837020418
DEAGUERO JOSEPH A
1833 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305910636420414
ENCEE BIANCA
2427 WILLIAMS SE
ALBUQUERQUE, NM 87102

OR CURRENT RESIDENT
101305910835720406
FELDMAN MARK M ETUX
1821 1/2 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305906436321701
G3 INVESTORS LLC EDWARD T
GARCIA
PO BOX 26207
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT
101305909936921705
HELMICK HOMES INC
PO BOX 91927
ALBUQUERQUE, NM 87199

OR CURRENT RESIDENT
101305911131720216
JARAMILLO JOYCE
2226 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305909730620205
LOPEZ NANCY L
2215 RICE NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305910131620218
ABEYTA FAMILY TRUST
2300 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305913132220208
CEBADA LARRY E
2108 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305909131520220
CUELLAR LEE M
3112 EL CABALLERO DR SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101305906537920422
DUNCAN RONALD L
2226 MEADOW VIEW PL NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305905237820952
EYSTER GARY L & MELODIE O
EYSTER RVT
PO BOX 16473
ALBUQUERQUE, NM 87191

OR CURRENT RESIDENT
101305912234120523
FINDLAY JOHN GRAHAM & NOLA B
2426 DIETZ FARM RD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305908836820405
GARCIA EDWARD T
PO BOX 26207
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT
101305910230620206
HOWARD LORETTA ARCHEBEQUE
6831 ELONA NE
ALBUQUERQUE, NM 87113

OR CURRENT RESIDENT
101305909935521710
LAS MANANITAS PROPERTIES LLC
SHEILAH P GARCIA
PO BOX 26207
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT
101305909237220417
LOVATO LINDA
1625 LOS ARBOLES NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305909731620219
ARAGON ERNEST C
2302 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305912534120522
CORNS JEANNE M
2132 PASEO DEL PRADO NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305905737020415
DE BACA ANITA C
1908 RIO GRANDE BLVD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305910631620217
DURAN YOLANDA ROMERO
2228 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305911035120413
FELDMAN MARK M & MARY E
1821 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305903131320116
FULLER DONNA L
2424 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305909230520204
GUERRERO SERGIO & NATALIA
3000 HOOVER ST
REDWOOD CITY, CA 94063

OR CURRENT RESIDENT
101305910638521030
JARAMILLO BENERANDA
2217 MEADOWVIEW NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305913835120514
LIDDICOET WILLIAM B & DIANNE F
TRUSTEES LIDDICOET LIVING TRUST
2127 PASEO DEL PRADO NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305911030820207
LUJAN ANTHONY WAYNE & LORRIE
1321 TABACCO RD SW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
101305908730520203
MAESTAS ALFONSO G & BERLINA V
PO BOX 913
CORRALES, NM 87048

OR CURRENT RESIDENT
101305911731020209
MARTINEZ RICHARD L
2199 RANCHO SIRINGO
SANTA FE, NM 87505

OR CURRENT RESIDENT
101305912934120521
MCKEE SHANNON H
5191 TAYLOR AVE NE
BAINBRIDGE IS, WA 98110

OR CURRENT RESIDENT
101305911534421719
MCLEAN MICHAEL L & CHERYL K
2215 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305909635420492
MEHLHOP PATRICIA
1819 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305904032421101
OSO DEL RIO LLC
2420 ROZINANTE NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305902136920810
PACHECO FIDEL ETUX
2808 NICOLAS RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305913837120504
PUCETTI ALICE JACQUELINE &
MICHAEL D
7602 BURNSIDE CT
FALLS CHURCH, VA 22043

OR CURRENT RESIDENT
101305912935521714
RICCOBENE BRENDAN T & SHELLY A
COORS-RICCOBENE
11274 E SIERRA PINTA DR
SCOTTSDALE, AZ 85255

OR CURRENT RESIDENT
101305913434120520
ROSS WALLACE & ROSE F
3027 45TH AVE SW
SEATTLE, WA 98116

OR CURRENT RESIDENT
101305902332620316
SANCHO PANZA LLC
2401 CALLE DE PANZA NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305911531820214
SANTISTEVAN GLORIA
2224 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305910434321720
SCOTT DONNA MUIR & MARION
2217 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305910038721031
SERRANO A J & SENaida
2219 MEADOWVIEW PL NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305912335120513
SMITH BRUCE R & DONNA M
2133 PASEO DEL PRADO LN
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305908031320222
STANLEY MARK A ETUX
2308 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87106

OR CURRENT RESIDENT
101305912135421713
STRUCK RAYNARD & MARTA
ROBLES
2205 WILDER LN NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101305907937020416
TAFOYA CLEOFES JR & RUPERTA
2224 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305912934921717
VILLAS LAS MANANITAS
DEVELOPMENT LLC C/O ED GARCIA
PO BOX 26207
ALBUQUERQUE, NM 87125

OR CURRENT RESIDENT
101305904930520112
WILLIAMS CALVIN & MARY E
2414 LILAC DR NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305912332120213
WOLFORD MARY J
2110 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

OR CURRENT RESIDENT
101305908631420221
ZARATE MANUEL J JR
2449 FRANZEN RD SW
ALBUQUERQUE, NM 87105

Project# 1004240
ADVANCED ENGINEERING &
CONSULTING LLC
4416 ANAHEIM AVE NE
ALBUQUERQUE, NM 87113

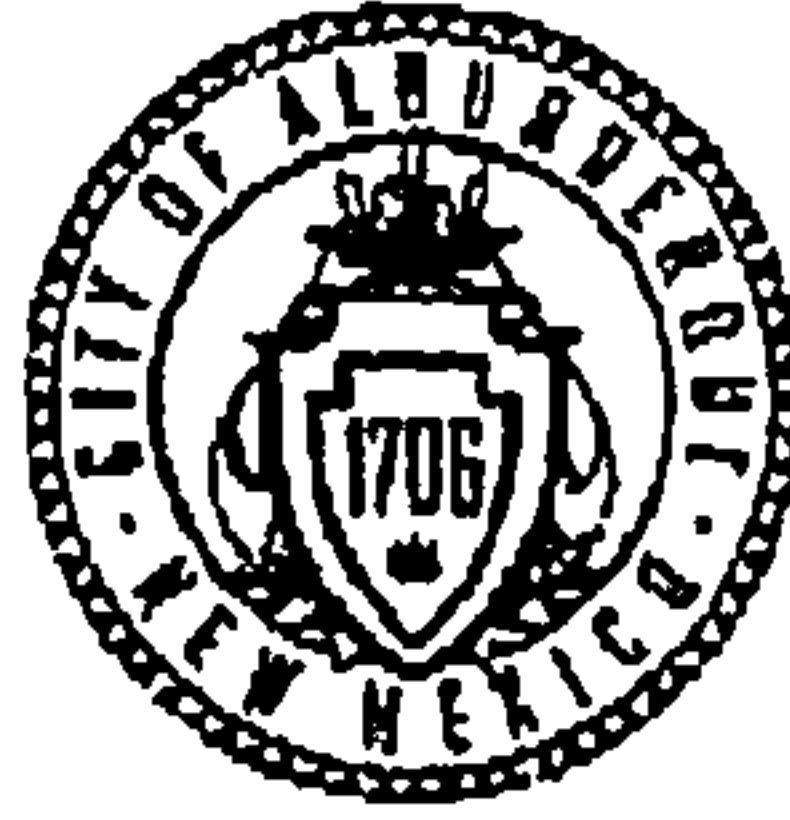
Project# 1004240
VILLAS LAS MANAITAS
DEVELOPMENT LLC
8301 LOMAS BLVD NE
ALBUQUERQUE, NM 87110

Project# 1004240
WILLIAM C. HERRING
Los Druanes NA
3104 COCA RD NW
ALBUQUERQUE, NM 87104

Project# 1004240
JOSE VIRAMONTES
Los Druanes NA
1325 GABALDON DR NW
ALBUQUERQUE, NM 87104

Project# 1004240
FRANK MANGANO
Rio Grande Blvd NA
4300 RIO GRANDE NW
ALBUQUERQUE, NM 87107

Project# 1004240
WINNIE KIMBROUGH
Rio Grande Blvd NA
2327 CAMPBELL RD NW
ALBUQUERQUE, NM 87104



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 30, 2008

Kymerly Shutiva
Advanced Engineering and Consulting, LLC
4416 Anaheim Avenue NE/87113
Phone: (505) 899-5570/Fax: (505) 897-4996

Dear Kymerly:

Thank you for your inquiry of July 30, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOTS 1-P2 THRU 16-P2, TRACTS A THRU C, VILLAS LAS MANANTAS SUBDIVISION, LOCATED ON MANANTAS LANE NW BETWEEN MEADOW VIEW DRIVE NW AND RIO GRANDE BOULEVARD NW - Zone Map: H-13.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

LOS DURANES N.A. (LDU) "R"

William C. Herring

3104 Coca Rd. NW/87104 243-5544 (h) 243-4664 (w) 328-1553 (c)

Jose Viramontes

1325 Gabaldon Dr. NW/87104 239-8449 (h) 550-3113 (c)

RIO GRANDE BLVD. N.A. (RGB) "R"

Frank Mangano

4300 Rio Grande NW/87107 343-8736 (h)

Winnie Kimbrough

2327 Campbell Rd. NW/87104 344-1363 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

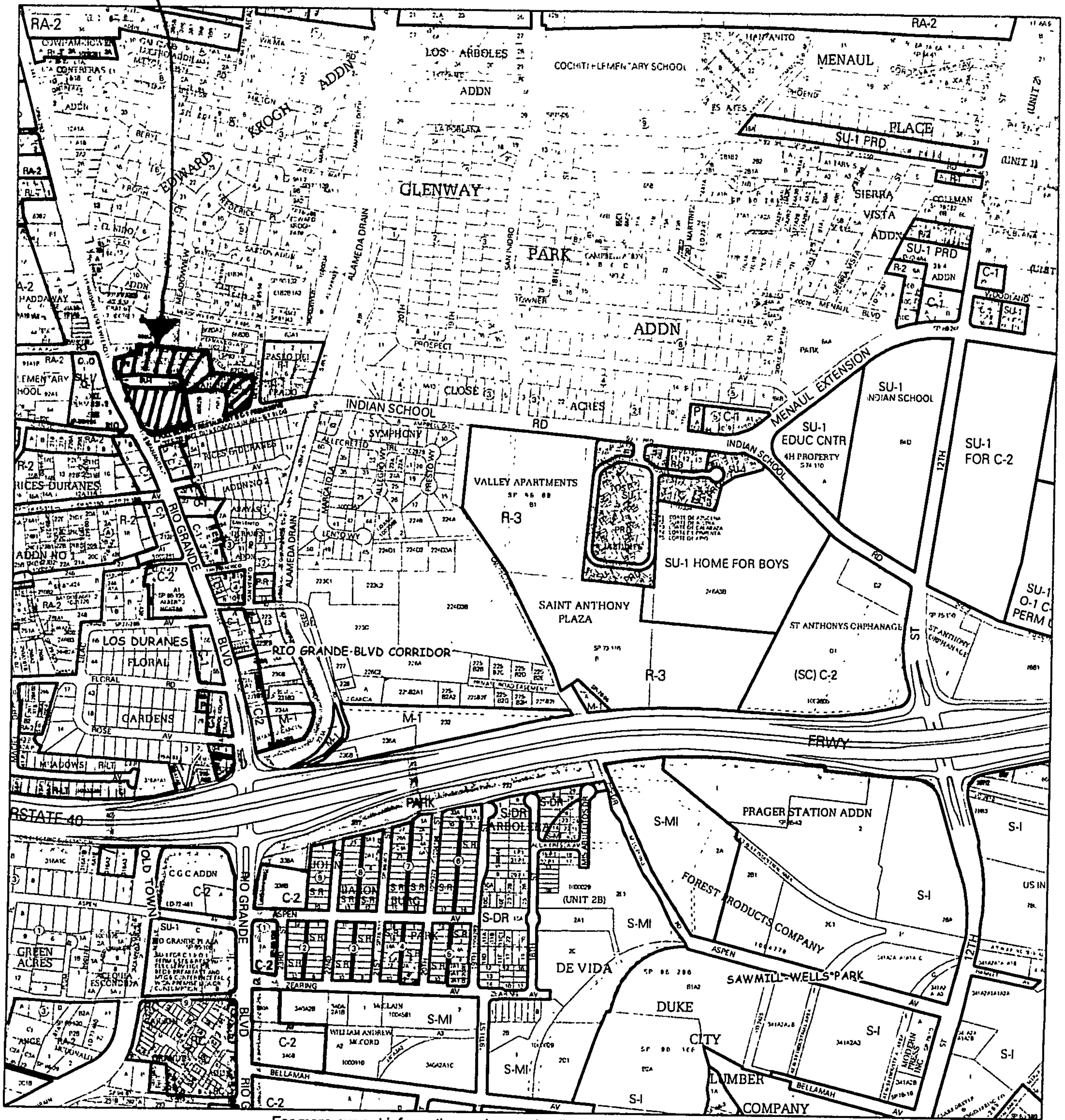
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(07/16/07)



Site



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

101305909136921704
101305909936921705
101305910736721706
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101305912135421713
101305912935521714
101305912534321715
101305908334421721
101305908836521718
101305912934921717



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 27, 2008, beginning at 9:00 a.m. for the purpose of considering the following:

Project# 1004240

08DRB-70347 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

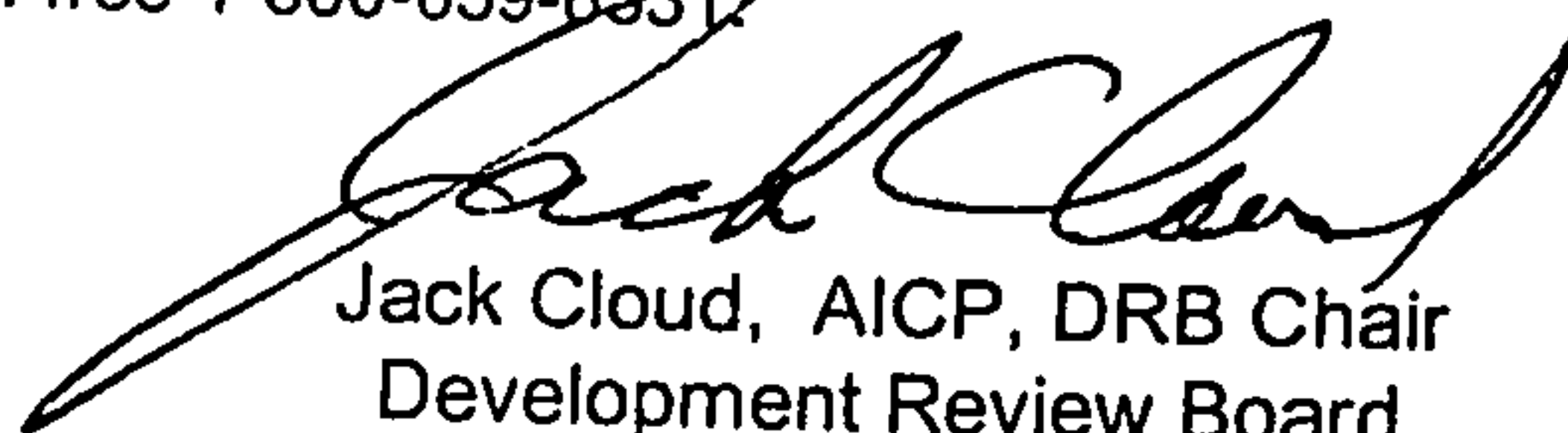
ADVANCED ENGINEERING. AND CONSULTING.
agent(s) for VILLAS LAS MANANITAS DEVELOPMENT
LLC request(s) the above action(s) for **VILLAS LAS
MANANITAS SUBDIVISION** zoned R-1, located on
MANANITAS LN NW north of INDIAN SCHOOL RD NW
BETWEEN MEADOW VIEW DR NE AND RIO GRANDE
BLVD NW containing approximately 4.5624 acre(s). (H-13)

Project# 1004677

08DRB-70346 SUBDIVISION DESIGN
VARIANCE FROM MINIMUM DPM
STANDARDS

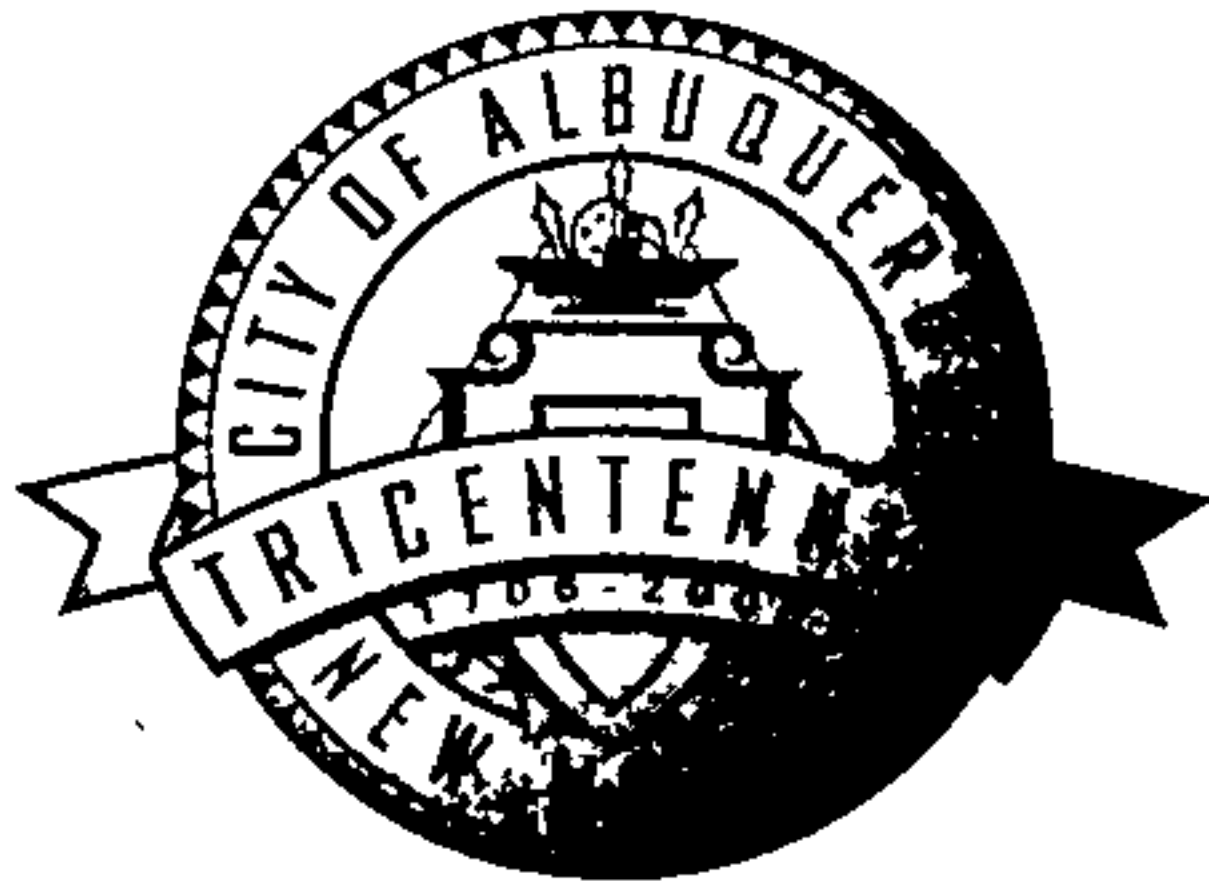
ISAACSON AND ARFMAN PA agent(s) for INFILL
SOLUTIONS, LLC request(s) the above action(s) for curb &
gutter all or a portion of Lot(s) A1A, LAGUNA, Tract(s) A
& B, **HB & CALVIN HORN**, 129B1A, MRGCD Map #35,
and Tract B, **HUNING CASTLE ADDITION (TBKA
COUNTRY CLUB PLAZA)**, zoned SU-2 / CLD, located on
the south side of CENTRAL AVE SW BETWEEN
LAGUNA BLVD SW AND SAN PASQUALE AVE SW
containing approximately 3.1303 acre(s). (J-13)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331


Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 11, 2008.

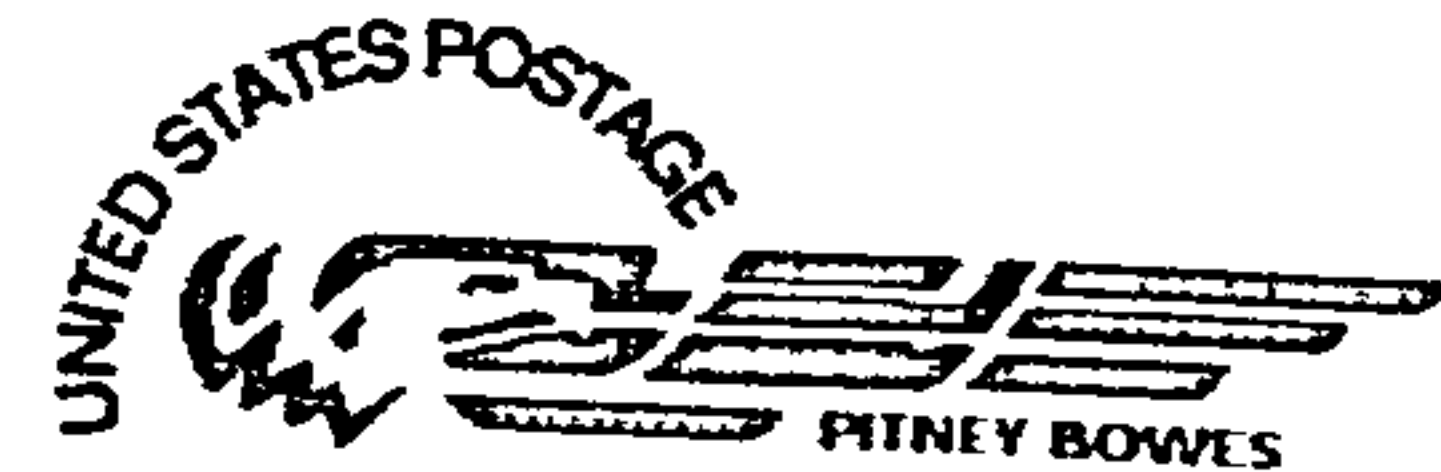
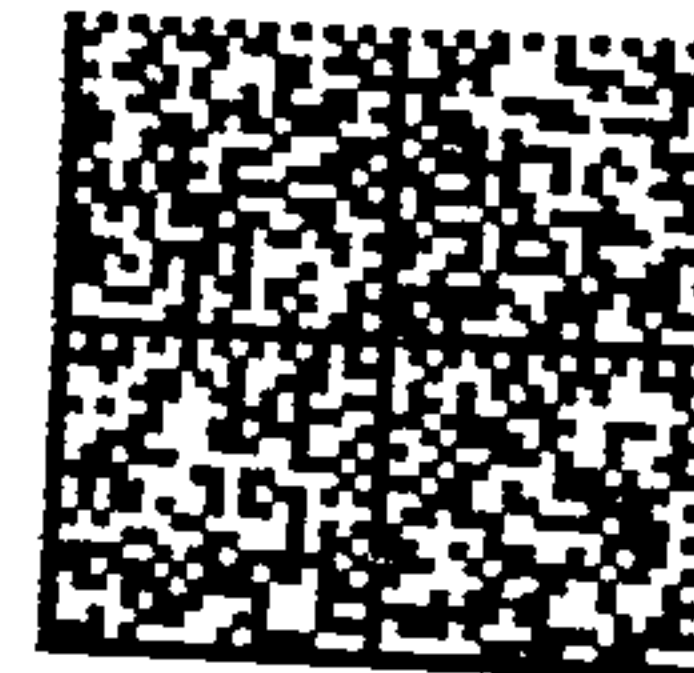
CITY OF ALBUQUERQUE



Planning Department

OR CURRENT RESIDENT
101305913434120520
ROSS WALLACE & ROSE F
3027 45TH AVE SW
SEATTLE, WA 98116

DRB



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0004261639 AUG 11 2008
MAILED FROM ZIP CODE 87102

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NIXIE 980 CE 1 01 08/22/08

RETURN TO SENDER
VACANT
UNABLE TO FORWARD

BC: 87103129393 *0968-07136-11-37



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

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08DRB-70347 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
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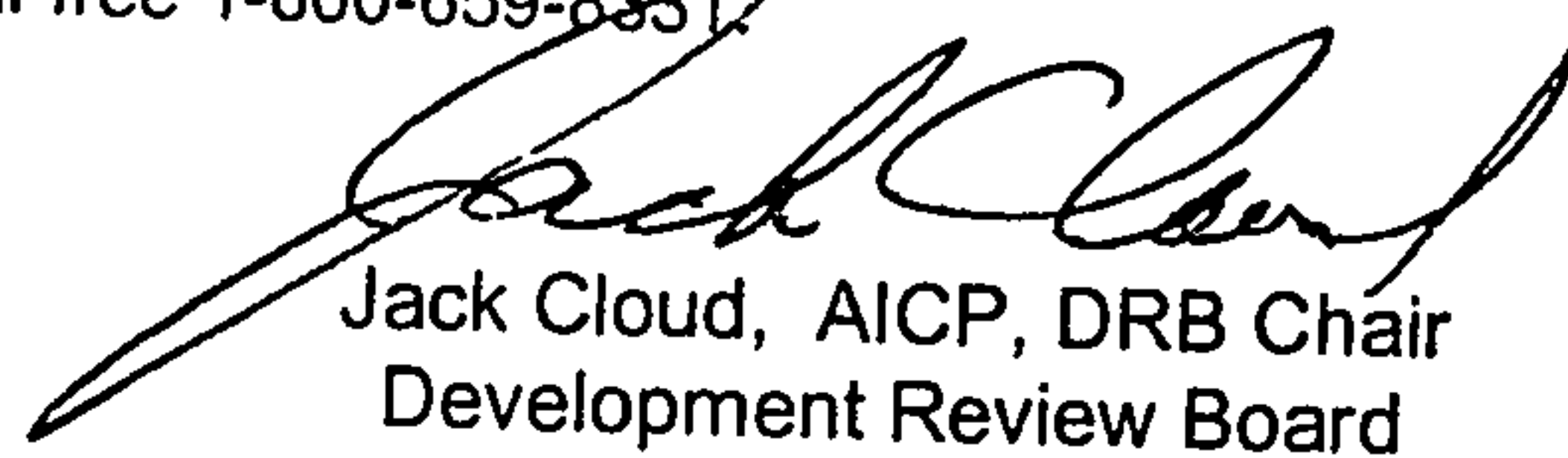
ADVANCED ENGINEERING. AND CONSULTING.
agent(s) for VILLAS LAS MANANITAS DEVELOPMENT
LLC request(s) the above action(s) for **VILLAS LAS
MANANITAS SUBDIVISION** zoned R-1, located on
MANANITAS LN NW north of INDIAN SCHOOL RD NW
BETWEEN MEADOW VIEW DR NE AND RIO GRANDE
BLVD NW containing approximately 4.5624 acre(s). (H-13)

Project# 1004677

08DRB-70346 SUBDIVISION DESIGN
VARIANCE FROM MINIMUM DPM
STANDARDS

ISAACSON AND ARFMAN PA agent(s) for INFILL
SOLUTIONS, LLC request(s) the above action(s) for curb &
gutter all or a portion of Lot(s) A1A, **LAGUNA**, Tract(s) A
& B, **HB & CALVIN HORN**, 129B1A, **MRGCD Map #35**,
and Tract B, **HUNING CASTLE ADDITION (TBKA
COUNTRY CLUB PLAZA)**, zoned SU-2 / CLD, located on
the south side of **CENTRAL AVE SW BETWEEN
LAGUNA BLVD SW AND SAN PASQUALE AVE SW**
containing approximately 3.1303 acre(s). (J-13)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays **INDIVIDUALS WITH DISABILITIES** who need special assistance to participate at this hearing should contact Angela Gomez, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

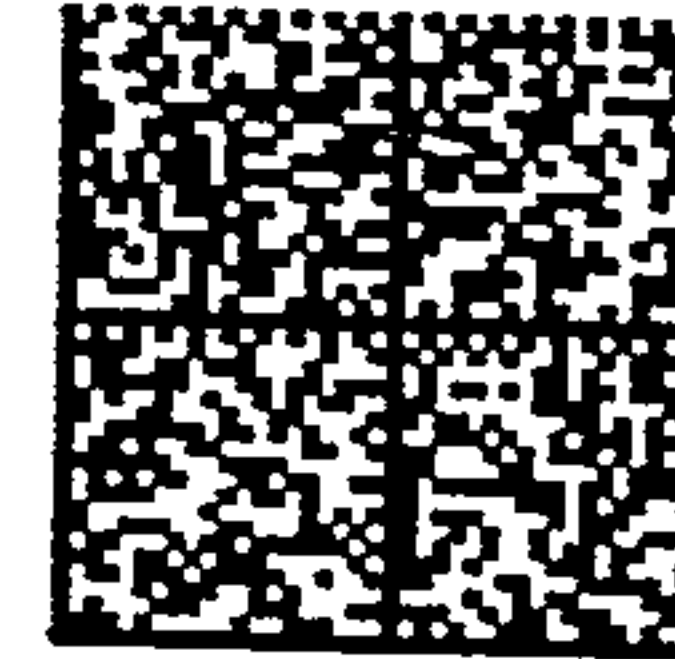

Jack Cloud, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 11, 2008.

CITY OF ALBUQUERQUE



Planning Department



02 1M \$ 00.42⁰
0004261639 AUG 11 2008
MAILED FROM ZIP CODE 87102

OR CURRENT RESIDENT
101305912935521714
RICCOBENE BRENDAN T & SHELLY A
COORS-RICCOBENE
11274 E SIERRA PINTA DR
SCOTTSDALE, AZ 85255

DRB

RETURN TO SENDER

UNABLE TO FORWARD

55259895

P O Box 1293 Albuquerque New Mexico 87103

~~PLEASE REFERENCE THE FOLLOWING TWO
PROJECT NUMBERS FOR HISTORY OF ACTIONS
TAKEN:~~

< Project # 1003812
Project # 1004240

****COPIES OF THE PLAT REFERENCING #1003812
HAVE BEEN PLACED IN EACH OF THE ABOVE
PROJECT FILE NUMBERS.****

4. **Project# 1007504**
 09DRB-70016 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL
 09DRB-70017 MINOR - TEMP DEFR
 SWDK CONST
 09DRB-70029 EPC APPROVED SDP
 FOR BUILD PERMIT
 09DRB-70041 BULK LAND VARIANCE

SURV-TEK INC agent(s) for THE BINDA FAMILY TRUST request(s) the above action(s) for all or a portion of Tract(s) E-4, **ALBUQUERQUE SOUTH UNIT THREE Unit(s) 3**, zoned C-2, located on GIBSON BLVD SW BETWEEN 98TH ST SW AND DE ANZA DR SW containing approximately 27.8174 acre(s). (M-9)[*Deferred from 1/28/09*] **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND AGIS DXF FILE. THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND TO PLANNING FOR REVISIONS PER TRANSPORTATION DEVELOPMENT'S COMMENTS AND FOR STAFF PLANNERS COMMENTS.**

09DRB-70020 EPC APPROVED SDP
 FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for RUPINDER BINDRA request(s) the above action(s) for all or a portion of Tract(s) E-4, **ALBUQUERQUE SOUTH Unit(s) 3**, zoned C-2, located on GIBSON BLVD SW BETWEEN 98TH ST SW AND DE ANZA DR SW containing approximately 27.81 acre(s). (M-9) [*Deferred from 1/28/09*] **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED.**

5. **Project# 1001640**
 09DRB-70032 EPC APPROVED SDP
 FOR BUILD PERMIT

CONSENSUS PLANNING agent(s) for RICHARD F AND ARIAN C GONZALES request(s) the above action(s) for all or a portion of Lot(s) 22-A, Block(s) 25-A, **ELDER HOMESTEAD ADDITION** zoned O-1, located on ARIZONA ST SE BETWEEN GIBSON BLVD SE AND EASTERN AVE SE containing approximately .3223 acre(s). (L-18) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED.**

6. **Project# ~~1003812/1004240~~**
 09DRB-70034 EPC APPROVED SDP
 FOR BUILD PERMIT
 09DRB-70035 EPC APPROVED SDP
 FOR SUBDIVISION

CONSENSUS PLANNING agent(s) for LAS MANANITAS PROPERTIES, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **VILLAG DE LAS MANANITAS** zoned SU-1, located on INDIAN SCHOOL NW BETWEEN RIO GRANDE BLVD NW AND MEADOW VIEW NW containing approximately 1.99 acre(s). (H-13) **THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED. 3 COPIES MUST BE PROVIDED TO PLANNING FOR FILE. SITE PLAN FOR BUILDING PERMIT WAS DEFERRED TO 2/25/09 AT THE AGENT'S REQUEST.**

CITY OF ALBUQUERQUE
Planning Department
August 29, 2007
DRB Comments

ITEM # 6

PROJECT # 1004240 APPLICATION # 07-70205

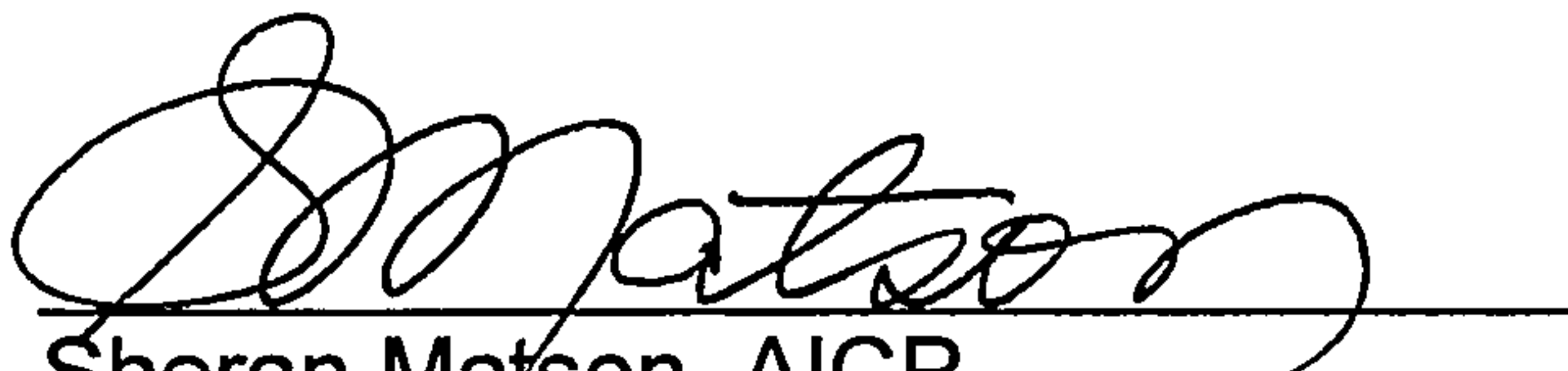
RE: Lots 11-P2 & 12-P2, Villas Las Mananitas/plat

No objection to the replat.

Be advised that any plats approved by DRB must contain the following language from the City Subdivision Ordinance:

Section 14-14-4-7(B) "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision."

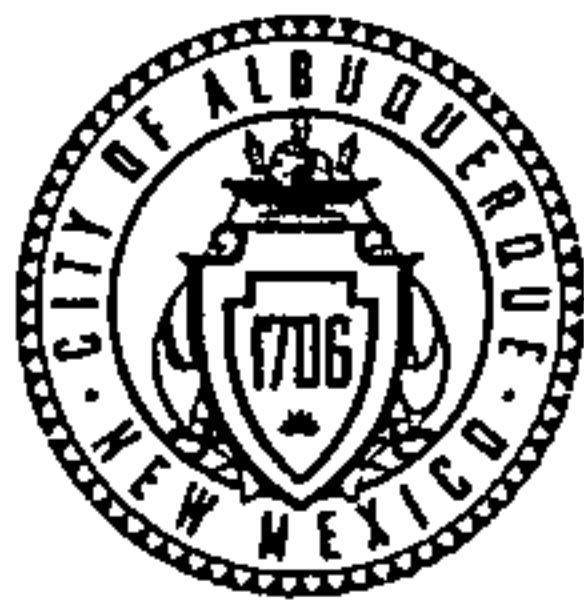
Planning will take delegation for inclusion of this language and to record the plat plus dxf approval.



Sheran Matson, AICP

DRB Chair

924-3880 smatson @ cabq.gov



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 27, 2008

Project# 1004240

08DRB-70347 MAJOR - - 2YEAR EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

ADVANCED ENGINEERING. AND CONSULTING. agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for **VILLAS LAS MANANITAS SUBDIVISION** zoned R-1, located on MANANITAS LN NW north of INDIAN SCHOOL RD NW BETWEEN MEADOW VIEW DR NE AND RIO GRANDE BLVD NW containing approximately 4.5624 acre(s). (H-13)

At the August 27, 2008, Development Review Board meeting, the 2 year extension of the Subdivision Improvements Agreement was approved.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

If you wish to appeal this decision, you must do so by September 11, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

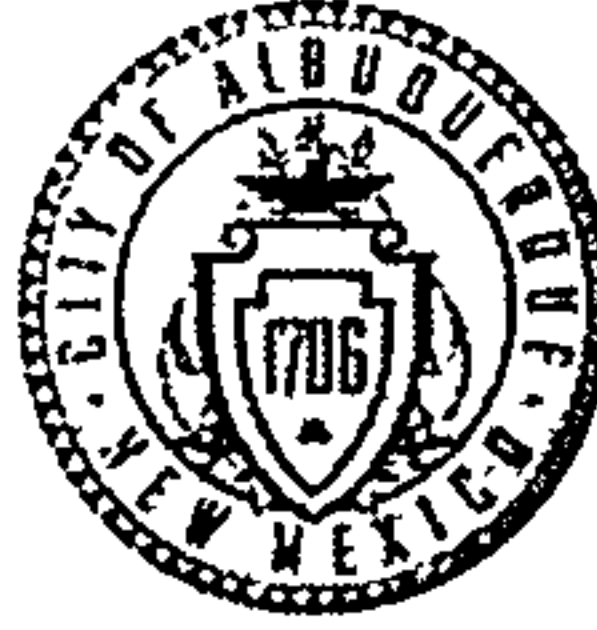
If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

Jack Cloud, AICP, DRB Chair

Cc: Advanced Engineering and Consulting, LLC – 4416 Anaheim Ave, NE –
Albuquerque, NM 87113

Cc: Villas Las Mananitas Development LLC – 8301 Lomas Blvd. NE – Albuquerque, NM
87110

Marilyn Maldonado
File



**DEVELOPMENT REVIEW BOARD
AGENDA**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 27, 2008 9:00 AM
MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development **Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA**
Brad Bingham, P.E., Hydrology/ Alternate City Engineer **Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1004240**
08DRB-70347 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

ADVANCED ENGINEERING. AND CONSULTING.
agent(s) for VILLAS LAS MANANITAS
DEVELOPMENT LLC request(s) the above action(s) for
VILLAS LAS MANANITAS SUBDIVISION zoned R-1,
located on MANANITAS LN NW north of INDIAN
SCHOOL RD NW BETWEEN MEADOW VIEW DR NE
AND RIO GRANDE BLVD NW containing approximately
4.5624 acre(s). (H-13) **THE TWO YEAR EXTENSION OF
THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA)
WAS APPROVED**

2. **Project# 1004677**
08DRB-70346 SUBDIVISION DESIGN
VARIANCE FROM MINIMUM DPM
STANDARDS

ISAACSON AND ARFMAN PA agent(s) for INFILL
SOLUTIONS, LLC request(s) the above action(s) for curb
& gutter all or a portion of Lot(s) A1A, LAGUNA,
Tract(s) A & B, **HB & CALVIN HORN**, 129B1A,
MRGCD Map #35, and Tract B, **HUNING CASTLE
ADDITION (TBKA COUNTRY CLUB PLAZA)**, zoned
SU-2 / CLD, located on the south side of CENTRAL AVE
SW BETWEEN LAGUNA BLVD SW AND SAN
PASQUALE AVE SW containing approximately 3.1303
acre(s). (J-13) **BASED ON THE INFORMATION
PROVIDED, THE SUBDIVISION DESIGN VARIANCE
FROM MINIMUM STANDARDS WAS APPROVED.**

3. **Project# 1001306**
08DRB-70326 VACATION OF PUBLIC
EASEMENT

SURV-TEK INC agent(s) for PETE DASKALOS PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) 1-C, **SEVILLE** zoned SU-1 FOR C-1, located on UNIVERSE BLVD NW BETWEEN AVENIDA SEVILLE AND IRVING BLVD NW containing approximately 9.1925 acre(s). (A-10){*deferred from 8/13/08*}**DEFERRED TO 9/10/08 AT THE AGENT'S REQUEST.**

4. **Project# 1003794**
08DRB-70238 MAJOR – SITE
DEVELOPMENT PLAN FOR
BUILDING PERMIT

GEORGE RAINHART & ASSOC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for Lots 3 and 4, **VOLCANO POINT SHOPPING CENTER**, zoned SU-2 / PCA, located on the northwest corner of 98TH ST NW AND CENTRAL AVE NW containing approximately 1.9833 acre(s). (K-9) [*Deferred from 6/25/08, 7/9/08, 7/23/08 & 8/13/08.*] **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/27/08, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND TO PLANNING FOR 3 COPIES OF THE APPROVED SITE PLAN.**

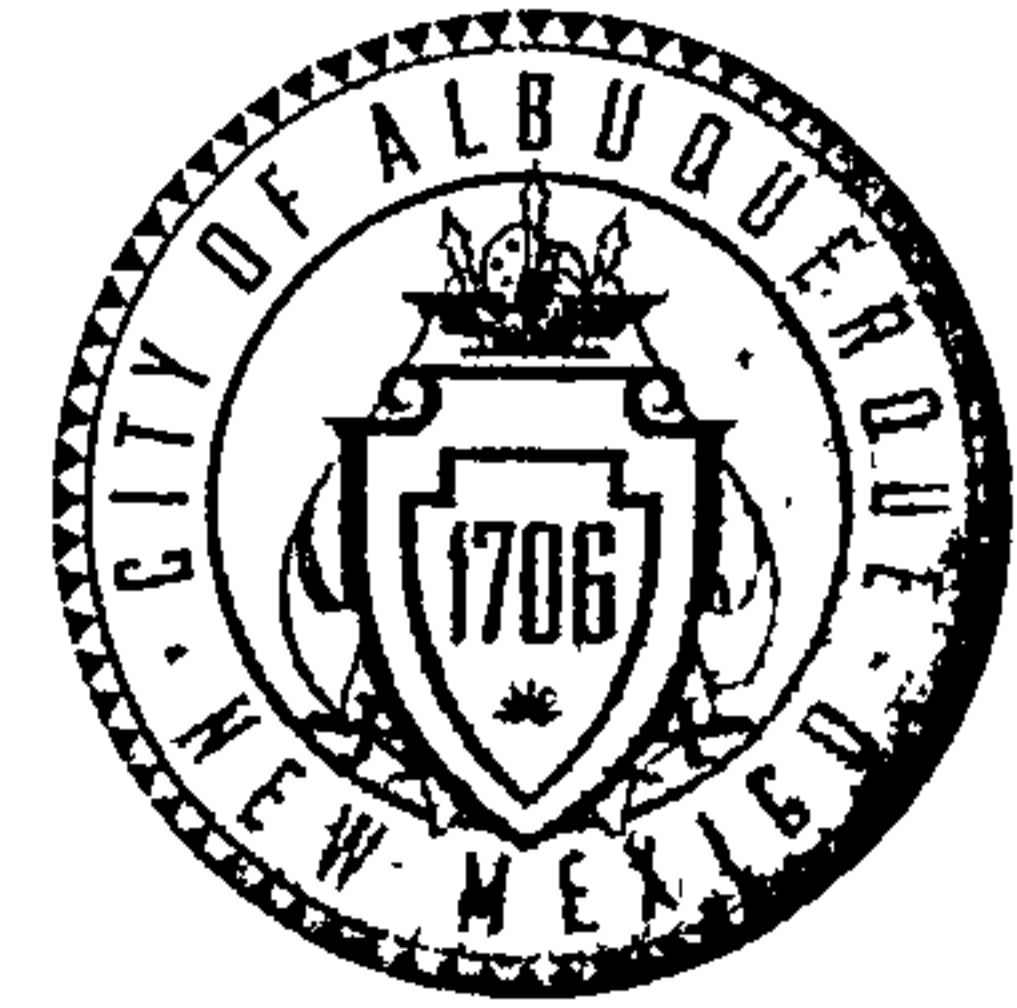
5. **Project# 1002516**
08DRB-70333 MAJOR - - 2YEAR
EXTENSION OF SUBDIVISION
IMPROVEMENTS (2YR SIA)

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of **ANDERSON HEIGHTS Unit(s) 9**, zoned RD and RLT, located on the south side of AMOLE MESA AVE SW BETWEEN 118TH ST SW AND PORTO ST SW containing approximately 56.3327 acre(s). (N-8) **AN EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS GRANTED TO 12/08/08.**

6. **Project# 1007139**
08DRB-70299 VACATION OF PUBLIC
EASEMENT
08DRB-70304 SIDEWALK WAIVER
08DRB-70305 MINOR - TEMP DEFR
SWDK CONST
08DRB-70306 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70307 MAJOR - SDP FOR
SUBDIVISION

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 3-A & 4-A, **JUAN TABO HILLS Unit(s) 1**, zoned RD, SU-1, located on JUAN TABO BLVD SE BETWEE N GULFSTREAM DR SE AND TIJERAS ARROYO containing approximately 14.3953 acre(s). (M-22) [*Deferred from 7/30/08*]**DEFERRED TO 9/3/08 AT THE AGENT'S REQUEST.**

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 1

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the subject request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ^{2 yr} ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 27, 2008

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004240
~~100250160~~ ~~10026789~~ AGENDA# 1075 DATE: 8/27/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



Item# 1
Project# 1004240
Hearing Date: ~~Aug 27, 2008~~ Aug 27, 2008



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

August 27, 2008

Project# 1004240

08DRB-70347 MAJOR - - 2YEAR EXTENSION OF SUBDIVISION IMPROVEMENTS (2YR SIA)

ADVANCED ENGINEERING. AND CONSULTING. agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for **VILLAS LAS MANANITAS SUBDIVISION** zoned R-1, located on MANANITAS LN NW north of INDIAN SCHOOL RD NW BETWEEN MEADOW VIEW DR NE AND RIO GRANDE BLVD NW containing approximately 4.5624 acre(s). (H-13)

AMAFCA No comment.				
COG Central Av is designated on the ITS Implementation Map as having near-term implementation of the following systems: CCTV, Remote Monitoring Station, Signal Controller Upgrade & Coordination. Coordination with City representative on the ITS Committee is recommended. For information purposes, Central Av has a functional classification of urban principal arterial.				
TRANSIT No comments received.				
ZONING ENFORCEMENT No comments.				
NEIGHBORHOOD COORDINATION Letters sent to: Los Duranes NA (R) Rio Grande Blvd. NA (R)				
APS Villas Las Mananitas, is located on Mananitas Ln NW north of Indian School Rd NW between Meadow View Dr NE and Rio Grande Blvd NW. The owner of the above property requests a Major 2 YR Extension of Subdivision Improvements for a development that will consist of 17 single family units. This will impact Duranes Elementary School, Garfield Middle School, and Valley High School. Currently, all three schools have excess capacity.				
Loc No	School	2007-08 40th Day	2007-08 Capacity	Space Available
249	Duranes	279	303	24
410	Garfield	393	456	63
560	Valley	1,684	2,200	516
Residential Units: 17				
Est. Elementary School Students: 5				
Est. Middle School Students: 2				
Est. High School Students: 2				
Est. Total # of Students from Project: 9				
*The estimated number of students from the proposed project is based on an average student generation rate for the entire APS district.				

POLICE DEPARTMENT No comments received.
FIRE DEPARTMENT No comments received.
PNM ELECTRIC & GAS No comments received.
COMCAST No comments received.
QWEST No comments received.
ENVIRONMENTAL HEALTH No comments received.
M.R.G.C.D . No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER The Hydrology section has no objection to the extension request.
TRANSPORTATION DEVELOPMENT No adverse comments.
PARKS AND RECREATION Defer to utilities.
ABCWUA A two year extension is not acceptable. The water line needs to be looped as soon as possible as a dead end line serving the subdivision is unacceptable.
PLANNING DEPARTMENT Refer to comments from affected agencies (e.g. Transportation Development, ABCWUA, Hydrology/ City Engineer) regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Advanced Engineering And Consulting LLC – 4416 Anaheim Ave. NE
 CC: Villas Las Mananitas Development LLC – Albuquerque, NM 87110



#6

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-70209(P&F)	Project # 1004240
Project Name : VILLAS LAS MANANITAS	
Agent: ADVANCED ENGINEERING AND CONSULTING	Phone No.: 899-5570

Project Number

1004240

Your request for (~~SDP for SUB~~), (~~SDP for BP~~), (**FINAL PLATS**), (~~MASTER DEVELOP PLAN~~), was approved on 8/29/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

ABCWUA: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Salar collector



Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**

- AGIS DXF File approval required.** *OK*
- Copy of recorded plat for Planning.**

4240

DXF Electronic Approval Form

DRB Project Case #: 1004240

Subdivision Name: VILLAS LAS MANANITAS LOT 11AP2

Surveyor: LEONARD G MARTINEZ

Contact Person: FELICIA ENCINIAS

Contact Information: 899-5570

DXF Received: 8/21/2007

Hard Copy Received: 8/21/2007

Coordinate System: NMSP Grid (NAD 27)


Approved

8-21-2007
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 4240 to agiscov on 8/21/2007 Contact person notified on 8/21/2007



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 29, 2007

MEMBERS:

Sheran Matson, AICP, DRB Chair
Sandra Handley, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, ABCWUA
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M. Adjourned: 11:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1004172**
07DRB-70171 VACATION OF PUBLIC EASEMENT
07DRB-70172 MINOR - PRELIMINARY/FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for DOROTHY GERALDINE SNOW request(s) the above action(s) for all or a portion of Lot(s) 6-12 & 13-19 & 50-feet of Lot 5, Block(s) C, **DURAN & ALEXANDER ADDITION**, zoned SU-2/C-2, located on GRANITE AVE NW BETWEEN 3RD ST NW AND 4TH ST NW containing approximately 1.223 acre(s). (J-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A)(1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE, RADIUS DEDICATION, AGIS DXF FILE AND COPY OF THE RECORDED PLAT.**

2. **Project# 1006726**
07DRB-70173 MAJOR – AMENDED SDP
FOR BUILDING PERMIT

BRAD KILLMAN AND/OR MAX KILLMAN agent(s) for ALLSTAR MOVING & STORAGE INC A NEW MEXICO CORP request(s) the above action(s) for all or a portion of Lot(s) 31, Tract(s) D-1, **RICHFIELD PARK**, zoned IP, located on WASHINGTON ST NE BETWEEN ALAMEDA NE AND PASEO DEL NORTE NE containing approximately 0.89 acre(s). (C-17) **DEFERRED AT THE AGENT’S REQUEST TO 10/24/07.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

3. **Project# 1006771**
07DRB-70210 MINOR - SDP FOR
BUILDING PERMIT

TATE FISHBURN ARCHITECT agent(s) for BRUNACINI DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 17B, **MERIDIAN BUSINESS PARK**, zoned IP, located on UNSER BLVD NW BETWEEN I-40 NW AND CENTRAL AVE NW containing approximately 2 acre(s). (K-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CITY STANDARD DRAWING NUMBERS FOR WORK WITHIN THE RIGHT-OF-WAY, 6-FOOT SIDEWALK AND TO PLANNING FOR LANDSCAPE CALCULATIONS AND 3 COPIES OF THE PLAN.**

- 3.A **Project# 1004622**
07DRB-70197 EPC APPROVED SDP
FOR BUILD PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 18, PARCELS K, M & N, Tract(s) A, Block(s) 21, **NORTH ALBUQUERQUE ACRES, Unit(s) A**, zoned SU-2/C-1, located on PASEO DEL NORTE NE BETWEEN BARSTOW NE AND WYOMING BLVD NE containing approximately 1.45 acre(s). *[Deferred from 08/22/07]* **[Anna DiMambro, EPC Planner]** (D-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/29/07, THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA AND PLANNING FOR REPLAT AND 3 COPIES.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

4. **Project# 1002243**
07DRB-70198 EXT OF SIA FOR TEMP
DEFR SDWK CONST

MARK GOODWIN AND ASSOCIATES PA agent(s) for TS MCNANNEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 463, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned RD/9DU/AC, located on 82ND ST NW BETWEEN SAGE RD SW AND SAN YGNACIO RD SW containing approximately 5.0051 acre(s). (L-10) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

5. **Project# 1002739**
07DRB-70207 MAJOR - FINAL PLAT
APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for KB HOME NEW MEXICO INC request(s) the above action(s) for all or a portion of Parcels(s) 6 & 9, **ANDERSON HEIGHTS, UNIT 9**, zoned R-D, located on 118TH ST SW BETWEEN AMOLE MESA AVE SW AND COLOBEL AVE SW containing approximately 56.3327 acre(s). (N-8) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS TO MEET DETACHED OPEN SPACE REQUIREMENT AND TO PLANNING FOR SOLAR COLLECTOR LANGUAGE, ON SHEET 4 & 5 TO CALL OUT ALL EASEMENTS "EXCLUSIVELY TO THE CITY OF ALBUQUERQUE", AGIS DXF FILE AND TO RECORD.**

6. **Project# 1004240**
07DRB-70209 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 11-P2 & 12-P2, **VILLAS LAS MANANITAS**, zoned R-1, located on MANANITAS LN NW BETWEEN MEADOW VIEW DR NW AND RIO GRANDE BLVD NW containing approximately 0.2883 acre(s). (H-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

7. **Project# 1006764**
07DRB-70205 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACKS HIGH COUNTRY INC agent(s) for RONALD KELLERMAN, SARAH STUCKEY AND ALBERT L MCHIEL request(s) the above action(s) for all or a portion of Lot(s) 1, 2-A, 2 & 18, Block(s) A, **LIVINGSTON PLACE SUBDIVISION NO. 2**, zoned R-1, located on LOS ARBOLES AVE NW BETWEEN 12THST NW AND 4THST NW containing approximately 0.9778 acre(s). (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK ON LOS ARBOLES AND TO PLANNING FOR THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

8. **Project # 1003973**
07DRB-70213 Major-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or any portion of Tract(s) 5 & 7, THE TRAILS UNIT 2 (to be known as **TAOS AT THE TRAILS, UNIT 2**) zoned SU2-SRSL and SU2-UR, located on OAKRIDGE ST NW between WOODMONT AVE NW and UNIVERSE BLVD NW containing approximately 34 acre(s). (C-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PNM CONCURRENCE ON UNIVERSE CROSS SECTION AND TO PLANNING FOR NMUI SIGNATURE, THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

9. **Project # 1003800**
07DRB-70212 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

LLAVE DEVELOPMENT INC. request(s) the above action(s) for all or any portion of Lot(s) 1-4, Block(s) 2, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area located on EAGLE ROCK NE between BARSTOW NE and VENTURA NE containing approximately 4 acre(s). [REF: 05DRB01906, 05DRB01907, 05DRB01908] (C-20) **THE PRELIMINARY PLAT APPROVAL OF MAY 3, 2006 WAS RE-AFFIRMED PURSUANT TO CITY COUNCIL ACTION OF AUGUST 20, 2007 AND SECOND JUDICIAL DISTRICT COURT REMAND AND REVERSAL ORDER CV-200608192. ACTION ON THE FINAL PLAT WAS DEFERRED TO SEPTEMBER 5, 2007.**

- 9.A **Project# 1006715**
07DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

JACK'S HIGH COUNTRY INC. agent(s) for ALVIN & NANCY ANDERSEN request(s) the above action(s) for all or a portion of Lot(s) 11, **RINCON DEL RIO ADDITION**, zoned RA-2, located on RINCON DEL RIO CT NW BETWEEN TRELIS DR NW AND GLENWOOD NW containing approximately 0.4719 acre(s). [Deferred from 08/08/07, 08/15/07, 08/22/07 & 08/22/07] (G-12) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LOT LINE CLARIFICATION ON THE PLAT, THE SOLAR COLLECTOR LANGUAGE ON THE PLAT, AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. **Project# 1006768**
07DRB-70208 SKETCH PLAT REVIEW
AND COMMENT
DOUG SMITH SURVEYING agent(s) for MICHAEL H. MUGEL request(s) the above action(s) for all or a portion of Tract(s) 29A-1, **HEIGHTS RESERVOIR ADDITION**, zoned C-2, located on LOMAS BLVD NE BETWEEN SAN MATEO NE AND MANZANO ST NE containing approximately 3.9814 acre(s). (K-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. **Project# 1006749**
07DRB-70199 SKETCH PLAT REVIEW
AND COMMENT
BRUNO MOROSIN request(s) the above action(s) for all or a portion of Lot(s) 24, Block(s) 13, **FOUR HILLS VILLAGE ADDITION 14TH INSTALLMENT**, zoned R-1, located on HIDEAWAY LANE SE AND STAGECOACH SE containing approximately 1.706 acre(s). (M-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project# 1006751**
07DRB-70200 SKETCH PLAT REVIEW
AND COMMENT
PETER ARMIJO agent(s) for MRS IRMA V LOPEZ request(s) the above action(s) for all or a portion of Tract(s) 4, Map 40, zoned SU-2/R-1, located on PACIFIC AVE SW BETWEEN 4TH ST SW AND BARELAS RD SW containing approximately 0.2145 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project# 1006760**
07DRB-70204 SKETCH PLAT REVIEW
AND COMMENT
YOLANDA MONTOYA agent(s) for MICHAEL RAIOLA request(s) the above action(s) for all or a portion of Lot(s) 28, Tract(s) 1, Block(s) 27, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/IP, located on OAKLAND AVE NE BETWEEN SAN PEDRO NE AND LOUISIANA NE containing approximately 0.89 acre(s). (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project# 1006765**
07DRB-70206 SKETCH PLAT REVIEW
AND COMMENT
HAROLD SUNDERMAN request(s) the above action(s) for all or a portion of Lot(s) 2, **LANDS OF SAM BLAIR SUBDIVISION**, zoned R-1, located on GUADALUPE TRAIL NW BETWEEN JUANITA LANE NW AND MONTANO RD NW containing approximately 1 acre(s). (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

ADJOURNED: 11:00 A.M.

**CITY OF ALBUQUERQUE
Planning Department
August 29, 2007
DRB Comments**

ITEM # 6

PROJECT # 1004240 APPLICATION # 07-70205

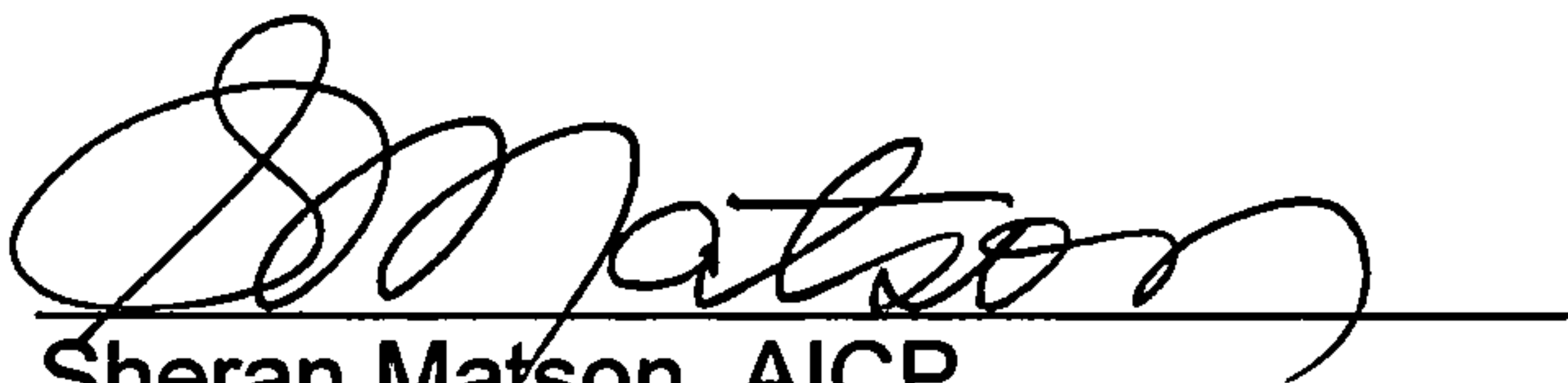
RE: Lots 11-P2 & 12-P2, Villas Las Mananitas/plat

No objection to the replat.

Be advised that any plats approved by DRB must contain the following language from the City Subdivision Ordinance:

Section 14-14-4-7(B) "No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or building agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision."

Planning will take delegation for inclusion of this language and to record the plat plus dxf approval.



Sheran Matson, AICP

DRB Chair

924-3880 smatson @ cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 6

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham

City Engineer / AMAFCA Designee

505-924-3986

DATE: AUGUST 29, 2007

0

#16



Completed

4-20-07

[Signature]

DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00357 (P&F)
Project Name: VILLAS LAS MANANITAS
SUBDIVISION
Agent: ADVANCED ENGR & CONSULT.

Project # 1004240
Phone No.: 899-5570

Project Number

1004240

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/28/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *[Signature]*
 AGIS DXF

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

[Signature]

#16



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 07DRB-00357 (P&F)

Project # 1004240

Project Name: VILLAS LAS MANANITAS SUBDIVISION

Agent: ADVANCED ENGR & CONSULT.

Phone No.: 899-5570

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3/28/07 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): [Signature]
 AGIS DXF

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004240

[Signature]

4240

DXF Electronic Approval Form

DRB Project Case #:

Subdivision Name:

Surveyor:


Contact Person:

Contact Information:

DXF Received:

Hard Copy Received:

Coordinate System:



Approved

4-10-2007

Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **4240** to agiscov on **4/10/2007** Contact person notified on **4/10/2007**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 28, 2007

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:30 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1003123

07DRB-00254 Major-Two Year SIA

KPM LLC request(s) the above action(s) for all or any portion of Tract(s) 1 & 2, **LANDS OF DEVEREUX & WATSON** and Tract(s) 77-6-1, **M.R.G.C.D. MAP #37**, zoned S-M1 located on 5TH ST NW between ASPEN AVE NW and HAINES AVE NW containing approximately 1 acre(s). (H-14) **A TWO-YEAR SIA WAS APPROVED.**

2. **Project # 1003717**
07DRB-00236 Major-Vacation of Public
Right-of-Way

GREG RILEY agent(s) for ERIC C. JOHNSON request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 38, **EASTERN ADDITION**, zoned SU-2/NCR located on CESAR CHAVEZ SE between BROADWAY SE and ARNO SE containing approximately 1 acre(s). [REF: 04DRB-01565] *[Was Indef deferred 3/28/07]* (L-14) **INDEFINITELY DEFERRED ON A NO SHOW.**

3. **Project # 1001278**
07DRB-00242 Major-Bulk Land Variance
07DRB-00243 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PAT & LILLIE MILLIGAN request(s) the above action(s) for Tract 94, Town of Atrisco Grant, Unit 6, Lots A, B and a portion of C & D, Gonzales Family Lands, Tract H, Coors Plaza (to be known as **COORS TOWNE CENTER**) zoned SU-1 FOR C-2 PERMISSIVE USES, located on COORS BLVD SW, between CENTRAL AVE SW and BRIDGE BLVD SW containing approximately 17 acre(s). [REF: 01EPC00747, 00748, 00749, 00750, 07DRB00150, 07DRB00151] (K-10) **THE BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, NOTICE OF SUBDIVISION PLAT CONDITIONS, AGIS DXF FILE AND TO RECORD.**

- 07DRB-00150 Minor-SiteDev Plan
Subd/EPC
07DRB-00151 Minor-Vacation of Private
Easements

CONSENSUS PLANNING INC AND SURV-TEK INC., agent(s) for PAT AND LILLIE MILLIGAN request(s) the above action(s) for all or a portion OF Tract 94, Town of Atrisco Grant, Unit 6, Lots A, B and a portion of C & D, Gonzales Family Lands, Tract H, Coors Plaza (to be known as **COORS TOWN CENTER**) zoned SU-1 FOR C-2 PERMISSIVE USES, located on COORS BLVD SW, between CENTRAL AVE SW and BRIDGE BLVD SW containing approximately 18 acre(s). [REF: 01EPC00747, 00748, 00749, 00750] *[Indef deferred from 2/21/07]* [Russell Brito, EPC Case Planner] (K-10) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. THE VACATION OF PRIVATE EASEMENTS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002984**
07DRB-00238 Major-Vacation of Pub
Right-of-Way

SANDRA LEVINSON & HAROLD GILL request(s) the above action(s) for all or any portion of Lot(s) 6, Block(s) 7, **VOLCANO CLIFFS, UNIT 2**, zoned R-1 located on KIBO DR NW between RIMROCK DR NW and SHIPROCK CT NW containing approximately 1 acre(s). *[Deferred from 3/28/07]* (E-10) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

5. **Project # 1003445**
07DRB-00261 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for FOUNTAIN HILLS PLAZA LLC request(s) the above action(s) for Tract(s) B-1-A, C-1-A, D-1-A & Lot(s) 6-A-1-A, A and 10-A-2, Block(s) D, Unit 1, ALBUQUERQUE WEST, **FOUNTAIN HILLS** and Tract(s) B, RICHLAND HILLS, UNIT 1, **FIRST BAPTIST CHURCH**, zoned SU-1 FOR IP USES W/EXCEPTIONS & PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 22 acre(s). [REF: 04DRB00750] (C-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION: THE APPROPRIATE ALTERNATE PUBLIC DRAINAGE EASEMENTS/RIGHT-OF-WAY ARE PROVIDED.**

6. **Project # 1005133**
07DRB-00260 Major-Vacation of Public
Easements

07DRB-00352 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for VT INC., A MISSOURI CORPORATION request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2, **SEVEN BAR RANCH**, zoned SU-1 FOR AP located on COORS BLVD BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 18 acre(s). *[Deferred from 3/28/07]* (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

BOHANNAN HUSTON INC agent(s) for COORS EAGLE RANCH LLC request(s) the above action(s) for all or any portion of Tract(s) N-1-B-2-A, N-1-B-2-B & N-1-B-2-C, **SEVEN BAR RANCH**, zoned SU-1 FOR AP, located on COORS BYPASS NW between EAGLE RANCH RD NW and COORS BLVD NW containing approximately 17 acre(s). *[Deferred from 3/28/07]* (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

7. **Project # 1005185**
07DRB-00262 Major-Preliminary Plat
Approval

07DRB-00353 Minor-SiteDev Plan
Subd/EPC

ISAACSON & ARFMAN PA agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, LAND OF EDMUND I RADY (to be known as **VILLA LOMA ESTATES**) zoned SU1-PRD located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH PL NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436] *[Deferred from 3/28/07]* (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

CONSENSUS PLANNING LLC agent(s) for W INVESTMENTS LLC request(s) the above action(s) for all or any portion of Lot(s) 2-A-1, Land of Edmund I Rady (to be known as **VILLA LOMA ESTATES**) zoned SU-1 for PRD, located on MONTGOMERY BLVD NE between TRAMWAY BLVD NE and SHILOH NE containing approximately 3 acre(s). [REF: 06EPC01435, 06EPC01436, 07DRB00262] [**Carmen Marrone for Petra Morris, EPC Case Planner**] *[Deferred from 3/28/07]* (F-22) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

8. **Project # 1004464**
05DRB-01540 Major-Vacation of Pub
Right-of-Way

GARCIA KRAEMER & ASSOCIATES agent(s) for 4120 SILVER LLC & 4200 SILVER LLC, request(s) the above action(s) for Lot(s) 5 & 6, Block(s) 10 and Lot(s) 1, Block(s) 11, **MESA GRANDE ADDITION**, zoned O-R, located on SIERRA DR SE, between SILVER AVE SE and MESA GRANDE PL SE. [Deferred from 10/26/05,1/18/06,3/29/06 and Withdrawn 3/28/07] (K-17) **WITHDRAWN AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

9. **Project # 1001523**
07DRB-00341 Minor-SiteDev Plan
BldPermit

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or any portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1-IP FOR LIGHT INDUSTRIAL USES located on UNSER BLVD NW between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [Deferred from 3/28/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

07DRB-00207 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for ROBBY L ROBERSON request(s) the above action(s) for all or a portion of Tract(s) 20-23, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 FOR LIGHT INDUSTRIAL USES, located on UNSER BLVD NW, between VISTA ORIENTE ST NW and LA MORADA PL NW containing approximately 5 acre(s). [REF: 02DRB00518] [Deferred from 2/28/07] [Indef deferred from 3/14/07] [Deferred from 3/28/07] (H-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

10. **Project # 1002819**
07DRB-00354 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for DIAMOND MESA LLC request(s) the above action(s) for all or any portion of Lot(s) E-6-A-1, Albuquerque South (to be known as **DIAMOND MESA**) zoned SU-1 FOR R-2 & RT USES located on GIBSON BLVD SW between 98th ST SW and AMOLE ARROYO DRAINAGE ROW containing approximately 27 acre(s). [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/28/07*] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 4/11/07.**

11. **Project # 1004976**
06DRB-01548 Minor-SiteDev Plan
Subd/EPC
06DRB-01549 Minor-SiteDev Plan
BldPermit/EPC

H BARKER ARCHITECTS agent(s) for CALABACILLAS GROUP request(s) the above action(s) for all or a portion of Lot(s) A-1, B-1, C-1 & C-2, **BLACK ARROYO DAM**, zoned C-2 (SC), located on GOLF COURSE RD NW, between BENTON AVE NW and WESTSIDE BLVD NW containing approximately 12 acre(s). [REF: 06EPC-00424, 06EPC-00425] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 11/1/06 & Indef deferred 11/8/06 & Indef deferred 12/13/06*] [*Deferred from 3/21/07*] (A-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE PLAN.**

07DRB-00303 Minor-Prelim&Final Plat
Approval
07DRB-00304 Minor-Vacation of Private
Easements

FORSTBAUER SURVEYING LLC agent(s) for CALABACILLAS GROUP request(s) the above action(s) for Tract(s) A-1, B-1, C-1, **BLACK ARROYO DAM**, zoned C-2 (SC) located on GOLF COURSE RD NW between WESTSIDE BLVD NW and DRIFTWOOD AVE NW containing approximately 13 acre(s). [REF: 06DRB-00044] [*Deferred from 3/21/07*] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/28/07 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 3/12/07 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1005449**
07DRB-00348 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for BGK REALTY INC request(s) the above action(s) for all or any portion of Tract(s) AK-1, **ACADEMY KNOLLS**, zoned 0-1 located on EUBANK BLVD NE between ACADEMY KNOLLS NE and MALAGUENA LN NE, containing approximately 3 acre(s). (F-21) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR SIGNATURE OF ABCWUA DIRECTOR ON THE PLAT AS OWNER, A 25-FOOT WATER AND SEWER EASEMENT AND ADD A 7-FOOT PRIVATE ACCESS EASEMENT.**

13. **Project # 1004183**
07DRB-00350 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LLC agent(s) for LAURIE HICKS request(s) the above action(s) for all or any portion of Block(s) 7, **PERFECTO, MARIANO & JESUS ARMIJO ADDITION**, zoned SU-2/HDA located on 8TH ST NW between MARQUETTE AVE NW and ROMA AVE NW containing approximately 1 acre(s). [REF: 05DRB-00809] (J-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1005451**
07DRB-00349 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for WAYNE LUJAN request(s) the above action(s) for all or any portion of Lot(s) 8, 9, 10 & 11, Block(s) 2, **GUTIERREZ ADDITION**, zoned SU-2 FOR R-1, located on BELL AVE SW between 8TH ST SW and SMITH AVE SW containing approximately 1 acre(s). (L-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1005363**
07DRB-00346 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for GIL CORDOVA request(s) the above action(s) for all or any portion of the north half of Lot(s) 33, **ALVARADO GARDENS, UNIT 3**, zoned RA-2 located on RIO GRANDE BLVD NW between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [Deferred from 3/28/07] (G-12 & G-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/4/07.**

16. **Project # 1004240**
07DRB-00357 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or any portion of Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 located on WILDER LANE NW between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 3 acre(s). (H-13) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

17. **Project # 1005450**
07DRB-00355 Minor-Sketch Plat or Plan

ISAACSON & ARFMAN PA agent(s) for GABALDON PROPERTY LLC request(s) the above action(s) for all or any portion of Tract(s) 331-B, 336, AND 337 (to be known as **GABALDON PROPERTY SUBDIVISION**) zoned R-1 and RA-2 located on GABALDON RD NW and SPUR CT NW and containing approximately 3 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1005452**
07DRB-00356 Minor-Sketch Plat or Plan

CONSENSUS PLANNING INC agent(s) for GUSS RABADI request(s) the above action(s) for all or any portion of Tract(s) 1, **VOLCANO CLIFFS, UNIT 17**, zoned SU-2 VC, located on UNIVERSE BLVD NW between ROSA PARKS RD NW and CIERVO NW containing approximately 30 acre(s). (D-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1001941**
07DRB-00345 Minor-Sketch Plat or Plan

ADAM G. RODRIGUEZ & ANA G. RODRIGUEZ request(s) the above action(s) for all or any portion of Lot(s) 34, **ALVARADO GARDENS, UNIT 1**, zoned RA-2 located on RIO GRANDE BLVD NW between MATTHEW NW and CONTRERAS NW containing approximately 2 acre(s). (G-12 & G-13) **WITHDRAWN AT THE AGENT'S REQUEST.**

20. **Project # 1005447**
07DRB-00342 Minor-Sketch Plat or Plan

VAN & PATRICIA ROCCO request(s) the above action(s) for all or any portion of Tract(s) 134E, **MRGCD MAP #31**, zoned RA-2 located on RIO GRANDE BLVD NW between SAN LORENZO AVE NW and GRIEGOS RD NW containing approximately 1 acre(s). (F-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1005448**
07DRB-00347 Minor-Sketch Plat or Plan

PLAZA SURVEYS LLC agent(s) for RICHARD ARAGON request(s) the above action(s) for Tract(s) 289-C, **MRGCD MAP #27**, zoned SU-2 TH, located on 8th ST NW between LOMAS BLVD NW and SLATE ST NW containing approximately 1 acre(s). (J-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for March 21, 2007. **THE DRB MINUTES FOR MARCH 21, 2007 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:30 A.M.

**PLANNING DEPARTMENT
March 28, 2007
DRB Comments**

ITEM # 16

PROJECT # 1005450

APPLICATION # 07-00357

RE: Lots 15-P2 & 16-P2/minor plat

No objection to the lot consolidation.

Planning will take delegation to record the plat and for AGIS dxf approval.

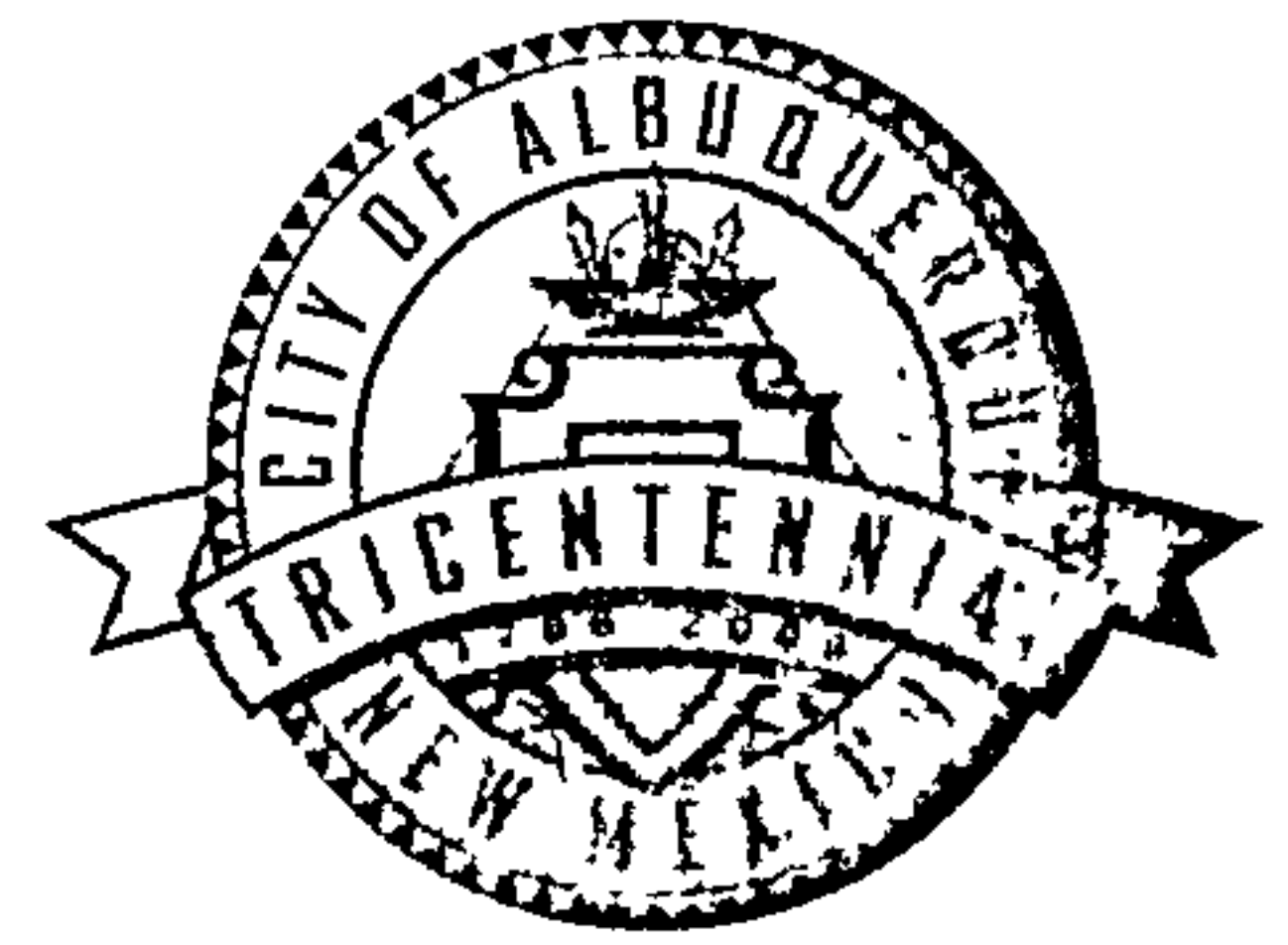


Sheran Matson, AICP

DRB Chair

924-3880 fax: 924-3864 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 16

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: MARCH 28, 2007



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 17, 2007

2. Project # 1004240
06DRB-01782 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLA LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 residential zone, located on WILDER LN NW, between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 06DRB-01042, 06DRB01524] (H-13)

At the January 17, 2007, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by February 1, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION

PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

A handwritten signature in cursive script, reading "Sheran Matson", is positioned above the printed name.

Sheran Matson, AICP, DRB Chair

Cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 817113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004240 AGENDA#: 2 DATE: 1-17-07

1. Name: Shawn Buzge Address: Advanced Ergo Zip:

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

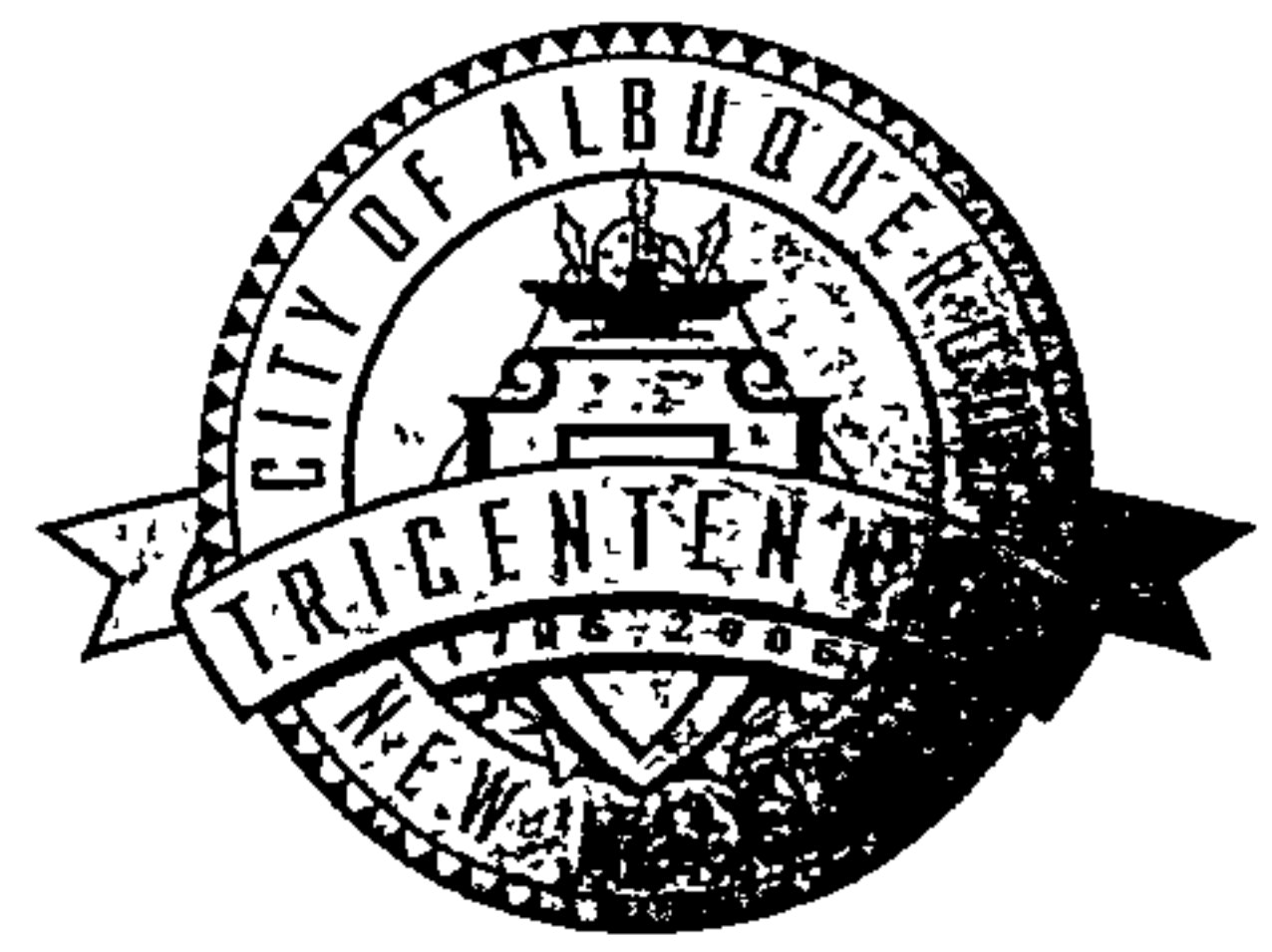
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 2

SUBJECT:

Vacation of Public Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No objection to Vacation request.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED **X**; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JANUARY 17, 2007



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 17, 2007

Project # 1004240
06DRB-01782 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLA LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 residential zone, located on WILDER LN NW, between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 06DRB-01042, 06DRB01524] (H-13)

AMAFCA

No adverse comments.

COG Indian School Rd is designated a minor arterial on the Long Range Roadway System Map with an established right of way of 86 feet. In addition, Indian School Rd is designated as having proposed on-street bicycle lanes on the Long Range Bikeway System Map. Coordination with DMD is recommended to insure project conformity with these established policies of the MTB.

Transit

No objection as long as sidewalks are provided elsewhere for pedestrian accessibility.

Zoning Enforcement

No adverse comments.

Neighborhood Coordination

Letters sent to Rio Grande Blvd. NA (R) and Los Duranes NA (R).

APS **Villas Las Mananitas** will consist of 16 residential lots adjacent to a proposed 2-acre commercial site known as the Shops at Las Mananitas. The proposed development will affect Duranes Elementary School, Garfield Middle School, and Valley High School. Duranes Elementary School and Garfield Middle School will be nearing capacity as development continues to occur in the near North Valley; however, they should be able to support student growth from the proposed development. Valley High School can support growth from the proposed development.

APS

School	2006-07 40th Day	2006-07 Capacity	Space Available
Duranes	280	304	24
Garfield	401	456	55
Valley	1,775	2,100	325

Police Department No crime prevention or CPTED comments at this time.

Fire Department No adverse comments.

PNM Electric & Gas Approved.

Comcast No comments received.

QWEST No comments received.

Environmental Health No comments received.

M.R.G.C.D. No comments received.

Open Space Division Open Space has no adverse comments.

City Engineer The Hydrology section has no objection to the vacation request.

Transportation Development

Will the Curb and Gutter easement be replatted along Wilder Lane?

Parks & Recreation Defer to PNM and Transportation.

Utilities Development No objection to Vacation request.

Planning Department

No objection defer to Transportation Development. If approved, applicant has one year to file the plat completing the vacation action.

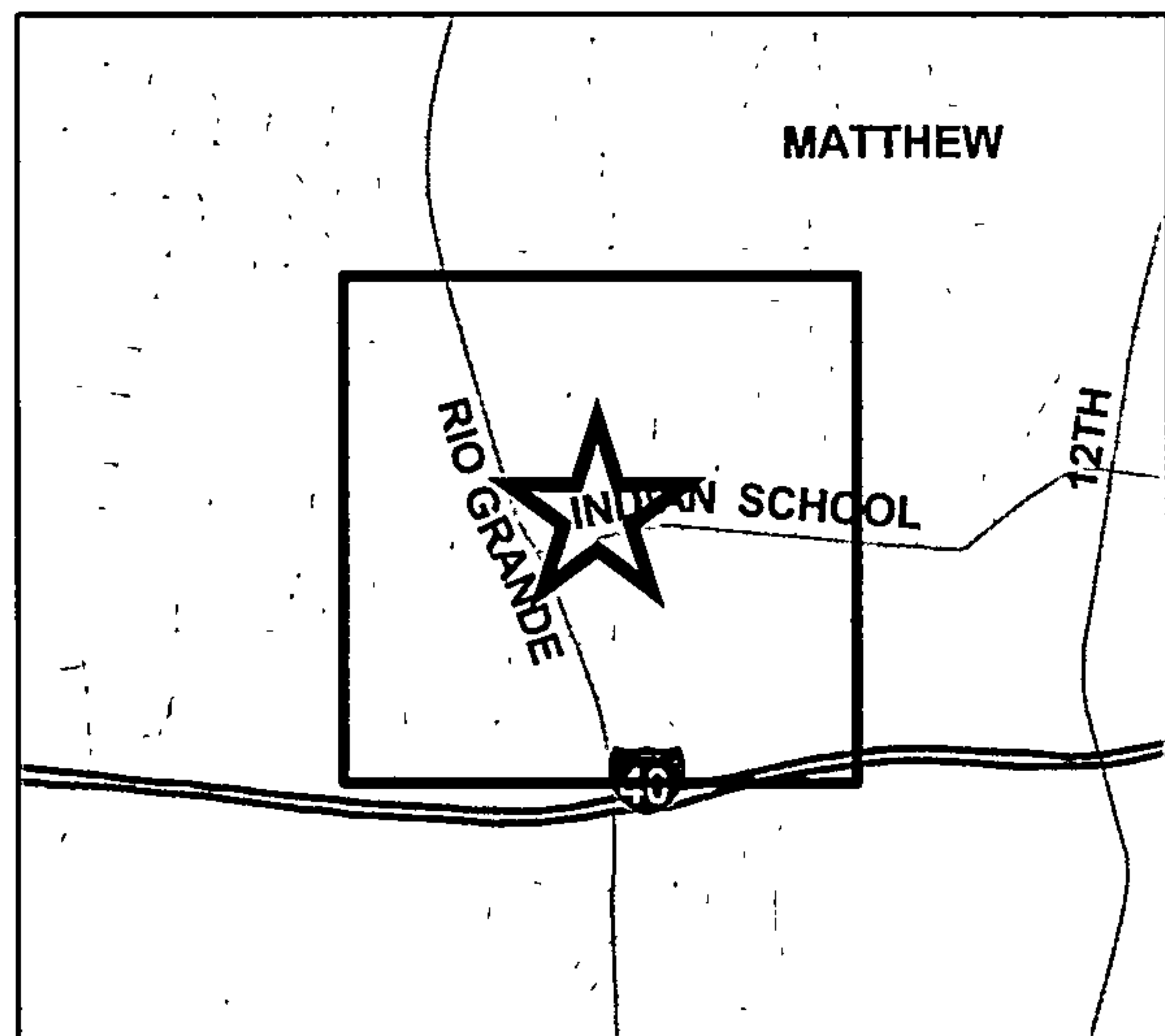
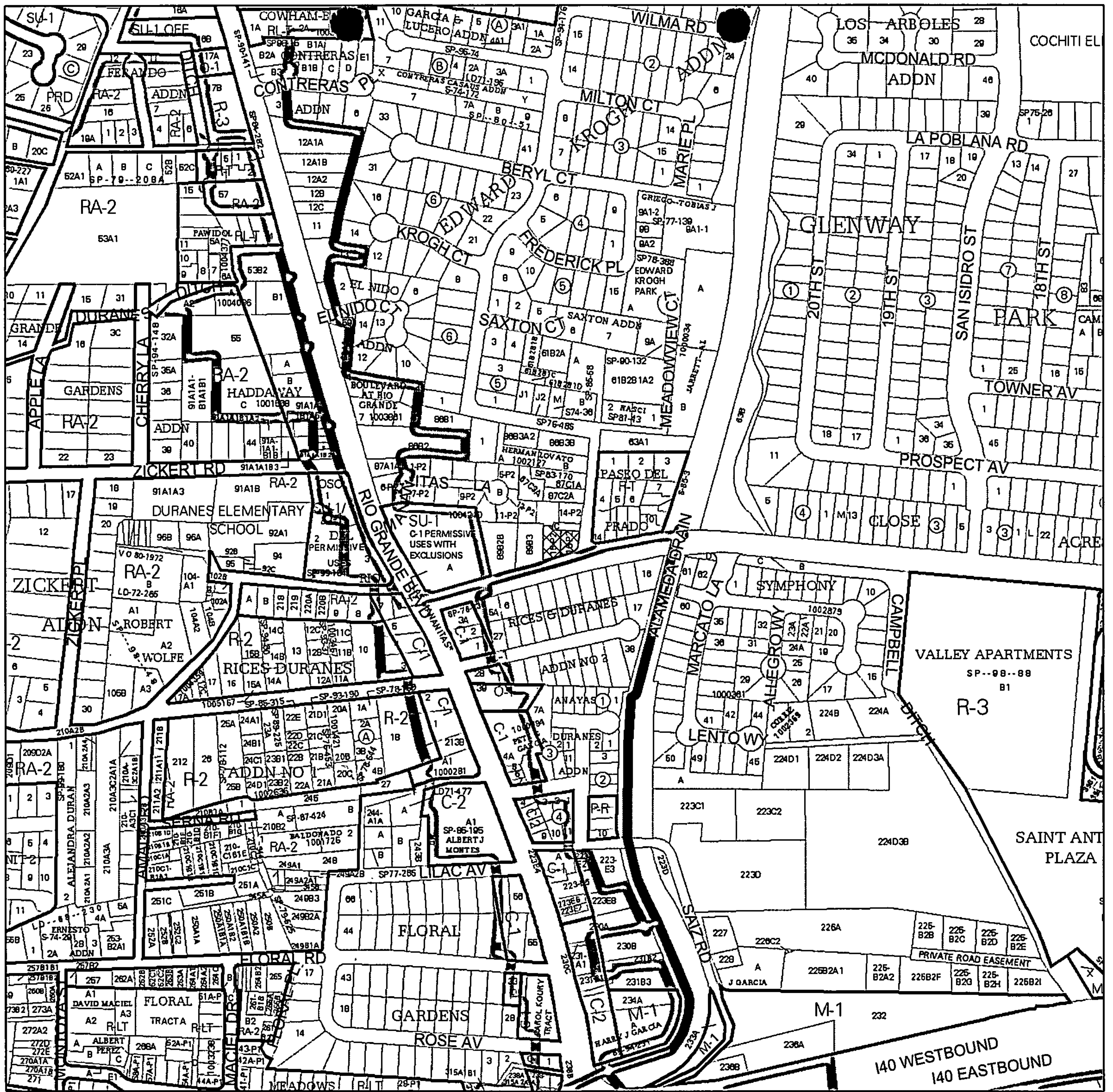
Impact Fee Administrator

No comments on the proposed vacation of public easement(s).

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110

Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 817113



ZONING MAP

Note: Grey shading indicates County.



1 inch equals 500 feet

Project Number:

1004240

Hearing Date:

1/17/2007

Zone Map Page:

H-13

Additional Case Numbers:

06DRB-01782



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 17, 2007, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001816

06DRB-01794 Major-Vacation of Public Easements

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 12-A, **NEW MEXICO TOWN CO. ORIGINAL TOWNSITE**, zoned SU-2/HDA, located on TIJERAS AVE NW, between LOMAS NW and CENTRAL NW containing approximately 1 acre(s). (J-13)

Project # 1004240

06DRB-01782 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLA LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 residential zone, located on WILDER LN NW, between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 06DRB-01042, 06DRB01524] (H-13)

Project # 1005182

06DRB-01784 Major-Preliminary Plat Approval

WILSON AND CO. agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract(s) C, correction plat of the bulk land plat of La Cuentista Subdivision (to be known as **LA CUENTISTA SUBDIVISION UNIT 2**) zoned SU-2/SRSL, located on ROSA PARKS RD NW, between ALOE RD NW and KIMMICK DR NW containing approximately 36 acre(s). [REF: 06DRB-01428] (C-10/C-11)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JANUARY 1, 2007.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: January 17, 2007
Zone Atlas Page: H-13
Notification Radius: 100 Ft.

