

#3



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

Comp 9/12/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01373 (SBP)

Project # 1004244

Project Name: MESA VILLAGE ADDITION

Agent: PA ARCHITECTS

Phone No.: 275-3890

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/7/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Dimensions

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 copies
[Signature]
9/12/05

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004244



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01373 (SBP)
Project Name: MESA VILLAGE ADDITION
Agent: PA ARCHITECTS

Project # 1004244
Phone No.: 275-3890

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 9/7/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Dimensions

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 copies

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
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 - Tax printout from the County Assessor.
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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004244



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 7, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:50 A.M.
B. Changes and/or Additions to the Agenda
C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

THERE ARE NO ADVERTISED CASES THIS WEEK

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

- Project # 1004166**
05DRB-01353 Minor-SiteDev Plan
BldPermit/EPC
DCSW ARCHITECTS INC agent(s) for ALBUQUERQUE HISPANO CHAMBER OF COMMERCE request(s) the above action(s) for all or a portion of Tract(s) A, THE ALBUQUERQUE HISPANO CHAMBER OF COMMERCE and Lot(s) 2, Block(s) D, ARMIJO-JUAN ADDITION, zoned SU-2/R-1 & SU-2/NCR, located on 4TH ST SW,

between BARELAS RD SW and CROMWELL AVE SW containing approximately 1 acre(s). [REF: 05ZHE01065, 05EPC00753, DRB-99-298, ZA-84-257, 05EPC00751, 05EPC00752] [Carmen Marrone, EPC Case Planner] (L-14) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILD NOTES AND PLANNING FOR REPLAT, CARMEN MARRONE'S SIGNATURE, 3 COPIES OF THE SITE PLAN AND A NEW UTILITY PLAN.**

2. **Project # 1000195**
05DRB-01358 Minor-SiteDev Plan
Subd/EPC
05DRB-01359 Minor-SiteDev Plan
BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for MECH-CON INVESTMENTS, LLC request(s) the above action(s) for Lot(s) A, Tract(s) E, F, G, H, I, J & K, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 PLANNED INDUSTRIAL DEVELOPMENT, located on BROADWAY BLVD NE, between MENAUL BLVD NE and CLAREMONT AVE NE containing approximately 8 acre(s). [REF: DRB-98-197, Z-98-116] [Elvira Lopez, EPC Case Planner] (H-14) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S SIGNATURE AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CARMEN MARRONE'S SIGNATURE AND 3 COPIES OF THE SITE PLAN.**

- 05DRB-01356 Minor-Prelim&Final Plat
Approval
05DRB-01357 Minor-Vacation of Private
Easements

SURVEYS SOUTHWEST agent(s) for MECH-CON INVESTMENTS, LLC request(s) the above action(s) for TRACT(s) E, F, G, H, I, J & K, **GATEWAY INDUSTRIAL PARK**, zoned SU-1 PLANNED INDUSTRIAL DEVELOPMENT, located on BROADWAY BLVD NE, between MENAUL BLVD NE and CLAREMONT AVE NE containing approximately 8 acre(s). [REF: DRB-98-197, Z-98-116] (H-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ACCESS EASEMENTS FOR SHARED DRIVES. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

3. **Project # 1004244**
05DRB-01373 Minor-SiteDev Plan
BldPermit/EPC

PA ARCHITECTS agent(s) for SAINT PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) A, ST. PAULS UNITED METHODIST CHURCH, MESA VILLAGE ADDITION, zoned SU-1 special use zone, located on CONSTITUTION AVE NE, between MOON NE and EUBANK NE containing approximately 5 acre(s). [REF: 05DRB01176, 05DRB01085] [Catalina Lehner, EPC Case Planner] (J-20) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DIMENSIONING AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

4. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, TOWN OF ATRISCO GRANT, UNIT 7, zoned SU-1 FOR C-1 with drive up pharmacy & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] [Russell Brito for Elvira Lopez, EPC Case Planner] [Deferred from 8/17/05 & 8/31/05] (M-9) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/7/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/1/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

- 05DRB-01384 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for FRONTERA DEVELOPMENT INC, request(s) the above action(s) for all or a portion of Tract(s) A1 & A, TOWN OF ATRISCO GRANT, UNIT 7, zoned SU-1 FOR C-1 with drive up pharmacy, R-LT & C-1 (SC), located on SNOW VISTA BLVD SW, between SAGE RD SW and REBA AVE SW containing approximately 14 acre(s). [REF: Z-79-154, 05EPC00364, 05EPC00365, 05EPC00366, 05EPC00367, 05DRB01293, 05DRB01294] (M-9) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO CITY ENGINEER FOR MINOR**

**COMMENTS AND PLANNING FOR AGIS DXF FILE AND
PLANNING TO RECORD.**

5. **Project # 1004343**
05DRB-01213 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 22-27, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on EDITH BLVD NW, between ALAMEDA PARK DR NW and the AMAFCA DIVERSION CHANNEL containing approximately 12 acre(s). [REF: DRB-98-223] [Deferred from 8/3/05 & 8/10/05 & INDEF DEFERRED ON 9/7/05] (C-16) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1004408**
05DRB-01381 Minor-Prelim&Final Plat
Approval

SURVEYING CONTROL INC agent(s) for CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A, B & E, **MATTHEW MEADOWS ADDITION**, zoned RA-2 residential and agricultural zone, located on MATTHEW AVE NW, between MATEO PRADO NW and GARDEN PARK CR NW containing approximately 4 acre(s). (G-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SIDEWALK CONSTRUCTION AND PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE AND AGIS DXF FILE.**

7. **Project # 1000116**
05DRB-01385 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for WISZNIA ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) F-2A1-D, **BROADBENT BUSINESS PARK**, (to be known as Tract(s) F-2A1-D-1, F-2A1-D-2, F-2A1-D-3, F-2A1-D-4 and F-2A1-D-5) zoned M-1 light manufacturing zone, located on MENAUL BLVD NE,

between LAMBERTON PL NE and BROADBENT PKWY NE containing approximately 8 acre(s). [REF: Z-73-138, Z-73-138-4] *[Deferred from 9/7/05]* (H-15) **DEFERRED AT THE AGENT'S REQUEST TO 9/14/05.**

8. **Project # 1004393**
05DRB-01354 Minor-Prelim&Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for HIGH ASSETS LAND CO LTD request(s) the above action(s) for all or a portion of Lot(s) 2-A-1-B-2 and 3A (to be known as **ALBUQUERQUE WEST, UNIT 2**, Lot(s) 3-A-1, 3-A-2, 2-A-1-B-2-A and 2-A-1-B-2-B), zoned SU-1 PDA TO INCLUDE C-3 USES, located on EAGLE RANCH RD NW, between PASEO DEL NORTE NW and ALL SAINTS RD NW containing approximately 8 acre(s). [REF: DRB-96-14, DRB-90-252] *[Indef Deferred from 9/7/05]* (C-13) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project # 1000965**
05DRB-01382 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC., request(s) the above action(s) for all or a portion of Tract(s) B & 2 LANDS OF RAY GRAHAM III, **VALLE PARAISO SUBDIVISION AT ANDALUCIA AT LA LUZ**, zoned SU-1 special use zone, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 33 acre(s). [REF: 04EPC00857] *[Deferred from 9/7/05]* (F-11) **DEFERRED AT THE AGENT'S REQUEST TO 9/14/05.**

10. **Project # 1002778**
05DRB-01383 Major-Amnd Prelim Plat Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 2 & 9, **WESTERN RIDGE, UNITS 1 & 2**, zoned R-LT residential zone, located on PASEO DEL NORTE BLVD NW, between VENTANA RIDGE RD NW

and VENTANA WEST PARKWAY NW containing approximately 50 acre(s). [REF: 04DRB-01461] (B-8) **THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

- 11. Project # 1002322**
05DRB-01372 Minor-Extension of Preliminary Plat

RESOURCE TECHNOLOGY INC agent(s) for ACME REAL ESTATES FUND LLC request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 23, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2 IP, located on 90TH ST SW, between SUNSET GARDENS RD SW and CENTRAL AVE SW containing approximately 9 acre(s). [REF: 02DRB01666, 03DRB00420, 03DRB00349, 04DRB01396] (L-9) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

- 12. Project # 1000351**
05DRB-01303 Minor-Prelim&Final Plat Approval

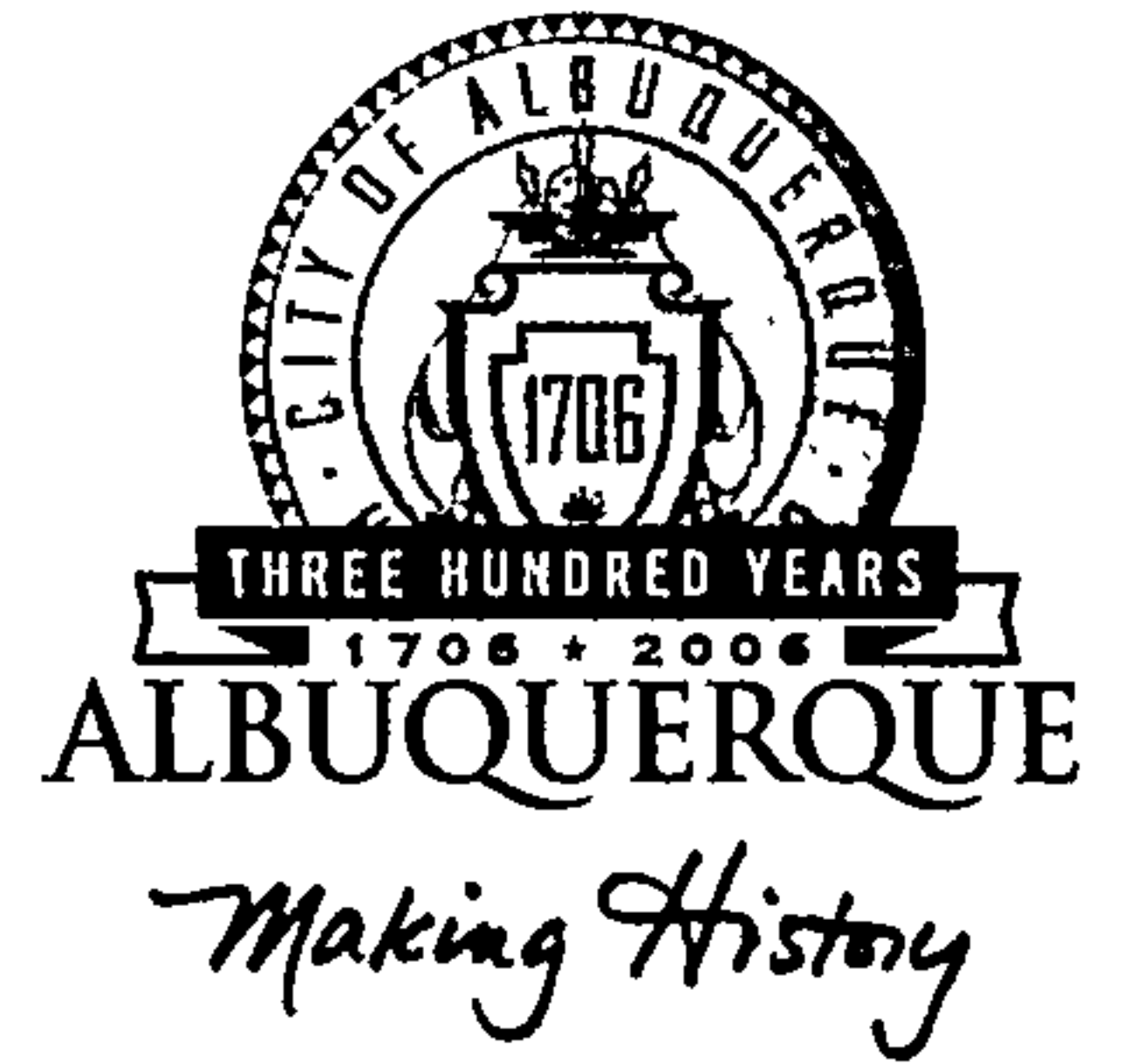
CARTESIAN SURVEYS agent(s) for BOB KITTS request(s) the above action(s) for all or a portion of Tract(s) 3, 7 & 8, **LANDS OF ZIA TRADING COMPANY**, zoned SU-1 FOR IP, located on OSUNA BLVD NE, between BNSF RR TRACKS and EDITH BLVD NE containing approximately 4 acre(s). [REF: Z-99-99, AX-99-10] (*Deferred from 8/24/05 & 8/31/05 FOR SUBMITTAL OF VACATION OF PRIVATE EASEMENT*) [*Indef deferred from 9/7/05*] (E-15) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project # 1004392**
05DRB-01352 Minor-Sketch Plat or Plan
- AMBROSE CHAVEZ request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) 1, **VOLCANO CLIFFS, UNIT 7**, zoned R-1 residential zone, located on MOJAVE NW, between POJOAQUE NW and UNSER NW containing approximately 1 acre(s). (E-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
14. **Project # 1004405**
05DRB-01371 Minor-Sketch Plat or Plan
- GARY D. GARDEY agent(s) for DAVID W. MCCARTY request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 23, **ALBUQUERQUE HIGHLANDS**, zoned R-1, C-2 AND O-1, located on LOMAS BLVD NE, between SAN PEDRO NE and SAN MATEO NE containing approximately 1 acre(s). (J-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
15. **Project # 1004407**
05DRB-01376 Minor-Sketch Plat or Plan
- FRANK P PEREZ request(s) the above action(s) for all or a portion of Lot(s) 306 & 307, **RIO GRANDE HEIGHTS ADDITION**, zoned R-1 residential zone, located on OASIS DR SW, between SUNSET GARDENS RD SW and DESERT DR SW containing approximately 1 acre(s). (K-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
16. Approval of the Development Review Board Minutes for August 24, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR AUGUST 24, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004244

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

P.O. Box 1293

No adverse comments.

Albuquerque

RESOLUTION:

New Mexico 87103

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 7, 2005

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

#3

INTER-OFFICE MEMO

DATE: September 2, 2005

TO: Sheran Matson, DRB Chair

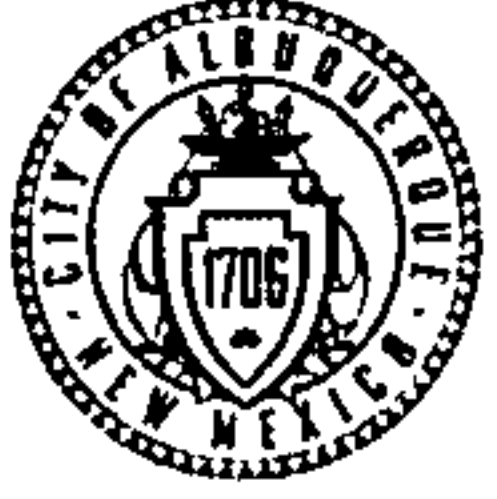
FROM: Catalina Lehner, Planner *CL*

RE: Project #1004244, St. Paul's United Methodist Church

On July 21, 2005, the EPC approved a Site Development Plan for Building Permit with Conditions for Lots 5-13 of Block 19 and Lots 1-11 of Block 18, Mesa Village Subdivision. Staff met with the agent, PA Architects, on August 19, 2005. The Site Development Plan for Building Permit meets all of the EPC conditions.