**Project# 1004240
App#06DRB-01782**

**Cross Reference and Location: WILDER LANE BETWEEN MEADOW VIEW
DR NW AND RIO GRANDE BLVD NW**

**Applicant: VILLAS LAS MANANITAS DEVELOPMENT LLC
8301 LOMAS BLVD NE
ALBUQUERQUE, NM 87110**

**Agent: ADVANCED ENGINEERING AND CONSULTING LLC
4416 ANAHEIM AVE NE
ALBUQUERUQUE, NM 87113**

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

**Date Mailed: DECEMBER 29, 2006
Signature: ERIN TREMLIN**



Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Villas Las Mananitas Development, LLC PHONE: (505) 350-1625
 ADDRESS: 8301 Lomas Blvd., NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Ed Garcia
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Vacation of 10' Public Utility, Curb & Gutter & Sidewalk Maintenance Easement Between Lots 15-P2 and 16-P2

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 15-P2 and 16-P2 Block: _____ Unit: _____
 Subdiv. / Addn. Villas Las Mananitas Subdivision
 Current Zoning: R-1 Proposed zoning: The same
 Zone Atlas page(s): H-13-Z No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 0.2730 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305906035620409, Please see attached for the rest of the UPC Numbers MRGCD Map No. _____
 LOCATION PROPERTY BY STREETS: On or Near: Wilder Lane NW
 Between: Meadow View Dr., NW and Rio Grande Blvd., NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 05DRB-00918, 1004240.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Sally Salazar Cass DATE 12-21-06
 (Print) Sally Salazar Cass, Office Manager Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 01782</u>	<u>VPE</u>	<u>Y</u>	\$ <u>45.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>01/17/07</u>			Total \$ <u>140.00</u>

Sandy Handley 12/21/06
 Planner signature / date

Project # 1004240

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. 24 copies of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Sally Salazar Cass
 Applicant name (print)
Sally Salazar Cass 12-21-06
 Applicant signature / date



Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DRB-01782 Sandy Handley 12/21/06
 Planner signature / date
 Project # 1004240

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	10130590 72312202 24	1600 LLC	151 HOP TR EE TRL	CORR ALES	NM	8704 8	COM M	A1A M	* 03A REPL POR LTS 3 & 4 & 5 R I CE'S DURANES	0.28 3181 83
2	10130590 91315202 20	CUELLAR LEE M	PO BOX 1646	CORR ALES	NM	8704 8 16 46	VAC	A1A M	* 007 RICES DURANES ADD #2 EX C N PORT RW	0.10 4460 4
3	10130590 80348204 10	LAS MANANITAS PROPERTIES LL C	PO BOX 2620 7	ALBUQ UERQ UE	NM	8712 5 62 07	VAC	A1A M	MRGCD MAP 35 TRS 88, 89- A, 87B 1B, 87B2B & 83 AC	1.34 8049 75
4	10130590 86314202 21	ZARATE MANUE L J JR	2449 FRANZ EN RD SW	ALBUQ UERQ UE	NM	8710 5	RES	A1A M	* 006 RICES DURANES ADD #2 EX C N PORT RW	0.10 4965 07
5	10130590 80313202 22	STANLEY MARK A ETUX	2308 INDIAN SCHOOL RD NW	ALBUQ UERQ UE	NM	8710 6	RES	A1A M	* 05A REPL POR LTS 3 & 4 & 5 R I CE'S DURANES	0.10 0002 46
6	10130591 38371205 04	GRIEGO TOBIAS R	1832 MEADO WVIEW DR N W	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	MAP 35 TR 63A1	0.49 8247 94
7	10130590 88368204 05	LOVATO HERMA N	1825 5 MEAD OW VIEW DR NW	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	LT A PLAT OF LOTS A & B LANDS OF HERMAN LOVA C	0.27 6403 87
8	10130590 78360204 12	G3 INVESTORS L LC	PO BOX 2620 7	ALBUQ UERQ UE	NM	8712 5 62 07	VAC	A1A M	MAP 35 TR 87A1BXTR87A2	0.71 6253 42
9	10130590 96354204 92	MEHLHOP PATRI CIA	1819 MEADO WVIEW DR N W	ALBUQ UERQ UE	NM	8710 4 25 11	RES	A1A M	TR 87-C-3A OF REDIV OF TRS 87- C-1 & 87-C- 2 M BEING LDS OF MARY F	0.19 8258 17
10	10130590 67391204 24	BRAZEAL DENNI S & MARCIEA R	2005 MEADO WVIEW DR N W	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	* 002 006ED KROUGH ADD	0.18 9726 98
11	10130590 79370204 16	TAFOYA CLEOFE S JR ETAL	2224 MEADO W VIEW DR N W	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	TR 1 OF TRS 1 & 2 BEING A REPL OF TRS 86B3A1 A P 35 CONT 0.31 ACC	0.33 5446 39
12	10130591 06364204 14	ENCEE BIANCA	2427 WILLIA MS SE	ALBUQ UERQ UE	NM	8710 2	RES	A1A M	LT B PLAT OF LOTS A & B LANDS OF HERMAN LOVA C	0.24 0379 93
13	10130590 89354204 07	G3 INVESTORS L LC	PO BOX 2620 7	ALBUQ UERQ UE	NM	8712 5 62 07	RES	A1A M	TR 87-B-3- A MAP 35 (AKA MAP 35 TR 87B3 E XC T .1070 AC	0.11 5408 27
14	10130590 96336204 04	MCLEAN MICHA EL L & CHERYL K	2215 INDIAN SCHOOL RD NW	ALBUQ UERQ UE	NM	8710 4 25 57	RES	A1A M	MRGCD MAP 35 TRACTS 89B3 & 8 9B 4A	0.34 9279 44
15	10130591 08370204 18	DEAGUERO JOS EPH A	1833 MEADO W VIEW DR N W	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	MAP 35 TR 86B3B	0.29 6207 71
16	10130590 74334204 02	GARCIA SHEILA H P	PO BOX 2620 7	ALBUQ UERQ UE	NM	8712 5 62 07	COM M	A1A M	MAP 35 TR 89 B2A LESS POR TO RW	0.42 0843 89
17	10130590 49305201 12	WILLIAMS CALVI N & MARY E	2414 LILAC D R NW	ALBUQ UERQ UE	NM	8710 4 26 27	COM M	A1A M	* 005 RICE DURANES ADD #1	0.21 7586 92
18	10130590 85336204 03	SCOTT DONNA MUIR & MARION	2217 INDIAN SCHOOL RD NW	ALBUQ UERQ UE	NM	8710 4 25 57	RES	A1A M	MAP 35 TR 89 B2B	0.49 0563 68
19	10130590 27345203 17	OSO DEL RIO LL C	2420 ROZINA NTE NW	ALBUQ UERQ UE	NM	8710 4	COM M	A1A M	LOT 1 PLAT OF LOTS 1, 2, AND 3 OSO DEL RIO C	0.63 5875 79
20	10130591	LAS MANANITAS	PO BOX 2620	ALBUQ	NM	8712	VAC	A1A	TRACT A-2 PLAT OF TRACTS A-	0.15

0	19340204 19	PROPERTIES LLC	7	ALBUQUERQUE		5 62 07		M	1 & A-2 LAND OF E 0.1608 AC M/L	2721
2 1	10130590 05380208 18	HADDAWAY ED WARD A & BARB ARA J	1915 RIO GR ANDE BLV N W	ALBUQUERQUE	NM	8711 4	RES	A1A M	MRGCD MAP 35 TRACT 91A1A1B1 A1B 2 CONT 1.098 A	1.05 9239 8
2 2	10130591 23351205 13	SMITH BRUCE R & DONNA M	2133 PASEO DEL PRADO L N	ALBUQUERQUE	NM	8710 4	RES	A1A M	*4 PASEO DEL PRADO SUBD BEIN G A REPL OF TR A CONT 6,514.0 0 SQ FT	0.14 9409 54
2 3	10130590 92372204 17	LOVATO LINDA	1625 LOS AR BOLES NW	ALBUQUERQUE	NM	8710 7	RES	A1A M	MAP 35 TR 86B3 A2	0.21 6101 14
2 4	10130591 08357204 06	FELDMAN MARK METUX	1821 5 MEAD OW VIEW DR NW	ALBUQUERQUE	NM	8710 4	RES	A1A M	TR 87-C-1A OF REDIV OF TRS 87- C-1 & 87-C- 2 M COMPR LDS OF MARY F	0.24 8307 81
2 5	10130590 79355204 08	G3 INVESTORS L LC	PO BOX 2620 7	ALBUQUERQUE	NM	8712 5 62 07	RES	A1A M	TR 87-B-2- A MAP 35 (AKA MAP 35 TR 87B2 E XC T .1200 AC	0.11 7111 58
2 6	10130590 60356204 09	G3 INVESTORS L LC	PO BOX 2620 7	ALBUQUERQUE	NM	8712 5 62 07	RES	A1A M	TR 87-B-1- A MAP 35 (AKA MAP 35 TR 87B1 E XC T .3873 AC	0.45 8808 8
2 7	10130590 57370204 15	DE BACA ANITA C	1908 RIO GR ANDE BLV N W	ALBUQUERQUE	NM	8710 4	RES	A1A M	MAP 35 TR 86B2	1.02 5580 01
2 8	10130591 10351204 13	FELDMAN MARK M & MARY E	1821 MEADO WVIEW DR N W	ALBUQUERQUE	NM	8710 4 25 11	RES	A1A M	TR 87-C-2A OF REDIV OF TRS 87- C-1 & 87-C- 2 M BEING LDS OF MARY F	0.15 0681 88
2 9	10130591 55370205 01	PUCETTI MICH AEL DEAN & ALI CE	3902 A SAN I SIDRO CT N W	ALBUQUERQUE	NM	8710 7	RES	A1A M	LTS 1, 2 & 3 PASEO DEL PRADO S UBDIVISION BEI TRACT A & B OF THE P	0.69 9501 35
3 0	10130590 45386204 21	EYSTER GARY L & MELODIE O	PO BOX 1647 3	ALBUQUERQUE	NM	8719 1	RES	A1A M	MRGCD MAP 35 TRS 60A2 & 60B & 86A CONT 1.064	1.13 2215 46
3 1	10130590 48362204 11	BRANCH TURNER & MARGARET M	1904 RIO GR ANDE BLV N W	ALBUQUERQUE	NM	8711 4	RES	A1A M	MAP 35 TR 87A1A	0.20 5744 45
3 2	10130590 40324211 01									0.78 8914 29
3 3	10130590 85392210 21	MARTINEZ DAVI D &	4516 12TH S T NW	ALBUQUERQUE	NM	8710 7	RES	A1A M	* 002 005EDWARD KROGH ADDN	0.18 4949 84
3 4	10130591 25341205 22	CORNS JEANNE M	2132 PASEO DEL PRADO NW	ALBUQUERQUE	NM	8710 4 25 70	RES	A1A M	*13 PASEO DEL PRADO SUBD BEI NG A REPL OF TR R CONT 3,819. 37 AC M	0.08 2133 21
3 5	10130590 50312201 13	WILLIAMS CALVI N & MARY E	2414 LILAC D R NW	ALBUQUERQUE	NM	8710 4 26 27	COM M	A1A M	* 006 RICE DURANES ADD #1	0.06 9227 27
3 6	10130591 11317202 16	JARAMILLO JOY CE	2226 INDIAN SCHOOL RD NW	ALBUQUERQUE	NM	8710 4 25 33	RES	A1A M	* 011 RICES DURANES ADD =2 N P ORTO R W	0.11 524
3 7	10130591 23321202 13	BROWN NADINE P & THOMAS M	2110 INDIAN SCHOOL RD NW	ALBUQUERQUE	NM	8710 4 23 18	RES	A1A M	* 014 RICES DURANES ADD NO 2 E 46 FT OF 13	0.25 2048 58
3 8	10130591 01316202 18	ABEYTA FAMILY TRUST	2300 INDIAN SCHOOL RD NW	ALBUQUERQUE	NM	8710 4 25 35	RES	A1A M	EAST 46FT LOT 9 EXCEPT NORTH ER LY PORTION TO C E DURANES ADDI	0.11 8932 8
3 9	10130590 65379204 22	DUNCAN RONAL D L	2226 MEAD W VIEW PL N W	ALBUQUERQUE	NM	8710 4	RES	A1A M	MAP 35 TR 86 B1 MRGCD	0.24 3497 97
4 0	10130590 21369208 10	PACHECO FIDEL ETUX	2808 NICOLA S RD NW	ALBUQUERQUE	NM	8710 4 27 44	COM M	A1A M	MRGCD MAP # 35 TRACTS 91A1A 1B2 B, 91A1A1B2A2 ONT .2377 AC	0.25 6950 91
4	10130590	LOVATO FEDERI	1625 LOS AR	ALBUQUERQUE	NM	8710	RES	A1A	*J-	0.14

1	95387210 29	CO GUILLERMO &	BOLES NW	UERQ UE		7		M	1 REDIVISION LANDS OF BENER A NDA R JARAMIL R S 61B2B1C AND 61B2	5538 04
4 2	10130591 19334204 20	LAS MANANITAS LLC	PO BOX 2620 7	ALBUQ UERQ UE	NM	8712 5 62 07	RES	A1A M	TRACT A-1 PLAT OF TRACTS A- 1 & A-2 LAND OF E 0.169 AC M/L	0.17 9314 43
4 3	10130591 06316202 17	DURAN YOLAND A ROMERO ETAL	2228 INDIAN SCHOOL RD NW	ALBUQ UERQ UE	NM	8710 4 25 33	RES	A1A M	* 010 RICES DURANES ADD #2 EX C N PORT TO RW	0.11 9777 13
4 4	10130590 84386210 01	MALDONADO EL OY R & BONNIE S &	2000 MEADO W VIEW RD N W	ALBUQ UERQ UE	NM	8710 7	RES	A1A M	* 001 005ED KROUGH ADD	0.18 0571 2
4 5	10130591 38351205 14	LIDDICOET WILLI AM B & DIANNE F	2127 PASEO DEL PRADO NW	ALBUQ UERQ UE	NM	8710 4 25 71	RES	A1A M	*5 PASEO DEL PRADO SUBD BEIN G A REPL OF TR A CONT 4,696.9 3 SQ FT	0.10 8084 19
4 6	10130590 66385204 23	FIERRO ODELIA P & MARTINEZ F D	2001 MEADO W VIEW DR N W	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	* 001 006ED KROUGH ADD	0.20 8514 46
4 7	10130590 97316202 19	ARAGON ERNES T C	2302 INDIAN SCHOOL RD NW	ALBUQ UERQ UE	NM	8710 4	RES	A1A M	LOT 8 & WEST 4FT OF LOT 9 EXC E PT NORTHERLY P I CE DURANE S NUM	0.11 0411 71
4 8	10130591 22341205 23	FINDLAY JOHN G RAHAM & NOLA B	2426 DIETZ F ARM RD NW	ALBUQ UERQ UE	NM	8710 7 31 51	RES	A1A M	*14 PASEO DEL PRADO SUBD BEI NG A REPL OF TR R CONT 6,239. 24 SQ F	0.13 6562 36
4 9	10130591 15318202 14	SANTISTEVAN G LORIA	2224 INDIAN SCHOOL RD NW	ALBUQ UERQ UE	NM	8710 7	RES	A1A M	* 012 E 46FT OF LOT 12 & W 4FT OF LOT 13 & W E XC NLY POR OU T TO	0.13 0530 86
5 0	10130590 20376208 15	SANDOVAL ALVI N &	30 CALLE LIS A	SANTA FE	NM	8750 1	VAC	A1A M	MRGCD MAP # 35 TRACTS 91A1A 1B1 A5, 91A1A1B1A6 91A1A1B1A4 A CON	0.13 1606 56

Or Current Resident
1600 LLC
151 HOP TREE TRL
CORRALES, NM 87048

Or Current Resident
ABEYTA FAMILY TRUST
2300 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104 2535

Or Current Resident
ARAGON ERNEST C
2302 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104

Or Current Resident
BRANCH TURNER & MARGARET M
1904 RIO GRANDE BLV NW
ALBUQUERQUE, NM 87114

Or Current Resident
BRAZEAL DENNIS & MARCIEA R
2005 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
BROWN NADINE P & THOMAS M
2110 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104 2318

Or Current Resident
CORNS JEANNE M
2132 PASEO DEL PRADO NW
ALBUQUERQUE, NM 87104 2570

Or Current Resident
CUELLAR LEE M
PO BOX 1646
CORRALES, NM 87048 1646

Or Current Resident
DE BACA ANITA C
1908 RIO GRANDE BLV NW
ALBUQUERQUE, NM 87104

Or Current Resident
DEAGUERO JOSEPH A
1833 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
DUNCAN RONALD L
2226 MEADOW VIEW PL NW
ALBUQUERQUE, NM 87104

Or Current Resident
DURAN YOLANDA ROMERO ETAL
2228 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104 2533

Or Current Resident
ENCEE BIANCA
2427 WILLIAMS SE
ALBUQUERQUE, NM 87102

Or Current Resident
EYSTER GARY L & MELODIE O
PO BOX 16473
ALBUQUERQUE, NM 87191

Or Current Resident
FELDMAN MARK M & MARY E
1821 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104 2511

Or Current Resident
FELDMAN MARK M ETUX
1821 5 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
FIERRO ODELIA P & MARTINEZ F D
2001 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
FINDLAY JOHN GRAHAM & NOLA B
2426 DIETZ FARM RD NW
ALBUQUERQUE, NM 87107 3151

Or Current Resident
G3 INVESTORS LLC
PO BOX 26207
ALBUQUERQUE, NM 87125 6207

Or Current Resident
GARCIA SHEILAH P
PO BOX 26207
ALBUQUERQUE, NM 87125 6207

Or Current Resident
GRIEGO TOBIAS R
1832 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
HADDAWAY EDWARD A &
BARBARA J
1915 RIO GRANDE BLV NW
ALBUQUERQUE, NM 87114

Or Current Resident
JARAMILLO JOYCE
2226 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104 2533

Or Current Resident
LAS MANANITAS PROPERTIES LLC
PO BOX 26207
ALBUQUERQUE, NM 87125 6207

Or Current Resident
LIDDICOET WILLIAM B & DIANNE F
2127 PASEO DEL PRADO NW
ALBUQUERQUE, NM 87104 2571

Or Current Resident
LOVATO FEDERICO GUILLERMO &
1625 LOS ARBOLES NW
ALBUQUERQUE, NM 87107

Or Current Resident
LOVATO HERMAN
1825 5 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
LOVATO LINDA
1625 LOS ARBOLES NW
ALBUQUERQUE, NM 87107

Or Current Resident
MALDONADO ELOY R & BONNIE S &
2000 MEADOW VIEW RD NW
ALBUQUERQUE, NM 87107

Or Current Resident
MARTINEZ DAVID &
4516 12TH ST NW
ALBUQUERQUE, NM 87107

Or Current Resident
MCLEAN MICHAEL L & CHERYL K
2215 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104 2557

Or Current Resident
MEHLHOP PATRICIA
1819 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104 2511

Or Current Resident
OSO DEL RIO LLC
2420 ROZINANTE NW
ALBUQUERQUE, NM 87104

Or Current Resident
PACHECO FIDEL ETUX
2808 NICOLAS RD NW
ALBUQUERQUE, NM 87104 2744

Or Current Resident
PUCETTI MICHAEL DEAN & ALICE
3902 A SAN ISIDRO CT NW
ALBUQUERQUE, NM 87107

Or Current Resident
SANDOVAL ALVIN &
30 CALLE LISA
SANTA FE, NM 87501

Or Current Resident
SANTISTEVAN GLORIA
2224 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87107

Or Current Resident
SCOTT DONNA MUIR & MARION
2217 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87104 2557

Or Current Resident
SMITH BRUCE R & DONNA M
2133 PASEO DEL PRADO LN
ALBUQUERQUE, NM 87104

Or Current Resident
STANLEY MARK A ETUX
2308 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87106

Or Current Resident
TAFOYA CLEOFES JR ETAL
2224 MEADOW VIEW DR NW
ALBUQUERQUE, NM 87104

Or Current Resident
WILLIAMS CALVIN & MARY E
2414 LILAC DR NW
ALBUQUERQUE, NM 87104 2627

Or Current Resident
WILLIAMS CALVIN & MARY E
2414 LILAC DR NW
ALBUQUERQUE, NM 87104 2627

Or Current Resident
ZARATE MANUEL J JR
2449 FRANZEN RD SW
ALBUQUERQUE, NM 87105

Project# 1004240
VILLAS LAS MANANITAS
DEVELOPMENT LLC
8301 LOMAS BLVD NE
ALBUQUERQUE, NM 87110

Project# 1004240
ADVANCED ENGINEERING AND
CONSULTING LLC
4416 ANAHEIM AVE NE
ALBUQUERQUE, NM 87113

Project# 1004240
FRANK MANGANO
Rio Grande Blvd N.A.
4300 RIO GRANDE NW
ALBUQUERQUE, NM 87107

Project# 1004240
WINNIE KIMBROUGH
Rio Grande Blvd N.A.
2327 CAMPBELL RD NW
ALBUQUERQUE, NM 87104

Project# 1004240
WILLIAM C. HERRING
Los Duranes N.A.
3104 COCA RD NW
ALBUQUERQUE, NM 87104

Project# 1004240
BEVERLY SCHOONOVER
Los Duranes N.A.
3308 BEACH NW
ALBUQUERQUE, NM 87104



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: December 19, 06

TO CONTACT NAME: Sally Salazar
 COMPANY/AGENCY: Advanced Engineering and Consulting, LLC
 ADDRESS/ZIP: 4416 Anaheim Ave. NE - 87113
 PHONE/FAX #: 899-5570 - (Fax - 897-4996)

Thank you for your inquiry of 12-19-06 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 87-A-1, 887-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89B-1, 89-B-2
MRCO Map No 35 Lots A-1 + A-2 Lands of E. Maes located on Indian School Rd. NW
 zone map page(s) H-13 between Meadow View Dr NW and Rio Grande Blvd. NW

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Rio Grande Blvd. N.A.
 Neighborhood Association
 Contacts: Frank Mangano
4300 Rio Grande NW / 87107
343-8736 (h)
Winnie Kimbrough
2327 Campbell Rd. NW / 87104
344-1363 (h)

Los Duranes N.A.
 Neighborhood Association
 Contacts: William C. Herring
3104 Coca Rd. NW / 87104
Beverly Schoonover
3308 Beach NW / 87104
242-1778 (h)

See reverse side for additional Neighborhood Association Information: YES () NO (X)

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaine L. Carmoza
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)


The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet -OR-
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

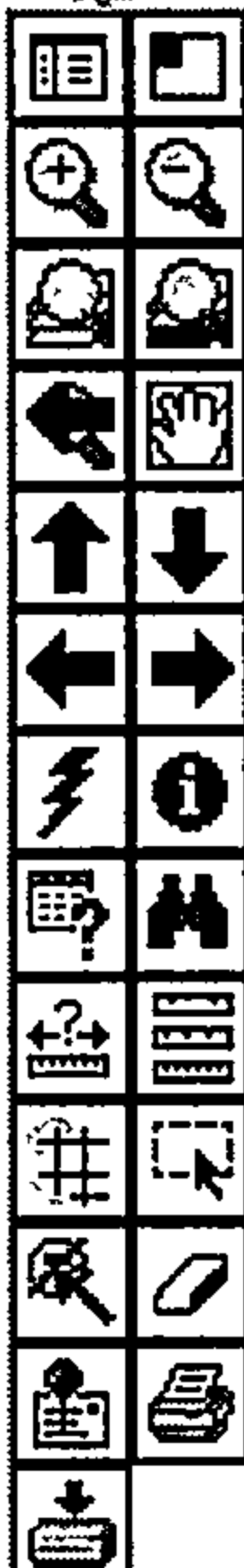
(Below this line for ONC use only)

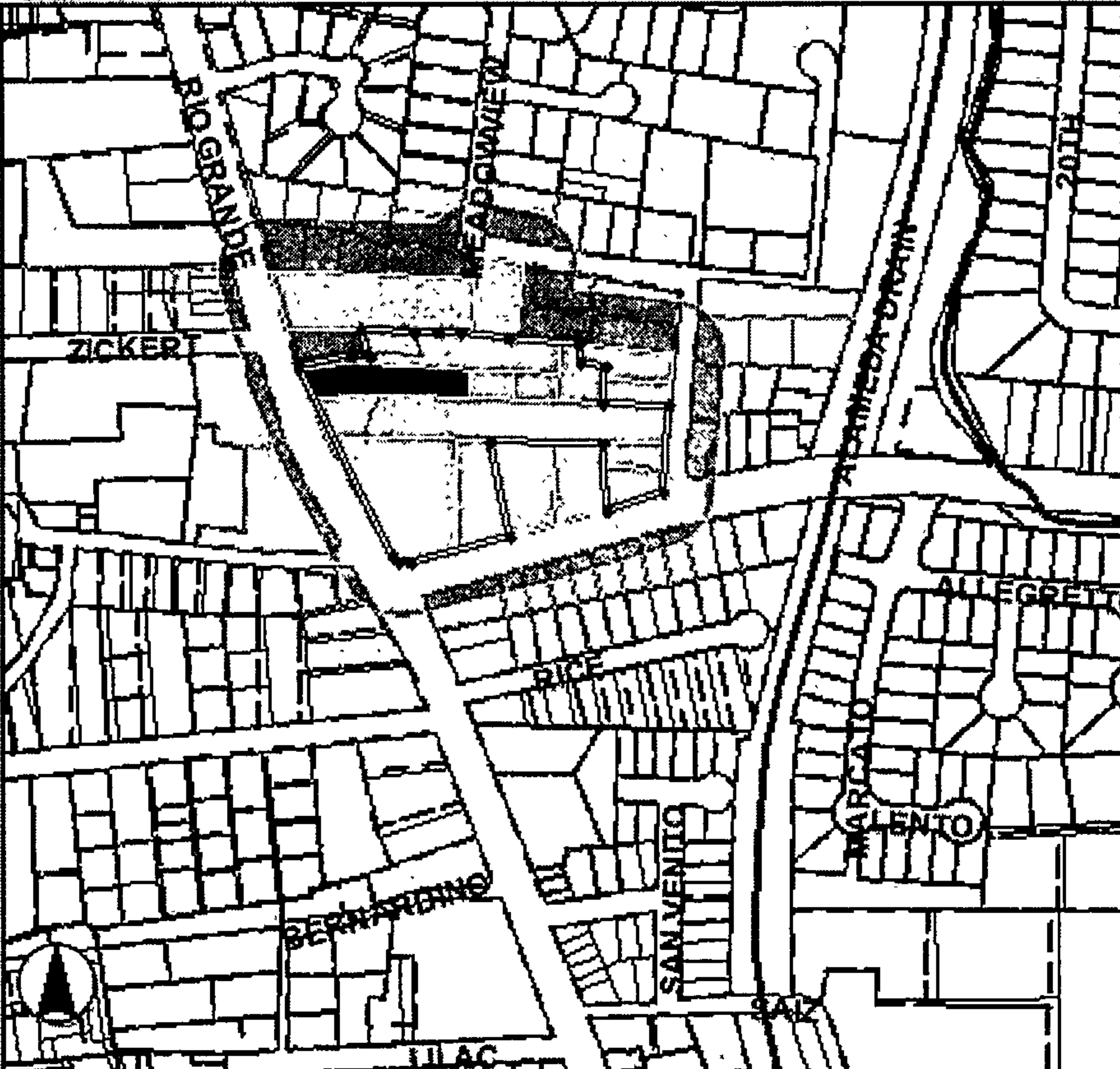
Date of Inquiry: 12-19-06 Time Entered: 3:11 pm ONC Rep. Initials: DC



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- MUNICIPAL LIMITS
- ZONE GRID
- NEIGHBORHOODS
- METRO DEV AREA
- DASZ
- POLICE BEATS
- COUNCIL
- PARKS
- PETROGLYPH MNT
- BOSQUE SECTORS
- OPENSACE
- COMP PLAN
- AREA PLANS
- SECTOR PLANS
- SENATE DISTRICT
- REP. DISTRICTS
- PLANNING AREAS
- HISTORIC ZONES
- CORRIDORS
- ZIPCODES
- POVERTY POCKET
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

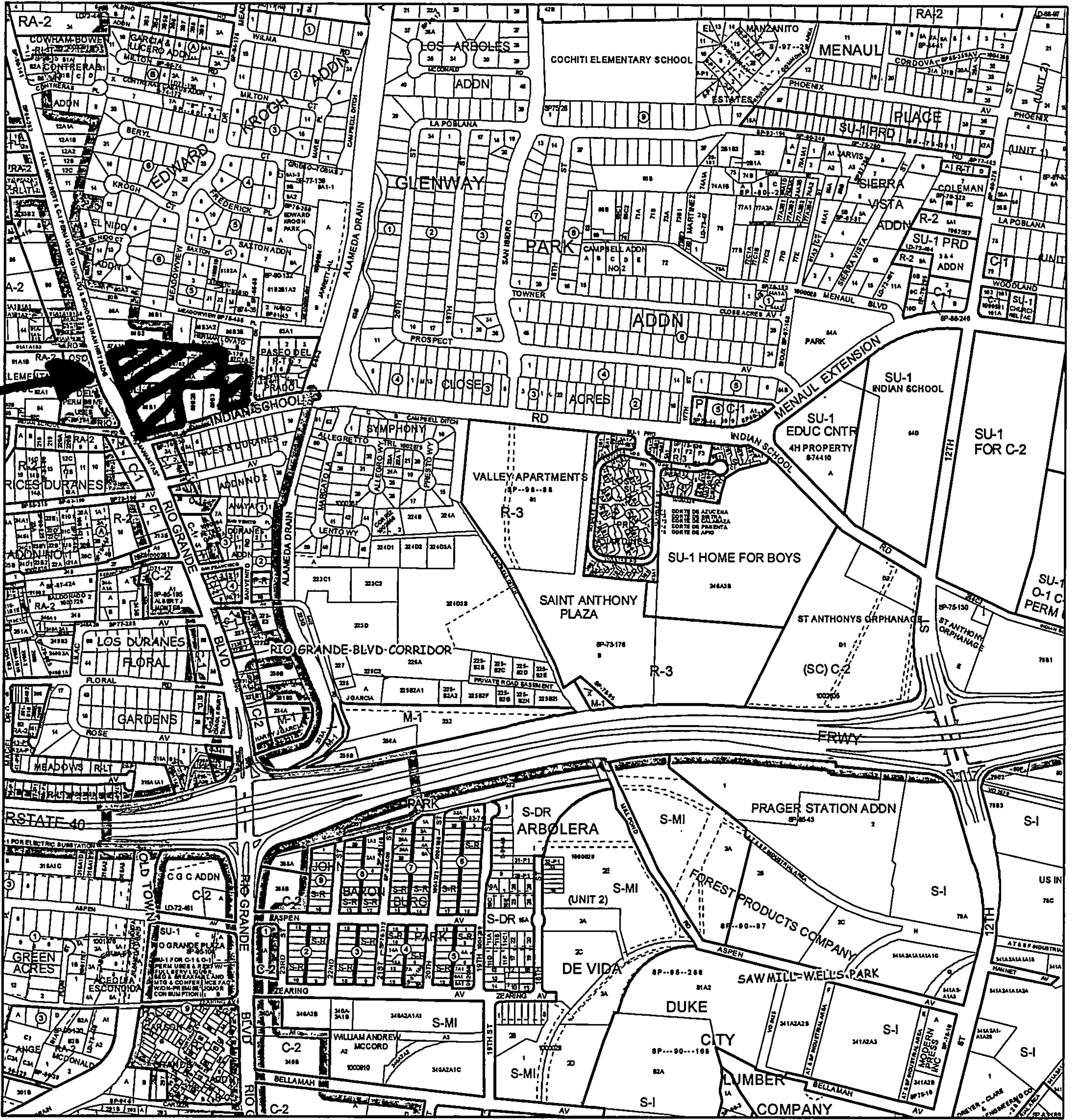
Closed group, click to open

OWNERSHIP			
Rec	UPC CODE	OWNER	OWNER ADDRESS
1	101305907231220224	1600 LLC	151 HOP TREE TR
2	101305909131520220	CUELLAR LEE M	PO BOX 1646
2	101205008024920410	LAS MANANITAS PROPERTIES, LLC	PO BOX 26207


Pan
SEARCH
REFRESH
HELP
INDEX PAGE

[CONTACT](#)

SITE

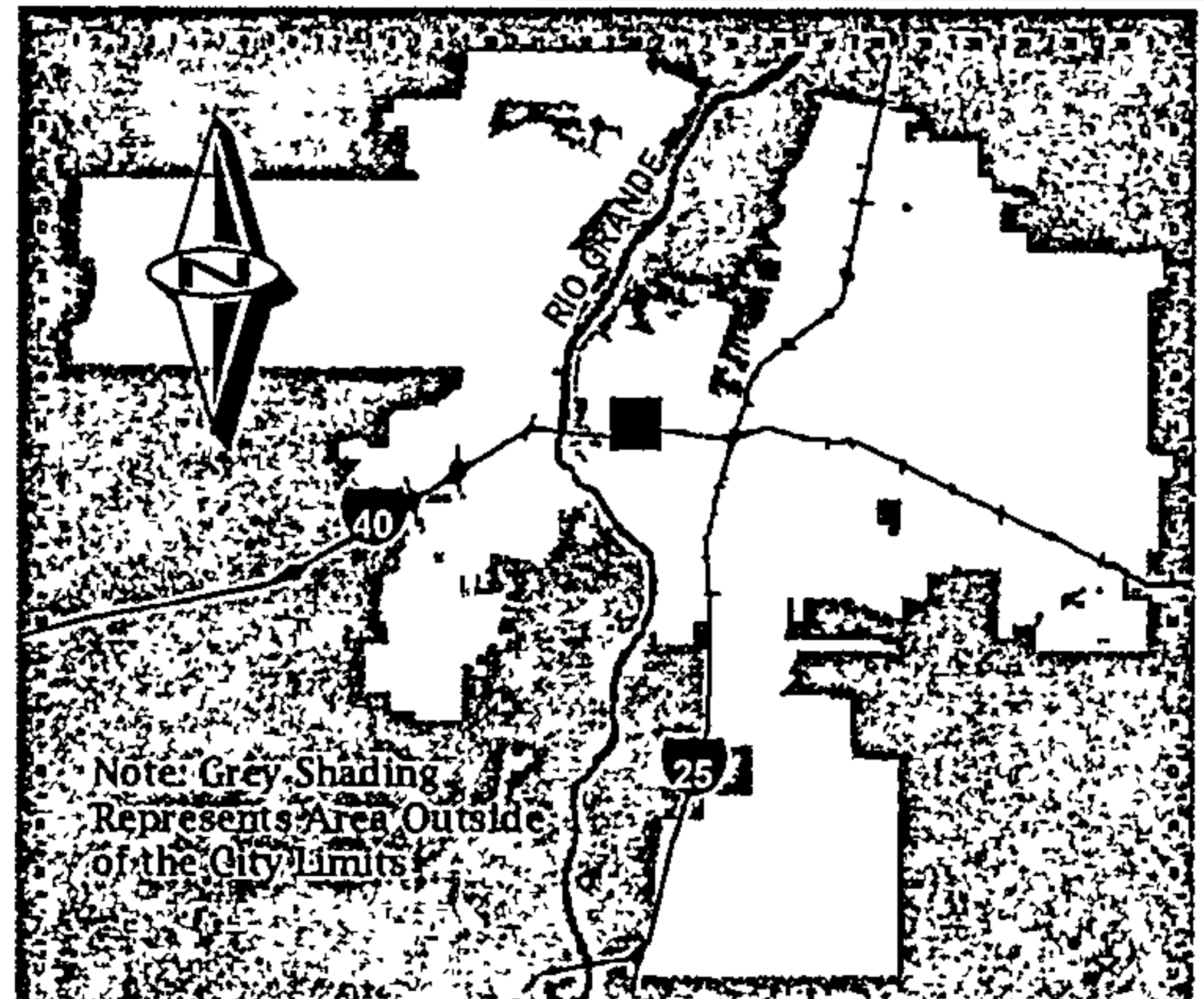


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System


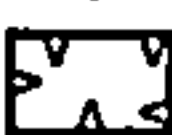







Map amended through: 1/12/2006



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

0 750 1,500 Feet

Continuing UPC Numbers form the DRB Application:

101305907836020412,

101305907935520408,

101305911933420420,

101305911934020419,

101305908304820410,

101305906033420401,

101305907433420402,

101305908935420407,



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

January 11, 2007

TO: William C. Herring and Beverly Schoonover, Los Duranes Neigh. Assoc.
Frank Mangano and Winnie Kimbrough, Rio Grande Blvd. Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Approximately one (1) acre(s) – Major Vacation of Public Easements for 10 feet of public utility, curb, gutter and sidewalk maintenance easement.**

Proposed by: Advanced Engineering and Consulting, LLC at 505-350-1625
Agent for: Villa Las Mananitas Development, LLC

For property located: On or near Wilder Lane NW between Meadow View Drive NW and Rio Grande Boulevard NW.

The case number(s) assigned is: 06DRB-01782, Project # 1004240.

City Planning accepted application for this request on **December 21, 2006.**

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on **Wednesday, January 17, 2007** in the **Planning Hearing Room, Room 160, Plaza Del Sol Building, 600 Second St. NW.**

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

#21



DRB CASE ACTION LOG (FINAL PLAT)

Comp \$5 10/31/06

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01524 (FP)

Project # 1004240

Project Name: LANDS OF E. MAS

Agent: Advanced Engineering

Phone No.: 899-5570

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: * FREQUENT ADJUSTMENT
- * NOTE to ADD CURB & Sid Maintenance
-
-
-

- ~~UTILITIES~~ assessment adjustment
-
-
-

- CITY ENGINEER / AMAFCA: _____
-
-
-

- PARKS / CIP: _____
-
-
-

- PLANNING (Last to sign): AGIS & record
-
-
-

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Called agent for P.U. 10/31/06 \$5 -

Project Number 1004240

#21



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>06DRB-01524 (FP)</u>	Project # <u>1004240</u>
Project Name: <u>LANDS OF E. MAS</u>	
Agent: <u>Advanced Engineering</u>	Phone No.: <u>899-5570</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/25/06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: * EASEMENT ADJUSTMENT
 * NOTE IS ADD CURB & SW M-102/102

- ~~UTILITIES: easement adjustment~~

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): AGIS ~~kt~~
 record

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1004240

4240

DXF Electronic Approval Form

DRB Project Case #: 1004240

Subdivision Name: VILLAS LAS MANANITAS

Surveyor: LEONARD G MARTINEZ

Contact Person: SHAWN BIAZAR

Contact Information: 889-5570

DXF Received: 10/30/2006

Hard Copy Received: 10/30/2006

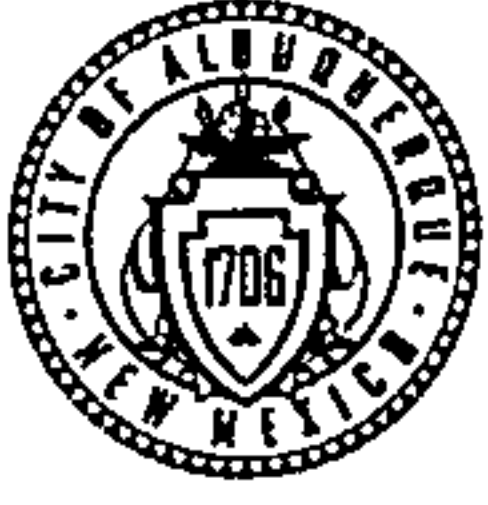
Coordinate System: NMSP Grid (NAD 27)


Approved

10-30-2006
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 4240 to agiscov on 10/31/2006 Contact person notified on 10/31/2006



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 25, 2006

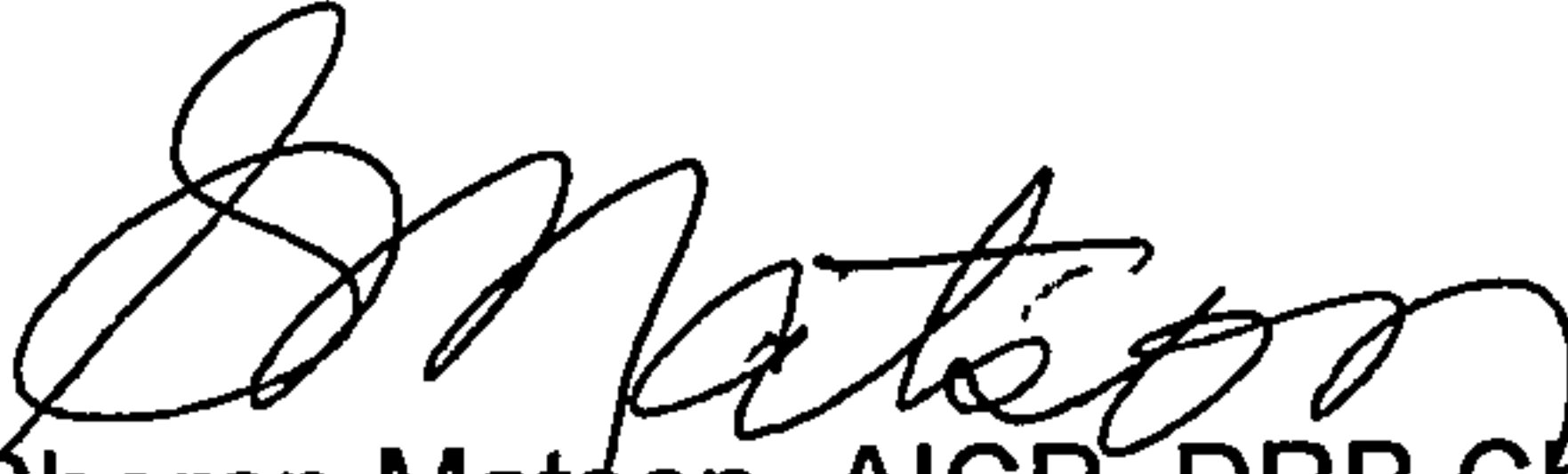
21. Project # 1004240

06DRB-01524 Major-Final Plat Approval
06DRB-01525 Minor-Subd Design (DPM) Variance

ADVANCED ENGINEERING AND CONSULTING agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 & A-2, **LANDS OF E. MAS**, zoned SU-1 for C-1 and R-1, located on Indian School Rd NW between Meadow View Dr NW and Rio Grande Blvd NW containing approximately 5 acre(s). [REF: 05DRB-00918] (H-13)

At the October 25, 2006, Development Review Board meeting, the final plat was approved with final sign off delegated to Transportation Development for easement adjustments and a note to add curb and sidewalk maintenance and Planning for AGIS dxf file and to record.

A subdivision design variance from minimum DPM standards was approved as shown on Exhibit C in the Planning file.


Sheran Matson, AICP, DRB Chair

Cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 25, 2006 9:00 a.m.
MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 1:50 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001562**
06DRB-01408 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for the **RESERVE @ FOUR HILLS**, zoned R-1, located on WAGON TRAIN SE, between RATON AVE SE and RIO ARRIBA AVE SE containing approximately 17 acre(s) (M-22) **TWO YEAR SIA WAS APPROVED.**

2. **Project # 1002984**
06DRB-01386 Major-Vacation of Pub
Right-of-Way
3. **Project # 1004989**
06DRB-01411 Major-Preliminary Plat
Approval
06DRB-01412 Major-Vacation of Public
Easements
06DRB-01413 Minor-Subd Design (DPM)
Variance
06DRB-01414 Minor-Sidewalk Waiver
06DRB-01415 Minor-Temp Defer SDWK

ROBERT J. POWERS request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 2, **VOLCANO CLIFFS, UNIT 2**, zoned R-1, located on KIMBERLITE NW, between CLIFF RD NW and POPO NW containing approximately 1 acre(s). (E-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) A, UNIT 2, WILDERNESS @ HIGH DESERT (to be known as **WILDERNESS CANON @ HIGH DESERT**) zoned SU-2, HD/R-R, located on HIGH DESERT PL NE, between TRAILHEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 06DRB-00933, 04DRB-00713,, 04DRB-01723] [*Deferred from 10/25/06*] (F-23) **DEFERRED AT THE BOARD'S REQUEST TO 11/8/06.**

4. **Project # 1005179**
06DRB-01417 Major-Amnd SiteDev Plan
BldPermit

MAHLMAN STUDIO ARCHITECTURE agent(s) for CITY OF ALBUQUERQUE OFFICE OF SENIOR AFFAIRS, request(s) the above action(s) for all or a portion of Lot(s) 1-A-2, ATRISCO BUSINESS PARK, UNIT 2 (to be known as **LOS VOLCANES FITNESS CENTER**) zoned SU-1 FOR SENIOR CENTER, located on LOS VOLCANES RD NW, between AIRPORT NW and COORS NW containing approximately 3 acre(s). (J-10) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PARKING ISSUES AND SIDEWALK EASEMENT QUESTION AND PLANNING FOR 3 COPIES OF THE PLAN AND COMMENTS IN THE FILE.**

5. **Project # 1005031**
06DRB-01077 Major-Vacation of Public Easements

SURV-TEK agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS, UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018] [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

- 06DRB-01017 Major-Preliminary Plat Approval
06DRB-01018 Minor-Temp Defer SDWK

SURV TEK & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9-A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). (Listed as Project 1004644 in error) [Deferred from 8/9/06 & 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

- 06DRB-01282 Minor-Subd Design (DPM) Variance

WILSON AND COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9A, THE TRAILS UNIT 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [REF: 06DRB-01017, 06DRB-01018, DRB-01077] [Deferred from 9/13/06 & 9/27/06 & 10/4/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

6. **Project # 1005070**
06DRB-01154 Major-Preliminary Plat Approval
06DRB-01156 Minor-Sidewalk Waiver
06DRB-01155 Minor-Temp Defer SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, THE TRAILS, UNIT 2 (to be known as **TAOS @ THE TRAILS, UNIT 2**) zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). [Deferred from 9/6/06 & 9/13/06 & 9/27/06 & 10/11/06 & 10/25/06] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 11/29/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- 7. Project # 1003272**
06DRB-01509 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for AMERI-CONTRACTORS request(s) the above action(s) for all or a portion of Tract(s) 2-A-1-B-2-B-1, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 FOR C-3 USES, located on EAGLE RANCH RD NW, between PASEO DEL NORTE NW and ALL SAINTS NW containing approximately 1 acre(s). [REF: 06DRB01253] (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK EASEMENTS ALONG HIGH ASSETS AND EAGLE RANCH ROAD, PICTURES OF PERMANENT CURVE AND UTILITIES DEVELOPMENT FOR RESOLUTION OF SEWER SERVICE AND 3 COPIES OF THE SITE PLAN.**

- 8. Project # 1004644**
06DRB-01189 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of, THE TRAILS, UNIT 2, SANTA FE 3, (to be known as **THE TRAILS, UNIT 9A**) zoned SU-2-SRSL, located on WOODMONT AVE NW, between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 20 acre(s). [Deferred from 8/23/06 & 9/13/06 & 9/27/06 & 10/4/06] (C-9) **WITHDRAWN AT THE AGENT'S REQUEST.**

- 9. Project # 1004872**
06DRB-01491 Minor-SiteDev Plan
BldPermit/EPC

DENISH & KLINE ASSOCIATES agent(s) for FOREST CITY COVINGTON NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) within the NW ¼ of the NW ¼ of Section 22, T9N, R3E, NMPM, Mesa Del Sol Employment Center, Phase I, **MESA DEL SOL, BUILDINGS 2 & 3**, zoned SU-1/IP Uses, located on University Blvd Extension SE between Street C SE and Street D SE containing approximately 12 acre(s). [Catalina Lehner, EPC Case Planner] [Deferred from 10/18/06] (R-16) **WITH THE SIGNING OF THE**

INFRASTRUCTURE LIST DATED 10/25/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/10/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND COMPLETION OF AMENDMENT TO UTILITY DEVELOPMENT AGREEMENT AND PLANNING FOR 3 COPIES OF THE SITE PLAN.

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1000029**
06DRB-01517 Minor-Extension of
Preliminary Plat

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND AND TRUST request(s) the above action(s) for all or a portion of Lot(s) C and B-1A-1, **DUKE CITY LUMBER COMPANY ADDITION** and Lot(s) D-1-A, **ARBOLERA DE VIDA, PHASE 2**, zoned S-M1, S-DR, located on Bellamah Ave NW between 19th St NW and 18th St NW containing approximately 25 acre(s). [REF: 05DRB-01681] (H-13) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

11. **Project # 1001656**
06DRB-01510 Minor-Prelim&Final Plat
Approval

SANTIAGO ROMERO JR. agent(s) for CITY OF ALBUQUERQUE, AVIATION DEPARTMENT request(s) the above action(s) for all or a portion of Tract(s) A & L, Parcels 1-5, **DOUBLE EAGLE II AIRPORT**, zoned SU-1 Airport Related Facilities, located west of Paseo De Vulcan NW and north of Double Eagle II Airport containing approximately 3, 489 acre(s). [REF: 02DRB00710] (C-4, C-5, D-5, D-6, E-4, E-5, E-6, G-4, G-5 & G-6) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SHOWING OF ACCESS FOR PARCELS 1-5 AND PLANNING FOR NOTICE OF SUBDIVISION PLAT CONDITIONS DOCUMENT AND TO RECORD.**

12. **Project # 1003757**
06DRB-01522 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for CREAMLAND LLC request(s) the above action(s) for Lot(s) 1-12, Block(s) 4, FRANCISCAN ADDITION and Lot(s) 1-7, Block(s) 2, ALVARADO ADDITION and Lot(s) 1-7, Block(s) 7, ALVARADO ADDITION and VACATED HAINES AVE RIGHT-OF-WAY (to be known as **TRACT A, LANDS OF CREAMLAND LLC**) zoned M-1 light manufacturing zone, located on MCKNIGHT AVE NW, between 2ND ST NW and 3RD ST NW containing approximately 3 acre(s). [REF: 04DRB-01688] (H-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/25/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

13. **Project # 1005219**
06DRB-01516 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING agent(s) for DAVID HILLSON request(s) the above action(s) for all or a portion of Tract(s) A-1, **WAGGOMAN-DENISON ADDITION**, zoned C-2, located on Wyoming Blvd SE between Central Ave SE and Zuni Rd SE containing approximately 2 acre(s). (K-20) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENTS AND DRIVE PAD CONSOLIDATION AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

14. **Project # 1005147**
06DRB-01527 Minor-Prelim&Final Plat
Approval

B. KAY SHAFER request(s) the above action(s) for all or a portion of Lot(s) 47, **UNIT 3 MCDONALD ACRES**, zoned R-1 residential zone, located on PHOENIX AVE NW, between 9TH ST NW and 10TH ST NW containing approximately 1 acre(s). [REF: 06DRB-01342] (H-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

15. **Project # 1004924**
06DRB-01514 Minor-Final Plat Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) B, **FEDERAL PLAZA**, zoned SU-1 FOR O-1 USES, located on HOMESTEAD RD NE, between MONTGOMERY BLVD NE and SAN MATEO BLVD NE containing approximately 4 acre(s). [REF: 06DRB-01181, 06DRB-01274, 06DRB-01273] (G-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE OF NOTE 14 PUBLIC SIDEWALK EASEMENT.**

16. **Project # 1004739**
06DRB-01511 Minor-Final Plat Approval

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 4, Trails, Unit 2 (to be known as **SANTA FE 3 @ THE TRAILS, UNIT 2**), zoned SU-2-UR, located on Oakridge St NW between Rainbow Blvd NW and Universe Blvd NW containing approximately 19 acre(s). [REF: 06DRB-01382, 06DRB-01383, 06DRB-01384] (C-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NMU INC SIGNATURE AND TO RECORD.**

17. **Project # 1002730**
06DRB-01521 Minor-Final Plat Approval

ISAACSON & ARFMAN agent(s) for INFILL SOLUTIONS II LLC request(s) the above action(s) for all or a portion of Lot(s) 13-A-1, Block(s) 6, Tract(s) 3, NORTH ALBUQUERQUE ACRES UNIT 3 (to be known as **VILLA FIRENZE**) zoned R-D, located on CORONA AVE NE, between VENTURA ST NE and MENDOCINO DR NE containing approximately 4 acre(s). [REF: 06DRB-01204] *[Deferred from 10/25/06]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/8/06.**

18. **Project # 1003523**
06DRB-01529 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for MONTEREY LAND GROUP II, LLC request(s) the above action(s) for all or a portion of Lot(s) 30, 31, 32 & 33, LANDS OF ATRISCO GRANT, UNIT 3 (to be known as **PRIMA ENTRADA SUBDIVISION**) zoned SU-2/RLT, located on 98th St NW between Endee Rd NW and Interstate 25 containing approximately 14 acre(s). [REF: 05DRB01369] (J-8, J-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR VERIFICATION IF SIDEWALK WAIVER IS NOT NEEDED, ENTRADA VISTA ENTRANCE, TRACT A DRAINAGE EASEMENT TO CITY OF ALBUQUERQUE AND MAINTENANCE AND BENEFICIARIES OF ALL HOME OWNERS ASSOCIATION TRACTS (FIX NOTE), AMAFCA'S SIGNATURE AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

19. **Project # 1004675**
06DRB-01518 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for MONTEREY LAND GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 1, SP KINSCHERFFLAND and SW ¼ ON NE ¼, SEC 35, T11N, R2E (to be known as **VISTA DE LA LUZ**) zoned SU-1 PRD, located on COORS BLVD NW, between WESTERN TRAIL NW and DELLYNE AVE NW containing approximately 28 acre(s). [REF: 06DRB-00836, 06DRB-01026, 01027, 01028, 01029 & 01030] (F-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA'S SIGNATURE AND TO RECORD.**

20. **Project # 1002567**
06DRB-01523 Minor-Final Plat Approval

ADVANCED ENGINEERING & CONSULTING agent(s) for STEVE KIRK request(s) the above action(s) for all or a portion of Lot(s) 5-A & 5-B, COLEMAN ADDITION (to be known as **HACIENDA DE LOIS SUBDIVISION**) zoned R-2 residential zone, located on 12TH ST NW, between MENAUL EXTENSION NW and LA POBLANA NW containing approximately 1 acre(s). [REF: 06DRB-00726] (H-13)

FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.

21. **Project # 1004240**
06DRB-01524 Major-Final Plat Approval
06DRB-01525 Minor-Subd Design (DPM)
Variance

ADVANCED ENGINEERING AND CONSULTING agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 & A-2, **LANDS OF E. MAS**, zoned SU-1 for C-1 and R-1, located on Indian School Rd NW between Meadow View Dr NW and Rio Grande Blvd NW containing approximately 5 acre(s). [REF: 05DRB-00918] (H-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EASEMENT ADJUSTMENTS AND A NOTE TO ADD CURB AND SIDEWALK MAINTENANCE AND PLANNING FOR AGIS DXF FILE AND TO RECORD. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

22. **Project # 1003004**
06DRB-01512 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 414, 415-B, 415-C, 415-D & 41, ATRISCO GRANT UNIT 3 (to be known as **STINSON PARK SUBDIVISION**) zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD SW and STINSON ST SW containing approximately 15 acre(s). [REF: 04DRB-01974, 04DRB-01975, 05DRB-01776] (L-10) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE NOTE AND PAYMENT AND TO PLANNING TO RECORD.**

23. **Project # 1003991**
06DRB-01513 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for FD SAGE MARKET PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) A-1-C, TOWN OF ATRISCO GRANT, UNIT 7 (to be known as **SAGE RANCH SUBDIVISION**) zoned R-LT, located on Snow Vista Blvd SW between Sage Rd SW and Reba Ave SW containing approximately 4 acre(s). [REF: 05DRB-01293, 05DRB-01294, 06DRB-00437] (M-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR RESOLVING ISSUES WITH EXISTING 20-FOOT WATER LINE EASEMENT AND 7-FOOT PUE EASEMENT ON TRACT A AND PLANNING FOR HOME OWNER'S ASSOCIATION PRESIDENT'S SIGNATURE ON THE PLAT AND TO RECORD.**

24. **Project # 1002632**
06DRB-01409 Major-Final Plat Approval

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 3-9, 12, 23 & 24, Block(s) 5, Tract(s) A & 5, **SUNDANCE ESTATES, UNIT 1** (to be known as **SUNDANCE ESTATES, UNIT 1-B**) zoned R-LT, located on LYON BLVD NW, between PARADISE BLVD NW and UNSER NW containing approximately 11 acre(s). [REF: 03EPC-00690, 03DRB-01306, 04DRB-00760, 04DRB-00761, 04DRB-01761] [*Deferred from 10/11/06 & Deferred at the Board's request from 10/18/06*] (B-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR NATIONAL PARK SERVICE LETTER AND PLANNING TO RECORD. THIS PLAT IS NOT WITHIN THE BOUNDARIES OF THE PETROGLYPH NATIONAL MONUMENT.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

25. **Project # 1005220**
06DRB-01519 Minor-Sketch Plat or Plan

HARRIS SURVEYING INC. agent(s) for JOHN S. PALONI request(s) the above action(s) for **UNPLATTED LAND**, zoned M-1, located on MENAUL BLVD NE, between the

NORTH FRONTAGE RD NE and UNIVERSITY BLVD NE containing approximately 7 acre(s). (H-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1005221**
06DRB-01520 Minor-Sketch Plat or Plan

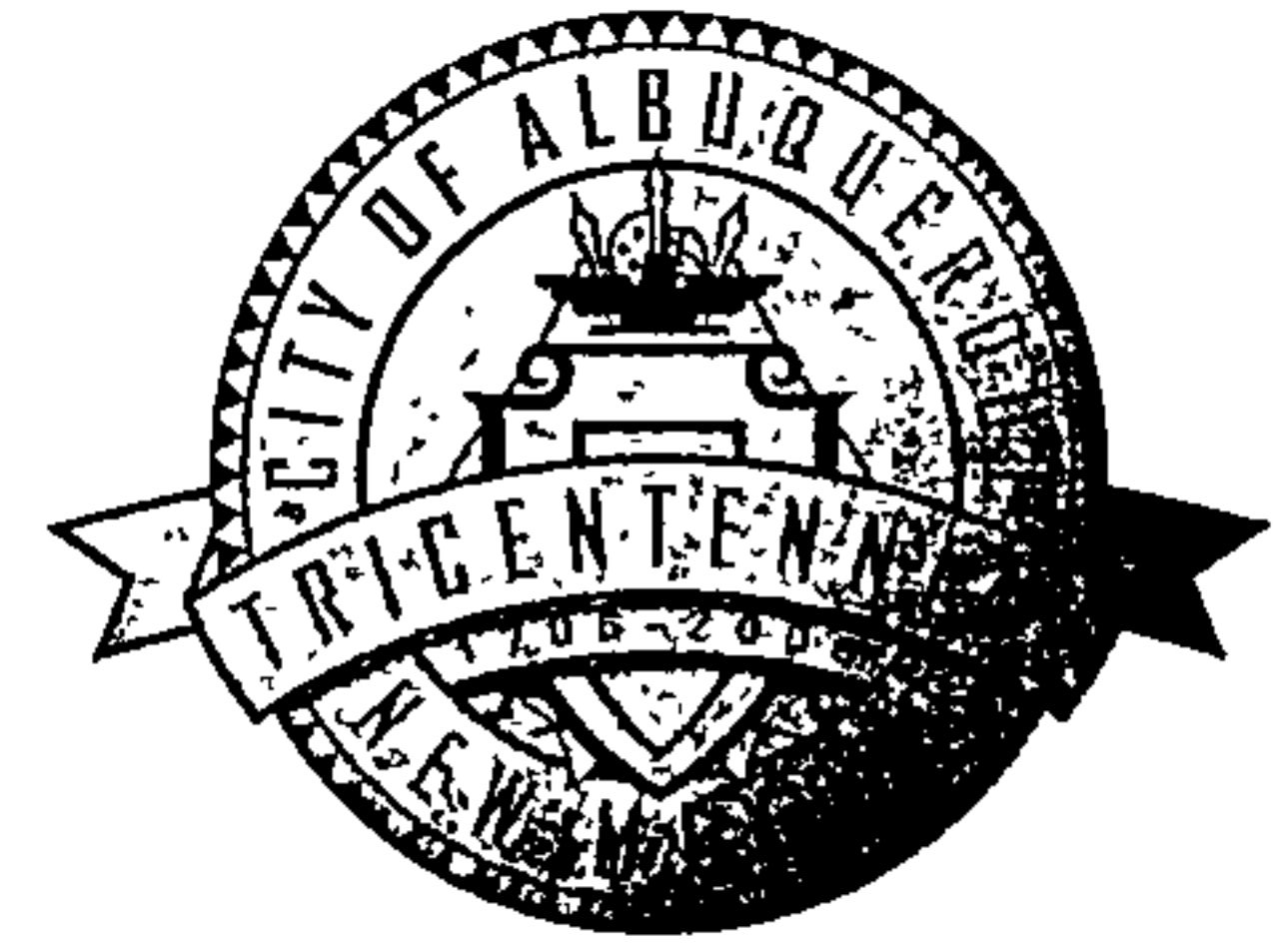
PRECISION SURVEYS INC., agent(s) for JOURNAL PUBLISHING COMPANY request(s) the above action(s) for Tract(s) 5-B-1-A-1, 5-B-1-A-2, 5-B-1-B (to be known as **JOURNAL CENTER, TRACTS 5-B-1-A-1-B, 5-B-1-A-2-B & 5-B-1-B-2**) zoned IP, located on JEFFERSON ST NE and TIBURON ST NE containing approximately 12 acre(s). (D-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. Approval of the Development Review Board Minutes for October 18, 2006. **THE DRB MINUTES FOR OCTOBER 18, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 1:50 P.M.



21
1004240
10.25.2006



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 21

SUBJECT:

Final Plat
Subdivision Design (DPM) Variance

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

DPM var.

APPROVED X; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: OCTOBER 25, 2006

#5



Complete Aug 9/29/06

DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-01042 (SPS)

Project # 1004240

Project Name: VILLAS LAS MANANITAS

Agent: CONSENSUS PLANNING

Phone No: 964-9801

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/24/06 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: all lots shall be P-2 designation

apply subdivision design variance

easements or dedications along RG.

easement/mananitas lane must be wider

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Ease Planners signature

3 copies

revised wall design with Landscaping.

Planning must record this plat. Please submit the following items:

-The original plat and a mylar copy for the County Clerk.

-Tax certificate from the County Treasurer.

-Recording fee (checks payable to the County Clerk). RECORDED DATE: _____

-Tax printout from the County Assessor.

3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

Project Number

1004240

#5



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

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UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): Case Planners signature

3 copies

revised wall design with Landscaping.

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-Tax certificate from the County Treasurer.

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3 copies of the approved site plan. Include all pages.

County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

AGIS DXF File approval required.

Copy of recorded plat for Planning.

Project Number

1004240



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 26, 2006

5. Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval

06DRB-00891 Minor-Sidewalk Waiver

06DRB-00892 Minor-Temp Defer SDWK

06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] [*Deferred from 7/12/06*] (H-13)

At the July 26, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/26/06 and approval of the grading plan engineer stamp dated 6/6/06 the preliminary plat was approved with the following conditions of final plat:

Landscaping must be shown on a revised wall design prior to final plat.

All lots must meet the minimum 5,000 square foot lot size.

If the final plat is approved after 10/31/06 the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

All lots shall have P-2 designations.

A subdivision design variance needs to be applied for before or concurrent with the final plat application.

Need easements or dedication along Rio Grande Boulevard north of the existing historic building.

The easements along Mananitas Lane NW must be wider.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.



OFFICIAL NOTICE OF DECISION

PAGE 2

The vacation of private easements was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

06DRB-01042 Minor-SiteDev Plan Subd/EPC

CONSENSUS PLANNING agent(s) for GARCIA INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A, **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR PERMISSIVE C-1 W/RESTRICTIONS, located on the northeast corner of INDIAN SCHOOL RD NW and RIO GRANDE BLVD NW and containing approximately 2 acre(s). [REF: 06DRB-00890, 06DRB-00891, 06DRB-00892, 06DRB-00893] [**David Stallworth, EPC Case Planner**] (H-13)

The site plan for subdivision was approved with final sign off delegated to Planning for David Stallworth's initials, 3 copies of the site plan and a revised wall design with landscaping.

If you wish to appeal this decision, you must do so by August 10, 2006, in the manner described below.



OFFICIAL NOTICE OF DECISION

PAGE 3

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113
Consensus Planning, 302 8th St NW, 87102
Garcia Investments, 8301 Lomas Blvd NE, 87110
William C Herring, 3104 Coca Rd NW, 87104
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004240 AGENDA#: 5 DATE: 7.26.06

1. Name: Shawn Boyer Address: Advanced Zip: _____
2. Name: Jolly Address: Advanced Zip: _____
3. Name: Jim Fraser Address: Conslms. Zip: _____
HERRING
4. Name: William C. Henry Address: 3104 Coca Rd NW Zip: 87104
William C. Herrity
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 5

SUBJECT:

Preliminary Plat
Sidewalk Deferral
Sidewalk Waiver
Site Plan for Subd
Vacation of Private Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No objection to Sidewalk Waiver or Sidewalk Deferral request.
No objection to Vacation request.

~~Site plan comments.~~

Albuquerque

~~Infrastructure list comments.~~

An approved drainage report dated 6-06-06 is on file for Preliminary Plat approval.

Signed IL

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 26, 2006

2. **Project # 1003102**
06DRB-00832 Major-Preliminary Plat
Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

06DRB-00935 Minor-SiteDev Plan
Subd/EPC
06DRB-00936 Minor-SiteDev Plan
BldPermit/EPC

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] *[Deferred from 7/12/06]* (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 7/19/06.**

INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER, (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 DU/acre) located on JUAN TABO BLVD NE, between MONTGOMERY BLVD NE and LAGRIMA DE ORO RD NE containing approximately 2 acre(s). [REF: 05DRB-00911, 06EPC-00146, 06EPC-00147] **[David Stallworth, EPC Case Planner]** *[Deferred from 7/12/06]* (F-21) **DEFERRED AT THE AGENT'S REQUEST TO 7/19/06.**

3. **Project # 1004184**
06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9) **BULK LAND VARIANCE WAS APPROVED. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR REMOVAL OF PUBLIC UTILITY EASEMENT, DEDICATION OF PERMANENT 98TH STREET EASEMENT, AMAFCA'S SIGNATURE AND PLANNING FOR ZONING ON FIRST PAGE OF PLAT, RECORD THE PLAT, 15-DAY APPEAL PERIOD AND NOTICE OF SUBDIVISION PLAT CONDITIONS DOCUMENT.**

4. **Project # 1004715**
06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/9/06 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS) AND THE DEVELOPER SHALL ESTABLISH EITHER AN AVIGATION EASEMENT OR A COVENANT NOT TO SUE WITH THE CITY OF ALBUQUERQUE EITHER OF WHICH WOULD BE FILED WITH THE COUNTY CLERK'S OFFICE. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

06DRB-00938 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project # 1003613**
06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. [Deferred from 7/12/06] (K-12) **DEFERRED AT THE AGENT'S REQUEST TO 8/9/06.**

6. **Project # 1003247**
06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor-Temp Defer SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190, 05DRB-00498] (G-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 4/6/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/16/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD AND TO RECORD. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project # 1003469**
06DRB-00882 Major-Vacation of Public Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI ZUMWALT AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for Lot(s) 7A-P1, 8A-P1 & 9A-P1, **OAKLAND HEIGHTS**, zoned R-D (3 Du/Acre) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891] (C-20) **THE VACATION WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A CONDITION OF FINAL**

PLAT: SHOW PEDESTRIAN EASEMENT AT THE END OF THE CUL-DE-SAC.

8. **Project # 1003886**
06DRB-00861 Major-Preliminary Plat Approval
06DRB-00862 Major-Vacation of Pub Right-of-Way
06DRB-00864 Major-Vacation of Public Easements
06DRB-00863 Minor-Vacation of Private Easements
06DRB-00867 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for HOME SITE FIVE request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY NE containing approximately 52 acre(s). [REF: 05DRB-01831] (J-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/9/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: IF THE FINAL PLAT IS APPROVED AFTER 10/31/06, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1004974**
06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit

STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, **NORTH ALBUQUERQUE ACRES**, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres.[REF: AX-84-9,Z-84-41] [Deferred from 7/12/06] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/16/06.**

10. **Project # 1003703**
06DRB-00886 Major-Preliminary Plat Approval
06DRB-00887 Major-Vacation of Public Right-of-Way
06DRB-00888 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **EAGLE'S VIEW ESTATES**, zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/24/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT APPROVAL: THE DEDICATION ALONG EAGLE ROCK SHALL BE SHOWN ON THE FINAL PLAT PRIOR TO APPROVAL. THE FIRE DEPARTMENT MUST APPROVE THE HAMMERHEAD PRIOR TO FINAL PLAT APPROVAL. IF THE FINAL PLAT IS APPROVED AFTER 10/31/06, THE SUBDIVIDER MUST COMPLY WITH CITY COUNCIL RESOLUTION R-06-74 REGARDING PRE-DEVELOPMENT FACILITY FEE AGREEMENTS WITH THE ALBUQUERQUE PUBLIC SCHOOLS (APS). THE PROVISION OF A GRADING PLAN FOR MS OTTMEYER'S LOT IS REQUIRED. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

11. ~~Project # 1004240~~
06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] [Deferred from 7/12/06] (H-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

12. **Project # 1004932**
06DRB-00889 Major-Vacation of Public
Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

13. **Project # 1003612**
06DRB-00737 Major-Preliminary Plat
Approval
06DRB-00738 Major-Vacation of Pub
Right-of-Way
06DRB-00739 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 37, TOWN OF ATRISCO GRANT (to be known as **SUNDORO SOUTH, UNIT 9**) zoned SU-2 R-LT, located on ENDEE RD NW, between 98TH ST NW and 94TH ST NW containing approximately 6 acre(s). [REF: 04DRB-01868] [*Deferred from 6/21/06 & 6/28/06 & 7/12/06*] (J-9) **DEFERRED AT THE BOARD'S REQUEST TO 7/26/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

14. **Project # 1001275**
06DRB-00931 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART & ASSOCIATES agent(s) for DOPPCO DEVELOPMENTS request(s) the above action(s) for all or a portion of Lot(s) 2, LOWES SUBDIVISION (to be known as **SHOPPES OF ALAMEDA**) zoned SU-1 with Permissive Use, located on ALAMEDA NW, between COORS BLVD NW and ELLISON DR NW containing approximately 4 acre(s). [**Stephanie Shumsky, EPC Case Planner**] (A-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/12/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN AND THE EPC CASE PLANNER'S INITIALS.**

15. **Project # 1003272**
06DRB-00941 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for AMERI CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2, 3-A and 4-A-1, **ALBUQUERQUE WEST, UNIT 2**, zoned SU-1 PDA to include C-3 uses, located on PASEO DEL NORTE NW, between COORS BLVD NW and EAGLE RANCH RD NW containing approximately 10 acre(s). [REF: 06EPC-00283] **[Stephanie Shumsky, EPC Case Planner]** *[Deferred from 7/12/06]* (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004223**
06DRB-00913 Minor-Extension of
Preliminary Plat

SURVEYS SOUTHWEST LTD agent(s) for LUTHER MARTINEZ request(s) the above action(s) for all or a portion of Tract(s) 6-B **SUNDT'S INDUSTRIAL CENTER**, with Parcel(s) D of **RENAISSANCE CENTER III**, zoned M-2 & SU-1 IP, located on MONTANO RD NE, between ALEXANDER BLVD NE and DESERT SURF CIRCLE NE containing approximately 9 acre(s). [REF: 05DRB-00884, 05DRB-00885] (F-16) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

17. **Project # 1004120**
06DRB-00918 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for ROBERT RUTH request(s) the above action(s) for Lot(s) 30-A, 30-B-2-A & 30-B-2-B, **ALVARADO GARDENS, UNIT 3**, zoned R-2 residential zone, located on CANDELARIA RD NW, between GLENWOOD NW and VERANDA RD NW containing approximately 2 acre(s). [REF: 05DRB-00622] (G-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT TO CHECK FOR 6-FOOT SIDEWALKS.**

18. **Project # 1001789**
06DRB-00924 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS agent(s) for DASKALOS NOB HILL request(s) the above action(s) for all or a portion of Lot(s) 28-A-1, Block(s) 6, **MONTE VISTA**, zoned SU-2/CCR, located on CENTRAL AVE NE, between TULANE NE and WELLESLEY NE containing approximately 1 acre(s). (K-16) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

19. **Project # 1004604**
06DRB-00929 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS INC agent(s) for SILVERTON CUSTOM HOMES INC request(s) the above action(s) for all or a portion of Lot(s) 8-11, Block(s) 6, **BELMONT PLACE ADDITION**, zoned R-1, located on 5TH ST NW, between FREEMAN AVE NW and SAN CLEMENTE NW containing approximately 1 acre(s). [REF: 06DRB-00153] (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

20. **Project # 1004782**
06DRB-00928 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS INC agent(s) for THOMAS P GUTIERREZ request(s) the above action(s) for all or a portion of Lot(s) 18, Block(s) 1, **SLOAN'S ACRES**, zoned R-1, located on ESTANCIA NW, between LADERA DR NW and WESTERN TRAILS NW containing approximately 1 acre(s). [*Deferred from 7/12/06*] (G-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/26/06.**

21. **Project # 1003739**
06DRB-00115 Minor- Final Plat Approval

WILKS COMPANY agent(s) for THE SHELDON CO LLC request(s) the above action(s) for all or a portion of Lot(s) 12-16, Block(s) 8, **ENCHANTED MESA SUBDIVISION**, zoned C-1 neighborhood commercial zone, located on CHELWOOD PARK BLVD NE, between MENAUL BLVD NE and PHOENIX AVE NE containing approximately 1

acre(s). *[Final Plat Indef deferred for SIA 2/8/06]* (H-22)
**THE FINAL PLAT WAS APPROVED WITH FINAL SIGN
OFF DELEGATED TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

- 22. Project # 1004986**
06DRB-00922 Minor-Sketch Plat or Plan
- STEPHEN & PATRICIA DWYER request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 2, **FOUR HILLS VILLAGE INSTALLMENT 11-A**, zoned R-1 residential zone, located on STAGECOACH RD SE, between PEDREGOSO PL SE and LA CABRA DR SE containing approximately 1 acre(s). *[Deferred from 7/12/06]* (M-23) **DEFERRED AT THE APPLICANT'S REQUEST TO 7/19/06.**
- 23. Project # 1004988**
06DRB-00926 Minor-Sketch Plat or Plan
- FORSTBAUER SURVEYING LLC agent(s) for EAGLE/3-V INVESTORS LLC request(s) the above action(s) for all or a portion of Tract(s) 2-D, **EAGLE RANCH**, zoned O-1, located on EAGLE RANCH RD NW between CONGRESS AVE NW and IRVING BLVD NW containing approximately 4 acre(s). (C-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
- 24. Project # 1004989**
06DRB-00933 Minor-Sketch Plat or Plan
- BOHANNAN HUSTON INC agent(s) for MESA VERDE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A, **WILDERNESS SUBDIVISION UNIT 2**, zoned SU-2 HD R-R, located on HIGH DESERT PLACE NE, between TRAIL HEAD RD NE and EMBUDITO VIEW CT NE containing approximately 4 acre(s). [REF: 04DRB-00713, 04DRB-01723, 05DRB-00477] (F-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. Approval of the Development Review Board Minutes for June 28, 2006. **THE DRB MINUTES FOR JUNE 28, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 1:20 P.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004/240 AGENDA#: 11 DATE: 7.12.06

1. Name: Advanced Engineering Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 11

SUBJECT:

Vacation
Sidewalk Deferral
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the vacation request.
An approved drainage report dated 6-6-06 is on file for Preliminary Plat approval

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

7-26-06

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: July 12, 2006

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0470
CONNECTION TEL 9p8974996
SUBADDRESS
CONNECTION ID
ST. TIME 06/27 15:54
USAGE T 01'34
PGS. 3
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: ADVANCED ENGINEERING & CONSULTING LLC

FAX NUMBER: 897-4996 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 06/27/06

PHONE NUMBER: 924-3880 FAX # 924-3864
06DRB-00890
06DRB-00891
06DRB-00892

PROJECT NO: 1004240 APPLICATION NO: 06DRB-00893

VILLA LAS MANANITAS SUBDIVISION



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: ADVANCED ENGINEERING & CONSULTING LLC

FAX NUMBER: 897-4996 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 06/27/06

PHONE NUMBER: 924-3880 FAX # 924-3864

06DRB-00890
06DRB-00891
06DRB-00892

PROJECT NO: 1004240 APPLICATION NO: 06DRB-00893

VILLA LAS MANANITAS SUBDIVISION

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **EAGLE'S VIEW ESTATES**, zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20)

On March 16, 2005, when this preliminary plat was originally approved, there were two conditions of final plat. They were: (1) The dedication along Eagle Rock shall be shown on the final plat prior to approval and (2) The Fire Department must approve the hammerhead prior to final plat approval.

Even though that preliminary plat has expired, the conditons still apply.

The previously approved preimeter wall design is still valid.

Planning has no objection to any of these requests.

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] (H-13)

The Wall Design needs a few corrections & additions. (1) The location map is confusing. It is difficult to tell exactly where one section begins & ends. Please revise the location map using different patterns to indicate the 3 sections & provide a legend indicating which pattern is for which section. (2) The portion of the wall along Rio Grande must meet the requirements of the Rio Grande Boulevard Corridor Plan Design Overlay Zone requirements. (3) the Zone Atlaas Page should appear delow the DRB Project Number on the location map. (4) The block wall design should indicate the "Cap 2" offset on the public side and the pilaster projected 2" on the public side.

Actually, a stuccoed wall along Rio Grande only would be more in character with other existing walls.

A cursory glance at the Rio Grande Boulevard Corridor Plan Design Overlay Zone requirements indicated at least two policies affecting this development. Policies 6 and 11. This proeprty lies within Subarea 3.

Planning will reserve additional comments on the plat until the site plan final signoff application is received.

Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

Be aware that preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

Project # 1004932
06DRB-00889 Major-Vacation of Public Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16)

No objection to the requested vacation. Defer to Transportation Development.

If approved, applicant has one year to record a plat completing the vacation.

Be aware that preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 26, 2006.



#11
100 4240
7/12/00



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 12, 2006

Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval

06DRB-00891 Minor-Sidewalk Waiver

06DRB-00892 Minor-Temp Defer SDWK

06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] (H-13)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objection to the request.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	

Letters sent to Los Duranes NA (R) and Rio Grande Blvd. NA (R).

APS

Villas Las Mananitas will consist of 16 residential lots adjacent to a proposed 2-acre commercial site known as the Shops at Las Mananitas. The proposed development will affect Duranes Elementary School, Garfield Middle School, and Valley High School. Duranes Elementary School and Garfield Middle School will be nearing capacity as development continues to occur in the near North Valley; however, they should be able to support student growth from the proposed development. Valley High School can support growth from the proposed development.

Environmental Health

No comments received.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

An approved drainage report is on file for Preliminary Plat approval. No objection to the vacation request. Comments on Infrastructure List.

Transportation Development

No objection to the vacation action. The sketch plat comments required a 44' r/w with a 26' F-F section. If a sidewalk is waived on one side, then a 6' sidewalk will be required on the other side. Where is the set back? Access to 4 lots requires a 24' section with sidewalks on both sides for the stub street. Where is the initial paving? Signing per DRC needs to be added to the infra. list. Where is the dedication along Rio Grande? (86' of R/W is required). Are any improvements required along Rio Grande? Indian School? Meadow View Road?

Parks & Recreation

No objection to any of the requests.

Utilities Development

Can not approve Preliminary Plat, utility plan and easements are not acceptable. See Availability dated 8/9/05. No objection to Vacation request. No objection to Sidewalk Waiver/Deferral.

Planning Department

The Wall Design needs a few corrections & additions. (1) The location map is confusing. It is difficult to tell exactly where one section begins & ends. Please revise the location map using different patterns to indicate the 3 sections & provide a legend indicating which pattern is for which section. (2) The portion of the wall along Rio Grande must meet the requirements of the Rio Grande Boulevard Corridor Plan Design Overlay Zone requirements. (3) the Zone Atlas Page should appear below the DRB Project Number on the location map. (4) The block wall design should indicate the "Cap 2" offset on the public side and the pilaster projected 2" on the public side.

Actually, a stuccoed wall along Rio Grande only would be more in character with other existing walls.

A cursory glance at the Rio Grande Boulevard Corridor Plan Design Overlay Zone requirements indicated at least two policies affecting this development. Policies 6 and 11. This property lies within Subarea 3.

Planning will reserve additional comments on the plat until the site plan final signoff application is received.

Be aware that residential subdivision preliminary plat and final plat approvals occurring after October 31, 2006, are subject to the provisions of City Council Resolution R-06-74. The complete resolution is available on the City website: www.cabq.gov/citycouncil.

Impact Fee Administrator

The creation of a new residential subdivision, vacation of a private access easement, Sidewalk Design Variance and a temporary deferral of sidewalks will not require payment of Impact Fees. However, Impact Fees will be required at the time of building permit for each home. Using an average of 2000sf of heated building area, the estimated impact fees are as follows.

1. Public Safety Facilities for the Eastside: \$552.00
2. Parks, Trails, Open Space for North Valley/I-25 area: \$3260.00

Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees may be paid at a rate of 67% if permits are obtained by December 29, 2006.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110

Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 12, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004355

06DRB-00808 Major-Vacation of Public Easements

WILSON AND COMPANY agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524, PROJECT #1003470] (D-9)

Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, **LANDS OF FERRARI-ESQUIBEL-PALMER** (to be known as **THE SOFT LOFTS**) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] (F-21)

Project # 1004184

06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF SALAZAR FAMILY TRUST ETAL**, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9)

Project # 1004715

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, **JUAN TABO HILLS, UNIT 1** (to be known as **JUAN TABO HILLS, UNIT 2**) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLV D SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

SEE PAGE 2 . . .



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003613

06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public
Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. (K-12)

Project # 1003247

06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor- Minor-Temp Defer
SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190, 05DRB-00498] (G-11)

Project # 1003469

06DRB-00882 Major-Vacation of Public
Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI ZUMWALT AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for Lot(s) 7A-P1, 8A-P1 & 9A-P1, **OAKLAND HEIGHTS**, zoned R-D (3 Du/Acre) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891] (C-20)

Project # 1003886

06DRB-00861 Major-Preliminary Plat Approval
06DRB-00862 Major-Vacation of Pub Right-of-
Way
06DRB-00864 Major-Vacation of Public
Easements
06DRB-00863 Minor-Vacation of Private
Easements
06DRB-00867 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for HOME SITE FIVE request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY NE containing approximately 52 acre(s). [REF: 05DRB-01831] (J-20)

SEE PAGE 3 . . .



PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE

PAGE 3

Project # 1004974

06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit

STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, NORTH ALBUQUERQUE ACRES, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres. [REF: AX-84-9, Z-84-41] (C-18)

Project # 1003703

06DRB-00886 Major-Preliminary Plat Approval
06DRB-00887 Major-Vacation of Public Right-of-Way
06DRB-00888 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as **EAGLE'S VIEW ESTATES**), zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20)

Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**), zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] (H-13)

Project # 1004932

06DRB-00889 Major-Vacation of Public Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, **MONTE VISTA ADDITION**, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 26, 2006.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JULY 12, 2006
Zone Atlas Page: H-13-Z
Notification Radius: 100 Ft.

Project# 1004240
App#06DRB-00890
App#06DRB-00891
App#06DRB-00892
App#06DRB-00893

Cross Reference and Location: INDIAN SCHOOL RD NW BETWEEN ALAMEDA
DRAIN NW & RIO GRANDE BLVD NW

Applicant: VILLAS LAS MANANITAS DEVELOPMENT, LLC
Address: 8301 LOMAS BLVD NE
ALBUQUERQUE, NM 87110

Agent: ADVANCED ENGINEERING AND CONSULTING, LLC
4416 ANAHEIM AVENUE, NE
ALBUQUERQUE, NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JUNE 23, 2006
Signature: YVONNE SAAVEDRA

Continuing UPC Numbers form the DRB Application:

101305907836020412, ✓

101305907935520408, ✓

101305911933420420, ✓

101305911934020419, ✓

101305908304820410, ✓

101305906033420401, ✓

101305907433420402, ✓

101305908935420407, ✓

300

June 9, 2006

City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Submittal for DRB - Preliminary Plat, Vacation of Easements, Deferral of Sidewalk/Sidewalk Design Variance, Grading and Drainage Plan - Las Mananitas Subdivision - Zone Atlas Page H-13-Z, Containing Approximately 4.6527 Acres, and Consisting of One 2-Acre Commercial Tract and 16 Residential Lots, located at approximately the NEC of Rio Grande and Indian School NW

To Whom It May Concern:

I, Edward T. Garcia, Managing Member of Villas Las Mananitas Development, LLC and authorized Manager of Las Mananitas Properties, LLC, the owners of the above referenced real property, hereby authorize Advanced Engineering and Consulting, LLC to act as agent on our behalf regarding the preparation and submittal of all necessary materials and applications in connection with preliminary plat approval, vacation of easements, deferral of sidewalk/sidewalk design variance, and grading and drainage plan for Las Mananitas subdivision, a proposed subdivision in the City of Albuquerque, located at approximately the Northeast corner of Rio Grande Blvd. NW and Indian School Rd. NW consisting of a 2-acre commercial tract to be known as "The Shops at Las Mananitas" and 16 residential lots to be known as "Villas Las Mananitas."

Owner's authorization for final plat submittal to DRB must be give separately upon review and approval of the final plat.

Very truly yours,

Villas Las Mananitas Development, LLC

Edward T. Garcia
Edward T. Garcia, Managing Member

Las Mananitas Properties, LLC

Edward T. Garcia
Edward T. Garcia, Authorized Manager

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004240
APPLICATION # _____

PAGE 1 **OF** 4

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
H-13	1013059	060-334	204-01	✓ Dup
		074-334	02	✓ Dup ²
		119-340	19	✓ Dup
		119-334	20	✓ Dup ²
		080-348	10	✓ Dup ²
		060-356	09	✓ Dup
		079-355	08	✓ Dup ²
		089-354	07	✓ Dup ²
		096-354	92	✓
		078-360	12	✓ Dup ²
		085-336	03	✓
		096-336	04	✓
		110-351	13	✓ Dup
		108-357	06	✓ Dup ²
		048-362	11	✓
		057-370	15	✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004240
APPLICATION # _____

PAGE 2 **OF** 4

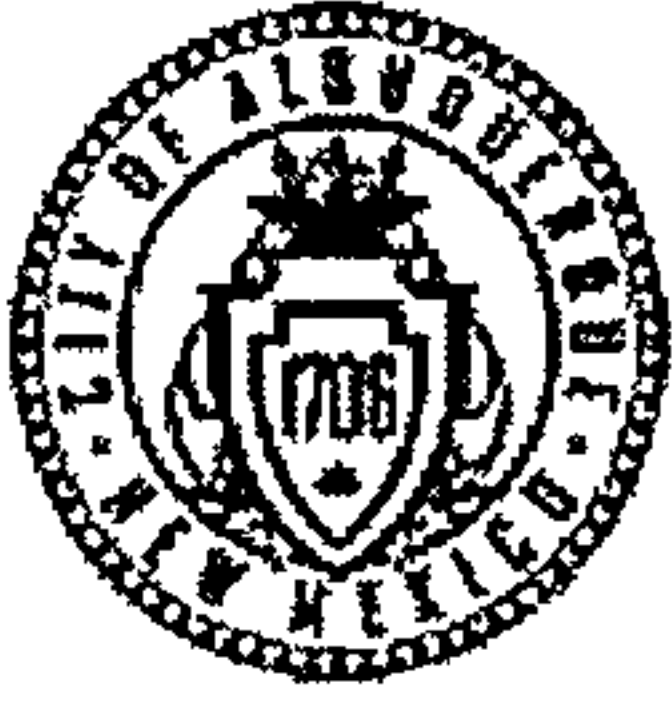
ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
H43	1013059	079-370	204-16	✓
		088-368	05	✓
		092-372	17	✓
		106-364	14	✓
		108-370	18	✓
		065-379	22	✓
		045-386	21	✓
		066-385	23	✓
		138-371	205-04	✓
		155-370	01	✓
		123-351	13	✓
		138-351	14	✓
		134-351	15	✓
		122-341	23	✓
		129-341	21	✓
		125-341	22	✓

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

PROJECT # 1004240
APPLICATION # _____

PAGE 3 **OF** 4

ZONE ATLAS PAGE #	ZONE ATLAS #	GRID LOCATIONS	PARCEL SEQUENCES	NAME AND ADDRESS
H13	1013059	131-322	202-08	✓
		123-321	13	✓
		115-318	14	✓
		111-317	16	✓
		106-316	17	✓
		101-316	18	✓
		097-316	19	✓
		091-315	20	✓
		086-314	21	✓
		080-313	22	✓
		072-312	24	✓
		049-305	201-12	✓
		050-312	13	✓
		040-324	211-01	No ownership In Sanata
		027-345	203-17	✓
		021-369	208-10	✓



mainframe@coa1mp3.ca To
bq.gov cc
06/23/2006 08:51 AM bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01013059 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101305906033420401 LEGAL: MAP 35 T R 89 B1 CONT 1.01 AC
LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: GARCIA SHEILAH P
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305907433420402 LEGAL: MAP 35 T R 89 B2A LESS POR TO RW
LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: GARCIA SHEILAH P
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305911934020419 LEGAL: TRAC T A- 2 PLAT OF TRACTS A-1 & A-2 LAND OF
ERNEST LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: LAS MANANITAS PROPERTIES LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305911933420420 LEGAL: TRAC T A- 1 PLAT OF TRACTS A-1 & A-2 LAND OF
ERNEST LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: LAS MANANITAS LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305908034820410 LEGAL: MRGC D MA P 35 TRS 88, 89-A, 87B1B, 87B2B & 83B3B
LAND USE:
PROPERTY ADDR: 00000
OWNER NAME: LAS MANANITAS PROPERTIES LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305906035620409 LEGAL: TR 8 7-B- 1-A MAP 35 (AKA MAP 35 TR 87B1 EXC THE
SLY LAND USE:
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: G3 INVESTORS LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305907935520408 LEGAL: TR 8 7-B- 2-A MAP 35 (AKA MAP 35 TR 87B2 EXC THE
SLY LAND USE:
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: G3 INVESTORS LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125
0101305908935420407 LEGAL: TR 8 7-B- 3-A MAP 35 (AKA MAP 35 TR 87B3 EXC THE
SLY LAND USE:
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: G3 INVESTORS LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125

PAGE 2

0101305909635420492 MRGCD M LAND USE: LEGAL: TR 8 7-C- 3A OF REDIV OF TRS 87-C-1 & 87-C-2
PROPERTY ADDR: 00000 MEADOWVIEW
OWNER NAME: MEHLHOP PATRICIA
OWNER ADDR: 01819 MEADOWVIEW DR NW
ALBUQUERQUE NM 87104

0101305907836020412 LAND USE: LEGAL: MAP 35 T R 87A1BXTR87A2
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: G3 INVESTORS LLC
OWNER ADDR: PO BOX 26207
ALBUQUERQUE NM 87125

0101305908533620403 LAND USE: LEGAL: MAP 35 T R 89 B2B
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: SCOTT DONNA MUIR & MARION
OWNER ADDR: 02217 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

0101305909633620404 LAND USE: LEGAL: MRGC D MA P 35 TRACTS 89B3 & 89B4A
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: MCLEAN MICHAEL L & CHERYL K
OWNER ADDR: 02215 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

0101305911035120413 MRGCD M LAND USE: LEGAL: TR 8 7-C- 2A OF REDIV OF TRS 87-C-1 & 87-C-2
PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: FELDMAN MARK M & MARY E
OWNER ADDR: 01821 MEADOWVIEW DR NW
ALBUQUERQUE NM 87104

0101305910835720406 MRGCD M LAND USE: LEGAL: TR 8 7-C- 1A OF REDIV OF TRS 87-C-1 & 87-C-2
PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: FELDMAN MARK M ETUX
OWNER ADDR: 01821 MEADOW VIEW DR NW
ALBUQUERQUE NM 87104

0101305904836220411 LAND USE: LEGAL: MAP 35 T R 87A1A
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: BRANCH HOLDINGS LLC
OWNER ADDR: 01904 RIO GRANDE BL NW
ALBUQUERQUE NM 87107

0101305905737020415 LAND USE: LEGAL: MAP 35 T R 86B2
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: DE BACA ANITA C
OWNER ADDR: 01908 RIO GRANDE BL NW
ALBUQUERQUE NM 87104

0101305907937020416 86B LAND USE: LEGAL: TR 1 OF TRS 1 & 2 BEING A REPL OF TRS 86B3A1 &
PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: TAFOYA CLEOFES JR ETAL
OWNER ADDR: 02224 MEADOW VIEW DR NW
ALBUQUERQUE NM 87104

PAGE 3

0101305908836820405 LEGAL: LT A PLA T OF LOTS A & B LANDS OF HERMAN LOVATO
LAND USE:

PROPERTY ADDR: 00000
OWNER NAME: LOVATO HERMAN
OWNER ADDR: 01825 MEADOW VIEW DR NW

ALBUQUERQUE NM 87104

0101305909237220417 LEGAL: MAP 35 T R 86B3 A2
LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: LOVATO LINDA
OWNER ADDR: 01625 LOS ARBOLES NW

ALBUQUERQUE NM 87107

0101305910636420414 LEGAL: LT B PLA T OF LOTS A & B LANDS OF HERMAN LOVATO
LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: ENCEE BIANCA
OWNER ADDR: 02427 WILLIAMS SE

ALBUQUERQUE NM 87102

0101305910837020418 LEGAL: MAP 35 T R 86B3B
LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: DEAGUERO JOSEPH A
OWNER ADDR: 01833 MEADOW VIEW DR NW

ALBUQUERQUE NM 87104

0101305906537920422 LEGAL: MAP 35 T R 86 B1 MRGCD
LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: DUNCAN RONALD L
OWNER ADDR: 02226 MEADOW VIEW PL NW

ALBUQUERQUE NM 87104

0101305904538620421 LEGAL: MRGC D MA P 35 TRS 60A2 & 60B & 86A CONT 1.0649
AC LAND USE:

PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: EYSTER GARY L & MELODIE O
OWNER ADDR: PO BOX 16473

ALBUQUERQUE NM 87191

0101305906638520423 LEGAL: 001 006E D KROUGH ADD
LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: FIERRO ODELIA P & MARTINEZ F D
OWNER ADDR: 02001 MEADOW VIEW DR NW

ALBUQUERQUE NM 87104

0101305913837120504 LEGAL: MAP 35 T R 63A1
LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: PUCETTI ALICE JACQUELINE & MI
OWNER ADDR: 07602 BURNSIDE CT

FALLS CHURCHVA 22043

0101305915537020501 LEGAL: LTS 1, 2 & 3 PASEO DEL PRADO SUBDIVISION BEING
A R LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: PUCETTI MICHAEL DEAN & ALICE
OWNER ADDR: 07602 BURNSIDE CT

FALLS CHURCHVA 22043

PAGE 4

0101305912335120513 LEGAL: 4 PA SEO DEL PRADO SUBD BEING A REPL OF TR A & B
PU LAND USE:

PROPERTY ADDR: 00000 PASEO DEL PRADO
OWNER NAME: SMITH BRUCE R & DONNA M
OWNER ADDR: 02133 PASEO DEL PRADO LN

ALBUQUERQUE NM 87104

0101305913835120514 LEGAL: 5 PA SEO DEL PRADO SUBD BEING A REPL OF TR A & B
PU LAND USE:

PROPERTY ADDR: 00000 PASEO DEL PRADO
OWNER NAME: LIDDICOET WILLIAM B & DIANNE F
OWNER ADDR: 02127 PASEO DEL PRADO NW

ALBUQUERQUE NM 87104

0101305913435120515 LEGAL: 6 PA SEO DEL PRADO SUBD BEING A REPL OF TR A & B
PU LAND USE:

PROPERTY ADDR: 00000 PASEO DEL PRADO
OWNER NAME: CLARK JAY L & CAROLYN C
OWNER ADDR: 00110 NICKY LN

CORRALES NM 87048

0101305912234120523 LEGAL: 14 P ASEO DEL PRADO SUBD BEING A REPL OF TR A &
B P LAND USE:

PROPERTY ADDR: 00000 MEADOW VIEW
OWNER NAME: FINDLAY JOHN GRAHAM & NOLA B
OWNER ADDR: 02426 DIETZ FARM RD NW

ALBUQUERQUE NM 87107

0101305912934120521 LEGAL: 12 P ASEO DEL PRADO SUBD BEING A REPL OF TR A &
B P LAND USE:

PROPERTY ADDR: 00000 PASEO DEL PRADO
OWNER NAME: MCKEE SHANNON H
OWNER ADDR: 02128 PASEO DEL PRADO NW

ALBUQUERQUE NM 87104

0101305912534120522 LEGAL: 13 P ASEO DEL PRADO SUBD BEING A REPL OF TR A &
B P LAND USE:

PROPERTY ADDR: 00000 PASEO DEL PRADO
OWNER NAME: CORNS JEANNE M
OWNER ADDR: 02132 PASEO DEL PRADO NW

ALBUQUERQUE NM 87104

0101305913132220208 LEGAL: 15 R ICE' S DURANES ADDN #2 CONT 5,000 SQ FT
LAND USE:

PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: CEBADA LARRY E
OWNER ADDR: 02108 INDIAN SCHOOL RD NW

ALBUQUERQUE NM 87104

0101305912332120213 LEGAL: 014 RICE S DURANES ADD NO 2 E 46 FT OF 13
LAND USE:

PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: WOLFORD MARY J
OWNER ADDR: 02110 INDIAN SCHOOL RD NW

ALBUQUERQUE NM 87104

0101305911531820214 LEGAL: 012 E 46 FT OF LOT 12 & W 4FT OF LOT 13 & W 4FT
OF LAND USE:

PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: SANTISTEVAN GLORIA
OWNER ADDR: 02224 INDIAN SCHOOL RD NW

ALBUQUERQUE NM 87107

PAGE 5

0101305911131720216 LEGAL: 011 RICE S DURANES ADD =2 N PORTO R W
LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: JARAMILLO JOYCE
OWNER ADDR: 02226 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

0101305910631620217 LEGAL: 010 RICE S DURANES ADD #2 EXC N PORT TO RW
LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: DURAN YOLANDA ROMERO ETAL
OWNER ADDR: 02228 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

0101305910131620218 LEGAL: EAST 46F T LOT 9 EXCEPT NORTHERLY PORTION TO
RIGHT LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: ABEYTA FAMILY TRUST
OWNER ADDR: 02300 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

0101305909731620219 LEGAL: LOT 8 & WEST 4FT OF LOT 9 EXCEPT NORTHERLY
PORTION LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: ARAGON ERNEST C
OWNER ADDR: 02302 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

0101305909131520220 LEGAL: 007 RICE S DURANES ADD #2 EXC N PORT RW
LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: CUELLAR LEE M
OWNER ADDR: PO BOX 1646
CORRALES NM 87048

0101305908631420221 LEGAL: 006 RICE S DURANES ADD #2 EXC N PORT RW
LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: ZARATE MANUEL J JR
OWNER ADDR: 02449 FRANZEN RD SW
ALBUQUERQUE NM 87105

0101305908031320222 LEGAL: 05A REPL POR LTS 3 & 4 & 5 RICE'S DURANES
ADDITION LAND USE:
PROPERTY ADDR: 00000 INDIAN SCHOOL
OWNER NAME: STANLEY MARK A ETUX
OWNER ADDR: 02308 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87106

0101305907231220224 LEGAL: 03A REPL POR LTS 3 & 4 & 5 RICE'S DURANES
ADDITION LAND USE:
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: 1600 LLC
OWNER ADDR: 00151 HOP TREE TR
CORRALES NM 87048

0101305904930520112 LEGAL: 005 RICE DURANES ADD #1
LAND USE:
PROPERTY ADDR: 00000 RIO GRANDE
OWNER NAME: WILLIAMS CALVIN & MARY E
OWNER ADDR: 02414 LILAC DR NW
ALBUQUERQUE NM 87104

101305906033420401 LEGAL: MAP 35 TR 89 B1 CONT 1.01 AC
PROPERTY ADDR: 1800 INDIAN SCHOOL RD NW

OWNERS NAME: GARCIA SHEILAH P
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305907433420402 LEGAL: MAP 35 TR 89 B2A LESS POR TO R W
PROPERTY ADDR: INDIAN SCHOOL RD NW

OWNERS NAME: GARCIA SHEILAH P
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305911934020419 LEGAL: TRACT A-2 PLAT OF TRACTS A-1 & A-2 LAND OF E 0.1608 AC M/L
PROPERTY ADDR: N/A

OWNERS NAME: LAS MANANITAS PROPERTIES LLC
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305911933420420 LEGAL: TRACT A-1 PLAT OF TRACTS A-1 & A-2 LAND OF E 0.169 AC M/L
PROPERTY ADDR: 2311 INDIAN SCHOOL RD NW

OWNERS NAME: LAS MANANITAS LLC
OWNERS ADDR; PO BOX 26207
 ALBUQUERQUE, NM 87125

101305908034820410 LEGAL: MRGCD MAP 35 TRS 88, 89-A, 87B, 1B, 87B2B & 83 AC
PROPERTY ADDR: N/A

OWNERS NAME: LAS MANANITAS PROPERTIES LLC
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305906035620409 LEGAL: TR 87-B-1=A MAP 35 (AKA MAP 35 TR 87B1 EXC T .3873
PROPERTY ADDR: 1830 RIO GRANDE BLVD NW

OWNERS NAME: G3 INVESTORS LLC
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305907935520408 LEGAL: TR 87-B-2-A MAP 35 (AKA MAP 35 TR 87B2 EXC T .1200 AC
PROPERTY ADDR: 1830 RIO GRANDE BLVD NW B

OWNERS NAME: G3 INVESTORS LLC
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305908935420407 LEGAL: TR 87-B-3-A MAP 35 (AKA MAP 35 TR 87B3 EXC T .1070 AC
PROPERTY ADDR: 1830 RIO GRANDE BLVD NW A

OWNERS NAME: G3 INVESTORS LLC
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305907836020412 LEGAL: MAP 35 TR 87A1BXTR87A2
PROPERTY ADDR: RIO GRANDE BLVD NW

OWNERS NAME: G3 INVESTORS LLC
OWNERS ADDR: PO BOX 26207
 ALBUQUERQUE, NM 87125

101305904538620421

LEGAL: MRGCD MAP 35 TRS 60A2 & 60B & 86A CONT 1.064
PROPERTY ADDR: 1926 RIO GRANDE BLVD NW

OWNERS NAME: EYSTER GARY L & MELODIE O
OWNERS ADDR: PO BOX 16473
ALBUQUERQUE, NM 87191

101305909131520220

LEGAL: *007 RICES DURANES ADD #2 EXC N PORT RW
PROPERTY ADDR: 2304 INDIAN SCHOOL RD NW

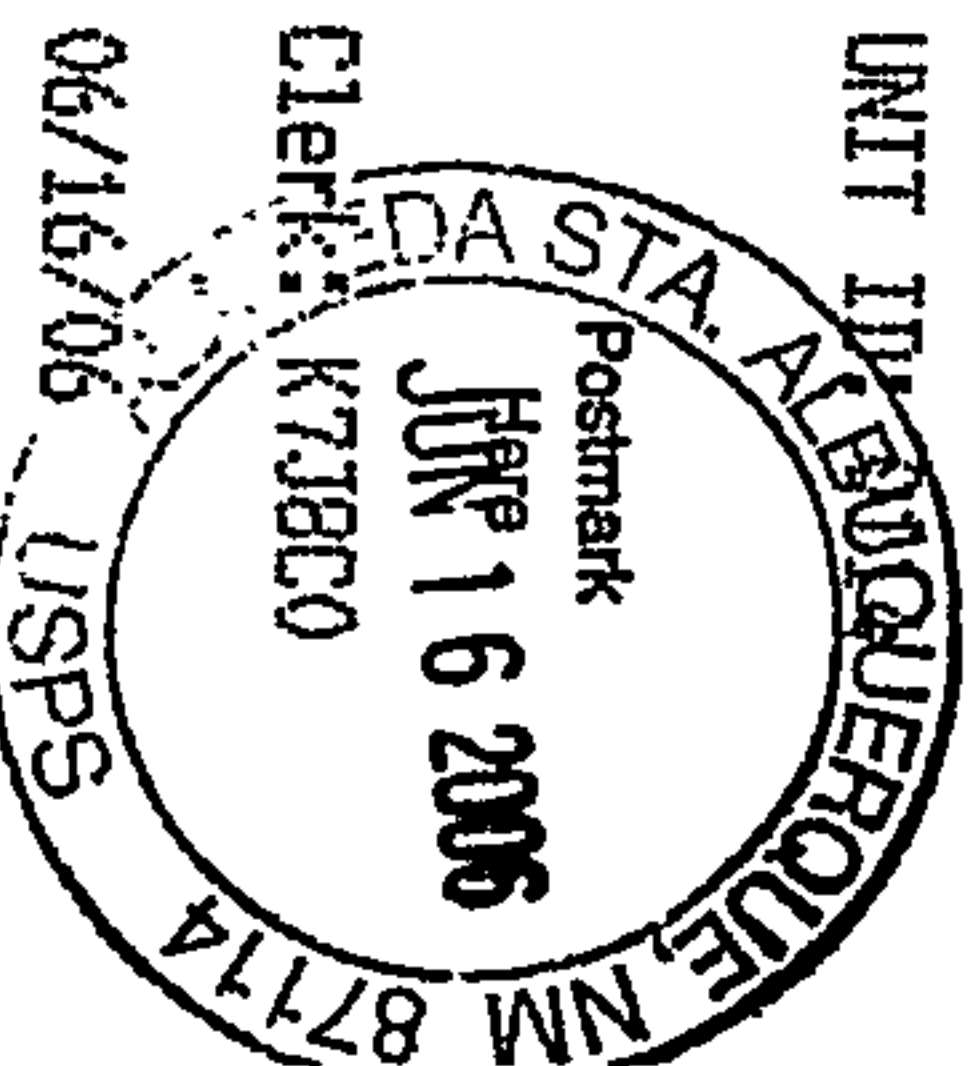
OWNERS NAME: CUELLAR LEE M
OWNERS ADDR: PO BOX 1646
CORRALES, NM 87048

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: Beverly Schoonover
 Street, Apt. No.: 3308 Beach Blvd
 or PO Box No. Aliso NM 87104
 City, State, ZIP+4

PS Form 3800, June 2002

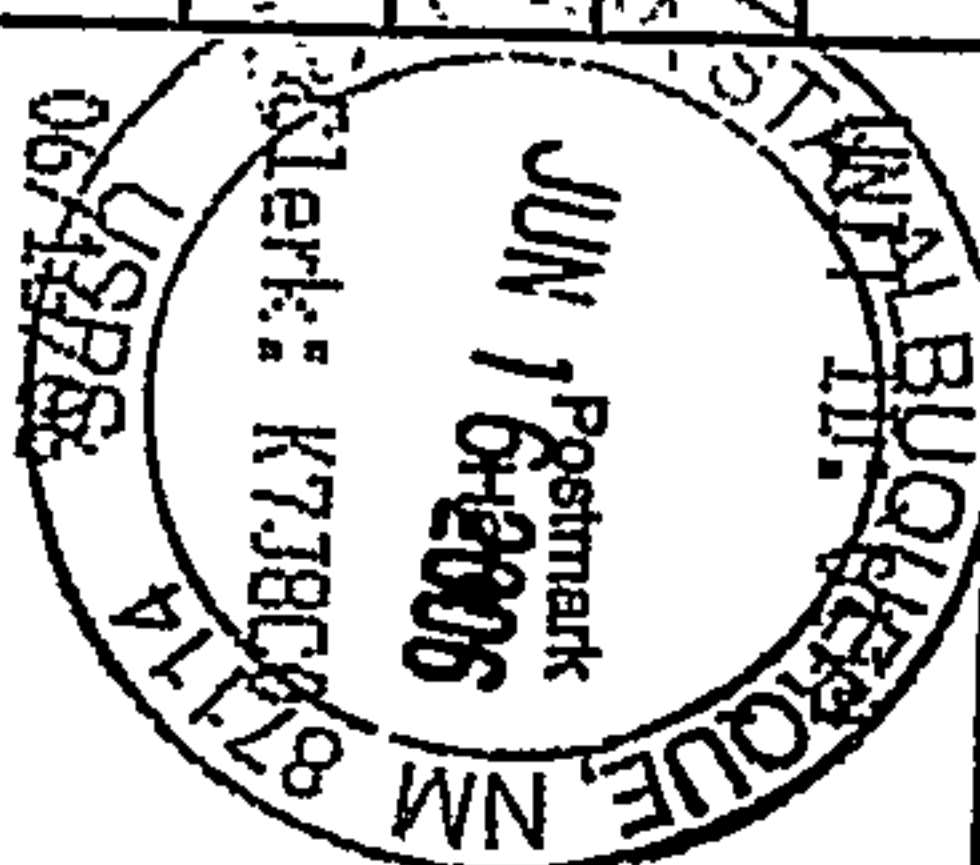
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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: Msie Anderson
 Street, Apt. No.: 3505 Campbell Ct Blvd
 or PO Box No. Aliso NM 87104
 City, State, ZIP+4

PS Form 3800, June 2002

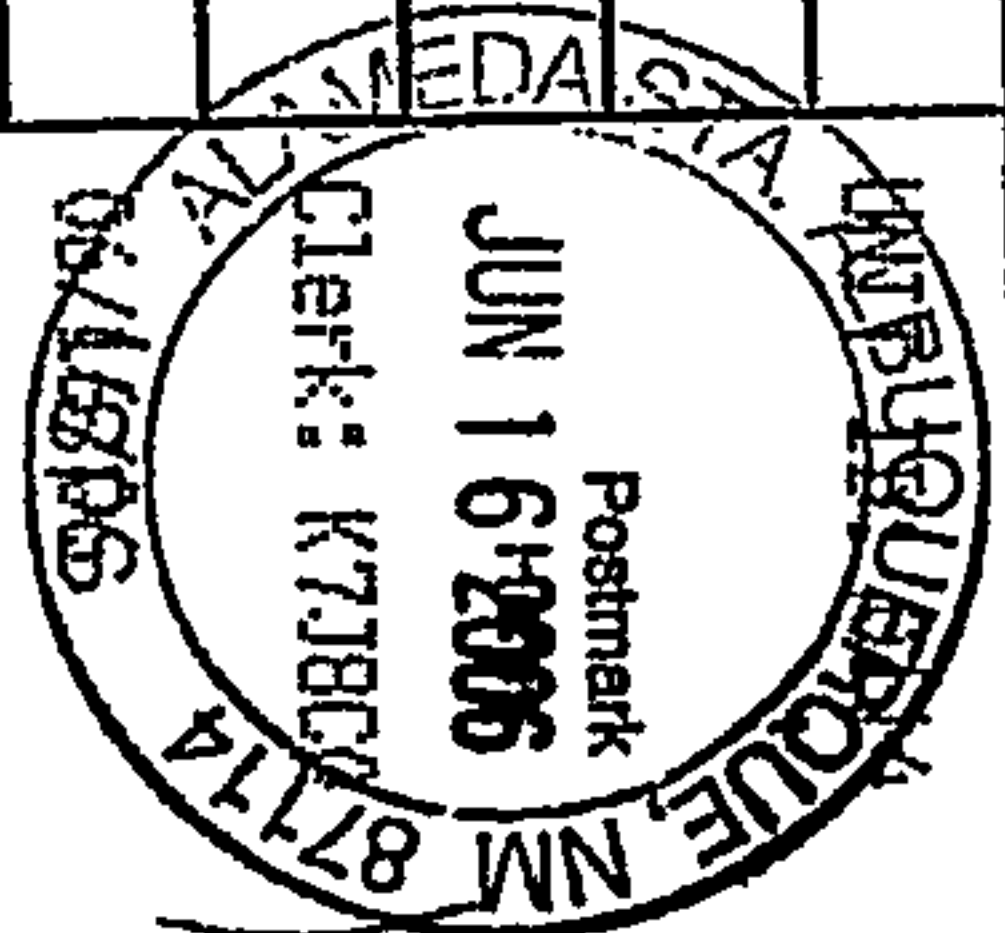
See Reverse for Instructions

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: William C. King
 Street, Apt. No.: 3104 Coca Rd
 or PO Box No. Aliso NM 87104
 City, State, ZIP+4

PS Form 3800, June 2002

See Reverse for Instructions

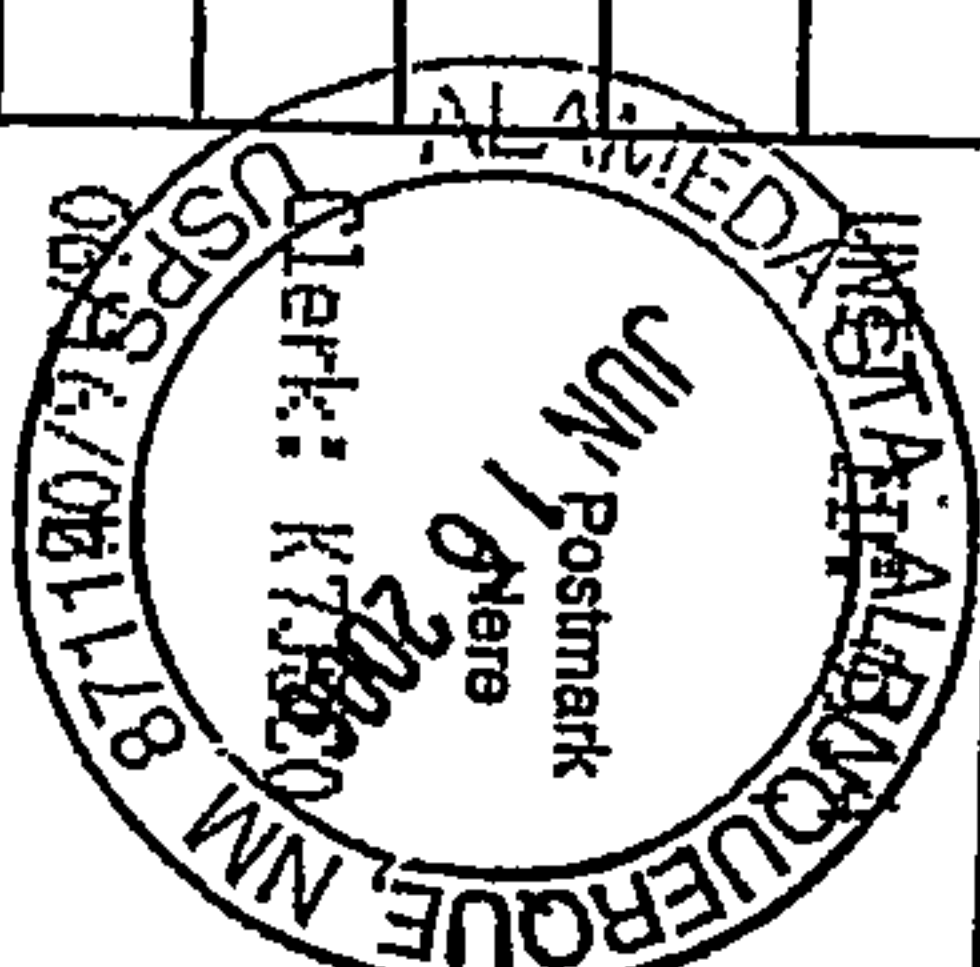
Los Duranes N.A

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 2.55
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80

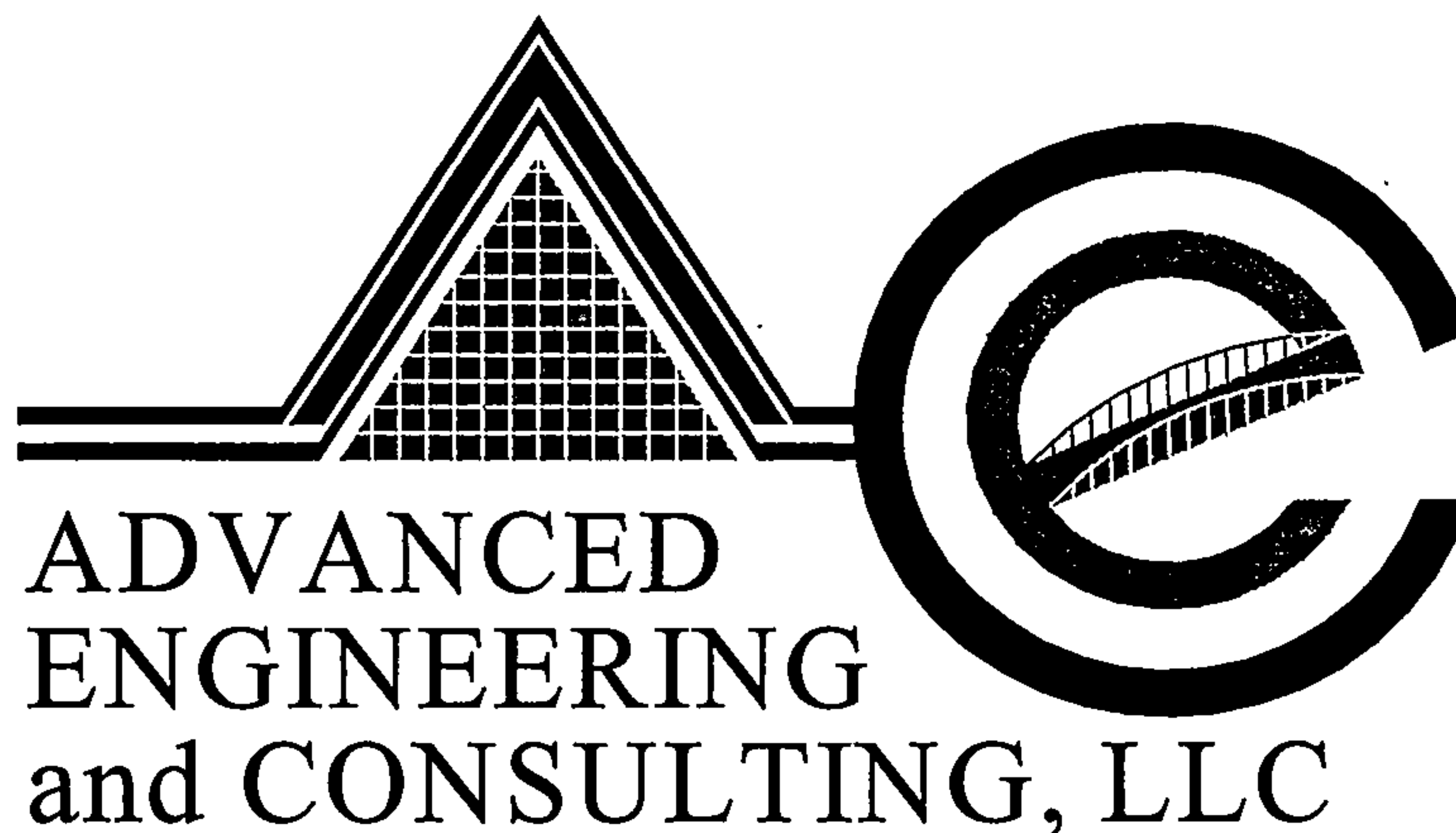


Sent To: Frank Mangano
 Street, Apt. No.: 1300 Rio Grande Blvd
 or PO Box No. Aliso NM 87107
 City, State, ZIP+4

PS Form 3800, June 2002

See Reverse for Instructions

Rio Grande Blvd N.A.