If you have any questions regarding this case, please call me at 924-3935.

#2



COMPLETED 08/11/05 sth DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01176 (P&F)
Project Name: MESA VILLAGE ADDITION
Agent: Wilson & Company

Project # 1004244
Phone No.: 898-8021

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/27/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: adjust easement to include all existing meters
- add language from original Vacation Ordinance
for retained easements.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 15 day capped period
Record plat
8/10/05

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: 08/11/05
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required. OK
- Copy of recorded plat for Planning.

Project Number 1004244

#2



DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01176 (P&F)
Project Name: MESA VILLAGE ADDITION
Agent: Wilson & Company

Project # 1004244
Phone No.: 898-8021

Project Number

1004244

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: adjust assessment to include all existing meters
- add language from original Vacation Ordinance
for retained easements.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 15 day capped period
Record plat

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
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- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required OK
- Copy of recorded plat for Planning.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 27, 2005

2. Project # 1004244
05DRB-01085 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE**

At the July 27, 2005, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

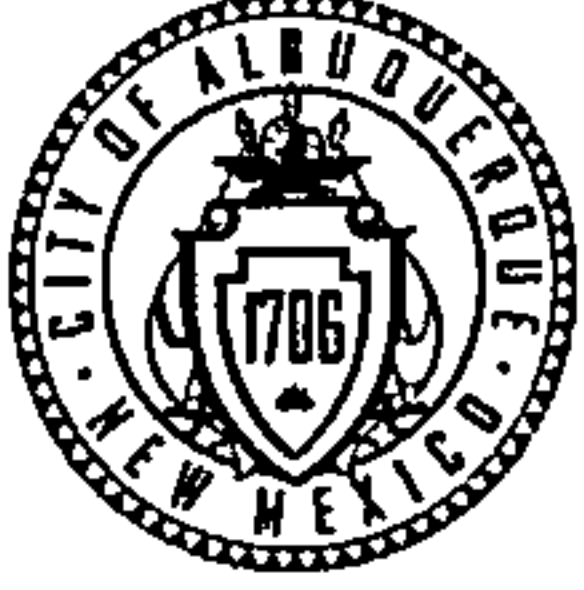
1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by August 11, 2005, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION
PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

05DRB-01176 Minor-Prelim&Final Plat Approval

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, 1-11, Block(s) 18, 19, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20)

The preliminary and final plat was approved with final sign off delegated to Utility Development for adjustment of easement to include all existing meters, add language from original Vacation Ordinance for retained easements and Planning for 15-day appeal period and to record.


Sheran Matson, AICP, DRB Chair

Cc: St Paul's United Methodist Church, 9500 Constitution Ave NE, 87112
Wilson & Company, 2600 The American Rd SE, Suite #100, Rio Rancho, NM
87124
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 27, 2005
DRB Comments**

ITEM # 2

PROJECT # 1004244

APPLICATION # 05-01085

Re: Lots 6-13, 1-11, Block 18 & 19, Mesa Village Addition/minor plat

No objection to the replat.

Is the AGIS dxf file approved?

Planning will take delegation until the 15 day appeal period has expired for the vacation.



Sheran Matson, AICP

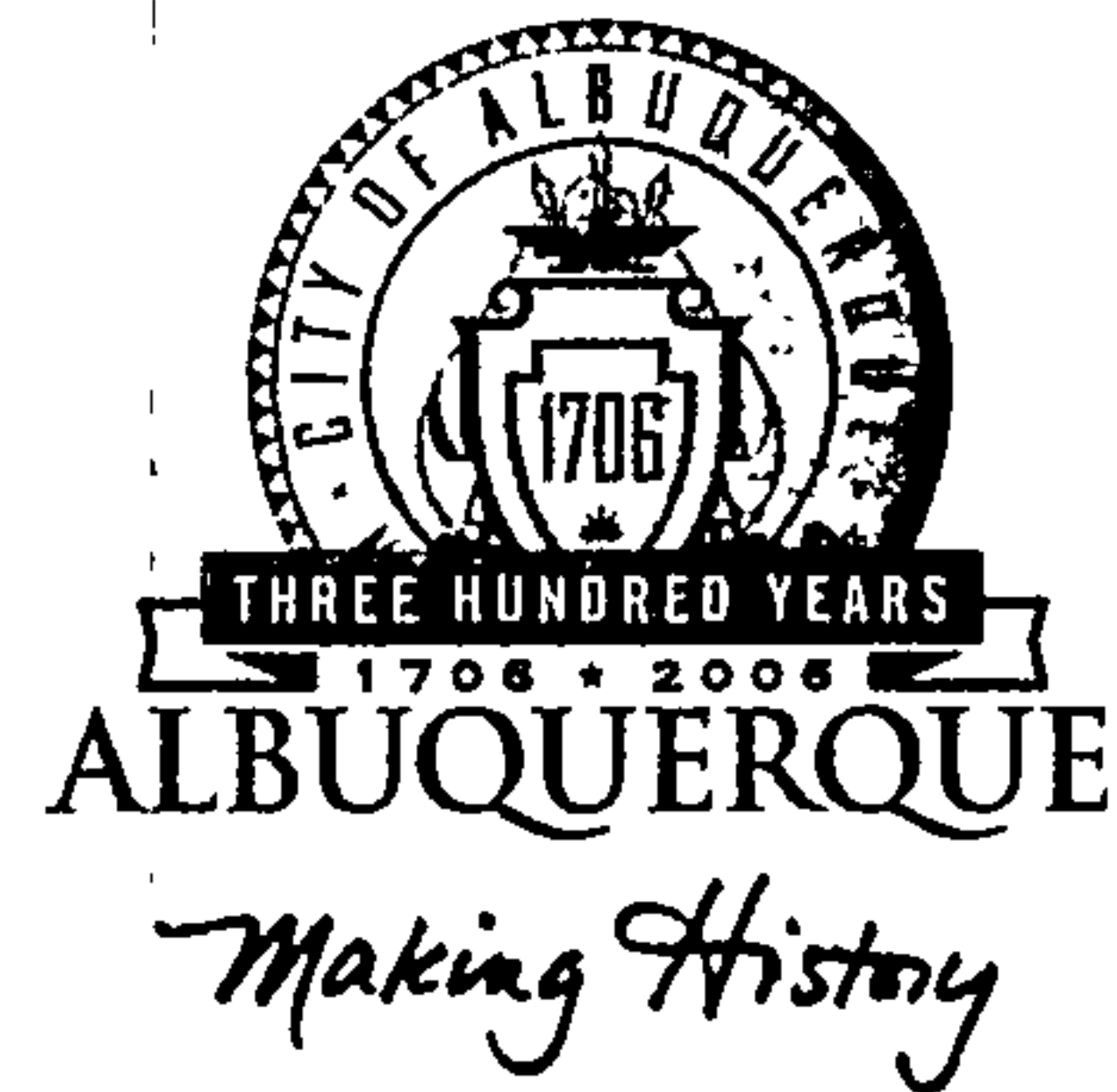
DRB Chair 924-3880

Fax 924-3864 smatson@cabq.gov



2004244

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004244

AGENDA ITEM NO: 2

SUBJECT:

Final Plat
Preliminary Plat
Vacation of Public Easements

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

Albuquerque

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 27, 2005

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004244 AGENDA#: 2 DATE: 7.27.05

1. Name: ~~RODNEY R. TOWNS~~ Address: ~~1301 ERBBE AVE~~ Zip: ~~89112-5118~~

2. Name: Kristine Jones Address: Wilson Zip: (A)

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 27, 2005

Project # 1004244
05DRB-01085 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objection to the request.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter sent to Indian Moon NA (R).
APS	No comments received.
Police Department	No CPTED or crime prevention comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	Approves.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	Site is not within 1000 feet of a landfill. No comment.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.