To: Willian C. Herring, Beverly Schoonover, Frank Manago, Jo Marie Anderson
From: Shawn Biazar
Subject: Copy of the Submittals to DRB.
Date: 02-06-03

Dear Sirs:

Please find a copy of the submittals for Site Development Plan for Building Permit request, the vacation of the private access easement, and the deferral of the sidewalk to DRB. This site is located on Indian School Road, NW between Meadow View Dr., NW and Rio Grande Blvd., NW.

If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.

Project # 1004240

VILLAS LAS MANANITAS DEVELOP.LLC
8301 LOMAS BLVD NE
ALBUQUERQUE, NM 87110

Project # 1004240

ADVANCED ENGINEERING & CONSULTING, LLC
4416 ANAHEIM AVENEUE, NE
ALBUQUERQUE, NM 87113

Project # 1004240

BEVERLY SCHOONOVER
Los Duranes N.A.
3308 BEACH NW
ALBUQUERQUE, NM 87104

Project # 1004240

WILLIAM C HERRING
Los Duranes N.A.
3104 COCA RD NW
ALBUQUERQUE, NM 87104

Project # 1004240

FRANK MANGANO
Rio Grande Blvd N.A.
4300 RIO GRANDE NW
ALBUQUERQUE, NM 87107

Project # 1004240

JO MARIE ANDERSON
Rio Grande Blvd N.A.
3505 CAMPBELL CT NW
ALBUQUERQUE, NM 87104

101305906033420401

GARCIA SHEILAH P
PO BOX 26207
ALBUQUERQUE, NM 87125

101305911934020419

LAS MANANITAS PROPERTIES LLC
PO BOX 26207
ALBUQUERQUE, NM 87125

101305907935520408

G3 INVESTORS LLC
PO BOX 26207
ALBUQUERQUE, NM 87125

101305909635420492

MEHLHOP PATRICIA
1819 MEADOWVIEW DR NW
ALBUQUERQUE NM 87104

101305908533620403

SCOTT DONNA MUIR & MARION
2217 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

101305909633620404

MCLEAN MICHAEL L & CHERYL K
2215 INDIAN SCHOOL RD NW
ALBUQUERQUE NM 87104

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FELDMAN MARK M & MARY E
1821 MEADOWVIEW DR NW
ALBUQUERQUE NM 87104

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BRANCH HOLDINGS LLC
1904 RIO GRANDE BL NW
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DE BACA ANITA C
1908 RIO GRANDE BL NW
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TAFOYA CLEOFES JR ETAL
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LOVATO HERMAN
1825 MEADOW VIEW DR NW
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LOVATO LINDA
1625 LOS ARBOLES NW
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ENCEE BIANCA
2427 WILLIAMS SE
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DEAGUERO JOSEPH A
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DUNCAN RONALD L
2226 MEAD0W VIEW PL NW
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EYSTER GARY L & MELODIE O
PO BOX 16473
ALBUQUERQUE, NM 87191

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FIERRO ODELIA P & MARTINEZ F
2001 MEADOW VIEW DR NW
ALBUQUERQUE NM 87104

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PUCETTI ALICE JACQUELINE & M
7602 BURNSIDE CT
FALLS CHURCHVA 22043

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PUCETTI MICHAEL DEAN & ALICE
7602 BURNSIDE CT
FALLS CHURCHVA 22043

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SMITH BRUCE R & DONNA M
2133 PASEO DEL PRADO LN
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LIDDICOET WILLIAM B & DIANNE
2127 PASEO DEL PRADO NW
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CLARK JAY L & CAROLYN C
110 NICKY LN
CORRALES NM 87048

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FINDLAY JOHN GRAHAM & NOLA B
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MCKEE SHANNON H
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CORNS JEANNE M
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CEBADA LARRY E
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WOLFORD MARY J
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SANTISTEVAN GLORIA
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JARAMILLO JOYCE
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DURAN YOLANDA ROMERO ETAL
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ABEYTA FAMILY TRUST
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ARAGON ERNEST C
2302 INDIAN SCHOOL RD NW
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CUELLAR LEE M
PO BOX 1646
CORRALES, NM 87048

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ZARATE MANUEL J JR
2449 FRANZEN RD SW
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STANLEY MARK A ETUX
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1600 LLC
151 HOP TREE TR
CORRALES NM 87048

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WILLIAMS CALVIN & MARY E
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OSO DEL RIO LLC
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OSO DEL RIO LLC
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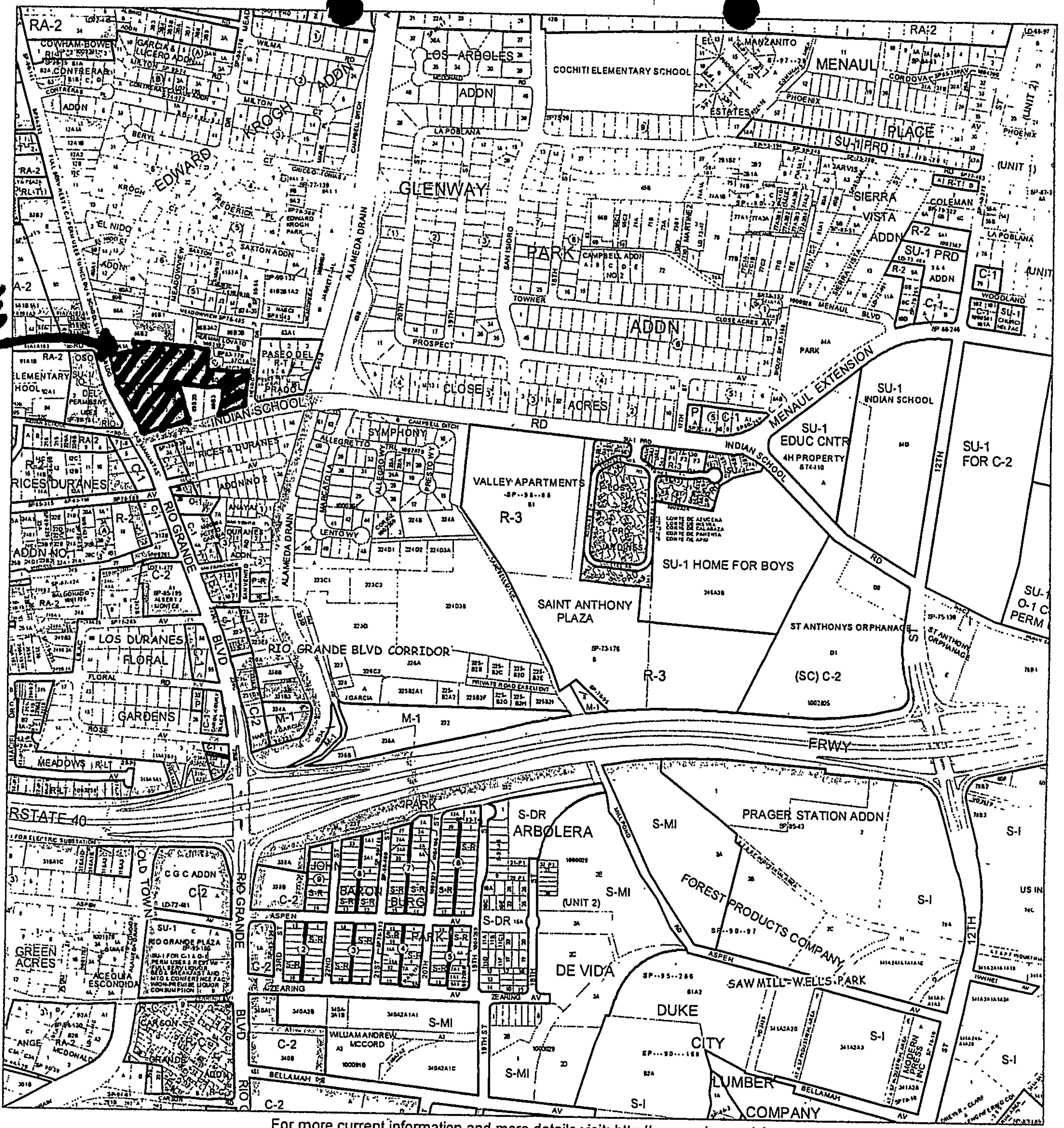
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HADDAWAY EDWARD A & BARBARA J
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ALBUQUERQUE NM 87114

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WILLIAMS CALVIN & MARY E
2414 LILAC DR NW
ALBUQUERQUE NM 87104



ALTE

For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

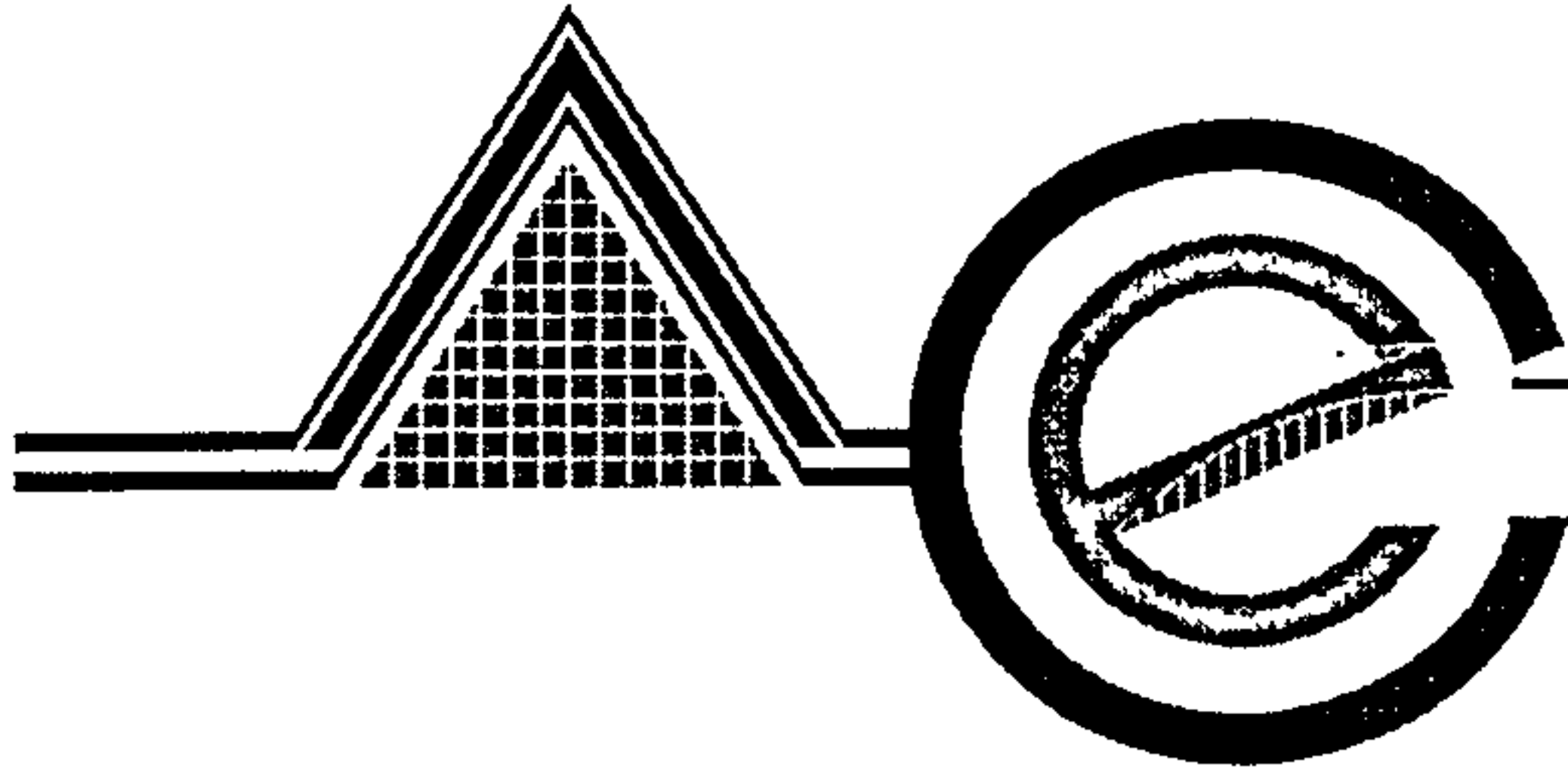
Zone Atlas Page:
H-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Map amended through: 1/12/2006

0 750 1,500 Feet



ADVANCED ENGINEERING and CONSULTING, LLC

June 15, 2006

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary Plat , Grading & Drainage Plan Approval, Sidewalk Design Variance, Vacation of Private Access Easement, Temporary Deferral of Construction of the Sidewalks for Villa Las Mananitas Subdivision, DRB Project # 1004240, Containing ± 4.6527 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, is requesting a Preliminary Plat and Grading & Drainage Plan approval for the above referenced project. The site is located on Rio Grande Blvd., NW between Indian School Road, NW and Meadow View Place, NW.

We are requesting a sidewalk design variance to construct the sidewalk on one side of the road. This was previously presented to the DRB at the sketch plat review and did not receive objection. Please find 6 copies of the exhibit for reference.

We also are requesting to vacate a private access easement. There is an existing private access easement on the property, which is no longer needed. A new access easement will be granted by this plat. Attached is a copy of the document that created the existing easement for your review.

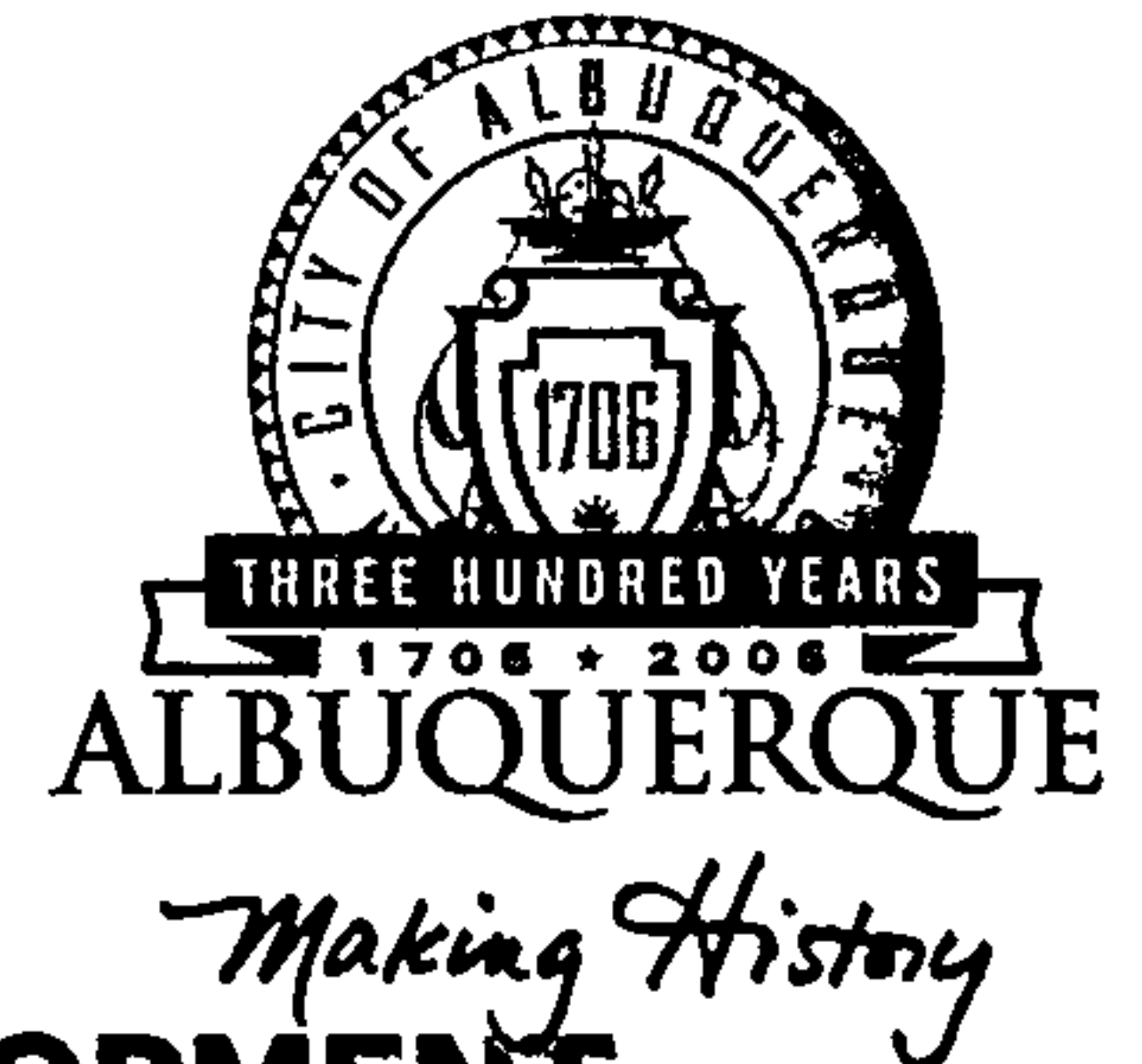
Lastly, we are requesting a temporary deferral of the construction of the sidewalks to avoid damaging the sidewalks during the construction of the houses. The construction of the sidewalks will be completed with each house. Please find 6 copies of the exhibit for reference.

Please contact me if you require additional information.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

June 23, 2006

TO: William C. Herring and Beverly Schoonover, Los Duranes Neigh. Assoc.
Frank Mangano and Winnie Kimbrough, Rio Grande Blvd. Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately five (5) acre(s) - Major Preliminary Plat Approval; Minor Sidewalk Waiver; Minor Temporary Deferral of Sidewalks; and Minor Vacation of Private Easements for the proposed "*Villa Las Mananitas Subdivision*".

Proposed by: Advanced Engineering and Consulting, LLC at 898-5570
Agent for: Villas Las Mananitas Development, LLC

P.O. Box 1293

For property located: On or near Indian School Road NW between the Alameda Drain and Rio Grande Boulevard NW.

Albuquerque

The case number(s) assigned is: 06DRB- 00890, 00891, 00892, 00893, Project # 1004240.

City Planning accepted application for this request on June 16, 2006.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested*.

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, July 12, 2006 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 17, 2007, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001816
06DRB-01794 Major-Vacation of Public Easements

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 12-A, **NEW MEXICO TOWN CO. ORIGINAL TOWNSITE**, zoned SU-2/HDA, located on TIJERAS AVE NW, between LOMAS NW and CENTRAL NW containing approximately 1 acre(s). (J-13)

~~Project # 1004240~~
06DRB-01782 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLA LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 residential zone, located on WILDER LN NW, between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 06DRB-01042, 06DRB01524] (H-13)

Project # 1005182
06DRB-01784 Major-Preliminary Plat Approval

WILSON AND CO. agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract(s) C, correction plat of the bulk land plat of La Cuentista Subdivision (to be known as **LA CUENTISTA SUBDIVISION UNIT 2**) zoned SU-2/SRSL, located on ROSA PARKS RD NW, between ALOE RD NW and KIMMICK DR NW containing approximately 36 acre(s). [REF: 06DRB-01428] (C-10/C-11)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. **INDIVIDUALS WITH DISABILITIES** needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JANUARY 1, 2007.

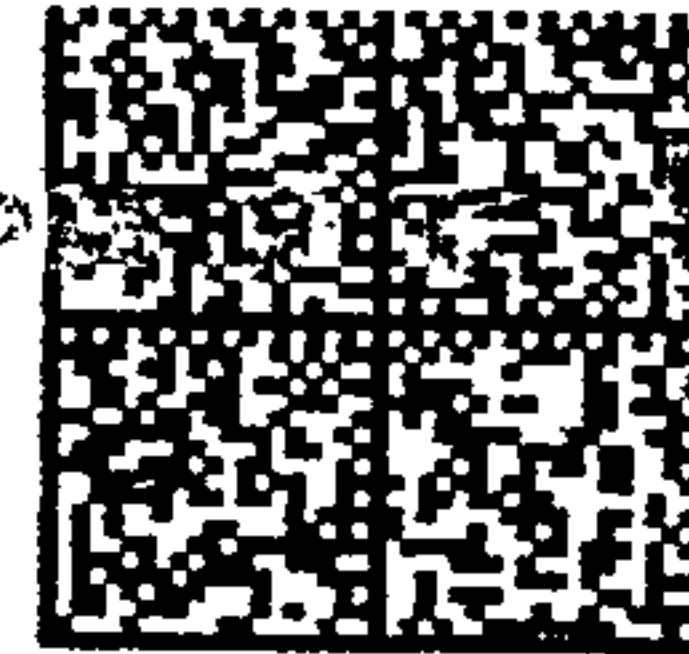


Planning Department

CITY OF ALBUQUERQUE

ALBUQUERQUE NM 871

29 DEC 2006



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MAILED FROM ZIP CODE 87102

DRB

Or Current Resident
MALDONADO ELOY R & BONNIE S &
2000 MEADOW VIEW RD NW
ALBUQUERQUE, NM 87107

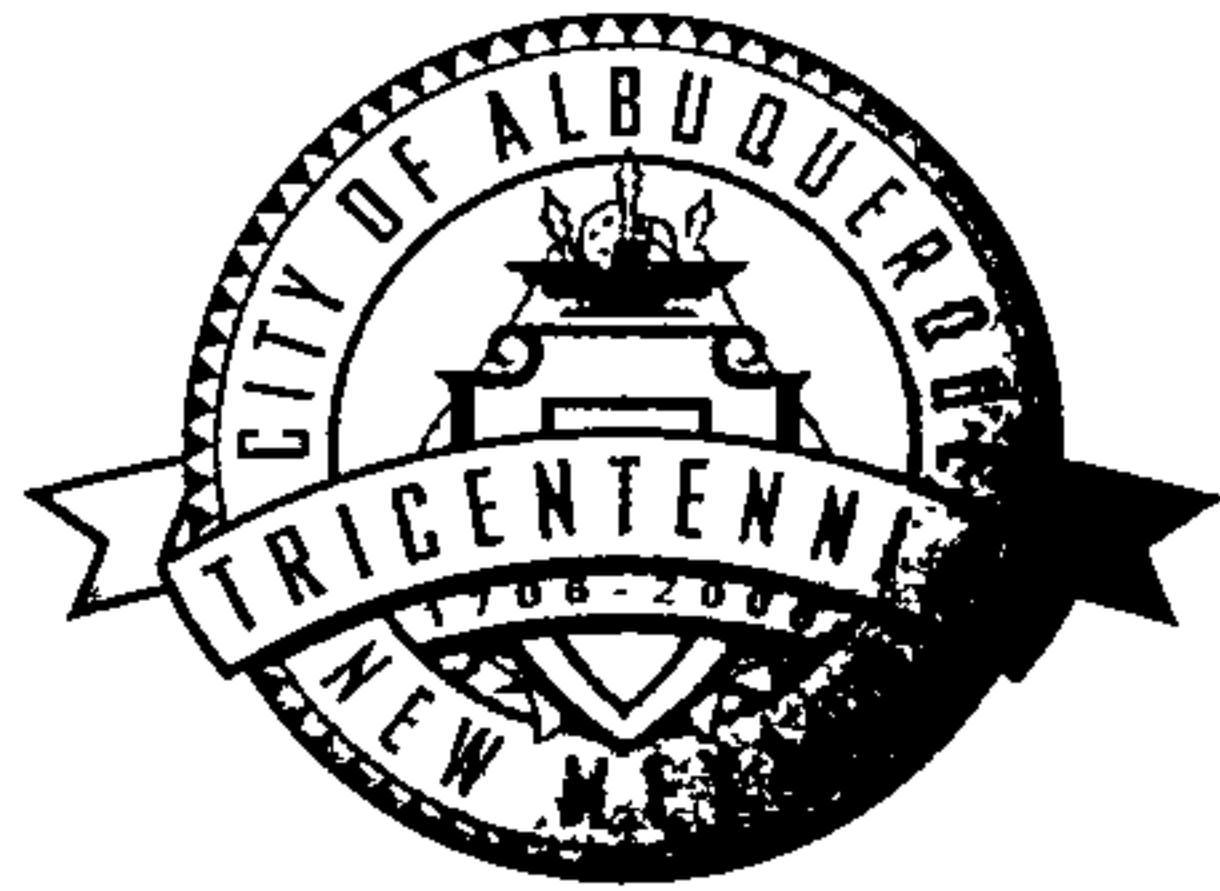
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MAIL PIECE TO BE DELIVERED
AS ADDRESSED UNLESS SPECIFIC
REASON FOR NON-DELIVERY EXISTS.

CARRIER: REMOVE LABEL BEFORE DELIVERY

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P O Box 1293 Albuquerque, New Mexico 87103

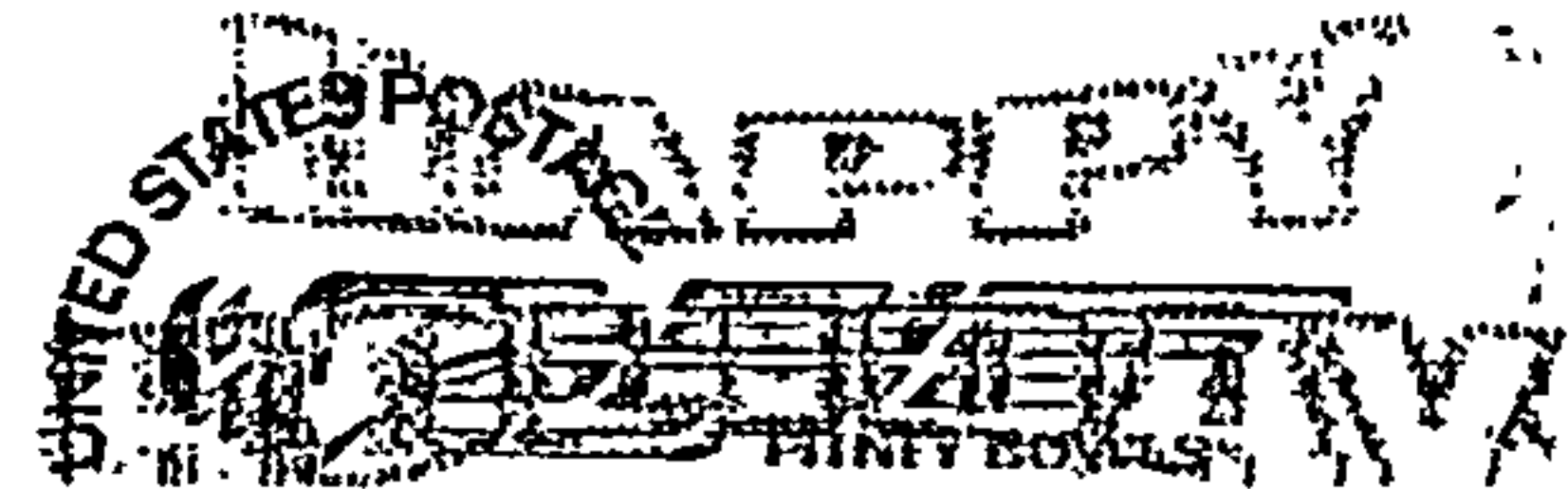
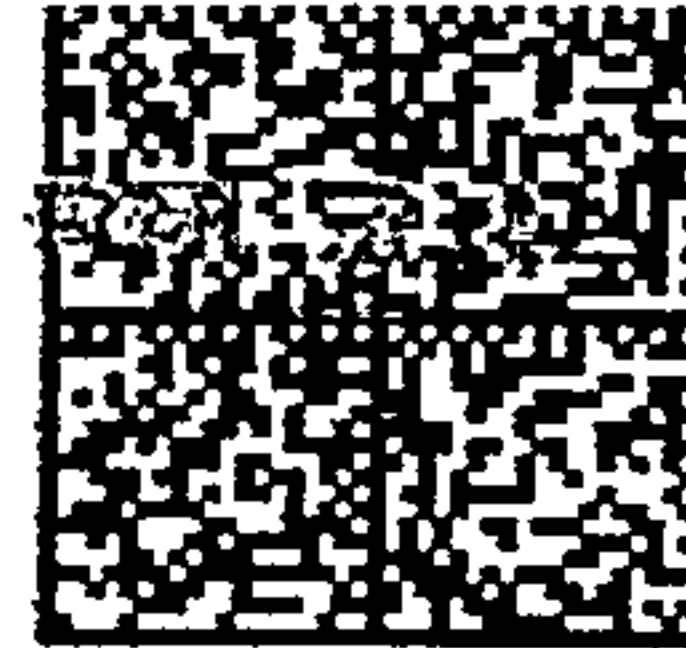


Planning Department

CITY OF ALBUQUERQUE

ALBUQUERQUE NM 871

29 DEC 2006



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DRB

Or Current Resident
GRIEGO TOBIAS R
1832 MEADOWVIEW DR NW
ALBUQUERQUE, NM 87104

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NO FORWARD ORDER ON FILE
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RETURN TO SENDER

BC: 87104251232 PM *0568-12037-29-38

87104251232



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 12, 2006, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004355

06DRB-00808 Major-Vacation of Public Easements

WILSON AND COMPANY agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, VISTA VIEJA, UNIT 2, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB-01522, 04DRB-01523, 04DRB-01524, PROJECT #1003470] (D-9)

Project # 1003102

06DRB-00832 Major-Preliminary Plat Approval
06DRB-00837 Minor-Sidewalk Waiver
06DRB-00838 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for INFILL SOLUTIONS request(s) the above action(s) for all or a portion of Lot(s) 12-A, LANDS OF FERRARI-ESQUIBEL-PALMER (to be known as THE SOFT LOFTS) zoned SU-1 PRD (22 Du/Acre), located on LAGRIMA DE ORO NE, between JUAN TABO NE and MORRIS ST NE containing approximately 2 acre(s). [REF: 04DRB-00236, 06EPC-00146, 06EPC-00147, 05DRB-00911] (F-21)

Project # 1004184

06DRB-00819 Major-Bulk Land Variance
06DRB-00820 Minor-Prelim&Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for TOM SALAZAR request(s) the above action(s) for all or a portion of Tract(s) A-1, LANDS OF SALAZAR FAMILY TRUST ETAL, zoned RLT AND SU-1 MIXED USE, located on VERMEJO PARK RD SW, between 98TH ST SW and UNSER BLVD SW containing approximately 149 acre(s). [REF: 05DRB-00810, 05DRB-00811] (N-9)

Project # 1004715

06DRB-00813 Major-Preliminary Plat Approval
06DRB-00814 Major-Vacation of Public Easements
06DRB-00815 Minor-Subd Design (DPM) Variance
06DRB-00816 Minor-Sidewalk Waiver
06DRB-00817 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for JTH, LLC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, JUAN TABO HILLS, UNIT 1 (to be known as JUAN TABO HILLS, UNIT 2) zoned R-D residential and related uses zone, Developing Area, located on JUAN TABO BLVD SE, between EUBANK BLVD SE and FOUR HILLS RD SE containing approximately 83 acre(s). (M-21, M-22)

SEE PAGE 2 . . .



**PUBLIC HEARING-DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1003613

06DRB-00854 Major-Preliminary Plat Approval
06DRB-00855 Major-Vacation of Public
Easements
06DRB-00859 Minor-SiteDev Plan Subd/EPC
06DRB-00856 Minor-Sidewalk Waiver
06DRB-00857 Minor-Temp Defer SDWK

THOMPSON ENGINEERING CONSULTANTS INC agent(s) for WAREHOUSE MOLDING & DOOR CORP request(s) the above action(s) for all or a portion of Tract(s) 34, MRGCD Map 39, Lot(s) 11, Rancho Rico and Lot(s) 1-4, Powell Gardens Addition (to be known as **SUNSET VILLA ADDITION**) zoned SU-1 for PRD, located on SUNSET GARDENS RD SW between ATRISCO RD SW and ARENAL DITCH, containing approximately 15 acres. (K-12)

Project # 1003247

06DRB-00874 Major-Preliminary Plat Approval
06DRB-00876 Major-Final Plat approval
06DRB-00875 Minor- Minor-Temp Defer
SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for all or a portion of Lot(s) 1 & 2 VALENCIA SUBDIVISION (to be known as **CORONA DEL SOL**) zoned R-2 residential townhomes, located on ALAMOGORDO NW, between ST JOSEPH NW and TUCSON NW containing approximately 1 acre(s). [REF: 04DRB-00190, 05DRB-00498] (G-11)

Project # 1003469

06DRB-00882 Major-Vacation of Public
Easements

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFREY & LORRI ZUMWALT AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for Lot(s) 7A-P1, 8A-P1 & 9A-P1, **OAKLAND HEIGHTS**, zoned R-D (3 Du/Acre) located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [REF: 04DRB-00891] (C-20)

Project # 1003886

06DRB-00861 Major-Preliminary Plat Approval
06DRB-00862 Major-Vacation of Pub Right-of-
Way
06DRB-00864 Major-Vacation of Public
Easements
06DRB-00863 Minor-Vacation of Private
Easements
06DRB-00867 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for HOME SITE FIVE request(s) the above action(s) for all or a portion of Tract(s) C & 42, MESA VILLAGE SUBDIVISION (to be known as **SILVER LEAF SUBDIVISION**) zoned R-3, located on LOMAS BLVD NE, between SELLARS DR NE and EASTERDAY NE containing approximately 52 acre(s). [REF: 05DRB-01831] (J-20)

SEE PAGE 3 . . .



#11

**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 3

Project # 1004974
06DRB-00884 Major-SiteDev Plan Subd
06DRB-00885 Major-SiteDev Plan Bldg Permit

STUDIO SW ARCHITECTS agent(s) for SAN PEDRO EQUITIES request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, 30, 31 and 32, Tract(s) A, Block(s) 34, NORTH ALBUQUERQUE ACRES, zoned SU-2, IP, located on SAN PEDRO NE BETWEEN HOLLY NE AND CARMEL NE containing approximately 5 acres. [REF: AX-84-9, Z-84-41] (C-18)

Project # 1003703
06DRB-00886 Major-Preliminary Plat Approval
06DRB-00887 Major-Vacation of Public Right-of-Way
06DRB-00888 Minor-Temp Defer SDWK

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 13, 14, 15, 16, 19 & 20, Block(s) 2, Tract(s) 3, Unit(s) 3, NORTH ALBUQUERQUE ACRES, (to be known as EAGLE'S VIEW ESTATES, zoned RD, located on VENTURA NE between EAGLE ROCK NE and OAKLAND NE containing approximately 6 acres. [REF: 04DRB-01533] (C-20)


Project # 1004240
06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as VILLAS LAS MANANITAS SUBDIVISION, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] (H-13)

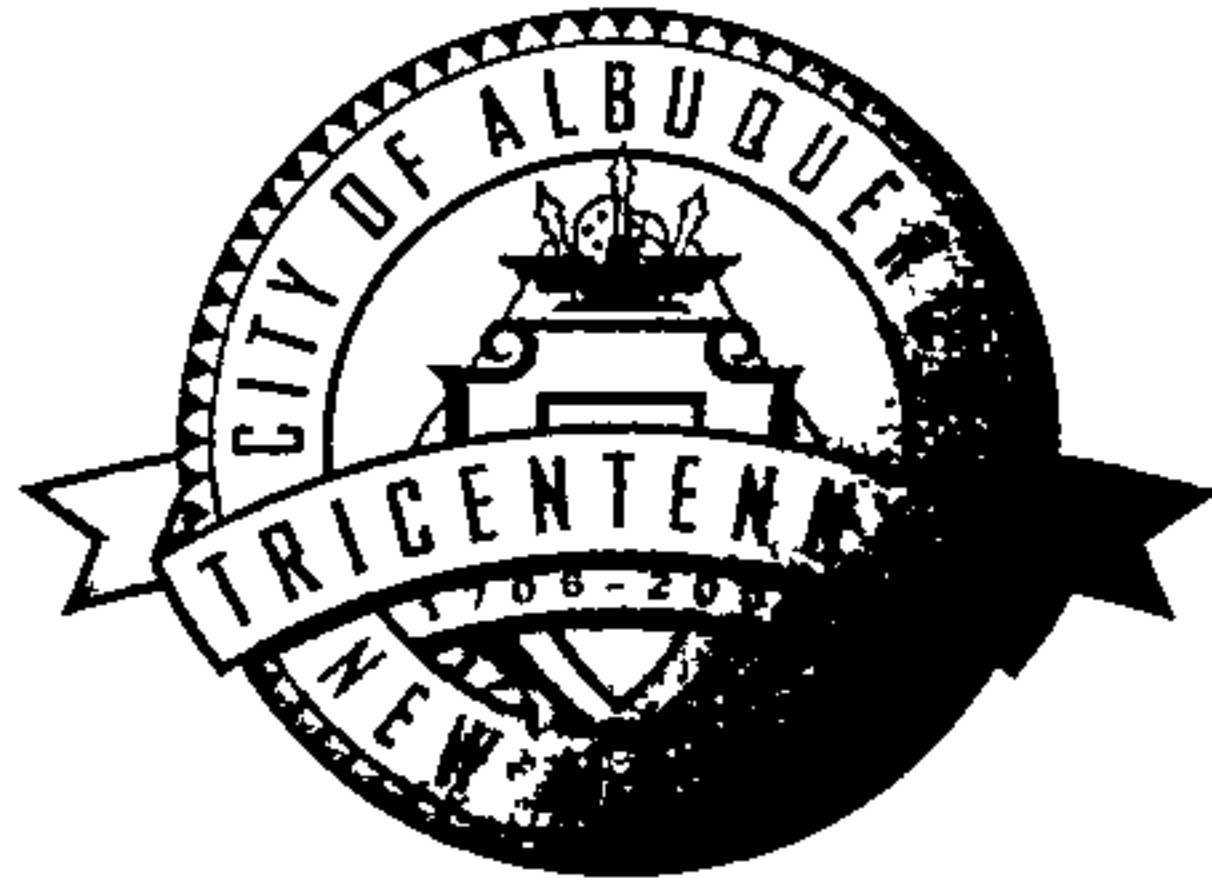
Project # 1004932
06DRB-00889 Major-Vacation of Public Right-of-Way

RIMCON INC., WALTER TILLEY agent(s) for ALAN MALOTT request(s) the above action(s) for Lot(s) B, Block(s) 5, MONTE VISTA ADDITION, zoned C-1, located on CAMPUS BLVD NE between TULANE DR NE and CARLISLE NE containing approximately 1 acre(s). [REF: 06DRB-00775] (K-16)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JUNE 26, 2006.



Planning Department

CITY OF ALBUQUERQUE



TO SENDER
NOT DELIVERABLE
AS ADDRESSED
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ALBUQUERQUE NM

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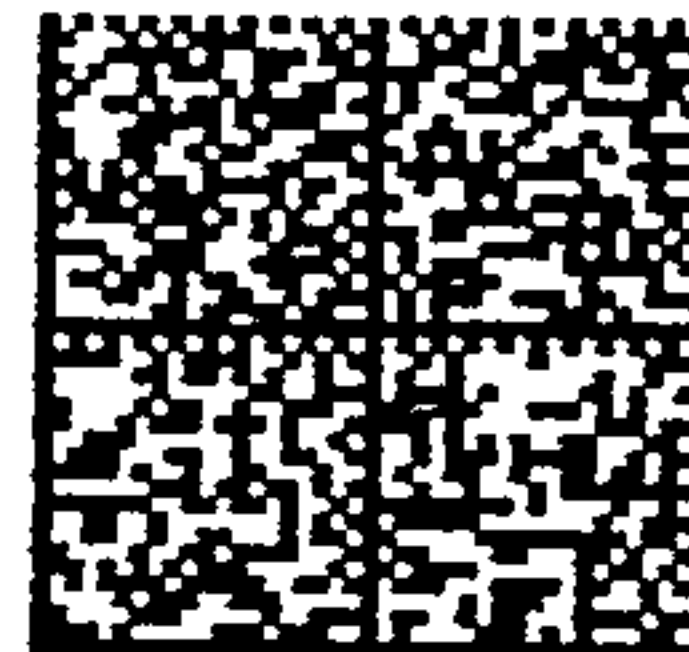
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CITY OF ALBUQUERQUE



Planning Department



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ALBUQUERQUE NM 87197-0296

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P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, January 17, 2007, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001816

06DRB-01794 Major-Vacation of Public Easements

JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 12-A, **NEW MEXICO TOWN CO. ORIGINAL TOWNSITE**, zoned SU-2/HDA, located on TIJERAS AVE NW, between LOMAS NW and CENTRAL NW containing approximately 1 acre(s). (J-13)

Project # 1004240

06DRB-01782 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLA LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 residential zone, located on WILDER LN NW, between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 06DRB-01042, 06DRB01524] (H-13)

Project # 1005182

06DRB-01784 Major-Preliminary Plat Approval

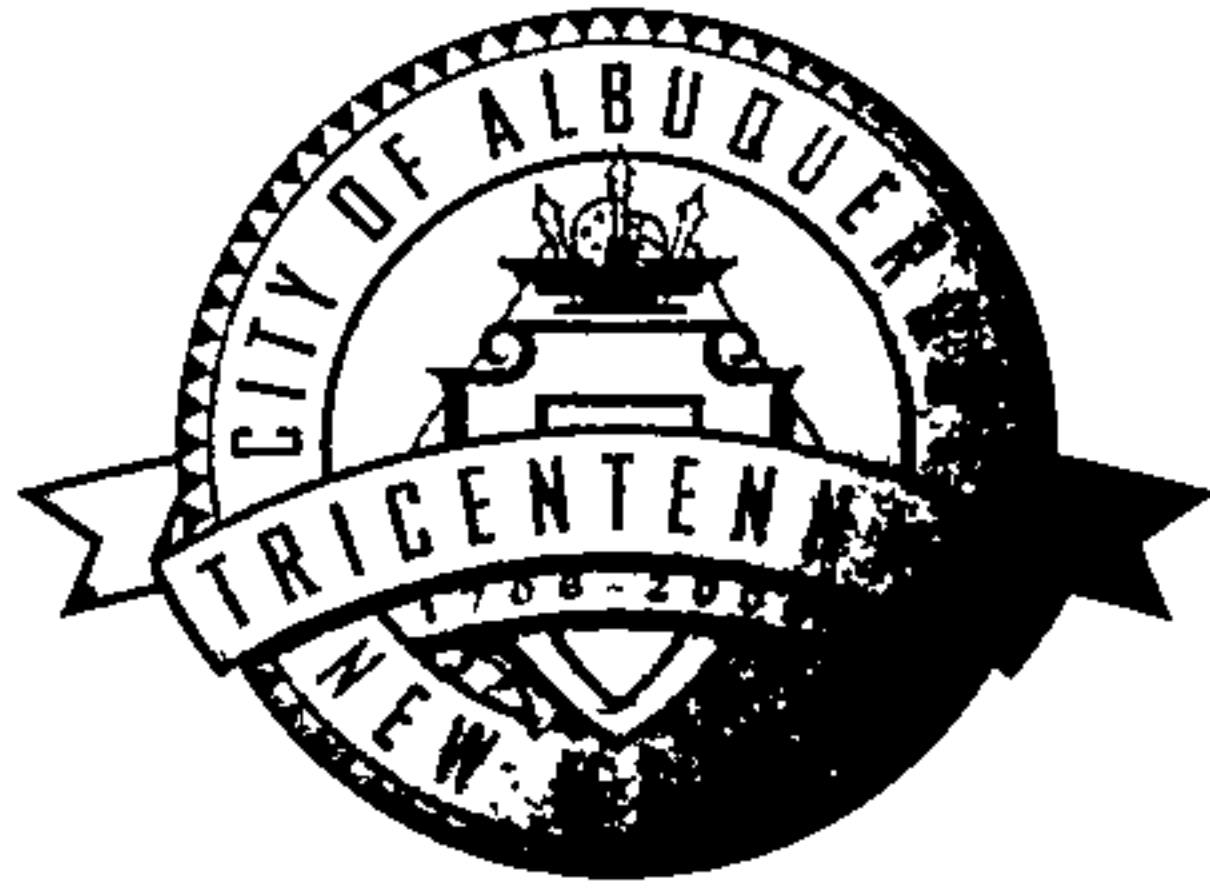
WILSON AND CO. agent(s) for LA CUENTISTA II, LLC request(s) the above action(s) for all or a portion of Tract(s) C, correction plat of the bulk land plat of La Cuentista Subdivision (to be known as **LA CUENTISTA SUBDIVISION UNIT 2**) zoned SU-2/SRSL, located on ROSA PARKS RD NW, between ALOE RD NW and KIMMICK DR NW containing approximately 36 acre(s). [REF: 06DRB-01428] (C-10/C-11)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. **INDIVIDUALS WITH DISABILITIES** needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JANUARY 1, 2007.

CITY OF ALBUQUERQUE



Planning Department

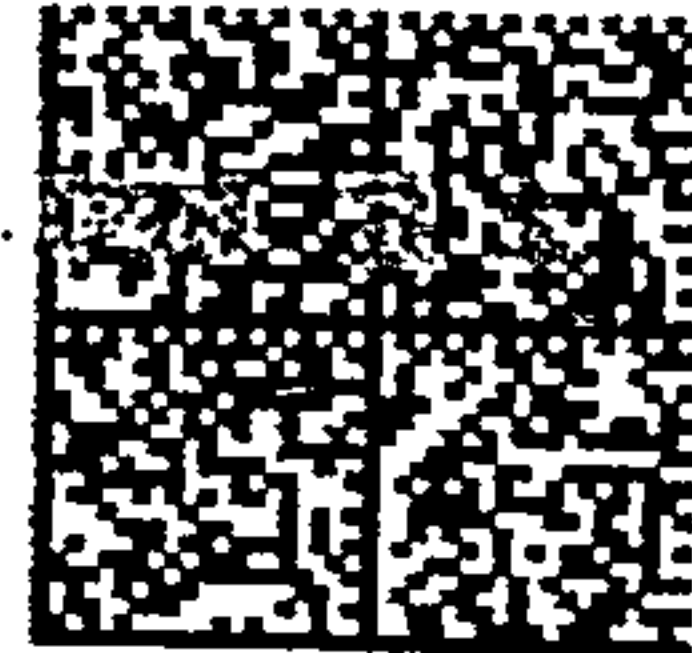
DRB

Or Current Resident
STANLEY MARK A ETUX
2308 INDIAN SCHOOL RD NW
ALBUQUERQUE, NM 87116

Or Curre

ALBUQUERQUE NM 871

29 DEC 2006



02 1M

\$ 00.39⁰

0004219022

DEC 29 2006

MAILED FROM ZIP CODE 87102

NIXIE

871

1

10 01/26/07

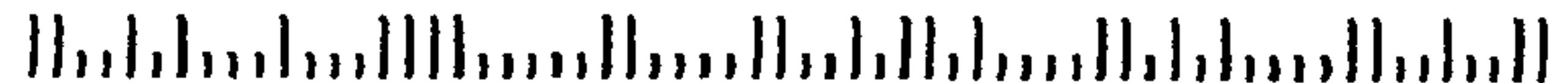
RETURN TO SENDER

VACANT

UNABLE TO FORWARD

BC: 87103129393

*0568-12064-29-38



P O Box 1293 Albuquerque, New Mexico 87103



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): JASON KENT, PC PHONE: 505 345 8400
 ADDRESS: 2021 MOUNTAIN RD NW FAX: 505 345 9100
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: JWK@NM.NET

APPLICANT: VILLAS LAS MANANITAS DEVELOPMENT, LLC PHONE: 505 350 1625
 ADDRESS: 8301 LOMAS BLVD NE FAX: 505 260 5018
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: EGARCIA@GARCIA CARS.COM
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: EXTENSION OF STA FOR SIDEWALKS AND PROCEDURE B MODIFIED (WATERLINE)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 1-P-1 THROUGH 16-P-1 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: VILLAS LAS MANANITAS SUBDIVISION
 Existing Zoning: R-1 Proposed zoning: N/A MRGCD Map No 35
 Zone Atlas page(s): H-13-Z UPC Code: 101305906035620409 and related.

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
PROJECT NO. 791581

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 16 No. of proposed lots: _____ Total area of site (acres): _____
 LOCATION OF PROPERTY BY STREETS: On or Near: RIO GRANDE BLVD. AT INDIAN SCHOOL NW
 Between: (Northeast corner) and _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: _____

SIGNATURE [Signature] DATE 8/6/10
 (Print) JASON W. KENT Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>10DRB 70216</u>	<u>IDS</u>	_____	<u>\$ 0</u>
<u>10DRB 70217</u>	<u>CHF</u>	_____	<u>\$ 20.00</u>
	<u>ESIA</u>	_____	<u>\$ 50.00</u>
		_____	\$ _____
		_____	\$ _____
Hearing date <u>08/18/10</u>			Total <u>\$ 70.00</u>

[Signature]
 Planner signature / date

Project # 1004240

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (DRB04)** (PUBLIC HEARING CASE)
 ___ Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies
 ___ Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived.
 ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- VACATION OF PUBLIC EASEMENT (DRB27)**
 VACATION OF PUBLIC RIGHT-OF-WAY (DRB28)
 ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.
 (Not required for City owned public right-of-way.)
 ___ Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the request
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.


- SIDEWALK VARIANCE (DRB20)**
 SIDEWALK WAIVER (DRB21)
 ___ Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance or waiver
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)**
 ___ Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the variance
 ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 ___ Sign Posting Agreement
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)**
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07) AND PROCEDURE B MOD.
 ___ Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter briefly describing, explaining, and justifying the deferral or extension
 ___ List any original and/or related file numbers on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

- VACATION OF PRIVATE EASEMENT (DRB26)**
 VACATION OF RECORDED PLAT (DRB29)
 ___ The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies
 ___ Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
 ___ Zone Atlas map with the entire property(ies) clearly outlined
 ___ Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
 ___ Letter of authorization from the grantors and the beneficiaries (private easement only)
 ___ Fee (see schedule)
 ___ List any original and/or related file numbers on the cover application
 Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JASON KENT, PC
 Applicant name (print)

 Applicant signature / date


Form revised 4/07

- Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed

Application case numbers
 10DRB3 - 70216

Sandy Handley 08/06/10
 Planner signature / date
 Project # 1004240

COPY

ATTORNEY
AT LAW

JASON KENT, P.C.

2021 Mountain Rd. NW
Albuquerque, New Mexico 87104-1444
Phone: (505) 345-8400
Fax: (505) 345-9100

Jason W. Kent
jwk@nm.net

August 6, 2010

Development Review Board
City of Albuquerque
Planning Department
600 2nd Street NW, Suite 400
Albuquerque, NM 87102

Re: Project: Villas Las Mananitas Subdivision
Project No.: 791581
Extension of Subdivision Improvements Agreement (Sidewalk) and
Procedure "B" Modified (Waterline)

Dear Sir/Ms.:

This letter explains the reason for the accompanying application for extension of SIA for sidewalks and Procedure "B" Modified (waterline) for the above subdivision, on behalf of our client, Villas Las Mananitas Development, LLC ("Developer").

This 16-lot residential subdivision was approved in 2006, shortly before the collapse in real estate construction in Albuquerque. Seven of the 16 lots have been sold, leaving nine. Five homes were built on the 7 sold lots. (A total of 4 lots were consolidated for construction of two larger homes).

The sidewalk deferral agreement and Procedure "B" Modified have been extended twice before (2008 and 2009), due to lack of construction activity and demand. There has been no material improvement in construction activity or apparent change in construction demand in the past year. Therefore another extension is needed.

The Developer is prepared to install the sidewalks at this time, but understands that the City prefers that the sidewalks not be installed when homes have not been built, due to sidewalk damage that typically occurs during later construction.

The Developer is also prepared to proceed with the Procedure "B" Mod. waterline, and intends to move forward on that with the Water Use Authority during the next extension.

Accordingly, the Developer requests another SIA extension and requests that the extension be for two (2) years rather than just one year, if possible (at least for sidewalks), to avoid need for another extension one year from now, when it is unlikely that residential construction demand will have materially improved.

August 6, 2010
Page 2

JASON KENT, P.C.

Please contact me with any questions.

Thank you.

Very truly yours,

JASON KENT, P.C.

A handwritten signature in black ink, appearing to read "Jason W. Kent", written in a cursive style.

Jason W. Kent

JWK:jyw



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 2/4/2010

Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

**PLAT OF
VILLAS LAS MANANTITAS SUBDIVISION**
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2006

EASEMENTS NOTES:

NEW 20' PRIVATE ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 1-P1 THRU 12-P1. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.

NEW 20' PRIVATE ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 13-P1 THRU 16-P1. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.

10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

NEW 20' PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.

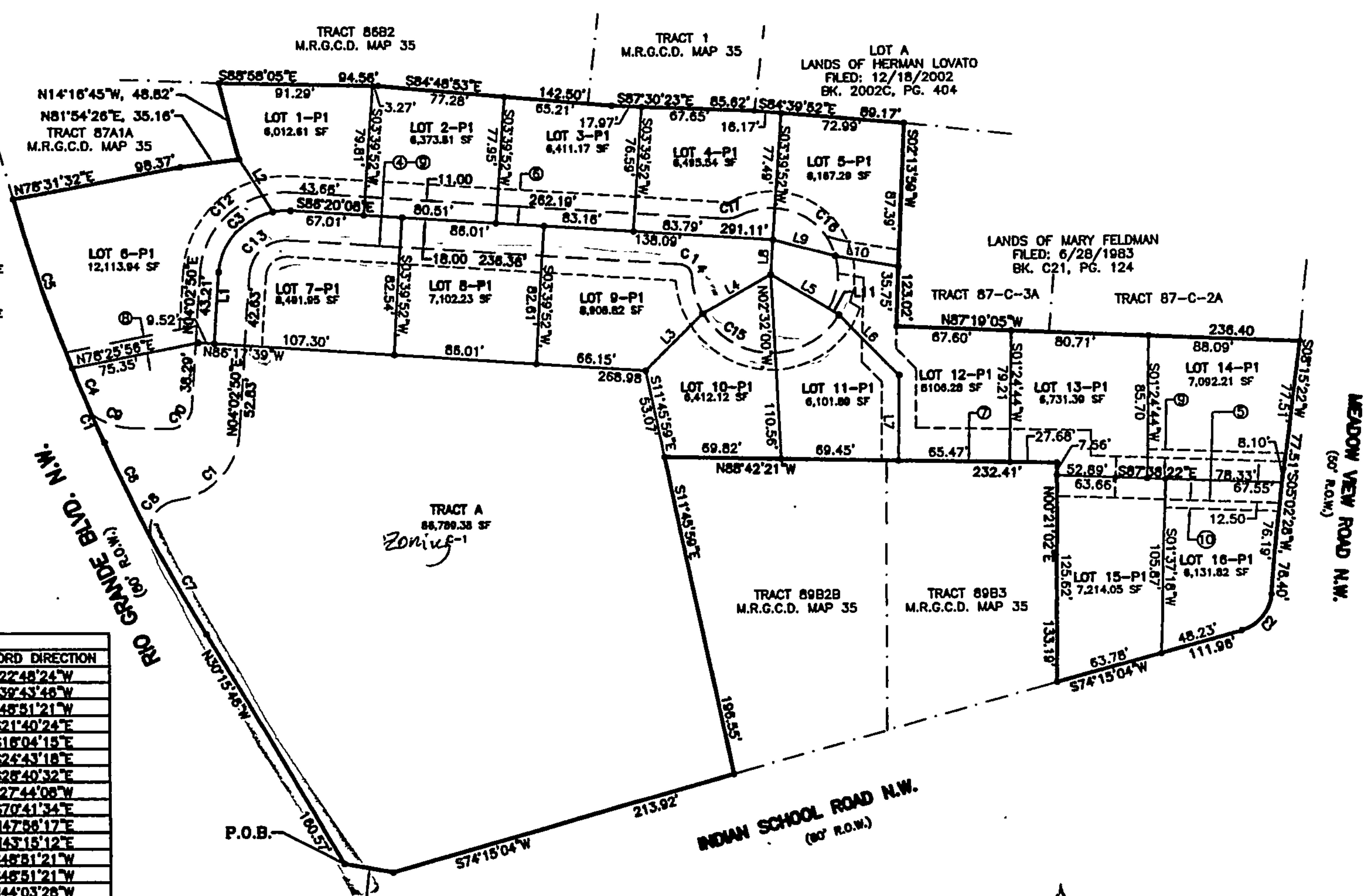
20' PUBLIC SANITARY SEWER AND WATER LINE EASEMENT GRANTED BY THIS PLAT TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.

5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 1-P1, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.

5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 15-P1, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.

LINE	LENGTH	BEARING
L1	42.74	N04°02'50"E
L2	37.82	S14°16'45"E
L3	48.51	S45°54'59"W
L4	47.00	N60°27'14"E
L5	47.00	N58°51'30"W
L6	60.50	S44°03'25"E
L7	51.40	S01°08'15"W
L8	21.01	N03°39'52"E
L9	38.47	N74°51'37"W
L10	37.88	N79°58'03"W
L11	7.00	N58°38'54"W

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD DIRECTION
C1	284.97	1080.38	143.32	15°06'47"	284.14	N22°48'24"W
C2	30.13	25.00	17.20	69°02'37"	28.34	S39°43'48"W
C3	62.56	40.00	39.73	89°37'02"	56.38	S48°51'21"W
C4	29.48	1080.38	14.74	1°33'49"	29.48	S21°40'24"E
C5	106.37	1080.38	53.23	5°38'29"	106.33	S16°04'15"E
C6	85.47	1080.38	42.76	4°31'59"	85.45	S24°43'18"E
C7	63.64	1080.38	31.83	3°22'30"	63.63	S28°40'32"E
C8	34.38	18.00	25.44	109°28'51"	29.39	S27°44'08"W
C9	25.62	42.00	13.23	34°57'26"	25.23	S70°41'34"E
C10	21.45	14.00	13.47	87°46'53"	19.41	N47°58'17"E
C11	58.85	43.00	35.08	78°24'44"	54.36	N43°15'12"E
C12	79.77	51.00	50.66	89°37'02"	71.88	S48°51'21"W
C13	34.41	22.00	21.85	89°37'02"	31.01	S48°51'21"W
C14	11.81	8.00	7.27	84°33'20"	10.76	N44°03'28"W
C15	120.45	47.00	157.83	146°50'06"	90.09	S75°11'51"E
C16	104.33	40.00	146.45	148°26'47"	77.17	N43°20'17"W
C17	8.31	15.00	4.26	31°43'33"	8.20	N77°48'08"E



GRAPHIC SCALE



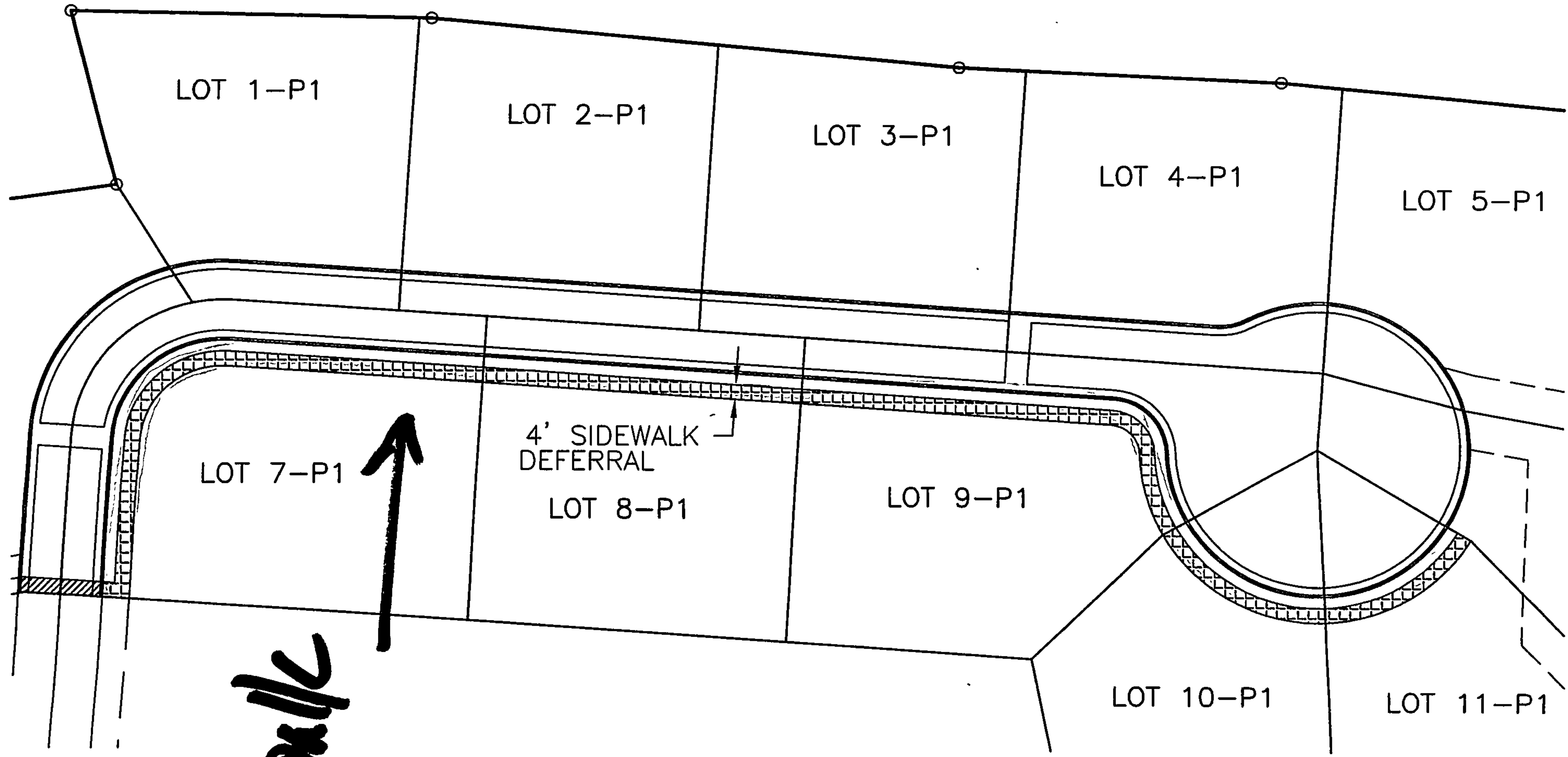
SCALE: 1"=50'

**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

SHEET 3 OF 3

EXHIBIT SIDEWALK DEFERRAL



LOT 7-P1

4' SIDEWALK DEFERRAL

LOT 8-P1

LOT 9-P1

LOT 10-P1

LOT 11-P1

Sidewalk



NO SCALE

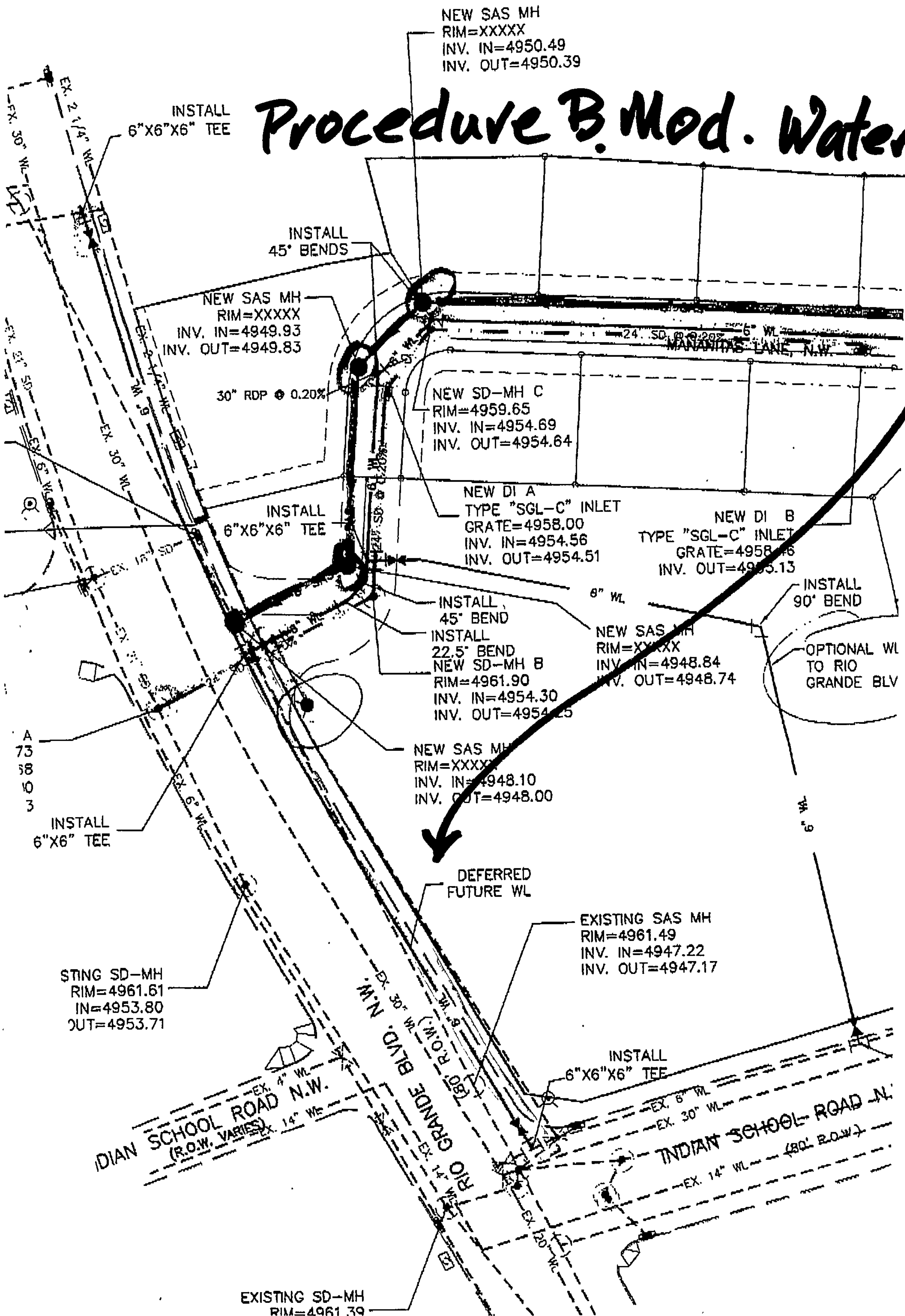


ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

SHEET 1 OF 1

Procedure B Mod. Waterline



A
73
58
10
3

INDIAN SCHOOL ROAD N.W.
(R.O.W. VARIES)

RIO GRANDE BLVD. N.W.
(80' R.O.W.)

INDIAN SCHOOL ROAD N.
(80' R.O.W.)

MANANITAS LANE, N.W.

OPTIONAL WL
TO RIO
GRANDE BLV



City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/06/2010 Issued By: PLNSDH 84005

Permit Number: 2010 070 217

Category Code 910

Application Number: 10DRB-70217, Ext Of Sia For Temp Defr Sdwk Const

Address:

Location Description: RIO GRNADE BLVD NW @ INDAIN SCHOOL NW

Project Number: 1004240

Applicant
VILLAS LAS MANANITAS DEVELOPMENT

Agent / Contact
Jason Kent Pc

8301 LOMAS BLVD NE
ALBUQUERQUE NM 87110
350-1825

2021 Mountain Rd Nw
Albuquerque NM 87104
345-8400

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque
Treasury Division

8/6/2010 3:05PM LOC: ANNX
 WSH 008 TRANSH 0032
 RECEIPT# 00121120-00121120
 PERMITH 2010070217 TRSCCS
 Trans Amt \$70.00
 Conflict Mngmt. Fee \$20.00
 DRB Actions \$50.00
 OK \$70.00
 CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

08/06/2012 Issued By: PLNTES 157421

Category Code **910**
2012 070 240

Application Number: 12DRB-70240, Ext Of Sia For Temp Defr Sdwk Const

Address:

Location Description: ON RIO GRANDE BETWEEN INDIAN SCHOOL AND MEADOW VIEW DR

Project Number: 1004240

Applicant

VALLAS LAS MANANITAS DEVELOPMENT LLC
JASON KENT
8301 LOMAS BLVD NE
ALBUQUERQUE NM 87110
350-1625

Agent / Contact

JASON KENT PC

2021 MOUNTAIN RD NW
ALBUQUERQUE NM 87104
345-8400

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

TOTAL: \$70.00

City of Albuquerque Treasury
Date: 8/6/2012 Office: ANNEX
Stat ID: W50000038 Cashier: TRSCCS
Batch: 571 Trans #: 19
Permit: 2012070240
Receipt Num 00040893
Payment Total: \$70.00
0901 Conflict Mgmts. Fee \$20.00
0903 DRB Actions \$50.00
Check Tendered : \$70.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

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JASON KENT
8301 LOMAS BLVD NE
ALBUQUERQUE NM 87110
350-1625

Agent / Contact

JASON KENT PC

2021 MOUNTAIN RD NW
ALBUQUERQUE NM 87104
345-8400

Application Fees

APN Fee

Conflict Mgmt Fee

DRB Actions DEFERRAL \$50.00

TOTAL: \$50.00

City of Albuquerque Treasury
Date: 8/27/2012 Office: ANNEX
Stat ID: W5000008 Cashier: TRSSIV
Batch: 666 Trans #: 52
Permit: 2012070240
Receipt Num 00047491
Payment Total: \$50.00
0903 DRB Actions
Check Tendered : \$50.00

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

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JASON KENT
8301 LOMAS BLVD NE
ALBUQUERQUE NM 87110
350-1625

Agent / Contact

JASON KENT PC

2021 MOUNTAIN RD NW
ALBUQUERQUE NM 87104
345-8400

Application Fees

APN Fee

Conflict Mgmt Fee \$20.00

DRB Actions \$50.00

TOTAL: \$70.00

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City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

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JASON KENT
8301 LOMAS BLVD NE
ALBUQUERQUE NM 87110
350-1625

Agent / Contact

JASON KENT PC

2021 MOUNTAIN RD NW
ALBUQUERQUE NM 87104
345-8400

Application Fees

APN Fee

Conflict Mgmt Fee

DRB Actions DEFERRAL \$50.00

TOTAL: \$50.00

City of Albuquerque Treasury
Date: 8/27/2012 Office: ANNEX
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Permit: 2012070240
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Payment Total: \$50.00
0903 DRB Actions
Check Tendered : \$50.00

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1004240

AGENDA ITEM NO: 8

SUBJECT:

SIA EXTENSION – PROCEDURE B-MODIFIED (WATERLINE)
SIA EXTENSION – SIDEWALK

ENGINEERING COMMENTS:

The sidewalk exhibit provided does not match the approved sidewalk exhibit. The approved sidewalk exhibit, dated 07-12-06, shows 6-foot wide sidewalks.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

INDEF

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: AUGUST 29, 2012

ATTORNEY
AT LAW

JASON KENT, P.C.

2021 Mountain Rd. NW
Albuquerque, New Mexico 87104-1444
Phone: (505) 345-8400
Fax: (505) 345-9100

Jason W. Kent
jwk@nm.net

August 27, 2012

Via Fax (924-3864) and E-mail jcloud@cabq.gov

Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 2nd Street NW, Suite 400
Albuquerque, NM 87102

Re: Project: Villas Las Mananitas Subdivision
Project No.: 1004240
Extension of Subdivision Improvements Agreement (Sidewalk)

Dear Mr. Cloud:

The above item was deferred from the August 15, 2012 DRB meeting in order to resolve issues regarding sidewalk width and the possibility of modifying the subdivision improvements agreement to place sidewalks on both sides of the applicable cul-de-sac.

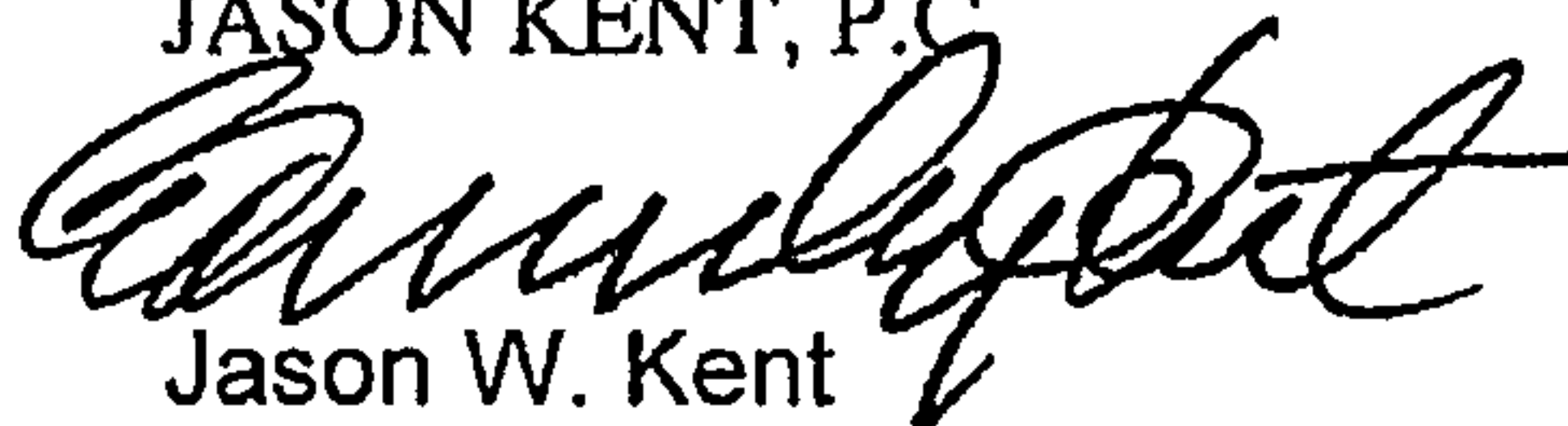
We are still trying to work through those issues, and the developer requests that the matter be deferred for approximately 60 days to allow us to resolve the issues and present a proposal to the DRB.

Thank you. This matter is currently scheduled as item #8 on the DRB's August 29, 2012 hearing agenda.

Thank you.

Very truly yours,

JASON KENT, P.C.



Jason W. Kent

JWK:jyw

cc via e-mail: Angela Gomez - (agomez@cabq.gov)

Subject: RE: DRB Project #1004240 Las Mananitas SIA
From: "Cloud, Jack W." <jcloud@cabq.gov>
Date: 8/27/2012 12:19 PM
To: "Jason Kent" <jwk@nm.net>
CC: "Gomez, Angela J." <agomez@cabq.gov>

This is not an advertised case, therefore the DRB will likely defer this item indefinitely - once you have prepared a re-submittal, it can be placed on the agenda with a minimum one week notice.

Please print and submit the attached deferral notice with fee with your re-submittal.

- Jack Cloud, Chair
Development Review Board

-----Original Message-----

From: Jason Kent [mailto:jwk@nm.net]
Sent: Monday, August 27, 2012 11:23 AM
To: Cloud, Jack W.
Cc: Gomez, Angela J.
Subject: DRB Project #1004240 Las Mananitas SIA

Please see attached letter of today requesting deferral of Item #8 on August 29, 2012 agenda. Thank you.

Jason Kent

--

Jason Kent
Jason Kent PC
2021 Mountain Rd NW
Albuquerque, NM 87104-1444
Voice: 505-345-8400
Fax: 505-345-9100
jwk@nm.net

-----Attachments:-----

DRB Deferral Fee Notice.doc

29.0 KB

City of Albuquerque

Planning Department

DRB Deferral Fees

Pursuant to the Subdivision Ordinance Section 14-14-1-1, the Mayor has by rule set a fee for deferral requests by the applicant: a \$100 fee per item for advertised cases and a \$50 fee for unadvertised cases. Failure of the applicant to pay such fees and provide proof of payment prior to the date the case(s) are deferred to may result in further deferral of the item(s) until the required fee(s) are paid.

Payment Procedure: Applicant is required to pay the amount indicated at Plaza Del Sol Building, 600 2nd Street NW, Development Services Counter, ground floor, Albuquerque, NM 87102. Applicant will receive an invoice at this counter and then take it across the hall to Treasury to pay the indicated amount. Upon payment, the applicant should contact the DRB staff in order to provide proof of payment in the DRB file.

Name of Applicant: Villas Las Mananitas Dev LLC

Project Number: 1004240

Date: Deferred from August 29, 2012

Amount Due: \$50 \$100 \$150 \$200

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

08/01/2008 Issued By: PLNSDH

Permit Number: 2008 070 347 **Category Code 910**

Application Number: 08DRB-70347, Major - 2yr Subd Imp Agmt Ext (2yr Sia)

Address:

Location Description: MANANITAS LN NW BETWEEN MEADOW VIEW DR NE AND RIO GRANDE BLVD NW

Project Number: 1004240

Applicant

Villas Las Manaitas Development Llc

8301 Lomas Blvd Ne
Albuquerque NM 87110
821-0055

Agent / Contact

Advanced Engr. And Consult.

Sally Salazar
10205 Snowflake Ct. Nw
Albuquerque NM 87114

aedlcc@aol.com

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$145.00

City Of Albuquerque
Treasury Division

8/1/2008 12:18PM LOC: ANNIX
WS# 007 TRANS# 0023
RECEIPT# 00102160-00102160
PERMIT# 2008070347 TRSLJ5
Trans Amt \$145.00
APN Fee \$75.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
VI \$145.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Ave. NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

APPLICANT: Villas Las Mananitas Development, LLC. PHONE: (505) 821-0055
 ADDRESS: 8301 Lomas Blvd. NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Ed Garcia

DESCRIPTION OF REQUEST: Two Year Extension for SIA

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 1-P2 thru 16-P2, Tracts A thru C Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Villas Las Mananitas
 Existing Zoning: R-1 Proposed zoning: The Same MRGCD Map No _____
 Zone Atlas page(s): H-13-Z UPC Code: 101305907537021702, 101305908337021703 Please see attached for rest of the UPC codes

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1004240, 05DRB-00918, 06DRB-01782, 06DRB-01524, 06DRB-01525, 07DRB-00357

CASE INFORMATION:

Within city limits? X Yes Within 1000FT of a landfill? No
 No. of existing lots: 17 No. of proposed lots: 17 Total area of site (acres): 4.5624 Acres

LOCATION PROPERTY BY STREETS: On or Near: Mananitas Lane NW
 Between: Meadow View Dr. NE and Rio Grand Blvd. NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 08-01-08
 (Print) Shawn Balzar, Managing Member Applicant X Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - 70347</u>	<u>SIA</u>	<u>5(2)</u>	<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CME</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>08/27/08</u>			<u>\$ 145.00</u>

[Signature] 08/01/08
 Planner signature / date

Project # 1004240

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. SB
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shahram Bazar
Applicant name (print)
[Signature] 8/1/08
Applicant signature / date

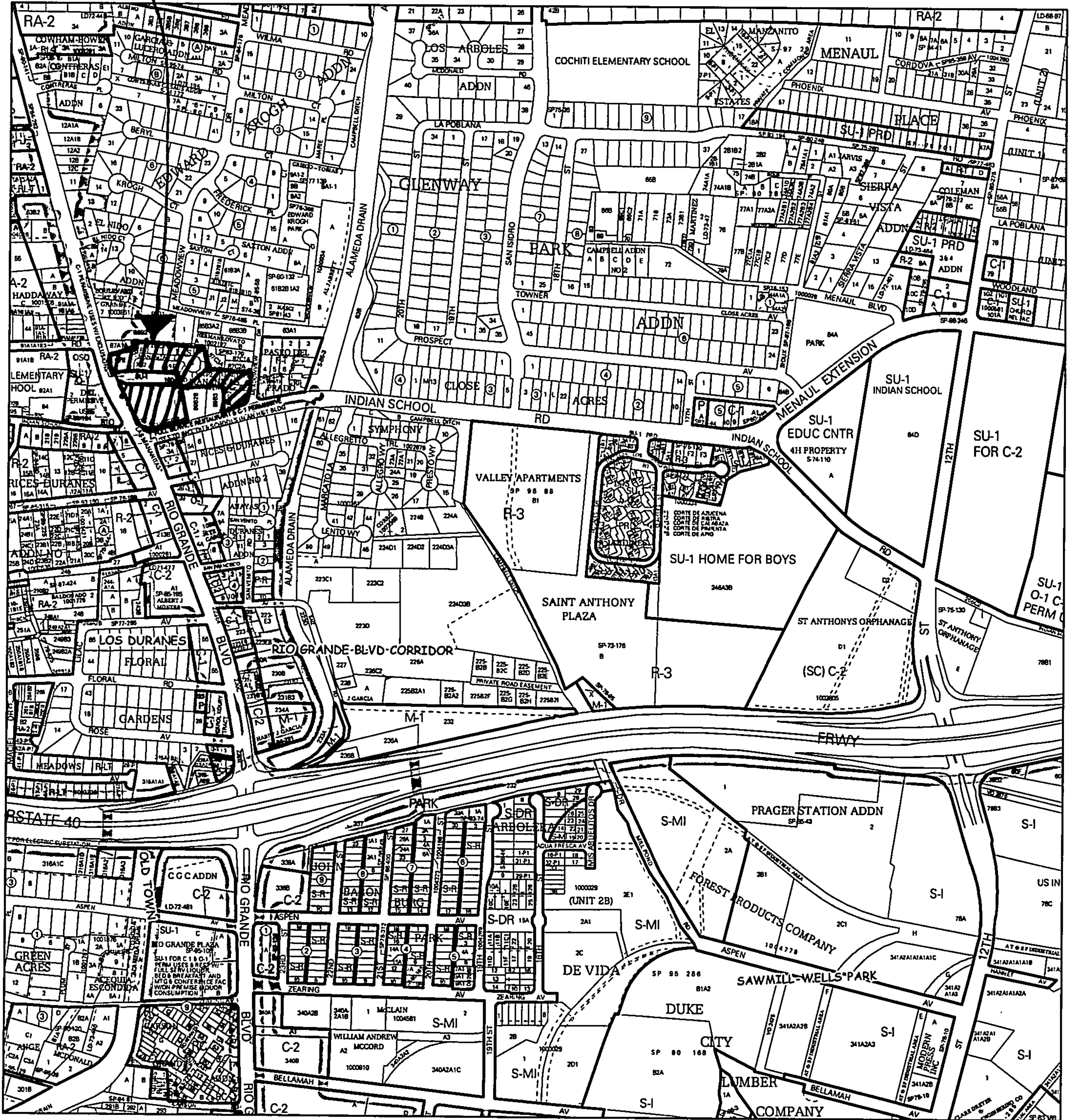


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB - 70347

Form revised October 2007
Sandy Handley 08/01/08
Planner signature / date
Project # 1004240

Site



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/13/2008

Note: Grey Shading Represents Area Outside of the City Limits

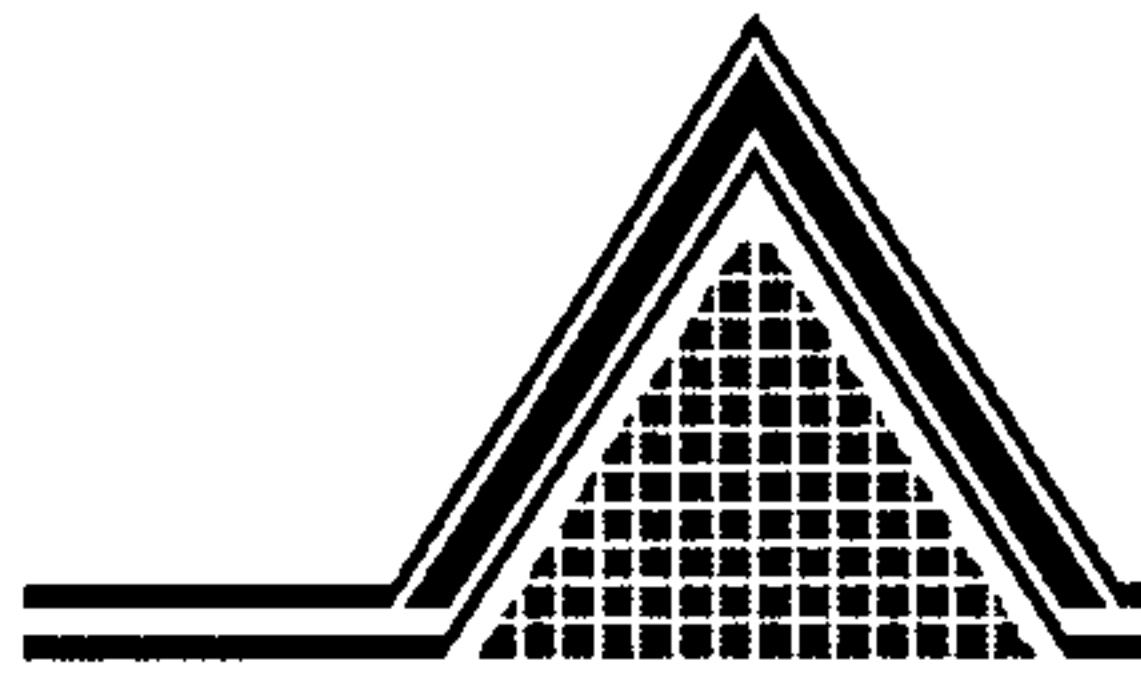
Zone Atlas Page:
H-13-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

101305909136921704
101305909936921705
101305910736721706
101305906436321701
101305907636121707
101305908536021708
101305909336021709
101305909935521710
101305911035421711
101305912135421713
101305912935521714
101305912534321715
101305908334421721
101305908836521718
101305912934921717



ADVANCED ENGINEERING and CONSULTING, LLC

August 1, 2008

Jack Cloud, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Consulting
Design
Development
Management
Inspection
Surveying

Re: Two Year SIA Extension Request for Project # 10004240, DRB-99-75
Lots 1-P2 thru 16-P2, Tracts A thru C, Villas Las Mañanitas
Zone Atlas Page C-18-Z, Containing 0.8850 Acres

Dear Mr. Cloud:

Advanced Engineering and Consulting, LLC on behalf of Villas Las Mañanitas Development, LLC is requesting a two year extension for the Subdivision Improvement Agreement for the above referenced site. The site is located on Mañanitas Lane, NW, between Meadow View Dr., NE and Rio Grande Blvd., NW.

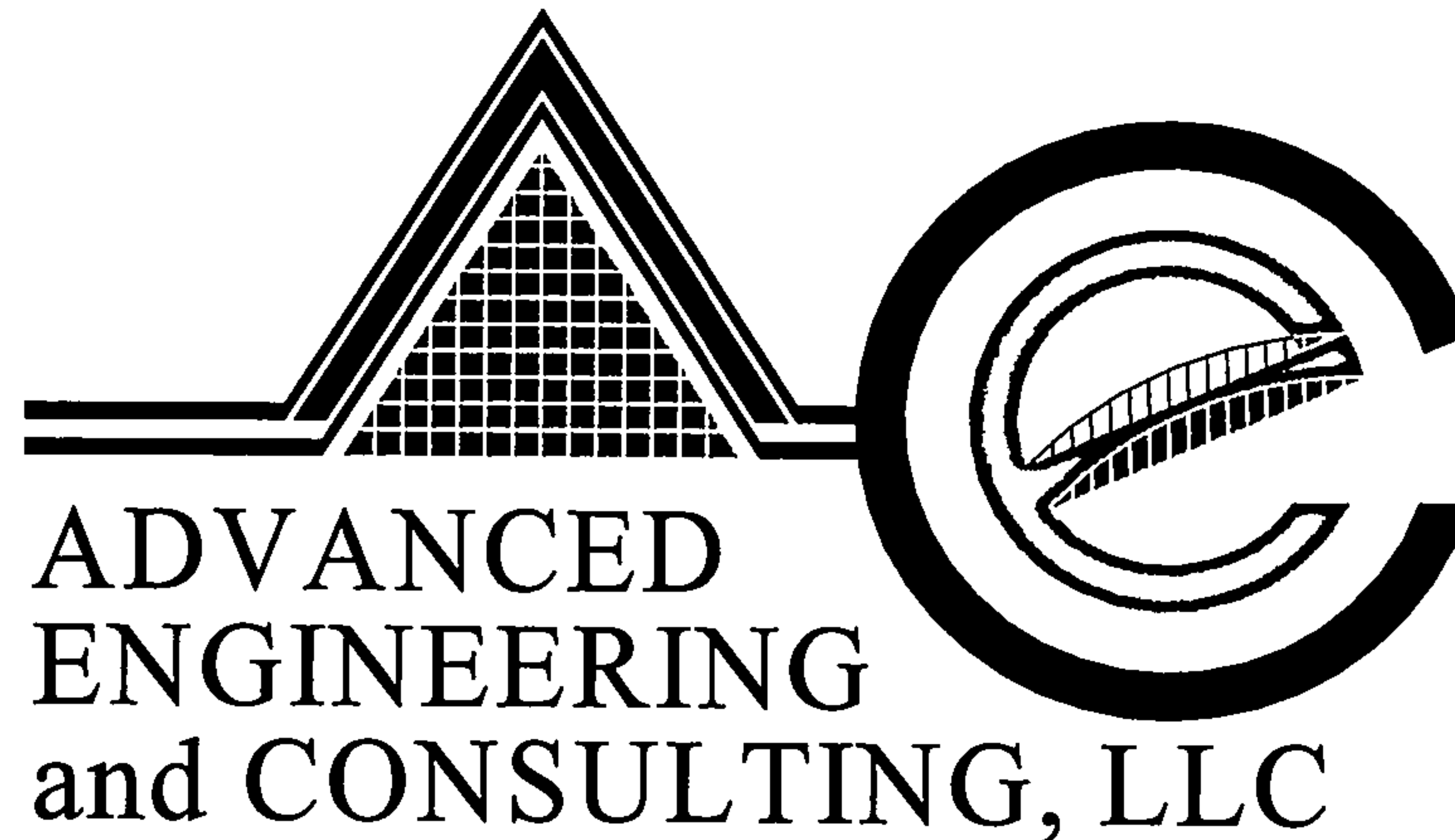
This request is for the construction of the 6" waterline that loops the waterline from Mañanitas Lane through Tract A to Indian School Road, NW. The owners will install the waterline when the Tract "A" is designed and developed. At this time we are not certain what the site will look like and where the waterline will be installed. Therefore we are requesting a two year extension for this work.

If you require additional information, please contact our office at your convenience.

Sincerely,

Gina Biazar, Operations Manager

Enclosures
JN: 200606



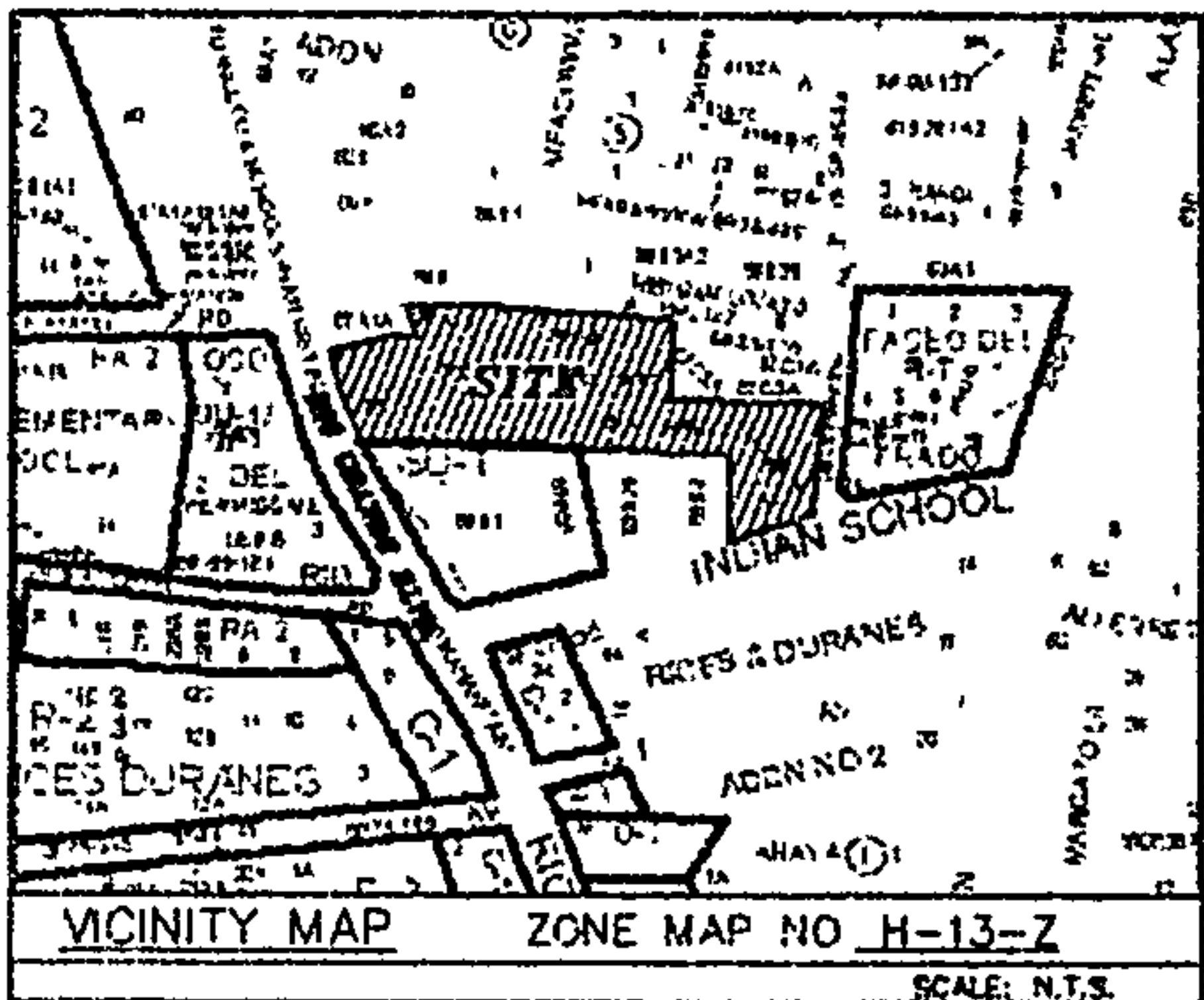
MEMO:

To: William C. Herring, Jose Viramontes, Frank Mangano, and Winnie Kimbrough
From: Shawn Biazar
Subject: Deferred Construction of 6" Water Line for JN: 200606
Lots 1-P2 thru 16-P2, Tracts A thru C, Villas Las Mananitas Subdivision
Date: August 1, 2008

Dear Sirs and Madams:

Please find a copy of the submittal for Two Year SIA Extension request to City of Albuquerque Planning Department for Deferred Construction of 6" Waterline. The site is located on Mananitas Lane, NW between Meadow View Dr., and Rio Grande Blvd., NW.

If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.



VICINITY MAP ZONE MAP NO H-13-Z SCALE: N.T.S.

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE EXISTING ELEVEN TRACTS INTO THREE TRACTS AND 16 LOTS, VACATE EXISTING PRIVATE ACCESS EASEMENT, AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #3801 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TALOS LOG NO. 2008221776.
- BASIS OF BEARINGS IS THE BEARING BETWEEN CITY OF ALBUQUERQUE CONTROL STATIONS "7-H13" AND "8-H13"
- BEARINGS ARE NM STATE PLANE GRID, DISTANCES ARE GROUND.
- RECORDED BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
- SITE DATA: ZONING IS SU-1 FOR C-1 AND R-1.
- CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THESE LOTS MUST BE VERIFIED AND COORDINATE WITH THE WATER RESOURCES DEPARTMENT, CITY OF ALBUQUERQUE.
- TOTAL AREA OF PROPERTY.....4.6524 ACRES
- NUMBER OF EXISTING TRACTS/LOTS.....11
- NUMBER OF TRACTS/LOTS CREATED.....19
- TRACT B IS GRANTED AS 29.26' PUBLIC SANITARY SEWER, WATERLINE PRIVATE ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1-P2 THRU 12-P2. PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT. TRACT B TO BE DEEDED TO THE HOME OWNERS ASSOCIATION.
- TRACT C IS DEDICATED AS 27.25' PRIVATE ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 13-P2 THRU 18-P2. PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT. TRACT C TO BE DEEDED TO HOME OWNERS ASSOCIATION.
- MILES OF FULL STREET CREATED.....0.0966

EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE PNM GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE COMMUNICATION, INC. FOR THE INSTALLATION, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE. INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT, PROJECTED SECTION 7, T. 10 N. R. 3 E. N.M.P.M., WITHIN THE CITY LIMITS OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE FOLLOWING:

TRACTS 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, AND 89B2A OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP 35. TOGETHER WITH:

LOTS A-1, A-2 LANDS OF E. MAES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 19, 1980, IN VOL. C17, FOLIO 48. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL HEREIN DESCRIBED, BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF RIO GRANDE BLVD. N.W., WHENCE A TIE TO ACS MONUMENT "7-H13", BEARS S. 65°34'08" W., AT A DISTANCE OF 74.79' FEET; THENCE,

FROM SAID BEGINNING POINT N. 30°15'48" W., A DISTANCE OF 180.57 FEET TO A POINT OF CURVATURE; THENCE,

NORTHWESTERLY, 284.97 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 1080.38 FEET AND A CHORD WHICH BEARS N. 22°48'24" W., A DISTANCE OF 284.14 FEET) TO A POINT OF TANGENCY; THENCE, N. 78°31'32" E., A DISTANCE OF 98.37 FEET TO A POINT; THENCE, N. 81°54'26" E., A DISTANCE OF 35.18 FEET TO AN ANGLE POINT; THENCE, N. 14°16'45" W., A DISTANCE OF 48.82 FEET TO AN ANGLE POINT; THENCE, S. 88°58'05" E., A DISTANCE OF 94.58 FEET TO A POINT; THENCE, S. 84°48'53" E., A DISTANCE OF 142.50 FEET TO A POINT; THENCE, S. 87°30'23" E., A DISTANCE OF 85.62 FEET TO A POINT; THENCE, S. 84°39'52" E., A DISTANCE OF 89.17 FEET TO AN ANGLE POINT; THENCE, S. 02°13'59" W., A DISTANCE OF 123.02 FEET TO AN ANGLE POINT; THENCE, S. 87°19'05" E., A DISTANCE OF 238.40 FEET TO A POINT AND THE POINT ON THE WEST RIGHT-OF-WAY LINE OF MEADOW VIEW ROAD NW; THENCE, S. 08°15'22" W., A DISTANCE OF 77.51 FEET TO A POINT; THENCE, S. 05°02'28" W., A DISTANCE OF 76.40 FEET TO A POINT OF CURVATURE; THENCE, SOUTHEASTERLY, 30.13 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CHORD WHICH BEARS S. 39°43'46" W., A DISTANCE OF 28.34 FEET) TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF INDIAN SCHOOL ROAD NW; THENCE, S. 74°15'04" W., A DISTANCE OF 111.86 FEET TO AN ANGLE POINT; THENCE, N. 00°21'02" E., A DISTANCE OF 133.19 FEET TO AN ANGLE POINT; THENCE, N. 88°42'21" W., A DISTANCE OF 232.41 FEET TO AN ANGLE POINT; THENCE, S. 11°45'59" E., A DISTANCE OF 198.55 FEET TO AN ANGLE POINT; THENCE, S. 74°15'04" W., A DISTANCE OF 213.92 FEET TO AN ANGLE POINT; THENCE, N. 79°55'26" W., A DISTANCE OF 29.63 FEET TO AN ANGLE POINT AND POINT OF BEGINNING, THE PARCEL HEREIN DESCRIBED; CONTAINING 4.6524 ACRES (202,858.49 SQUARE FEET), MORE OR LESS.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: Ed Garcia, managing member DATE: 10-16-06

OWNER(S) PRINT NAME: ED GARCIA MANAGING MEMBER FOR VILLAS LAS MAÑANITAS DEVELOPMENT, LLC.

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF OCTOBER,

20 06 BY ED GARCIA MANAGING MEMBER FOR VILLAS LAS MAÑANITAS DEVELOPMENT, LLC.

Ed Garcia
NOTARY

MY COMMISSION EXPIRES: _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC #1038590603342040) SEE ATTACH.

PROPERTY OWNER OF RECORD: Las Mananitas Properties LLC

BERNALILLO CO. TREASURER'S OFFICE: F. Juarez 10-31-06

**PLAT OF
VILLAS LAS MAÑANITAS SUBDIVISION**
SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

PROJECT NO. 1004240

APPLICATION NO. 06-026-0005 01524

UTILITY APPROVALS:

- Charles F. Brown 10-30-06
PNM ELECTRIC SERVICES DATE
- Charles F. Brown 10-30-06
PNM GAS SERVICES DATE
- Don Douglas 10-30-06
QWEST TELECOMMUNICATIONS DATE
- John Buba 10-27-06
COMCAST DATE

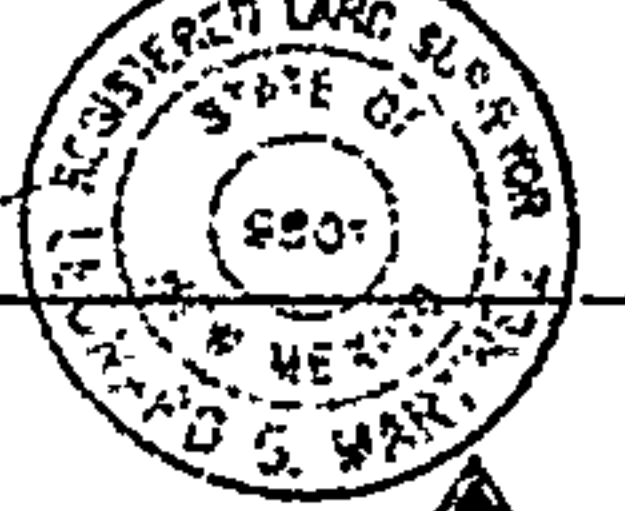
APPROVALS:

- Ed Garcia 10-17-06
CITY SURVEYOR DATE
- Ed Garcia 10-20-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
- Ed Garcia 10-25-06
UTILITIES DEVELOPMENT DATE
- Christine Dandora 10/25/06
PARKS AND RECREATION DEPARTMENT DATE
- Bradley A. Bingham 10/25/06
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY DATE
- Bradley A. Bingham 10/25/06
CITY ENGINEER DATE
- Andrew J. Jarama 10/31/06
DRB CHAIRPERSON/PLANNING DEPARTMENT DATE

SURVEYORS CERTIFICATE:

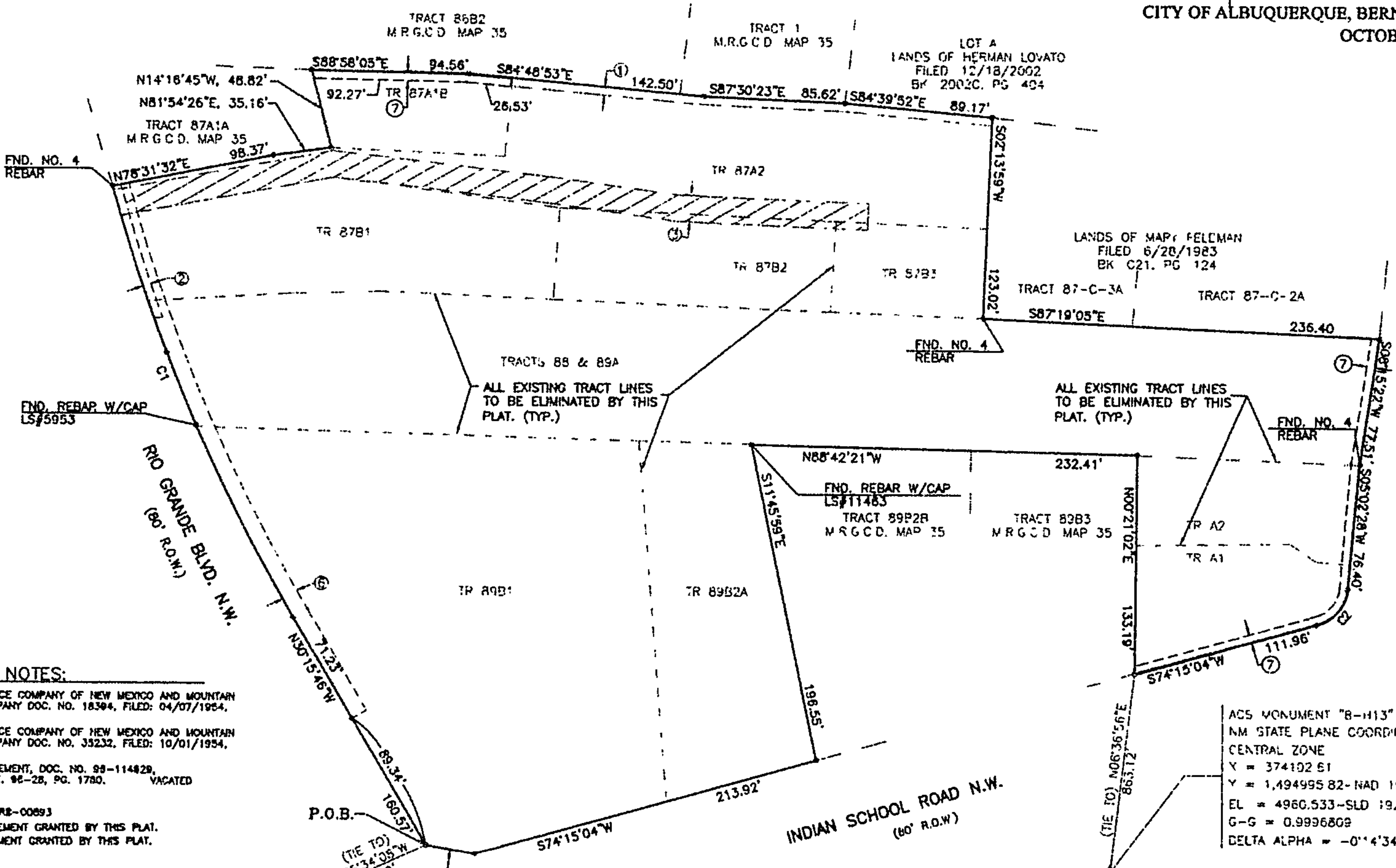
I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Leonard Martinez 10-16-06
LEONARD MARTINEZ P.S. # 9801 DATE



4416 AN SHEIM AVENUE, NE
ALBUQUERQUE, NEW MEXICO 87117
(505)899-9370

**PLAT OF
VILLAS LAS MAÑANITAS SUBDIVISION**
SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006



EASEMENTS NOTES:

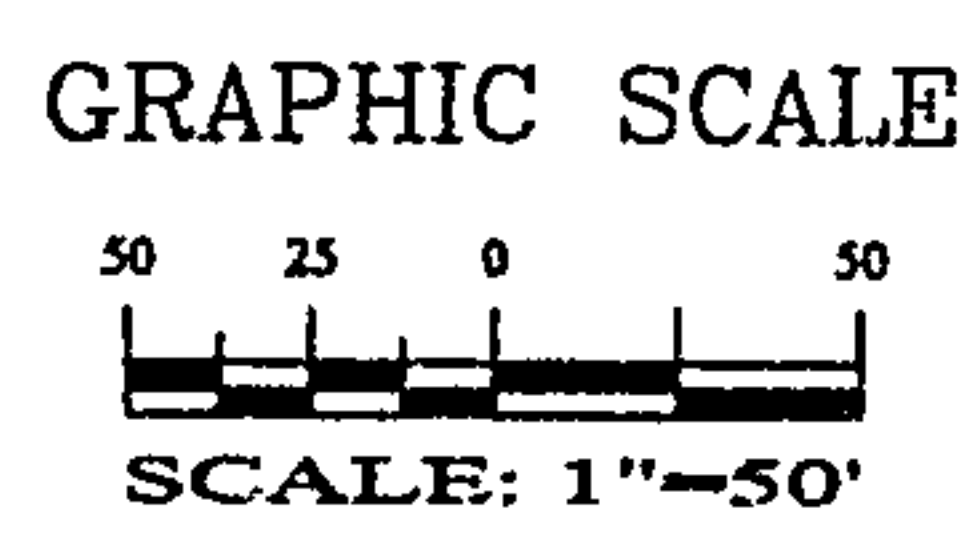
1. EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 18394, FILED: 04/07/1954, BK. D275, PG. 234.
2. EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 35232, FILED: 10/01/1954, BK. D292, PG. 335.
3. EXIST. 18' ACCESS EASEMENT, DOC. NO. 99-114429, FILED: 10/18/1986, BK. 96-28, PG. 1780. VACATED BY THIS PLAT.
PROJECT #: 1004240
VACATION ACTION #: 6DR6-00893
6. 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
7. 5' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.

ACS MONUMENT "7-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
Y = 373707.44
Y = 1,495715.79-NAD 1927
EL = 4961715-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL = 4960533-SLD 1929
G-G = 0.9996809
DELTA ALPHA = -0°14'34"

ACS MONUMENT "B-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
Y = 374102.61
Y = 1,494995.82-NAD 1927
EL = 4960.533-SLD 1929
G-G = 0.9996809
DELTA ALPHA = -0°14'34"

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	284.97	1080.36	15°08'47"	143.32	284.14	N27°48'24"W
C2	30.13	25.00	69°02'37"	17.20	28.34	S39°43'46"W



4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5370

CITY PROJECT NO. 791581
ZONE MAP NO. H-13-2
SHEET 2 OF 7

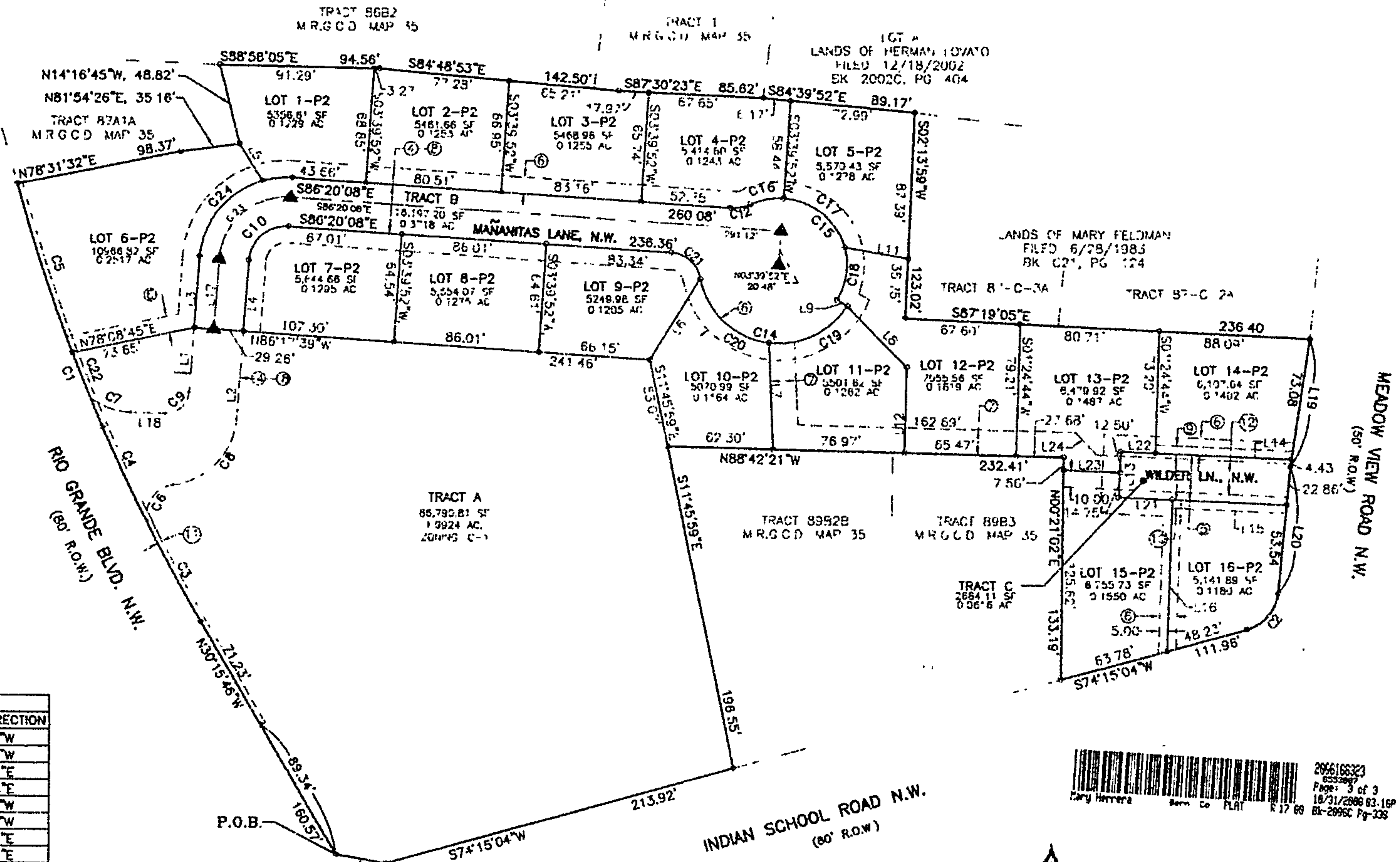
EASEMENTS NOTES:

4. 20.26' PRIVATE ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 1-P2 THRU 12-P2. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
5. 27.25' PRIVATE ACCESS AND DRAINAGE EASEMENT (TRACT C) GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 13-P2 THRU 16-P2. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
6. 10' PUBLIC UTILITY, CURB & GUTTER, AND SIDEWALK MAINTENANCE EASEMENT GRANTED BY THIS PLAT. THE PROPERTY OWNER OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
7. 15' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.
8. 20.26' PUBLIC SANITARY SEWER AND WATERLINE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.
9. 5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 13-P2, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.
10. 5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 15-P2, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.
11. 3' PUBLIC ROAD EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.
12. 20' PUBLIC WATERLINE EASEMENT GRANTED BY THIS PLAT TO THE CITY OF ALBUQUERQUE.

**PLAT OF
VILLAS LAS MAÑANITAS SUBDIVISION**
SITUATE WITHIN TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2006

LINE TABLE (FEET)		
LINE	LENGTH	BEARING
L1	38.29	N04°02'50"E
L2	52.83	N04°02'50"E
L3	43.90	N04°02'50"E
L4	42.71	N04°02'50"E
L5	25.92	S31°50'59"E
L6	56.82	S31°19'50"W
L7	63.89	N02°32'00"W
L8	50.59	S44°05'11"E
L9	7.00	N58°36'54"W
L10	37.68	N79°58'03"W
L11	37.68	S78°58'03"E
L12	51.44	S01°08'15"W
L13	27.25	S02°21'38"W
L14	79.37	S87°38'22"E
L15	66.67	S87°38'22"E
L16	91.12	S01°37'16"W
L17	42.67	S04°03'14"E
L18	20.51	S88°10'17"E
L19	77.51	S08°15'22"W
L20	76.40	S05°02'28"W
L21	31.17	S87°38'22"E
L22	20.00	S87°38'22"E
L23	32.68	S87°38'22"E
L24	17.99	S42°49'10"E

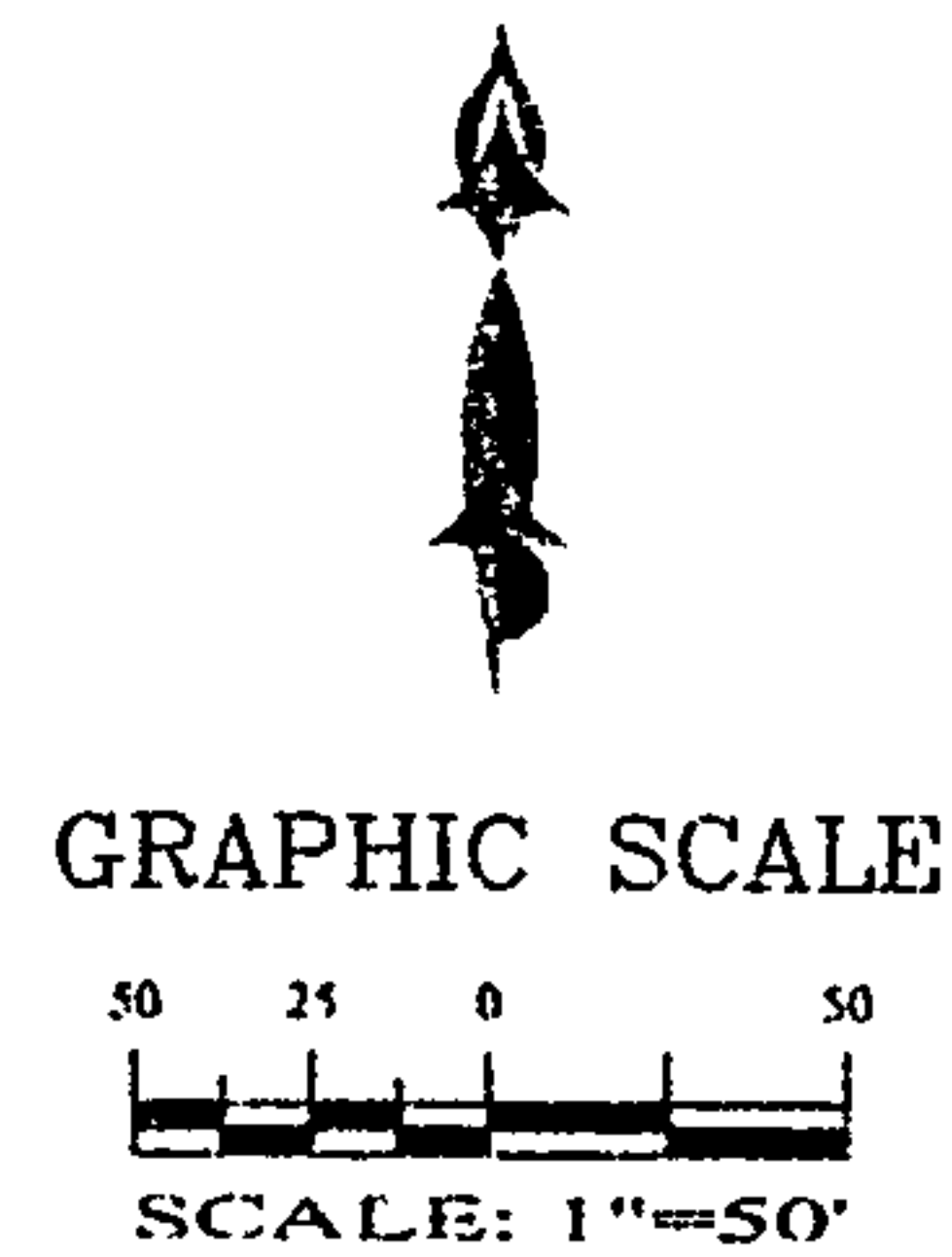
CURVE TABLE (FEET)						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	284.97	1080.36	15°08'47"	143.32	284.14	N22°48'24"W
C2	30.13	25.00	69°02'37"	17.20	28.34	S39°43'46"W
C3	63.64	1080.36	3°22'30"	31.83	63.63	S28°40'32"E
C4	85.47	1080.36	4°31'59"	42.78	85.45	S24°43'18"E
C5	106.37	1080.36	5°38'29"	53.23	106.33	N18°04'15"W
C6	34.38	18.00	109°28'51"	25.44	29.39	S27°44'08"W
C7	25.62	42.00	34°57'26"	13.23	25.23	S70°41'34"E
C8	58.85	43.00	78°24'44"	35.08	54.38	N43°15'12"E
C9	21.45	14.00	87°46'53"	13.47	19.41	N47°56'17"E
C10	34.41	22.00	89°37'02"	21.85	31.01	S48°51'21"W
C11	79.77	51.00	89°37'02"	50.68	71.38	S48°51'21"W
C12	12.44	25.00	28°31'17"	12.44	12.32	N79°24'14"E
C13	11.81	8.00	84°33'20"	7.27	10.76	N44°03'28"W
C14	120.45	47.00	146°50'06"	157.83	90.09	S75°11'51"E
C15	102.10	40.00	146°14'31"	102.10	76.55	N41°44'09"W
C16	19.91	40.00	28°31'09"	19.91	19.71	S79°24'10"W
C17	49.43	40.00	70°48'21"	49.43	48.35	N50°36'05"W
C18	32.72	40.00	48°51'53"	32.72	31.81	N07°57'10"E
C19	46.03	47.00	58°06'46"	25.05	44.21	N59°26'29"E
C20	25.13	19.00	72°45'32"	14.78	23.34	N48°28'53"W
C21	59.68	47.00	72°45'32"	34.63	55.75	S48°56'24"E
C22	22.48	1080.36	1°33'49"	14.74	29.48	S21°40'24"E
C23	57.09	36.50	89°37'02"	36.26	51.45	S48°51'21"E
C24	80.18	51.26	89°37'02"	50.92	72.25	S48°51'21"E



CITY PROJECT NO. 791581
ZONE MAP NO. H-13-Z
SHEET 2A OF 7



NOTE:
▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTION AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #9801".



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

416 MANANITAS AVE., N.E.
ALBUQUERQUE, NEW MEXICO 87111
(505) 899-5570

Current DRC
Project Number: _____

FIGURE 12

606 DK15

Date Submitted: 7/24/06

Date Site Plan Approved: NA

Date Preliminary Plat Approved: 7/26/06

Date Preliminary Plat Expires: 7/26/07

DRB Project No.: 1004240

DRB Application No.: ~~06 DRB 221~~
06 DRB 20891

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Las Mananitas Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A-1, A-2 Lands of E. Maes MRGCD Map No. 35

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		Waterline							
		6"	Waterline PVC C-900	Mananitas Ln., NW	Rio Grande Blvd., NW	Meadow View Road NW	/	/	/
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Zickert Rd., NW	/	/	/
		6"	Waterline PVC C-900 Deferred Construction	Rio Grande Blvd., NW	Mananitas Ln., NW	Indian School Rd., NW	/	/	/
		Sanitary Sewer							
		8"	Sanitary Sewer Line SDR-35	Mananitas Ln., NW	Rio Grande Blvd., NW	End of Cul-de-sac Lot 5-P1	/	/	/
			4 Sanitary Sewer Services	Meadow View Road NW	Meadow View Road NW	Lots 13-P2, 14-P2, 15-P2 and 16-P2	/	/	/
		Paving							
		22' F-F	Residential Pavement C&G on Both Sides 6' Sidewalk on South Side Only	Mananitas Ln., NW	Cul-De-Sac Lot 12-P2	Rio Grande Blvd., NW	/	/	/
		22' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on South Side Only	Wilder Ln., NW	Meadow View Rd., NW	End of Easement Lots 13-P2/15-P2	/	/	/
		4'	Sidewalk on one side only (west only)	Meadow View Rd., NW	North Prop. Line Lot 14-P2	Indian School Rd., NW	/	/	/
		Storm Sewer							
		24"	Storm Sewer Pipe RCP	Mananitas Ln., NW	Rio Grande Blvd., NW	Lot 9-P2	/	/	/
			Remove Exist Drop Inlet and Abandon Lateral, Cap line at end	Lot 15-P2			/	/	/
		Deferred Construction Items							

ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
			Bike Lane Striping	Fadian School	Rio Grande	and	Meadow View	/	/	/
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							City User Dept. Signature		Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

10. Certification that perimeter walls have been installed ~~per~~ ^{Street lights per City requirements.} per DRB approved design shall be provided to city prior to release of fin-guarantees
- 1 Warer Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required.
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include manholes and Service Connections as required
- 4 Residential Street Lights Per DPM, Sinage per DRC
- 5 Certified Grading and Drainage and Wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7 Perimeter Wall per DRB Approved Perimeer Wall Design
- 8 Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
- 9 Landscaping maintenance agreement required for landscaping in public right-of-way prior to release of financial Guarantees.

AGENT / OWNER

Shawn Biazar, Managing Manager
NAME (print)

Advanced Engineering and Consulting, LLC
FIRM

Shawn Biazar 7-24-06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/26/06
DRB CHAIR - date

Christina Sandoval 7/26/06
PARKS & RECREATION - date

[Signature] 7-26-06
TRANSPORTATION DEVELOPMENT - date

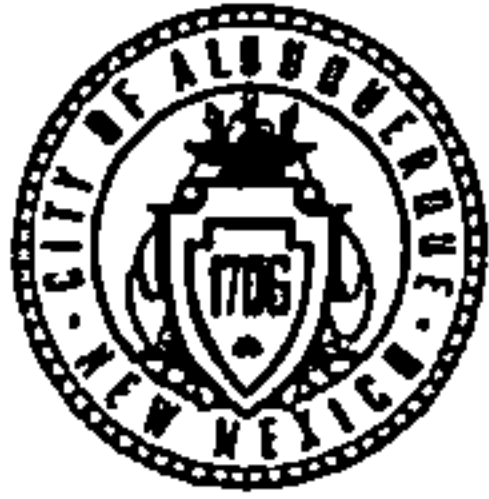
[Signature] 7/26/06
AMAFCA - date

William J. Pasch 7/26/06
UTILITY DEVELOPMENT - date

[Signature] 7/26/06
CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
1	11/26/07	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>



200606
DRB

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

January 17, 2007

2. Project # 1004240
06DRB-01782 Major-Vacation of Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLA LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for Lot(s) 15-P2 & 16-P2, **VILLAS LAS MANANITAS SUBDIVISION**, zoned R-1 residential zone, located on WILDER LN NW, between MEADOW VIEW DR NW and RIO GRANDE BLVD NW containing approximately 1 acre(s). [REF: 06DRB-01042, 06DRB01524] (H-13)

At the January 17, 2007, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by February 1, 2007, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION

PAGE 2

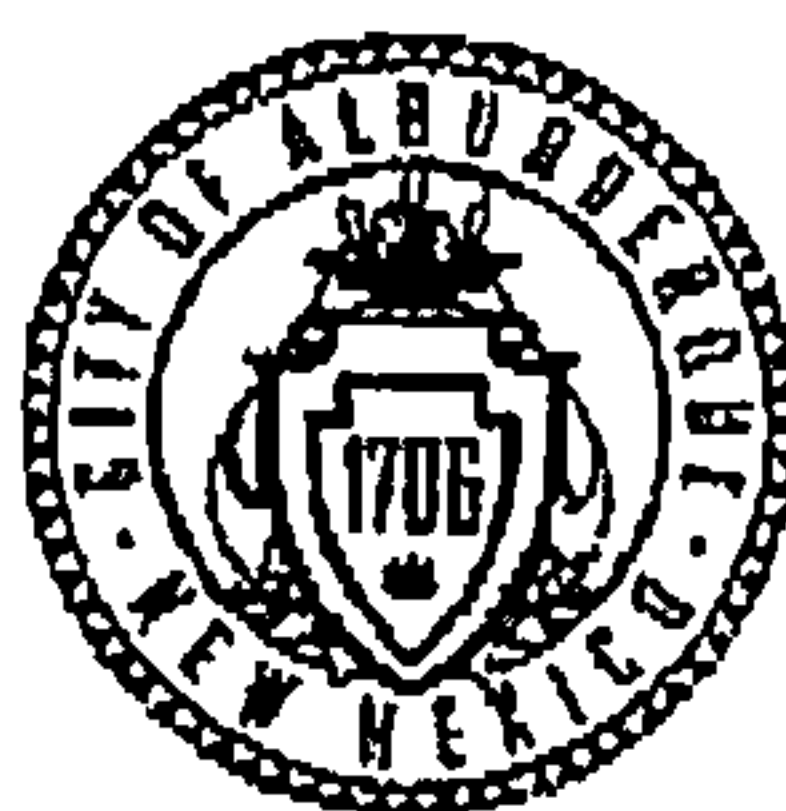
You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

A handwritten signature in cursive script, reading "Sheran Matson".

Sheran Matson, AICP, DRB Chair

Cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 817113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

July 30, 2008

Kymerly Shutiva
Advanced Engineering and Consulting, LLC
4416 Anaheim Avenue NE/87113
Phone: (505) 899-5570/Fax: (505) 897-4996

Dear Kymerly:

Thank you for your inquiry of July 30, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOTS 1-P2 THRU 16-P2, TRACTS A THRU C, VILLAS LAS MANANITAS SUBDIVISION, LOCATED ON MANANITAS LANE NW BETWEEN MEADOW VIEW DRIVE NW AND RIO GRANDE BOULEVARD NW - Zone Map: H-13.**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

LOS DURANES N.A. (LDU) "R"

William C. Herring

3104 Coca Rd. NW/87104 243-5544 (h) 243-4664 (w) 328-1553 (c)

Jose Viramontes

1325 Gabaldon Dr. NW/87104 239-8449 (h) 550-3113 (c)

RIO GRANDE BLVD. N.A. (RGB) "R"

Frank Mangano

4300 Rio Grande NW/87107 343-8736 (h)

Winnie Kimbrough

2327 Campbell Rd. NW/87104 344-1363 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Liaison

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

nlanningrnaform(07/16/07)

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public right-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available for the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved city street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sun tears out less easily.

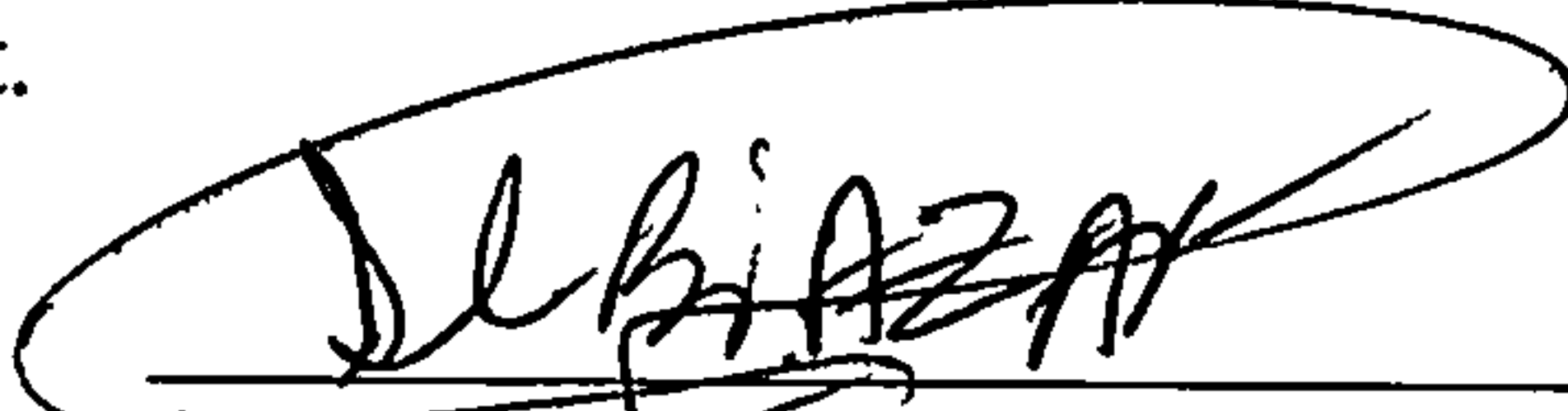
4. TIME

Signs must be posted from AUGUST 17, 2008 To AUGUST 27, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(APPLICANT or AGENT)

8-1-08
(DATE)

I issued 2 signs for this application, 08/01/08 Sandy Handley
(DATE) (STAFF MEMBER)

DRB PROJECT NUMBER : 1004240

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

08/21/2007 Issued By: PLNABG

Permit Number: 2007 070 209 **Category Code 910**

Application Number: 07DRB-70209, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: MANANITAS LANE NW BETWEEN MEADOW VIEW DR NW AND RIO GRANDE BLVD NW

Project Number: 1004240

Applicant

Villas Las Mananitas Development, Llc

8301 Lomas Blvd Ne
Albuquerque, NM 87110
350-1825

Agent / Contact

Advanced Engr. And Consult.

Sally Salazar
10205 Snowflake Ct. Nw
Albuquerque, NM 87114

aedlc@aol.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$215.00
TOTAL:		\$235.00

City Of Albuquerque
Treasury Division

8/21/2007 12:11PM LOC: ANHX
WSH 00/ TRANS# 0023
RECEIPT# 00086837-00086837
PERMIT# 200/070209 (RSMSP)
Trans Amt \$235.00
Conflict Manag. Fee \$20.00
DRB Actions \$215.00
V1 \$235.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Ave., NE FAX (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

APPLICANT: Villas Las Mananitas Development, LLC PHONE: (505) 350-1625
 ADDRESS: 8301 Lomas Blvd., NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____

Proprietary interest in site: Owner List all owners: Edward Garcia

DESCRIPTION OF REQUEST: Replat of Lots 11-P2 & 12-P2 into 1 lot (Prelim & Final Plat)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 11-P2 & 12-P2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Villas Las Mananitas Subdivision
 Existing Zoning: R-1 Proposed zoning: The same MRGCD Map No _____
 Zone Atlas page(s): H-13-Z UPC Code: 101305910635421711 & 101305911435521712

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004240, 05DRB-00918, 06DRB-01782, 06DRB-01524, 06DRB-01525, 07DRB-00357

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 0.2883 Acres

LOCATION PROPERTY BY STREETS: On or Near: Mananitas Lane NW
 Between: Meadow View Dr., NW and Rio Grande Blvd., NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Shawn Baizer DATE 08/08/07
 (Print) Shawn Baizer/Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 70209</u>	<u>P.F.</u>	<u>5(3)</u>	<u>\$ 215.⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	<u>\$ 20.⁰⁰</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 235.⁰⁰</u>

Hearing date August 29, 2007

Project # 1004240

Andrew [Signature] 8/21/07
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

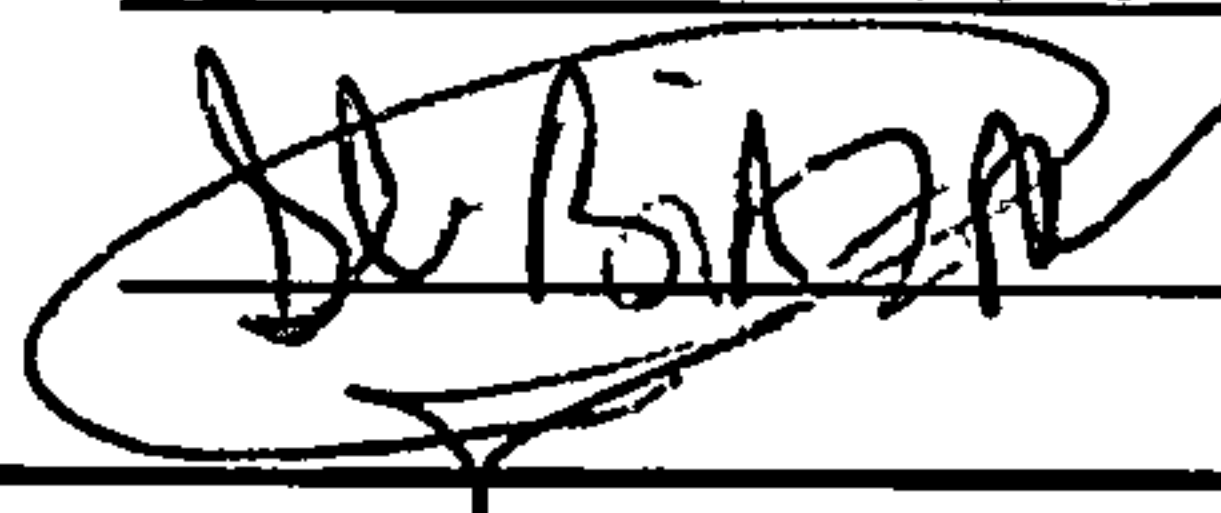
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shahram Biazar



Applicant name (print)

8-21-07

Applicant signature / date

Form revised 4/07

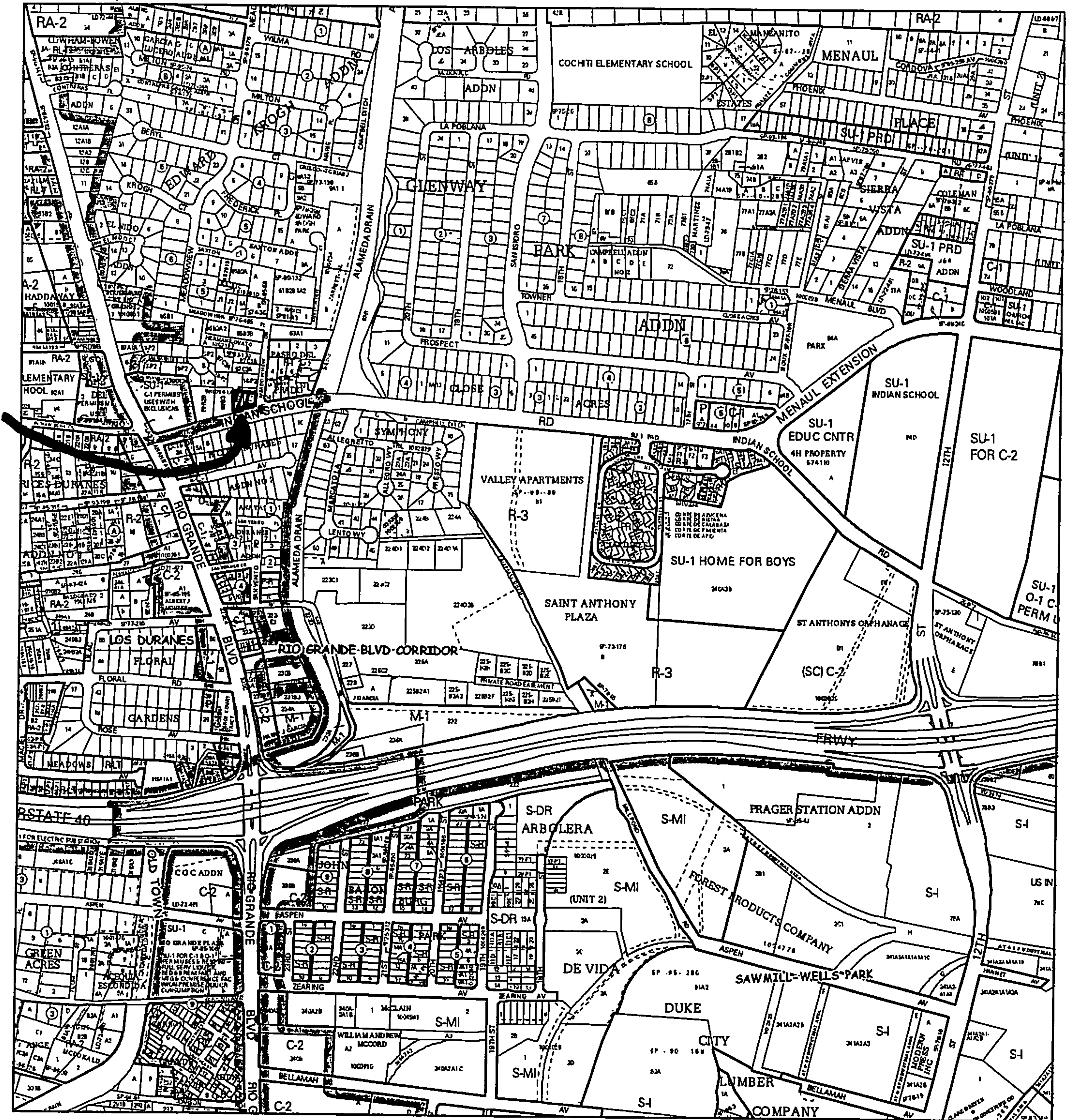


- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
07DRB - - - - - 70209
 - - - - -
 - - - - -

Andrew J. ... 8/24/07
 Planner signature / date
Project # 1004240

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/9/2007

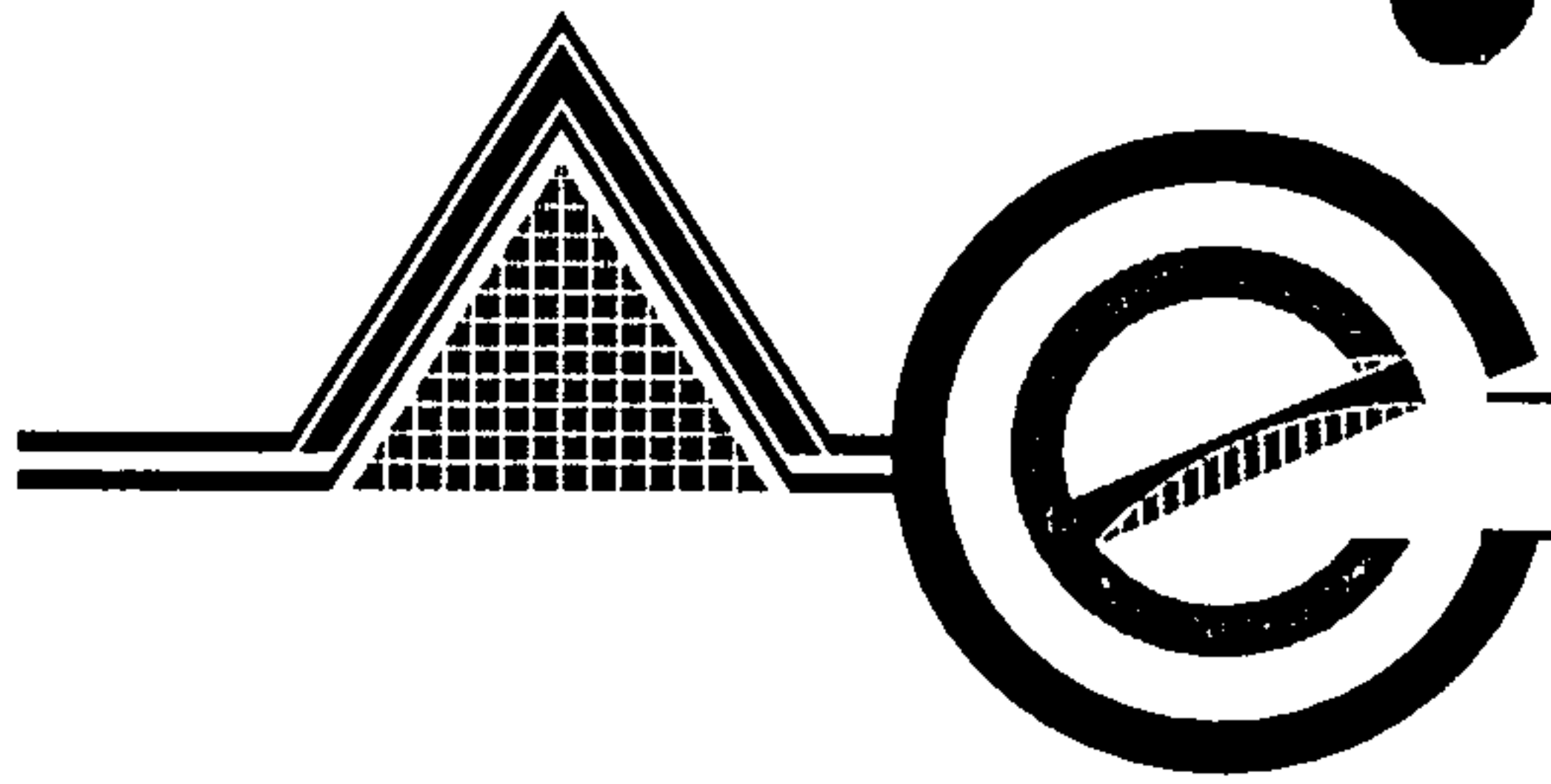
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



ADVANCED ENGINEERING and CONSULTING, LLC

August 21, 2007

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary/Final Plat, Lots 11-P2 & 12-P2, Villas Las Mananitas Subdivision, Zone
Atlas Page H-13-Z, DRB Project # 1004240

Dear Ms. Matson:

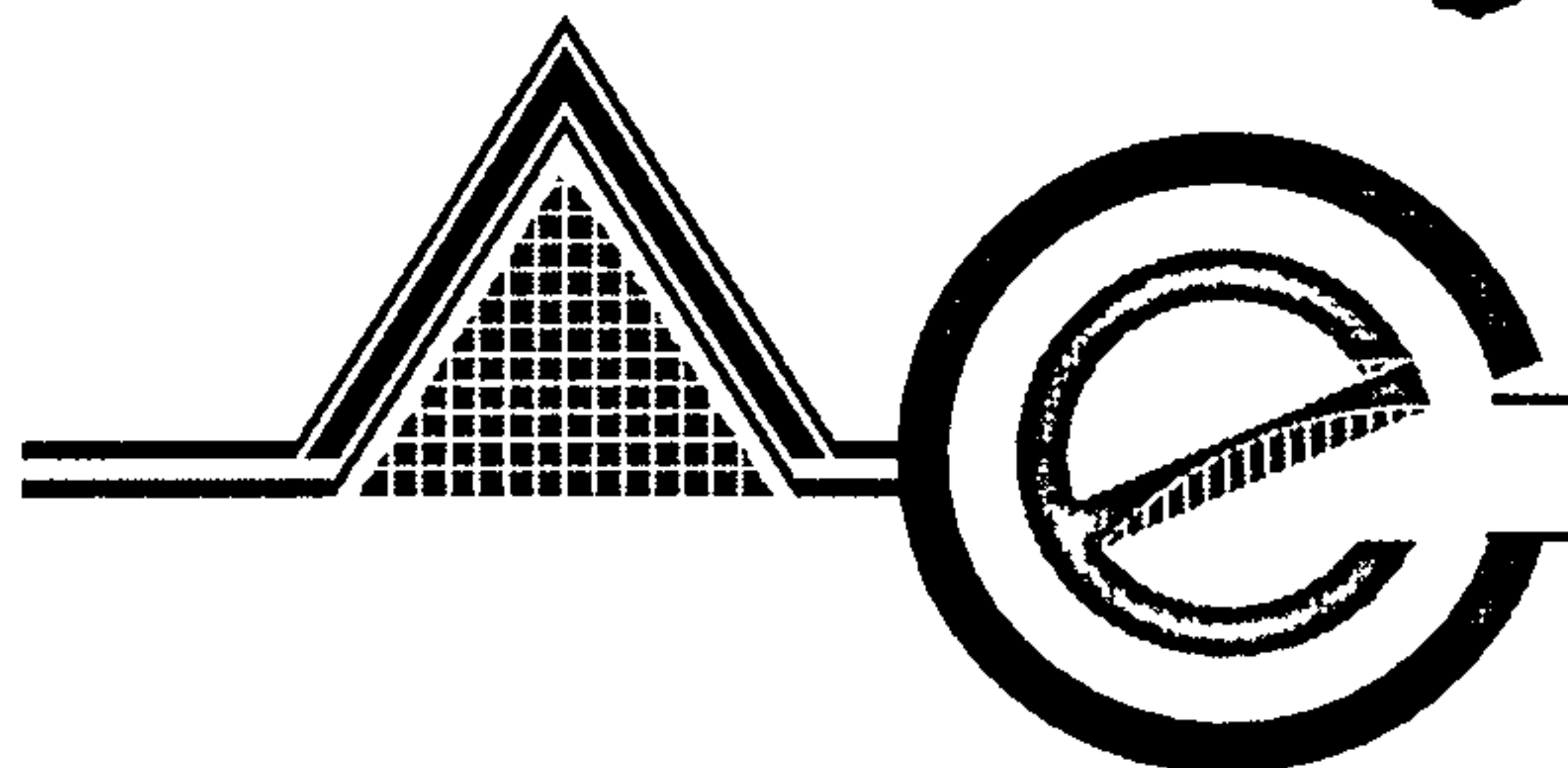
Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, LLC, is requesting the Preliminary/Final Plat for Lots 11-P2 & 12-P2 . We are re-platting these two lots into one lot. The property owner would like to combine the lots to provide space for a larger home. Enclosed please find six copies of the plat for you use. The site is located on Mananitas Lane, NW, between Meadow View Drive, NW and Rio Grande Boulevard, NW.

If you require additional information, please contact our office at your convenience.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606



ADVANCED ENGINEERING and CONSULTING, LLC

August 21, 2007

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary/Final Plat, Lots 11-P2 & 12-P2, Villas Las Mananitas Subdivision, Zone
Atlas Page H-13-Z, DRB Project # 1004240

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, LLC, is requesting the Preliminary/Final Plat for Lots 11-P2 & 12-P2 . We are re-platting these two lots into one lot. The property owner would like to combine the lots to provide space for a larger home. Enclosed please find six copies of the plat for your use. The site is located on Mananitas Lane, NW, between Meadow View Drive, NW and Rio Grande Boulevard, NW.

If you require additional information, please contact our office at your convenience.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Villas Las Mananitas Development, LLC PHONE: (505) 350-1625
 ADDRESS: 8301 Lomas Blvd., NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Edward Garcia
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Preliminary/Final Plat Request

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 15-P2 and 16-P2 Block: _____ Unit: _____
 Subdiv. / Addn. Villas Las Mananitas Subdivision
 Current Zoning: R-1 Proposed zoning: The same
 Zone Atlas page(s): H-13-Z No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 0.2731 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305911933420420 MRGCD Map No. _____
 LOCATION PROPERTY BY STREETS: On or Near: Wilder Lane NW
 Between: Meadow View Dr., NW and Rio Grande Blvd., NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 06DRB-01782, 05DRB-00918, 06DRB-01782, 06DRB-01524, 06DRB-01525, 1004240.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Sally Salazar Cass DATE _____
 (Print) Sally Salazar Cass, Operations Manager _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 00357</u>	<u>P+P</u>	<u>53</u>	<u>\$ 215.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>3-28-07</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 235.00</u>

[Signature] 03-20-07
 Planner signature / date

Project # 1004240

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera; if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shahram Biazar

[Signature]

Applicant name (print)

3-20-07

Applicant signature / date



Form revised 8/04 & 1/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

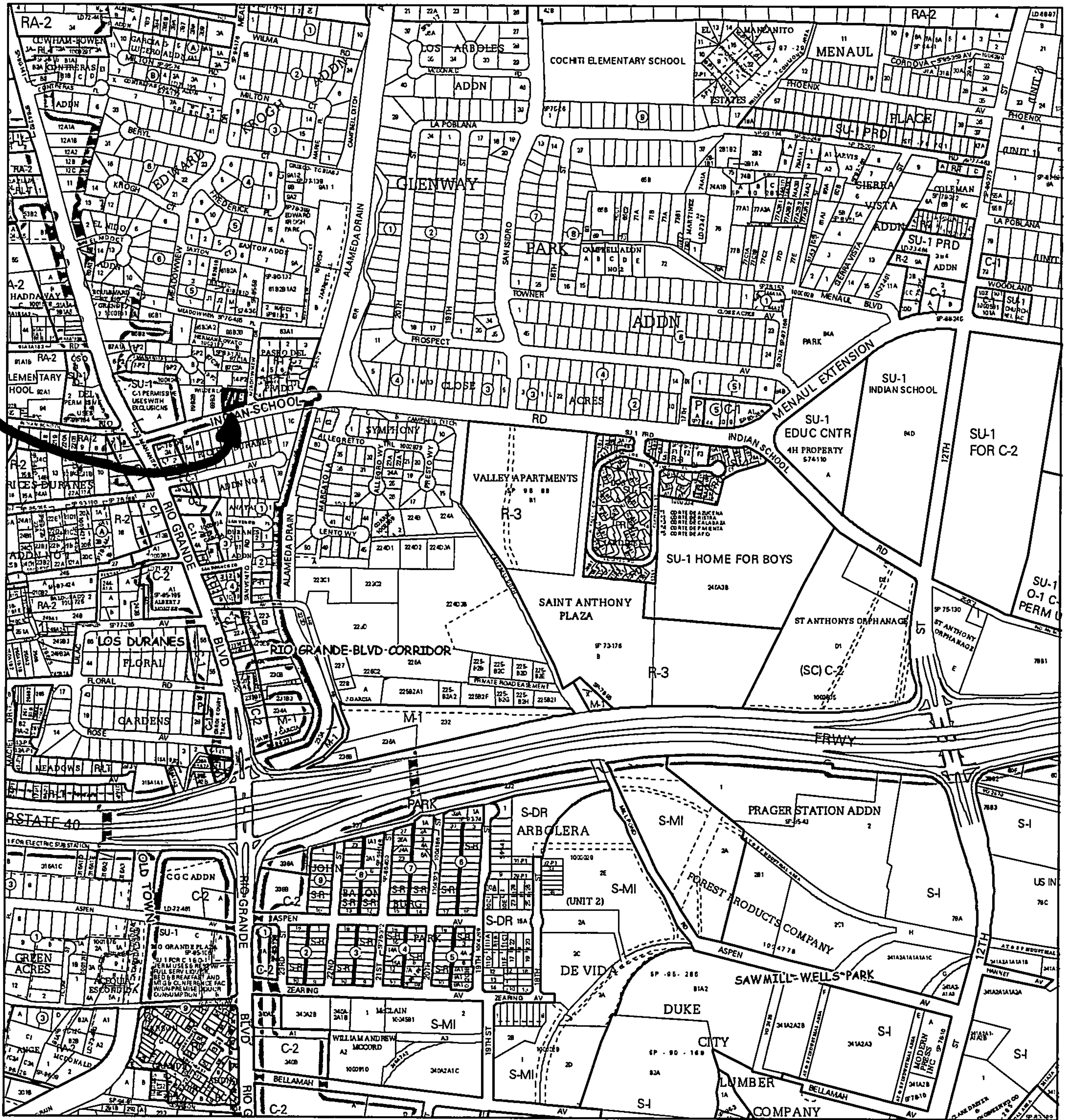
07 DRB - - 00357

Joseph [Signature] 3-20-07

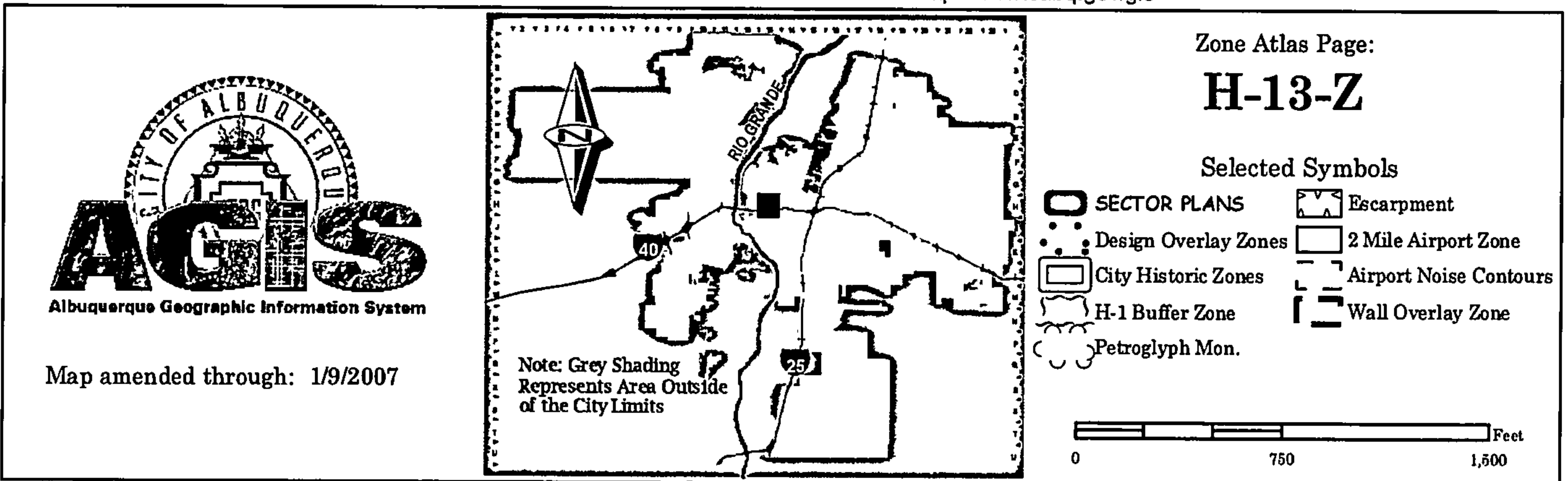
Planner signature / date

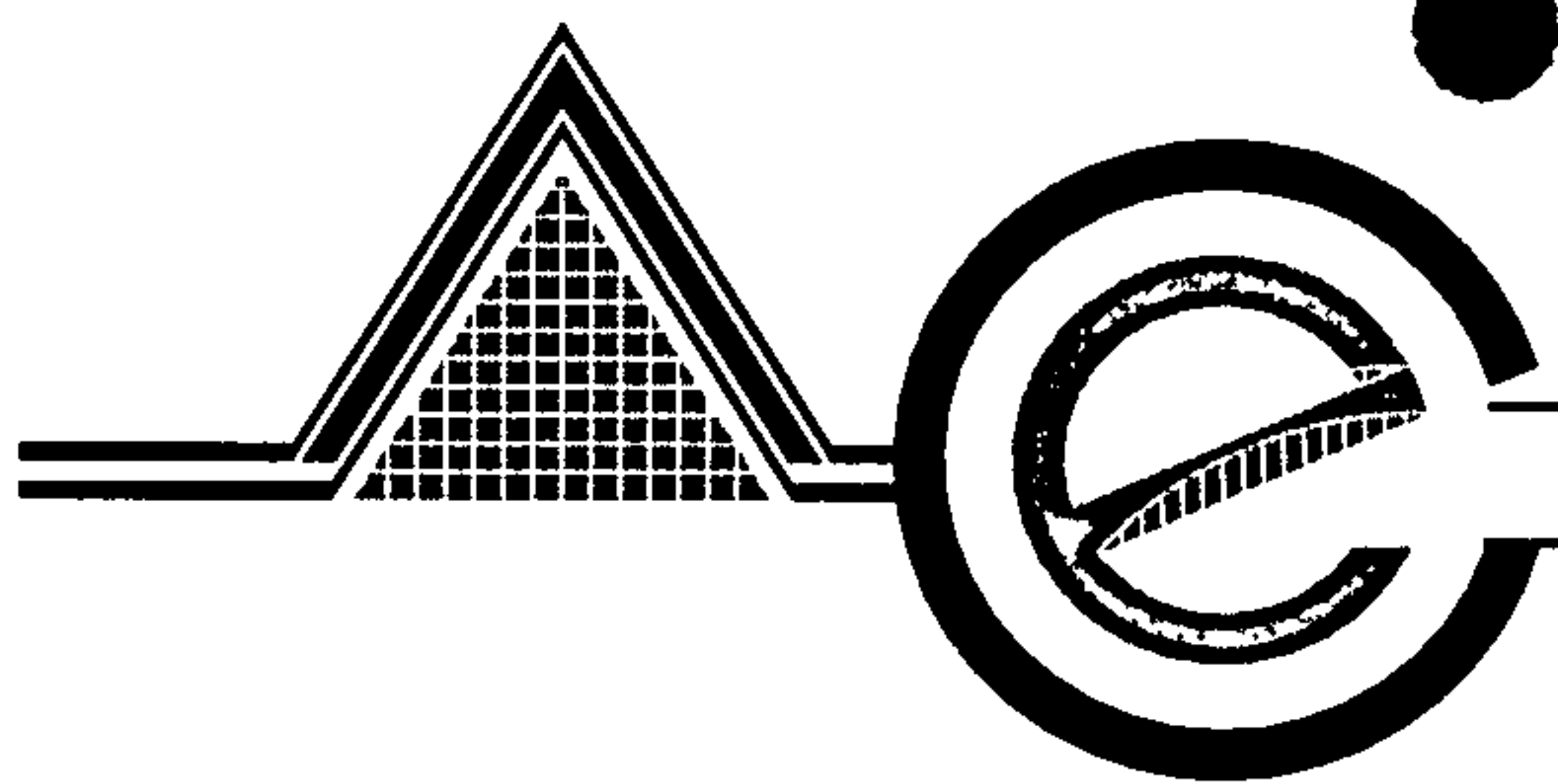
Project # 1004240

SITE



For more current information and more details visit <http://www.cabq.gov/gis>





ADVANCED ENGINEERING and CONSULTING, LLC

March 15, 2007

Consulting
Design
Development
Management
Inspection
Surveying

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary/Final Plat, Lot 15-A-P2, Villas Las Mananitas Subdivision, Zone Atlas Page
H-13-Z, DRB Project # 1004240

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, LLC, is requesting the Preliminary/Final Plat for Lot 15-A-P2 . We are re-platting lots 15 & 16 into one lot. The public utility easement between the lots was vacated on January 17, 2007. Enclosed please find six copies of the plat for you use. The site is located on Wilder Lane, NW, between Meadow View Drive, NW and Rio Grande Boulevard, NW.

If you require additional information, please contact our office at your convenience.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606

Current DRC
Project Number: _____

FIGURE 12

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Las Mananitas Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A-1, A-2 Lands of E. Maes MRGCD Map No. 35
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 7/26/06
Date Site Plan Approved: NA
Date Preliminary Plat Approved: 7/26/06
Date Preliminary Plat Expires: 7/26/07
DRB Project No: 1004240
DRB Application No.: 06DRB 0001
06DRB 00391

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
		Waterline							
		6"	Waterline PVC C-900	Mananitas Ln., NW	Rio Grande Blvd., NW	Meadow View Road NW	/	/	/
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Zickert Rd., NW	/	/	/
		6"	Waterline PVC C-900 Deferred Construction	Rio Grande Blvd., NW	Mananitas Ln., NW	Indian School Rd., NW	/	/	/
		Sanitary Sewer							
		8"	Sanitary Sewer Line SDR-35	Mananitas Ln., NW	Rio Grande Blvd., NW	End of Cul-de-sac Lot 5-P1	/	/	/
			4 Sanitary Sewer Services	Meadow View Road NW	Meadow View Road NW	Lots 13-P2, 14-P2, 15-P2 and 16-P2	/	/	/
		Paving							
		22' F-F	Residential Pavement C&G on Both Sides 6' Sidewalk on South Side Only	Mananitas Ln., NW	Cul-De-Sac Lot 12-P2	Rio Grande Blvd., NW	/	/	/
		22' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on South Side Only	Wilder Ln., NW	Meadow View Rd., NW	End of Easement Lots 13-P2/15-P2	/	/	/
		4'	Sidewalk on one side only (west only)	Meadow View Rd., NW	North Prop. Line Lot 14-P2	Indian School Rd., NW	/	/	/
		Storm Sewer							
		24"	Storm Sewer Pipe RCP	Mananitas Ln., NW	Rio Grande Blvd., NW	Lot 9-P2	/	/	/
			Remove Exist Drop Inlet and Abandon Lateral, Cap line at end	Lot 15-P2			/	/	/
		** Deferred Construction Items							

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
			Bike Lane Striping	Indian School	Rio Grande Blvd	Meadow View			
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature							City User Dept. Signature		Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

10. Certification that perimeter walls have been installed ~~per~~ ^{Street lights per City requirements.} per DRB approved design shall be provided to city prior to release of fin. guarantee
- 1 Water Infrastructure to Include Services, Vales, Fittings; Valve Boxes, and Fire Hydrants as Required.
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include manholes and Service Connections as required
- 4 Residential Street Lights Per DPM, Signage per DRC
- 5 Certified Grading and Drainage and Wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7 Perimeter Wall per DRB Approved Perimeter Wall Design
- 8 Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
- 9 Landscaping maintenance agreement required for landscaping in public right-of-way prior to release of financial Guarantees

AGENT / OWNER

Shawn Biazar, Managing Manager
NAME (print)

Advanced Engineering and Consulting, LLC
FIRM

[Signature] 7-24-06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/26/06
DRB CHAIR - date

[Signature] 7/26/06
PARKS & RECREATION - date

[Signature] 7-26-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/26/06
AMAFCA - date

[Signature] 7/26/06
UTILITY DEVELOPMENT - date

[Signature] 7/26/06
CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

Villas Las Mananitas

AGENT

Advanced Eng. and COAS.

ADDRESS

4416 Anaheim Ave

PROJECT & APP #

1004240/07DRB-00357

PROJECT NAME

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 215.00 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 235.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

SECURITY WARNING: THE FACE OF THIS DOCUMENT FEATURES A COLORED BACKGROUND AND MICROPRINT BORDERS - THE REVERSE SIDE FEATURES ARTIFICIAL WATERMARKS

NEW MEXICO BANK & TRUST
P.O. BOX 1048
ALBUQUERQUE, NM 87103
(505) 830-8100

DATE 3-20-07

\$ 235.00 DOLLARS

PAY TO THE ORDER OF City of Albuquerque

two hundred & thirty five & NO/100

MEMO 606 DRB

3/20/2007 RECEIPT NO. 95 MEN TRANS 0023
Account No. 0118 Fund 0118

Trans AMT \$235.00
J24 Misc 5322
Thank You \$20.00

⑆10700654⑆ 613 407 6 5322

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Villas Las Mananitas Development, LLC PHONE: (505) 350-1625
 ADDRESS: 8301 Lomas Blvd., NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Ed Garcia
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Vacation of 10' Public Utility, Curb & Gutter & Sidewalk Maintenance Easement Between Lots 15-P2 and 16-P2

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lots 15-P2 and 16-P2 Block: _____ Unit: _____
 Subdiv. / Addn. Villas Las Mananitas Subdivision
 Current Zoning: R-1 SU1-R-1 Proposed zoning: The same
 Zone Atlas page(s): H-13-Z No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 0.2730 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305906035620409, Please see attached for the rest of the UPC Numbers MRGCD Map No. _____
 LOCATION PROPERTY BY STREETS: On or Near: Wilder Lane NW
 Between: Meadow View Dr., NW and Rio Grande Blvd., NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 05DRB-00918, 1004240.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Sally Salazar Cass DATE 12-21-06
 (Print) Sally Salazar Cass, Office Manager Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - -01782</u>	<u>VPE</u>	<u>Y</u>	\$ <u>45.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>01/17/07</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>140.00</u>

Sandy Handley 12/21/06
 Planner signature / date

Project # 1004240

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Sally Salazar Cass
 Applicant name (print)
Sally Salazar Cass 12-21-06
 Applicant signature / date



Form revised 4/03, 10/03 and JUNE 2005

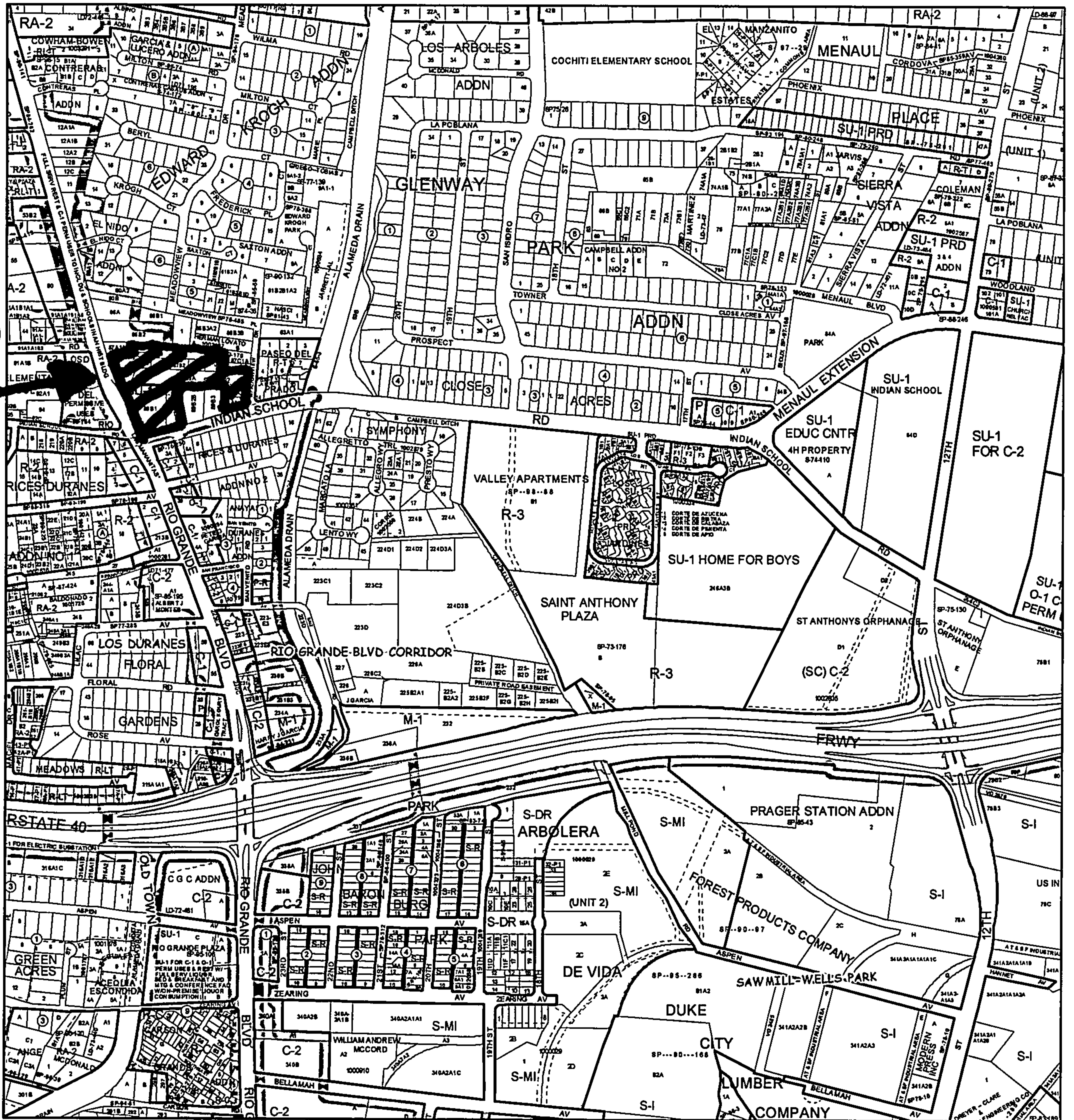
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06/DRB -01782

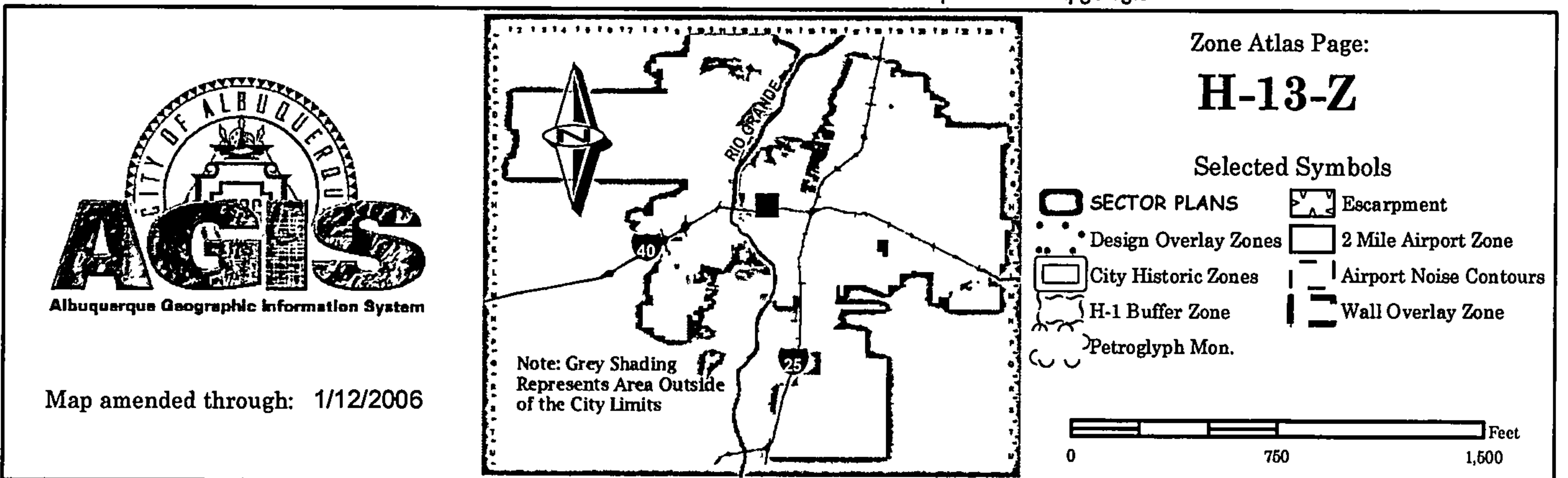
Sandy Lindley 12/21/06
 Planner signature / date

Project # 1004240

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>



Continuing UPC Numbers form the DRB Application:

101305907836020412,

101305907935520408,

101305911933420420,

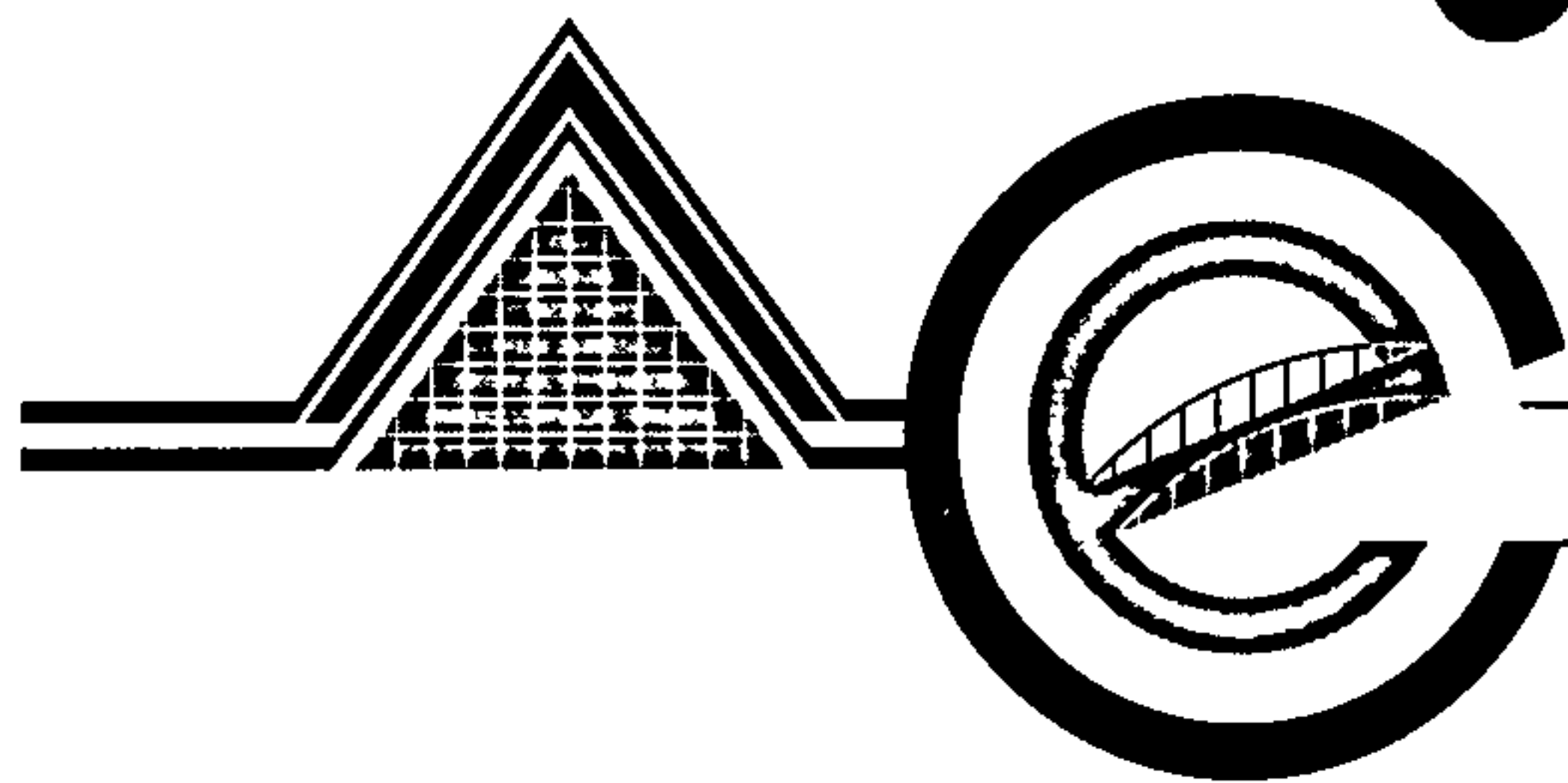
101305911934020419,

101305908304820410,

101305906033420401,

101305907433420402,

101305908935420407,



ADVANCED ENGINEERING and CONSULTING, LLC

December 21, 2006

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Vacation of 10' Public Utility Easement (PUE), Curb & Gutter and Sidewalk Maintenance Easement for VILLAS LAS MANANITAS SUBDIVISION, DRB Project 1004240, Containing \pm 0.2730 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

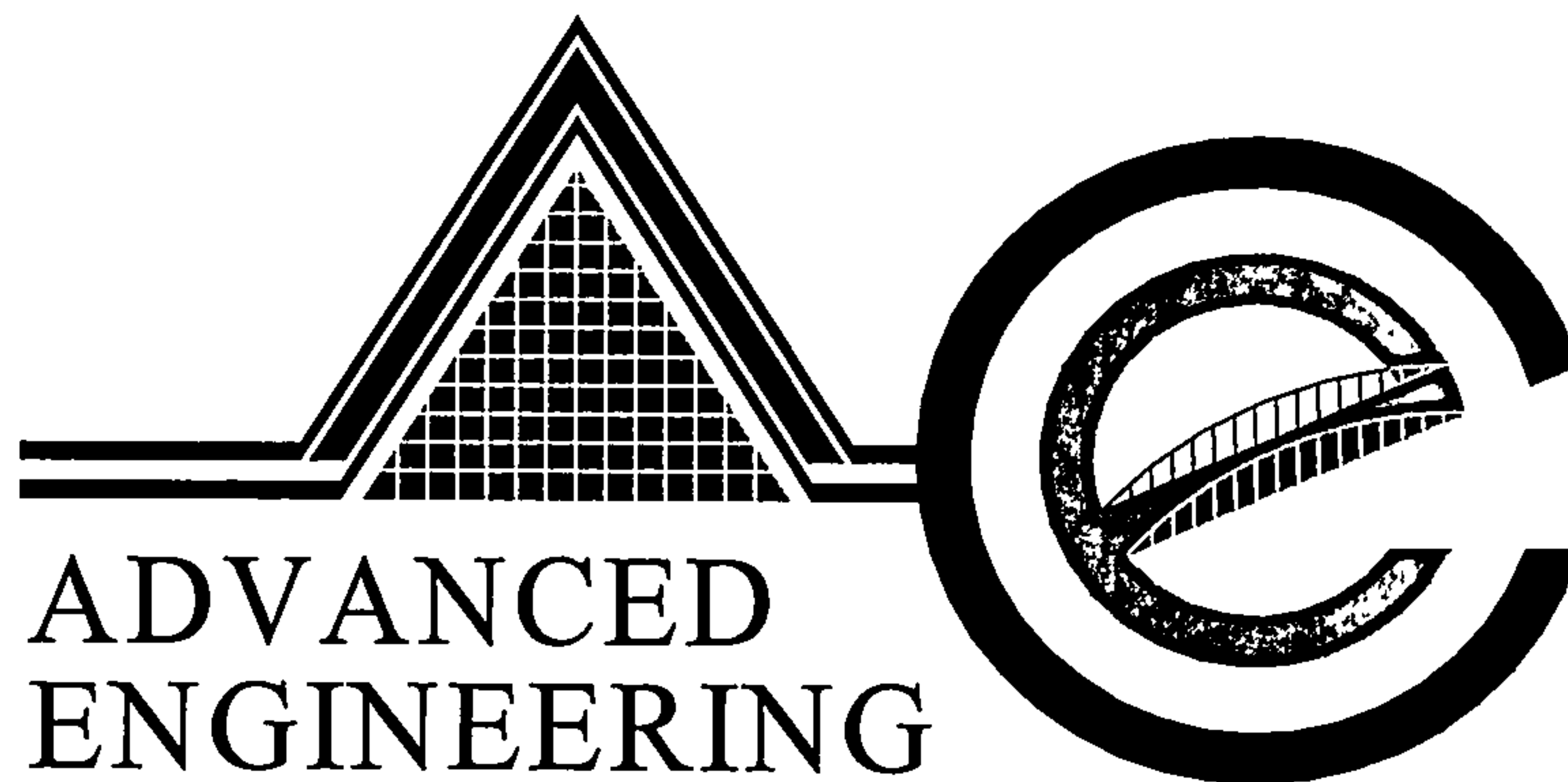
Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, LLC, is requesting a vacation of 10' Public Utility Easement, Curb & Gutter and Sidewalk Maintenance Easement for the above referenced site. See attached 24 copies of the Easement Vacation Exhibit and 24 copies of the plat, which created the easement for reference. The easement is located between Lots 15-P2 and 16-P2. The PUE will be re-routed to another location pending PNM's guidance and approval. Lastly, the curb & gutter and sidewalk maintenance easement are not needed. The site is located on Wilder Lane, NW between Meadow View Dr., NW and Rio Grande Blvd., NW.

If you require additional information, please contact our office at your convenience.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606



ADVANCED
ENGINEERING
and CONSULTING, LLC
FACSIMILE TRANSMITTAL

To:	OFFICE OF NEIGHBORHOOD COORDINATION	FAX: 924-3913
From:	SALLY SALAZAR, OFFICE MANAGER	# OF PAGE(S) 2
Subject:	HOMEOWNER'S ASSOCIATION INFORMATION	JN: 200604
Date:	December 19, 2006	

PLEASE FORWARD INFORMATION ON ANY HOMEOWNER ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

Tracts 87-A-1-B87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2 MRGCD Map No. 35, Lots A-1, & A-2 Lands of E Maes.

LEGAL DESCRIPTION

LOCATED ON: Indian School Rd., NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Meadow View Dr., NW AND Rio Grande Blvd., NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET (H-13-Z).

ZONE ATLAS #

SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS TRANSMITTAL OR ANY OTHER ITEMS PERTAINING TO THIS PROJECT, PLEASE DO NOT HESITATE TO CONTACT OUR OFFICE.



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: December 19, 06

TO CONTACT NAME: Sally Salazar
 COMPANY/AGENCY: Advanced Engineering and Consulting, LLC
 ADDRESS/ZIP: 4416 Anaheim Ave. NE - 87113
 PHONE/FAX #: 899-5570 - (FAX - 897-4996)

Thank you for your inquiry of 12-19-06 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract 87-A-1-887-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89B-1, 89-B-2
MC6CD Map No 35 Lots A-1 + A-2 Lands of E. Maes located on Indian School Rd. NW
 zone map page(s) H-13 Between Meadow View Dr NW and Rio Grande Blvd. NW

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Rio Grande Blvd. N.A.
 Neighborhood Association
 Contacts: Frank Mangano
4300 Rio Grande NW / 87107
343-8736 (h)
Winnie Kimbrough
2327 Campbell Rd. NW / 87104
344-1363 (h)

Los Duranes N.A.
 Neighborhood Association
 Contacts: William C. Herring
3104 Coca Rd. NW / 87104
Beverly Schanover
3308 Beach NW / 87104
242-1778 (h)

See reverse side for additional Neighborhood Association Information: YES () NO (X)

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaine J. Carmora
 OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)

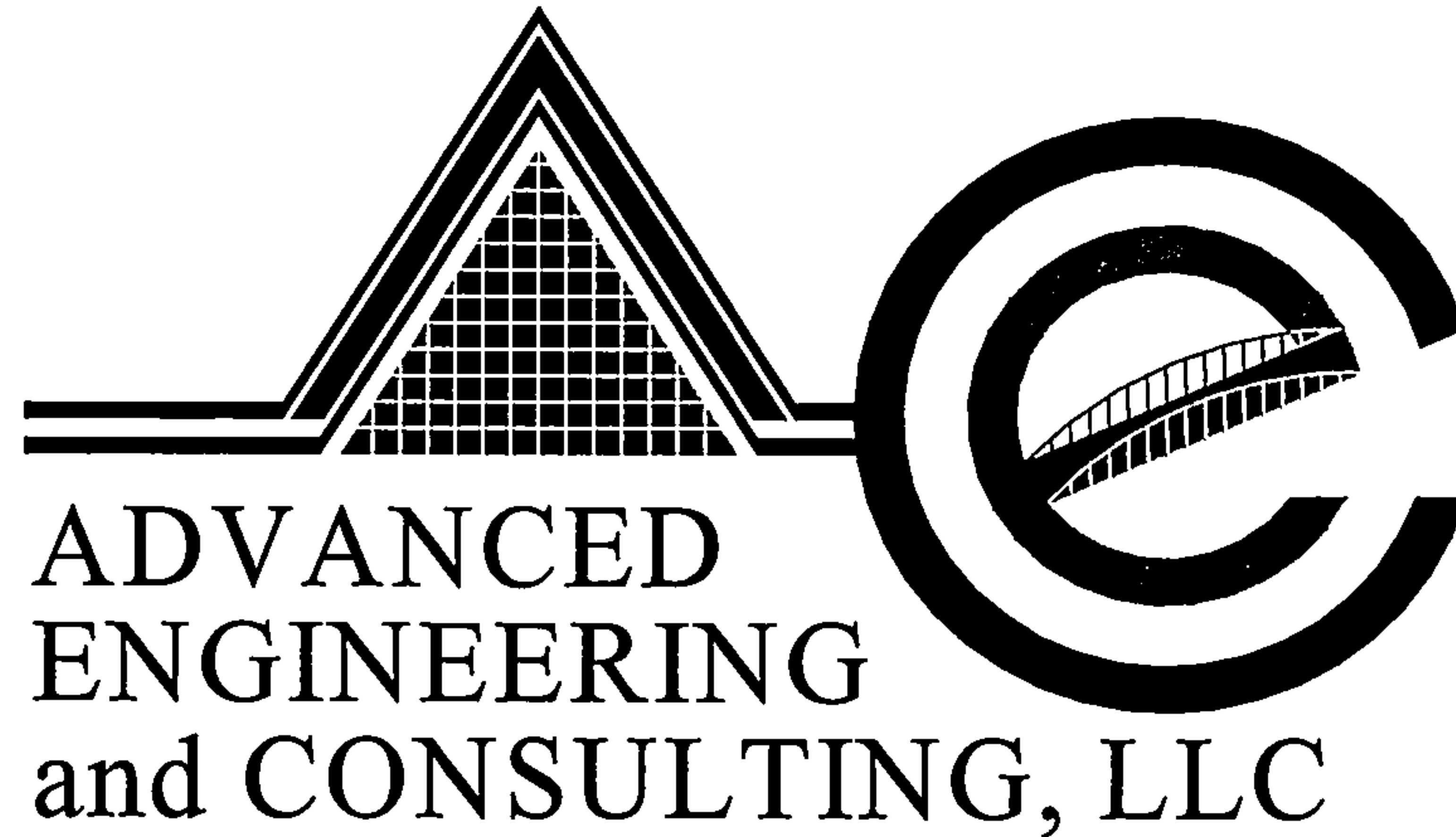
The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 12-19-06 Time Entered: 3:11 pm ONC Rep. Initials: DC



To: Frank Mangano, Winnie Kimbrough, William C. Herring, Beverly Schoonover

From: Shawn Biazar

Subject: Lots 15P2 and 16P2 Villas Las Mananitas Subdivision

Date: December 19, 2006

Dear Sirs, and Madams:

Please find a copy of the submittals for the Vacation of the 10' Public Utility Easement Between Lots 15P2 and 16P2, DRB Project # 1004240. This site is located on Wilder Ln., NW between Meadow View Dr., NW and Rio Grande Blvd., NW.

If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.

**U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

ALBUQUERQUE NM 87104 AL USE

Postage	\$ 1.11	0114
Certified Fee	\$2.40	05
Return Receipt Fee (Endorsement Required)	\$1.85	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	DEC 21 2006
Total Postage & Fees	\$ 5.36	ALAMEDA ST. ALBUQUERQUE, NM 87114

Sent To Beverly Sandonover
Street, Apt. No. 3358 Beach Woods
or PO Box No.
City, State, ZIP+4 Albu NM 87104

PS Form 3800, June 2002

See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

ALBUQUERQUE NM 87104 AL USE

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Return Receipt Fee (Endorsement Required)	\$1.85	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	DEC 21 2006
Total Postage & Fees	\$ 5.36	ALAMEDA ST. ALBUQUERQUE, NM 87114

Sent To William C. Herrina
Street, Apt. No. 3104 Coa Rd NW
or PO Box No.
City, State, ZIP+4 Albu NM 87104

PS Form 3800, June 2002

See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

ALBUQUERQUE NM 87107 AL USE

Postage	\$ 1.11	0114
Certified Fee	\$2.40	05
Return Receipt Fee (Endorsement Required)	\$1.85	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	DEC 21 2006
Total Postage & Fees	\$ 5.36	ALAMEDA ST. ALBUQUERQUE, NM 87114

Sent To Frank Mangano
Street, Apt. No. 4300 Rio Grande NW
or PO Box No.
City, State, ZIP+4 Albu NM 87107

PS Form 3800, June 2002

See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT**
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com®

ALBUQUERQUE NM 87104 AL USE

Postage	\$ 1.11	0114
Certified Fee	\$2.40	05
Return Receipt Fee (Endorsement Required)	\$1.85	Postmark Here
Restricted Delivery Fee (Endorsement Required)	\$0.00	DEC 21 2006
Total Postage & Fees	\$ 5.36	ALAMEDA ST. ALBUQUERQUE, NM 87114

Sent To Winnie Kimbrough
Street, Apt. No. 2327 Campbell Rd NW
or PO Box No.
City, State, ZIP+4 Albu NM 87104

PS Form 3800, June 2002

See Reverse for Instructions

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME VILLAS LAS MANANITAS DEV
 AGENT ADVANCED ENG. & CONSULTING
 ADDRESS 4416 ANAHEIM AVE NE
 PROJECT & APP # 1004240/06 DRB 01782
 PROJECT NAME LAS MANANITAS SUBD.

City of Albuquerque
 Treasury Division
 12/21/2006 4:45PM LOC: ANNX
 RECEIPT# 00071190 WSH 006 TRANSH 0047
 Account 441018 Fund 0110
 Activity 4971000 TRSCCS
 Trans Amt \$140.00
 J24 Misc \$75.00
 CK \$45.00
 CHANGE \$20.00

Thank You

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 45.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
- \$ 140.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

FOR SECURITY PURPOSES THIS DOCUMENT CONTAINS A TWO TONED COLORED BACKGROUND AND MICROPRINTING IN THE BORDER

ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVENUE, NE
ALBUQUERQUE, NM 87113
(505) 899-5570

NEW MEXICO BANK & TRUST
P.O. BOX 1048
ALBUQUERQUE, NM 87103
(505) 830-8100

95-654/1070
5180

PAY TO THE ORDER OF City of Albuquerque

One hundred forty dollars & 00/100

MEMO Vacation of Easement (606)

DATE _____

\$ 140.00
DOLLARS

154070065441: 613 407 612 5180

THE REVERSE SIDE OF THIS DOCUMENT INCLUDES AN ARTIFICIAL WATERMARK - HOLD AT ANGLE TO VIEW

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JANUARY 02, 2007 To JANUARY 17, 2007

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Patricia Sales
(Applicant or Agent)

12.21.06
(Date)

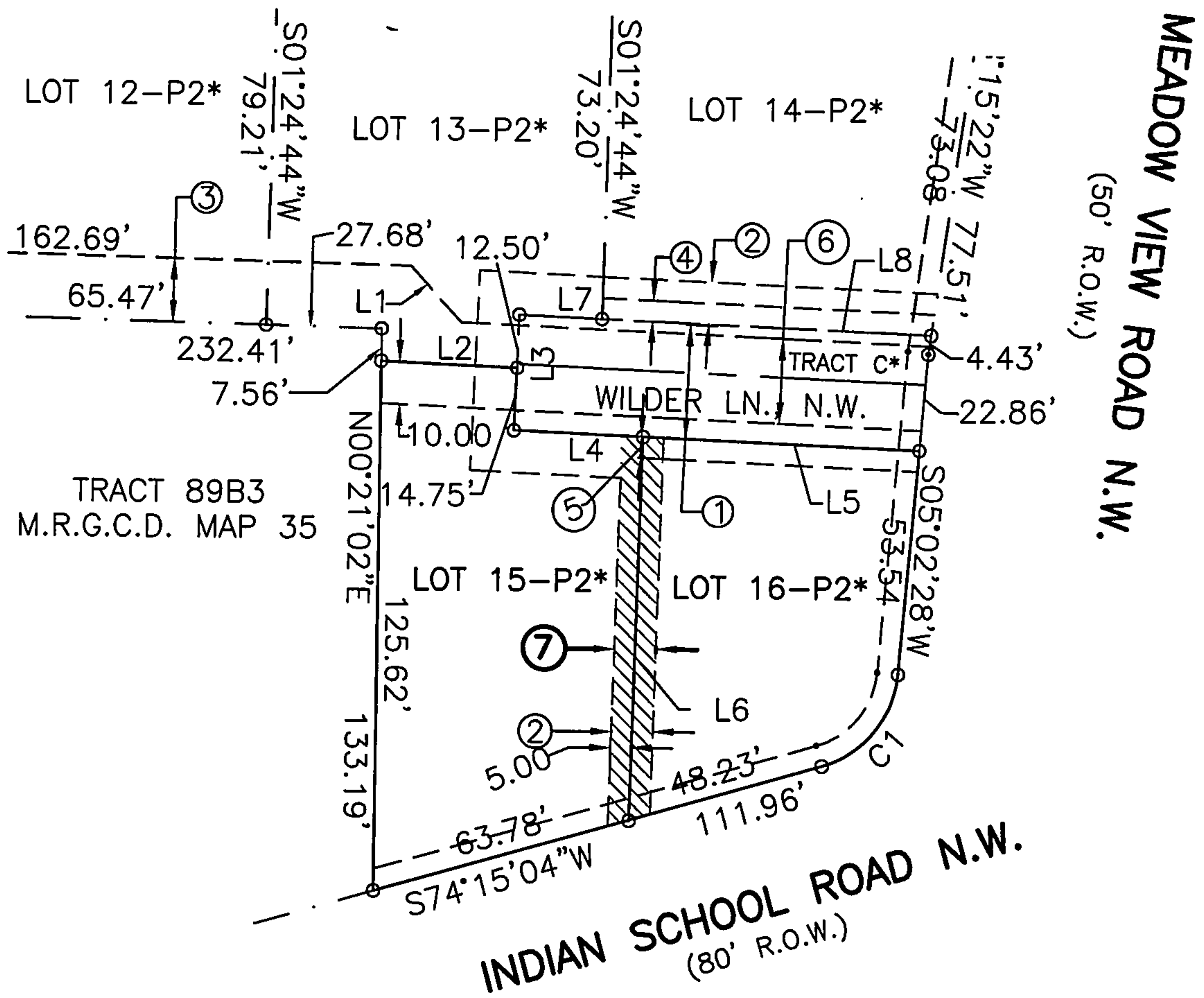
I issued 1 signs for this application, 12/21/06
(Date)

Sandy Handley
(Staff Member)

DRB PROJECT NUMBER: 1004240

EASEMENT VACATION EXHIBIT

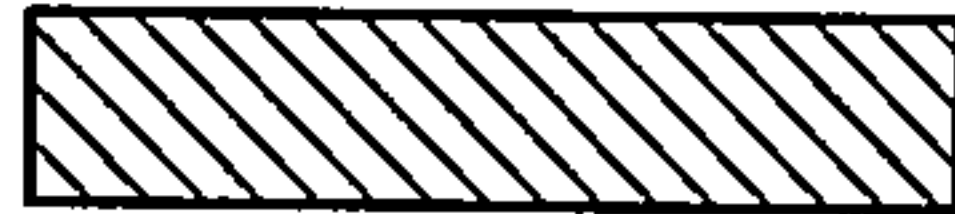
(EASEMENT LOCATED WITHIN LOTS 15-P2 & 16-P2 OF VILLAS LAS MANIANITAS SUBDIVISION)



*VILLAS LAS MANIANITAS SUBDIVISION, FILED: 10/31/2006, BK-2006C, PG. 336

EXISTING EASEMENTS* NOTES:

1. EXISTING 27.25' PRIVATE ACCESS AND DRAINAGE EASEMENT (TRACT C)
1. EXISTING 27.25' PRIVATE ACCESS AND DRAINAGE EASEMENT (TRACT C)
2. EXISTING 10' PUBLIC UTILITY, CURB & GUTTER, AND SIDEWALK MAINTENANCE EASEMENT
3. EXISTING 15' PUBLIC WATERLINE EASEMENT
4. EXISTING 5' PRIVATE SANITARY SEWER EASEMENT
5. EXISTING 5' PRIVATE SANITARY SEWER EASEMENT
6. EXISTING 20' PUBLIC WATERLINE EASEMENT
7. EXISTING 10' PUBLIC UTILITY, CURB & GUTTER, AND SIDEWALK MAINTENANCE EASEMENT (TO BE VACATED)

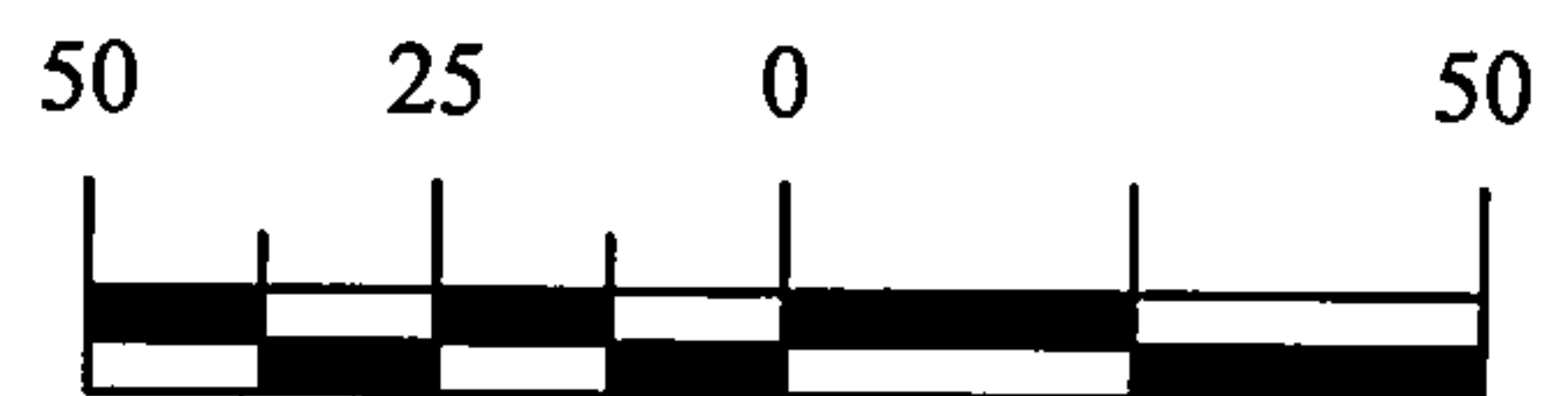


LINE TABLE (FEET)		
LINE	LENGTH	BEARING
L1	17.99	S42°49'10"E
L2	32.68	S87°38'22"E
L3	27.25	S02°21'38"W
L4	31.17	S87°38'22"E
L5	66.67	S87°38'22"E
L6	91.12	S01°37'18"W
L7	20.00	S87°38'22"E
L8	79.37	S87°38'22"E

EXHIBIT B
Date 1/17/07



GRAPHIC SCALE

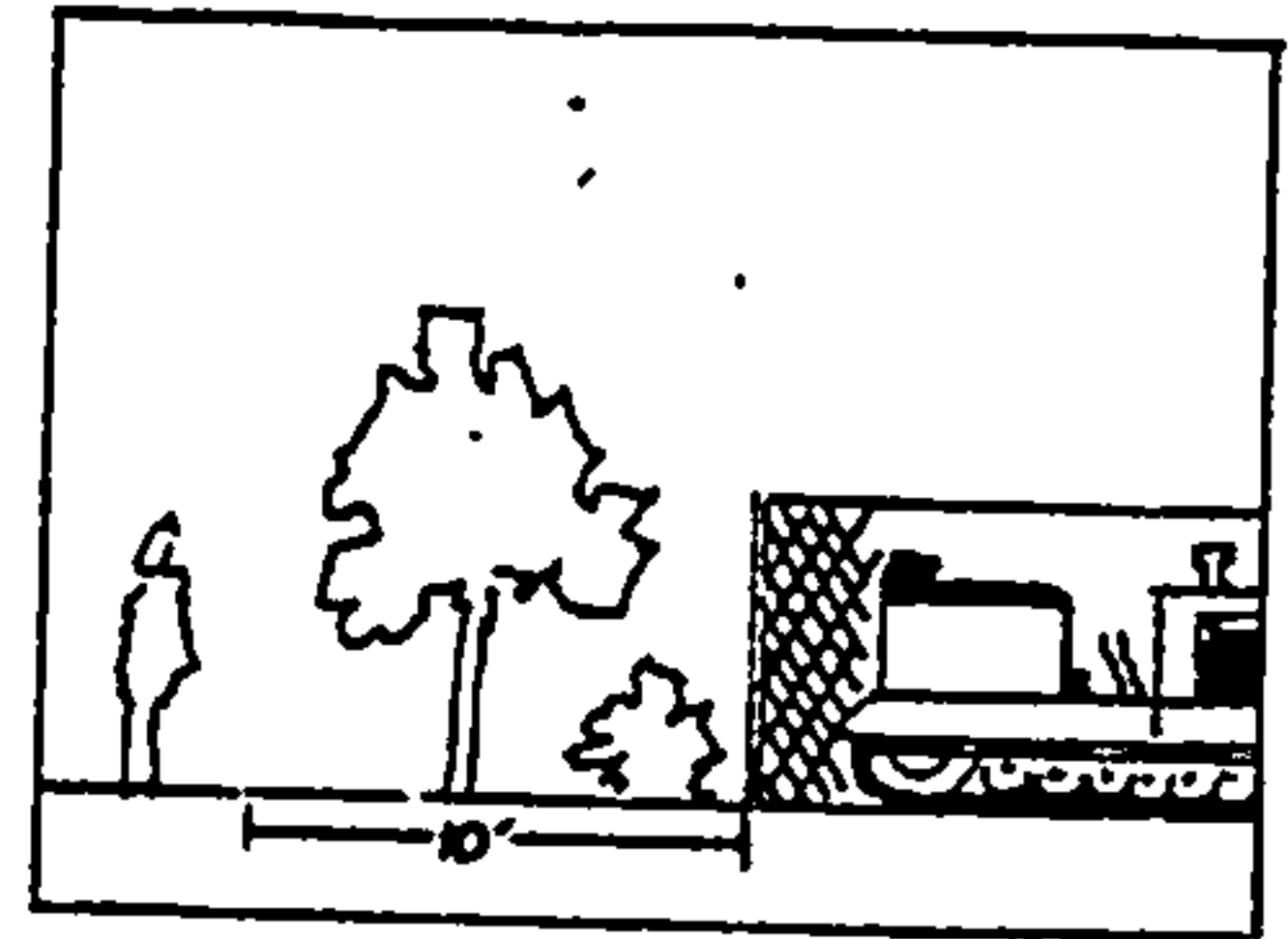


SCALE: 1"=50'

CURVE TABLE (FEET)						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	30.13	25.00	69°02'37"	17.20	28.34	S39°43'46"W

11.A.1. Outdoor storage or display of construction equipment and materials shall be located at least 10 feet outside Rio Grande Boulevard right-of-way.

11.A.2. All outside storage or display of construction equipment and materials must be enclosed on all sides by a six-foot high solid wall or fence set back at least 10 feet from the property line. The area between the wall or fence and the public right-of-way shall be landscaped. (See regulations under 11.D. of this Design Overlay Zone.)