City Engineer The Hydrology section has no objection to the vacation request.

Transportation Development

Where is the attached vacation exhibit? Unsure of whether to support the requested action or not.

Parks & Recreation

Defer to Utilities.

Utilities Development

No objection to Vacation request.

Planning Department

No objection. Defer to the Traffic Engineer. Applicant has one year to file the plat completing the vacation action.

Impact Fee Administrator

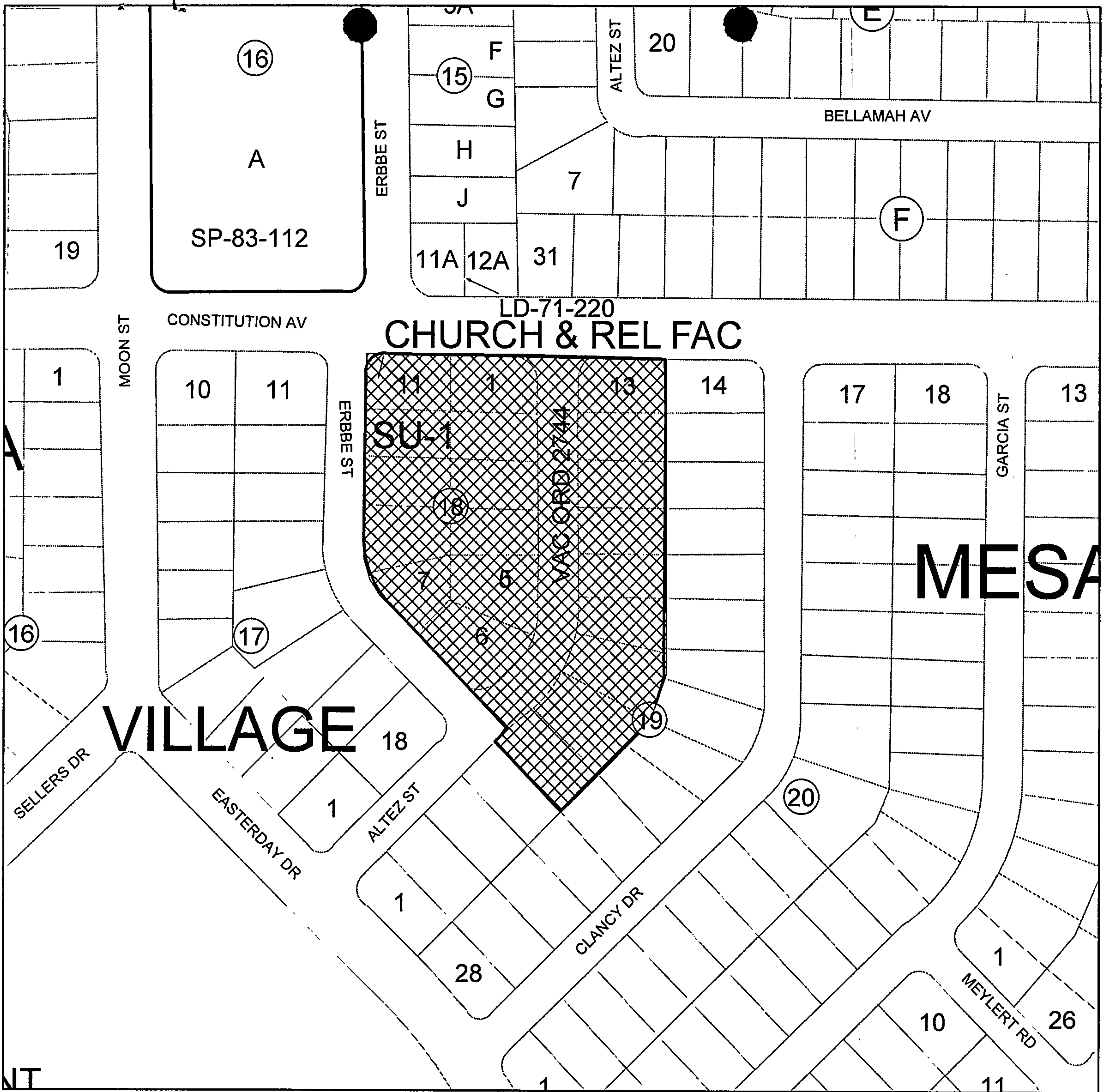
No comment on proposed Vacation.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

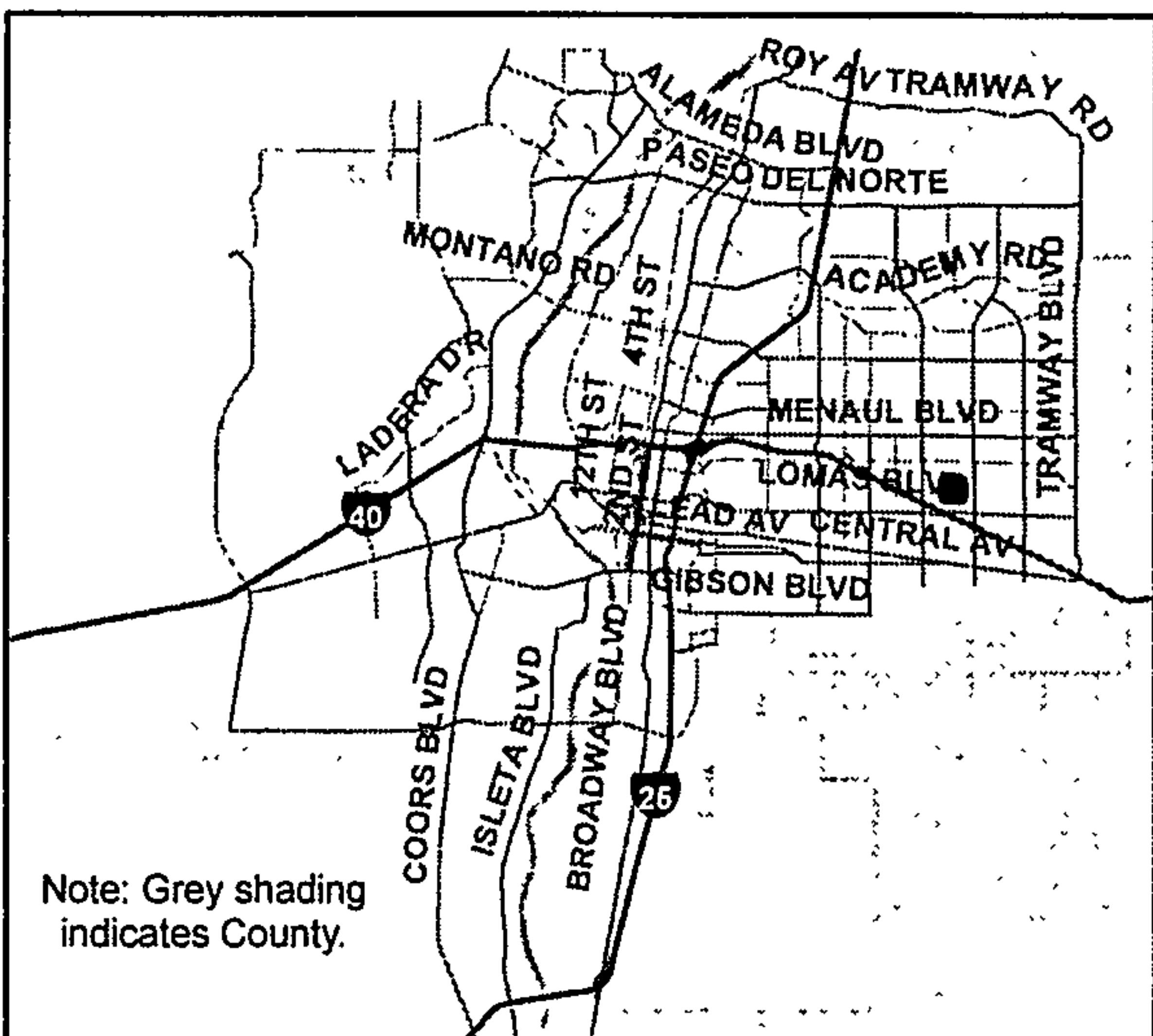
cc:St Pauls United Methodist Church, 9500 Constitution Ave NE, 87112


Wilson & Company, 2600 The American Rd SE, Suite 100, Rio Rancho, NM

87124



ZONING MAP





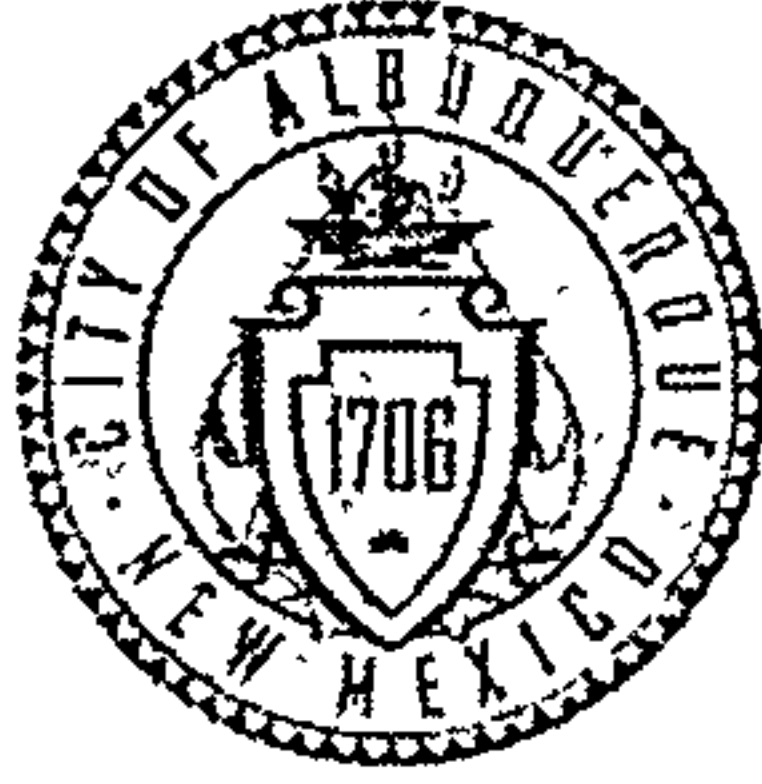
1 inch equals 179 feet

Project Number:
1004244

Hearing Date:
7/27/05

Zone Map Page:
J-20

Additional Case Numbers:
05DRB-01085



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 27, 2005 9:00 a.m., beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004244

05DRB-01085 Major-Vacation of Public Easements

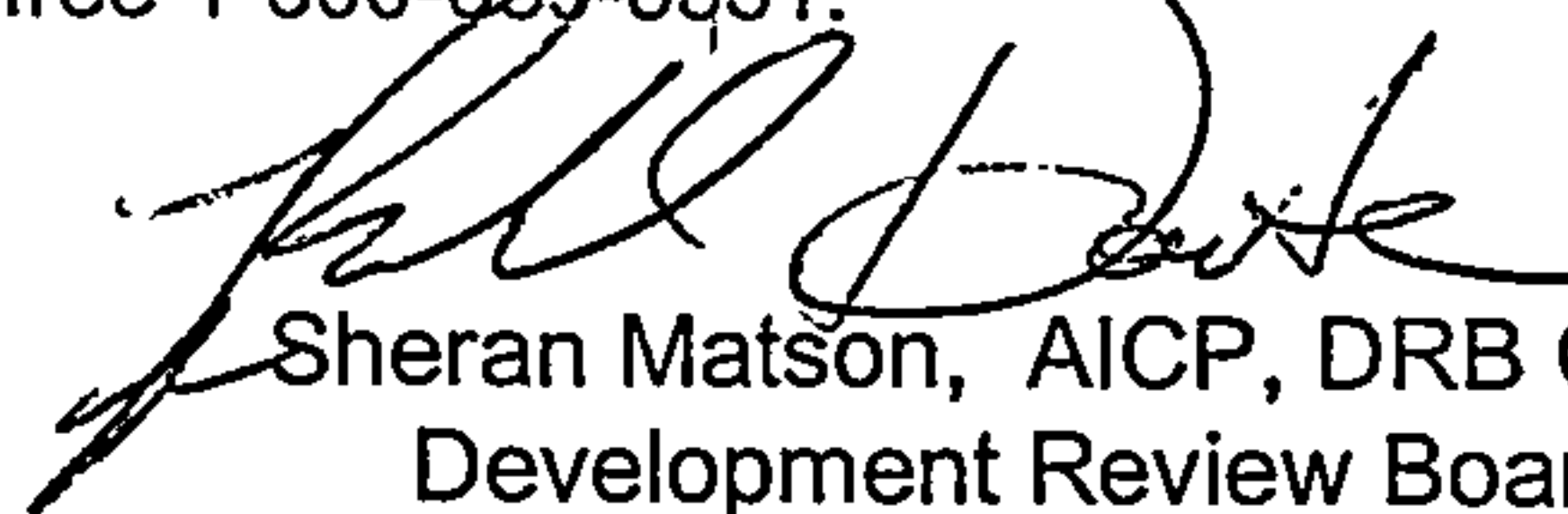
WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20)

Project # 1004300

05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). (C-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 - TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 11, 2005.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JULY 27, 2005
Zone Atlas Page: J-20-Z
Notification Radius: 100 Ft.

Project# 1004244
App# 05DRB-01085

Cross Reference and Location:

Applicant: ST. PAUL'S UNITED METHODIST CHURCH
Address: 9500 CONSTITUTION AVE NE
ALBUQUERQUE NM 87112

Agent: WILSON & COMPANY
Address: 2600 THE AMERICAN RD SE, STE# 100
~~ALBUQUERQUE~~ NM 87124
Rio Rancho

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: JULY 8, 2005

Signature: KYLE TSEHLIKAI

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

Project# 1004244
Application# 15DRB-01085

PAGE 1 OF 2

Zone Atlas Page #	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
J-20	1020058	322-234	414-14	✓
		319-205	25	✓
		314-200	24	✓
		322-192	03	✓
		327-197	04	✓
		331-201	05	✓
		336-205	06	✓ DWP
		340-209	07	✓ MP
		343-214	08	✓
		345-220	09	✓
		345-227	10	✓
		345-233	11	✓
		345-238	12	✓
		345-244	13	✓
		345-250	14	✓
		345-256	15	✓
		303-211	412-02	✓
		299-218	03	✓
		293-222	04	✓
		290-229	05	✓
		289-236	06	✓
		289-242	07	✓
		289-249	08	✓
		289-254	09	✓



<mainframe@coa1mp3.cabq.gov>

07/06/2005 02:55 PM

To:
cc:
cc:
Subject:

1 RECORDS WITH LABELS PAGE
1
01020058 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0102005832223441416 LEGAL: LOTS 1 T HRU 11 BLK 18 MESA VILLAGE ADDN & LOTS
5 T LAND USE:
PROPERTY ADDR: 00000 N/A
OWNER NAME: ST PAUL METHODIST CHURCH
OWNER ADDR: 09500 CONSTITUTION NE
ALBUQUERQUE NM 87112
0102005831920541425 LEGAL: 004 019E M CHAPMAN JR SUB
LAND USE:
PROPERTY ADDR: 00000 ALTEZ
OWNER NAME: BROWN NANCY
OWNER ADDR: 01112 ALTEZ ST NE
ALBUQUERQUE NM 87112
0102005831420041426 LEGAL: 003 019E M CHAPMAN JR SUB
LAND USE:
PROPERTY ADDR: 00000 ALTEZ
OWNER NAME: HAMMETT DAVID L ETUX
OWNER ADDR: 01108 ALTEZ NE
ALBUQUERQUE NM 87112
0102005832219241403 LEGAL: 26 1 9 ME SA VILLAGE ADD
LAND USE:
PROPERTY ADDR: 00000 CLANCY
OWNER NAME: LEA THOMAS R
OWNER ADDR: 01009 CLANCY DR NE
ALBUQUERQUE NM 87112
0102005832719741404 LEGAL: 025 019E M CHAPMAN JRS SUB DIV
LAND USE:
PROPERTY ADDR: 00000 CLANCY
OWNER NAME: STRONG RICHARD E JR & GEMMA
OWNER ADDR: 01013 CLANCY DR NE
ALBUQUERQUE NM 87112
0102005833120141405 LEGAL: 024 019E M CHAPMAN JRS SUB
LAND USE:
PROPERTY ADDR: 00000 CLANCY
OWNER NAME: NOWLEN STEVEN P & CATHERINE L
OWNER ADDR: 01101 CLANCY DR NE
ALBUQUERQUE NM 87112
0102005833620541406 LEGAL: 023 019E M CHAPMAN JRS SUB
LAND USE:
PROPERTY ADDR: 00000 CLANCY
OWNER NAME: TRAUB RICHARD
OWNER ADDR: PO BOX 1637
ALBUQUERQUE NM 87103
0102005834020941407 LEGAL: 022 019E M CHAPMAN
LAND USE:
PROPERTY ADDR: 00000 CLANCY
OWNER NAME: TRAUB RICHARD B
OWNER ADDR: PO BOX 1637
ALBUQUERQUE NM 87103

PAGE 2

0102005834321441408	LEGAL: 021 019E M CHAPMAN JRS SUB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: GOLSTON REATER	
	OWNER ADDR: 01201 CLANCY	DR NE
ALBUQUERQUE NM	87111	
0102005834522041409	LEGAL: 020 019E M CHAPMAN JR SUB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: MEDLEY DA'VIDIA H	
	OWNER ADDR: 01205 CLANCY	DR NE
ALBUQUERQUE NM	87112	
0102005834522741410	LEGAL: 019 019E M CHAPMAN JR SUB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: HILDAN ERNIE F ETUX	
	OWNER ADDR: 01209 CLANCY	DR NE
ALBUQUERQUE NM	87112	
0102005834523341411	LEGAL: 018 019E M CHAPMAN JRS SUB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: GUTIERREZ RICHARD &	
	OWNER ADDR: 00102 CHELWOOD PARK	NE
ALBUQUERQUE NM	87112	
0102005834523841412	LEGAL: LT 1 7 BL K 19 OF THE REPL OF BLK 19 E M	
CHAPMAN'S LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: COHERNOUR KELLY & DEBRA	
	OWNER ADDR: 01301 CLANCY	DR NE
ALBUQUERQUE NM	87112	
0102005834524441413	LEGAL: 016 019E M CHAPMAN JR SB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: RHODEN JULIE A & MCCUTCHEON JE	
	OWNER ADDR: 00423 MANKIN	NE
ALBUQUERQUE NM	87123	
0102005834525041414	LEGAL: 015 019E M CHAPMAN JRS SUB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: JOHNSON CAMERON H & CATHERINE	
	OWNER ADDR: 01309 CLANCY	DR NE
ALBUQUERQUE NM	87112	
0102005834525641415	LEGAL: 014 019E M CHAPMAN JR SUB	
LAND USE:	PROPERTY ADDR: 00000 CLANCY	
	OWNER NAME: COOK DAVID L & MONICA S	
	OWNER ADDR: 02750 EAGLE	DR
TYNDALL AFB FL	32403	
0102005830321141202	LEGAL: 018 017M ESA VILLAGE ADDN	
LAND USE:	PROPERTY ADDR: 00000 ERBBE	
	OWNER NAME: TENNIS RUBY M	
	OWNER ADDR: 01301 ERBBE	ST NE
ALBUQUERQUE NM	87112	

PAGE 3

0102005829921841203 LAND USE:	LEGAL: 017 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: CANDELARIA JOE I & CONNIE TRUS		
	OWNER ADDR: 01305 ERBBE		ST NE
ALBUQUERQUE NM 0102005829322241204 LAND USE:	87112 LEGAL: 016 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: DODSON RALPH D ETUX		
	OWNER ADDR: 01309 ERBBE		ST NE
ALBUQUERQUE NM 0102005829022941205 LAND USE:	87112 LEGAL: 015 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: CHAVEZ ELOY O ETUX		
	OWNER ADDR: 01313 ERBBE		ST NE
ALBUQUERQUE NM 0102005828923641206 LAND USE:	87112 LEGAL: 014 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: PROCTOR POLLY M		
	OWNER ADDR: 01317 ERBBE		NE
ALBUQUERQUE NM 0102005828924241207 LAND USE:	87112 LEGAL: 013 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: ZUREK DAVID W & KATHERINE A		
	OWNER ADDR: 01321 ERBBE		ST NE
ALBUQUERQUE NM 0102005828924941208 LAND USE:	87112 LEGAL: 012 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: JARVIS KEVIN A		
	OWNER ADDR: 09801 CARMEL		AV NE
ALBUQUERQUE NM 0102005828925641209 LAND USE:	87122 LEGAL: 011 017M ESA VILLAGE ADDN		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: MARTINEZ GEORGE A ETUX		
	OWNER ADDR: 01329 ERBBE		ST NE
ALBUQUERQUE NM 0102005828530210101 CL LAND USE:	87112 LEGAL: TR A BLK 16 SUMMARY PLAT OF TR A BLK 16 TIJERAS		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: SANDIA BAPTIST CHURCH		
	OWNER ADDR: 09429 CONSTITUTION		NE
ALBUQUERQUE NM 0102005831128110241 LAND USE:	87112 LEGAL: J 00 15TI JERAS CLUB GARDENS REPL L 3 TO L 12		
	PROPERTY ADDR: 00000 ERBBE		
	OWNER NAME: BRITTON M LOUISE		
	OWNER ADDR: 01406 ERBBE		ST NE
ALBUQUERQUE NM	87112		

PAGE 4

0102005830927310242 CLU LAND USE:	LEGAL: 11A 015R EDIVISION LTS 11A & 12A BLK 15 TIJERAS		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: MADRID SANDY NANCY		
	OWNER ADDR: 09501 CONSTITUTION		NE
ALBUQUERQUE NM 0102005831327310201 CLU LAND USE:	87112 LEGAL: 12A 015R EDIVISION LTS 11A & 12A BLK 15 TIJERAS		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: ROGERS DIANNE K		
	OWNER ADDR: 09505 CONSTITUTION		NE
ALBUQUERQUE NM 0102005832227410202 LAND USE:	87112 LEGAL: 031 F TI JERAS CLUB GARDEN ADDN		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: LUEKER BELINDA S		
	OWNER ADDR: 09517 CONSTITUTION		NE
ALBUQUERQUE NM 0102005832927410203 LAND USE:	87112 LEGAL: 030 F TI JERAS CLUB GARDENS ADDN		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: SENA ELOY A & PATRICIA A		
	OWNER ADDR: 09601 CONSTITUTION		NE
ALBUQUERQUE NM 0102005833427410204 LAND USE:	87112 LEGAL: 029 F TI JERAS CLUB GNDS		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: HILTON OPEL L		
	OWNER ADDR: 09605 CONSTITUTION		AV NE
ALBUQUERQUE NM 0102005834027410205 LAND USE:	87112 LEGAL: 028 F TI JERAS CLUB GARDEN ADDN		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: SCHER LIBBY		
	OWNER ADDR: 09609 CONSTITUTION		AV NE
ALBUQUERQUE NM 0102005834727410206 LAND USE:	87112 LEGAL: 027 F TI JERAS CLUB GARDENS ADD		
	PROPERTY ADDR: 00000 CONSTITUTION		
	OWNER NAME: SISNEROS TANYA		
	OWNER ADDR: 09613 CONSTITUTION		NE
ALBUQUERQUE NM QUIT	87112		