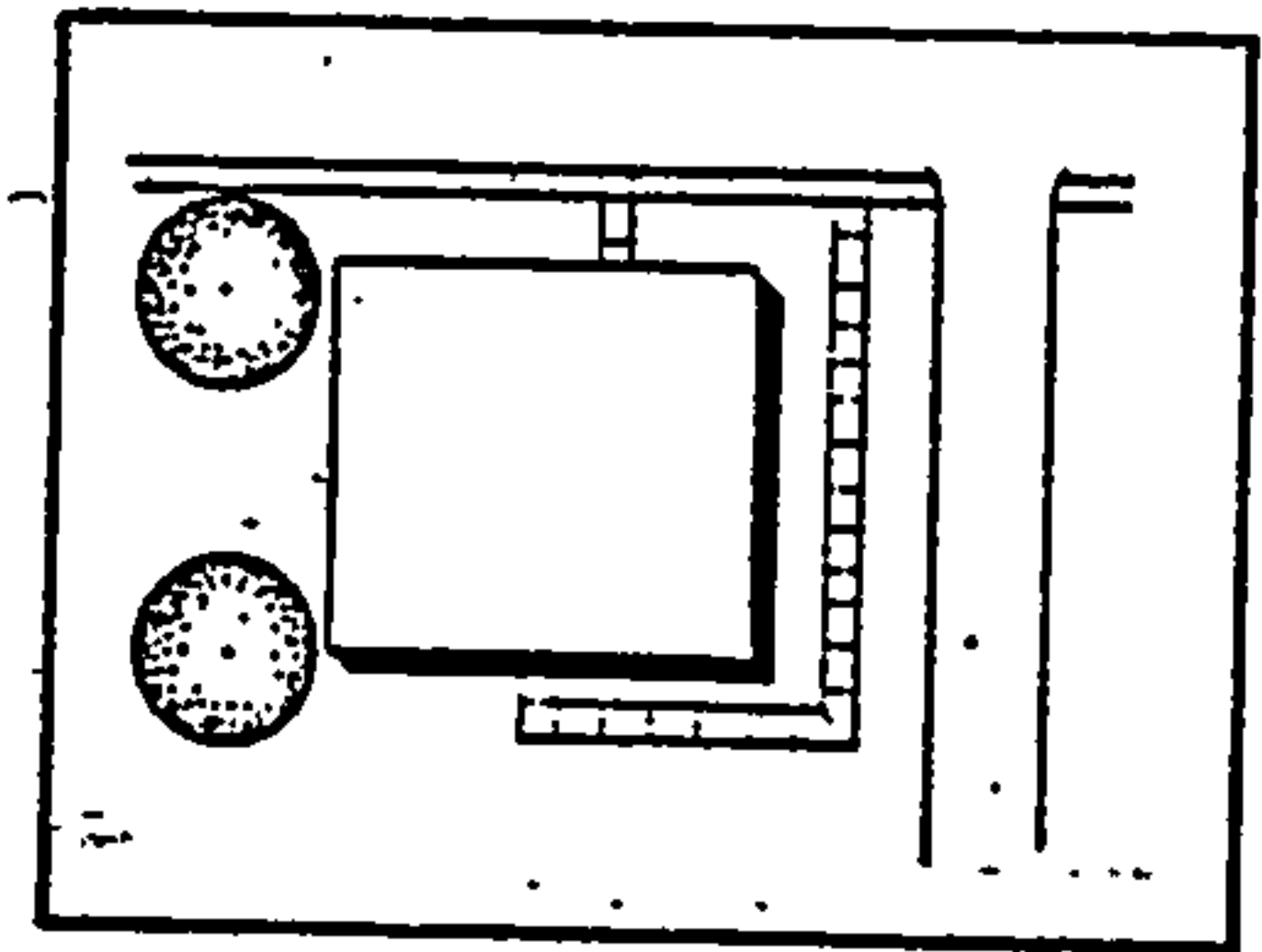
11.A.2

11.A.3. No outside storage or display of construction materials may exceed the height of the required six-foot wall.

Sidewalk Connections

11.B. Sidewalk regulations are the same as the Sidewalk Ordinance with the following additions:

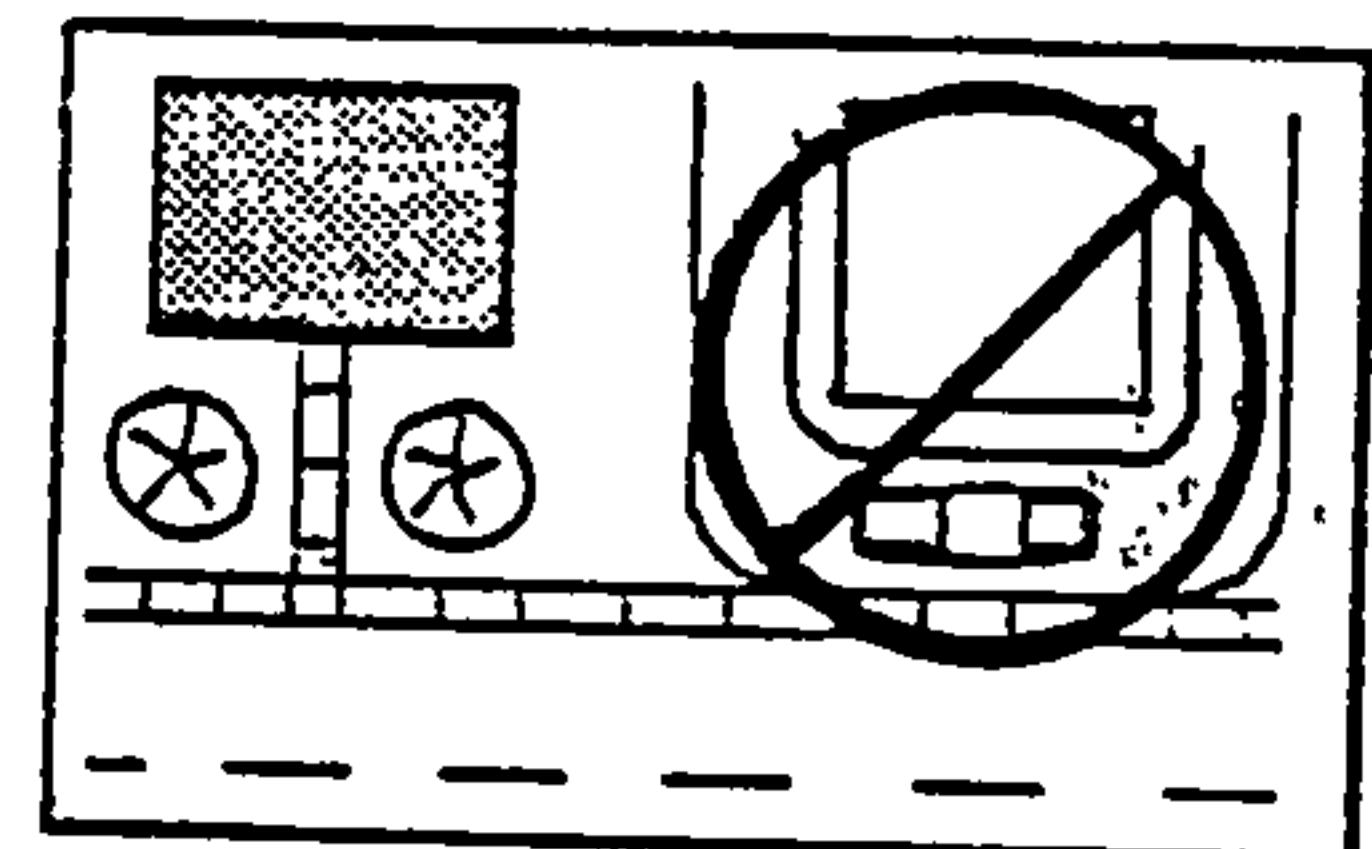
11.B.1. New nonresidential building entrances shall either face Rio Grande Boulevard or be connected to the boulevard public right-of-way with a handicap accessible walkway according to American National Standard Institute ANSI A117.1-1980 standards. Orient secondary entrances toward rear and side parking lots.



11.B.1

11.B.2. Direct pedestrian access to commercial and office buildings must be possible from public sidewalks.

11.B.3. No driveways or parking lots paralleling Rio Grande Boulevard shall be located between new nonresidential buildings and the public right-of-way.



11.B.3

Building Setbacks

11.C. In Plan Subareas 1 and 2 (excepting the H-1 and H-1 buffer zones): front, side and rear yards facing Rio Grande Boulevard shall have the same building setback requirements as front yards in underlying zones. In Plan Subareas 3 and 4: front, side and rear yards facing Rio Grande Boulevard in all zones except RA-2 shall have 20 foot deep building setback requirements. Properties with RA-2 zoning shall continue to have 25 foot deep rear yard building setback requirements.

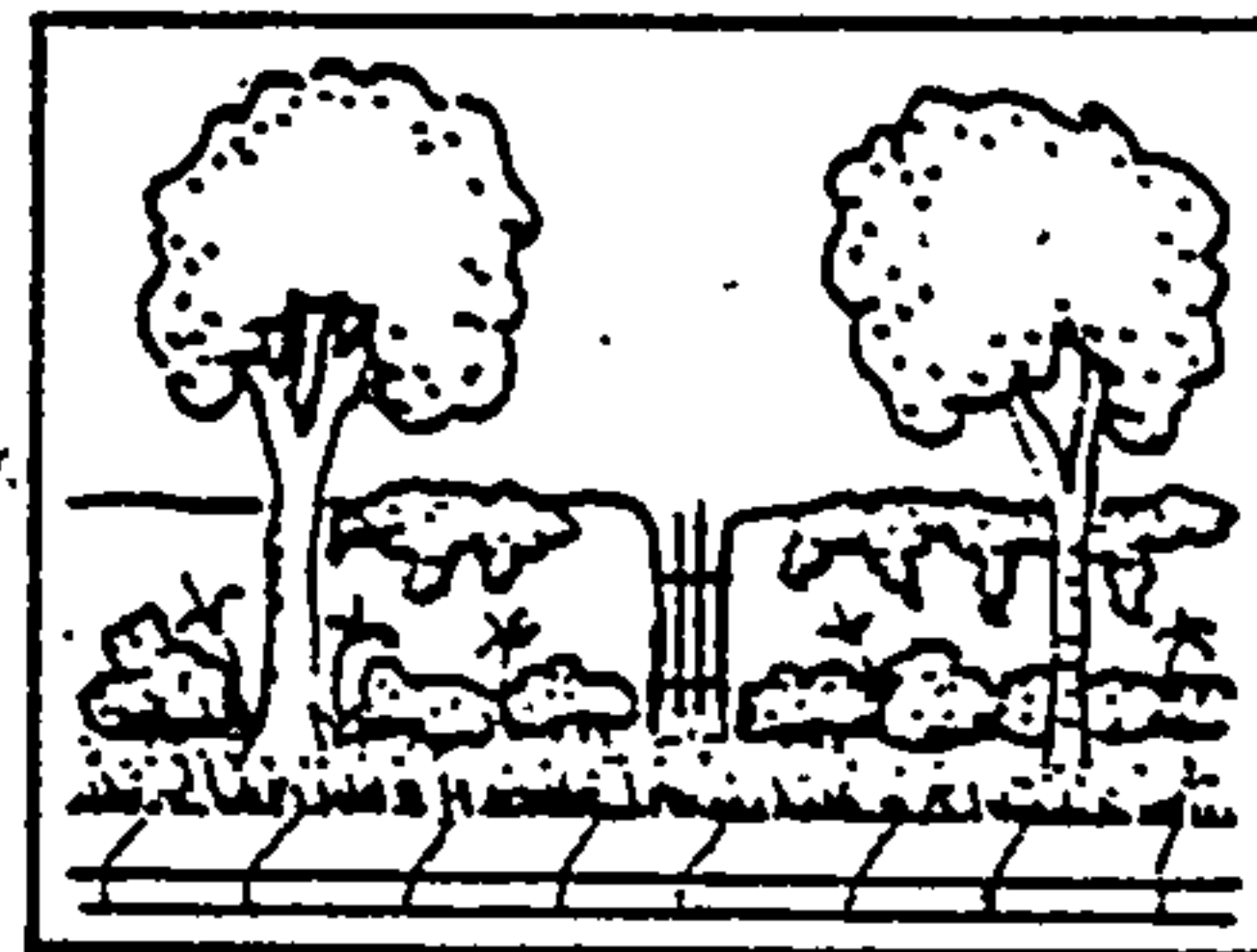
Walls and Fences

11.D. Wall regulations are the same as Section 40.C, of the Zoning Code with the following exceptions:

11.D.1. Three foot high solid walls, fences or a dense hedge located at least six feet from the public right-of-way shall be required on street sides of (1) off-street parking areas with five or more parking spaces, and (2) circulation areas on commercial, office and industrial sites. Each site plan will be reviewed by the Traffic Engineer to ensure compliance with the Clear Sight Triangle Ordinance. (Outdoor storage of construction equipment is regulated in Design Overlay regulation 11.A.) Plant materials capable of screening views of paved areas are listed and marked with an "S" in Appendix H of this plan. (See Design Overlay Zone regulations under 11.D for landscaping requirements.)

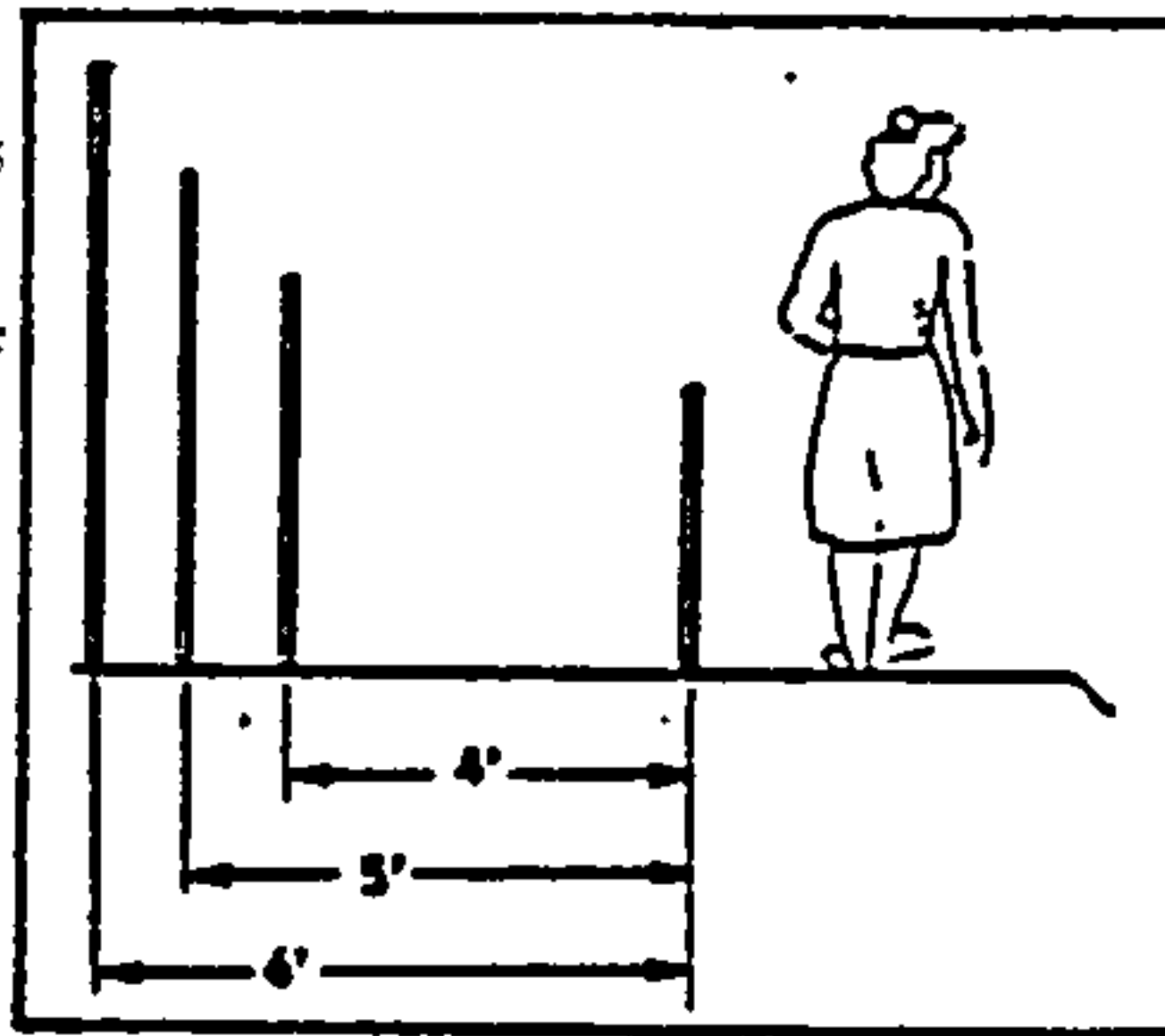
11.D.2. Standard unstuccoed 8-inch by 16-inch CMU block, untreated metal and unlandscaped chainlink fencing are not allowed as finish materials for site perimeter walls or fences. Chainlink fencing may be used if rapid growing vines or tall, thick shrubs are planted and maintained to cover it. (See plant materials marked with an "S" in Appendix H, 1 and 2.)

* 11.D.3. ~~Continuous solid site perimeter walls or fences over 3 feet high facing Rio Grande Boulevard shall contain at least one opening, recess or other form of horizontal relief every 25 feet or less to break the sense of barricade and monotony for pedestrians.~~



11.D.3.

* 11.D.4. ~~Site perimeter walls and fences facing Rio Grande Boulevard may not exceed three feet in height (including those for rear and side yards) unless they are set back inside the property line at least the same number of feet as the height of the wall.~~



11.D.4.

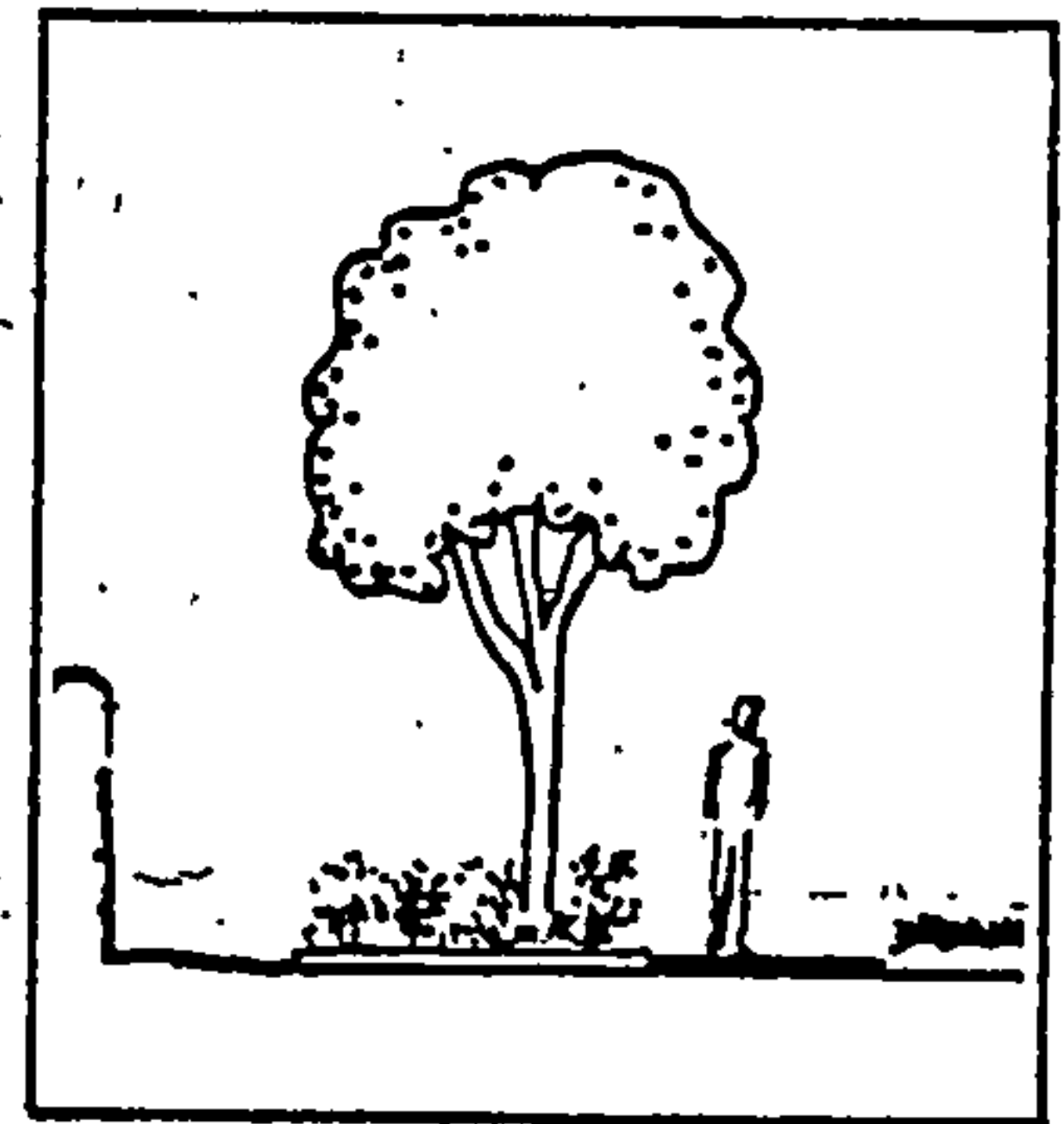
Landscaping

11.E. All landscaping plans shall be reviewed by a City landscape architect employed by the City. All yards facing Rio Grande Boulevard shall be referred to as landscaped street yards. Landscaping regulations shall be the same as those in Zoning Code Section 40.J. and Zoning Code Appendix B with the following additions:

11.E.1. Unless designated as part of a public streetscape project, landscaping between the curb line and property line shall be the responsibility of the developer or property owner and shall contain live landscaping.

11.E.2. On nonresidential and multi-family residential development sites, landscaped street yards shall contain deciduous trees and any combination of designated valley plant materials listed in Appendix H of this plan. Plants and trees having similar characteristics may also be used.

* 11.E.3. The ~~area between site perimeter walls and the public right-of-way shall be landscaped.~~ Tree species planted in areas between walls and the public right-of-way shall be capable of shading the sidewalk. (See Appendix H of this plan.) Shrubs shall be maintained to avoid blocking the sidewalk and clear sight triangles shall be respected. A ~~minimum of seventy five percent of the ground area between the wall and public right-of-way shall be covered with live plant material.~~ Landscaping shall be maintained by the property owner.



11.E.3.

11.E.4. Climbing vines shall be planted on chainlink fences. Where a denser evergreen screen is desired, use shrubs listed in Appendix H or those with similar characteristics.

Off-Street Parking

11.F. Off-street parking areas shall be designed and landscaped to minimize glare; reduce reflection and the visual impact of large numbers of cars and trucks. Parking regulations shall be the same as Section 40.A. of the Zoning Code and buffer landscaping regulations shall be the same as Section 40.J. of the Zoning Code with the following exceptions and additions:

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input checked="" type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Villas Las Mananitas Development, LLC PHONE: (505) 350-1625
 ADDRESS: 8301 Lomas Blvd., NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Ed Garcia
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Final Plat and Subdivision Design Variance

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lots A-1 and A-2 Block: _____ Unit: _____
 Subdiv. / Addn. Lands of E. Mas
 Current Zoning: SU-1 for C-1 and R-1 Proposed zoning: The same
 Zone Atlas page(s): H-13-Z No. of existing lots: 11 No. of proposed lots: 17
 Total area of site (acres): 4.6527 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305906035620409, Please see attached for the rest of the UPC Numbers MRGCD Map No. 35
 LOCATION PROPERTY BY STREETS: On or Near: Indian School Rd NW
 Between: Meadow View Dr., NW and Rio Grande Blvd., NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): 05DRB-00918, 1004240

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 10-17-06
 (Print) Shawn Baizar, Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB - 01524</u>	<u>FP</u>	<u>5(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06 DRB - 01525</u>	<u>SDV</u>		<u>\$ 15</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed				<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>10/26/06 10/25/06</u>			<u>Total \$ 20.00</u>
<u>[Signature]</u>	<u>10/17/06</u>	Project #	<u>1004240</u>	
	Planner signature / date			

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. **DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shawn BIAZAR
Applicant name (print)
[Signature] 10-17-06
Applicant signature / date



Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 DRB - - 01525

Andrew Garcia 10/17/06
Planner signature / date

Project # 1004240

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera; if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shawn Biazar
 Applicant name (print)
[Signature]
 Applicant signature / date
 10-17-06



Form revised 8/04 & 1/05

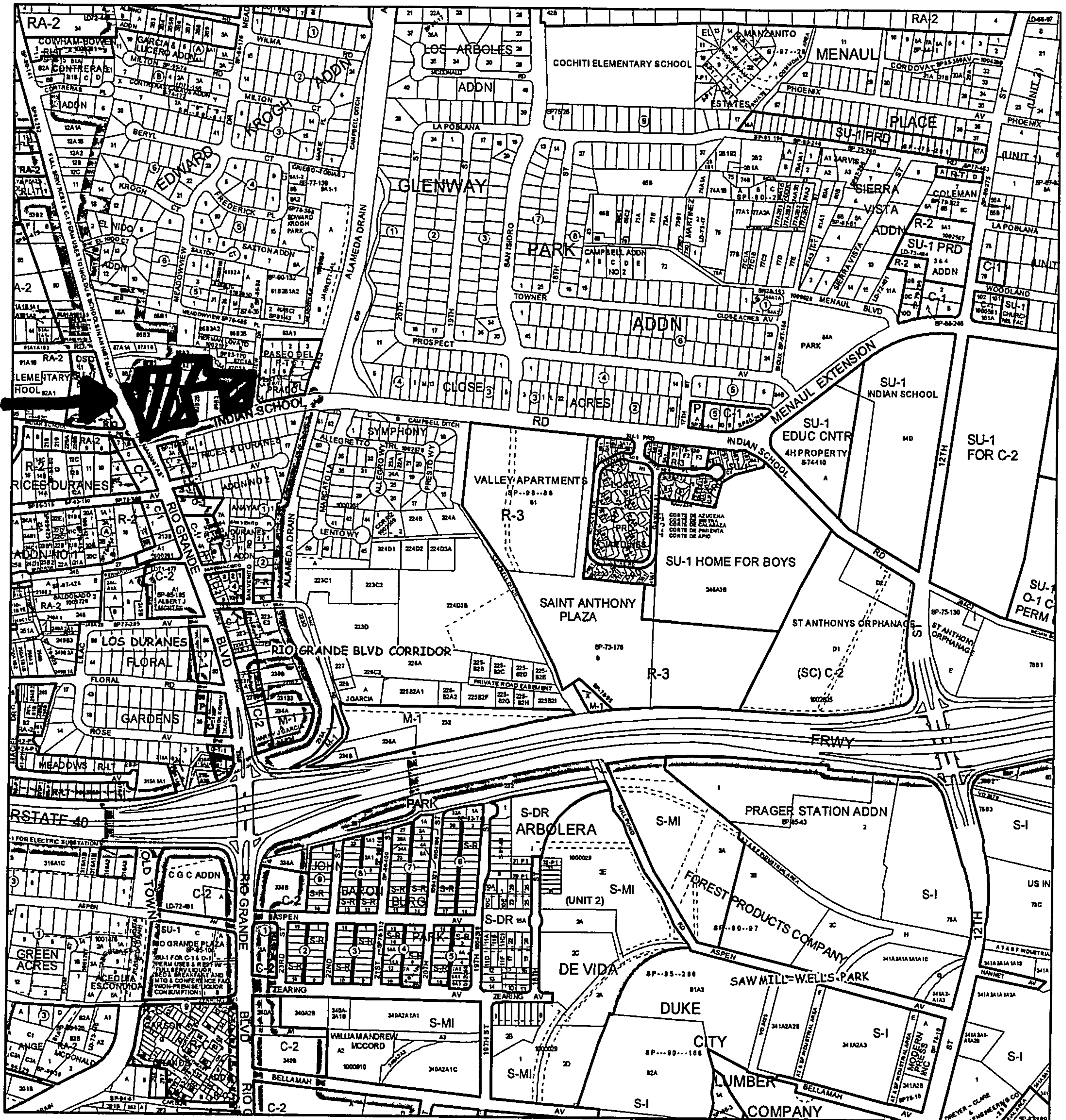
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 of DRB - 01524

Andrew Garcia 10/17/06
 Planner signature / date

Project # 1004240

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/12/2006

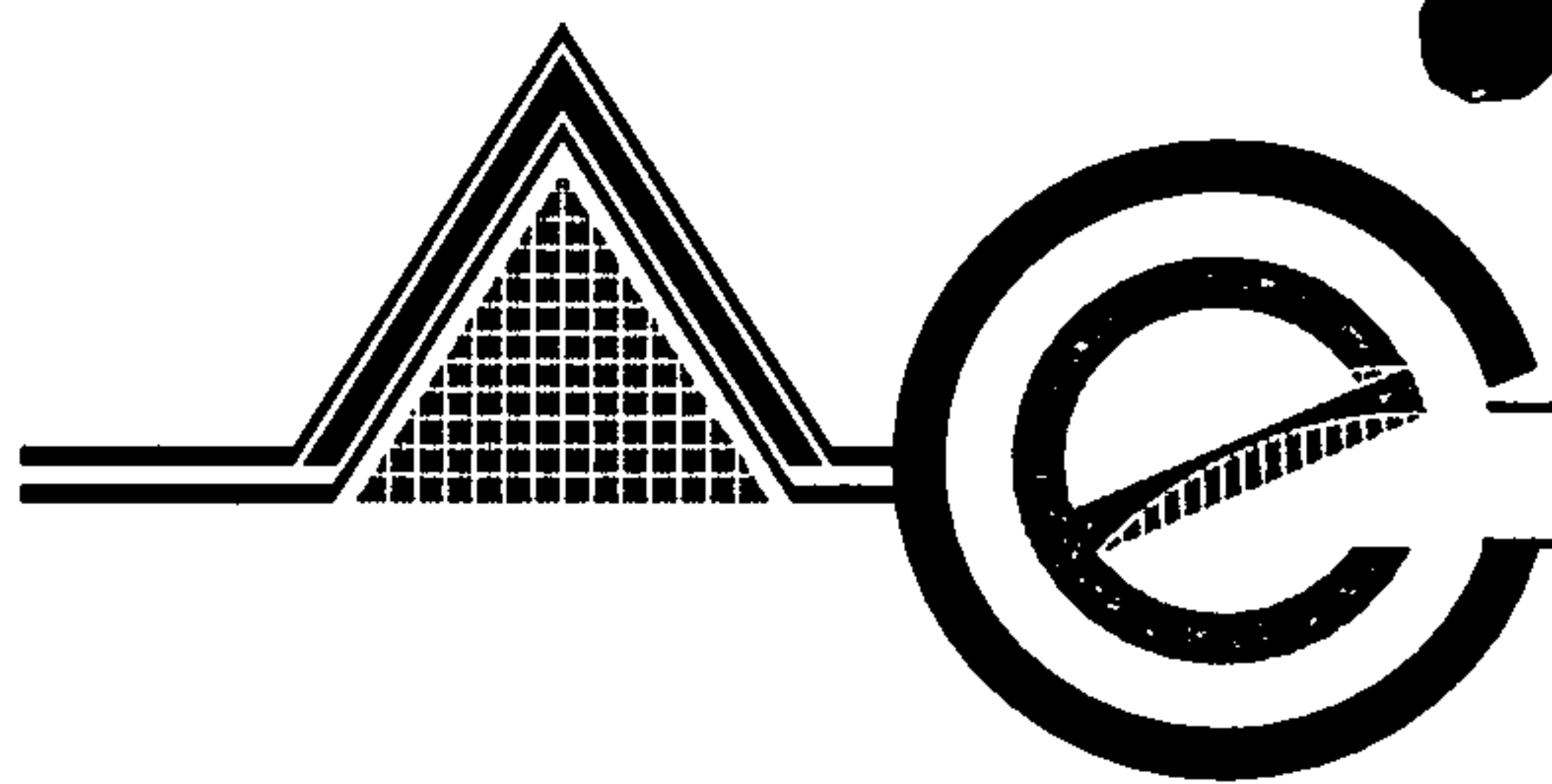
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500
Feet



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

October 17, 2006

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol, 2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Final Plat, Subdivision Design Variance, DRB Project # 1004240, Containing ± 4.6527
Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Ed Garcia, is requesting a Final Plat approval and Subdivision Design Variance on the above referenced site. Enclosed please find 6 copies of the Final Plat for your review. The site is located on Indian School Road, NW between Rio Grande Blvd., NW and Meadow View Drive, NW.

We are also requesting a subdivision design variance. The request is for a 29.26' access easement in lieu of a 47' Right of Way (ROW). Please find 6 copies of the exhibit for reference.

If you require additional information, please contact our office at your convenience.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606

FIGURE 12

SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B Modified Non-Work Order)
Project No. 791581

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 12th day of October, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Villas Las Mananitas Development, LLC, whose address is 8301 Lomas Blvd., NE Albuquerque NM 87110 and whose telephone number is 350-1625, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B, 89B2A, MRGCD MAP NO. 35 AND LOTS A-1, A-2 LANDS OF E. MAES, recorded on 08-19, 1999 in the records of the Bernalillo County Clerk at Volume C17, Folio 46 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:], Las Mananitas Development, LLC ("Owner"). Villas 84

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Las Mananitas Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 6th day of October, 2007 ("Construction Completion Deadline"), at no cost to the City.

Note: To compute the Construction Completion Deadline: the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.



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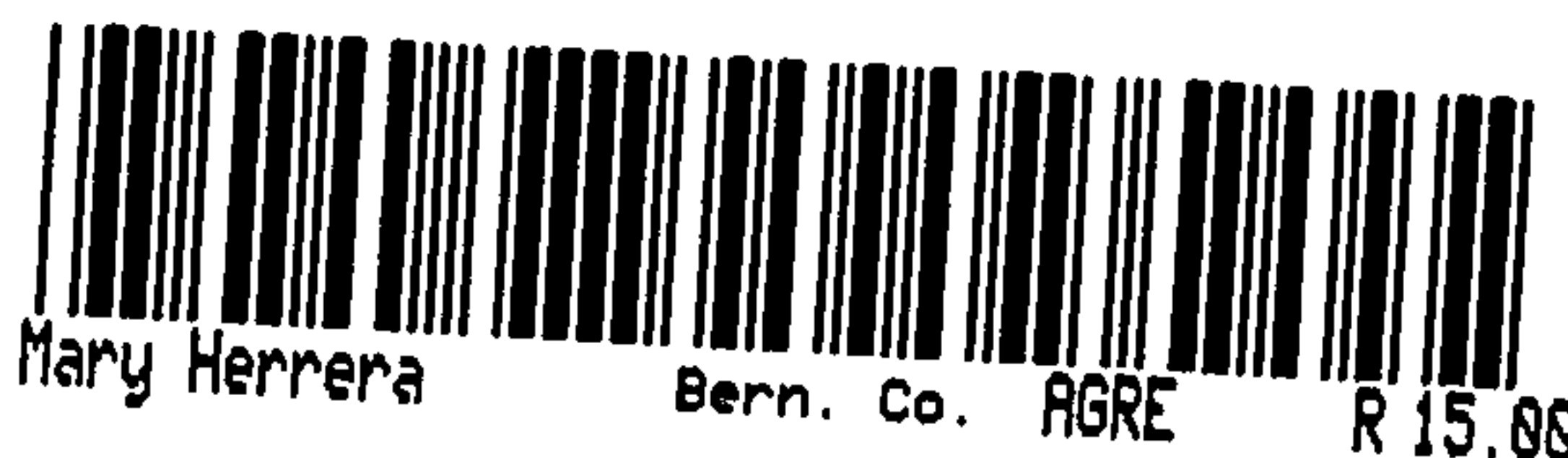
3. Financial Guaranty. The Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Loan Reserve Letter (2352) Dated 10-06-06
Amount: \$ 13, 330.73 Name of Financial Institution or Surety providing
Guaranty: First Community Bank
Date City first able to call Guaranty: 10-06-2007
[Construction Completion Deadline]: 10-06, 20 07
If Guarantee other than a Bond, last day City able to call on Guaranty
is: 12-06, 20 07
Additional information: _____

4. Completion, Acceptance and Termination. Upon completion of the required infrastructure, the Subdivider shall notify the City Engineer and the Design Review Section of Planning Department. After the City Engineer approves the construction, the City will promptly release this Agreement and the Financial Guaranty.

5. Indemnification. Until the Improvements are accepted by the City, The Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



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6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

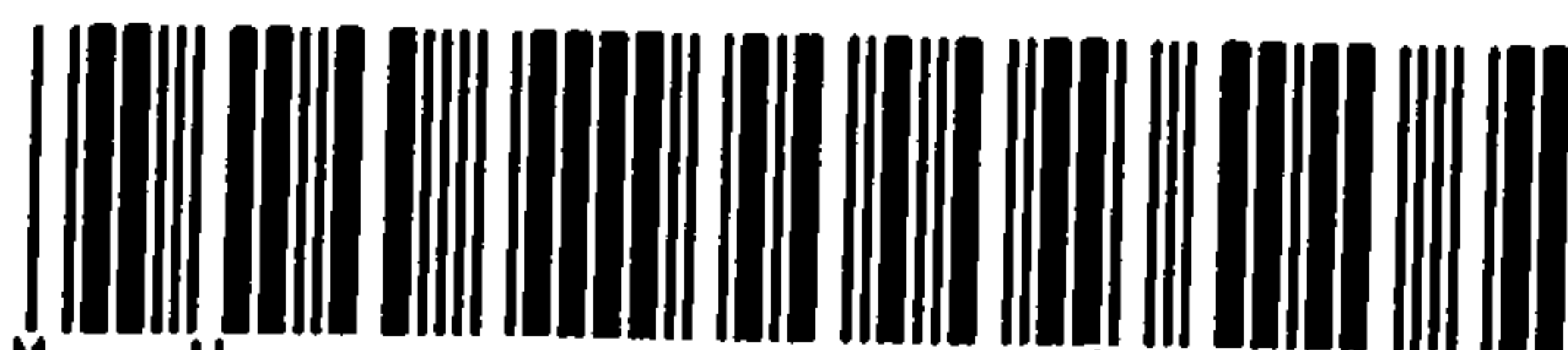
12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below



Maru Herrera

Bern Co AGRF

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RL-0125 DA-5050

Project Number: _____

FIGURE 12

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Las Mananitas Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A-1, A-2 Lands of E. Maes MRGCD Map No. 35

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 7/26/10

Date Site Plan Approved: NA

Date Preliminary Plat Approved: 7/26/06

Date Preliminary Plat Expires: 7/26/07

DRB Project No. 1004240

DRB Application No.: 06023

06023 00

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		Waterline							
		6"	Waterline PVC C-900	Mananitas Ln., NW	Rio Grande Blvd., NW	Meadow View Road NW	/	/	/
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Zickert Rd., NW	/	/	/
		6"	Waterline PVC C-900 Deferred Construction	Rio Grande Blvd., NW	Mananitas Ln., NW	Indian School Rd., NW	/	/	/
		Sanitary Sewer							
		8"	Sanitary Sewer Line SDR-35	Mananitas Ln., NW	Rio Grande Blvd., NW	End of Cul-de-sac Lot 5-P1	/	/	/
			4 Sanitary Sewer Services	Meadow View Road NW	Meadow View Road NW	Lots 13-P2, 14-P2, 15-P2 and 16-P2	/	/	/
		Paving							
		22' F-F	Residential Pavement C&G on Both Sides 6' Sidewalk on South Side Only	Mananitas Ln., NW	Cul-De-Sac Lot 12-P2	Rio Grande Blvd., NW	/	/	/
		22' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on South Side Only	Wilder Ln., NW	Meadow View Rd., NW	End of Easement Lots 13-P2/15-P2	/	/	/
		4'	Sidewalk on one side only (west only)	Meadow View Rd., NW	North Prop. Line Lot 14-P2	Indian School Rd., NW	/	/	/
		Storm Sewer							
		24"	Storm Sewer Pipe RCP	Mananitas Ln., NW	Rio Grande Blvd., NW	Lot 9-P2	/	/	/
			Remove Exist Drop Inlet and Abandon Lateral, Cap line at end	Lot 15-P2			/	/	/
		** Deferred Construction Items							

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Bike Lane Striping	Indian School	Rio Grande Blvd	Meadow View			
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature							City User Dept. Signature		Date

NOTES
 If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

10. Certification that perimeter walls have been installed ~~per~~ per DRB approved design shall be provided to city prior to release of fin. guarant.
- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required.
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include manholes and Service Connections as required
- 4 Residential Street Lights Per DPM, Sinage per DRC
- 5 Certified Grading and Drainage and Wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7 Perimeter Wall per DRB Approved Perimeer Wall Design
- 8 Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
- 9 Landscaping maintenance agreement required for landscaping in public right-of-way prior to release of financial Guarantee

AGENT / OWNER

Shawn Biazar, Managing Manager
 NAME (print)

Advanced Engineering and Consulting, LLC
 FIRM

Shawn Biazar 7-24-06
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/26/06
 DRB CHAIR - date

Christina Sandoval 7/26/06
 PARKS & RECREATION - date

[Signature] 7-26-06
 TRANSPORTATION DEVELOPMENT - date

[Signature] 7/26/06
 AMAFCA - date

William J. Pasch 7/26/06
 UTILITY DEVELOPMENT - date

[Signature] 7/26/06
 CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINANCIAL GUARANTY AMOUNT

09/08/2006

Type of Estimate: SIA Procedure - B - Modified Non-W.O.- w/F.G.

Project Description:

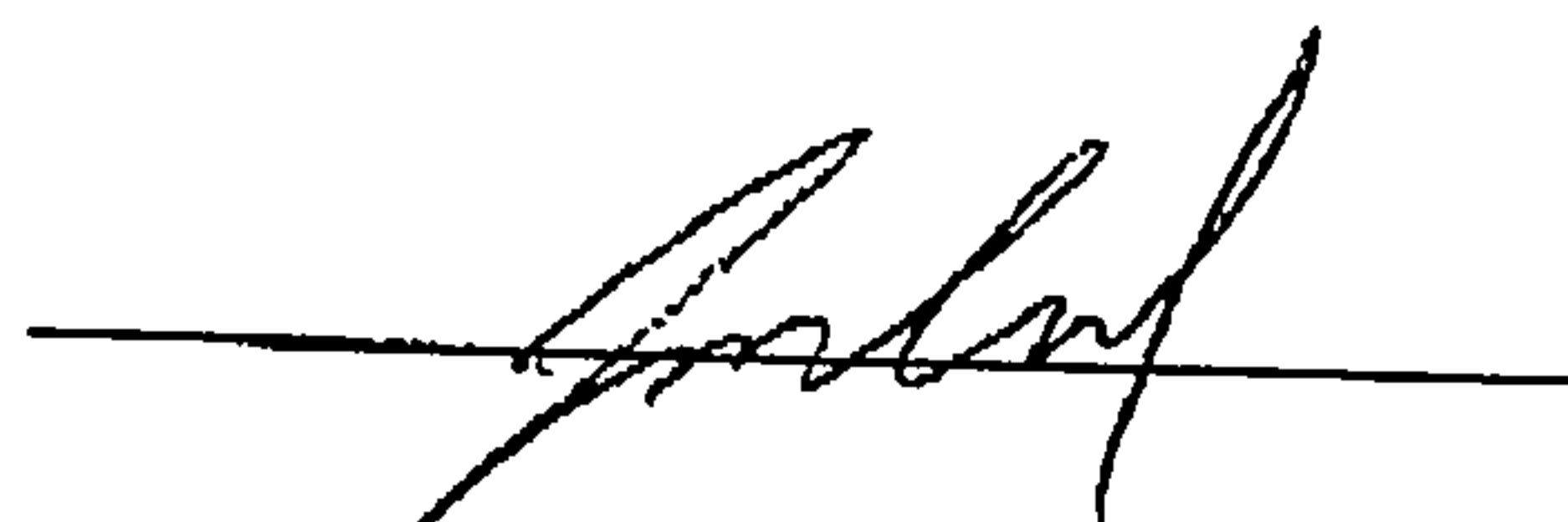
Project ID #: 791581, Las Mananitas Subdivision, Phase/Unit #: 1

Requested By: Shahram (Shawn) Biazar w/ Advanced Engineering & Const

Approved estimate amount:		\$6,583.02
Contingency Amount:	30.00%	\$1,974.91
Subtotal:		\$8,557.93
NMGRT	6.875%	\$588.36
Subtotal:		\$9,146.29
Engineering Fee	6.60%	\$603.66
Testing Fee	10.00%	\$914.63
Subtotal:		\$10,664.58
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$13,330.73</u>

APPROVAL:

DATE:



9-8-06

Notes: 30% contingency, plans not approved. This FG is for the deferred waterline in Rio Grande Blvd.



**FIRST
COMMUNITY
BANK**

October 6, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2352

RE: Loan Reserve for Villas Las Mananitas Development, LLC
City of Albuquerque, Project ID# 791581
Project Name: Las Mananitas Subdivision, Phase/Unit#: 1
Loan Reserve Amount: Thirteen Thousand Three Hundred
Thirty Dollars and 73/100, (\$13,330.73)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Villas Las Mananitas Development, LLC ("Borrower"), First Community Bank, ("Financial Institution") in Albuquerque, New Mexico, commits the sum of Thirteen Thousand Three Hundred Thirty Dollars and 73/100, (\$13,330.73) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Villas Las Mananitas Development, LLC, ("Subdivider") to provide for the installation of the improvements which must be constructed at Las Mananitas Subdivision, Phase/Unit#: 1, Project No. 791581 (Project"). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 10-12-06 in the records of the Clerk of Bun. County, New Mexico, in Book Misc. A125 at pages 5857 to 5859, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.

3. Draw on Reserve. If by October 6, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between October 6, 2007, and December 6, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's

check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
- B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or
- C. Expiration of the date December 6, 2007; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,

Chris Gibbon

Christopher C. Gibbon,
Sr. Vice President

ACCEPTED:

City of Albuquerque

By: *Patricia Roub*
Chief Administrative Officer
Or authorized designee

Title: *City Engineer*

Dated: *10-12-06*

WJ Pearlman

10-9-06

No. of Lots: Seventeen
Nearest Major Streets
Indian School and Rio Grande

FIGURE 12

**SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)**

**AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS**

THIS AGREEMENT is made this 12th day of October, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Las Mananitas Development, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A New Mexico Corporation, whose address is 8301 Lomas Blvd., NE, Albuquerque, NM 87110 and whose telephone number is 350-1625, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B, 89B2A, MRGCD MAP NO. 35, AND LOTS A-1, A-2 LANDS OF E. MAES, recorded on 8-19, 19 80 in the records of the Bernalillo County Clerk at Volume C17, Folio 46 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Las Mananitas Development, LLC ("Owner").
Villas 46

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Las Mananitas Subdivision describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 6th day of October, 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 791581.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insureds. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

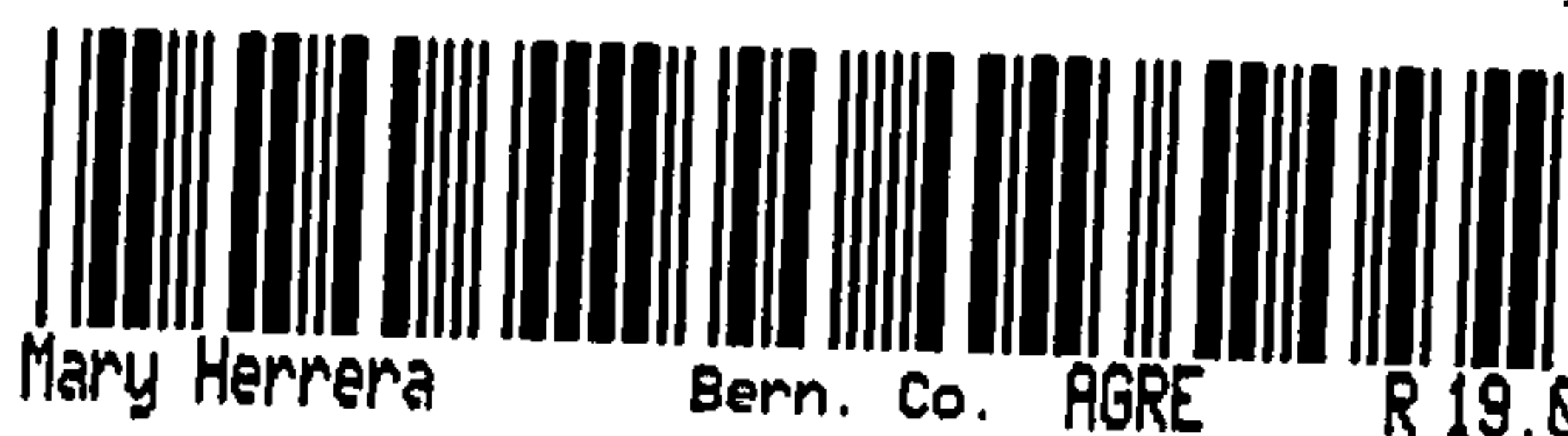
<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Advanced Engineering and Consulting, LLC, and construction surveying of the private Improvements shall be performed by Advanced Engineering and Consulting, LLC. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Advanced Engineering and Consulting, LLC, and inspection of the private Improvements shall be performed by Advanced Engineering and Consulting, LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results,



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reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vinyard & Associates, Inc., and field testing of the private Improvements shall be performed by Vinyard & Associates, Inc., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

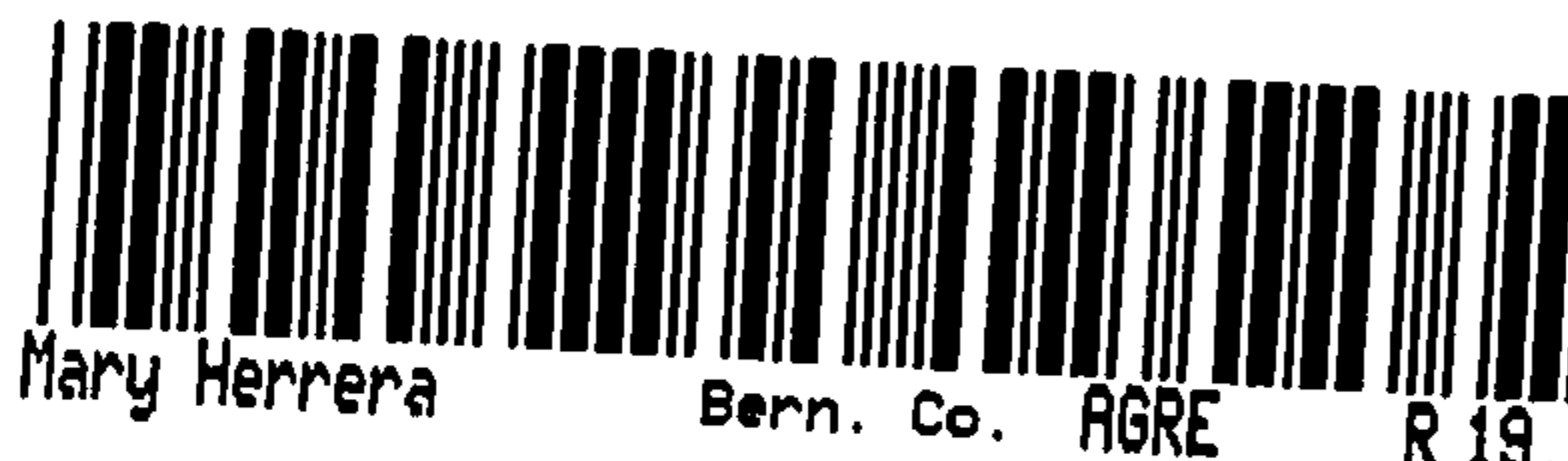
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Loan Reserve Letter (2350), Dated 10-06-06
Amount: \$ 225,010.39 Name of Financial Institution or Surety
providing Guaranty: First Community Bank
Date City first able to call Guaranty: 10-06-2007
[Construction Completion Deadline]: 10-06, 2007
If Guaranty other than a Bond, last day City able to call Guaranty is:
12-06, 2007
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



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8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

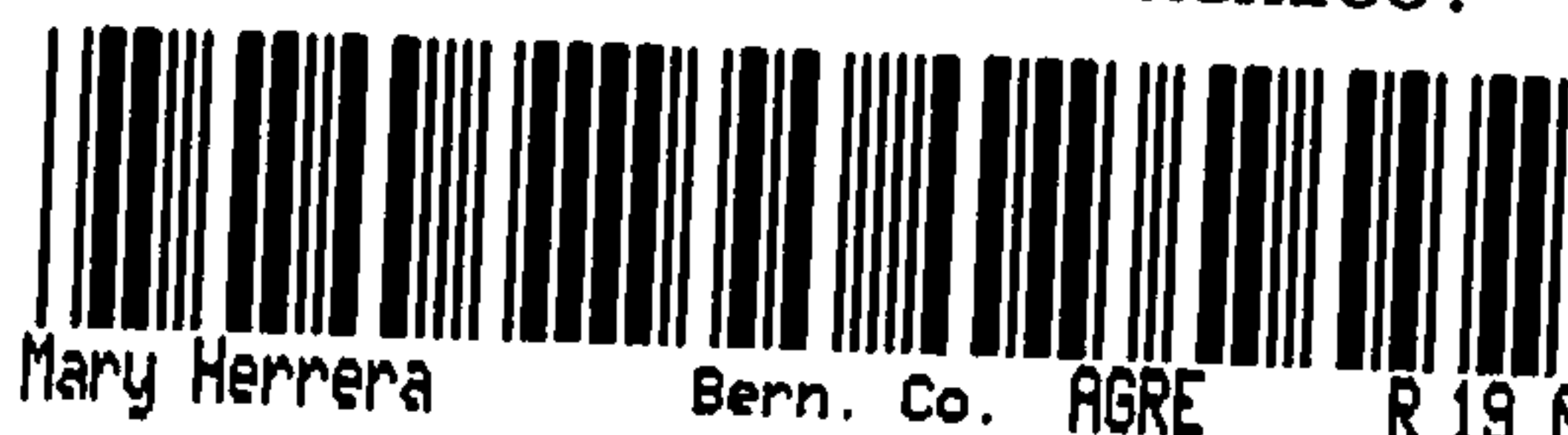
(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

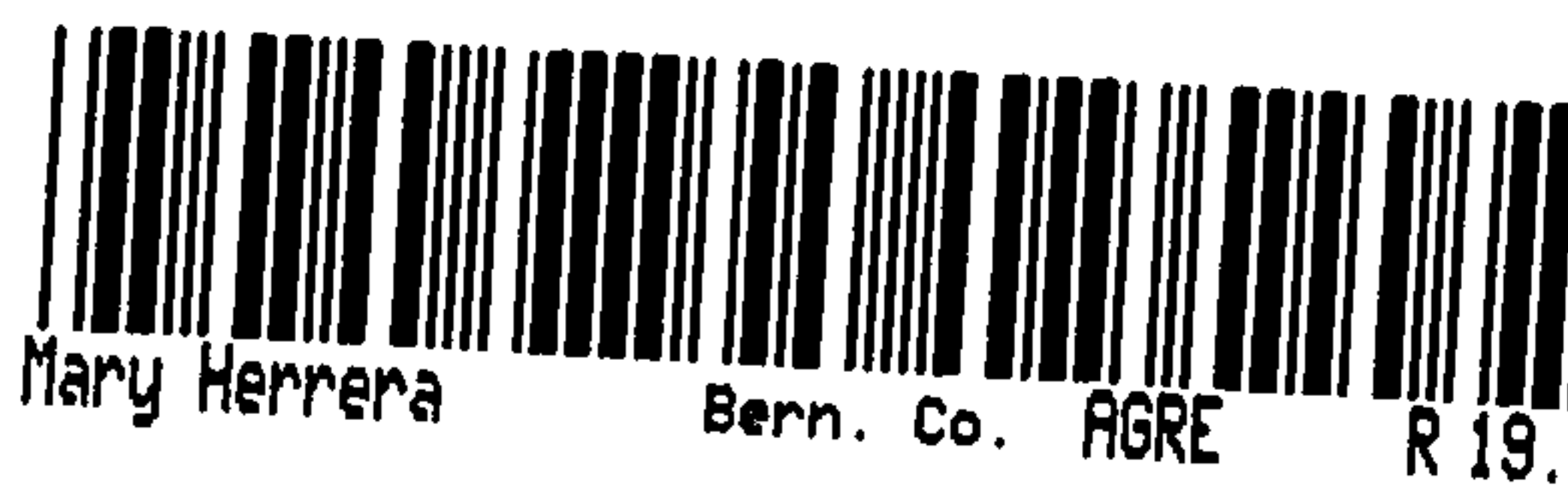
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Las Mananitas Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A-1, A-2 Lands of E. Maes MRGCD Map No. 35

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: 7/26/10
 Date Site Plan Approved: NA
 Date Preliminary Plat Approved: 7/26/06
 Date Preliminary Plat Expires: 7/26/07
 DRB Project No.: 1004240
 DRB Application No.: 06DRB
06DRB

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Inspector	Private P.E.	City Cnst Engineer	
		Waterline								
		6"	Waterline PVC C-900	Mananitas Ln., NW	Rio Grande Blvd., NW	Meadow View Road NW	/	/	/	
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Zickert Rd., NW	/	/	/	
		6"	Waterline PVC C-900 Deferred Construction	Rio Grande Blvd., NW	Mananitas Ln., NW	Indian School Rd., NW	/	/	/	
		Sanitary Sewer								
		8"	Sanitary Sewer Line SDR-35	Mananitas Ln., NW	Rio Grande Blvd., NW	End of Cul-de-sac Lot 5-P1	/	/	/	
			4 Sanitary Sewer Services	Meadow View Road NW	Meadow View Road NW	Lots 13-P2, 14-P2, 15-P2 and 16-P2	/	/	/	
		Paving								
		22' F-F	Residential Pavement C&G on Both Sides 6' Sidewalk on South Side Only	Mananitas Ln., NW	Cul-De-Sac Lot 12-P2	Rio Grande Blvd., NW	/	/	/	
		22' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on South Side Only	Wilder Ln., NW	Meadow View Rd., NW	End of Easement Lots 13-P2/15-P2	/	/	/	
		4'	Sidewalk on one side only (west only)	Meadow View Rd., NW	North Prop. Line Lot 14-P2	Indian School Rd., NW	/	/	/	
		Storm Sewer								
		24"	Storm Sewer Pipe RCP	Mananitas Ln., NW	Rio Grande Blvd., NW	Lot 9-P2	/	/	/	
			Remove Exist Drop Inlet and Abandon Lateral, Cap line at end	Lot 15-P2			/	/	/	
		** Deferred Construction Items								

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cust Engineer		
			Bike Lane Striping	Indian School	Rio Grande Blvd	Meadow View					
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

NOTES
 If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

10. Certification that perimeter walls have been installed ~~per~~ per DRB approved design shall be provided to city prior to release of fin. guaran.
1. Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required.
2. Catch Basin and Manholes Connection Included with Storm Sewer Pipe
3. Sanitary Sewer to Include manholes and Service Connections as required
4. Residential Street Lights Per DPM, Sinage per DRC
5. Certified Grading and Drainage and Wall for SIA/Financial Release
6. Sidewalks which front the lots will be deferred and built during the construction of the individual houses
7. Perimeter Wall per DRB Approved Perimeter Wall Design
8. Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
9. Landscaping maintenance agreement required for landscaping in public right-of-way prior to release of financial Guarantee

AGENT / OWNER

Shawn Biazar, Managing Manager
 NAME (print)

Advanced Engineering and Consulting, LLC
 FIRM

[Signature] 7-24-06
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/24/06
 DRB CHAIR - date

[Signature] 7/26/06
 PARKS & RECREATION - date

[Signature] 7-26-06
 TRANSPORTATION DEVELOPMENT - date

[Signature] 7/26/06
 AMAFCA - date

[Signature] 7/26/06
 UTILITY DEVELOPMENT - date

[Signature] 7/26/06
 CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINANCIAL GUARANTY AMOUNT

09/08/2006

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

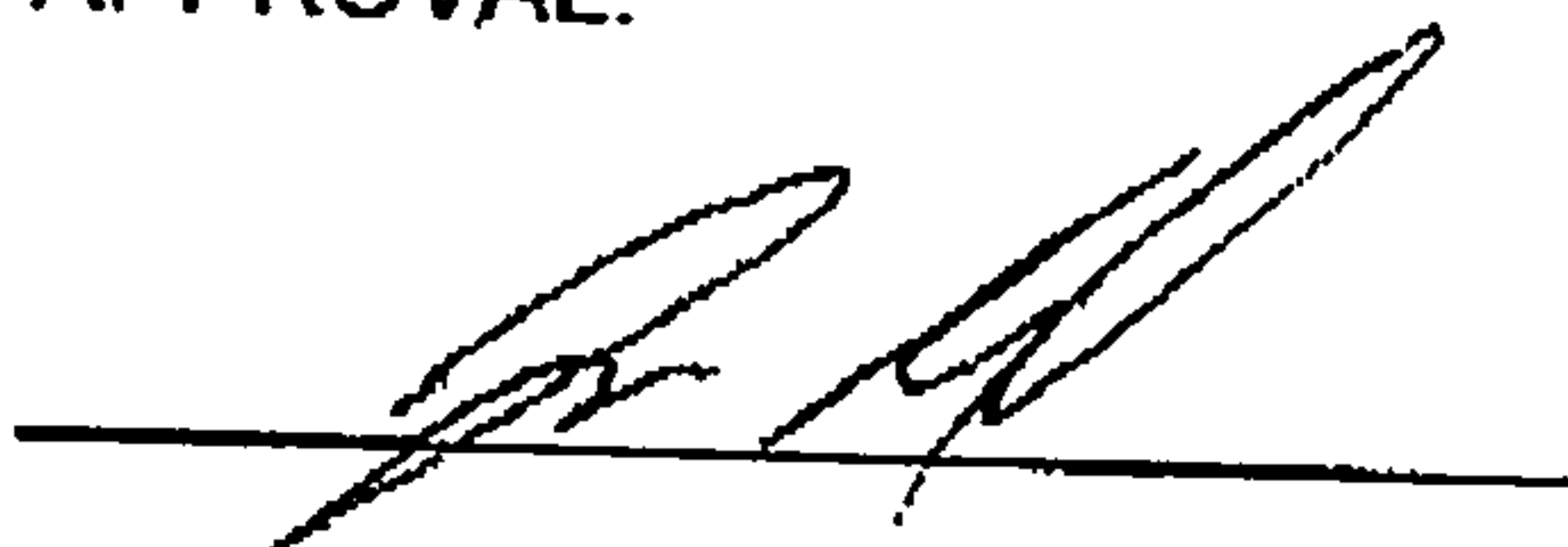
Project ID #: 791581, Las Mananitas Subdivision, Phase/Unit #: 1

Requested By: Shahram (Shawn) Biazar w/ Advanced Engineering & Const

Approved estimate amount:		\$140,991.81
Contingency Amount:	10.00%	\$14,099.18
Subtotal:		\$155,090.99
NMGRT	6.875%	\$10,662.51
Subtotal:		\$165,753.50
Engineering Fee	6.60%	\$10,939.73
Testing Fee	2.00%	\$3,315.07
Subtotal:		\$180,008.31
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$225,010.39</u>

APPROVAL:

DATE:



9-8-06

Notes: 10% contingency plans not approved. Grading & drainage Cert prior to release of FG. Perimeter wall Cert prior to release of FG. Landscape maint agree for landscaping in ROW prior to release FG.



October 6, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2350

RE: Loan Reserve for Villas Las Mananitas Development, LLC
City of Albuquerque, Project ID# 791581
Project Name: Las Mananitas Subdivision, Phase/Unit#: 1
Loan Reserve Amount: Two Hundred Twenty Five Thousand
Ten Dollars and 39/100, (\$225,010.39)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Villas Las Mananitas Development, LLC ("Borrower"), First Community Bank, ("Financial Institution") in Albuquerque, New Mexico, commits the sum of Two Hundred Twenty Five Thousand Ten Dollars and 39/100, (\$225,010.39) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Villas Las Mananitas Development, LLC, ("Subdivider") to provide for the installation of the improvements which must be constructed at Las Mananitas Subdivision, Phase/Unit#: 1, Project No.791581 (Project"). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider which was recorded on *10-12-06* in the records of the Clerk of *Bun* County, New Mexico, in Book Misc. *A125* at pages *5858* to *5858*, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.

3. Draw on Reserve. If by October 6, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between October 6, 2007, and December 6, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
- B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or
- C. Expiration of the date December 6, 2007; or
- D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,

CHRIS GIBBON

Christopher C. Gibbon,
Sr. Vice President

ACCEPTED:

City of Albuquerque

By: *[Signature]*
Chief Administrative Officer
Or authorized designee

Title: *City Engineer*

Dated: *10-9-06*

[Signature]

[Signature]
10-9-06

FIGURE 19
SIDEWALK DEFERRAL AGREEMENT

PROJECT NO. 791581

THIS AGREEMENT is made this 12th day of October, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P.O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103 and Villas Las Mananitas Development, LLC ("Developer"), whose address is 8301 Lomas Blvd., NE Albuquerque, NM 87110 and whose telephone number is (505) 350-1625, a (state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.): Villas Las Mananitas Development, LLC, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

WHEREAS, the Developer is developing certain lands within the City of Albuquerque, County of Bernalillo, State of New Mexico, known as (existing legal description) Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B, 89B2A, MRGCD MAP NO. 35, AND LOTS A-1, A-2 LANDS OF E. MAES (the "Subdivision"); and

WHEREAS, the Developer has submitted and the City has approved Developer's development plans and (state "preliminary" or "final":) Preliminary plat, to be identified as (state name of Plat:) Las Mananitas Subdivision; and

WHEREAS, Developer has requested and the City has determined that it is acceptable for the Developer to defer construction of the sidewalks within the Subdivision until after construction of other required infrastructure; and

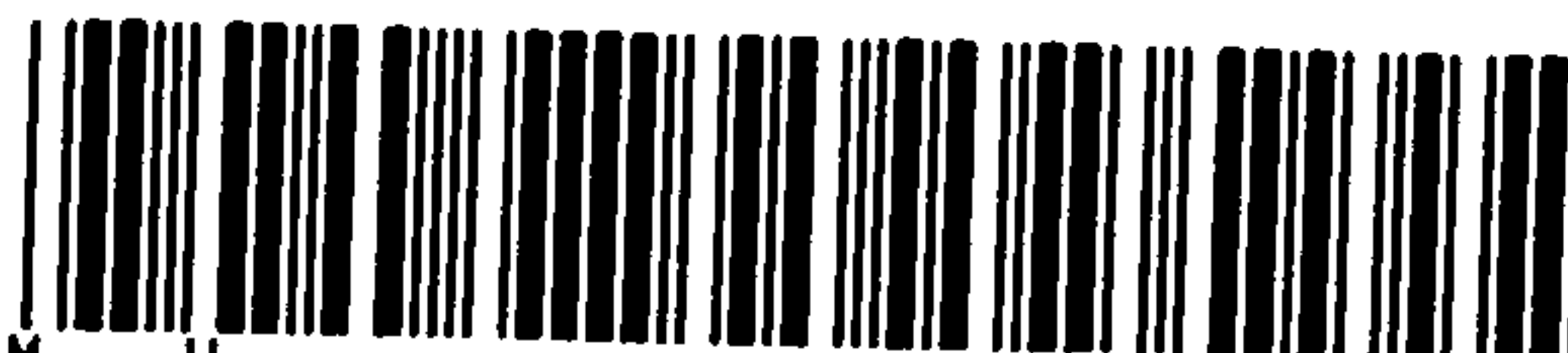
WHEREAS, the Subdivision Ordinance requires all sidewalks to be completed within four (4) years after execution of the Agreement to Construct Subdivision Improvements; and

WHEREAS, the Developer must execute and deliver to the City an Agreement and an acceptable financial guaranty to provide funds for construction of the sidewalk improvements in case the Developer does not complete the construction as required.

THEREFORE, the City and the Developer agree:

1.A. Sidewalk Construction Deadline. Developer has obtained a sidewalk deferral, as shown in the attached Exhibit "A", which is a copy of the Development Review Board's decision regarding the deferral granted. Developer agrees to utilize the City's sidewalk permit process and complete the sidewalk to the satisfaction of the City by October 6, 2007 ("Sidewalk Construction Deadline").

B. Request for Extension. If this Sidewalk Deferral Agreement establishes a Sidewalk Construction Deadline which is less than four (4) years after execution of the Subdivision Improvements Agreement, the Developer may request an extension from the Project Review Section for an additional period of time, which shall not exceed a total of four years after execution of the Subdivision Improvements Agreement. The form of the Financial Guaranty extension and the amount must be approved by the City, but shall not exceed 125% of the City's estimate of the cost of construction at the time Developer requests an extension. If the Developer will need more than four (4) years after execution of the Subdivision Improvements Agreement to construct the sidewalks, the Developer must request and obtain an extension from the Development Review Board and submit the required documentation to the Design Review Section before expiration of the four (4) years.





2. Financial Guaranty. Developer will provide a financial guaranty in an amount of not less than 125% of the cost of constructing the sidewalk improvements within the Subdivision, as determined by the City. The financial guaranty must be irrevocable and may be in the form of a City-approved bond, letter of credit, escrow deposit or loan reserve letter issued by a federally insured financial institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Sidewalk Construction Deadline. To meet the Subdivision Ordinance requirements, the Developer has provided the following "Financial Guaranty":

Type of Financial Guaranty: Loan Reserve (2351) Dated 10-06-06
Amount: \$ 11,655.28 Name of Financial Institution or Surety providing Guaranty: First Community Bank
Date City first able to call Guaranty (Sidewalk Construction Deadline): October 06, 20 07.
If Guaranty other than a Bond, last day City able to call Guaranty is: December 06, 20 07.
Additional Information: _____

3. Completion, Acceptance and Release. The Developer shall report completion of sidewalk construction in writing to the City. The City shall inspect the sidewalks to verify completion. Upon acceptance of the improvements, the City shall promptly release the financial guaranty and Sidewalk Deferral Agreement.

4. Conveyance of Property Rights. When the sidewalks have been constructed, if the City does not own the real property upon which the sidewalks are constructed, the Developer shall convey to the City the real property rights required by the City together with the improvements, free and clear of all claims, encumbrances and liens, before the City will release the Financial Guaranty and Sidewalk Variance Agreement. Conveyance may be by dedication on the final plat of the Subdivision.

5. Indemnification. Until the sidewalks are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the sidewalks are being constructed in a safe condition. The Developer agrees to defend, indemnify and hold harmless the City and its officers, agents and employees from and against all suits, actions or claims of any kind brought because of any injury or damage arising out of the design or construction of the sidewalks, or by reason of any act, omission or misconduct of the Developer, its agents or employees. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico. Provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the City, or the agents or employees of the City; or (2) the giving of or the failure to give directions or instructions by the City, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

6. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Developer and the express written concurrence of financial institution or surety which has undertaken to guaranty the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

7. Release. If the subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has posted a suitable financial guaranty and entered into a Sidewalk Improvements Agreement with the City. Thereafter, when the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the sidewalks by the Construction Completion Deadline, the City may construct or cause the sidewalks to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Developer shall be liable to, and shall pay the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Subdivision for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and its heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changes. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Developer signing below is not the Owner of the Subdivision, the owner must provide a Power of Attorney or other evidence of authority to execute this Agreement which is acceptable to the City.



Mary Herrera

Bern. Co. AGRE

R 15.00

2006156272

6543836

Page: 3 of 4

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EXHIBIT "A"

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 26, 2006

5. Project # 1004240

06DRB-00890 Major-Preliminary Plat Approval
06DRB-00891 Minor-Sidewalk Waiver
06DRB-00892 Minor-Temp Defer SDWK
06DRB-00893 Minor-Vacation of Private Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for VILLAS LAS MANANITAS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lot(s) A-1 and A-2, LANDS OF E. MAS (to be known as **VILLAS LAS MANANITAS SUBDIVISION**, zoned SU-1 FOR C-1 AND R-1, located on INDIAN SCHOOL RD NW between the ALAMEDA DRAIN AND RIO GRANDE BLVD NW containing approximately 5 acres. [REF: 05DRB-00918] [Deferred from 7/12/06] (H-13)

At the July 26, 2006, Development Review Board meeting, with the signing of the infrastructure list dated 7/26/06 and approval of the grading plan engineer stamp dated 6/6/06 the preliminary plat was approved with the following conditions of final plat:

Landscaping must be shown on a revised wall design prior to final plat.

All lots must meet the minimum 5,000 square foot lot size.

If the final plat is approved after 10/31/06 the subdivider must comply with City Council Resolution R-06-74 regarding Pre-Development Facility Fee Agreements with the Albuquerque Public Schools (APS).

All lots shall have P-2 designations.

A subdivision design variance needs to be applied for before or concurrent with the final plat application.

Need easements or dedication along Rio Grande Boulevard north of the existing historic building.

The easements along Mananitas Lane NW must be wider.

A sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.



OFFICIAL NOTICE OF DECISION

PAGE 3

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Cc: Villas Las Mananitas Development LLC, 8301 Lomas Blvd NE, 87110
Advanced Engineering & Consulting LLC, 4416 Anaheim Ave NE, 87113
Consensus Planning, 302 8th St NW, 87102
Garcia Investments, 8301 Lomas Blvd NE, 87110
William C Herring, 3104 Coca Rd NW, 87104
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

FINANCIAL GUARANTY AMOUNT

09/08/2006

Type of Estimate: Sidewalk Deferral

Project Description:

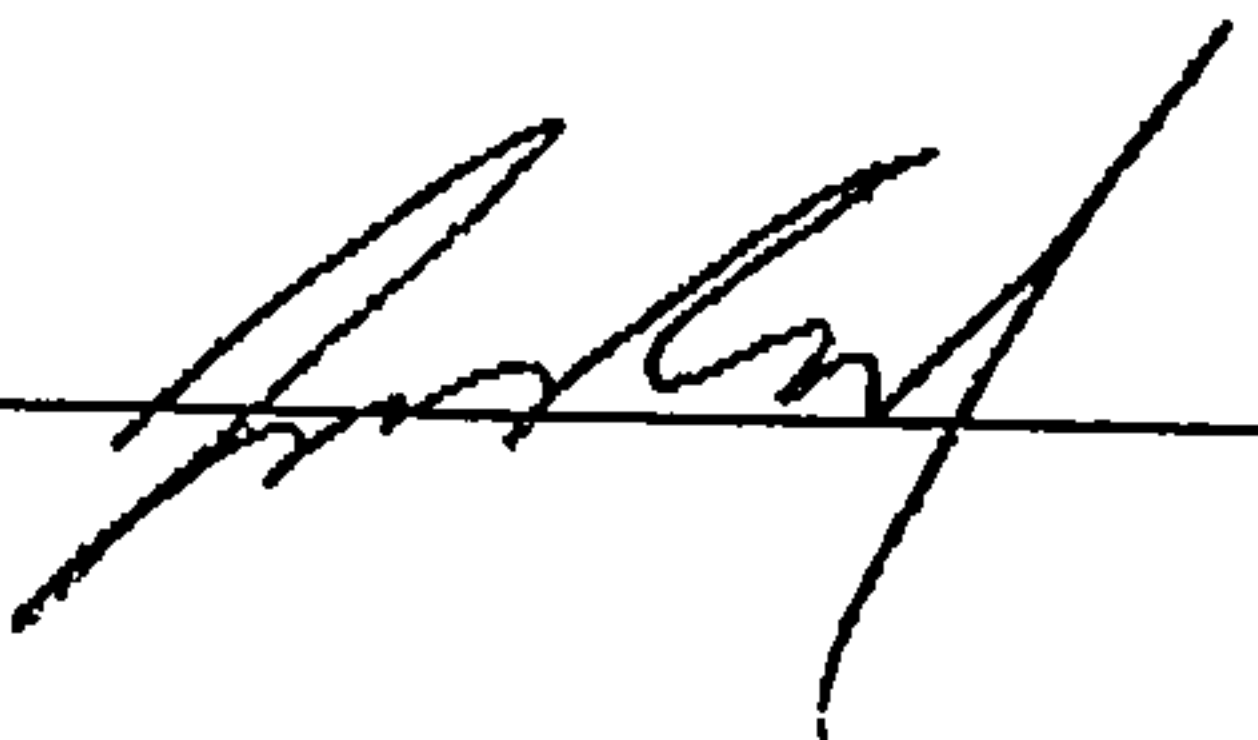
Project ID #: 791581, Las Mananitas Subdivision, Phase/Unit #: 1

Requested By: Shahram (Shawn) Biazar w/ Advanced Engineering & Consulting

Approved estimate amount:		\$8,724.42
NMGRT	6.875%	\$599.80
Subtotal:		\$9,324.22
125% FINANCIAL GUARANTY RATE		1.25
TOTAL FINANCIAL GUARANTY REQUIRED		\$11,655.28

APPROVAL:

DATE:



 Notes:

9-8-06



**FIRST
COMMUNITY
BANK**

October 6, 2006

Bruce J. Pearlman, PhD
Chief Administrative Officer
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

LOAN RESERVE LETTER No. 2351

RE: Loan Reserve for Villas Las Mananitas Development, LLC
City of Albuquerque, Project ID# 791581
Project Name: Las Mananitas Subdivision, Phase/Unit#: 1
Loan Reserve Amount: Eleven Thousand Six Hundred Fifty
Five Dollars and 28/100, (\$11,655.28)

Dear Dr. Pearlman:

This is to advise the City of Albuquerque ("City") that, at the request of Villas Las Mananitas Development, LLC ("Borrower"), First Community Bank, ("Financial Institution") in Albuquerque, New Mexico, commits the sum of Eleven Thousand Six Hundred Fifty Five Dollars and 28/100, (\$11,655.28) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires Villas Las Mananitas Development, LLC, ("Subdivider") to provide for the installation of the improvements which must be constructed at Las Mananitas Subdivision, Phase/Unit#: 1, Project No. 791581 (Project). The Amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 10/12/06 in the records of the Clerk of Bern County, New Mexico, in Book Misc. A125 at pages 5860 to 5860, ("Agreement").

1. Reduction of Commitment. If the City Engineer, or that person's authorized designee, determines that it is appropriate to release a specified amount of the Loan Reserve as the result of the Subdivider's construction of a portion of the required infrastructure, then the City Engineer, or that person's authorized designee, may execute an "Authorization to Reduce" which will authorize the Financial Institution to release a specified amount from the Loan Reserve.

The Authorization to Reduce will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Reduce, which has been signed by the City, the Financial Institution may reduce the Loan Reserve to the Reduced Loan Reserve Balance.

2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the Loan Reserve, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the Loan Reserve established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the Loan Reserve as provided in Section 4 herein.

3. Draw on Reserve. If by October 6, 2007, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between October 6, 2007, and December 6, 2007, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the Loan Reserves cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's

Bruce J. Pearlman, PhD

October 6, 2006

Page 3

check promptly to the City.

4. Termination of Reserve. This Loan Reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:

A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or

B. City delivery of the Demand for Payment and the Financial Institution's payment to the City of cashier's check as required in Section 3 herein; or

C. Expiration of the date December 6, 2007; or

D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,

Chris Gibbon

Christopher C. Gibbon,
Sr. Vice President

ACCEPTED:

City of Albuquerque

By: *[Signature]*

Chief Administrative Officer
Or authorized designee

Title: *City Engineer*

Dated: *10-18-06*

Use 10/18/06

10-9-06

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Villas Las Mananitas Development LLC
AGENT Advanced Engineering and Consulting LLC
ADDRESS 4416 Anaheim Ave N.E.
PROJECT & APP # 1004240 / 06 DRB-01524, 06 DRB-~~01524~~ 01525
PROJECT NAME Villas Las Mananitas Development LLC

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

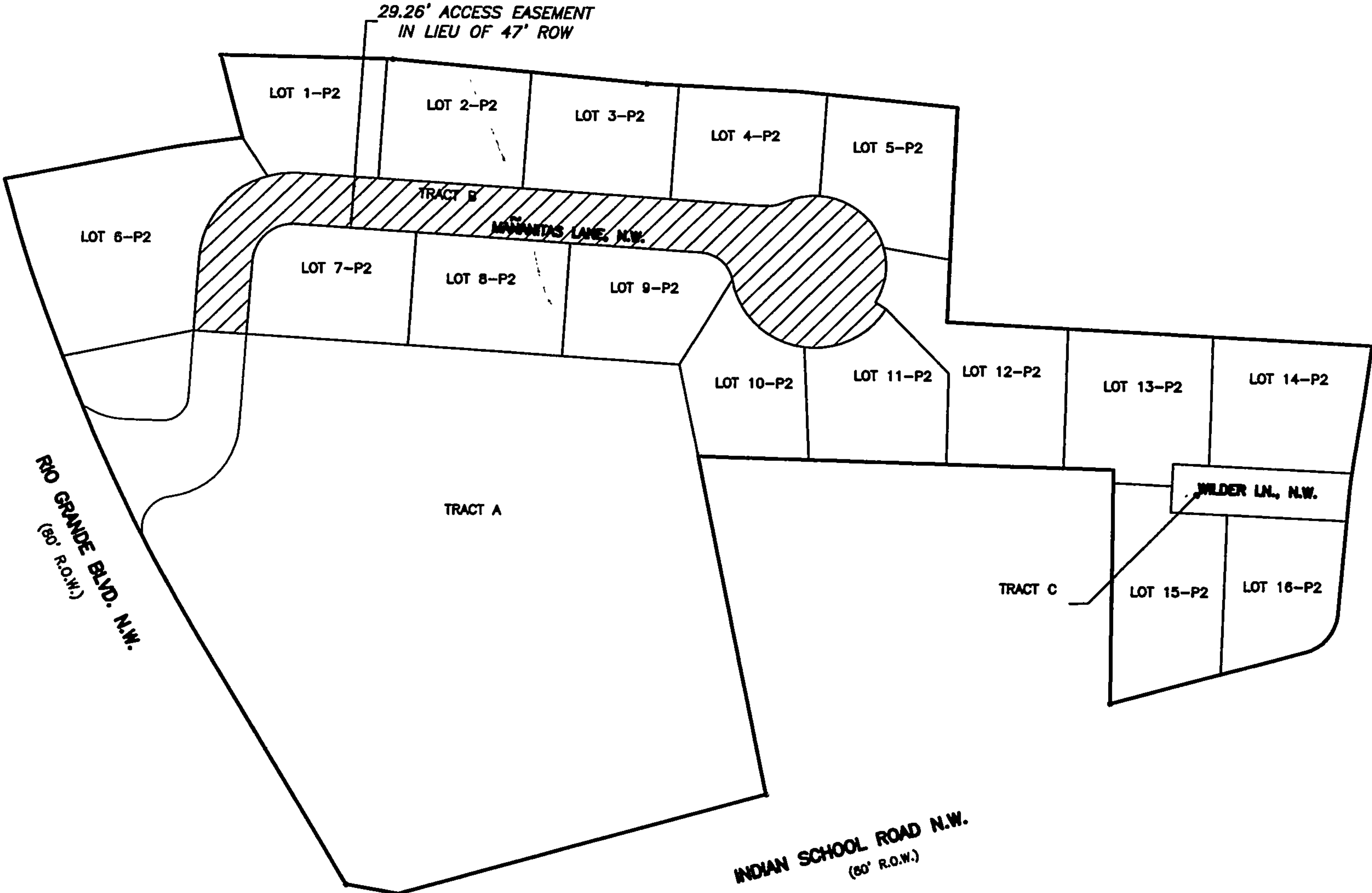
\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City of Albuquerque
Treasury Division

10/17/2006 12:24PM LOC: AMB
X
RECEIPT# 00070261 WSH 007 TRANS# 0013
Account 441032 Fund 0110
Activity 3424000 TRSURE
Trans Amt \$20.00
J24 Misc \$20.00
VI \$20.00
CHANGE \$0.00

29.6' ROAD VARIANCE EXHIBIT FOR VILLAS LAS MAÑANITAS DRB-1004240



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

#5

ORIGINAL

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Las Mananitas Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A-1, A-2 Lands of E. Maes MRGCD Map No. 35

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the owner's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		Waterline							
		6"	Waterline PVC C-900	Mananitas Ln., NW	Rio Grande Blvd., NW	Meadow View Road NW	/	/	/
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Zickert Rd., NW	/	/	/
		6"	Waterline PVC C-900 Deferred Construction	Rio Grande Blvd., NW	Mananitas Ln., NW	Indian School Rd., NW	/	/	/
		Sanitary Sewer							
		8"	Sanitary Sewer Line SDR-35	Mananitas Ln., NW	Rio Grande Blvd., NW	End of Cul-de-sac Lot 5-P1	/	/	/
			4 Sanitary Sewer Services	Meadow View Road NW	Meadow View Road NW	Lots 13-P2, 14-P2, 15-P2 and 16-P2	/	/	/
		Paving							
		22' F-F	Residential Pavement C&G on Both Sides 6' Sidewalk on South Side Only	Mananitas Ln., NW	Cul-De-Sac Lot 12-P2	Rio Grande Blvd., NW	/	/	/
		22' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on South Side Only	Wilder Ln., NW	Meadow View Rd., NW	End of Easement Lots 13-P2/15-P2	/	/	/
		4'	Sidewalk on one side only (west only)	Meadow View Rd., NW	North Prop. Line Lot 14-P2	Indian School Rd., NW	/	/	/
		Storm Sewer							
		24"	Storm Sewer Pipe RCP	Mananitas Ln., NW	Rio Grande Blvd., NW	Lot 9-P2	/	/	/
			Remove Exist Drop Inlet and Abandon Lateral, Cap line at end	Lot 15-P2			/	/	/
		** Deferred Construction Items							

ORIGINAL

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private	Inspector	P.E.
Bike Lane Striping Indian School Rio Grande Blvd Meadow View									
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature . Date							City User Dept. Signature . Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

10. Certification that perimeter walls have been installed ^{Street lights per City requirements.} ~~per~~ DRB approved design shall be provided to city prior to release of fin. guarantee
- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required.
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include manholes and Service Connections as required
- 4 Residential Street Lights Per DPM, Sinage per DRC
- 5 Certified Grading and Drainage and Wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7 Perimeter Wall per DRB Approved Perimeer Wall Design
- 8 Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
- 9 Landscaping maintenance agreement required for landscaping in public right-of-way prior to release of financial Guarantees.

AGENT / OWNER

Shawn Biazar, Managing Manager
NAME (print)

Advanced Engineering and Consulting, LLC
FIRM

[Signature] 7-24-06
SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 7/26/06
DRB CHAIR - date

[Signature] 7/26/06
PARKS & RECREATION - date

[Signature] 7-26-06
TRANSPORTATION DEVELOPMENT - date

[Signature] 7/26/06
AMAFCA - date

[Signature] 7/26/06
UTILITY DEVELOPMENT - date

[Signature] 7/26/06
CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME VILLAS LAS MANANITAS DEVELOPMENT LLC
AGENT ADVANCED ENGINEERING & CONSULTING
ADDRESS _____
PROJECT & APP # 1004240/06DRB00890, 00891, 00892, 00893
PROJECT NAME VILLAS LAS MANANITAS SUBDIVISION

\$ _____ 441032/3424000 Conflict Management Fee
\$ 110.⁰⁰ 441006/4983000 DRB Actions DEFERRAL \$5
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 110.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

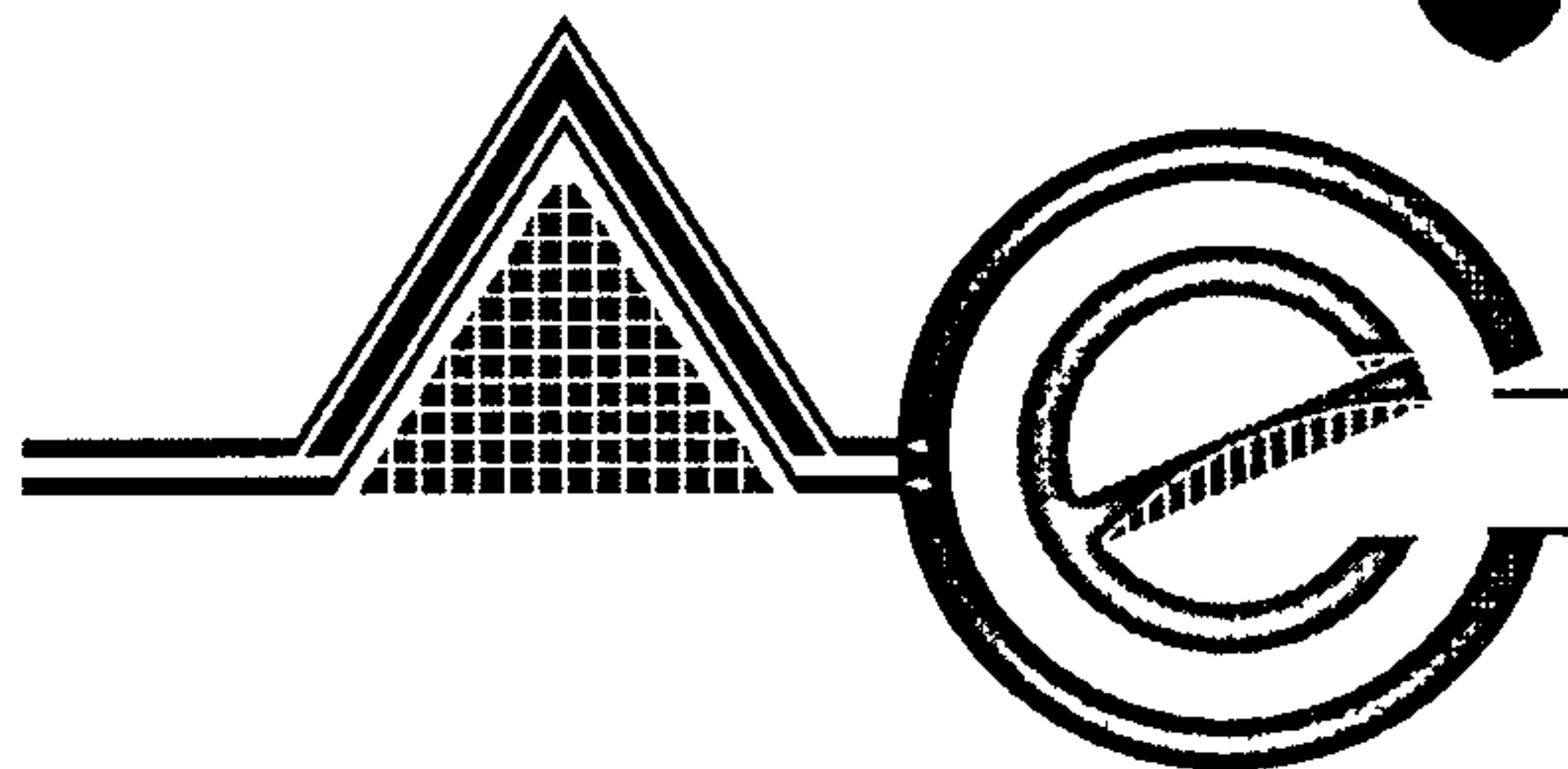
City of Albuquerque
Treasury Division

7/25/2006 3:43PM LOC: AMX
RECEIPT# 00041873 US# 008 TRANS# 0546
Account 441006 Fund 0110
Activity 4983000 TRSCX
Trans Amt \$110.00
024 Misc

\$110.00

VI \$110.00
CHANGE \$0.00

Thank You



ADVANCED ENGINEERING and CONSULTING, LLC

July 24, 2006

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Villa Las Mananitas Subdivision, DRB Project # 1004240, Containing \pm 4.6527 Acres,
Zone Atlas Page H-13-Z

Dear Ms. Matson:

Attached please find the revised copies of the plat, master utility plan, road cross sections, and the garden wall, including a picture for the Villa Las Mananitas Subdivision. Also, for the north side of Wilder Lane, we are requesting a sidewalk design variance and a temporary deferral of construction of the sidewalks, as well as for Mananitas Lane.

Please contact me if you require additional information.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606

*** TX REPORT ***

3
3
3

TRANSMISSION OK

TX/RX NO 0586
CONNECTION TEL 9p8425495
SUBADDRESS
CONNECTION ID
ST. TIME 07/25 12:56
USAGE T 01'02
PGS. 3
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: Jim Groger

FAX NUMBER: 842-5495 # PAGES 3

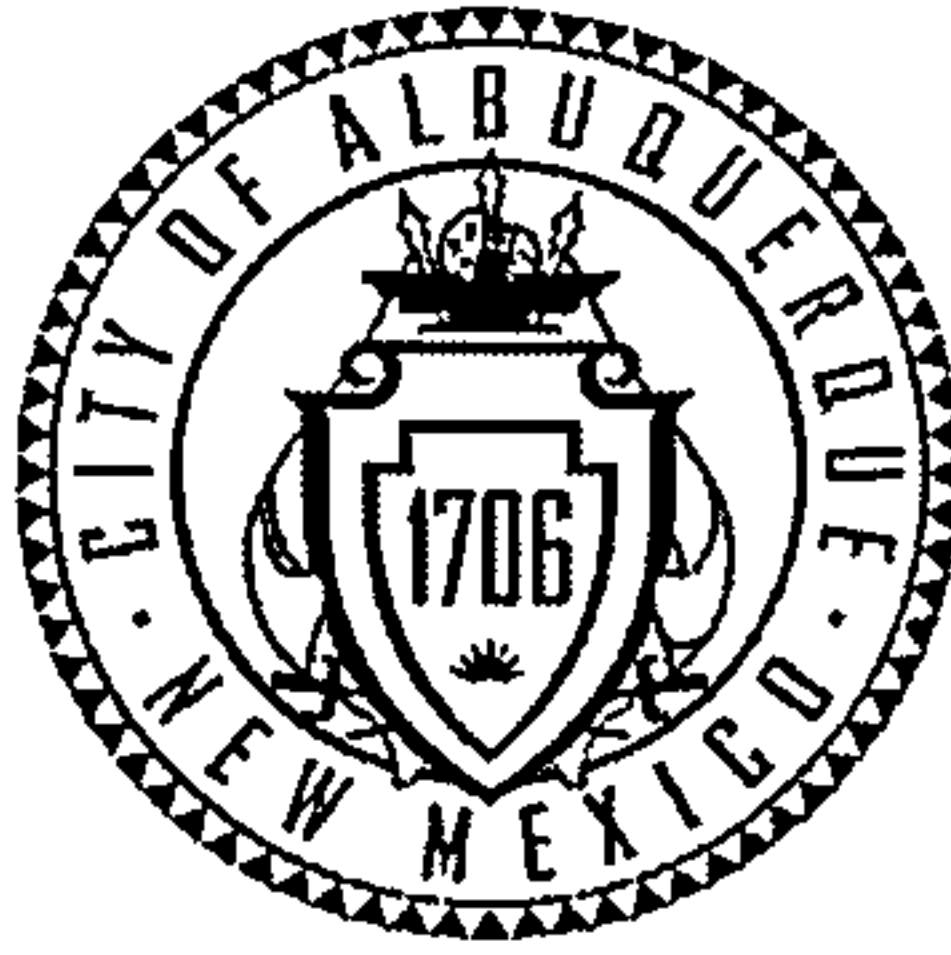
SENT BY: Sheran Matson, DRB Chair DATE: _____

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1004240 APPLICATION NO: _____

Las Mananitas

*David's comments. Wasn't
sure he'd faxed them
to you.*



**CITY OF ALBUQUERQUE, PLANNING DEPARTMENT
INTERNAL MEMORANDUM**

TO: Sheran Matson, Chairperson – Development Review Board

FROM: David Stallworth, Planner

COPIES TO: Claire Senova, Development Review
Andrew Garcia, Development Review

DATE: July 25, 2006

RE: **PROJECT NO. 1003812, Case Number 06DRB – 00890 through 00893, Las Mananitas.**

The abovementioned DRB cases are cross-referenced with EPC Cases **05EPC – 01112** and **05EPC – 01113** as approved on October 20, 2005. All conditions of approval have been satisfactorily met with the following exceptions:

1. There are noticeable grammatical errors throughout the site plan;
2. Condition 6 – No original survey information or “before” spatial provided;
3. Condition 9b – The present submittal does not prohibit outside storage of any kind on site, as required under this condition. There are at least two statements on the submitted site plan that allude to the allowance of outside storage that should be eliminated;
4. Condition 9c – Appears to be grammatically incorrect;
5. Condition 9d – Appears to be incompletely written;
6. Condition 9h – The prohibition of rear facades along the north project boundary is not shown on the site plan submittal;
7. Condition 9b – The requirement for direct open space connectivity or the placement of a plaza along the north project boundary is not demonstrated either in statement form or within the provided graphic.

8. Condition 9d – Guidelines on pedestrian crossings, and statements mandating vehicular and pedestrian separation are not provided on the site plan submittal;
9. Condition 12d – The 1997 LUCC guidelines are not shown on the site plan submittal;
10. Condition 12e – Appears to be grammatically incorrect;
11. Condition 12f – Appears to be grammatically incorrect;
12. Condition 12g – Could not any prohibitions on certain audio devices on the site plan submittal;
13. Condition 12h – This language is not readily apparent on the site plan submittal;
14. Condition 13a – The plant palette only refers to street trees. What about vegetation?
15. Condition 13b – Language should include the prohibition of random or clustered streetscape.

Thank you.

A handwritten signature in black ink, appearing to read "J. Stallworth". The signature is written in a cursive style with a large, looping initial "J".

Additional Comments
7/26/06

#1004240
Preliminary Plat & Related Applications

1. The revised preliminary plat dated 7/06 does not have the City Surveyor's signature. DRB cannot approve a preliminary plat without his signature.
2. Lot 10-P2 on the revised plat does not meet the 5,000 square foot minimum R1 lot size.

3. Walls

- GK* ✓
- Continuous Solid Wall over 3 feet high must be setback for every foot of wall height. Page 54, Policy 11.D.4, RGCP
 - The area between the wall and the public right of way must be landscaped..75% minimum in plants. Page 55, Policy 11.E.3, RGCP
 - This means the landscaping and dimensions must be shown on the wall design.

L.M.A. - Z.L.

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form	
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> S	<input type="checkbox"/> Z	ZONING & PLANNING
<input type="checkbox"/> Minor Subdivision action			<input type="checkbox"/> Annexation
<input type="checkbox"/> Vacation	<input type="checkbox"/> V		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Variance (Non-Zoning)			<input type="checkbox"/> EPC Submittal
SITE DEVELOPMENT PLAN	<input type="checkbox"/> P		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
<input checked="" type="checkbox"/> for Subdivision Purposes			<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Building Permit			<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> IP Master Development Plan			<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<input type="checkbox"/> L	<input type="checkbox"/> A	APPEAL / PROTEST of...
STORM DRAINAGE	<input type="checkbox"/> D		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Garcia Investments PHONE: 260-5100
 ADDRESS: 8301 Lomas Boulevard NE FAX: 260-5018
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: egarcia@garciacars.com
 Proprietary interest in site: Owner List all owners: _____
 AGENT (if any): Consensus Planning PHONE: 764-9801
 ADDRESS: 302 8th Street NW FAX: 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: Final Sign off for a Site Plan for Subdivision for Las Mañanitas Plaza containing approximately 2.0 acres.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A Block: _____ Unit: _____
 Subdiv. / Addn. Villas Las Mananitas Subdivision
 Current Zoning: SU-1 for Permissive C-1 w/ restrictions Proposed zoning: SU-1/C-1
 Zone Atlas page(s): H-13 No. of existing lots: 3 No. of proposed lots: 1
 Total area of site (acres): 2.0 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101305908034820410 MRGCD Map No. 35
 LOCATION OF PROPERTY BY STREETS: On or Near: Northeast Corner of Indian School Road & Rio Grande Boulevard NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): David Stallerworth Epc Case Planner
1003812; 104240, 06-DRB00890, 06-DRB00891, 06-DRB00892, and 06-DRB00893

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE [Signature] DATE 07/18/06
 (Print) James K. Strozier, AICP _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06 DRB- 01042</u>	<u>SRS</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input type="checkbox"/> All case #s are assigned				\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				Total
	Hearing date <u>July 26, 2006</u>			\$ <u>20.00</u>

Richard Garcia 7/18/06 Project # 1004240

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies. *7/7/06 Letter*
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan *(w/Plat)*
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

James K. Szymozier, AICP

[Signature] Applicant name (print) 7/18/06
Applicant signature / date



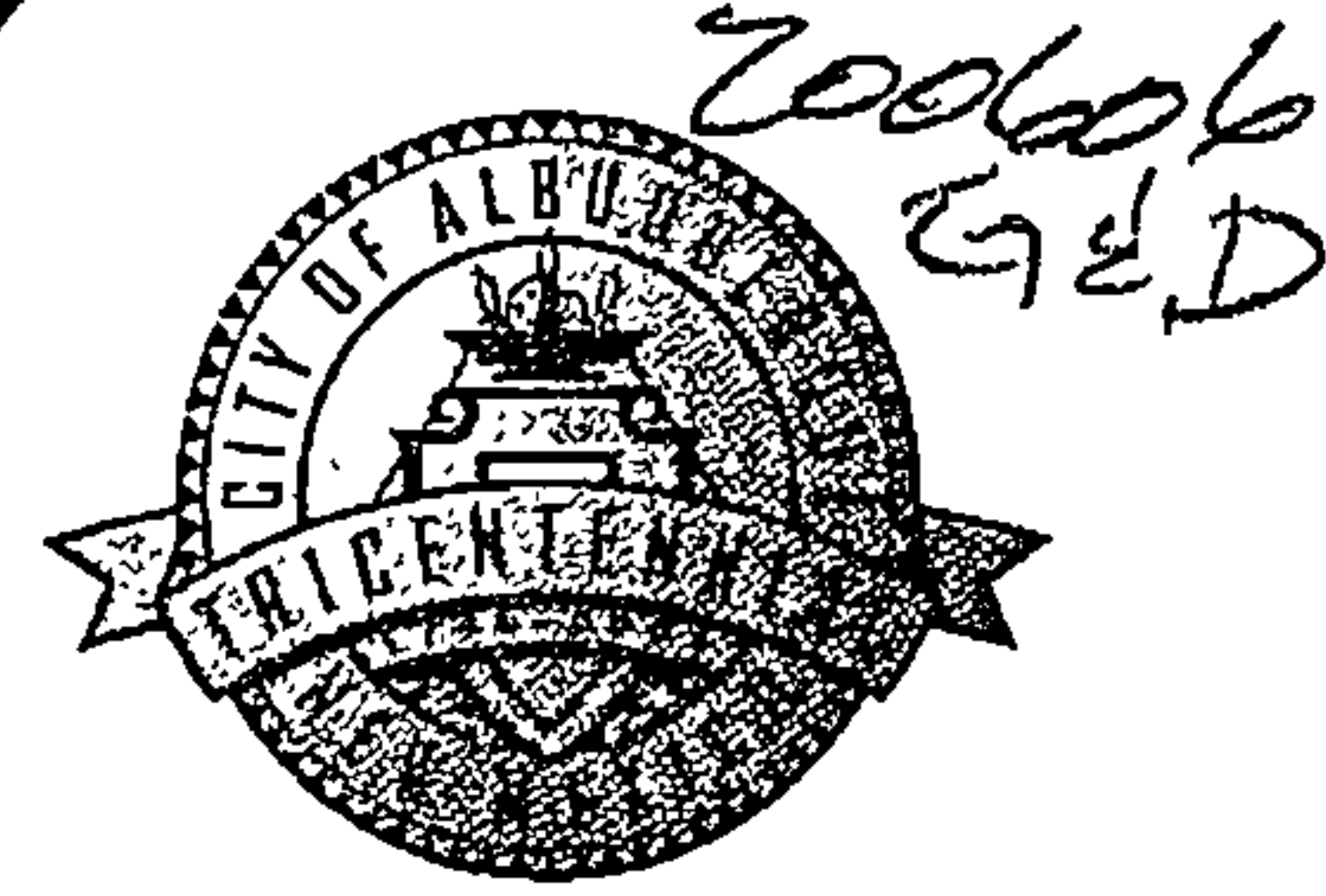
Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06 DRB - 01041

[Signature] 7/18/06
Planner signature / date
Project # 1004240

CITY OF ALBUQUERQUE



July 7, 2006

Shahab Biazar, P.E.
 Advanced Engineering and Consulting, LLC
 4416 Anaheim Ave. NE
 Albuquerque, NM 87113

**Re: Villas las Mananitas Subdivision, Preliminary Plat
 Engineer's Stamp dated 6-06-06 (H13-D50)**

Dear Mr. Biazar,

Based upon the information provided in your submittal received 6-09-06, the above referenced plan is approved for Preliminary Plat action by the DRB. Once the DRB has approved the plan, please submit a mylar copy to me in order to obtain rough grading approval.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

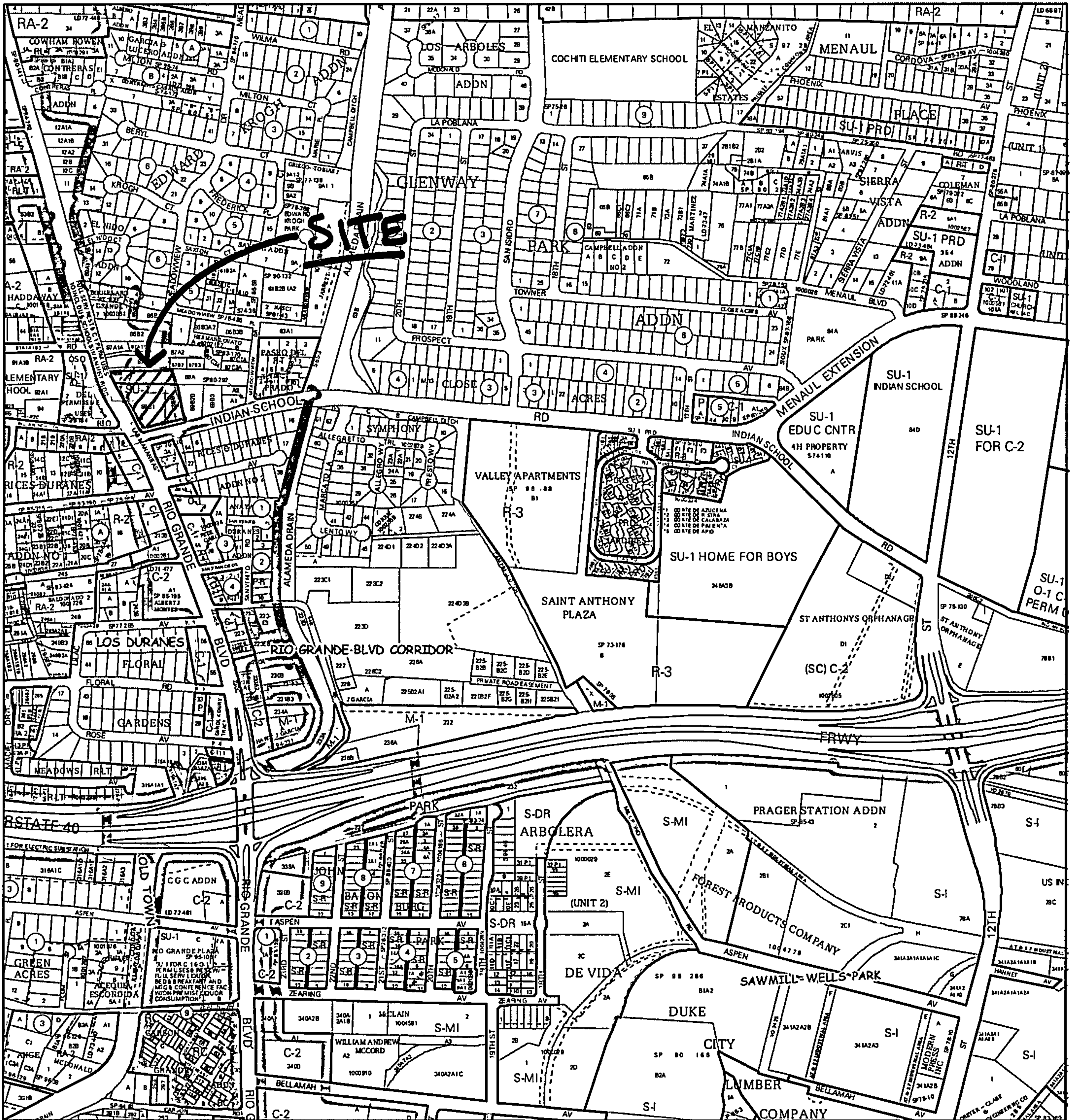
Sincerely,

A handwritten signature in black ink, appearing to read "K D Metro".

www.cabq.gov

Kristal D. Metro, P.E.
 Senior Engineer, Planning Dept.
 Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design
 Bradley Bingham, DRB
 file



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 6/21/2006

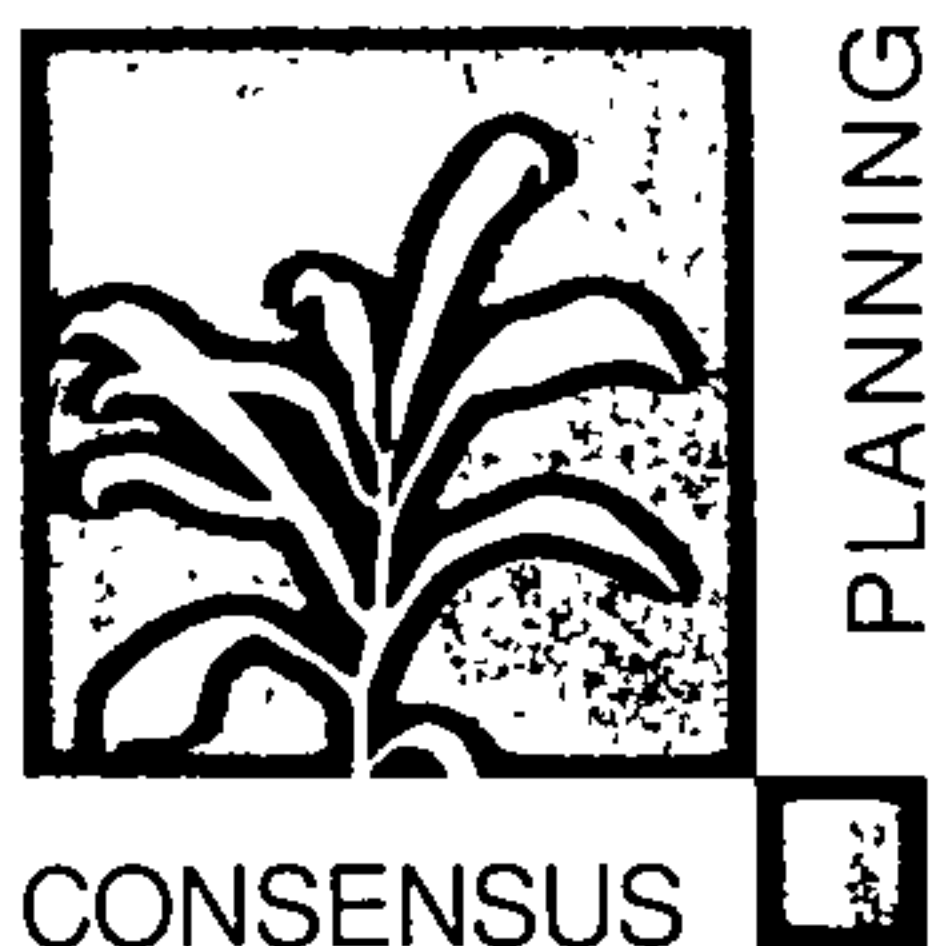
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



July 18, 2006

Ms. Sheran Matson, DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

Landscape Architecture
Urban Design
Planning Services

RE: Project #1003812, 05EPC-01112

302 Eighth St. NW
Albuquerque, NM 87102

Dear Ms. Matson:

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to demonstrate compliance with the findings and conditions set forth in the Notice of Decision dated December 8, 2005 for Project # 1003812, 05EPC-01112. The EPC approved a Site Development Plan for Subdivision for this property at the October 20, 2005 hearing. The development is a retail shopping center located at the northeast corner of the Rio Grande Boulevard and Indian School Road. The site is part of the Preliminary Plat for Villas Las Mañanitas Subdivision, Project #104240.

EPC CONDITIONS FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION

1. The EPC delegates final sign-off authority of this site to development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
This letter is meant to satisfy this condition.
2. Prior to DRB sign-off, the applicant shall meet with the staff planner to ensure that all the conditions of approval are adequately addressed.
A meeting will be held with David Stallworth prior to the DRB Hearing.
3. All observed format related deficiencies highlighted in the staff report shall be satisfactorily addressed on the final site plans for subdivision and building permit. Correct legal descriptions for all new divisions of land with the project area shall be reflected on the final site plan for subdivision.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

ASSOCIATES

Jacqueline Fishman, AICP

No Site Plan for Building Permit is proposed at this time. The Site Plan for Subdivision has been revised to reflect the conditions adopted by the EPC to address the deficiencies. The legal description shown is consistent with

that proposed on the Preliminary Plat for Villas Las Mañanitas Subdivision – Tract A.

4. With respect to engineering considerations, the following conditions apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426), and wheel chair ramps (std. dwg. 2441).

Agreed. See Preliminary Plat for Villas Las Mañanitas Subdivision.
 - b. The Site Development Plan for Subdivision is not clear (requires revision).

Site Plan has been revised to be consistent with Preliminary Plat for Villas Las Mañanitas Subdivision.
 - c. Define access requirements to non-residential properties.

See Sheet 1 – Vehicular Access.
 - d. Provide cross access agreements.

Access to the residential properties to the north is provided for with the Preliminary Plat for Villas Las Mañanitas Subdivision.
 - e. Platting must be a concurrent DRB action.

Agreed. See Project #104240.
 - f. Site plan shall comply and be designed per DPM Standards.

Agreed.
 - g. Construction of the bicycle land along Indian School Road adjacent to the subject property, as designated on Long Range Bikeways System map.

Agreed. This will be completed in conjunction with future Site Plans for Building Permit. No construction is proposed for the project at this time other than the access to the residential project (Villas Las Mañanitas).
5. The final site plan for subdivision shall exclude all extraneous references relative to the proposed 16-lot subdivision plat located to the immediate north of the subject area.

Agreed, the Site Plan has been revised.
6. For the purposes of clarity, the final site plan for subdivision shall include original survey information as derived from the relative previous plats for both tracts, a title caption such as "Area Being Replatted," a spatial diagram of the existing platted area that is affected under the proposed replat, and a reason for the replat.

This condition no longer applies. The Site Plan is being processed in conjunction with the Preliminary Plat for Villas Las Mañanitas Subdivision as required by Condition 4.e.

7. The final site plan for subdivision shall reflect the correct legal description for the newly assembled lots with the project area.

Agreed, the correct legal description, Tract A, Villas Las Mañanitas Subdivision, has been added to Sheet 1.

8. The final site plan for subdivision shall include additional language to read as follows: "The standards expressed in this site plan for subdivision represent base standards for acceptable development. Subsequent development within this subdivision shall abide by these minimum standards. Any additional standards deemed necessary and appropriate, however, may be imposed upon any associative site plans for building permit at the City's discretion.

Agreed, this language has been added as a new paragraph 2 on Sheet 2.

9. With respect to the site plan layout and configuration, the following conditions shall apply:

- a. The final site plan shall include a requirement building prominence along the public street right-of-way, particularly along Rio Grande Boulevard. On-site parking between any building and a public or private street shall be prohibited.

Agreed, changes have been made to the setback section on Sheet 1 and Bullet #2 under Access, Circulation, and Parking Diagram on Sheet 2.

- b. The final site plan shall include revised language prohibiting outdoor storage under any circumstances.

Agreed, added to Zoning and Use on Sheet 1.

- c. The final site plan shall include modified language to include all pedestrian walkways to be either artificially or naturally shaded.

Agreed, modified bullet #4, under Access, Circulation, and Parking Diagram on Sheet 2.

- d. With regards to setbacks, the final site plan shall also reference section 14.16.3.18 of the Zoning Code governing instances of commercial development and residential adjacency.

Agreed, modified bullet #1, under setbacks, Sheet 2.

- e. The final site plan shall impose a building height limitation of twenty-six feet (28').

I believe that this is supposed to be 28', consistent with the applicant's reduction from the 32' originally proposed. The Plan has been changed to reflect 28'.

- f. The final site plan shall include additional language prohibiting refuse enclosures from being prominently placed between any public or private street and any building façade.

Agreed, modified bullet #4, Perimeter Walls, Screening Walls, and Fences.

- g. The final site plan should include additional language limiting new construction to only single-story structures with a maximum segment length of 125 feet except for live-work or residential mixed-use, which shall be limited to two story.

Agreed, modified bullet #1, Building Height, Sheet 2.

- h. The final site plan shall include additional language prohibiting the rear façade of any new building from being situated along the northernmost project boundary.

I believe that this condition is an error since it conflicts with the sketch on Sheet 2. This will be discussed with Mr. Stallworth.

10. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:

- a. The final site plan shall include reciprocal access and parking in the event the remaining portion of Tracts 88 and 89A is not assembled to the Las Mañanitas Tracts, numbers 89B1 and 89B2.

This condition is not appropriate since the site plan is being done in conjunction with the Plat as required by Condition 4.e.

- b. The applicant shall, at a minimum, place some form of direct open space connection or plaza along the northernmost project boundary that actively integrates the proposed residential component with the commercial component of the overall development. The applicant shall not solely rely upon the use of pedestrian conduits between the components.

See Sketch on Sheet 2, it is anticipated that this will be addressed in further detail with subsequent site plans for building permit.

- c. The final site plan shall include minimum guidelines on pedestrian crossings. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained.

Agreed, this is addressed in Circulation and Parking, Sheet 2.

- d. The final site plan shall include minimum guidelines on pedestrian walkways along facades containing primary entrances. A minimum width of eight feet (8') with a minimum clear path of six feet (6') shall be established.

Agreed, added bullet under Circulation and Parking, Sheet 2.

- e. On-street parking for this development shall not be permitted. The applicant shall be responsible to ensure that such parking does not occur.

Agreed, added bullet under Circulation and Parking, Sheet 2.

11. With respect to considerations regarding lighting, walls and fences, the following conditions shall apply:

- a. The applicant shall ensure that any on-site lighting is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.

This is already addressed under Lighting, Outdoor Furniture, and Materials, Sheet 2.

- b. The maximum height for all site and parking lot lighting shall be sixteen feet (16'). Light poles for walkway illumination shall be limited to a maximum height of twelve feet (12'). Public streetlights shall be exempt from these requirements.

Agreed, modified height provisions on Sheets 1 and 2.

- c. Walls and fencing standards within the final site plan shall include modified language requiring perimeter walls to contain materials or exteriors consistent with, or complementary to, the principal building, to include pilasters, offsets or architecturally treated segments. Any references to permitted fence or wall construction and design shall be relocated to the section governing "Perimeter Walls, Screening Walls, & Fences" to avoid unnecessary duplication.

Agreed, added bullet under Perimeter Walls, Screening Walls, & Fences, Sheet 2. Other references were eliminated.

12. With respect to considerations regarding architecture and signage, the following conditions shall apply:

- a. The final site plan shall include revised language to read as follows: "Freestanding signage shall be limited to monument signs only. Pole mounted signs, pylon signs, or signage requiring external bracing, angle-iron support, guy-wires or similar support are prohibited." Secondary references to freestanding signs being monument or wall-mounted signage shall be removed from the final site plan as it is conflicting and confusing.

Agreed, added language under Signage and Graphics, Sheet 2.

- b. Monument signage shall be limited to one (1) sign for each street frontage only.

Agreed, added language under Signage and Graphics, Sheet 2.

- c. The final site plan shall include modified language that places time restrictions on sign illumination or placement with respect to adjacent or nearby residential development surrounding the site which may be directly affected by the signage.

Illuminated signs are prohibited to face adjacent residential development, language under Signage and Graphics, Sheet 2.

- d. The final site plan shall include the 1997 guidelines adopted by the City Landmarks and Urban Conservation Commission governing future development on the site to ensure that all new construction is consistent with, or is at least complementary to, the primary building.

Agreed, added language under Architectural Design, Sheet 2.

- e. The final site plan shall include additional language prohibiting pre-engineered metal buildings with masonry or other veneers or the utilization of attached mansard roofing on the premises.
Agreed, added language under Architectural Design, Sheet 2.
- f. The site plan shall include additional language requiring design consistency for all facades that can be seen from any point along a public or private street.
Agreed, added language under Architectural Design, Sheet 2.
- g. The final site plan shall include additional language prohibiting paging and loudspeaker systems on the premises.
Agreed, added language under Utilities, Sheet 3.
- h. New building design shall incorporate flat roofs, multiple massing, varying heights in building masses, tall windows, and other architectural elements in concert with the primary landmark.
This is already covered under 12d.

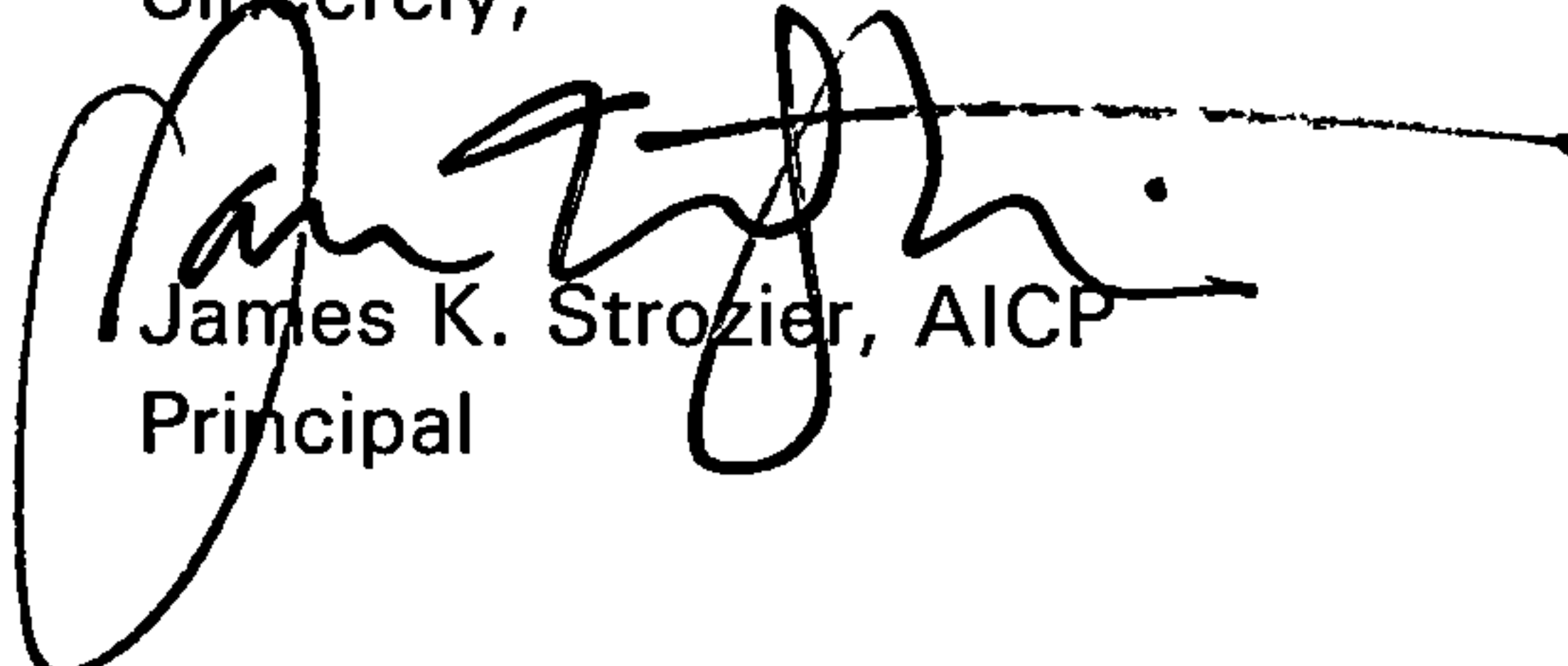
13. With respect to considerations regarding landscaping, the following conditions shall apply:

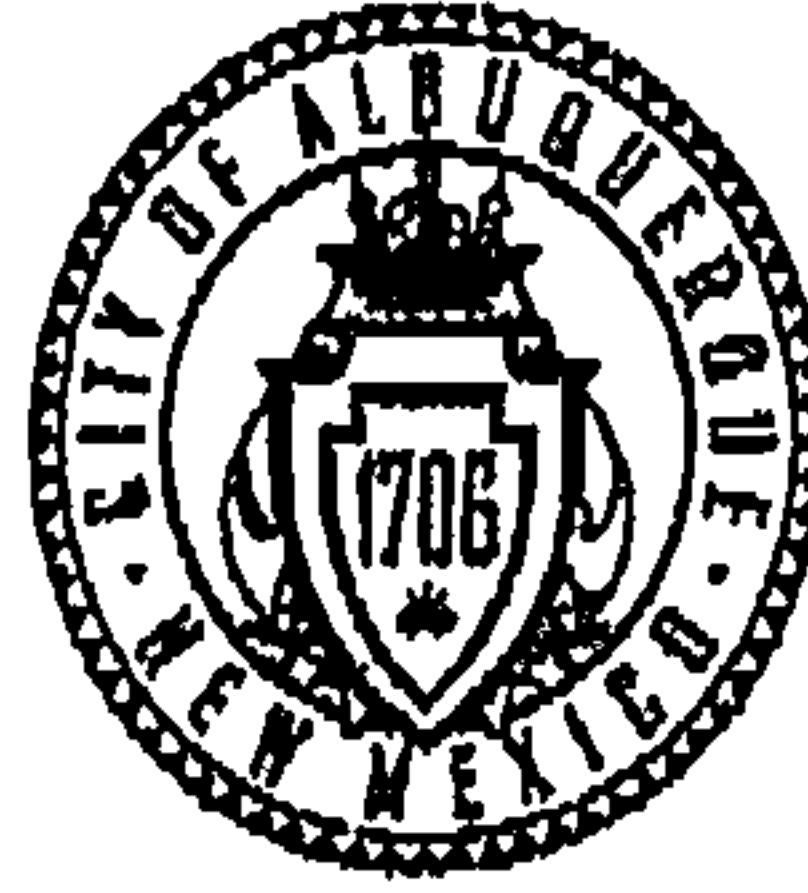
- a. The final site plan shall include a suggested plant palette.
Agreed, a plant palette is provided for street trees along Rio Grande Boulevard and Indian School Road, under Landscape, Sheet 3. These selections were done in coordination with the Rio Grande Boulevard Corridor Plan, the office development across Rio Grande from this site, and the Rio Grande median project at Rio Grande and I-40.
- b. The final site plan shall include revised language requiring all street trees to be in accordance with Article Six of the Municipal Code. Random or clustered streetscape shall not be permitted.
Agreed, added language under Landscape, Sheet 3. The reference to street trees being randomly or consistently placed has been removed.
- c. The final site plan shall include specifics on tree preservation and replacement ratios, as the currently proposed language is too vague.
Agreed, added language under Landscape, Sheet 3.

14. The project will comply with all SWMD ordinances and requirements.
Agreed, bullet added to Perimeter Walls, Screening Walls, and Fences, Sheet 2.

Based upon the information and material contained in this letter and submittal, we respectfully request that you approve the site plan for subdivision. Please feel free to contact me if you have any questions or require any additional information.

Sincerely,


James K. Strozier, AICP
Principal



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: October 21, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1003812
05EPC-01112 EPC Site Development Plan-
Subdivision
05EPC-01113 Zone Map Amendment

Garcia Investments
8301 Lomas Blvd. NE
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of Tracts 83B3B, 87B1B, 87B2B, 88, 89A and 89B1, MRGCD Map 35, a zone map amendment from R-1 to SU-1/C-1, located at the northeast corner of INDIAN SCHOOL RD. NW and RIO GRANDE BLVD. NW, containing approximately 3 acres: (H-13) David Stallworth, Staff Planner

On October 20, 2005 the Environmental Planning Commission voted to approve Project 1003812/05EPC.01112, a zone map amendment from R-1 to SU-1/C-1, Permissive Uses, for a +/- .5-acre portion of Tracts 88 and 89A, MRGCD Map 35, based on the following Findings:

FINDINGS:

1. This is a request for consideration and approval of a zone map amendment from R-1 (Single-family Residential, 5000 sq. ft. min. lot size) to SU-1/C-1 Permissive Uses with exclusions (excluding car wash, church including the usual incidental facilities club, lodge or fraternal organization, cleaning, gun shop, drive in restaurant, drive thru restaurant, garage for automotive repair, parking lot or structure, pawn shop, public utility structure or use school K-12, service station, storage structure or yard for equipment material activity incidental for specific construction project provided as temporary and taxidermy shop) for a +/- .5-acre portion of Tracts 88 and 89A, MRGCD Map 35.
2. There is no proposed site development plan development pursuant to this request.
3. The area under the zone change request is an expected remaining portion, hereafter referred to as "the remainder," from an overall +/- 3.1-acre tract that is currently under sketch plat review by the Development Review Board pursuant to the creation of a sixteen (16)-lot single-family residential subdivision.

OFFICIAL NOTICE OF DECISION

OCTOBER 20, 2005

PROJECT #1003812

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4. Whereas the remainder has frontage on a designated arterial, has insufficient acreage to ensure that reverse traffic will not emerge onto the abutting arterial, is shallow and peculiar in configuration, and lacks the ability to acquire access to an alternate platted street, the remainder may be considered unsuitable for single-family residential development.
5. There is no demonstrative evidence that commercial development within the remainder will compromise the health, safety and welfare of the general public, in accordance with subsection 1.A of Resolution 270-1980.
6. Whereas the requested zone change represents a logical extension of similar zoning to the immediate south, and whereas any further commercial zoning is not expected to leapfrog beyond the subject area given the residential development surrounding the site, the proposal should not introduce land use instability into the area, as required in subsection 1.B of Resolution 270-1980.
7. The zone change request is not in response to a perceived zoning error, as outlined in subsection 1.D.1 of Resolution 270-1980.
8. The zone change request may further the following expressed goals and policies of City-adopted development plans, as required in subsections 1.C and 1.D.3 of Resolution 270-1980:
 - a. *City/County Comprehensive Plan, Policies II.B.5.d, II.B.5.i, II.B.5.l, II.B.5.o and II.D.4.g* – The site plan review process should provide adequate buffering and sufficient mitigation, promote amenable site design that is pedestrian-friendly, and prompt the necessary discussions between the applicant and affected residents in order to facilitate this end.
 - b. *City/County Comprehensive Plan, Policy II.B.5.e* – The project site has access to existing public infrastructure and services.
 - c. *City/County Comprehensive Plan, Policy II.B.6.a* – The zone change could accommodate potentially convenient employment and the provision of goods and services to the surrounding community.
 - d. *North Valley Area Plan, Policy 2.2.d* – Again, the site plan review process should provide adequate buffering and sufficient mitigation, promote amenable site design that is pedestrian-friendly, and prompt the necessary discussions between the applicant and affected residents in order to facilitate this end.
 - e. *North Valley Area Plan, Policies 7.2 and 8.1* – The site plan review process should help to ensure that any subsequent development is in keeping with the village center concept, as is the expressed intent of the applicant. The Area Plan identifies village centers as “the heart of community life. It satisfies the commercial, social, civic and spiritual needs of village residents. This mix of uses is necessary to create a village center.” This implicitly demands connectivity and pedestrian-scale functionality between all proposed components within the overall development.
 - f. *Rio Grande Boulevard Corridor Plan, Goals A (Urban Design), D (History and Culture) and C (Transportation), and Policies 2.A, 2.B and 10* – Again, the site plan review process should help to ensure that any subsequent development is in keeping with the village center concept, which encourages pedestrian mobility, multi-modal capability, historic preservation, and compact and convenient site design.

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PROJECT #1003812
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- 9. There is no demonstrative evidence that any of the land uses permitted within a C-1 zone will be detrimental to the surrounding area, in accordance with subsection E of Resolution 270-1980.
- 10. There is no demonstrative evidence that the zone change request is in significant conflict with subsections 1.E through 1.H of Resolution 270-1980.
- 11. The zone change request does not constitute a "spot" or a "strip" zone, as outlined in subsections 1.I and 1.J of Resolution 270-1980, respectively.
- 12. There is neighborhood opposition to this request.

CONDITION:

- 1. The applicant is required to replat the property to coordinate the lot lines with the proposed zoning

On October 20, 2005 the Environmental Planning Commission voted to approve Project 1003812/05EPC.01113, a site development plan for subdivision, for portions of Tracts 88 and 89A, and all of Tracts 89B1 and 89B2, MRGCD Map 35, based on the preceding Findings and subject to the following Conditions:

FINDINGS:

- 1. This is a request for consideration and approval of a site development plan for subdivision for a +/-2.5-acre area consisting of portions of Tracts 88, 89A, and all of Tracts 89B1 and 89B2, MRGCD Map 35.
- 2. There is no proposed site development plan pursuant to this development request.
- 3. The development proposal may further the following expressed goals and policies of City-adopted development plans:
 - a. *City/County Comprehensive Plan, Policies II.B.5.d, II.B.5.i, II.B.5.l and II.B.5.o* – Given both the overall character of the surrounding neighborhood and the historical significance of the subject area, the site plan review process should help to stimulate redevelopment, provide adequate buffering and sufficient mitigation, promote amenable site design that is pedestrian-friendly, and prompt the necessary discussion to achieve these ends, even in the absence of a clearly defined development.
 - b. *City/County Comprehensive Plan, Policy II.B.5.e* – The project site has access to existing public infrastructure and services.

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PROJECT #1003812
PAGE 4 OF 9

- c. *City/County Comprehensive Plan, Policy II.B.6.a* – Convenient employment, goods and services could be potentially provided with any subsequent commercial development of the subject area.
 - d. *North Valley Area Plan, Policy 2.2.d* – Again, the site plan review process should provide adequate buffering and sufficient mitigation, promote amenable site design that is pedestrian-friendly, and prompt the necessary discussions between the applicant and affected residents in order to facilitate this end.
 - e. *Rio Grande Boulevard Corridor Plan, Goals A (Urban Design), D (History and Culture) and Policy 10* – Again, the site plan review process should help to ensure that any subsequent development is in keeping with the village center concept, which encourages pedestrian mobility, multi-modal capability, historic preservation, and compact and convenient site design.
- ✱
4. As currently proposed, the project fails to fully meet the intent of *Policy II.D.4.g* of the *City/County Comprehensive Plan, Policies 7.2 and 8.1* of the *North Valley Area Plan, and Goal C (Transportation)* of the *Rio Grande Boulevard Corridor Plan*. Whereas the applicant has expressed the intent to create a “village center,” there should be greater emphasis upon pedestrian-oriented site design that is both convenient and compact, interconnectivity between residential and commercial components, and architecture that is complementary to the surrounding area. Conditions of approval have been suggested to bring the project closer to the intent of these goals and policies.
 5. Any subsequent replat or new development within the project site is subject to additional consideration and review by both the Landmark and Urban Conservation Commission and the Environmental Planning Commission.
 6. There is neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are adequately addressed.

OFFICIAL NOTICE OF DECISION
OCTOBER 20, 2005
PROJECT #1003812
PAGE 5 OF 9

3. All observed format-related deficiencies highlighted in the staff report shall be satisfactorily addressed on the final site plans for subdivision and building permit. Correct legal descriptions for all new divisions of land within the project area shall be reflected on the final site plan for subdivision.
4. With respect to engineering considerations, the following conditions shall apply:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. d wg. 2 430), driveways (std. d wg. 2 425), private entrances (std. d wg. 2426) and wheel chair ramps (std. d wg. 2441).
 - b. The Site Development Plan for Subdivision is not clear (requires revision).
 - c. Define access requirements to non-residential properties.
 - d. Provide cross access agreements.
 - e. Platting must be a concurrent DRB action.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Construction of the bicycle lane along Indian School Road adjacent to the subject property, as designated on Long Range Bikeways System map.
5. The final site plan for subdivision shall exclude all extraneous references relative to the proposed 16-lot residential subdivision plat located to the immediate north of the subject area.
6. For the purposes of clarity, the final site plan for subdivision shall include original survey information as derived from the relative previous plats for both tracts, a title caption such as "Area Being Replatted," a spatial diagram of the existing platted area that is affected under the proposed replat, and a reason for the replat.
7. The final site plan for subdivision shall reflect the correct legal description for the newly assembled lots within the project area.
8. The final site plan shall include additional language to read as follows: "The standards expressed in this site plan for subdivision represent base standards for acceptable development. Subsequent development within this subdivision shall abide by these minimum standards. Any additional standards deemed necessary and appropriate, however, may be imposed upon any associative site plans for building permit at the City's discretion."
9. With respect to site plan layout and configuration, the following conditions shall apply:
 - a. The final site plan shall include a requirement building prominence along the public street right-of-way, particularly along Rio Grande Boulevard. On-site parking between any building and a public or private street shall be prohibited.

OFFICIAL NOTICE OF DECISION
OCTOBER 20, 2005
PROJECT #1003812
PAGE 6 OF 9

- b. The final site plan shall include revised language prohibiting outdoor storage under any circumstance.
 - c. The final site plan shall include modified language to include all pedestrian walkways to be either artificially or naturally shaded.
 - d. With regard to setbacks, the final site plan shall also reference section 14.16.3.18 of the Zoning Code governing instances of commercial development and residential adjacency.
 - e. The final site plan shall impose a building height limitation of twenty-six feet (28').
 - f. The final site plan shall include additional language prohibiting refuse enclosures from being prominently placed between any public or private street and any building facade.
 - g. The final site plan should include additional language limiting new construction to only single-story structures with a maximum segment length of 125 feet except for live-work or residential mixed use, which shall be limited to two story.
 - h. The final site plan shall include additional language prohibiting the rear facade of any new building from being situated along the northernmost project boundary.
10. With respect to considerations regarding vehicular access, parking and circulation, the following conditions shall apply:
- a. The final site plan shall include reciprocal access and parking in the event the remaining portion of Tracts 88 and 89A is not assembled to the Las Mananitas Tracts, numbers 89B1 and 89B2.
 - b. The applicant shall, at a minimum, place some form of direct open space connection or plaza along the northernmost project boundary that actively integrates the proposed residential component with the commercial component of the overall development. The applicant shall not solely rely upon the use of pedestrian conduits between the components.
 - c. The final site plan shall include minimum guidelines on pedestrian crossings. Pedestrian walkways through vehicular areas shall be clearly demarcated through such paving materials as colored concrete, brick or concrete pavers. Clear and distinct separation between pedestrian walkways and vehicular travel or parking areas shall be maintained.
 - d. The final site plan shall include minimum guidelines on pedestrian walkways along facades containing primary entrances. A minimum width of eight feet (8') with a minimum clear path of six feet (6') shall be established.
 - e. On-street parking for this development shall not be permitted. The applicant shall be responsible to ensure that such parking does not occur.
11. With respect to considerations regarding lighting, security, walls and fences, the following conditions shall apply:
- a. The applicant shall ensure that any on-site lighting is shielded in order to provide downward light emission and prevent both light trespass and upward light pollution.
 - b. The maximum height for all site and parking lot lighting shall be sixteen feet (16'). Light poles for walkway illumination shall be limited to a maximum height of twelve feet (12'). Public streetlights shall be exempt from these requirements.

**OFFICIAL NOTICE OF DECISION
OCTOBER 20, 2005
PROJECT #1003812
PAGE 7 OF 9**

- c. Walls and fencing standards within the final site plan shall include modified language requiring perimeter walls to contain materials or exteriors consistent with, or complementary to, the principal building, to include pilasters, offsets or architecturally treated segments. Any references to permitted fence or wall construction and design shall be relocated to the section governing "Perimeter Walls, Screening Walls & Fences" to avoid unnecessary duplication.
12. With respect to considerations regarding architecture and signage, the following conditions shall apply:
- a. The final site plan shall include revised language to read as follows: "Freestanding signage shall be limited to monument signs only. Pole-mounted signs, pylon signs, or signage requiring external bracing, angle-iron support, guy-wires or similar support are prohibited." Secondary references to freestanding signs being monument or wall-mounted signage shall be removed from the final site plan as it is conflicting and confusing.
 - b. Monument signage shall be limited to one (1) sign for each street frontage only.
 - c. The final site plan shall include modified language that places time restrictions on sign illumination or placement with respect to adjacent or nearby residential development surrounding the site which may be directly affected by the signage.
 - d. The final site plan shall include the 1997 guidelines adopted by the City Landmarks and Urban Conservation Commission governing future development on the site to ensure that all new construction is consistent with, or is at least complementary to, the primary building.
 - e. The final site plan shall include additional language prohibiting pre-engineered metal buildings with masonry or other veneers or the utilization of attached mansard roofing on the premises.
 - f. The final site plan shall include additional language requiring design consistency for all facades that can be seen from any point along a public or private street.
 - g. The final site plan shall include additional language prohibiting paging and loud-speaker systems on the premises.
 - h. New building design shall incorporate flat roofs, multiple massing, varying heights in building masses, tall windows and other architectural elements in concert with the primary landmark.
13. With respect to considerations regarding landscaping, the following conditions shall apply:
- a. The final site plan shall include a suggested plant palette.
 - b. The final site plan shall include revised language requiring all street tree plantings to be in accordance with Article Six of the Municipal Code. Random or clustered streetscape shall not be permitted.
 - c. The final site plan shall include specifics on tree preservation and replacement ratios, as the currently proposed language is too vague.
14. The project will comply with all SWMD ordinances and requirements.

OFFICIAL NOTICE OF DECISION
OCTOBER 20, 2005
PROJECT #1003812
PAGE 8 OF 9

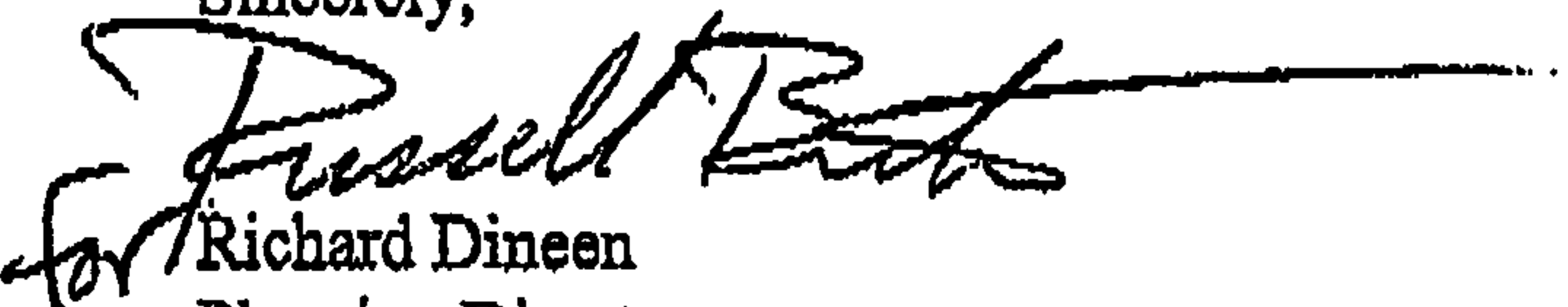
IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY NOVEMBER 4, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/DS/ac

**OFFICIAL NOTICE OF DECISION
OCTOBER 20, 2005
PROJECT #1003812
PAGE 9 OF 9**

- cc: Consensus Planning, 302 8th St. NW, Albuquerque, NM 87102
William C. Herring, Los Duranes NA, 3104 Coca Rd. NW, Albuquerque, NM 87104
Beverly Schoonover, Los Duranes NA, 3308 Beach NW, Albuquerque, NM 87104
Frank Mangano, Rio Grande Blvd. NA, 4300 Rio Grande NW, Albuquerque, NM 87107
Jo Marie Anderson, Rio Grande Blvd. NA, 3505 Campbell Ct. NW, Albuquerque, NM 87104
Cheryl and Michael McLean, 2215 Indian School Rd., NW, City, 87104
Patricia Melhop, 1819 Meadowview, Dr., NW, City, 87104
Kiera Homann, 2929 Trellis Rd., NW, City, 87107
Yolanda Homann, 2629 Candelaria, NW, City, 87107
Karin Retskin, 3939 Rio Grande, NW, #82, City, 87107
Jo Marie Anderson, 3505 Campbell Ct., NW, City, 87104
Michael Langlois, 3815 Palacio del Rio Grande, NW, City 87107
Ira Andrews, 2900 Indian Farm Lane, NW, City, 87107
Neil Hunt, 2208 Frederick Pl., Albuquerque, NM 87104
Claude Morelli, 7 Garden Park Circle NW, Albuquerque, NM 87107
Michael & Cheryl McLean, 2215 Indian School Rd. NW, Albuquerque, NM 87104

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Garcia Investments
AGENT Consensus Planning
ADDRESS 302 8th St NW
PROJECT & APP # 1004240 / 06 DRB-01039 010421
PROJECT NAME Villas@Las Mananitas

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City of Albuquerque
Treasury Division

7/18/2006 11:34AM LOC: ANHX
RECEIPT# 00061439 WSH 008 TRANSH 0026
Account 441032 Fund 0110
Activity 3424000 TRSCXG
Trans Amt \$20.00
J24 Misc \$20.00

VI \$20.00
CHANGE \$0.00

Thank You

LOS DURANES NEIGHBORHOOD ASSOCIATION

11

Board of Directors/Officers

William C. Herring, President & Treasurer
Beverly Schoonover, Vice-President
Andrea Scott, Secretary
David Day, Director
John Gutierrez, Director
Ruby Meek, Director
Julie Lopez-Casaus, Director

Preel Plot

July 11, 2006

Sheran Matson, Chair.
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Project # 1004240
Case # 06DRB-00890, -00891, -00892, -00893

Dear Madame Chair:

I am writing this letter in my capacity as President of the Los Duranes Neighborhood Association. We have some concerns regarding Project # 1004240 (Case Nos. 06DRB-00890, -00891, -00892, and -00893) which is scheduled for the July 12, 2006 Development Review Board (DRB) hearing.

The Los Duranes Neighborhood Association's main concern lies with the perimeter wall proposed by Advanced Engineering. The design of the wall (patterned, split-faced CMU block) does not fit within the context of its site along Rio Grande Boulevard, as well as Meadowview Road. The existing wall in front of Las Mananitas Restaurant is adobe with a stucco finish and the existing wall along Meadowview Road is unstuccoed adobe. While I understand that the developer has the right to choose the materials for the wall, it seems that no attempt was made to design the wall to complement its surroundings or the above-described walls that are adjacent to the site.

Our understanding of the City's wall regulations is that the proposed wall must meet certain criteria for height, façade, layout, and materials. One of the ways to meet the façade requirements is to provide landscaping that covers a minimum of 30% of the wall surface as viewed from the public right-of-way. The Rio Grande Corridor Plan requires landscaping along the corridor where perimeter walls are proposed and states "[t]he area between site perimeter walls and the public right-of-way shall be landscaped. Tree species planted in areas between walls and the public right-of-way shall be capable of shading the sidewalk..." (*Regulation 11.E.3*).

The Plan also requires that walls facing Rio Grande “may not exceed three feet in height (including those for rear and side yards) unless they are set back inside the property line at least the same number of feet as the height of the wall” (*Regulation 11.0.4*) and ...”shall contain at least one opening, recess, or other form of horizontal relief every 25 feet or less to break the sense of barricade and monotony of pedestrians” (*Regulation 11.0.3*). It does not appear that the proposed wall meets any of these regulations contained in the Rio Grande Corridor Plan.

The Los Duranes Neighborhood Association wants to ensure that the proposed new development complements our neighborhood, rather than detracts from it. We request that more time be given before the DRB approves this subdivision so that the applicant can submit a new wall design that meets the City’s regulations.

Please do not hesitate to contact me at 243-4664 or wherring@highfiber.com with any questions.

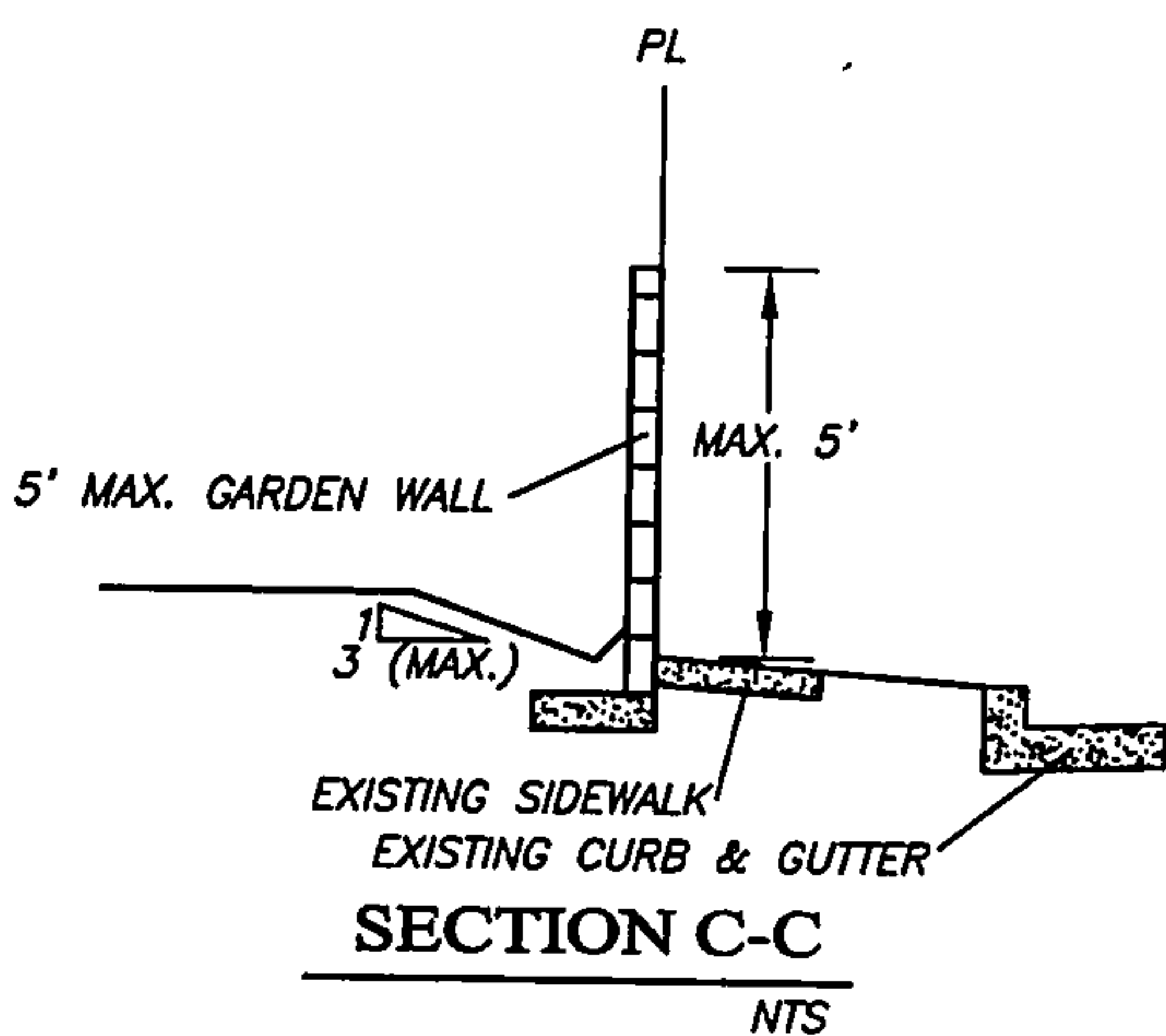
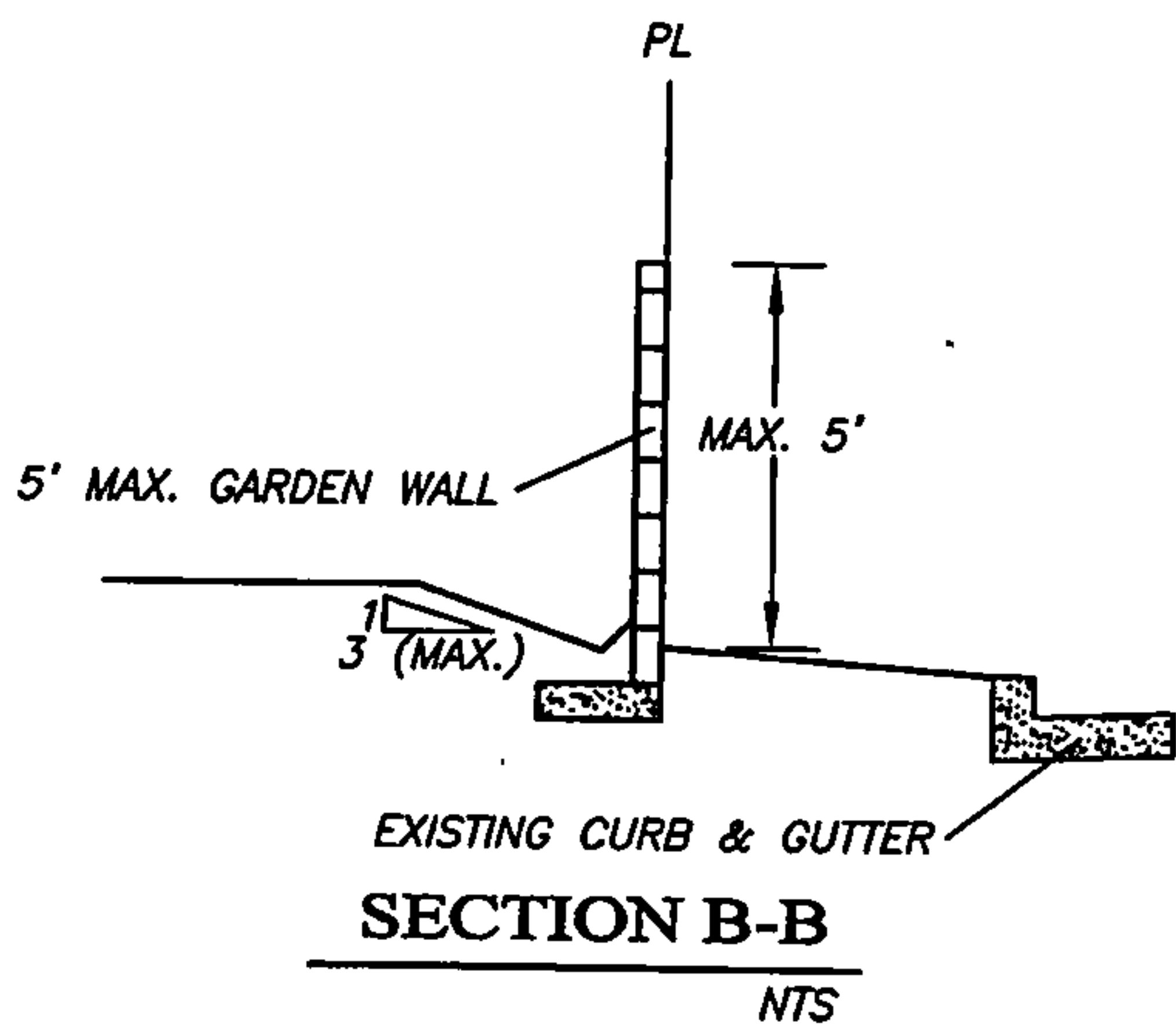
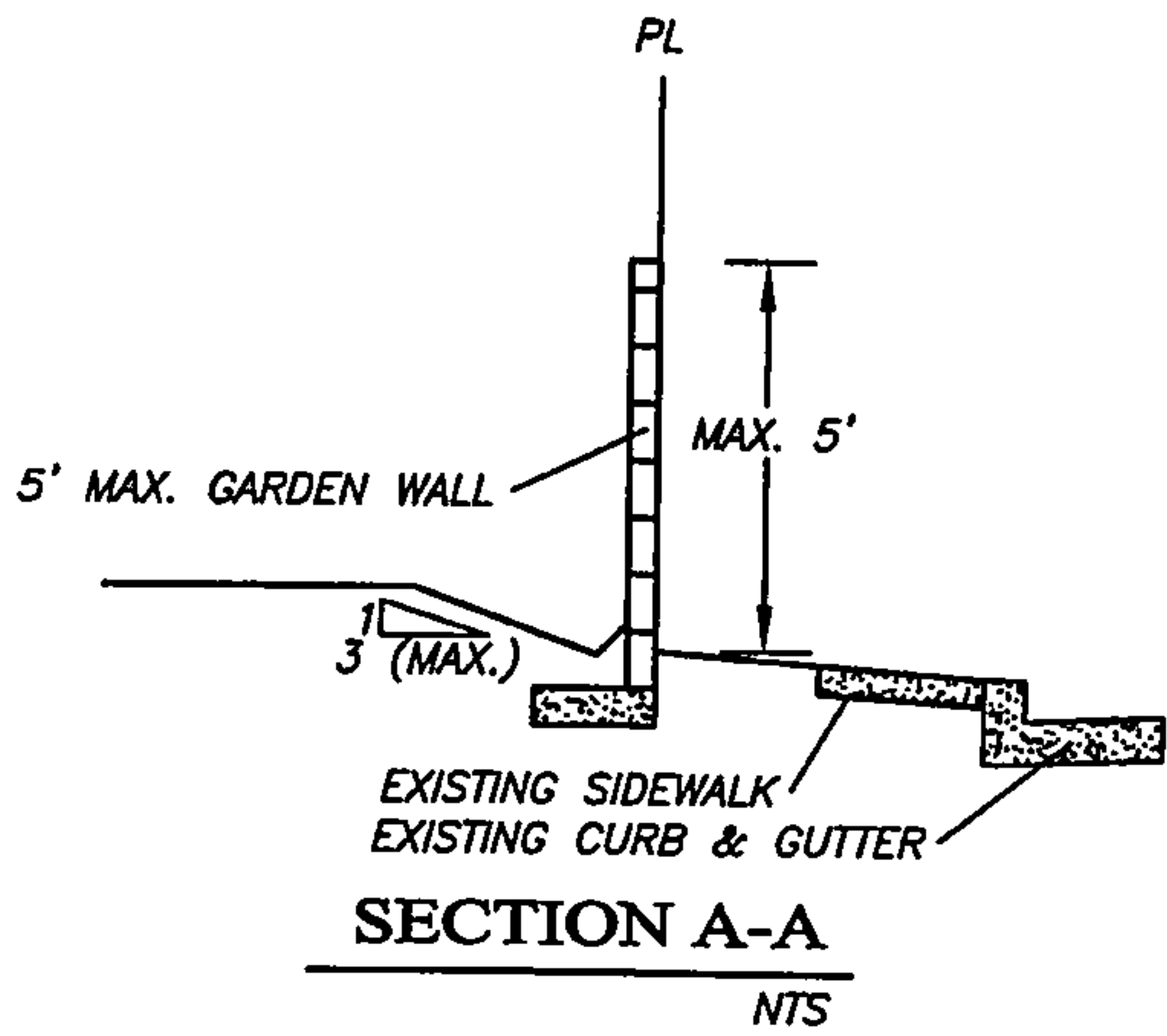
Respectfully submitted,



William C. Herring, President
Los Duranes Neighborhood Association
3104 Coca Road NW
Albuquerque NM 87104

cc: Shawn Biazar, Advanced Engineering

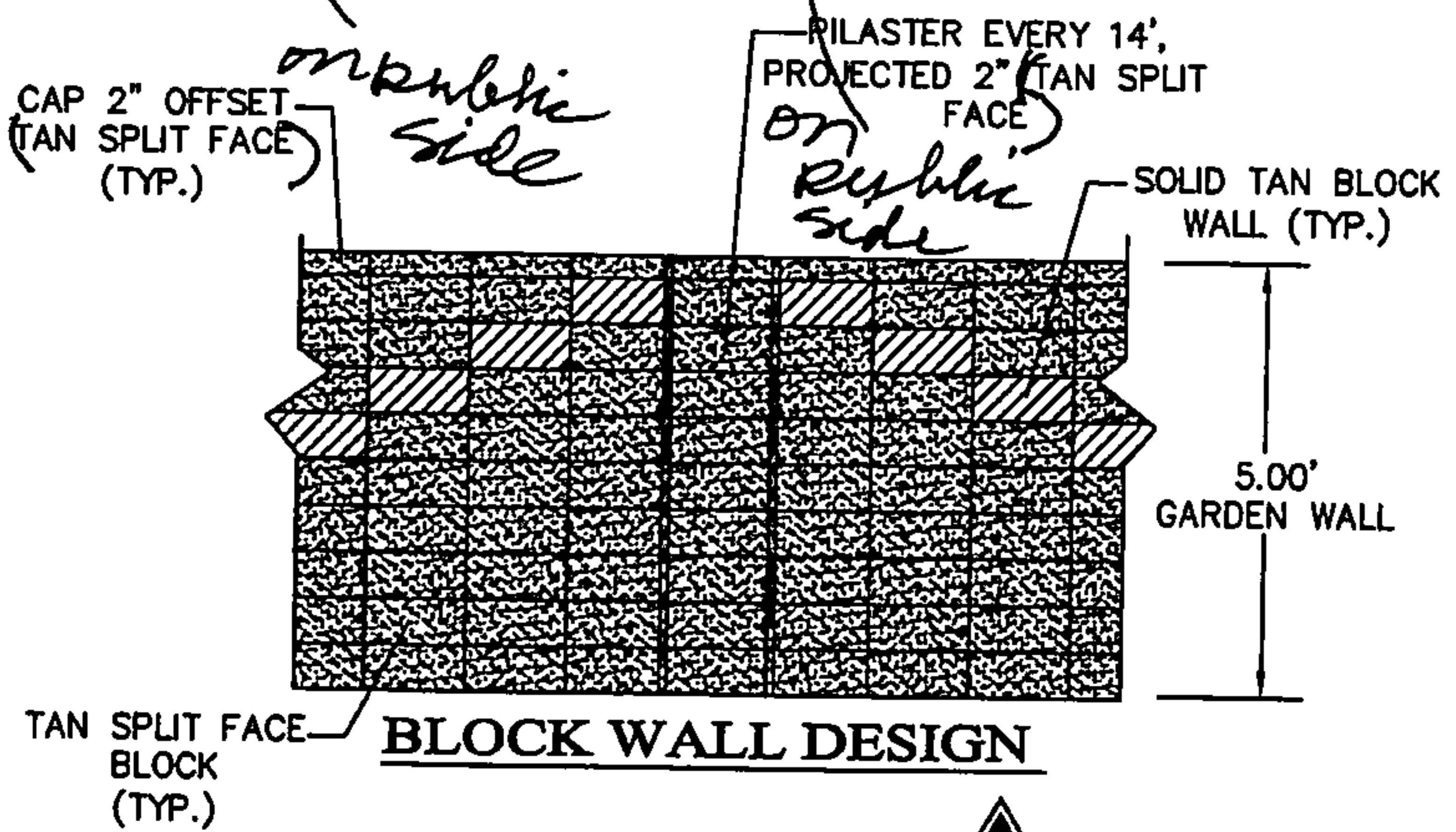
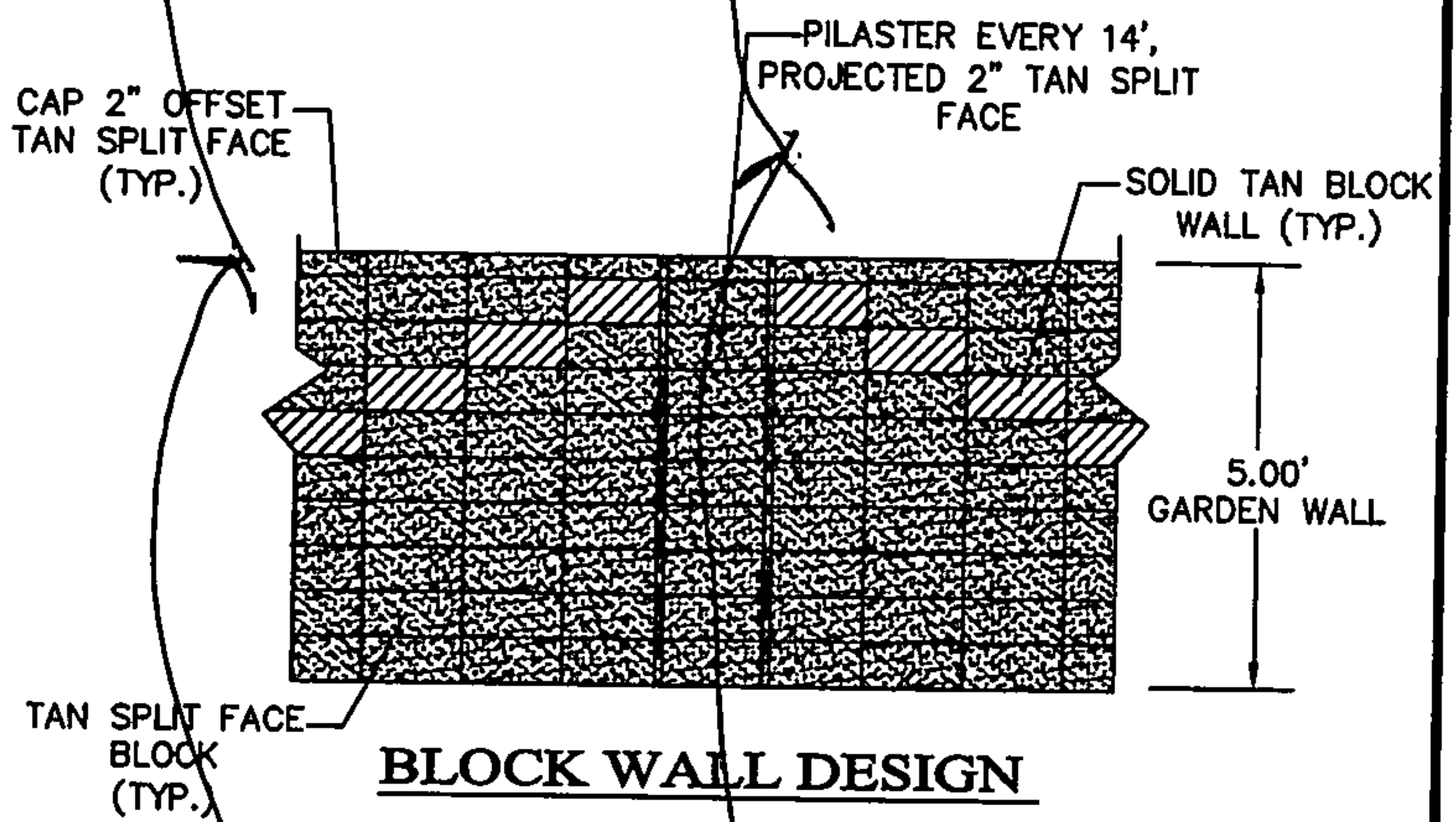
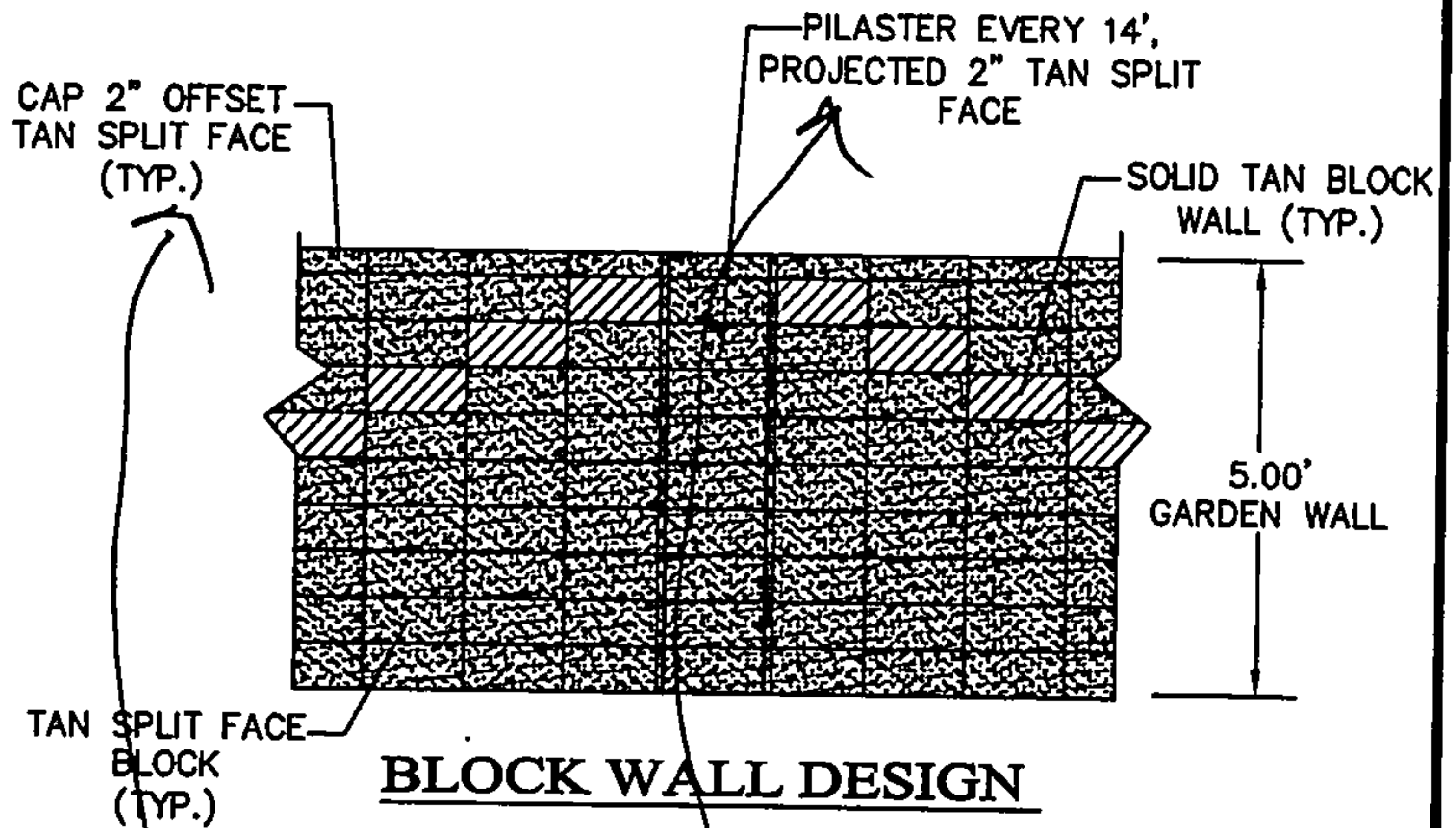
GARDEN WALL EXHIBIT FOR LAS MAÑANITAS SUBDIVISION DRB #1004240



INDIAN SCHOOL RD., N.W.

MEADOW VIEW RD., N.W.

RIO GRANDE AVE., N.W.



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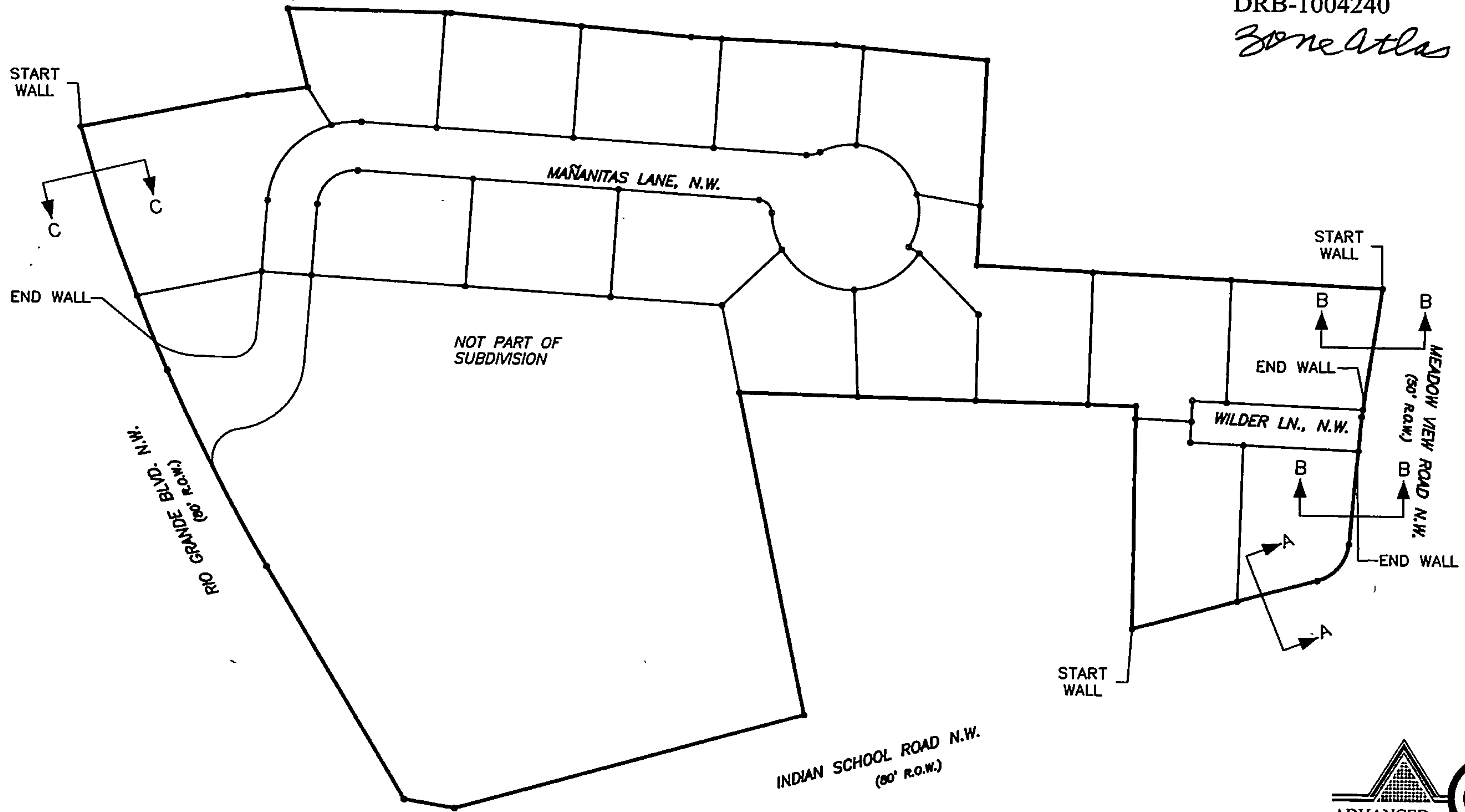
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4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

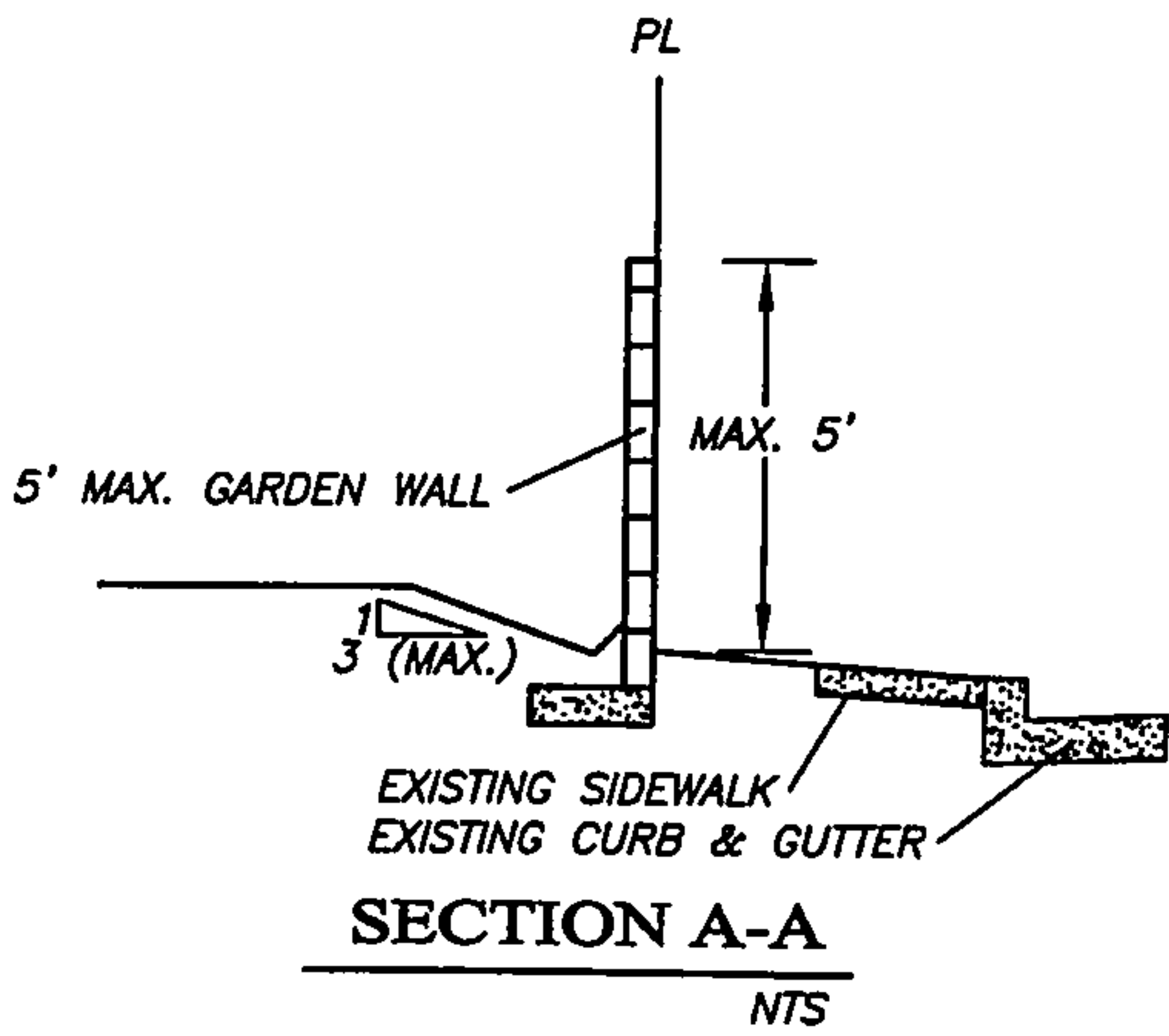
GARDEN WALL EXHIBIT FOR
VILLAS LAS MAÑANITAS SUBDIVISION
DRB-1004240

Zone Atlas Page

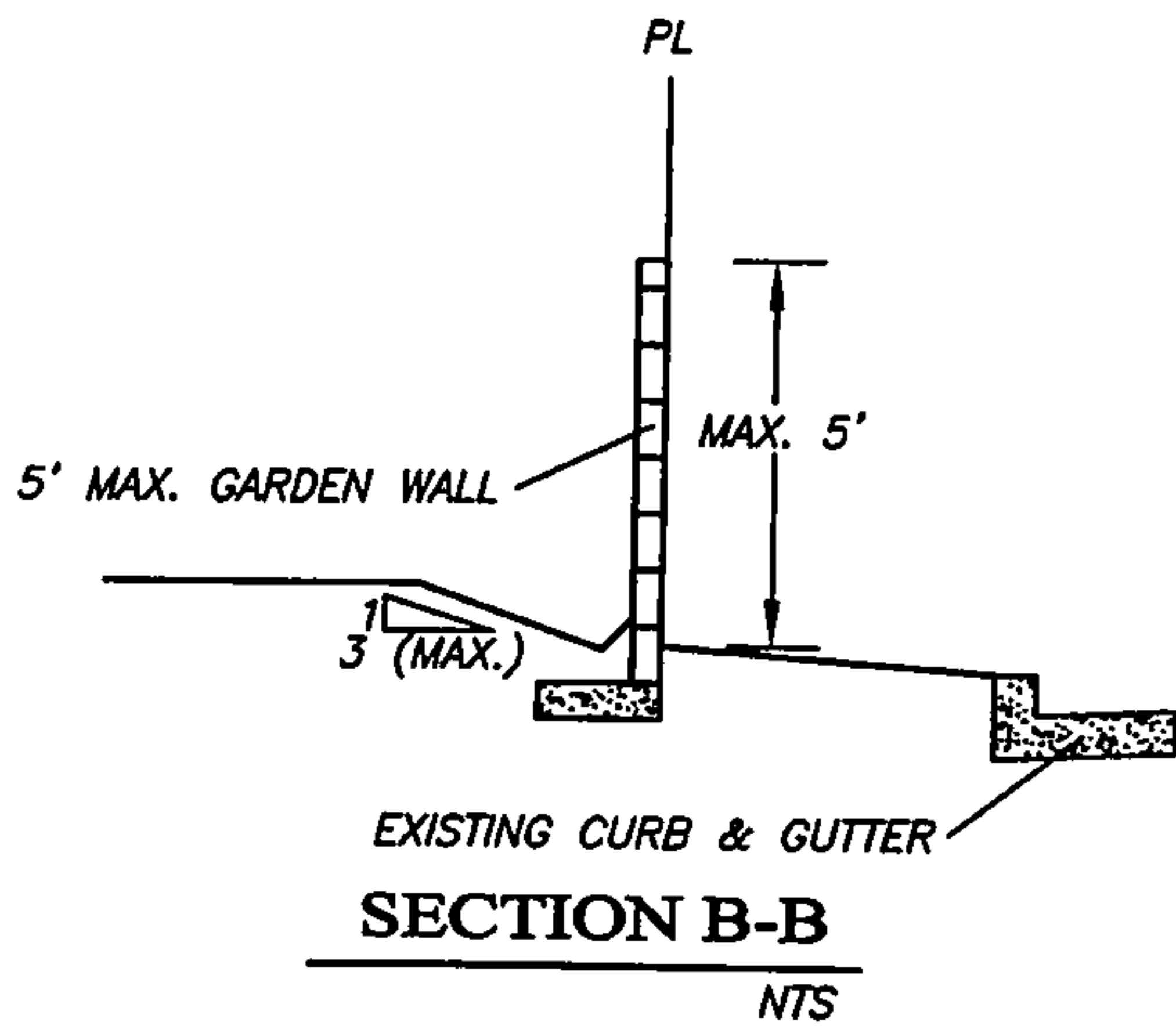
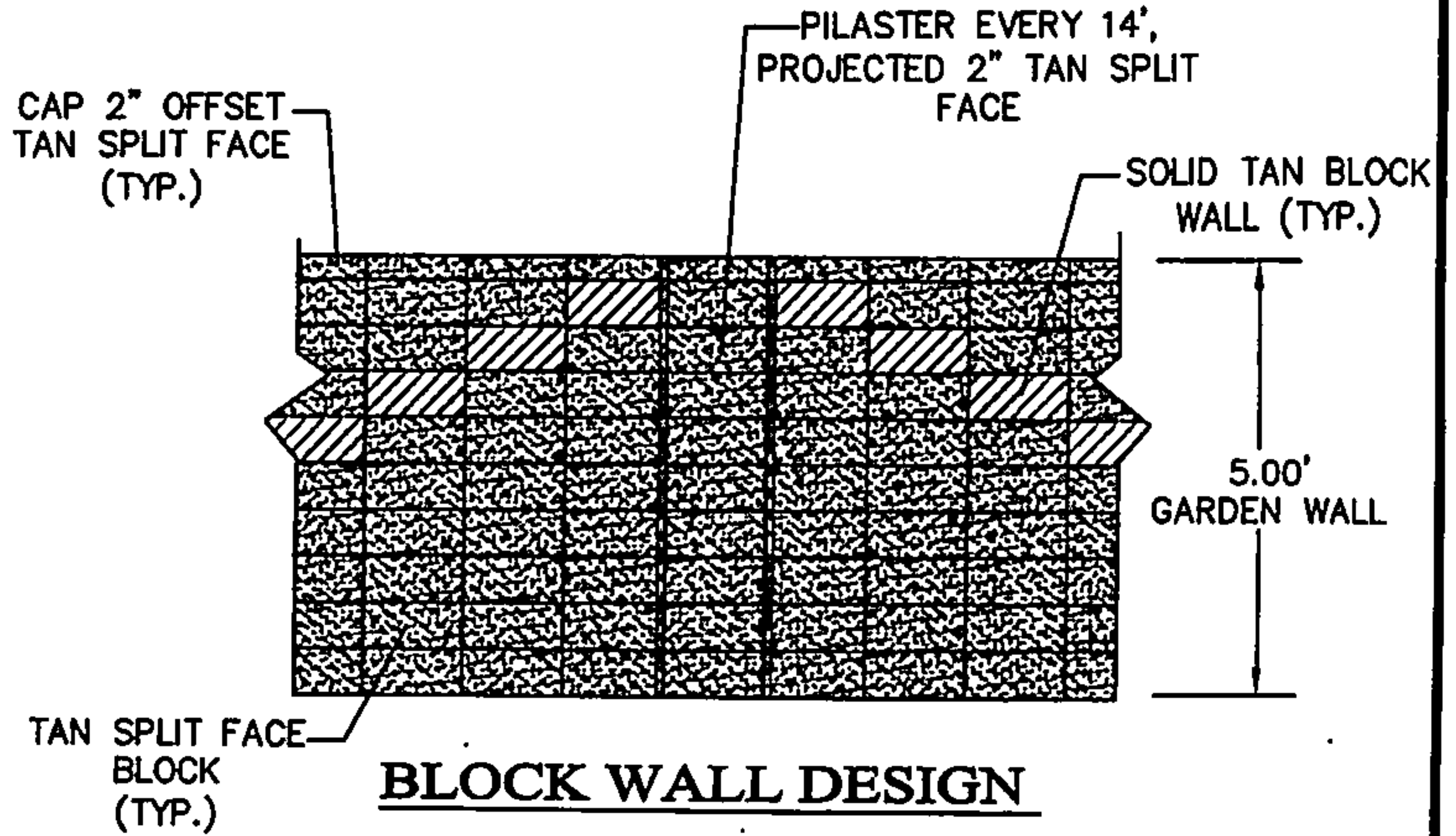


ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

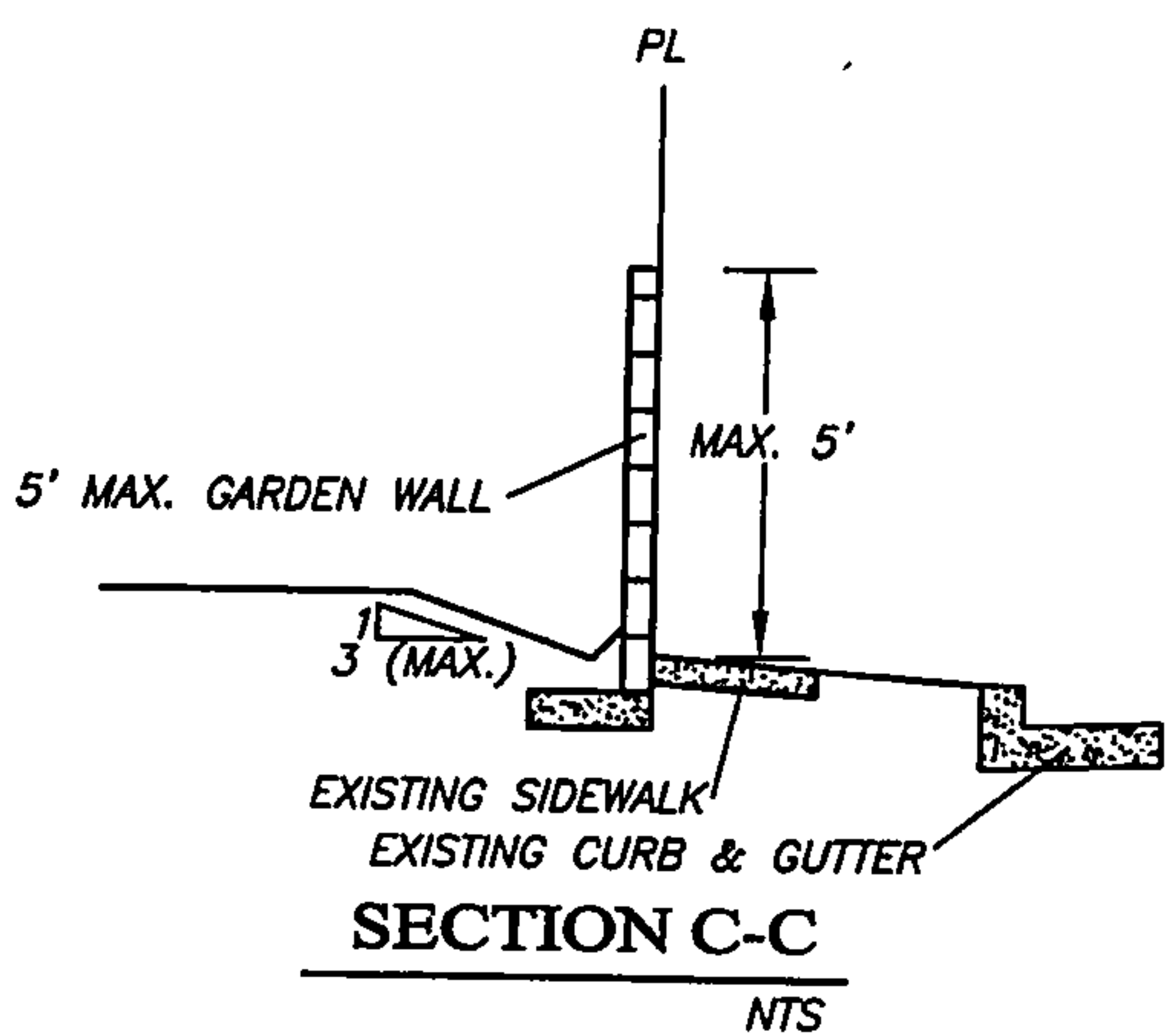
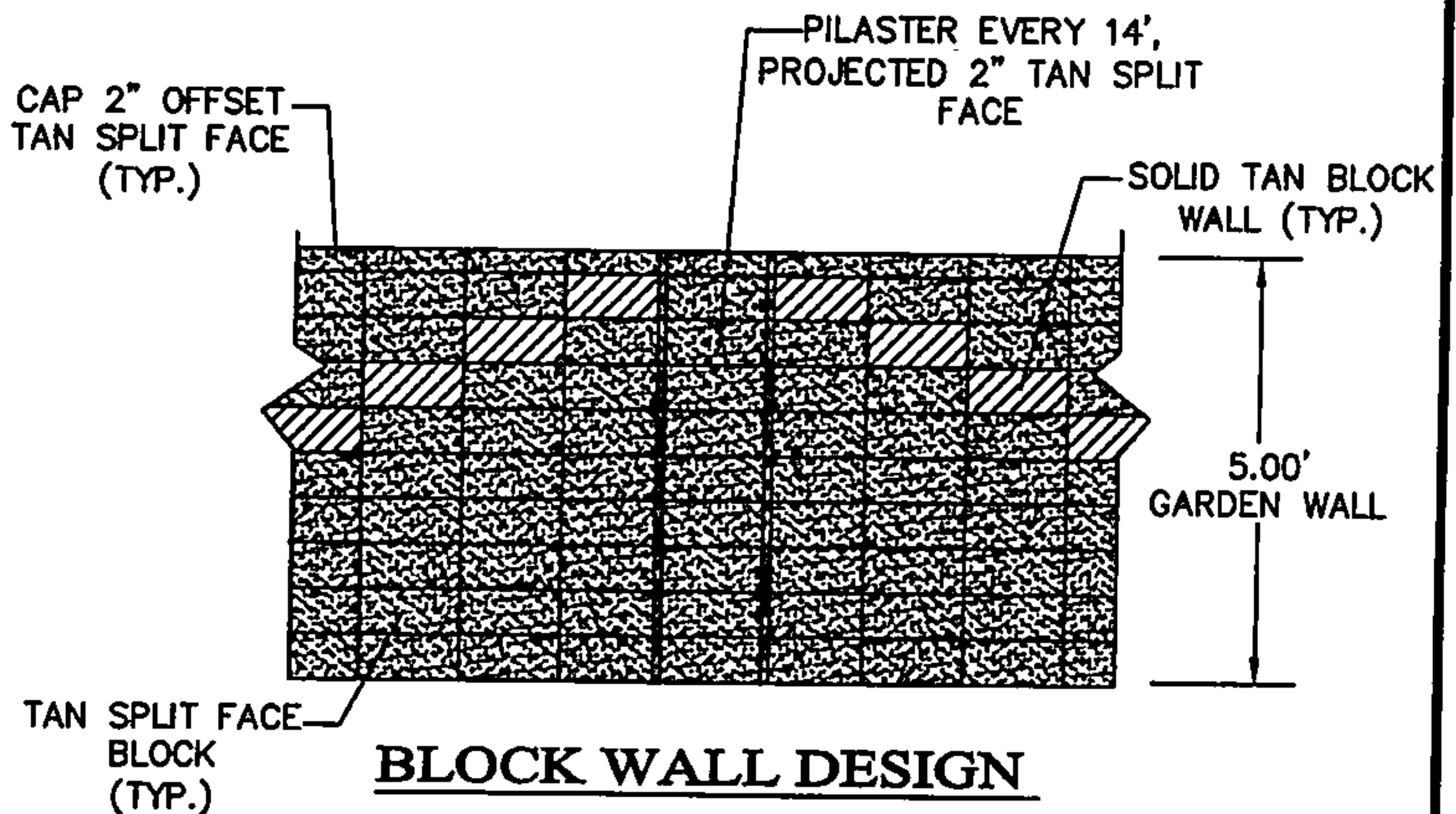
GARDEN WALL EXHIBIT FOR LAS MAÑANITAS SUBDIVISION DRB #1004240



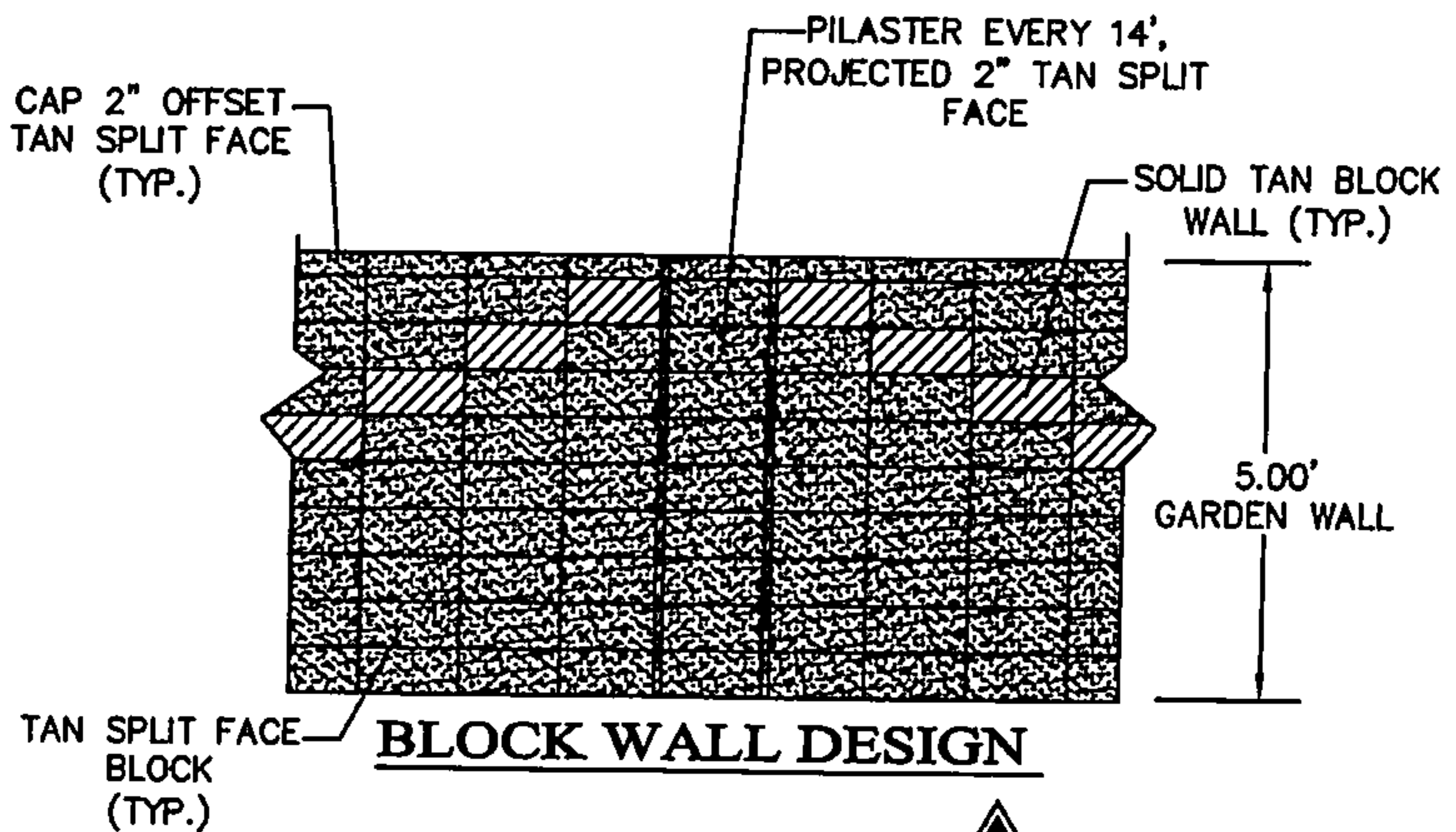
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MEADOW VIEW RD., N.W.

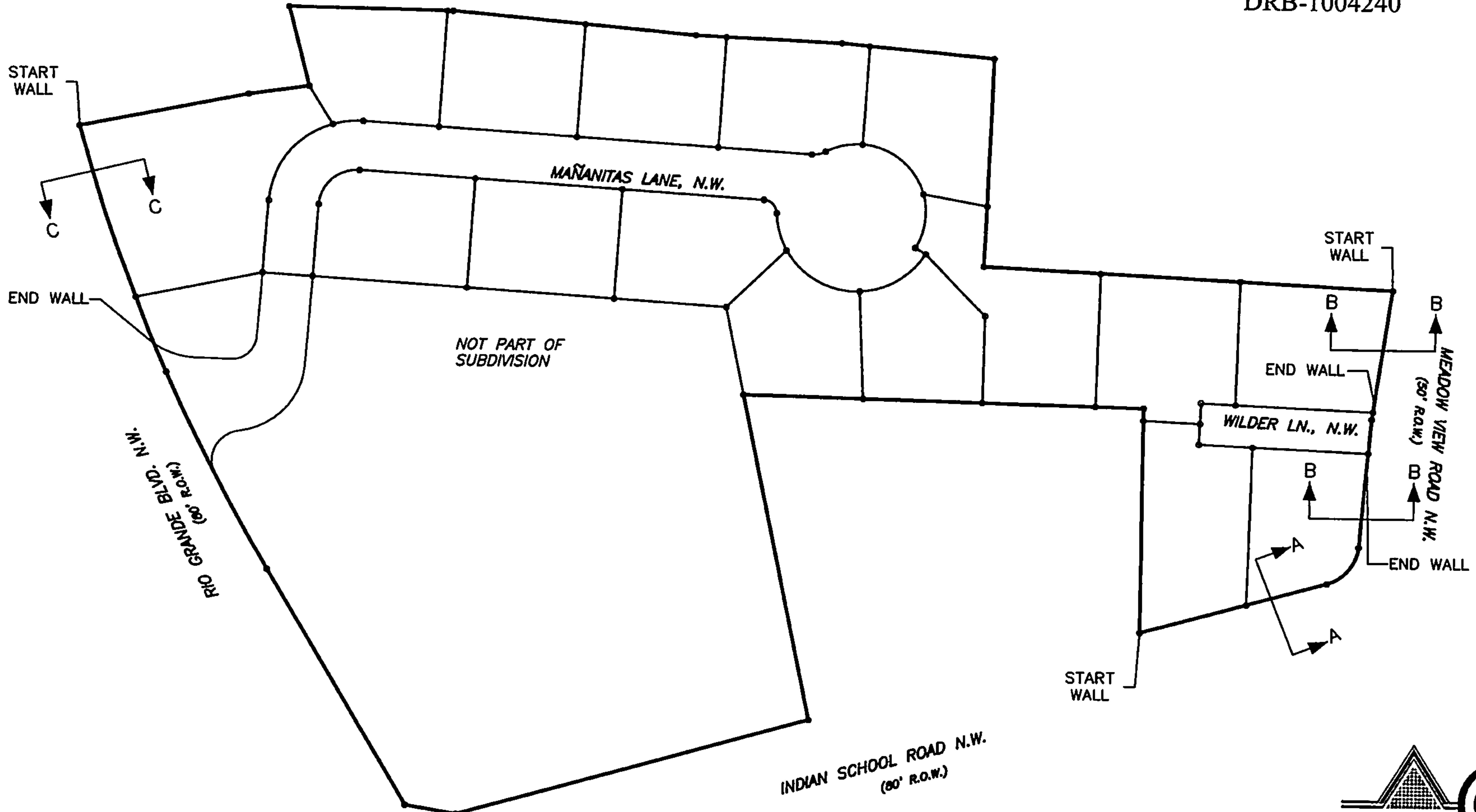


RIO GRANDE AVE., N.W.