"Attachment A"

Date of Request: June 29, 2005
Name: Kristine Susco, Wilson & Company
Phone: 898-8021/Fax: 898-8501
Zone Map: J-20

INDIAN MOON N.A. (INM) "R"
***Lynne Martin**
1531 Espejo NE/87112 294-0435 (h)
Mel Bernstein
1511 Clancy NE/87112 299-0286 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY
O-92, you are most welcomed to notify the following "Unrecognized"
neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

7002 0860 0000 9460 4192

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE
ALBUQUERQUE, NM 87112

Postage	\$ 0.37	UNIT ID: 0127 Postmark Here Clerk: KTGH19 06/30/05
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	

Sent To Mel Bernstein
 Street, Apt. No.; or PO Box No. 1511 Clancy NE
 City, State, ZIP+4 Albuquerque, NM 87112
 PS Form 3800, April 2002 See Reverse for Instructions

7002 0860 0000 9460 4185

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE
ALBUQUERQUE, NM 87112

Postage	\$ 0.37	UNIT ID: 0127 Postmark Here Clerk: KTGH19 06/30/05
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	

Sent To Lynne Martin
 Street, Apt. No.; or PO Box No. 1531 Espejo NE
 City, State, ZIP+4 Albuquerque, NM 87112
 PS Form 3800, April 2002 See Reverse for Instructions