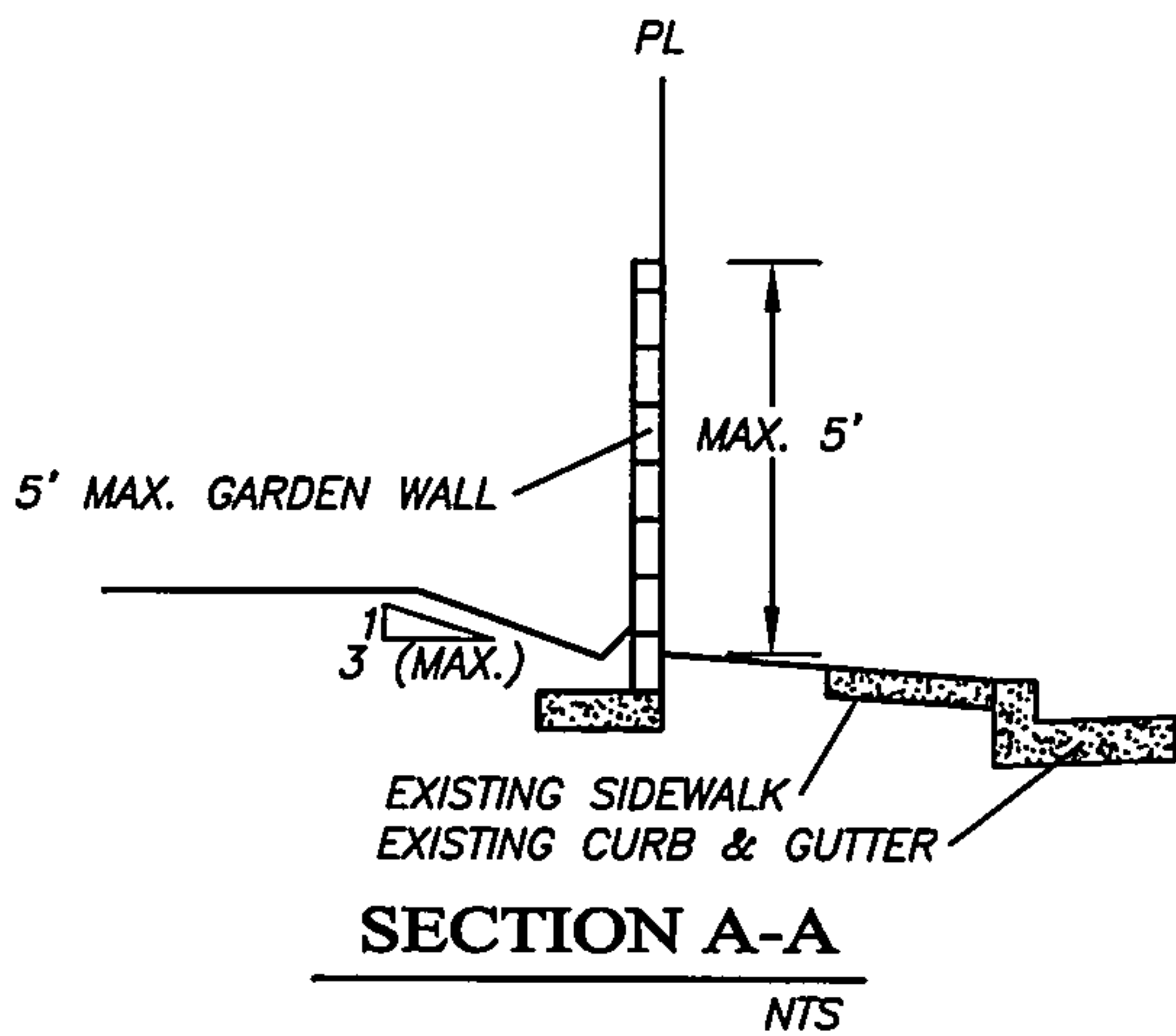
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GARDEN WALL EXHIBIT FOR
VILLAS LAS MAÑANITAS SUBDIVISION
DRB-1004240

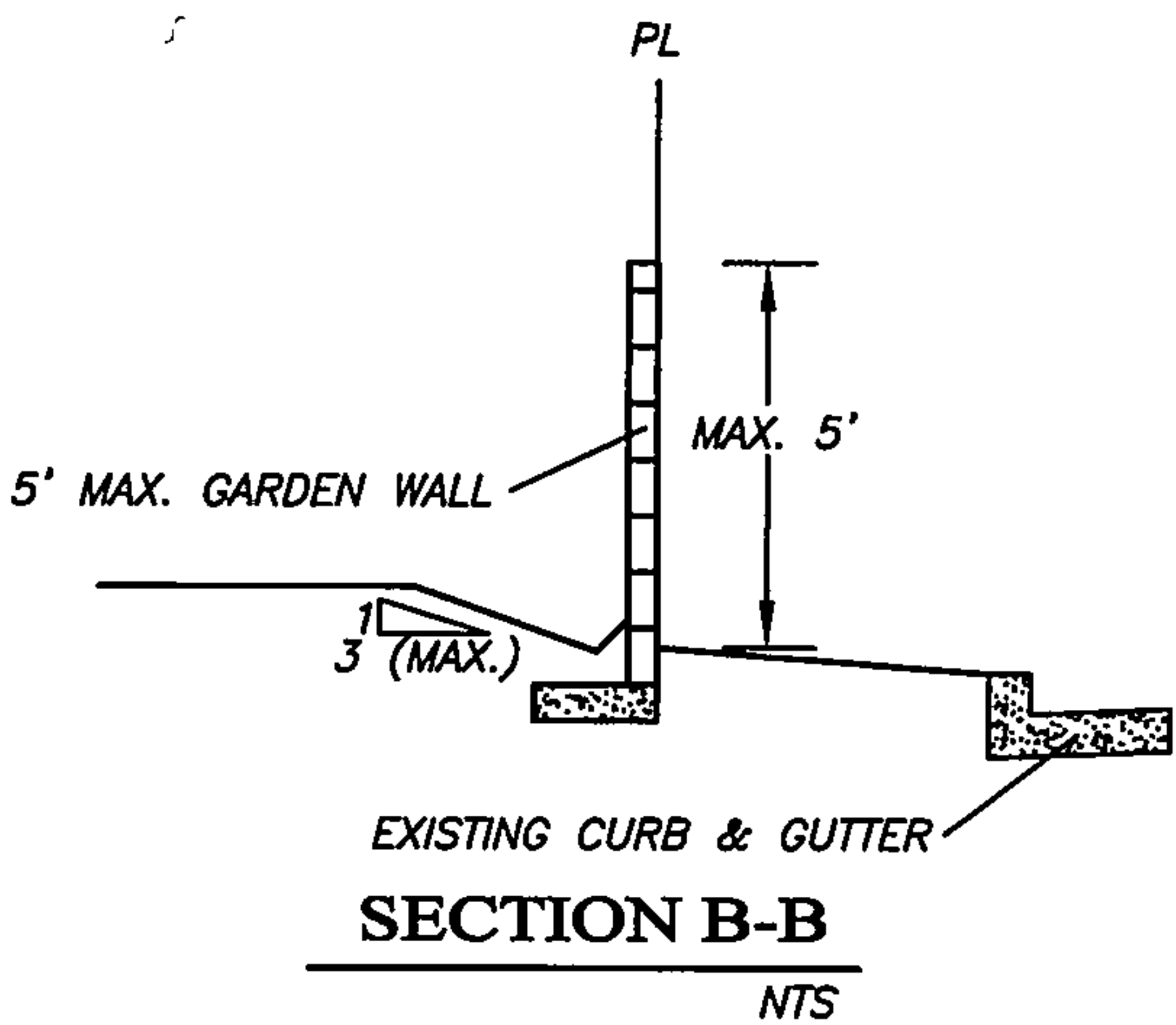
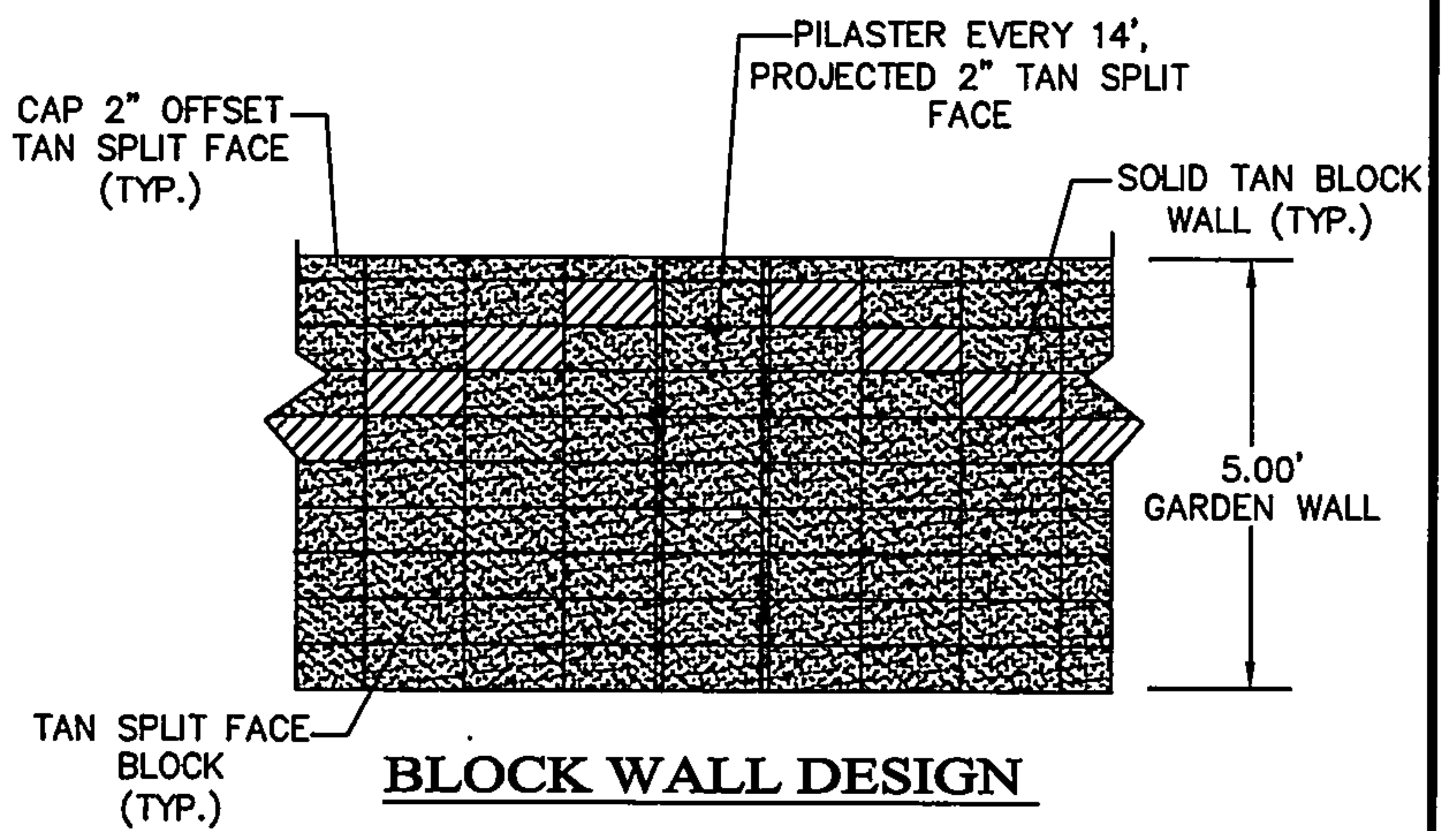


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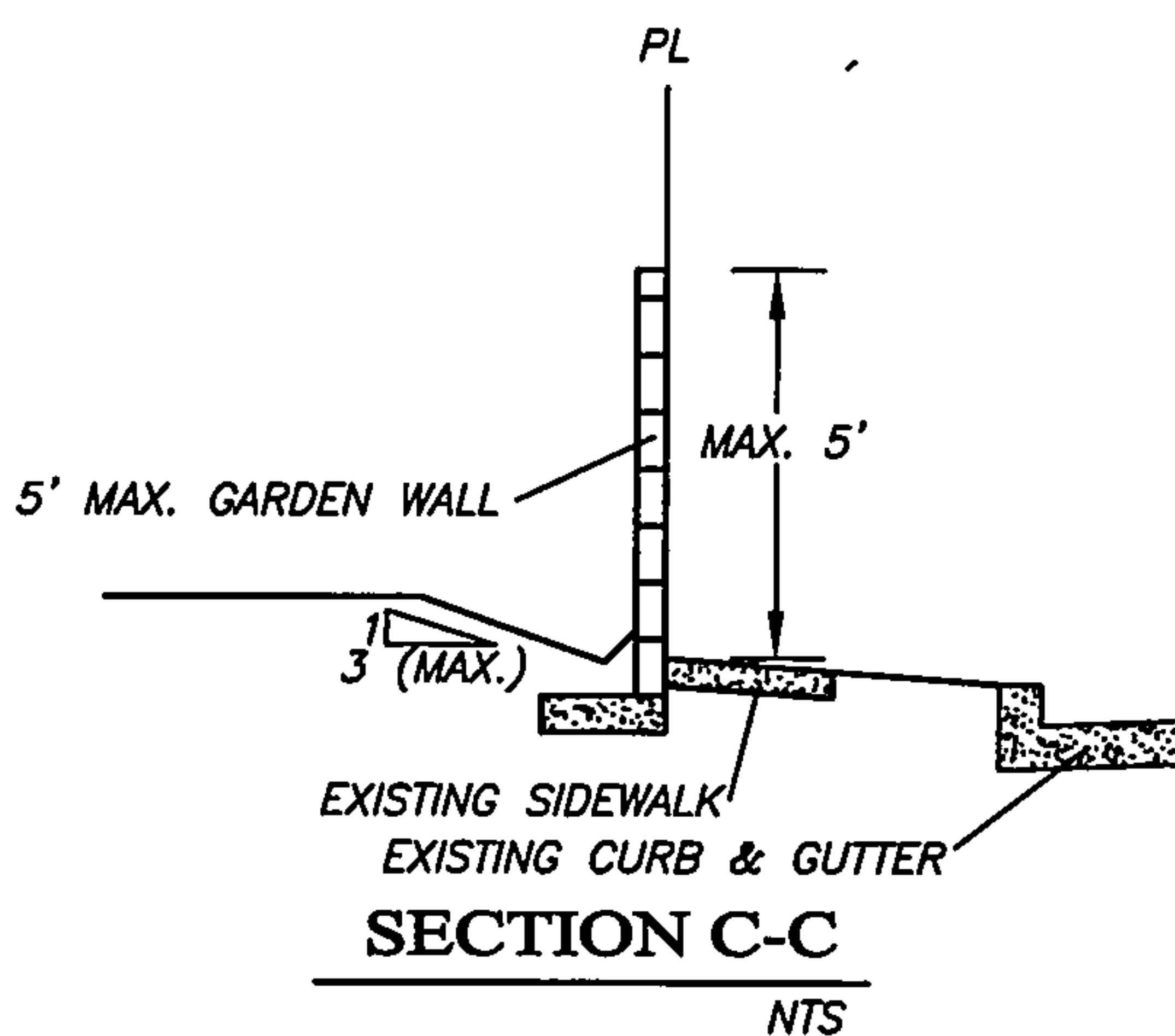
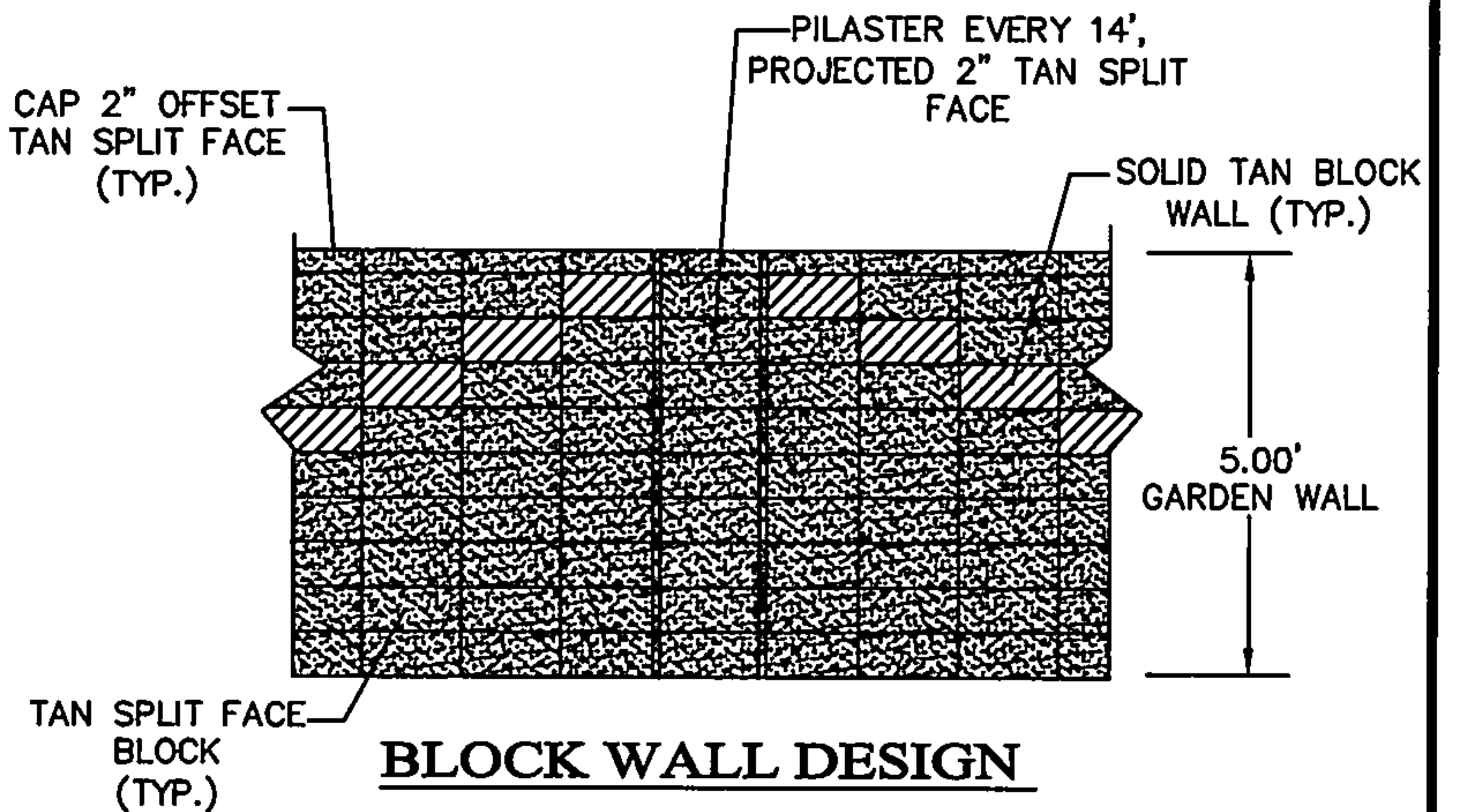
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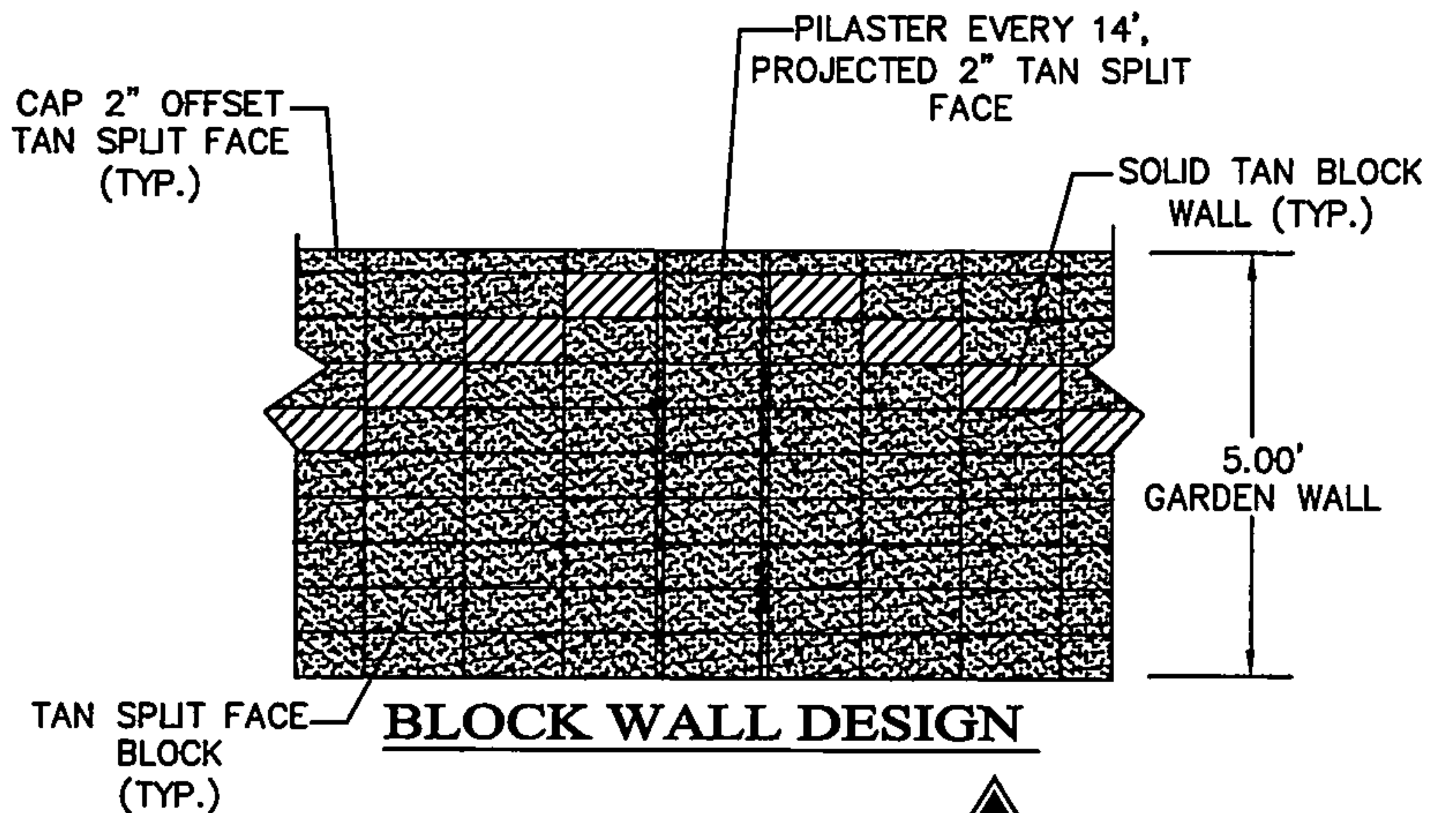
INDIAN SCHOOL RD., N.W.



MEADOW VIEW RD., N.W.



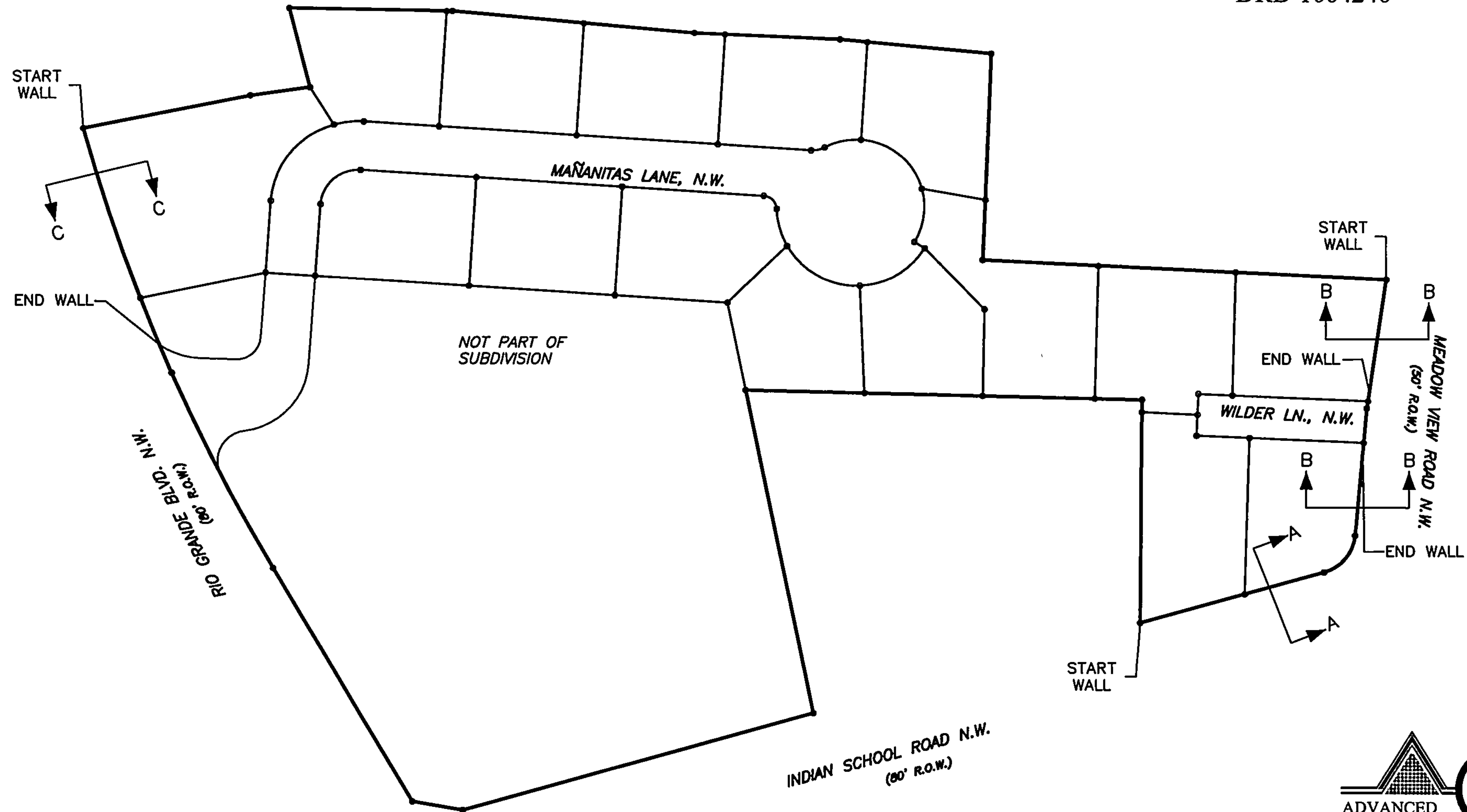
RIO GRANDE AVE., N.W.



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

GARDEN WALL EXHIBIT FOR
VILLAS LAS MAÑANITAS SUBDIVISION
DRB-1004240



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and CONSULTING, LLC
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input checked="" type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan		
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	
		APPEAL / PROTEST of...
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Villas Las Mananitas Development, LLC PHONE: (505) 350-1625
 ADDRESS: 8301 Lomas Blvd., NE FAX: _____
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: Ed Garcia
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: (505) 899-5570
 ADDRESS: 4416 Anaheim Avenue, NE FAX: (505) 897-4996
 CITY: Albuquerque STATE NM ZIP 87113 E-MAIL: AECLLC@aol.com

DESCRIPTION OF REQUEST: Preliminary Plat Approval, Temporary Deferral of Sidewalk, Vacation of Private Access Easement, and sidewalk design variance *Grading Plan*
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tracts 87-A-1-B, 87-A-2, 87-B-1, 87-B-2, 87-B-3, 88, 89A, 89-B-1, 89-B-2-A, Lots A-1 and A-2 Block: _____ Unit: _____
 Subdiv. / Addn. Lands of E. Mas TBK VILLAS LAS MANANITAS SUBDIVISION
 Current Zoning: SU-1 for C-1 and R-1 Proposed zoning: The same
 Zone Atlas page(s): H-13-Z No. of existing lots: 11 No. of proposed lots: 17
 Total area of site (acres): 4.6527 Acres Density if applicable: dwellings per gross acre: n/a dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits. Within 1000FT of a landfill? No
 UPC No. 101305906035620409, Please see attached for the rest of the UPC Numbers MRGCD Map No. 35
 LOCATION PROPERTY BY STREETS: On or Near: Indian School Rd NW
 Between: Alameda Drain, NW and Rio Grande Blvd., NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 05DRB-00918, 1004240.

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Shawn Baizar DATE 6-15-06
 (Print) Shawn Baizar/Managing Member Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - -00890</u>	<u>PP</u>	<u>5(2)</u>	<u>\$ 1080.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>06DRB - -00891</u>	<u>SV</u>	<u>U</u>	<u>\$ 0</u>
<input type="checkbox"/> All case #s are assigned	<u>06DRB - -00892</u>	<u>TDS</u>	<u>V</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	<u>06DRB - -00893</u>	<u>UPRE</u>	<u>U</u>	<u>\$ 45.00</u>
<input checked="" type="checkbox"/> Case history #s are listed	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	<u>CMF</u>	_____	<u>20.00</u>
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>7-12-06</u>			<u>Total</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 1220.00</u>

Van S's

Planner signature / date

Project # 1004240

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Signed** Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.


- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT
 (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAWN BIAZAR
 Applicant name (print)

 Applicant signature / date
 6-15-06



Form revised 11/04 and JUNE 05

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 06DRB - _____ - 00890

Kim S. [Signature] 6/16/06
 Planner signature / date
Project # 1004240

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

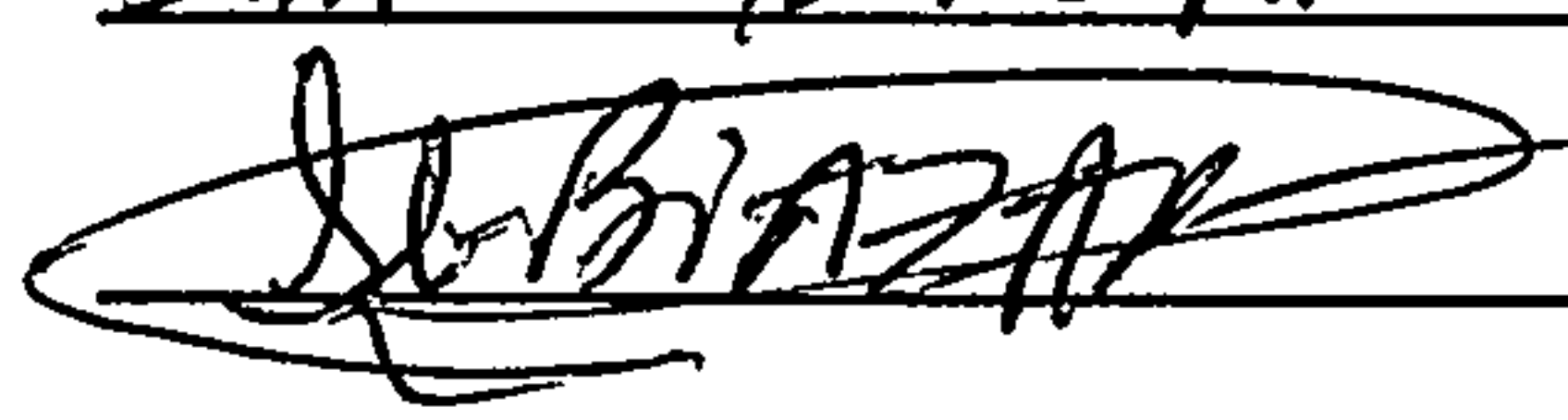
EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT 4520

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAWN BIAZAR

 Applicant name (print) 6-15-06
 Applicant signature / date

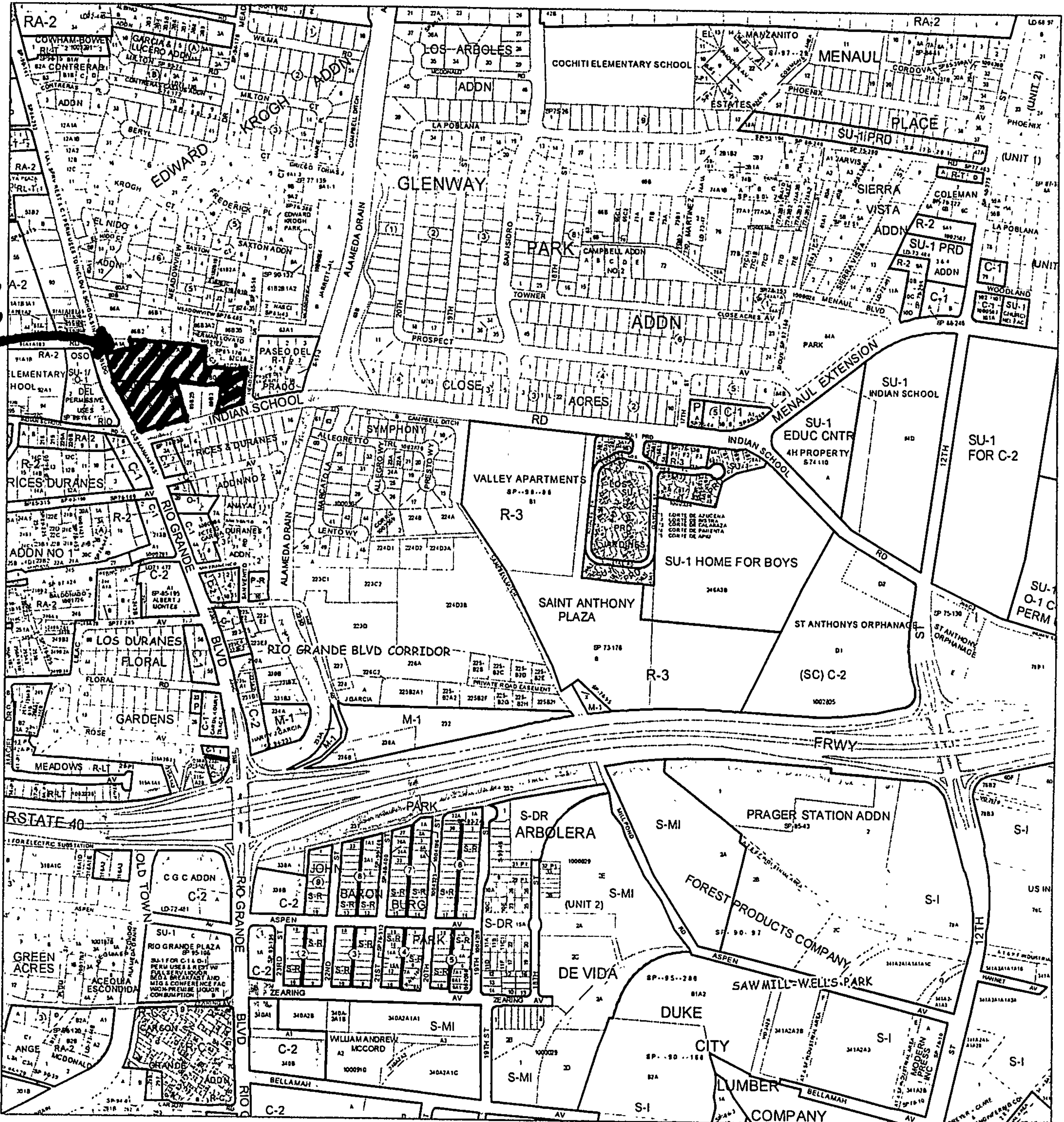


Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
2601RB - 00891
2602RB - 00892
2603RB - 00893

Jim Sis 6/16/06
 Planner signature / date
Project # 1004240

SITE



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/12/2006

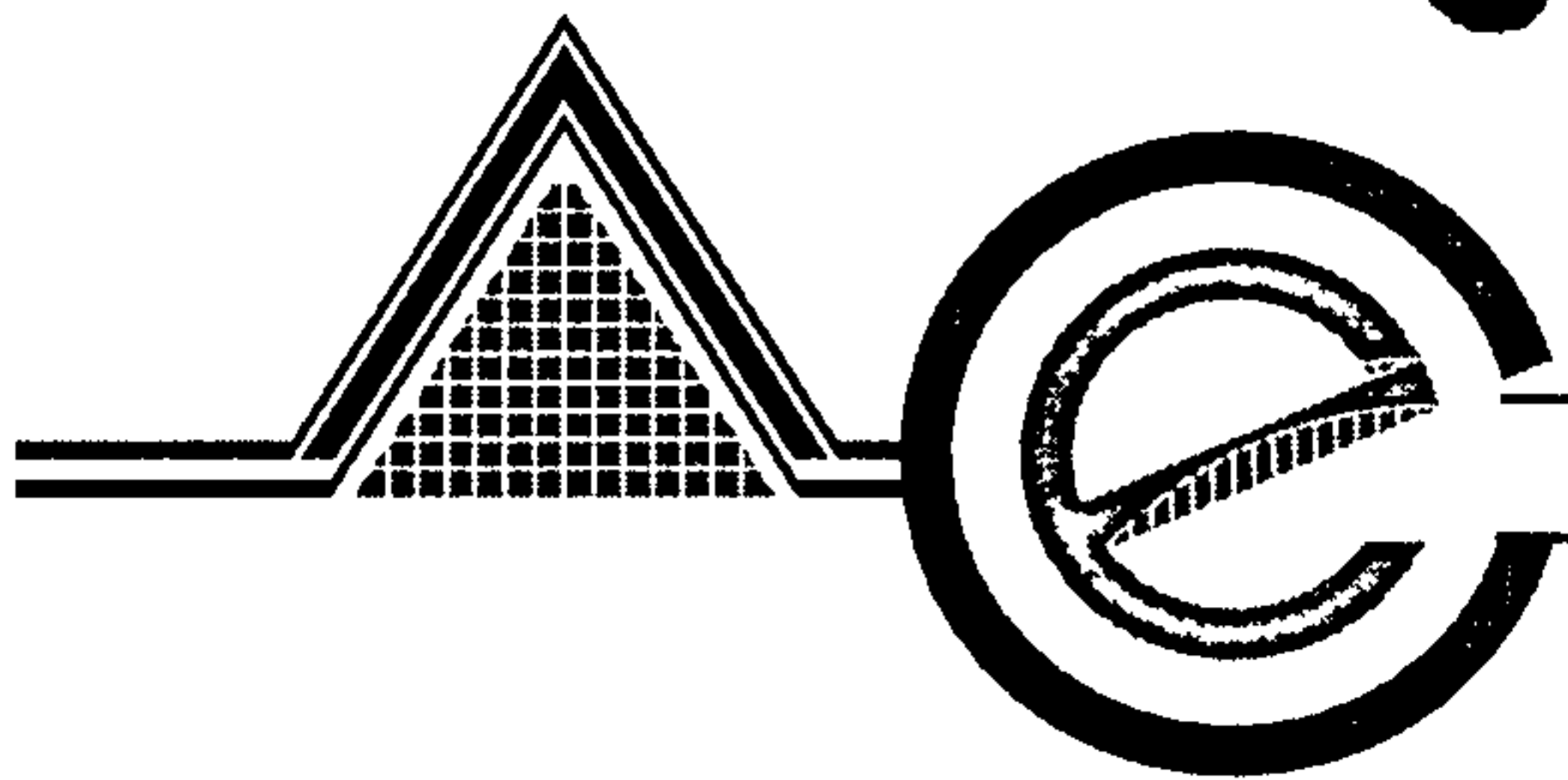
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

	Escarpment
	2 Mile Airport Zone
	Airport Noise Contours
	Wall Overlay Zone

0 750 1,500 Feet



ADVANCED ENGINEERING and CONSULTING, LLC

June 15, 2006

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary Plat , Grading & Drainage Plan Approval, Sidewalk Design Variance, Vacation of Private Access Easement, Temporary Deferral of Construction of the Sidewalks for Villa Las Mananitas Subdivision, DRB Project # 1004240, Containing ± 4.6527 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, is requesting a Preliminary Plat and Grading & Drainage Plan approval for the above referenced project. The site is located on Rio Grande Blvd., NW between Indian School Road, NW and Meadow View Place, NW.

We are requesting a sidewalk design variance to construct the sidewalk on one side of the road. This was previously presented to the DRB at the sketch plat review and did not receive objection. Please find 6 copies of the exhibit for reference.

We also are requesting to vacate a private access easement. There is an existing private access easement on the property, which is no longer needed. A new access easement will be granted by this plat. Attached is a copy of the document that created the existing easement for your review.

Lastly, we are requesting a temporary deferral of the construction of the sidewalks to avoid damaging the sidewalks during the construction of the houses. The construction of the sidewalks will be completed with each house. Please find 6 copies of the exhibit for reference.

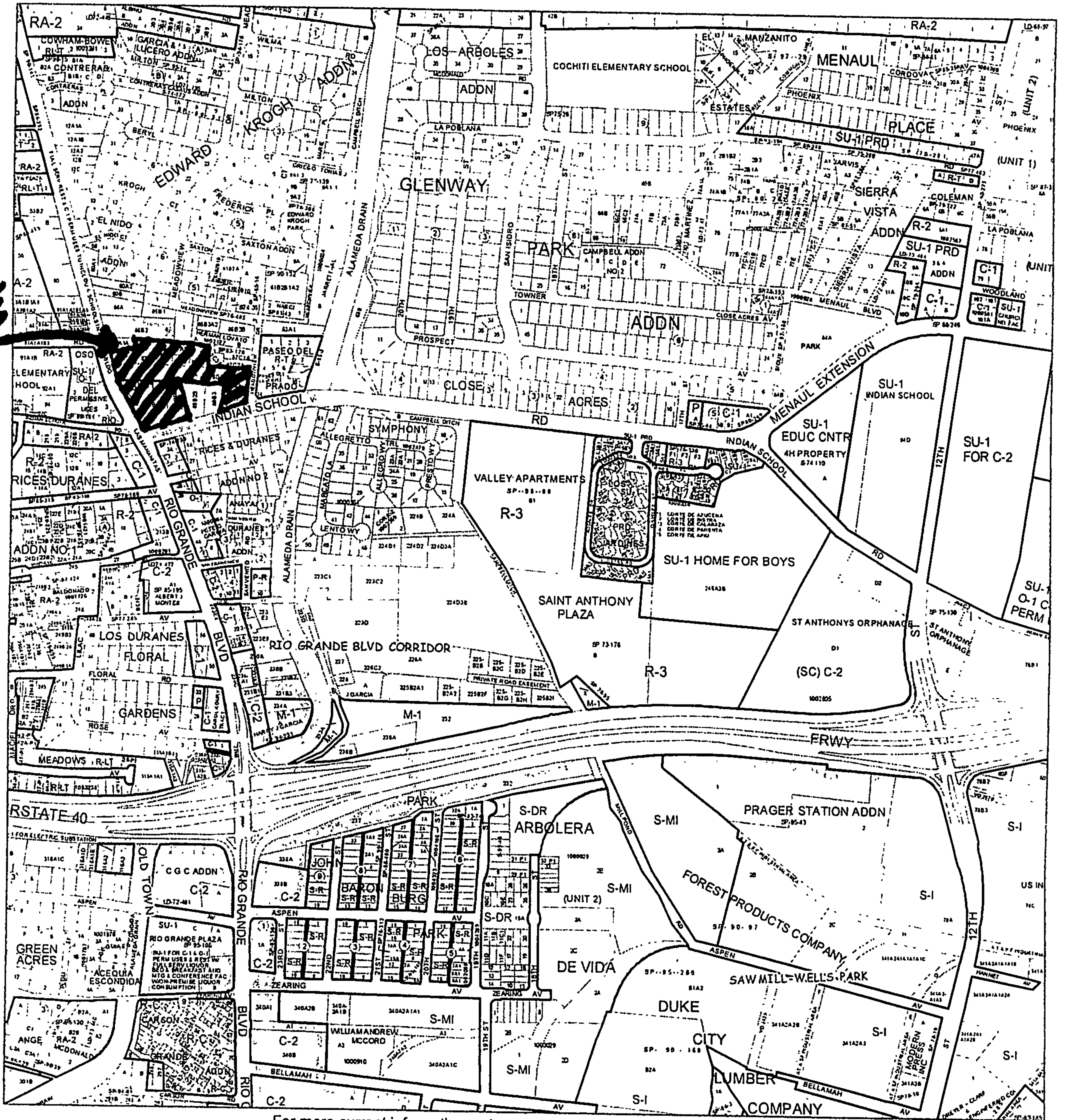
Please contact me if you require additional information.

Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606

LITE



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 1/12/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
H-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Continuing UPC Numbers form the DRB Application:

101305907836020412,

101305907935520408,

101305911933420420,

101305911934020419,

101305908304820410,

101305906033420401,

101305907433420402,

101305908935420407,

3/11/06

June 9, 2006

City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

Re: Submittal for DRB - Preliminary Plat, Vacation of Easements, Deferral of Sidewalk/Sidewalk Design Variance, Grading and Drainage Plan - **Las Mananitas Subdivision** - Zone Atlas Page H-13-Z, Containing Approximately 4.6527 Acres, and Consisting of One 2-Acre Commercial Tract and 16 Residential Lots, located at approximately the NEC of Rio Grande and Indian School NW

To Whom It May Concern:

I, Edward T. Garcia, Managing Member of Villas Las Mananitas Development, LLC and authorized Manager of Las Mananitas Properties, LLC, the owners of the above referenced real property, hereby authorize Advanced Engineering and Consulting, LLC to act as agent on our behalf regarding the preparation and submittal of all necessary materials and applications in connection with **preliminary plat approval, vacation of easements, deferral of sidewalk/sidewalk design variance, and grading and drainage plan** for Las Mananitas subdivision, a proposed subdivision in the City of Albuquerque, located at approximately the Northeast corner of Rio Grande Blvd. NW and Indian School Rd. NW consisting of a 2-acre commercial tract to be known as "The Shops at Las Mananitas" and 16 residential lots to be known as "Villas Las Mananitas."

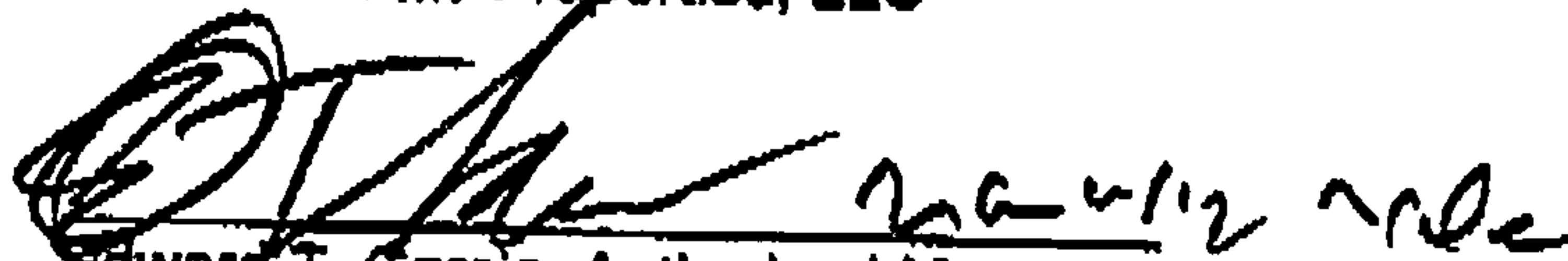
Owner's authorization for final plat submittal to DRB must be give separately upon review and approval of the final plat.

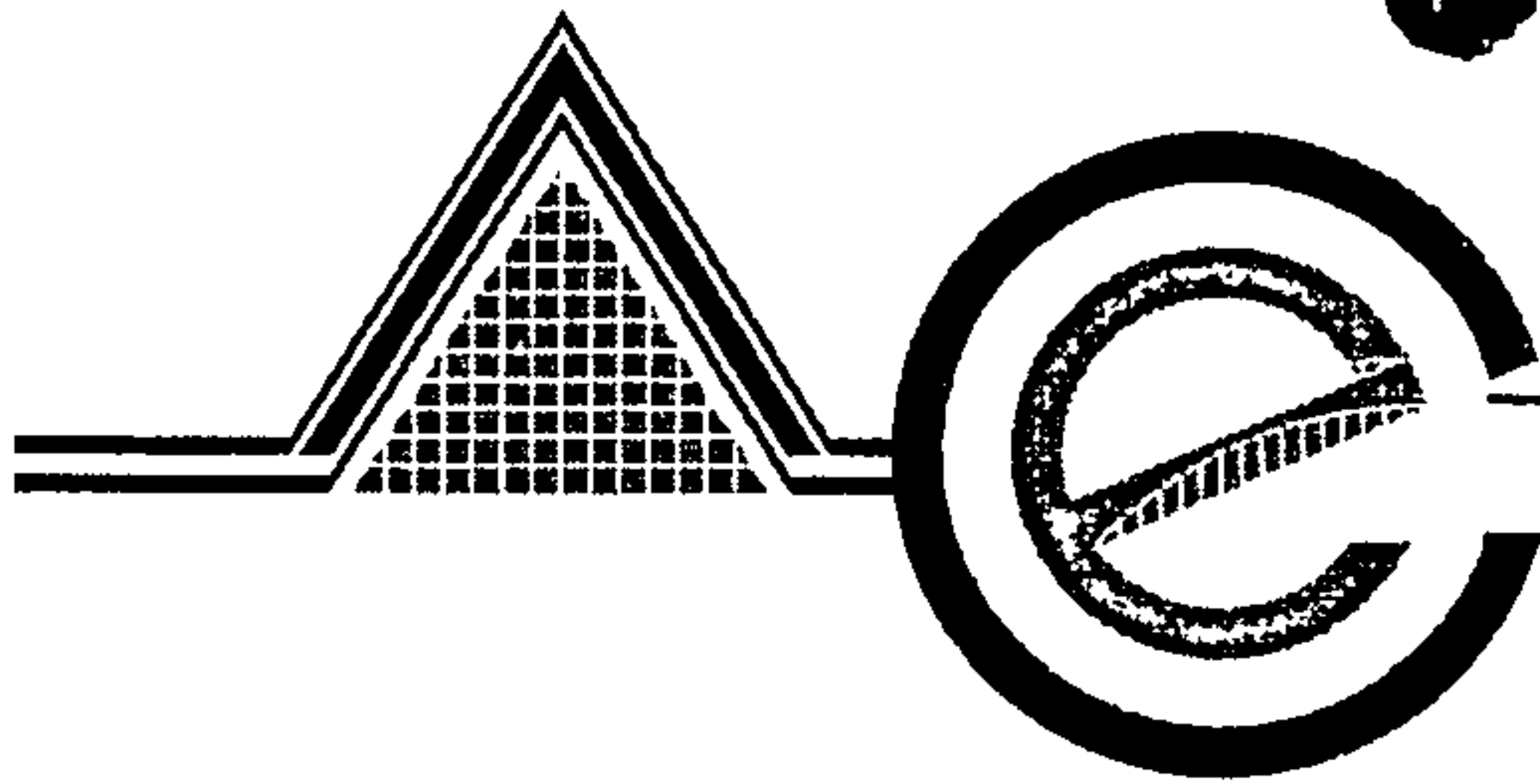
Very truly yours,

Villas Las Mananitas Development, LLC


Edward T. Garcia, Managing Member

Las Mananitas Properties, LLC


Edward T. Garcia, Authorized Manager



ADVANCED ENGINEERING and CONSULTING, LLC

June 15, 2006

*Consulting
Design
Development
Management
Inspection
Surveying*

Sheran Matson, DRB Chair
City of Albuquerque Planning Department
Plaza Del Sol 2nd floor West
600 2nd Street NW
Albuquerque, NM 87102

Re: Preliminary Plat , Grading & Drainage Plan Approval, Sidewalk Design Variance, Vacation of Private Access Easement, Temporary Deferral of Construction of the Sidewalks for Villa Las Mananitas Subdivision, DRB Project # 1004240, Containing ± 4.6527 Acres, Zone Atlas Page H-13-Z

Dear Ms. Matson:

Advanced Engineering and Consulting, on behalf of Villas Las Mananitas Development, is requesting a Preliminary Plat and Grading & Drainage Plan approval for the above referenced project. The site is located on Rio Grande Blvd., NW between Indian School Road, NW and Meadow View Place, NW.

We are requesting a sidewalk design variance to construct the sidewalk on one side of the road. This was previously presented to the DRB at the sketch plat review and did not receive objection. Please find 6 copies of the exhibit for reference.

We also are requesting to vacate a private access easement. There is an existing private access easement on the property, which is no longer needed. A new access easement will be granted by this plat. Attached is a copy of the document that created the existing easement for your review.

Lastly, we are requesting a temporary deferral of the construction of the sidewalks to avoid damaging the sidewalks during the construction of the houses. The construction of the sidewalks will be completed with each house. Please find 6 copies of the exhibit for reference.

Please contact me if you require additional information.

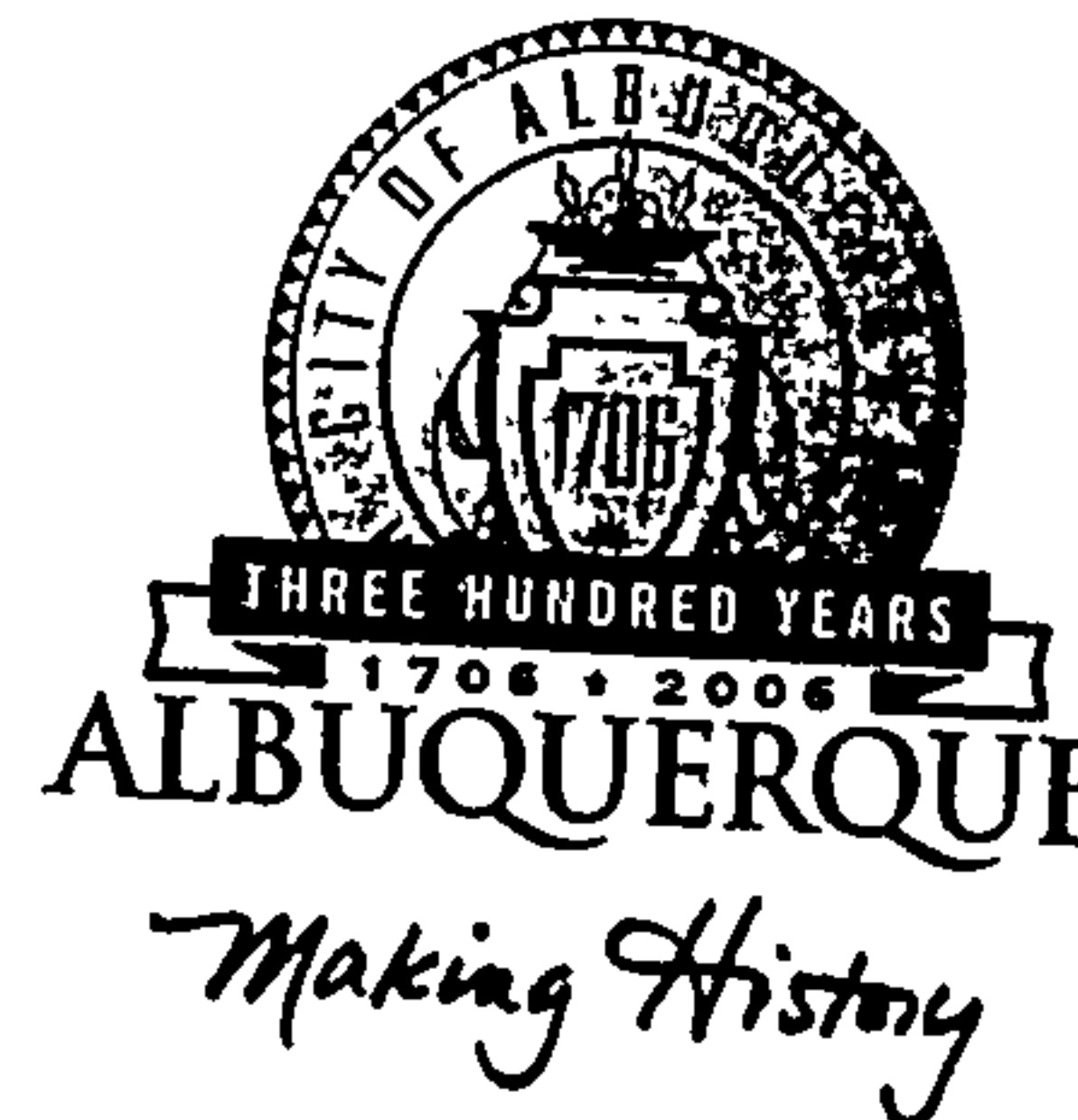
Sincerely,

Sally Salazar Cass, Operations Manager

Enclosures
JN: 200606

CITY OF ALBUQUERQUE

2006



August 9, 2005

Mr. Scharles Wilder
1501 San Patricio Ave. SW
Albuquerque, NM 87104

RE: Water and Sanitary Sewer Availability - Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, MRGCD Map 35; and Lots A1 and A2, Ernest Maes
Request Dated July 15, 2005

H-13

Mr. Wilder:

Property Information: Site is an irregular collection of parcels totaling approximately 2.4 acres. The land is bounded by Rio Grande on the west, Indian School on the south, residential on the north, and Meadow View Road on the east. Zoning is R-1. The western lots are within the Rio Grande Corridor Sector Plan. The site is a hodgepodge of residential development.

Project was seen at Development Review Board (DRB) for Sketch Plat on 6/22/05, see DRB #1004240. Proposed is a 14-lot residential subdivision. Aerial photos dated 2004 show existing structures including an apartment building on the northwest corner of Meadow View Road and Indian School; apparently these will be razed for the subdivision.

Existing Sanitary Sewer (SAS) and Water Lines: There is an 18-inch SAS and a 2¼-inch water line in Rio Grande Boulevard. The 18-inch SAS is NOT available for direct service connection. There is an 8-inch SAS and 6-inch water line in Meadow View Road, and an 8-inch SAS and 6-inch water line in Indian School Road.

Sanitary Sewer Service: Sanitary sewer service will require construction of an 8-inch line from a new manhole on the existing 18-inch SAS in Rio Grande to the end of the proposed cul-de-sac. An inverted siphon will be required on the new line just upstream of the new manhole. A new 8-inch line is required from Meadow View to the west end of the proposed stub street to serve those parcels.

Water Service / Fire Protection: Water service will require construction of a new 6-inch line looping between the existing 6-inch line at Indian School / Rio Grande, north in Rio Grande to the 6-inch line at Zickert Road, and east through the site to Meadow View Road. Once fire protection is resolved, each lot will take individual service by routine connection to the new line.

Easements: Exclusive Albuquerque Bernalillo County Water Authority public water and sewer easements are required for all public lines to be constructed outside of dedicated rights-of-way. Minimum easement widths shall be 20-feet for single lines and 25-feet for both water and sanitary sewer lines or as approved by DRB.

Design and construction of all required improvements will be at the developer / property owner's expense and must be coordinated through the City of Albuquerque via the DRC / City Work Order process. Designs must be by a New Mexico, registered, professional engineer. Construction must be by a licensed, bonded, public utility contractor.

Utility Expansion Charges: In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges (UEC's). These charges are payable at the time service is requested.

P.O. Box 1293

Albuquerque

New Mexico 87103

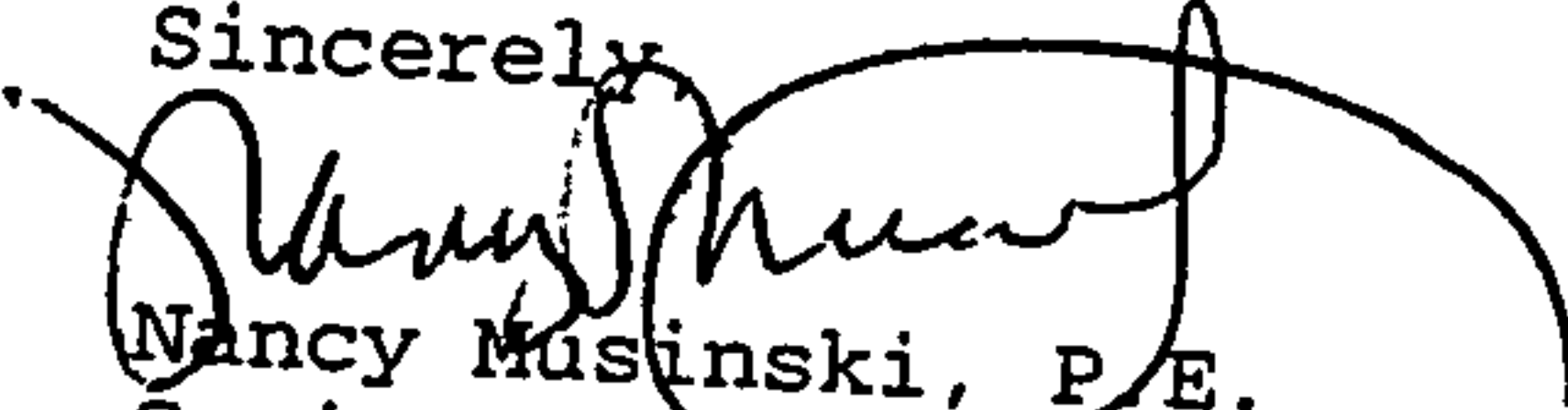
www.cabq.gov

Ernest Maes
August 9, 2005
Page 2

Closure: This statement of availability will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the City of Albuquerque as soon as possible. Any outstanding pro rata assessments must be paid at the time service is taken. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Please feel free to contact the undersigned at (505) 924-3988 or by fax at (505) 924-3864 if you have questions regarding the information presented herein or need additional information.

Sincerely,



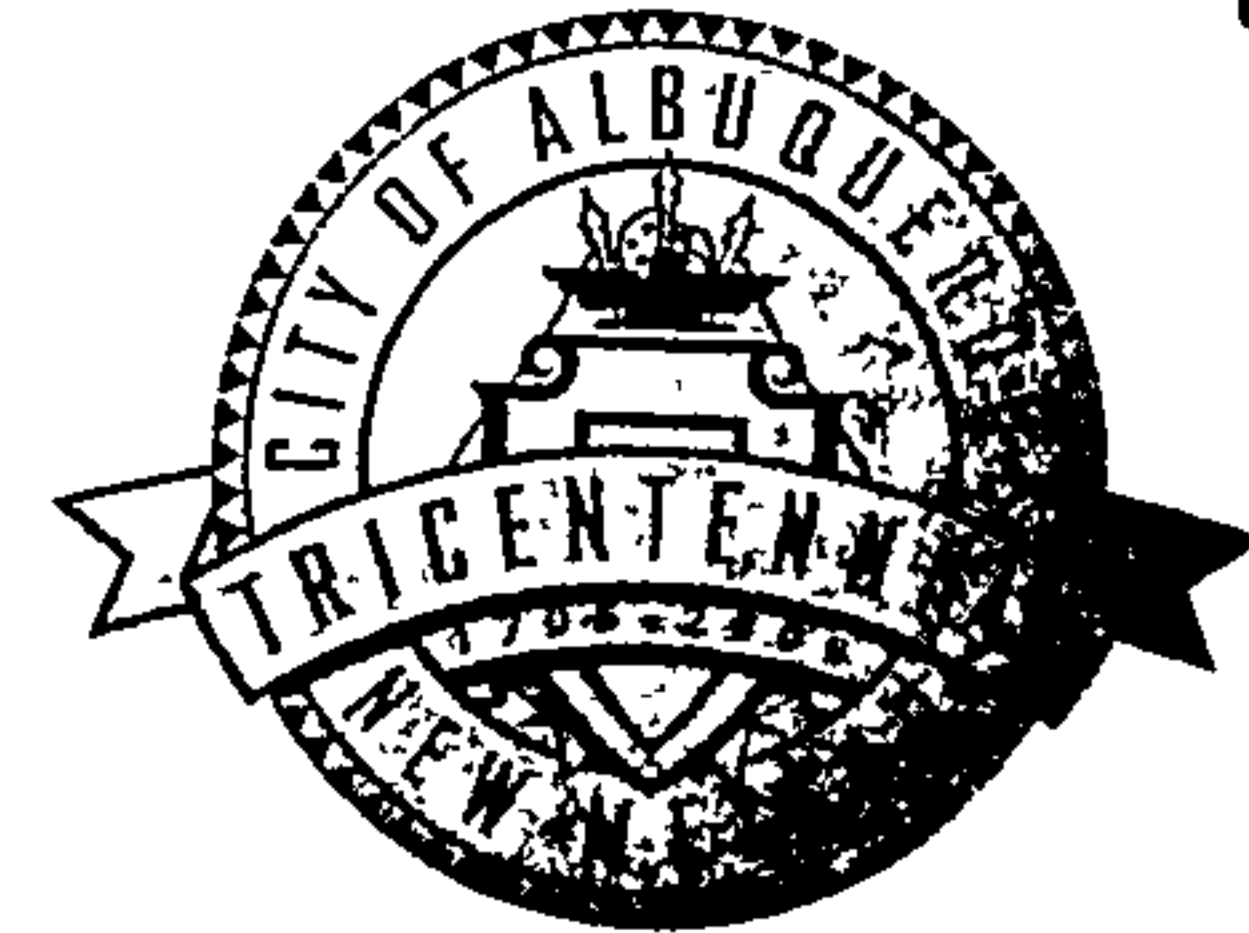
Nancy Musinski, P.E.
Senior Engineer

Utility Development Section

Attachments: system maps

c: f/ availability H-13
f/ readers #50712
f/ DRB #1004240

CITY OF ALBUQUERQUE



606

May 18, 2006

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Ave. NE
Albuquerque, NM 87113

**Re: Villas Las Mananitas Subdivision, Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2A & The Lands E. Maes Tracts A1 & A2
Drainage Report - Engineer's Stamp dated 4-17-06 (H13-D50)**

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 4-20-06, the above referenced plan is approved for Preliminary Plat and Site Development Plan for Subdivision action by the DRB. Once that board has approved the plan, please submit a mylar copy of the grading plan for my signature in order to obtain a Grading Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

A handwritten signature in black ink, appearing to read "Phillip J. Lovato".

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

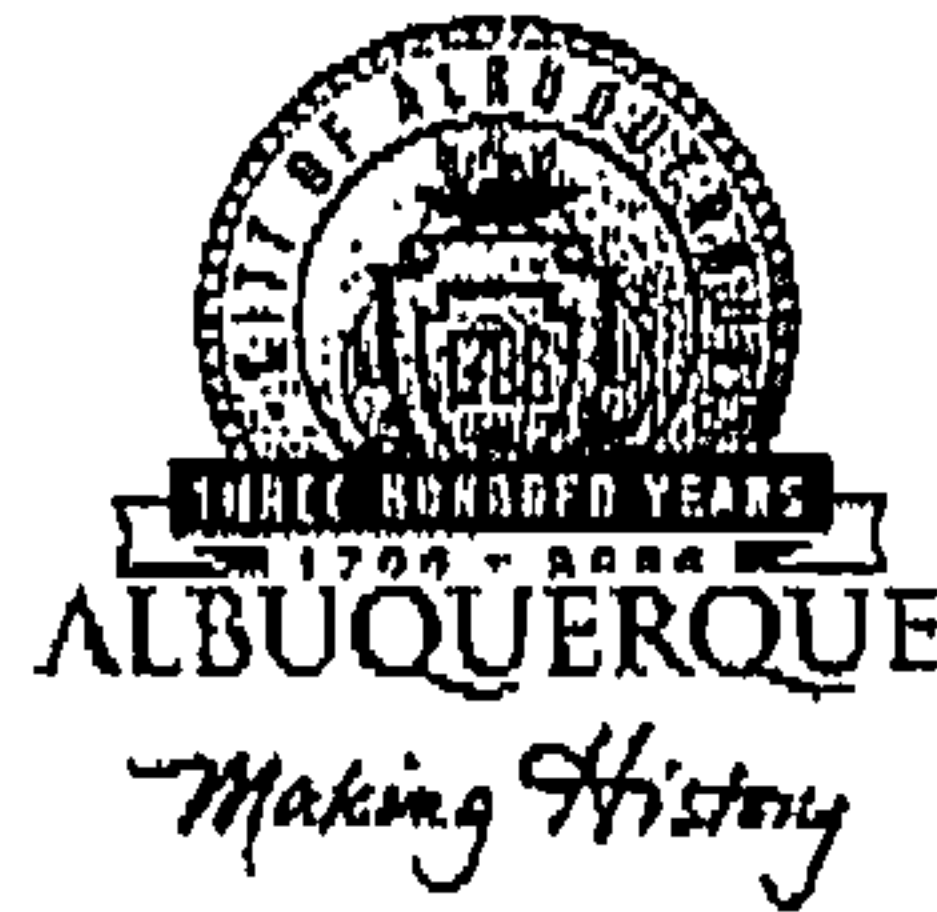
cc: Charles Caruso, DMD
file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

June 16, 2006

Sally Salazar

Advanced Engineering and Consulting, LLC

4416 Anaheim Avenue NE/87113

Phone: 899-5570/Fax: 897-4996

Dear Sally

Thank you for your inquiry of June 16, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89BA, 89B2A, LOTS A1 AND A2, LANDS OF E MAS LOCATED ON INDIAN SCHOOL ROAD NW BETWEEN RIO GRANDE BOULEVARD NW AND MEADOW VIEW PLACE NW** zone map **H-13**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

LOS DURANES N.A. (LDU) "R"

***William C. Herring**

3104 Coca Rd. NW/87104 243-4664 (h)

Beverly Schoonover

3308 Beach NW/87104 242-1788 (h)

RIO GRANDE BLVD. N.A. (RGB) "R"

***Frank Mangano**

4300 Rio Grande NW/87107 343-8736 (h)

Winnie Kimbrough

2327 Campbell Rd. NW/87104 344-1363 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

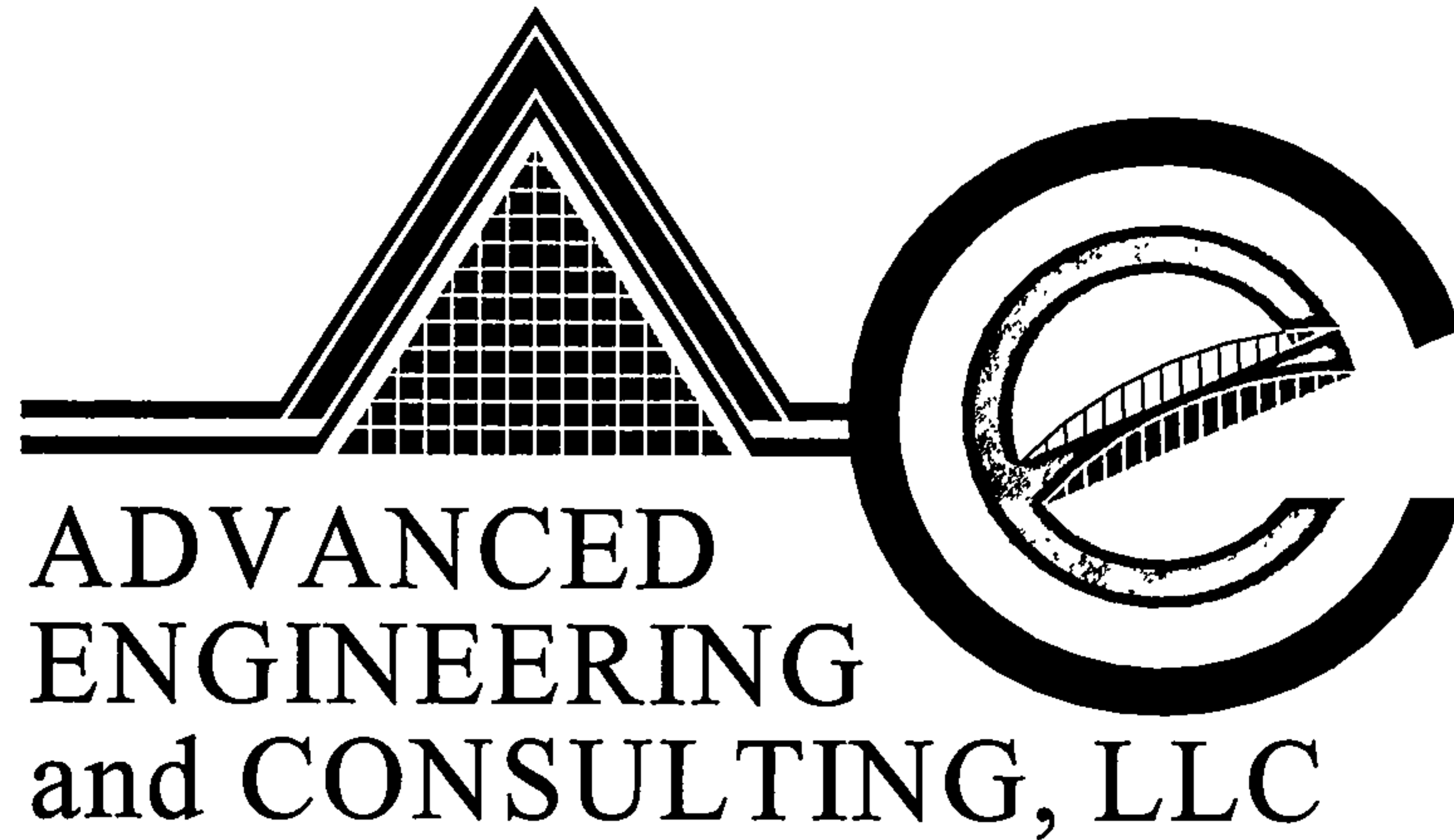
Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)



To: Willian C. Herring, Beverly Schoonover, Frank Manago, Jo Marie Anderson

From: Shawn Biazar

Winnie Kimbrough

Subject: Copy of the Submittals to DRB

Date: June 16, 2006

Dear Sirs and Madams:

Please find a copy of the submittals for Preliminary Plat, Grading & Drainage Plan Approval, Sidewalk Design Variance, Vacation of Private Access Easement, Temporary Deferral of Construction of the Sidewalks for Villa Las Mananitas Subdivision, DRB Project # 1004240. This site is located on Rio Grande Blvd., NW. between Indian School Road, NW and Meadow View Place , NW.

If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

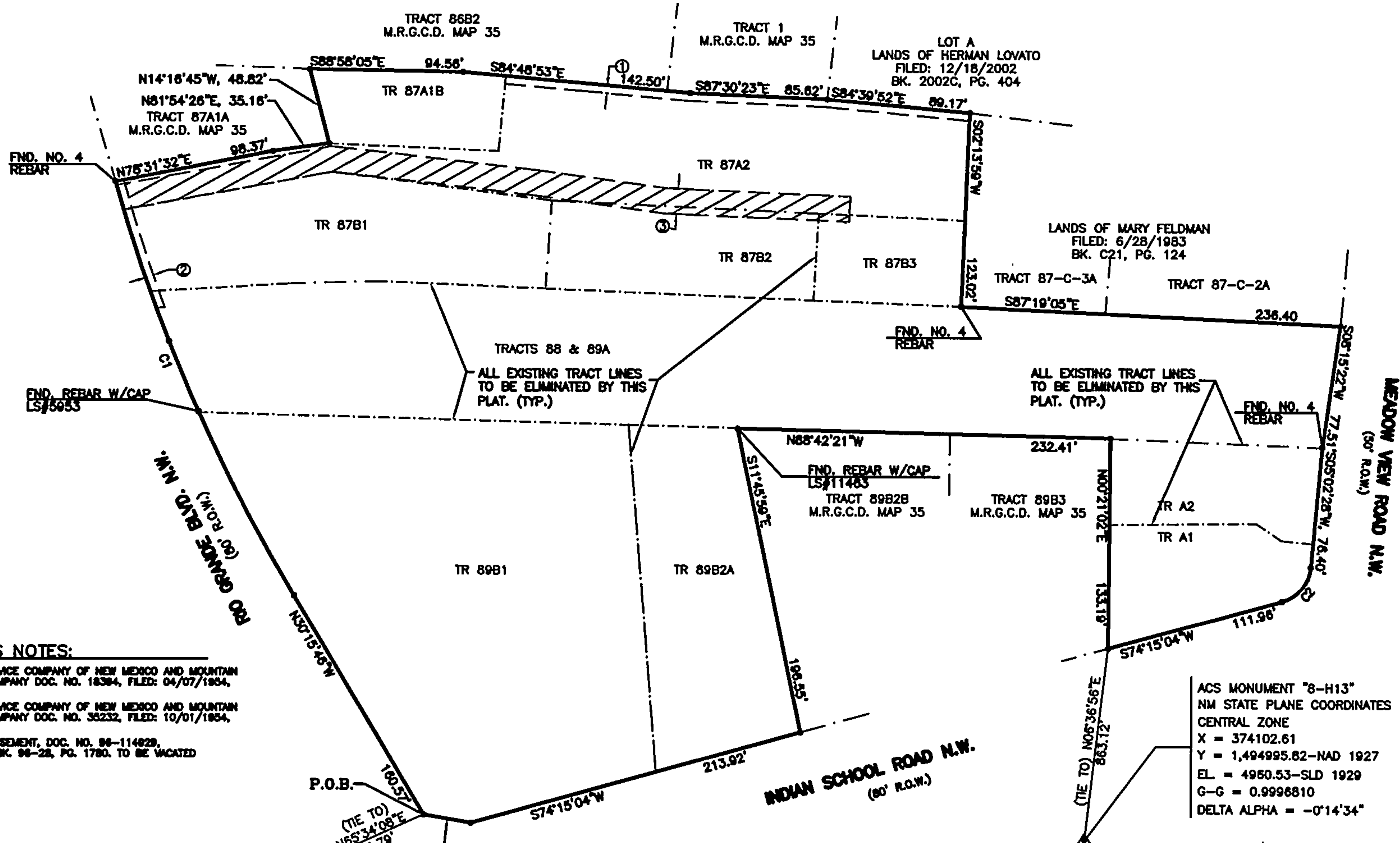
(below this line for ONC use only)

Date of Inquiry: **06/16/06** Time Entered: **3:25 p.m.** ONC Rep. Initials: **SW**

EXHIBIT FOR VACATION OF PRIVATE ACCESS EASEMENT

PLAT OF VILLAS LAS MAÑANITAS SUBDIVISION

PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 2006



EASEMENTS NOTES:

- EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 18384, FILED: 04/07/1984, BK. D275, PG. 234.
- EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 35232, FILED: 10/01/1984, BK. D282, PG. 338.
- EXIST. 18' ACCESS EASEMENT, DOC. NO. 86-114828, FILED: 10/18/1998, BK. 96-28, PG. 1780, TO BE VACATED BY THIS PLAT.
PROJECT #:
VACATION ACTION #:

ACS MONUMENT "7-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 373707.44
Y = 1,495715.39-NAD 1927
EL = 4961.71-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL = 4960.53-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL = 4960.53-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	284.97	1080.36	15°06'47"	143.32	284.14	N22°48'24"W
C2	30.13	25.00	69°02'37"	17.20	28.34	S39°43'46"W

GRAPHIC SCALE



SCALE: 1"=50'



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

7003 2260 0005 8325 8263

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OFFICIAL USE

ALBUQUERQUE, NM 87104

Postage	\$	3.03
Certified Fee		2.40
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	5.43



Sent To Winnie Kimbraugh
 Street, Apt. No., or PO Box No. 2327 Campbell Rd NW
 City, State, ZIP+4 Alb NM 87104

PS Form 3800, June 2002 See Reverse for Instructions

604



***** WELCOME TO *****
 ALAMEDA STATION
 Albuquerque, NM 87114-9998
 06/16/06 04:24PM

Store USPS Trans 69
 Wkstn sys5003 Cashier KT6D2F
 Cashier's Name eml
 Stock Unit Id WINEVA
 PO Phone Number 1-800ASKUSPS
 USPS # 3401500114

1. First Class 5.43
 Destination: 87104
 Weight: 11.30 oz.
 Postage Type: PVI
 Total Cost: 5.43
 Base Rate: 3.03
 SERVICES
 Certified Mail 2.40
 70032260000583258263

Subtotal 5.43
 Total 5.43

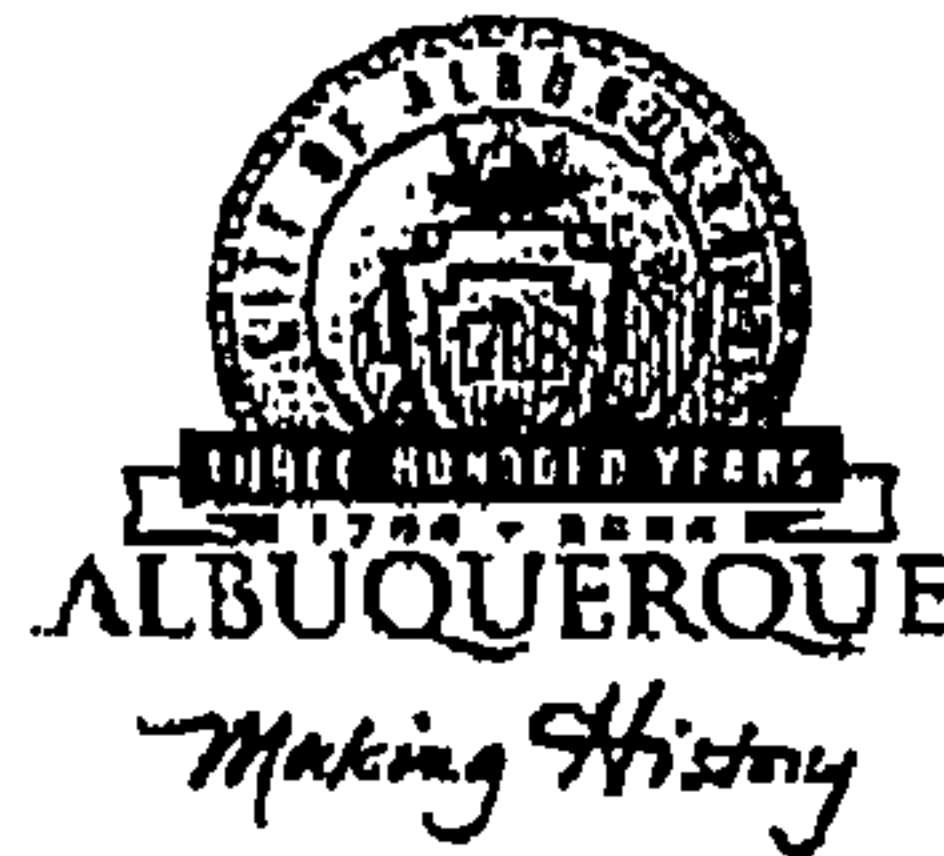
VISA 5.43

<23-902810167-97>

VISA
 ACCT. NUMBER CLERK ID
 XXXX XXXX XXXX 0760 54
 AUTH 023405 CREDIT TRANS # 574

ALL SALES FINAL ON STAMPS AND POSTAGE.
 REFUNDS FOR GUARANTEED SERVICES ONLY.

Number of Items Sold: 1



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

June 16, 2006

Sally Salazar

Advanced Engineering and Consulting, LLC

4416 Anaheim Avenue NE/87113

Phone: 899-5570/Fax: 897-4996

Dear Sally

Thank you for your inquiry of June 16, 2006 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89BA, 89B2A, LOTS A1 AND A2, LANDS OF E MAS LOCATED ON INDIAN SCHOOL ROAD NW BETWEEN RIO GRANDE BOULEVARD NW AND MEADOW VIEW PLACE NW zone map H-13.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

LOS DURANES N.A. (LDU) "R"

***William C. Herring**

3104 Coca Rd. NW/87104 243-4664 (h)

Beverly Schoonover

3308 Beach NW/87104 242-1788 (h)

RIO GRANDE BLVD. N.A. (RGB) "R"

***Frank Mangano**

4300 Rio Grande NW/87107 343-8736 (h)

Winnie Kimbrough

2327 Campbell Rd. NW/87104 344-1363 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

planningrnaform(10/08/05)

7003 2260 0005 8325 8263

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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	3.03
Certified Fee		2.40
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	5.43



Sent To Winnie Kimbraugh
 Street, Apt. No.,
 or PO Box No. 2327 Campbell Rd NW
 City, State, ZIP+4
Alb NM 87104

PS Form 3800, June 2002 See Reverse for Instructions



***** WELCOME TO *****

ALAMEDA STATION
Albuquerque, NM 87114-9998
06/16/06 04:24PM

Store USPS	Trans 69
Wkstn sys5003	Cashier KT6D2F
Cashier's Name eml	
Stock Unit Id WINEVA	
PO Phone Number 1-800ASKUSPS	
USPS # 3401500114	

1. First Class	5.43
Destination: 87104	
Weight: 11.30 oz.	
Postage Type: PVI	
Total Cost: 5.43	
Base Rate: 3.03	

SERVICES
 Certified Mail 2.40
 70032260000583258263

Subtotal	5.43
Total	5.43

VISA 5.43

<23-902810167-97>

VISA	CLERK ID
ACCT. NUMBER	54
XXXX XXXX XXXX 0760	
AUTH 023405 CREDIT TRANS # 574	

ALL SALES FINAL ON STAMPS AND POSTAGE.
REFUNDS FOR GUARANTEED SERVICES ONLY.

Number of Items Sold: 1

7003 2260 0005 8325 8263

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OFFICIAL USE

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Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	5.43

ALBUQUERQUE, NM 87104

ALAMEDA STATION
 ALBUQUERQUE, NM 87104
 Postmark Here
 Clerk KT6D2F
 9006

Sent To: **Winnie Kimbrough**
 Street, Apt. No., or PO Box No. **2327 Campbell Rd NW**
 City, State, ZIP+4 **Alb NM 87104**

PS Form 3800, June 2002 See Reverse for Instructions



**** WELCOME TO ****
 ALAMEDA STATION
 Albuquerque, NM 87114-9998
 06/16/06 04:24PM

Store USPS Wkstn sys5003
 Cashier's Name eml
 Stock Unit Id WINEVA
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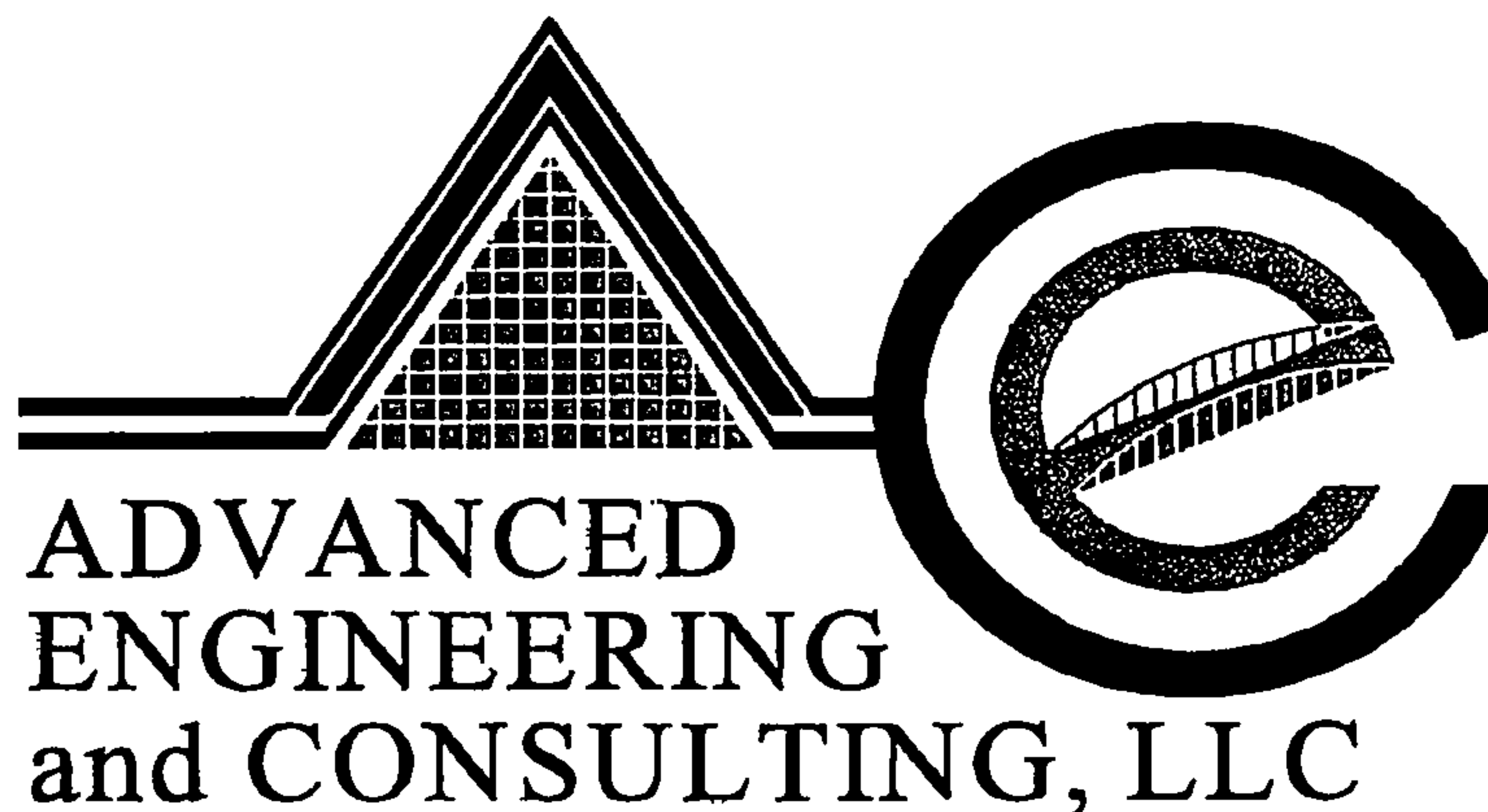
<23-902810167-97>

VISA
 ACCT. NUMBER XXXX XXXX 0760
 AUTH 023405 CREDIT TRANS # 574
 CLERK ID 54

ALL SALES FINAL ON STAMPS AND POSTAGE.
 REFUNDS FOR GUARANTEED SERVICES ONLY.

Number of Items Sold: 1

4416 Anaheim Ave., NE Albuquerque NM 87113 Phone (505) 899-5570 Fax (505) 897-4996 Email AECLLC@aol.com



To: Willian C. Herring, Beverly Schoonover, Frank Manago, Jo Marie Anderson
From: Shawn Biazar
Subject: Copy of the Submittals to DRB
Date: June 16, 2006

Dear Sirs and Madams:

Please find a copy of the submittals for Preliminary Plat, Grading & Drainage Plan Approval, Sidewalk Design Variance, Vacation of Private Access Easement, Temporary Deferral of Construction of the Sidewalks for Villa Las Mananitas Subdivision, DRB Project # 1004240. This site is located on Rio Grande Blvd., NW. between Indian School Road, NW and Meadow View Place., NW.

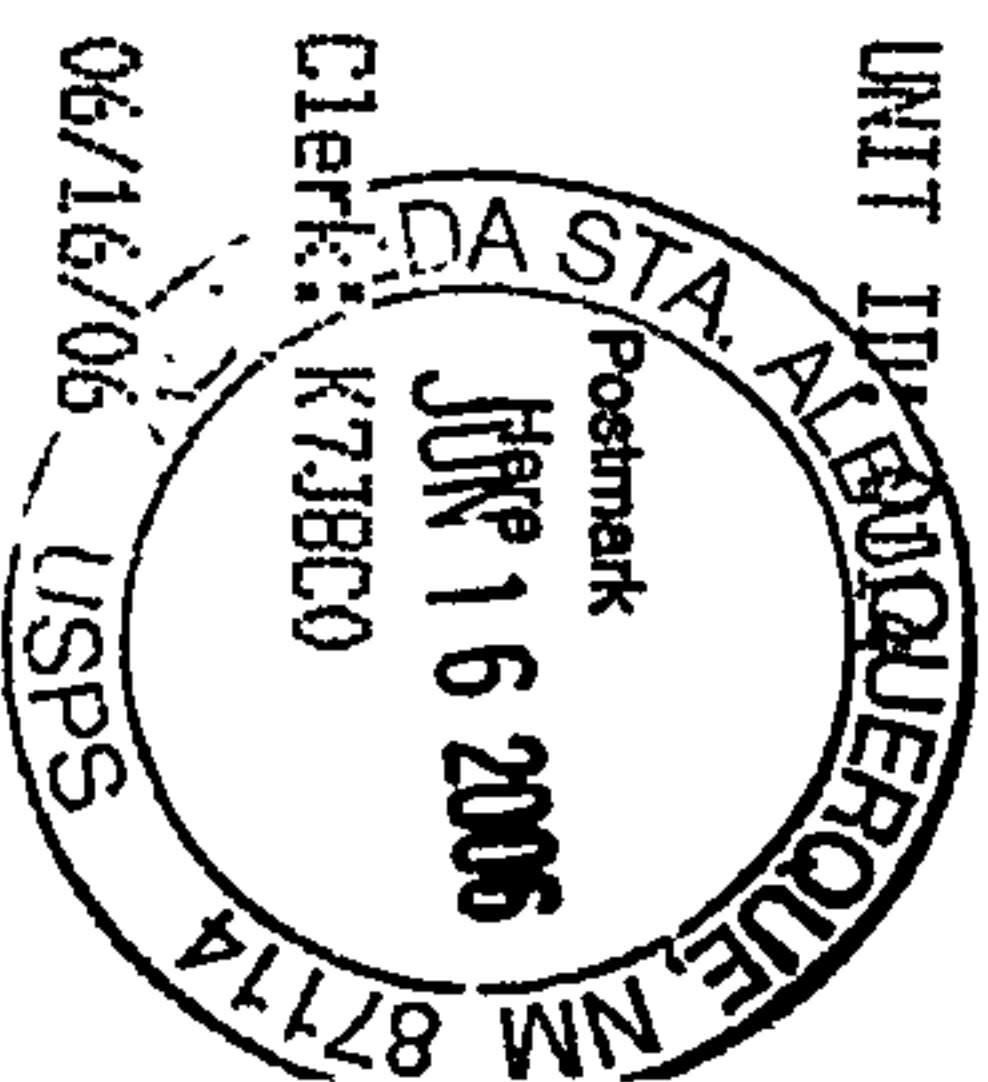
If there are any questions or you would like to meet with me on this project, please do not hesitate to contact me at (505) 899-5570.

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OFFICIAL USE

Postage	\$ 2.55
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: Bellelu Schoonover
 Street, Apt. No.: 3308 Beach NW
 or PO Box No.: ALBU, NM 87104
 City, State, ZIP+4: ALBU, NM 87104

PS Form 3800, June 2002

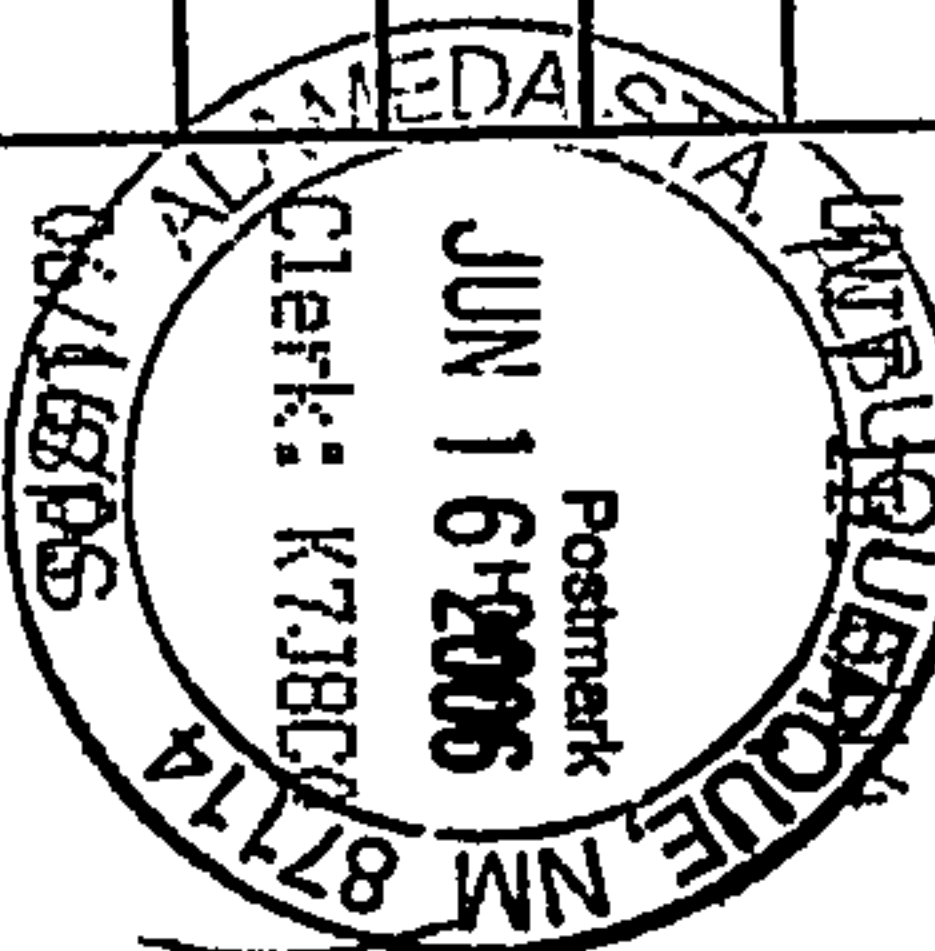
See Reverse for Instructions

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OFFICIAL USE

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Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: William C. Jenkins
 Street, Apt. No.: 3104 Coca Rd. NW
 or PO Box No.: ALBU, NM 87104
 City, State, ZIP+4: ALBU, NM 87104

PS Form 3800, June 2002

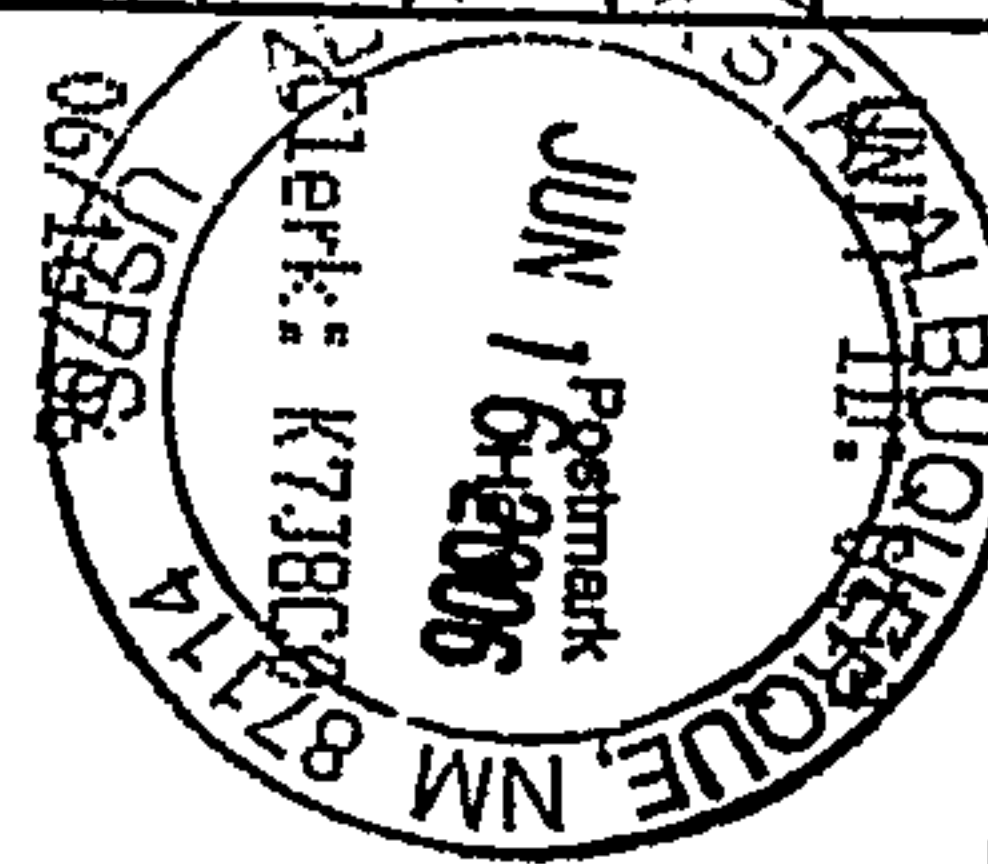
See Reverse for Instructions

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Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: Ms. Marie Andersson
 Street, Apt. No.: 3505 Campbell Ct NW
 or PO Box No.: ALBU, NM 87104
 City, State, ZIP+4: ALBU, NM 87104

PS Form 3800, June 2002

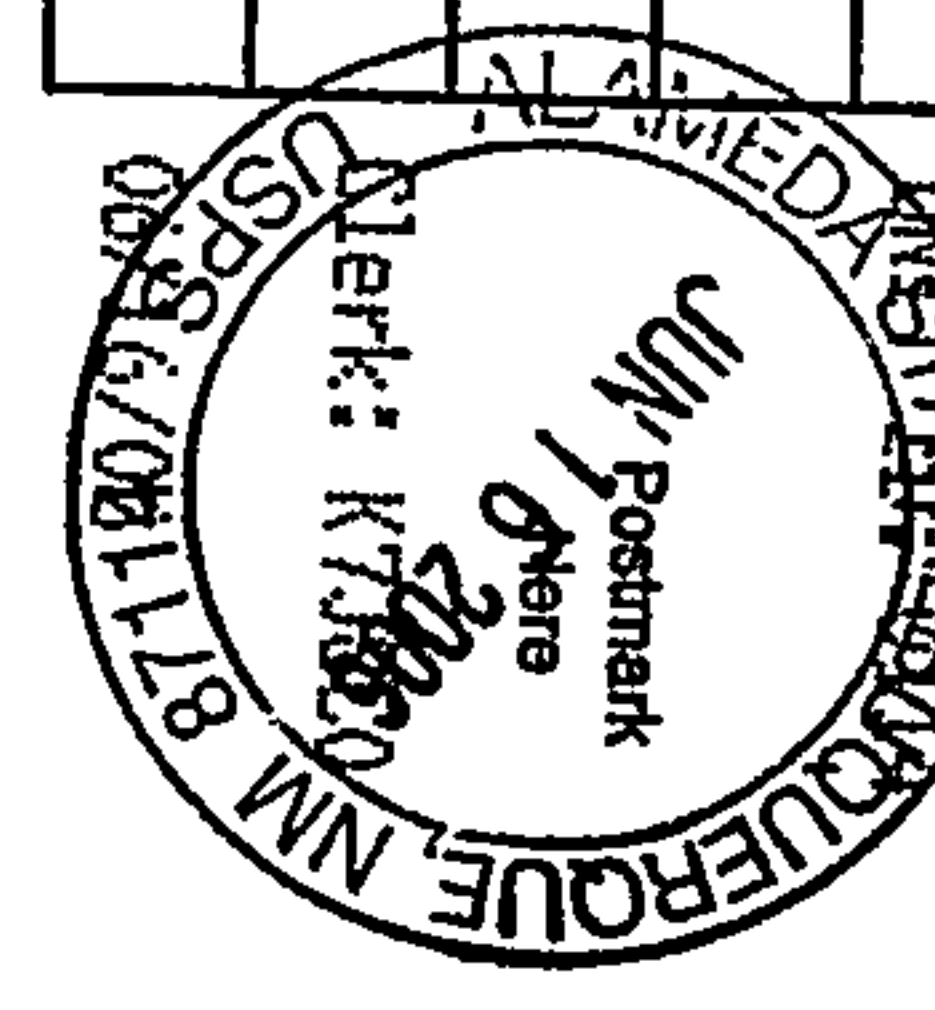
See Reverse for Instructions

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Postage	\$ 2.55
Certified Fee	2.40
Return Receipt Fee (Endorsement Required)	1.85
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.80



Sent To: Egon M. Mangano
 Street, Apt. No.: 4300 Rio Grande NW
 or PO Box No.: ALBU, NM 87107
 City, State, ZIP+4: ALBU, NM 87107

PS Form 3800, June 2002

See Reverse for Instructions

CITY OF ALBUQUERQUE
TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Advanced Engineering DATE OF REQUEST: 5/25/06 ZONE ATLAS PAGE(S): H-13-Z

CURRENT: Zoning R-1, SU-1, C-1 ^{Fot} Lot or Tract # 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A1 and A2
LEGAL DESCRIPTION:

Parcel Size (AC/SQ. FT.) 4.6527Ac/202671+61SF Subdivision Name MRGCD Map No. 35
Proposed Name: Villas Las Mananitas

REQUESTED CITY ACTION(S):
Annexation [] Sector Plan [] Site Development Plan:
Comp. Plan [] Zoning Change [] a) Subdivision [] Building Permit []
Amendment [] Conditional Use [] b) Build'g Purposes [] Access Permit []
c) Amendment [] Other (X) plat action

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF ACTION:¹
No construction / development # of units - 16 Lots Subdivision
New Construction Building Size - _____ (sq.ft.)
Expansion of existing development []

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 5-24-06
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)
Planning Department, Development & Building Services Division, Transportation Development Section-
2nd Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO BORDERLINE []

THRESHOLDS MET? YES [] NO Mitigating reasons for not requiring TSI: Previously Studied []
Notes:

If a TIS is required: A scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER [Signature] DATE 5/25/06

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

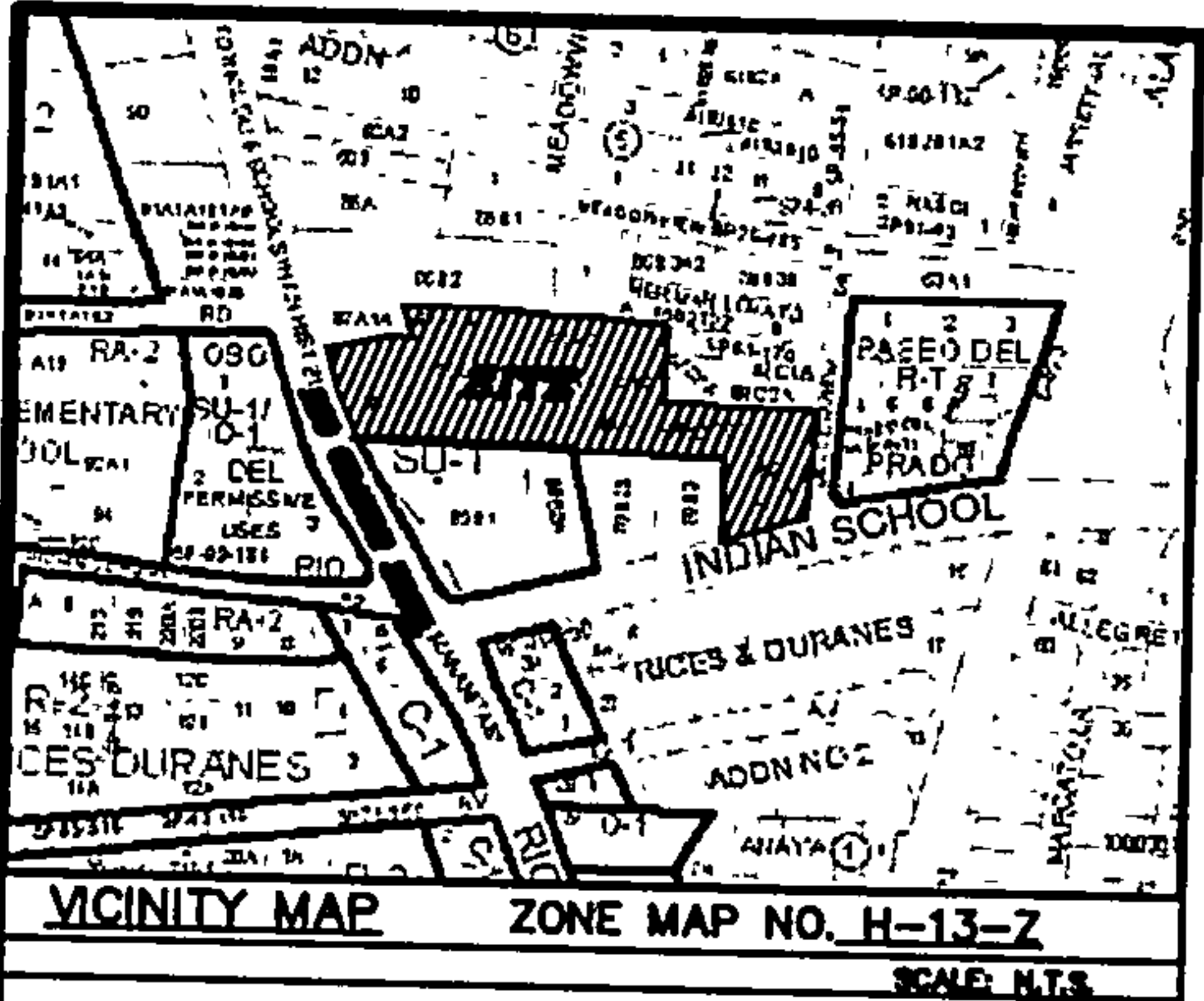
AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO []

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

APPLICANT [Signature] DATE 5-25-06

Required TSI must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TSI -SUBMITTED _____ / _____ / _____
-FINALIZED _____ / _____ / _____
TRAFFIC ENGINEER _____ DATE _____



**PLAT OF
VILLAS LAS MANANTITAS SUBDIVISION**
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2006

LEGAL DESCRIPTION:

A CERTAIN TRACT OF LAND SITUATE IN SECTION 7, T. 10 N. R. 3 E. N.M.P.M., WITHIN THE CITY LIMITS OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE FOLLOWING TRACTS 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2A, LOTS A-1, A-2 LANDS OF E. MAES, OF MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP NO. 35, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL HEREIN DESCRIBED, BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF RIO GRANDE BLVD. N.W., WHENCE A TIE TO ACS MONUMENT "7-H13", BEARS S. 85°34'08" W., AT A DISTANCE OF 74.79' FEET; THENCE,

FROM SAID BEGINNING POINT N. 30°15'48"W., A DISTANCE OF 160.57 FEET TO A POINT OF CURVATURE; THENCE,

NORTHWESTERLY, 284.97 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 1060.36 FEET AND A CHORD WHICH BEARS N. 22°48'24" W., A DISTANCE OF 284.14 FEET) TO A POINT OF TANGENCY; THENCE,
 N. 78°31'32" E., A DISTANCE OF 98.37 FEET TO A POINT; THENCE,
 N. 81°54'28" E., A DISTANCE OF 35.18 FEET TO AN ANGLE POINT; THENCE,
 N. 14°16'45" W., A DISTANCE OF 48.82 FEET TO AN ANGLE POINT; THENCE,
 S. 88°58'05" E., A DISTANCE OF 94.56 FEET TO A POINT; THENCE,
 S. 84°48'53" E., A DISTANCE OF 142.50 FEET TO A POINT; THENCE,
 S. 87°30'23" E., A DISTANCE OF 85.62 FEET TO A POINT; THENCE,
 S. 84°39'82" E., A DISTANCE OF 89.17 FEET TO AN ANGLE POINT; THENCE,
 S. 02°13'58" W., A DISTANCE OF 123.02 FEET TO AN ANGLE POINT; THENCE,
 N. 87°19'05" W., A DISTANCE OF 236.40 FEET TO A POINT AND THE POINT ON THE WEST RIGHT-OF-WAY LINE ON WEST MEADOW VIEW ROAD SW.; THENCE,
 S. 08°15'22" W., A DISTANCE OF 77.51 FEET TO A POINT; THENCE,
 S. 05°02'28" W., A DISTANCE OF 78.40 FEET TO A POINT OF CURVATURE; THENCE,
 SOUTHEASTERLY, 30.13 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (SAID CURVE HAVING A RADIUS OF 25.00 FEET AND A CHORD WHICH BEARS S. 39°43'48" W., A DISTANCE OF 28.34 FEET) TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF INDIAN SCHOOL ROAD NW.; THENCE,
 S. 74°15'04" W., A DISTANCE OF 111.96 FEET TO AN ANGLE POINT; THENCE,
 N. 00°21'02" E., A DISTANCE OF 133.19 FEET TO AN ANGLE POINT; THENCE,
 N. 88°42'21" W., A DISTANCE OF 232.41 FEET TO AN ANGLE POINT; THENCE,
 S. 11°45'59" E., A DISTANCE OF 198.55 FEET TO AN ANGLE POINT; THENCE,
 S. 74°15'04" W., A DISTANCE OF 213.92 FEET TO AN ANGLE POINT; THENCE,
 N. 79°55'28" W., A DISTANCE OF 29.83 FEET TO AN ANGLE POINT AND POINT OF BEGINNING, THE PARCEL HEREIN DESCRIBED; CONTAINING 4.6527 ACRES (202,671.61 SQUARE FEET), MORE OR LESS.

PROJECT NO. _____
APPLICATION NO. _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE _____
 PNM GAS SERVICES _____ DATE _____
 QWEST TELECOMMUNICATIONS _____ DATE _____
 COMCAST _____ DATE _____

APPROVALS:

CITY SURVEYOR _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY _____ DATE _____
 CITY ENGINEER _____ DATE _____
 DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____
 PROPERTY MANAGEMENT _____ DATE _____

SURVEYORS CERTIFICATE:

I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LEONARD MARTINEZ P.S. # 9601 _____ DATE _____



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE EXISTING ELEVEN TRACTS INTO ONE TRACT AND 16 LOTS, VACATE EXISTING PRIVATE ACCESS EASEMENT, AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #8801 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TALOS LOG NO. 2008221778.
- 4: BASIS OF BEARINGS IS THE BEARING BETWEEN CITY OF ALBUQUERQUE CONTROL STATIONS "7-H13" AND "8-H13"
- 5: BEARINGS ARE GRID, DISTANCES ARE GROUND.
- 6: RECORDED BEARINGS AND DISTANCES ARE SHOWN IN PARENTHESIS.
- 7: SITE DATA: ZONING IS SU-1. FOR C-1 AND R-1.
- 8: CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THESE LOTS MUST BE VERIFIED AND COORDINATE WITH THE WATER RESOURCES DEPARTMENT, CITY OF ALBUQUERQUE.
- 9: TOTAL AREA OF PROPERTY.....4.6527 ACRES
- 10: NUMBER OF EXISTING TRACTS/LOTS.....11
- 11: NUMBER OF TRACTS/LOTS CREATED.....17

EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. THE PNM GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE COMMUNICATION, INC. FOR THE INSTALLATION, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SMITHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SMITHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) / PROPRIETOR(S) DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT.

OWNER(S) SIGNATURE: _____ DATE: 5-25-08

OWNER(S) PRINT NAME: ED GARCIA MANAGING MEMBER FOR LAS MANITAS DEVELOPMENT, LLC.

ACKNOWLEDGMENT

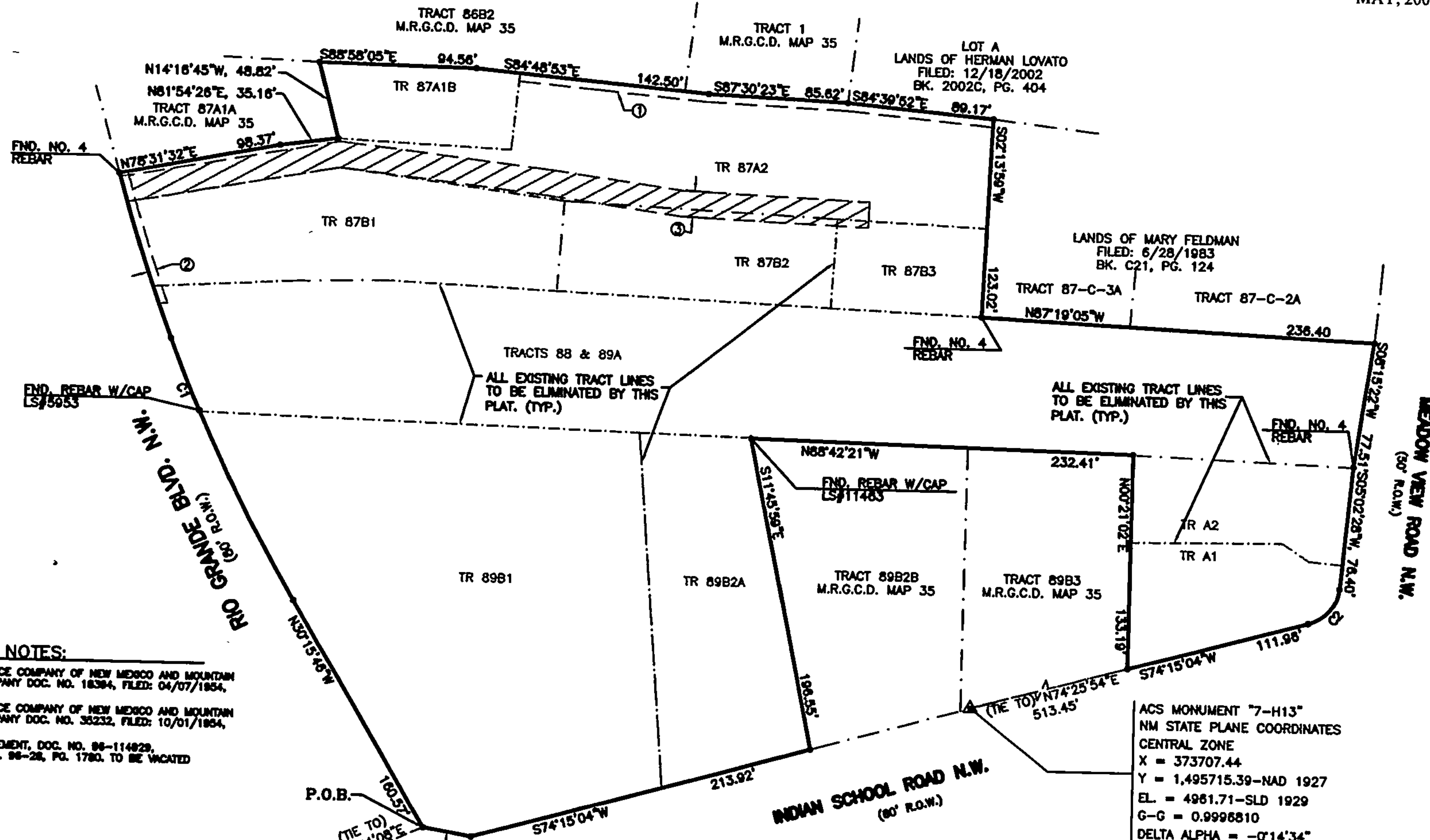
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25 DAY OF MAY,

20 08, BY ED GARCIA MANAGING MEMBER FOR LAS MANITAS DEVELOPMENT, LLC.

NOTARY _____ MY COMMISSION EXPIRES: _____

**PLAT OF
VILLAS LAS MANANITAS SUBDIVISION**
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2006



EASEMENTS NOTES:

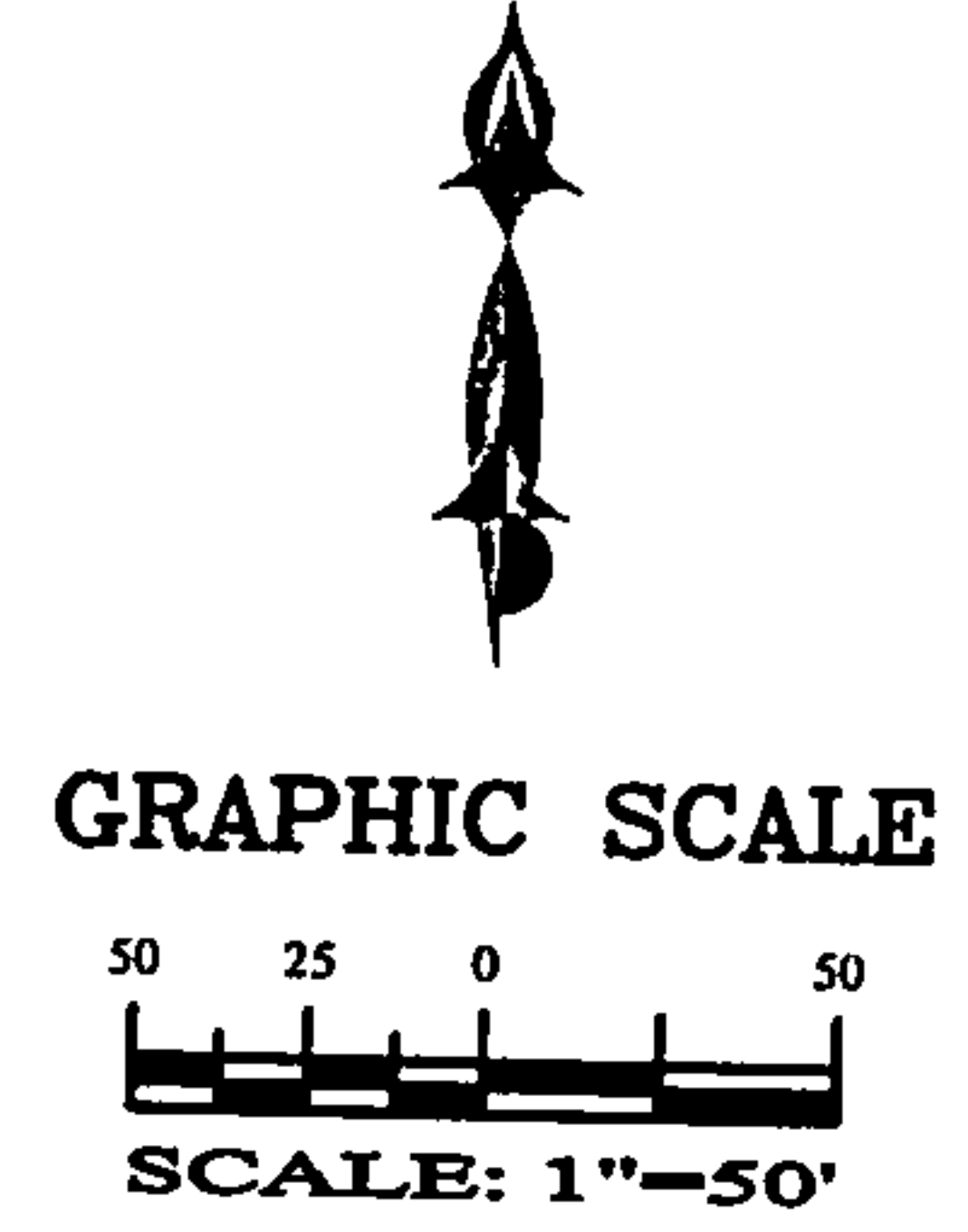
- EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 18384, FILED: 04/07/1984, BK. D275, PG. 234.
- EXIST. 5' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 30232, FILED: 10/01/1984, BK. D282, PG. 338.
- EXIST. 18' ACCESS EASEMENT, DOC. NO. 88-114829, FILED: 10/18/1996, BK. 88-28, PG. 1780, TO BE VACATED BY THIS PLAT.
PROJECT #:
VACATION ACTION #:

ACS MONUMENT "7-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 373707.44
Y = 1,495715.39-NAD 1927
EL. = 4961.71-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL. = 4960.53-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "7-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 373707.44
Y = 1,495715.39-NAD 1927
EL. = 4961.71-SLD 1929
G-G = 0.9996810
DELTA ALPHA = -0°14'34"

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD DIRECTION
C1	284.97	1080.38	143.32	15°06'47"	284.14	N22°48'24"W
C2	30.13	25.00	17.20	89°02'37"	28.34	S39°43'46"W



**ADVANCED
ENGINEERING
and CONSULTING, LLC**
 4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)899-5570

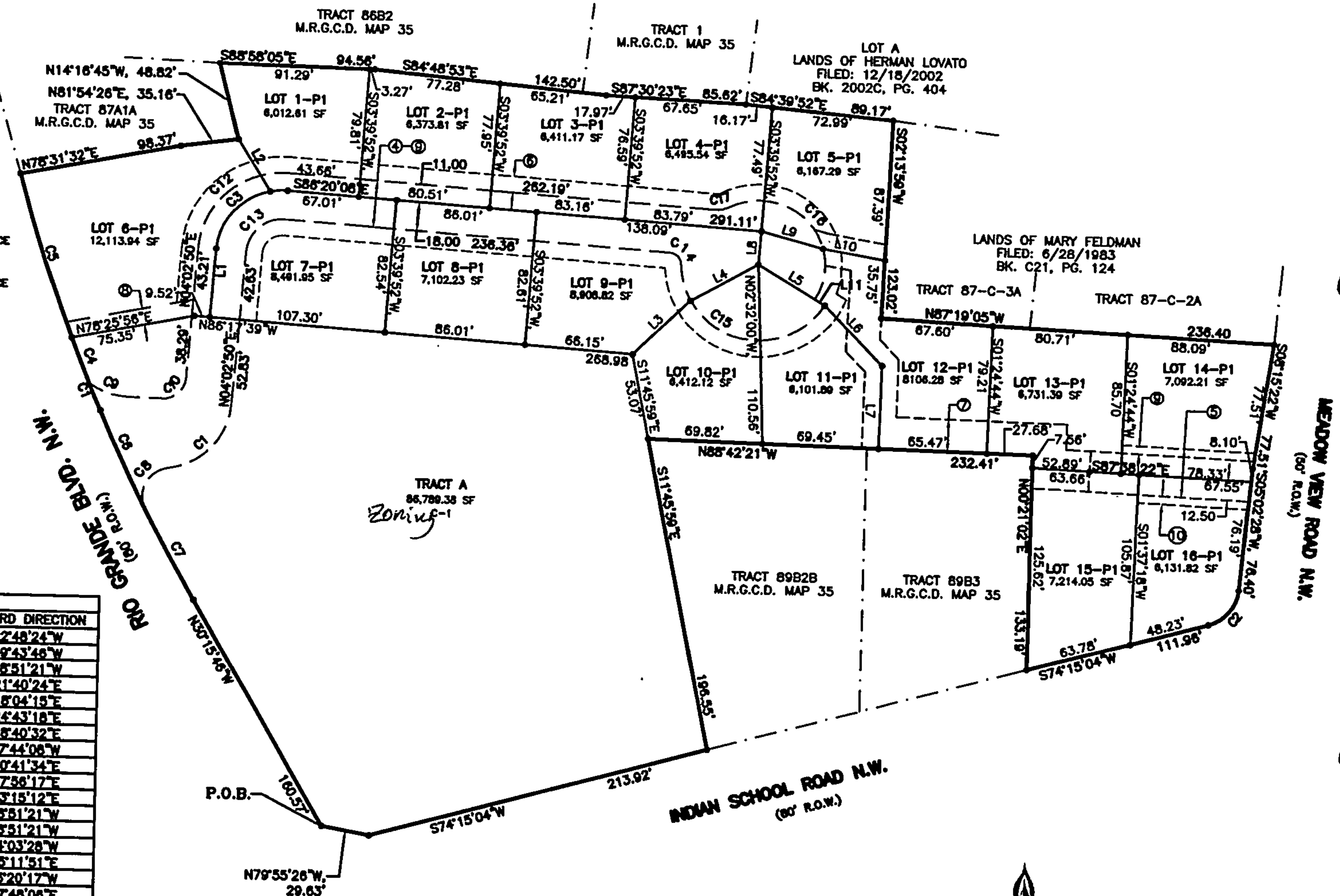
**PLAT OF
VILLAS LAS MANANITAS SUBDIVISION**
PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2006

EASEMENTS NOTES:

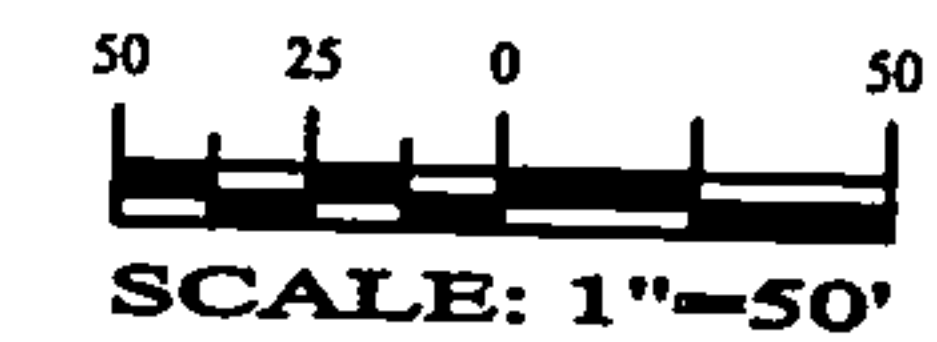
4. NEW 20' PRIVATE ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 1-P1 THRU 12-P1. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
5. NEW 20' PRIVATE ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT FOR THE BENEFIT OF LOTS 13-P1 THRU 16-P1. ALL PROPERTY OWNERS OR HOME OWNERS ASSOCIATION ARE RESPONSIBLE FOR MAINTENANCE OF THIS EASEMENT.
6. 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
7. NEW 20' PUBLIC WATER LINE EASEMENT GRANTED BY THIS PLAT TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
8. 20' PUBLIC SANITARY SEWER AND WATER LINE EASEMENT GRANTED BY THIS PLAT TO ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
9. 5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 15-P1, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.
10. 5' PRIVATE SANITARY SEWER EASEMENT GRANTED BY THIS PLAT FOR BENEFIT OF LOT 15-P1, AND THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THIS EASEMENT.

LINE	LENGTH	BEARING
L1	42.74	N04°02'50"E
L2	37.82	S14°16'45"E
L3	48.51	S45°54'59"W
L4	47.00	N60°27'14"E
L5	47.00	N58°51'30"W
L6	50.50	S44°03'25"E
L7	51.40	S01°08'15"W
L8	21.01	N03°39'52"E
L9	38.47	N74°51'37"W
L10	37.68	N79°58'03"W
L11	7.00	N58°38'54"W

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD DIRECTION
C1	284.97	1080.38	143.32	15°08'47"	284.14	N22°48'24"W
C2	30.13	25.00	17.20	69°02'37"	28.34	S38°43'48"W
C3	62.58	40.00	39.73	89°37'02"	56.38	S48°51'21"W
C4	29.48	1080.38	14.74	1°33'49"	29.48	S21°40'24"E
C5	106.37	1080.38	53.23	5°38'29"	106.33	S18°04'15"E
C6	85.47	1080.38	42.76	4°31'59"	85.45	S24°43'18"E
C7	63.64	1080.38	31.83	3°22'30"	63.63	S28°40'32"E
C8	34.38	18.00	25.44	109°26'51"	29.39	S27°44'08"W
C9	25.62	42.00	13.23	34°57'26"	25.23	S70°41'34"E
C10	21.45	14.00	13.47	87°48'53"	19.41	N47°58'17"E
C11	58.85	43.00	35.08	78°24'44"	54.36	N43°15'12"E
C12	79.77	51.00	50.66	69°37'02"	71.88	S48°51'21"W
C13	34.41	22.00	21.85	89°37'02"	31.01	S48°51'21"W
C14	11.81	8.00	7.27	84°33'20"	10.76	N44°03'28"W
C15	120.45	47.00	157.83	146°50'08"	90.09	S75°11'51"E
C16	104.33	40.00	146.45	149°26'47"	77.17	N43°20'17"W
C17	8.31	15.00	4.26	31°43'33"	8.20	N77°48'08"E



GRAPHIC SCALE



**ADVANCED
ENGINEERING
and CONSULTING, LLC**

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

\$0.00
\$1,220.00

Thank You

CHANGE

VI

\$75.00

ONE STOP SHOP

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

TRSVRS

FUND 0110

Development & Building Services

RECEIPT# 00062232 WSH #006 TRANS# 0026

LOC: ANNX

11:48AM

PAID RECEIPT

APPLICANT NAME ULLAS LAS MANANITAS DEV

AGENT ADVANCED ENGINEERING

ADDRESS _____

PROJECT & APP # 1004240/06DRB-00890, 00891, 00892, 00893

PROJECT NAME _____

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ 11.25.⁰⁰ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ 75.⁰⁰ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 1,220.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

6/16/2006 11:48AM LOC: ANNX
RECEIPT# 00062231 WSH #006 TRANS# 0026
Account 441006 Fund 0110
Activity 4983000 TRSVRS
Trans Amt \$1,220.00
J24 Misc

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

6/16/2006 11:47AM LOC: ANNX
RECEIPT# 00062230 WSH #006 TRANS# 0026
Account 441032 Fund 0110
Activity 3424000 TRSVRS
Trans Amt \$1,220.00
J24 Misc

\$20.00
Thank You

Counter Receipt doc 6/21/04

\$1,125.00
Thank You

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

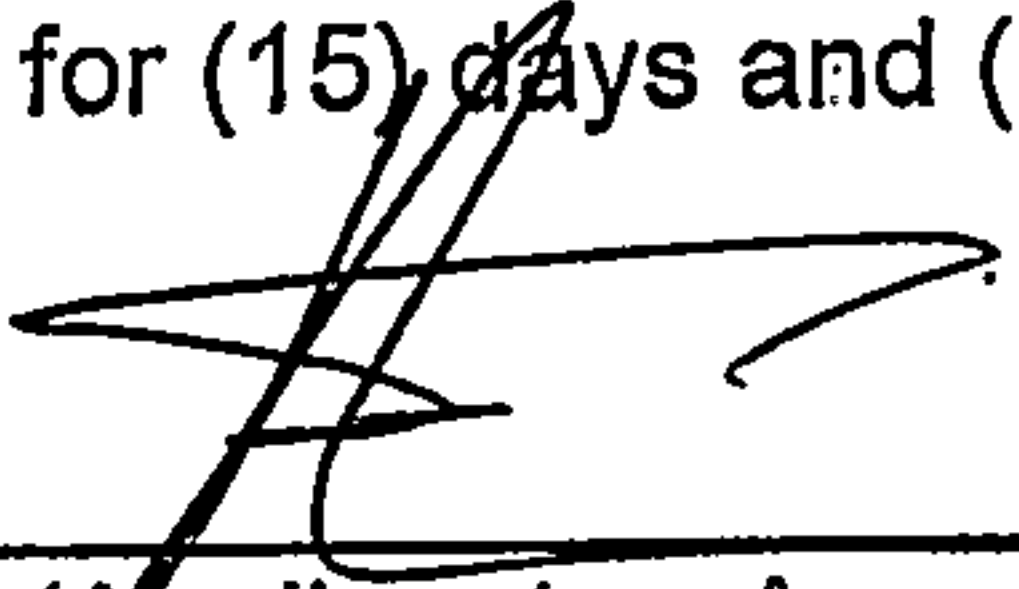
4. TIME

Signs must be posted from 6/27/06 To 7/12/06

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.



(Applicant or Agent)

6/16/06

(Date)

I issued 3 signs for this application, 6/16/06 Kim Sins

(Date) (Staff Member)

DRB PROJECT NUMBER: 1004240

EXHIBIT SIDEWALK DEFERRAL

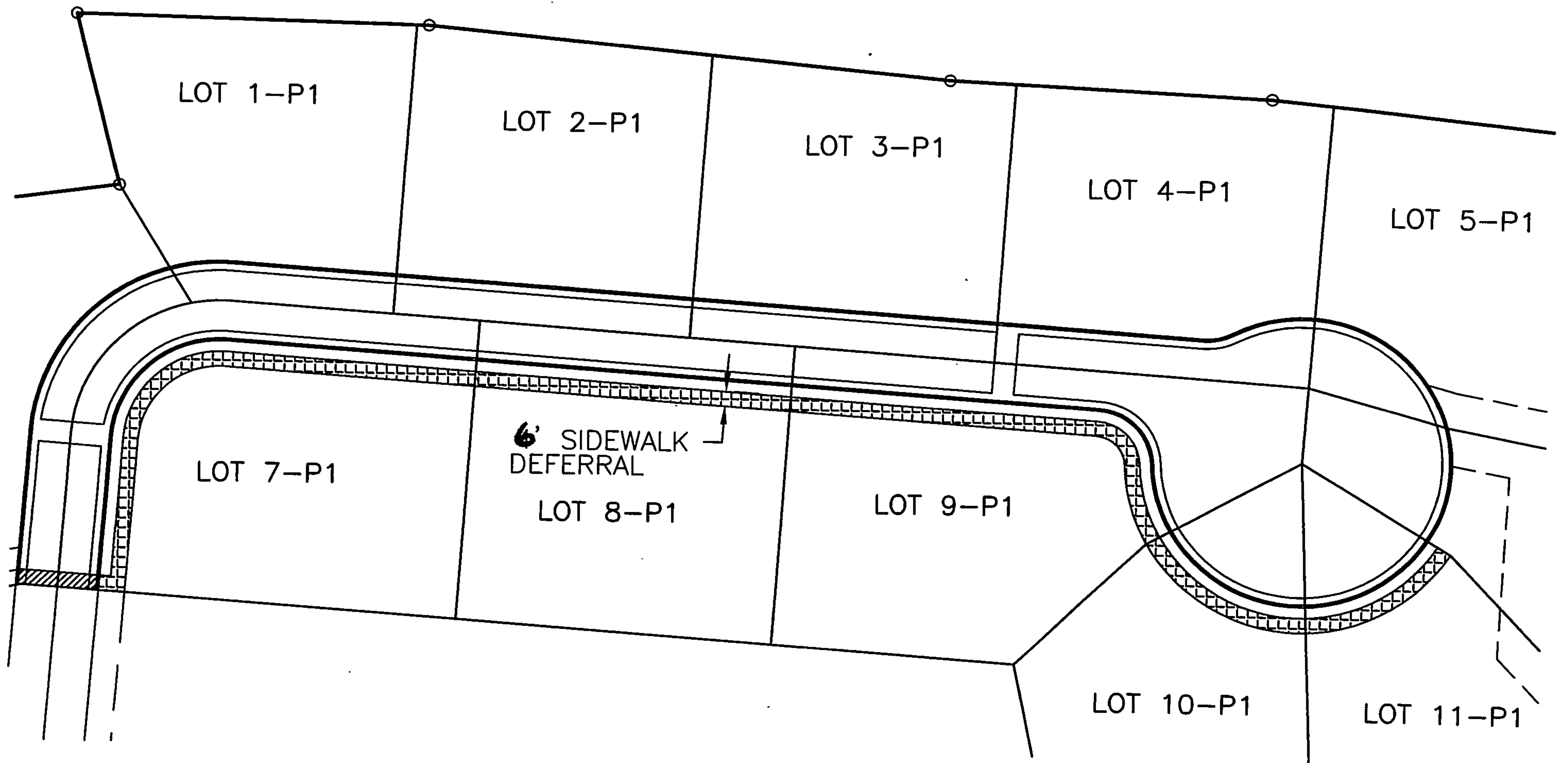
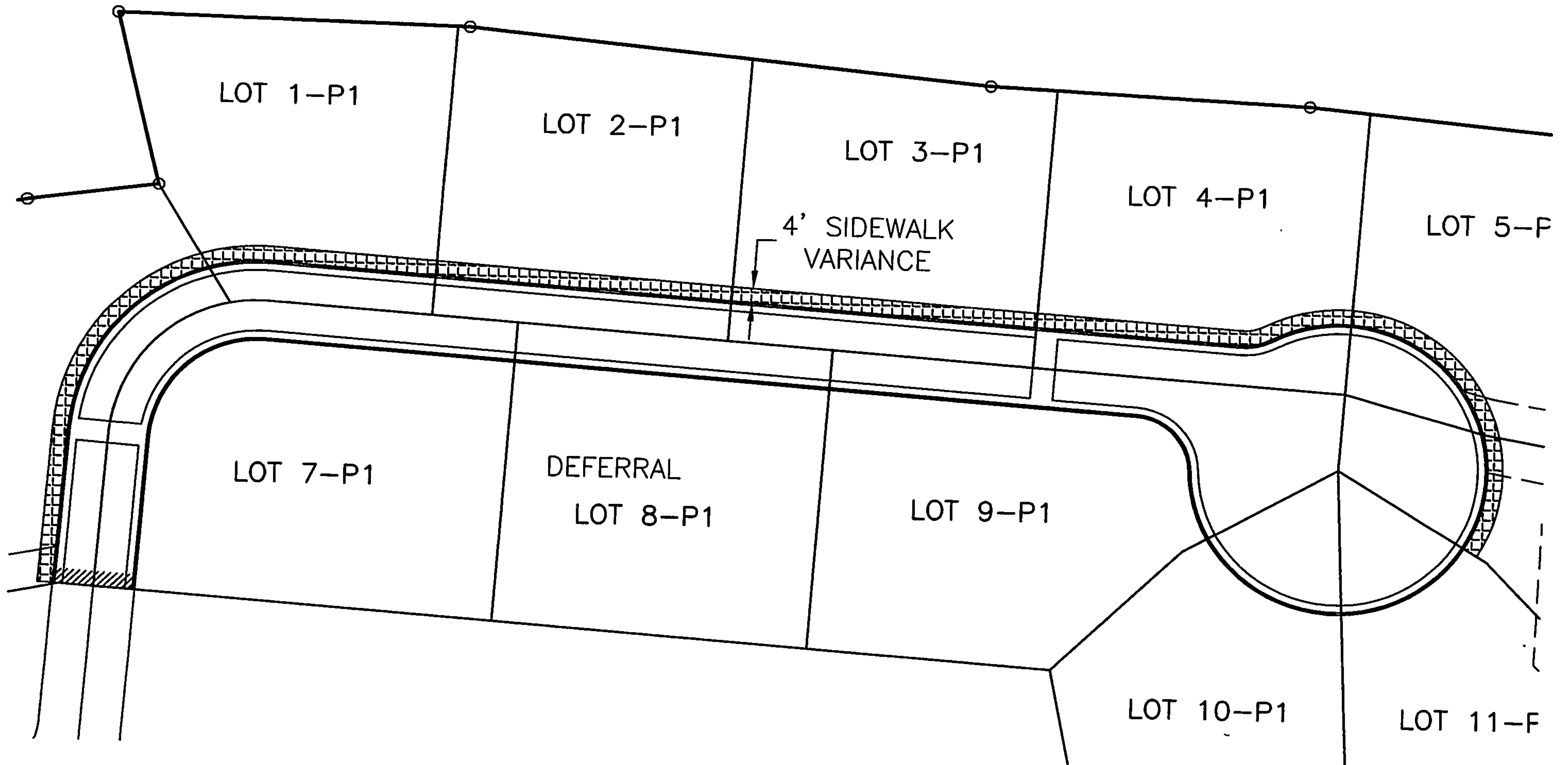


EXHIBIT C
Date 07/12/06




ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

EXHIBIT SIDEWALK VARIANCE



EXHIBIT

Date



NO SCALE



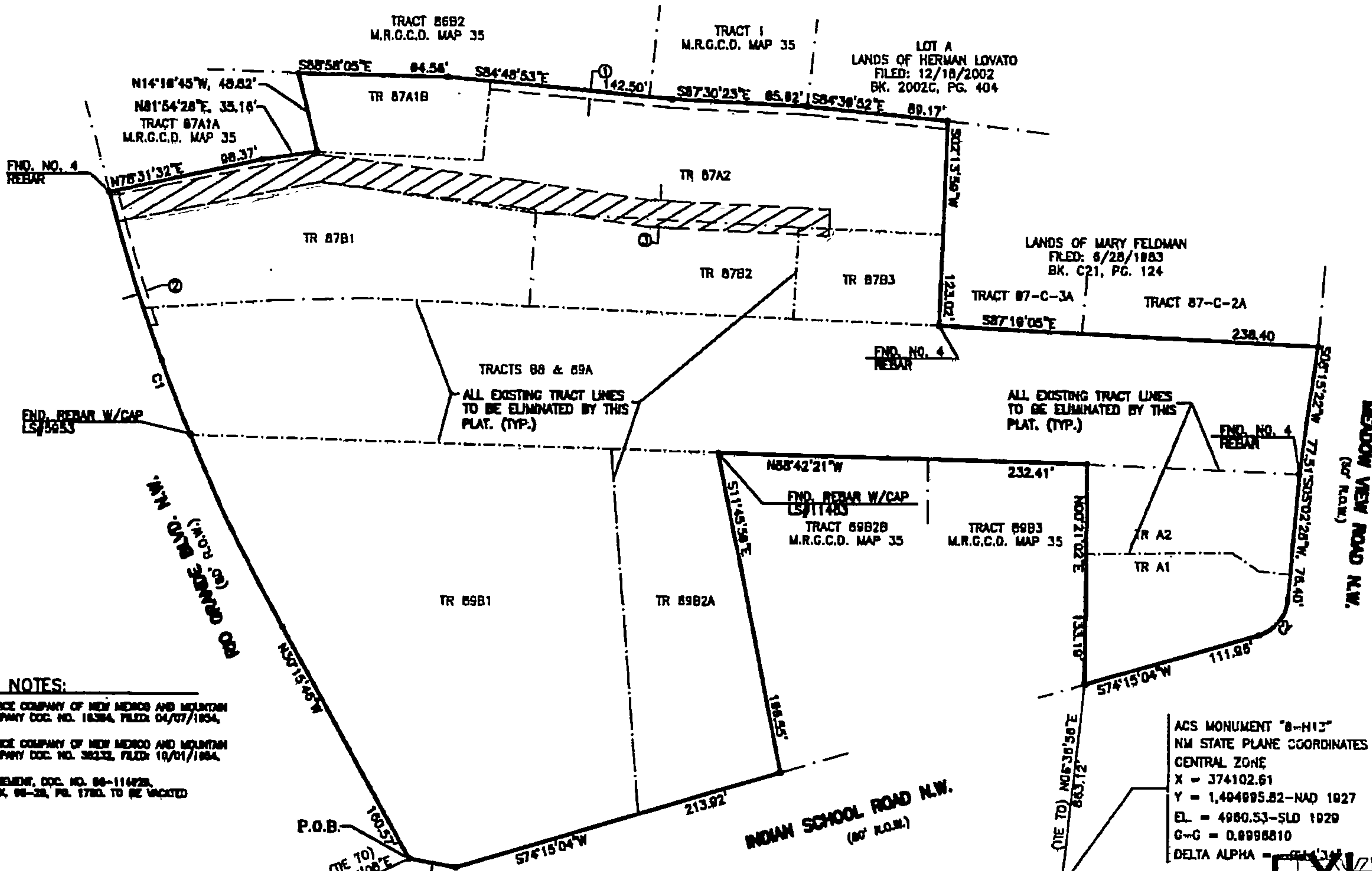
ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE, NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

EXHIBIT FOR VACATION OF PRIVATE ACCESS-EASEMENT

PLAT OF VILLAS LAS MAÑANITAS SUBDIVISION

PROJECTED SECTION 7, T. 10 N., R. 3 E., N.M.P.M.,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 2006



EASEMENTS NOTES:

- EXIST. 8' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 16384, FILED: 04/07/1984, BK. 0278, PG. 234.
- EXIST. 8' PUBLIC SERVICE COMPANY OF NEW MEXICO AND MOUNTAIN STATE TELEPHONE COMPANY DOC. NO. 38232, FILED: 10/01/1984, BK. 0282, PG. 338.
- EXIST. 18' ACCESS EASEMENT, DOC. NO. 88-11482A, FILED: 10/18/1994, BK. 98-28, PG. 1780, TO BE VACATED BY THIS PLAT.
PROJECT #:
VACATION ACTION #:

ACS MONUMENT "7-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 373707.44
Y = 1,495715.39-NAD 1927
EL. = 4961.71-SLD 1929
G-G = 0.8996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL. = 4960.53-SLD 1929
G-G = 0.8996810
DELTA ALPHA = -0°14'34"

ACS MONUMENT "8-H13"
NM STATE PLANE COORDINATES
CENTRAL ZONE
X = 374102.61
Y = 1,494995.82-NAD 1927
EL. = 4960.53-SLD 1929
G-G = 0.8996810
DELTA ALPHA = -0°14'34"

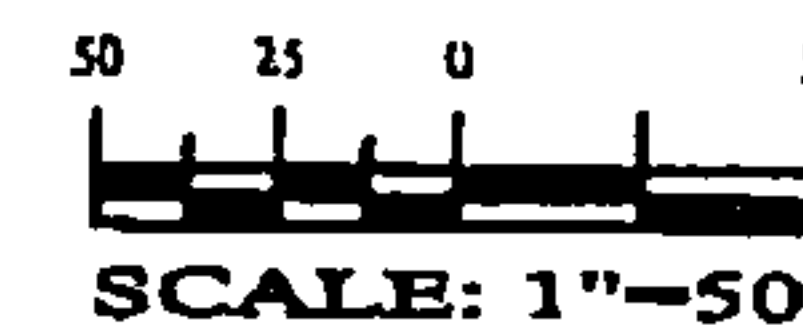
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	284.97	1080.38	15°08'47"	143.37	284.14	N22°48'24"W
C2	30.13	25.00	69°02'37"	17.20	28.34	S39°43'48"W

EXHIBIT B

Date: 7/12/06



GRAPHIC SCALE



ADVANCED ENGINEERING and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)499-3370

SHEET 2 OF 3

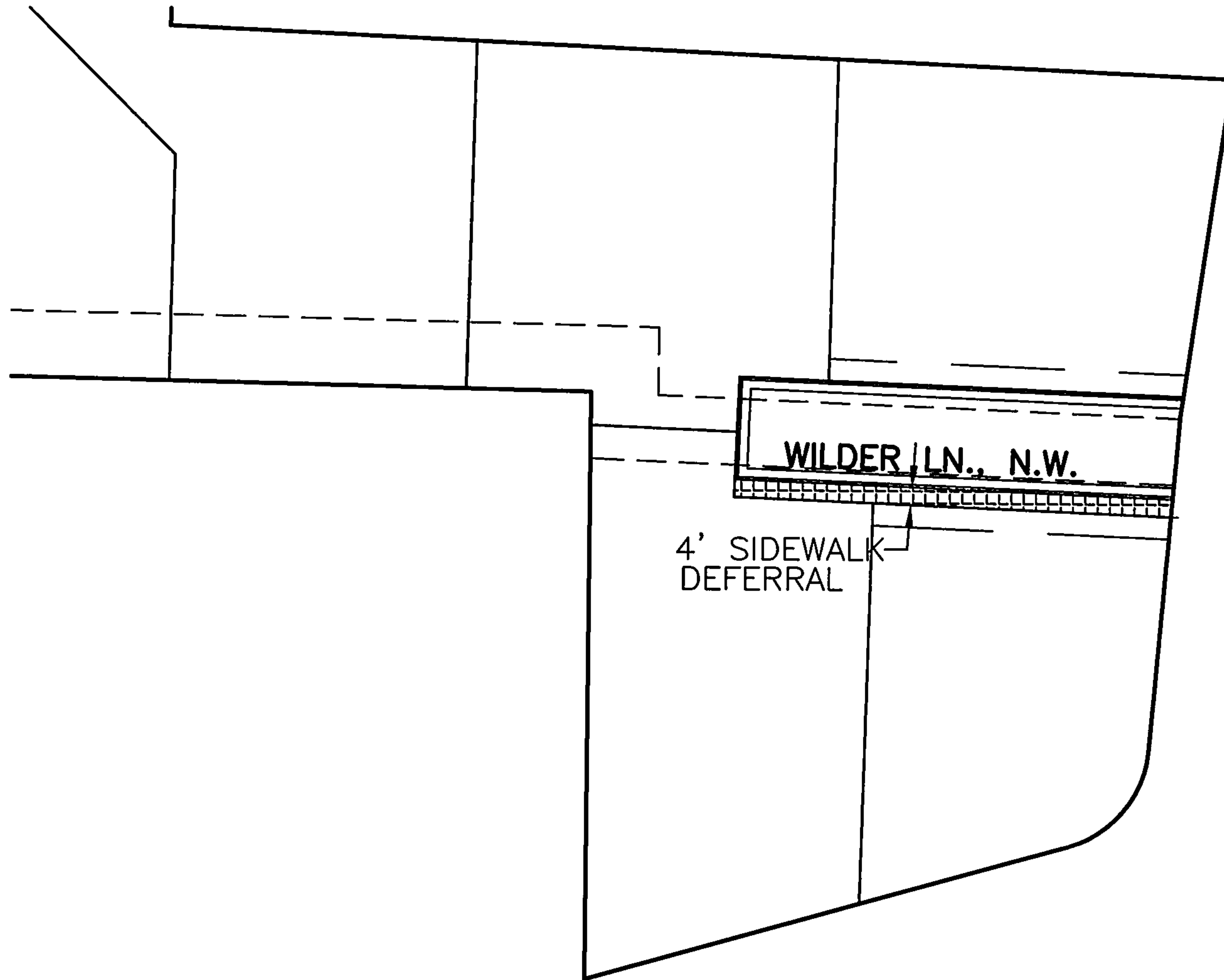
#405 P. 006/006

06/16/2006 15:35

505 897 4996

From: Advance Engineering

EXHIBIT SIDEWALK DEFERRAL



MEADOW VIEW ROAD N.W.
(50' R.O.W.)

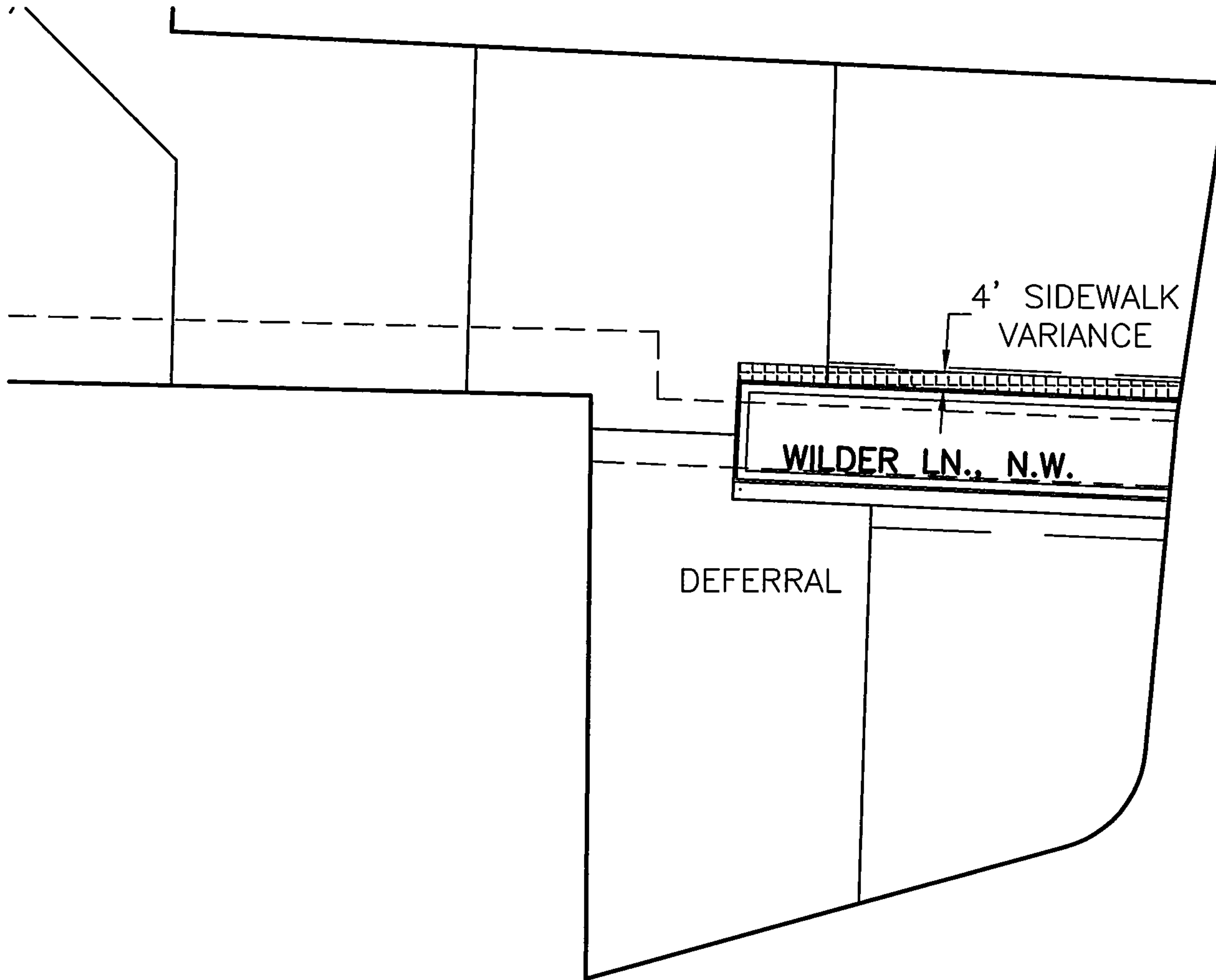
~~EXHIBIT~~
Date 07/26/06



NO SCALE


ADVANCED
ENGINEERING
and CONSULTING, LLC
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

EXHIBIT SIDEWALK VARIANCE



MEADOW VIEW ROAD N.W.
(50' R.O.W.)

EXHIBIT C

Date 07/26/06

NO SCALE



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

TR 87A1B,
87A2
87B1-87B3

GRANT OF PRIVATE ACCESS EASEMENT

86114929

AN EASEMENT SIXTEEN FEET (16') IN WIDTH WITHIN TRACT 87A2,
MIDDLE RIO GRANDE CONSERVATION DISTRICT PROPERTY MAP NO. 35,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO,
SAID EASEMENT BEING FOR A PRIVATE DRIVEWAY FOR THE
BENEFIT AND USE OF THE OWNERS OF TRACTS 87B2 AND 87B3,
M.R.G.C.D. MAP NO. 35, AND BEING MORE PARTICULARLY DESCRIBED AS
FOLLOWS AND AS SHOWN ON ATTACHED EXHIBIT "A":

AN EASEMENT LYING EIGHT FEET (8') ON EACH SIDE OF THE FOLLOWING
DESCRIBED CENTERLINE:
BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF RIO
GRANDE BOULEVARD, NW, FROM WHICH POINT ACS STA. 7-113 BEARS
S.15°52'31"E., A DISTANCE OF 438.70 FEET, AND RUNNING FROM
SAID BEGINNING POINT THENCE, N.79°19'32"E., A DISTANCE OF 132.31
FEET; THENCE, S.85°20'20"E., A DISTANCE OF 128.89 FEET;
THENCE, S.82°09'26"E., A DISTANCE OF 81.09 FEET;
THENCE, S.87°40'37"E., A DISTANCE OF 114.28 FEET TO THE END
POINT OF THE HEREBY DESCRIBED PRIVATE ACCESS EASEMENT.

ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

ON THIS 3rd DAY OF ~~SEPTEMBER~~ ^{OCTOBER} 1996, THE FOREGOING GRANT OF
PRIVATE ACCESS EASEMENT WAS ACKNOWLEDGED BEFORE ME BY VALENTIN M.
LUCERO, OWNER OF TRACT 87A2, M.R.G.C.D. MAP NO. 35

Valentin M. Lucero
Valentin M. Lucero
VALENTIN M. LUCERO
Louise D. Martinez
NOTARY PUBLIC
Louise D. Martinez

OFFICIAL SEAL
Lorna G. Marchak
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 3-11-98
Lorna G. Marchak

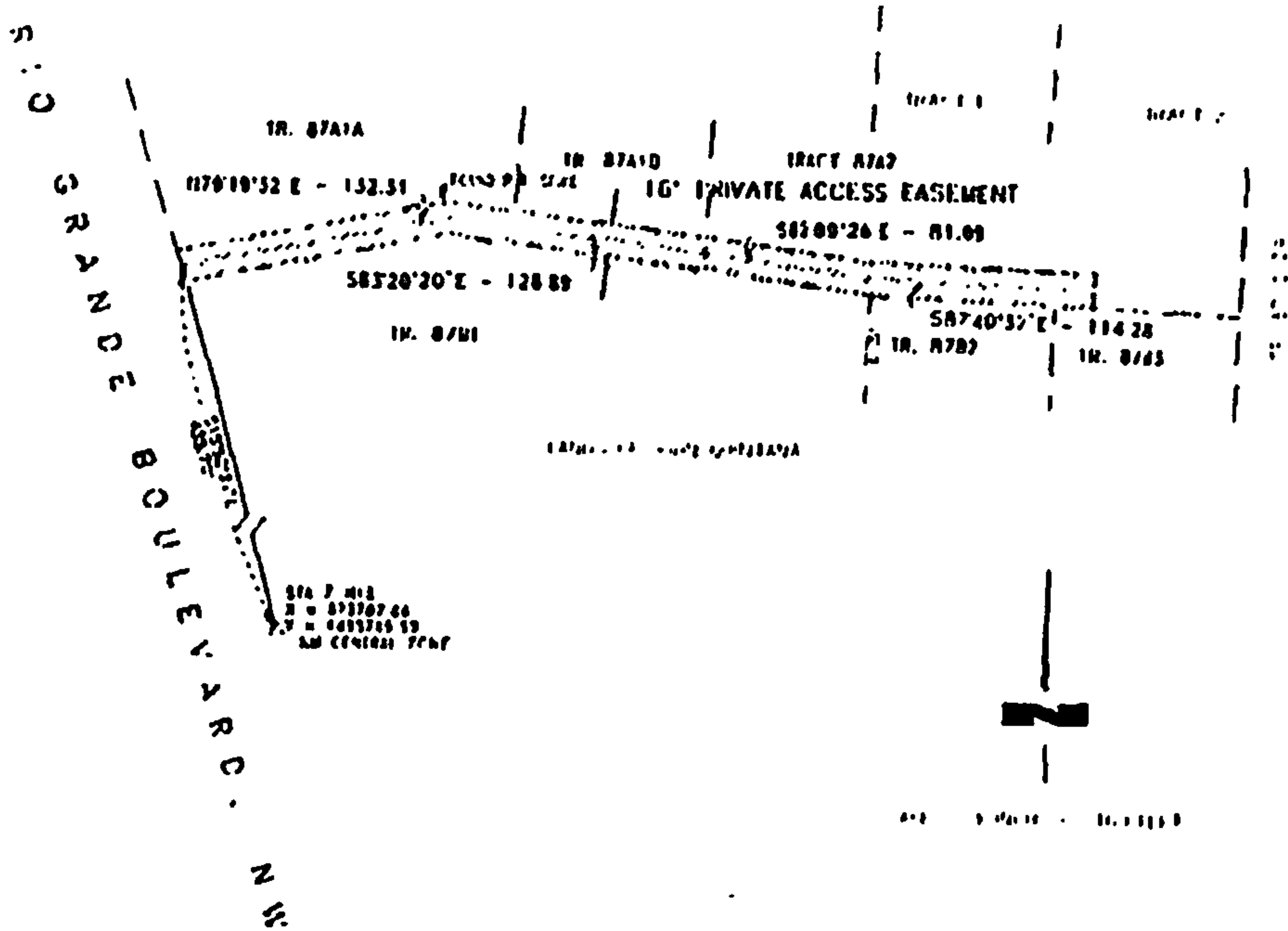
MY COMMISSION EXPIRES 10/6/99



HALL ENGINEERING COMPANY INC.
ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
6860 2ND ST. NW, SUITE 108 • ALBUQUERQUE, NEW MEXICO 87107
PHONE (505) 345-1066 FAX (505) 346-5104

1781

EXHIBIT "A"



STATE OF NEW MEXICO
COUNTY OF SANTIAGO

1996 OCT 18 AM 10:53

Q-2B: 1780-
JUDY
CO. L.

[Handwritten signature]



HALL ENGINEERING COMPANY INC.

ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
6360 2110 ST. NW, SUITE 306 • MINNEAPOLIS, MN 55412 07107
PHONE (609) 345 1086 FAX (609) 345 5404

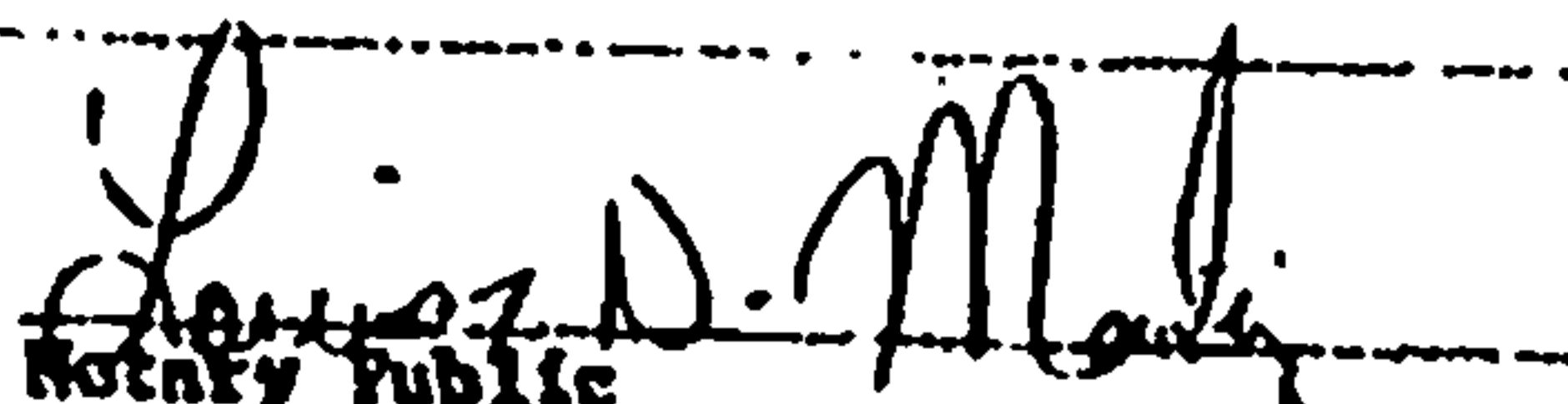
NOTARY ACKNOWLEDGEMENT FORM

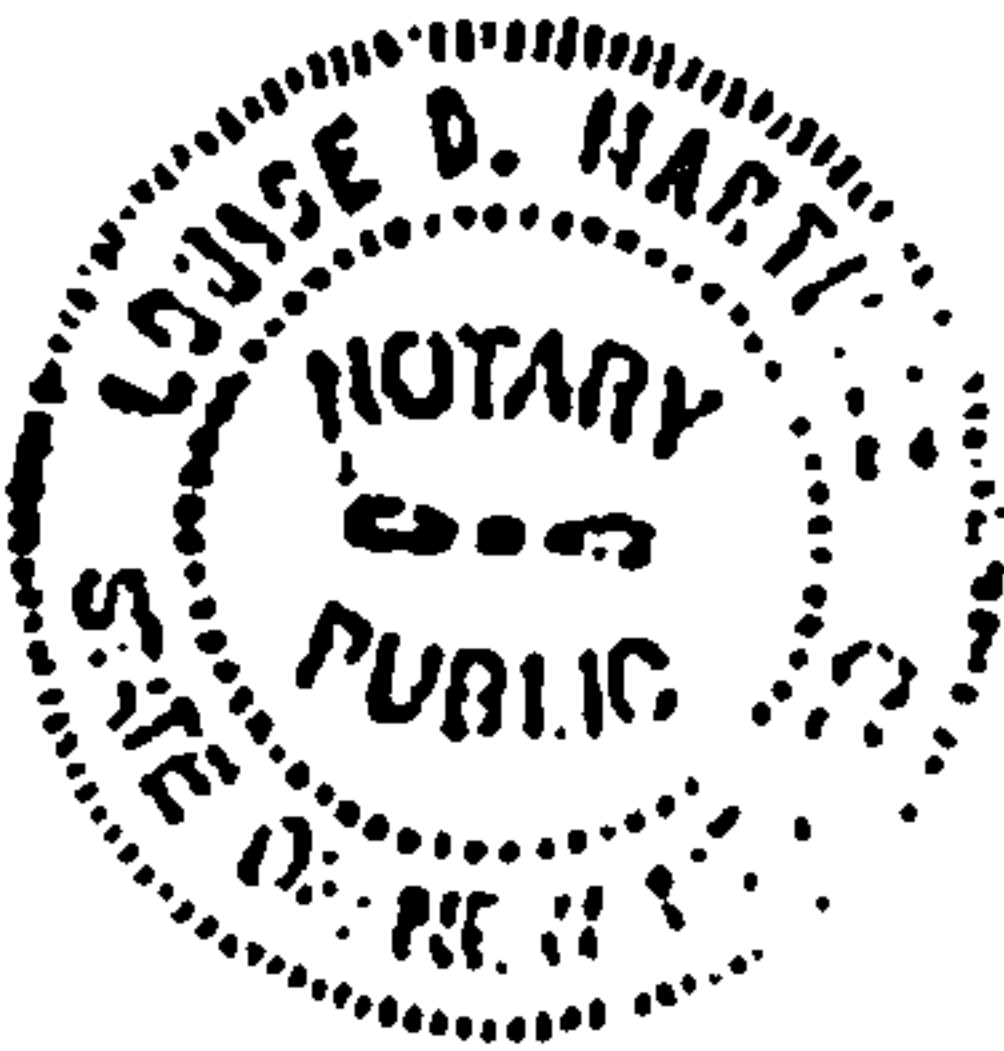
1782

STATE OF NEW MEXICO)
)ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 16TH day of
October, 1996, by Peter Lucero and Susan Lucero

My Commission Expires:
10/6/99


Notary Public
Louise D. Martinez



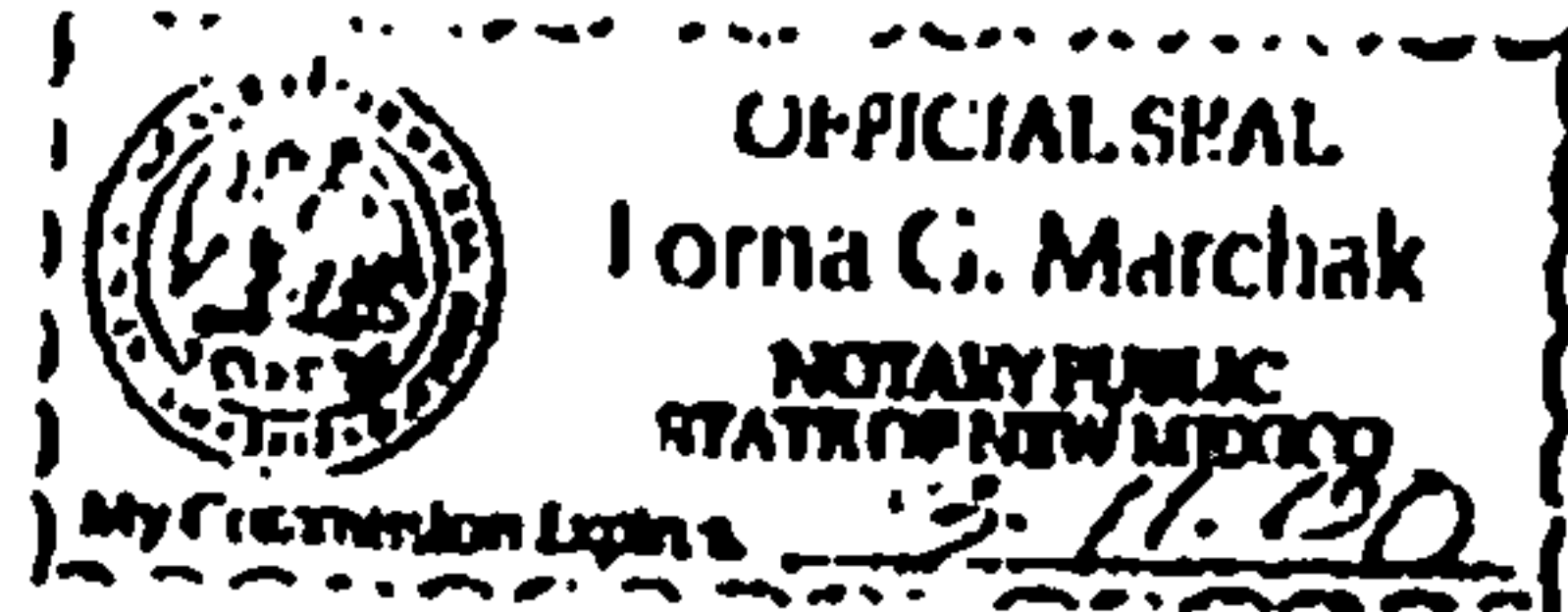
STATE OF) ss.
COUNTY OF BERNALILLO)

(In October 3, 1976, before me, LORNA G. MARCHAK
(Notary Name and Title)

personally appeared VALENTIN LUCERO AND MERINDA A. LUCERO
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their
authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon
behalf of which person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Lorna G. Marchak



(Notarial Seal)

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1004240
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Las Mananitas Subdivision

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Tracts 87A1B, 87A2, 87B1, 87B2, 87B3, 88, 89A, 89B1, 89B2, Lots A-1, A-2 Lands of E. Maes MRGCD Map No. 35
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Waterline						
		6"	Waterline PVC C-900	Mananitas Ln., NW	Rio Grande Blvd., NW	Meadow View Road NW	/	/	/
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Zickert Rd., NW	/	/	/
		6"	Waterline PVC C-900	Rio Grande Blvd., NW	Mananitas Ln., NW	Indian School Rd., NW	/	/	/
			Deferred Construction						
			Sanitary Sewer						
		8"	Sanitary Sewer Line SDR-35	Mananitas Ln., NW	Rio Grande Blvd., NW	End of Cul-de-sac Lot 5-P1	/	/	/
			4 Sanitary Sewer Services	Meadow View Road NW	Meadow View Road NW	Lots 13-P2, 14-P2, 15-P2 and 16-P2	/	/	/
			Paving						
		22' F-F	Residential Pavement C&G on Both Sides 6' Sidewalk on South Side Only	Mananitas Ln., NW	Cul-De-Sac Lot 12-P2	Rio Grande Blvd., NW	/	/	/
		22' F-F	Residential Pavement C&G on Both Sides 4' Sidewalk on South Side Only	Wilder Ln., NW	Meadow View Rd., NW	End of Easement Lots 13-P2/15-P2	/	/	/
		4'	Sidewalk on one side only (west only)	Meadow View Rd., NW	North Prop. Line Lot 14-P2	Indian School Rd., NW	/	/	/
			Storm Sewer						
		24"	Storm Sewer Pipe RCP	Mananitas Ln., NW	Rio Grande Blvd., NW	Lot 9-P2	/	/	/
			Remove Exist Drop Inlet and Abandon Lateral, Cap line at end	Lot 15-P2			/	/	/
			** Deferred Construction Items						

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
							/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Warer Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required.
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include manholes and Service Connections as required
- 4 Residential Street Lights Per DPM
- 5 Certified Grading and Drainage and Wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7 Perimeter Wall per DRB Approved Perimeer Wall Design
- 8 Wall Certification from Registered Engineer and/or Registered Architect Prior to Release of Financial Guarantee
- 9 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Shawn Biazar, Managing Manager
NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

Advanced Engineering and Consulting, LLC

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

FIRM

Shawn Biazar 7-24-06
SIGNATURE - date

UTILITY DEVELOPMENT - date

- date

CITY ENGINEER - date

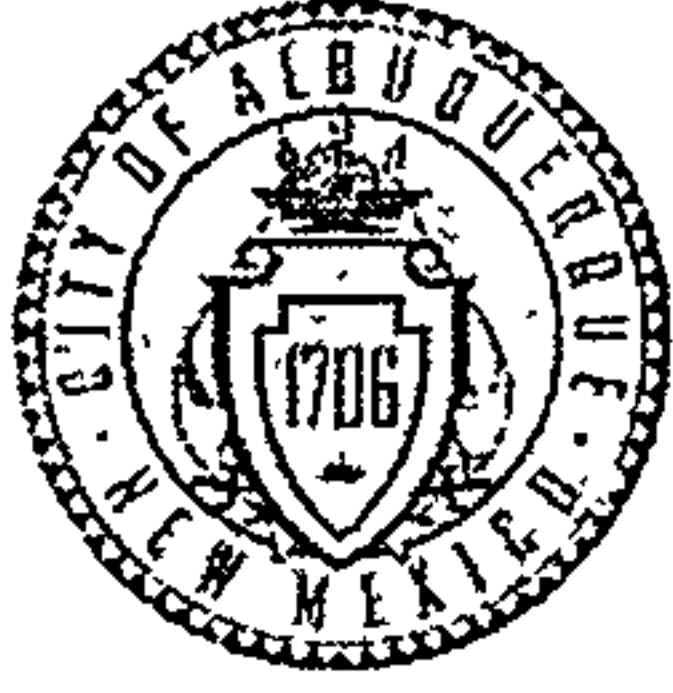
- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

PROJECT TRACKING HISTORY

Date	Project Name/#	Application Request	Action
6/22/05	Maes Ernest Proj 1004240	Sketch Plat	Comments Keen
7/12/06	Villas Les Mananitas Sealed Proj 1004240	Pre Plat SV TDS Vae Pri Easement	



IMPACT FEES – # 100 4240

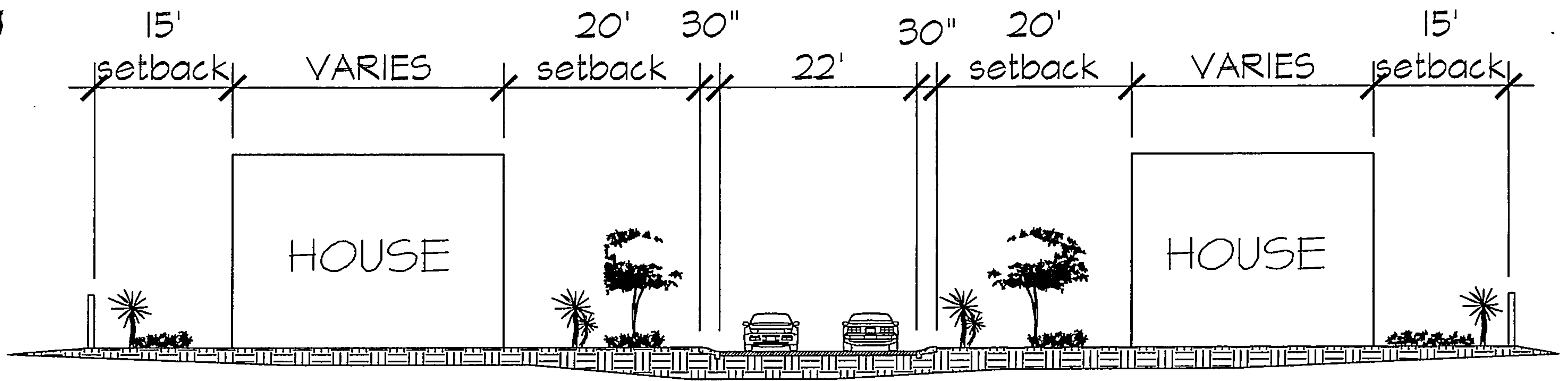
Development Review Board 6/22/05 Agenda Item #32
Sketch Plat: Tracts 87A2, 87B1, 87B2, 87B3, 88, 89A, A2
and A1, Maes-Ernest Subdivision. (Was deferred at agent's
request from 6/15/05)

Construction of each new single family residence will require payment of Impact Fees. Based on a house size between 1,500 square feet and 2,499 square feet, it is estimated that impact fees will total approximately \$1,296 if a building permit application is accepted by December 30, 2004, \$2,554 if application is accepted prior to December 29, 2006, and \$3,812 thereafter.

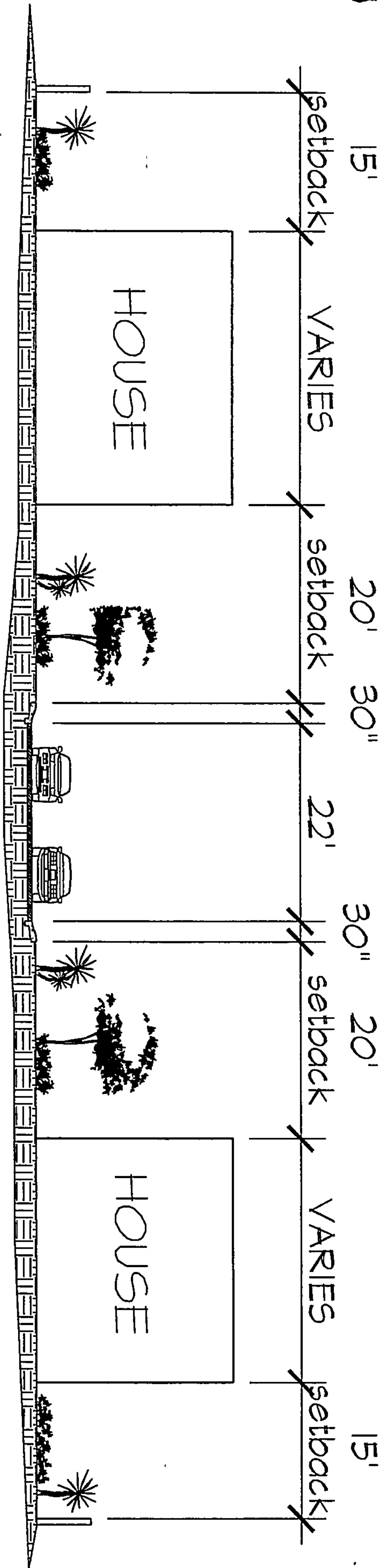


JACK CLOUD
IMPACT FEE ADMINISTRATOR

5

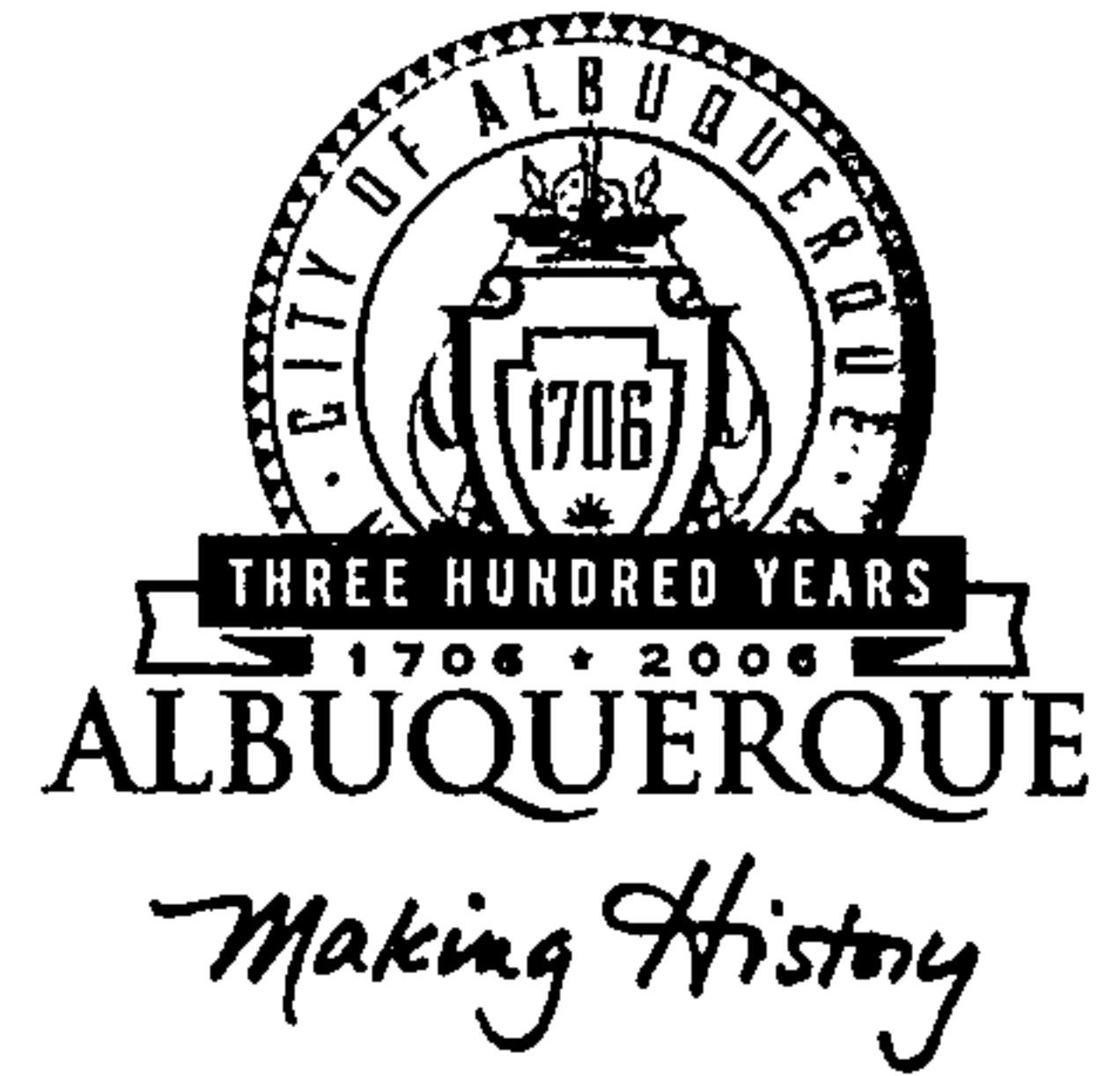


CROSS SECTION



CROSS SECTION

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 32

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

See speed memo dated 6-15-05.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

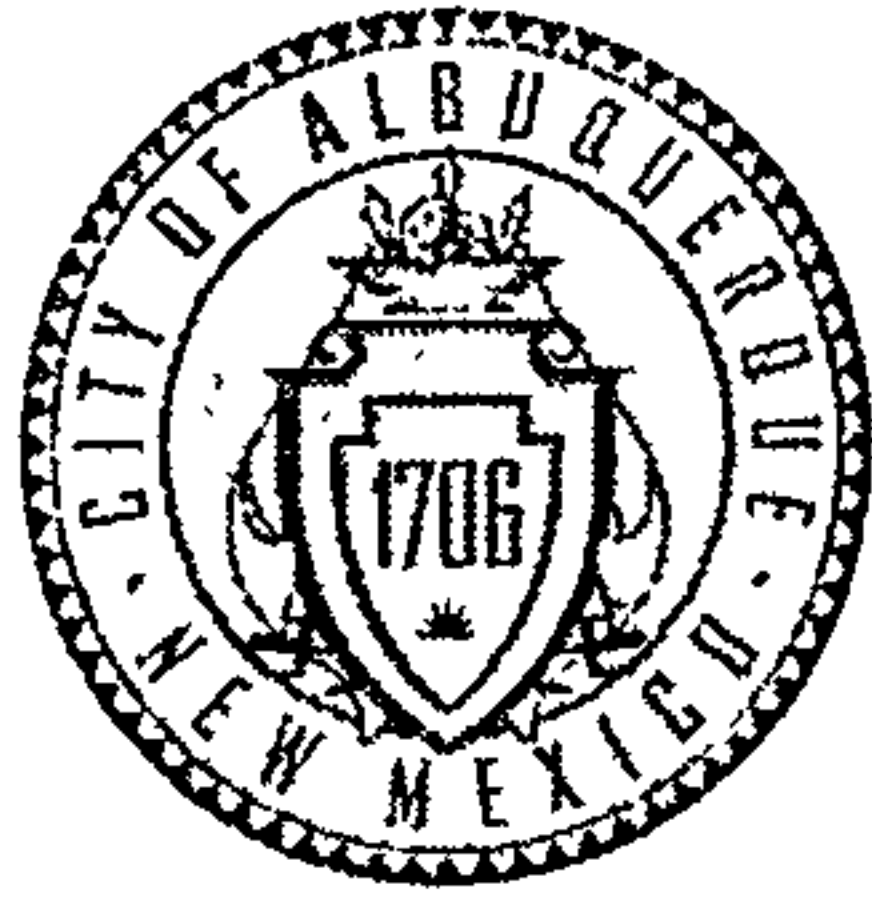
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 22, 2005

Provided



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1004240
Application Number: 05DRB-00918

DRB Date: 6/15/2005
Item Number: 14

Subdivision:

Tracts 87A2, 87B1, 87B2, 87B3, 88, 89A, A2 and A1 Maes-Ernest

Zoning: R-1

Zone Page: H-13

New Lots (or units) : 16

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This development will be subject to Parks, Recreation, Trails and Open Space Impact Fees at building permit.

Signed: CS
Christina Sandoval, (DMD)

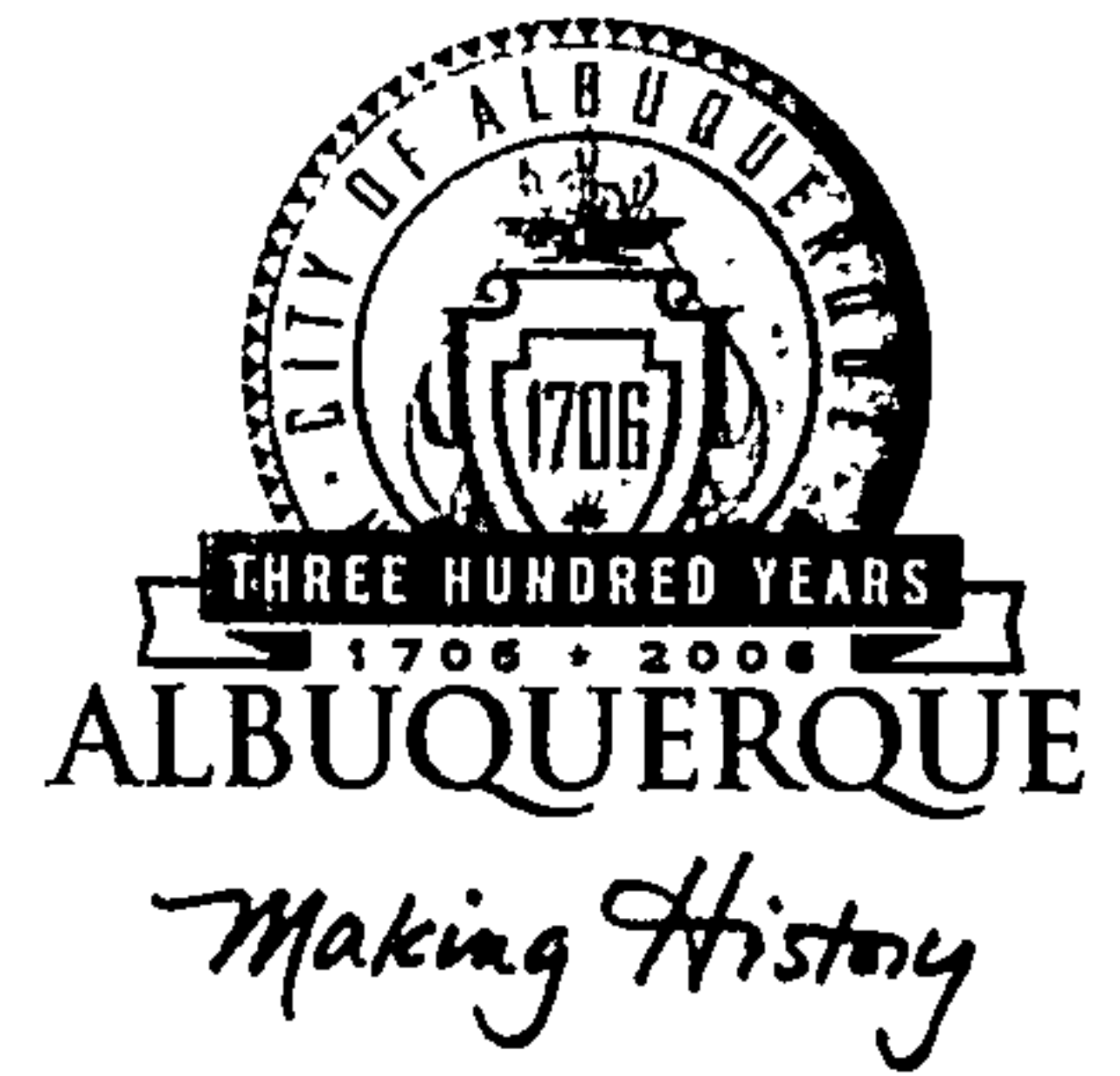
Phone: 768-3808



Comments for Agenda Item #14

Construction of each new single family residence will require payment of Impact Fees. Based on a house size between 1,500 square feet and 2,499 square feet, it is estimated that impact fees will total approximately \$1,296 if a building permit application is accepted by December 30, 2004, \$2,554 if application is accepted prior to December 29, 2006, and \$3,812 thereafter.

JACK CLOUD
IMPACT FEE ADMINISTRATOR



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004240

AGENDA ITEM NO: 14

SUBJECT:

Sketch Plat/Plan

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

to 6-22-05

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 15, 2005



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
June 15, 2005
DRB Comments

ITEM # 14

PROJECT # 1004240

APPLICATION # 05-00918

RE: Tracts 87A2, 87B1-87B3, 88, 89A and A1/sketch

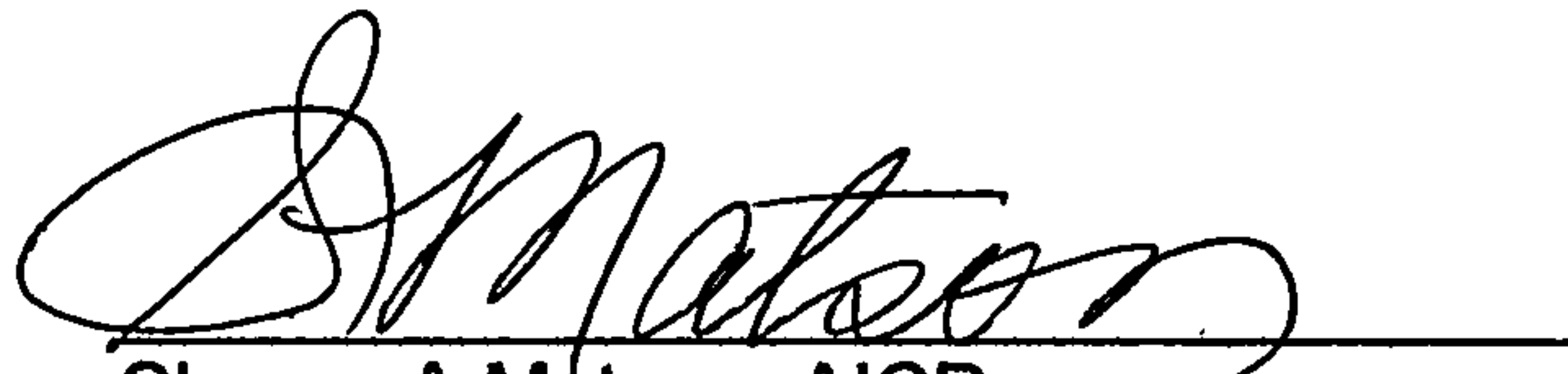
A portion of the property is currently zoned SU-1. Special use zoning requires site plan approval before the Environmental Planning Commission.

In your letter, you state the property is to become a residential subdivision. One of the sketches indicates a portion of it is to become retail uses?

Your letter states there is no zone change planned. Yet one of the sketches indicates a portion of the R-1 zoning to to become SU-1 for C1?

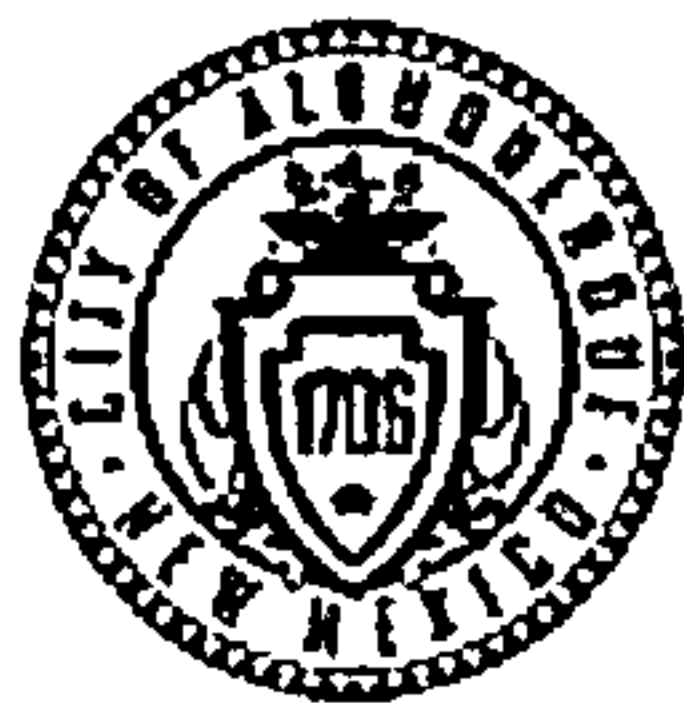
5:00 p.m.
60' okay
The minimum lot size for R-1 in this area is 6000 square feet and 60' minimum lot width.

PERIMETER WALLS.



Sheran A Matson, AICP
924-3880 Fax 924-3864
smatson@cabq.gov

FILE

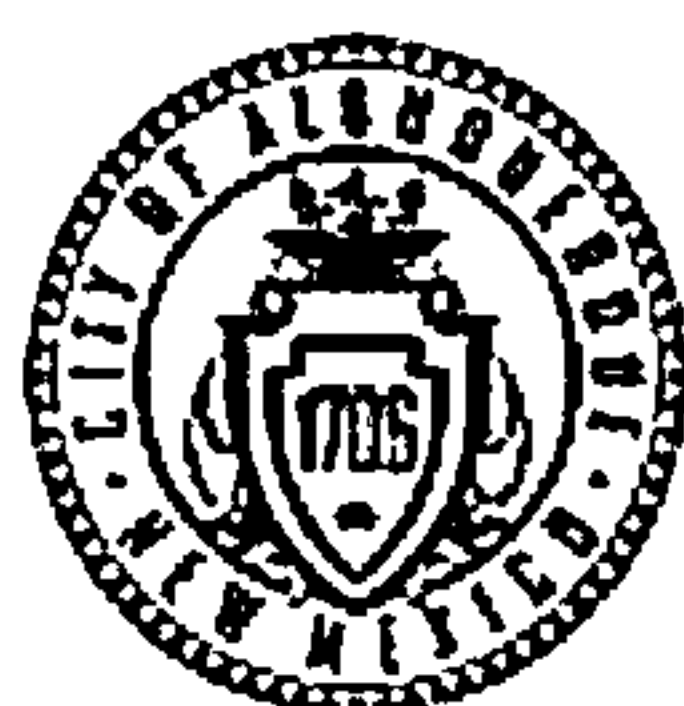


Sheran A.
Matson/PLN/CABQ
07/27/2005 07:57 AM

To "Scharles Wilder" <dltarch@qwest.net>@PUBCABQ
cc egarcia@garciacars.com
bcc
Subject Re: Garcia Land Review Comments

Based on the zone atlas page you provided and your statement that all the lots in the proposed subdivision will be at least 5,000 square feet with 50 foot minimum lot size and R1 zoning, you will not need a special exception to plat.

"Scharles Wilder" <dltarch@qwest.net>



"Scharles Wilder"
<dltarch@qwest.net>
07/26/2005 05:22 PM

To <SMatson@cabq.gov>
cc <egarcia@garciacars.com>
Subject Garcia Land Review Comments

Sharon,

I spoke with you this afternoon regarding the use of 5,000 sq.ft. lots at Indian School and Rio Grande. You informed me that we did not need a Conditional Use and we

Would be able to proceed as planned without complying with the 6,000 sq.ft. requirement because of near property under R1 zoning with 5,000 sq.ft. or less properties. I have attached a scanned image of the zone map we reviewed today for your files the DRB case # is ~~1004240~~. Please Confirm in response to this email that the above statement is correct.

Thank You,

Scharles Taft Wilder


Project Manager

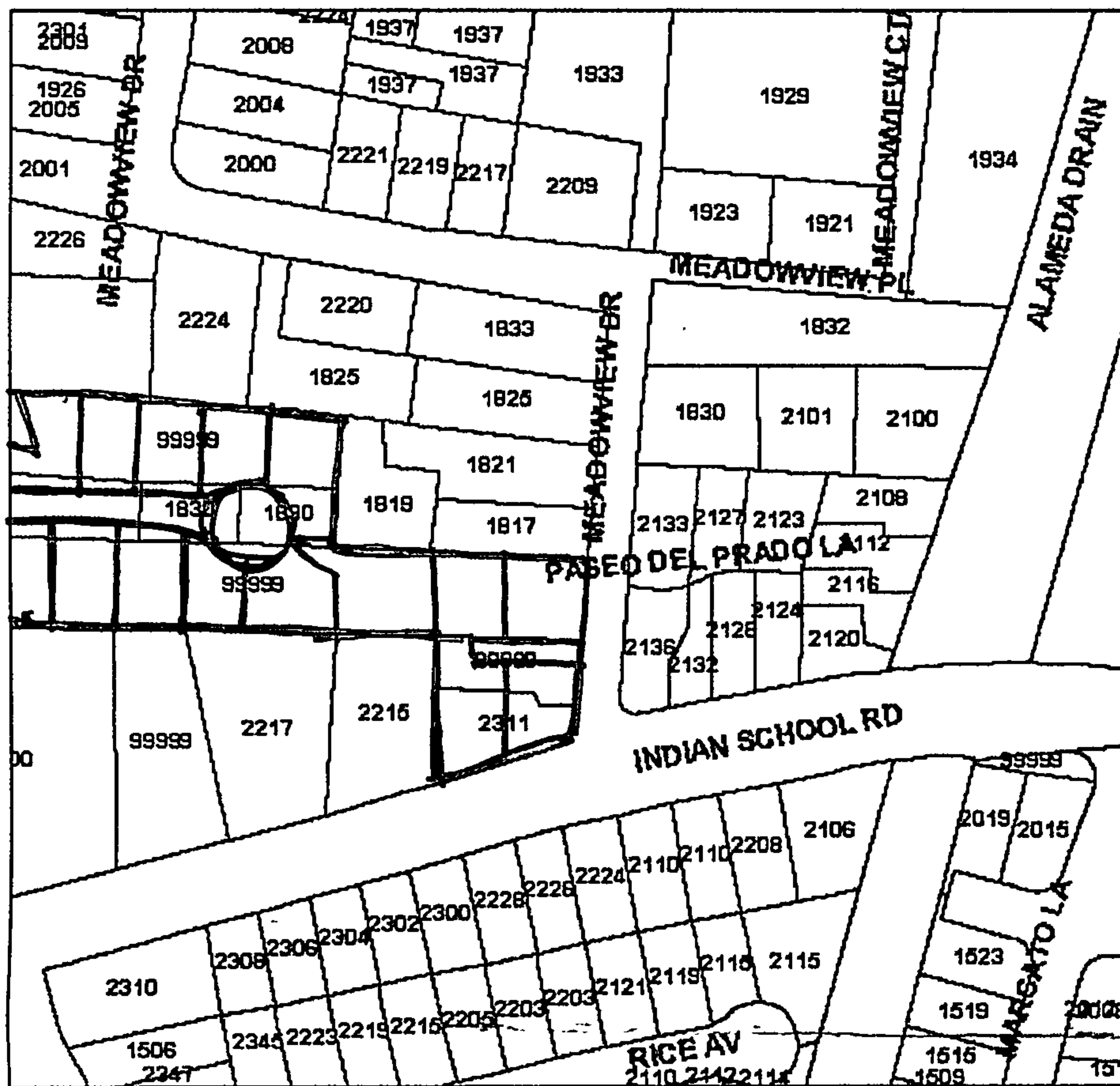
de la Torre Architects P.A., A.I.A.
2400 Louisiana NE, Bldg. #3, Ste. 110
Albuquerque, NM 87110
505.883.7918. ext.#5
fax 505.883.5975

ACTIVATE BUTTONS BY 'CLICKING' ON THE MAP

☉ Zoom In ○ Id Address ○ Id ZM ○ Pan ○ Zoom Out

LAYER LEGEND

- STREET NAMES
- PARKS
- CITY LIMITS
- ZONE MAP GRID
- 
- NBR BOUNDARY
- COMMUNITY PLANNING
- WATER LINES
- SEWER LINES
- STORM DRAINS
- ZONING
- LOT NUMBERS
- ZIP CODES
- COUNCIL DISTRICTS
- FLOOD ZONES (disclaimer)
- PARCELS
- CONTROL STATIONS
- SENATE DIST.
- REPRESENTATIVE DIST.
- COUNTY COMMISSION DIST.
- PARCEL ADDRESS
- PUBLIC FACILITIES
- LAND USE
- 1960 CITY LIMITS
- LANDFILLS/BUFFERS
- ERP LOCATIONS



ReDraw Screen

SHOW LOCATION MAP

SHOW 1999 AERIAL

ZOOM LEVEL MEDIUM

TEXT SIZE MEDIUM

NEW GIS QUERY

City of Albuquerque



DEVELOPMENT/PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ED GARCIA PHONE: 260.5000

ADDRESS: 8301 LOMAS BLVD NE FAX: -

CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: www.garciahonda.com

Proprietary Interest in site: _____ List all owners: _____

AGENT (if any): SCHARLES T. WILDER PHONE: 505.306.8238

ADDRESS: 1501 SAN PATRICIO AVE SW FAX: 505.883.5975

CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: casawilder@msn.com

DESCRIPTION OF REQUEST: SKETCH PLAN REVIEW FOR PROPOSED SUBDIVISION.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 87A2, 87B1, 87B2, 87B3, 88, 89A, A2, A1 Block: 0000 Unit: _____

Subdiv. / Addn. MRGCD MAP 35 & MAES - ERNEST

Current Zoning: R1 & SU1 Proposed zoning: R1

Zone Atlas page(s): H-13-Z No. of existing lots: 8 No. of proposed lots: 16

Total area of site (acres): 2.656 Density if applicable: dwellings per gross acre: 6 dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 101305907836020412 MRGCD Map No. 35

LOCATION OF PROPERTY BY STREETS: On or Near: RIO GRANDE BLVD. & INDIAN SCHOOL NW

Between: _____ and Meadow View Rd NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):

Not known

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 5/31/05

(Print) SCHARLES T. WILDER Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 00918</u>	<u>SK</u>	<u>5(3)</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>June 15, 2005</u>				Total
				<u>\$ 0</u>

[Signature]
Planner signature / date

Project # 1004240

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT **YOUR ATTENDANCE IS REQUIRED.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes) **Your attendance is required.**

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

CHARLES T. WILDER
Applicant name (print)

[Signature]
Applicant signature / date



Form revised 8/04 & 1/05

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05 DRB - 00918

[Signature]
Planner signature / date

Project # 1004240

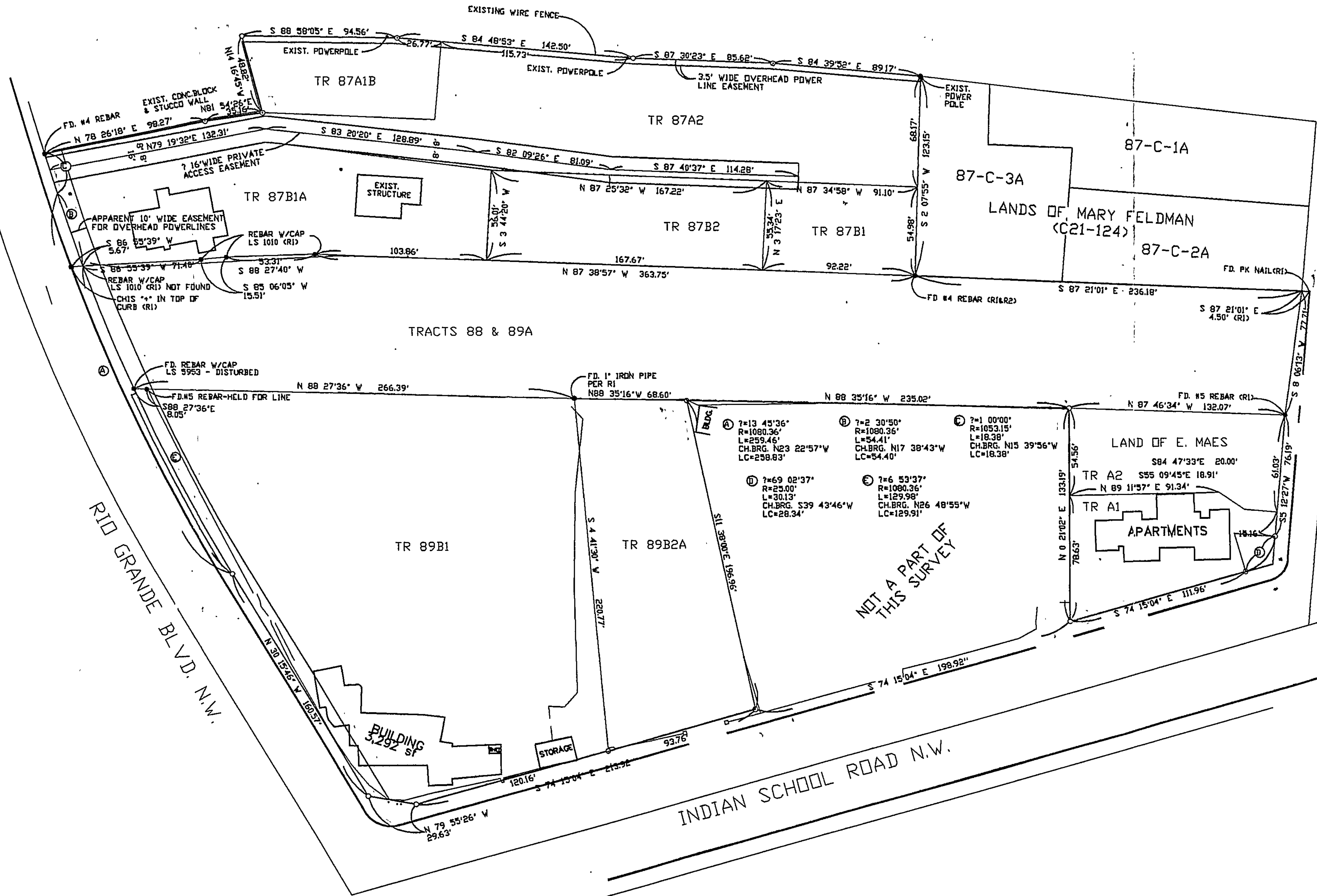
DESCRIPTION LETTER:

This Application is for subdividing existing R1 zoning into higher density lots without changing the zoning. The goal is to design and build a cul-de-sac street with mid-range modern style homes. A large area at this time is undeveloped and several buildings are condemned. The Developer plans to demolish all existing buildings and build a new street.

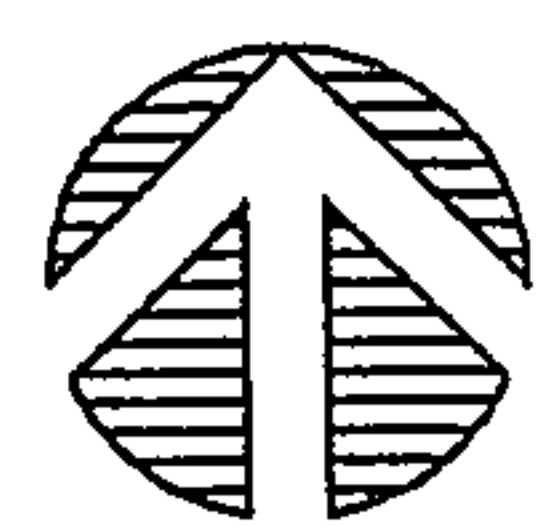
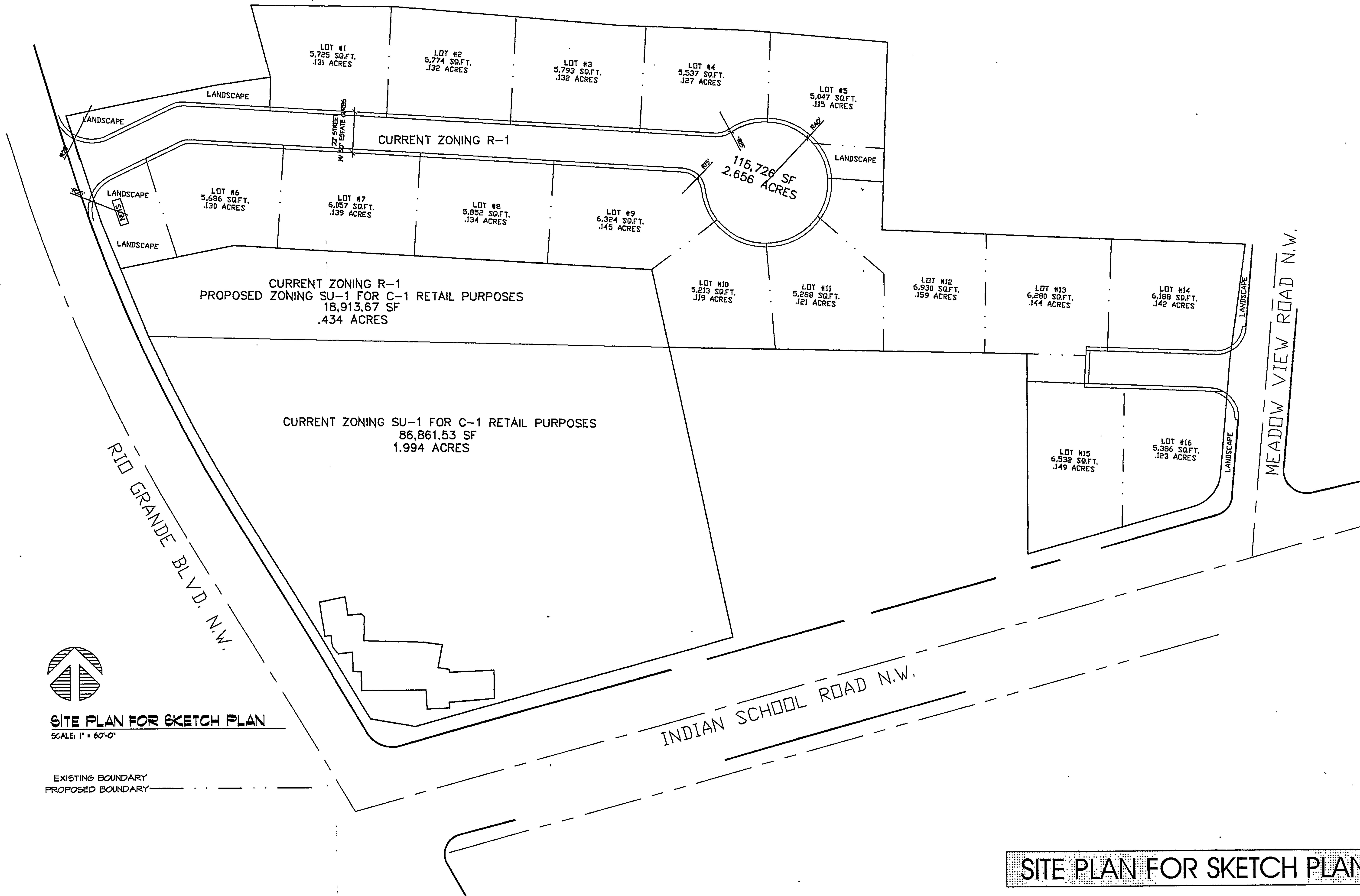
The goal is to develop a small semi-private neighborhood street with landscaped entries and surroundings. The Street would be 22' wide with asphalt paving and 30" estate curbs. There will be set design guidelines following the requirements of all local authorities. The street will have a North Valley Feel with xeriscaping and monument signage. All the homes will be designed and built by the developer.

QUESTIONS FOR D.R.B. SKETCH PLAN REVIEW:

1. Can the subdivision utilize a 22'-0" wide street with 30" curbs on each side and still be a public road.
2. Can the property line be brought to the face of curb to allow for a deeper lot?
3. If the project utilized a private road, what are the requirements to allow for the it to be city maintained?
4. Did the new Ordinance pass that would allow 15'-0" front setback if the garage is 25'-0" from property line.
5. On the side of the development with 4 lots attached to the deadend street can we end the street as shown, over is a turn around of some type required?



BOUNDARY SURVEY		
DATE	11-20-04	BY
SCALE	1" = 30'	DESCRIPTION
PROJECT	ED GARCIA	DESCRIPTION
CLIENT	JAKE ARQUELLES, JR. - LAND SURVEYING - 292 SAN YNACIORDO SW - ALBUQUERQUE, NM - 87101 - (505) 263-0988	DESCRIPTION
DATE	11-20-04	BY



SITE PLAN FOR SKETCH PLAN
SCALE: 1" = 60'-0"

EXISTING BOUNDARY
PROPOSED BOUNDARY

GARCIA LAND DEVELOPMENT
SCHARLES TAFT WILDER DESIGN 505.306.8238

3/24/05

SITE PLAN FOR SKETCH PLAN C1