Project# 1004244

St. Paul's United Methodist Church
9500 Constitution Ave NE
Albuquerque NM 87112

MEL BERNSTEIN
Indian Moon Neigh. Assoc.
1511 CLANCY NE
ALBUQUERQUE NM 87112

102005832219241403

LEA THOMAS R
1009 CLANCY DR NE
ALBUQUERQUE NM 87112

102005833620541406

TRAUB RICHARD
PO BOX 1637
ALBUQUERQUE NM 87103

102005834522741410

HILDAN ERNIE F ETUX
1209 CLANCY DR NE
ALBUQUERQUE NM 87112

102005834524441413

RHODEN JULIE A & MCCUTCHEON J
423 MANKIN NE
ALBUQUERQUE NM 87123

102005830321141202

TENNIS RUBY M
1301 ERBBE ST NE
ALBUQUERQUE NM 87112

102005829022941205

CHAVEZ ELOY O ETUX
1313 ERBBE ST NE
ALBUQUERQUE NM 87112

102005828924941208

JARVIS KEVIN A
9801 CARMEL AV NE
ALBUQUERQUE NM 87122

102005831128110241

BRITTON M LOUISE
1406 ERBBE ST NE
ALBUQUERQUE NM 87112

WILSON & COMPANY
2600 THE AMERICAN RD SE
RIO RANCHO NM 87124

102005831920541425

BROWN NANCY
1112 ALTEZ ST NE
ALBUQUERQUE NM 87112

102005832719741404

STRONG RICHARD E JR & GEMMA
1013 CLANCY DR NE
ALBUQUERQUE NM 87112

102005834321441408

GOLSTON REATER
1201 CLANCY DR NE
ALBUQUERQUE NM 87111

102005834523341411

GUTIERREZ RICHARD &
102 CHELWOOD PARK NE
ALBUQUERQUE NM 87112

102005834525041414

JOHNSON CAMERON H & CATHERINE
1309 CLANCY DR NE
ALBUQUERQUE NM 87112

102005829921841203

CANDELARIA JOE I & CONNIE TRU
1305 ERBBE ST NE
ALBUQUERQUE NM 87112

102005828923641206

PROCTOR POLLY M
1317 ERBBE NE
ALBUQUERQUE NM 87112

102005828925641209

MARTINEZ GEORGE A ETUX
1329 ERBBE ST NE
ALBUQUERQUE NM 87112

102005830927310242

MADRID SANDY NANCY
9501 CONSTITUTION NE
ALBUQUERQUE NM 87112

LYNNE MARTIN
Indian Moon Neigh. Assoc.
1531 ESPEJO NE
ALBUQUERQUE NM 87112

102005831420041426

HAMMETT DAVID L ETUX
1108 ALTEZ NE
ALBUQUERQUE NM 87112

102005833120141405

NOWLEN STEVEN P & CATHERINE L
1101 CLANCY DR NE
ALBUQUERQUE NM 87112

102005834522041409

MEDLEY DA'VIDIA H
1205 CLANCY DR NE
ALBUQUERQUE NM 87112

102005834523841412

COHERNOUR KELLY & DEBRA
1301 CLANCY DR NE
ALBUQUERQUE NM 87112

102005834525641415

COOK DAVID L & MONICA S
2750 EAGLE DR
TYNDALL AFB FL 32403

102005829322241204

DODSON RALPH D ETUX
1309 ERBBE ST NE
ALBUQUERQUE NM 87112

102005828924241207

ZUREK DAVID W & KATHERINE A
1321 ERBBE ST NE
ALBUQUERQUE NM 87112

102005828530210101

SANDIA BAPTIST CHURCH
9429 CONSTITUTION NE
ALBUQUERQUE NM 87112

102005831327310201

ROGERS DIANNE K
9505 CONSTITUTION NE
ALBUQUERQUE NM 87112

102005832227410202

LUEKER BELINDA S
9517 CONSTITUTION NE
ALBUQUERQUE NM 87112

102005834027410205

SCHER LIBBY
9609 CONSTITUTION AV NE
ALBUQUERQUE NM 87112

102005832927410203

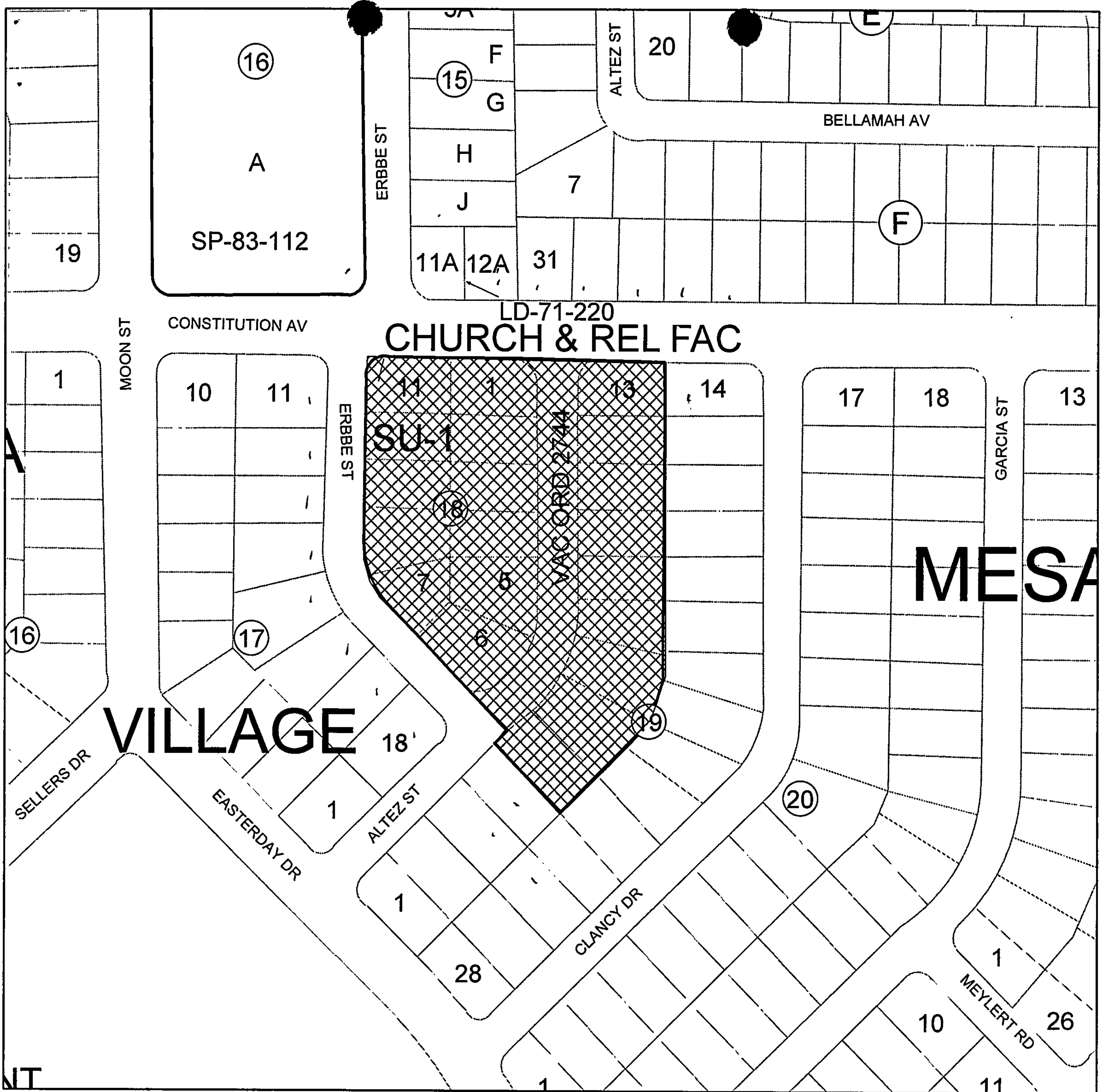
SENA ELOY A & PATRICIA A
9601 CONSTITUTION NE
ALBUQUERQUE NM 87112

102005834727410206

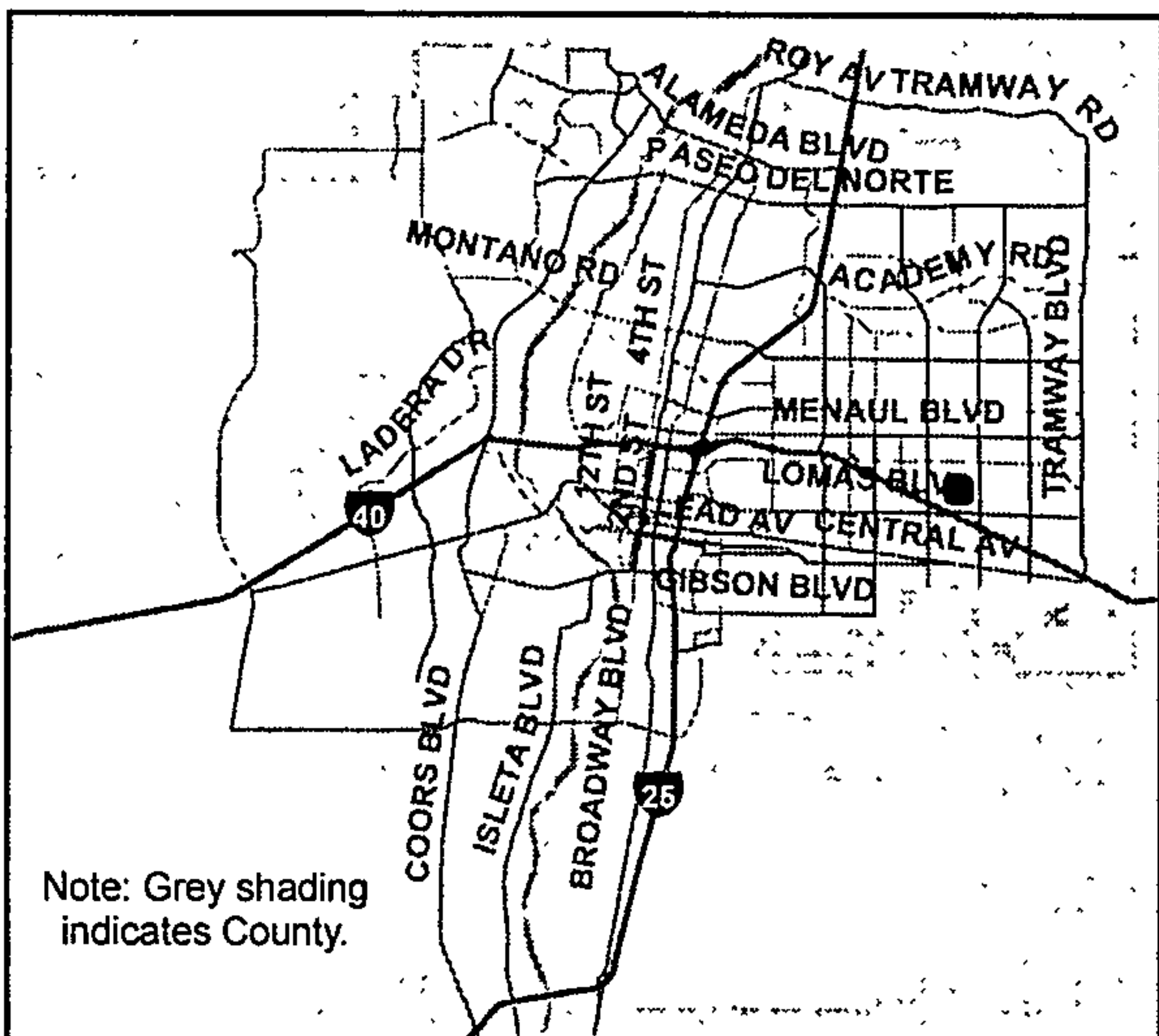
SISNEROS TANYA
9613 CONSTITUTION NE
ALBUQUERQUE NM 87112

102005833427410204

HILTON OPEL L
9605 CONSTITUTION AV NE
ALBUQUERQUE NM 87112



ZONING MAP



1 inch equals 179 feet

Project Number:
1004244

Hearing Date:
7/27/05

Zone Map Page:
J-20

Additional Case Numbers:
05DRB-01085

NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

July 7, 2005

TO: Lynne Martin and Mel Bernstein, Indian Moon Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately four (4) acre(s): Major Vacation of Public Easements for a portion of Public Utility Easements for the proposed planned expansion of the church facilities.**

Proposed by: **Wilson and Company at 898-8021**

Agent for: **St. Paul's United Methodist Church**

P.O. Box 1293

For property located: **On or near Constitution Avenue NE between Erbbe Street NE and Clancy Street NE.**

Albuquerque

The case number(s) assigned is: **05DRB- 01085, Project # 1004244.**

City Planning accepted application for this request on **June 30, 2005.**

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at **9 a.m. on Wednesday, July 27, 2005** in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

You should contact **Claire Senova at 924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck at 924-3902** or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 27, 2005 9:00 a.m., beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004244

05DRB-01085 Major-Vacation of Public Easements

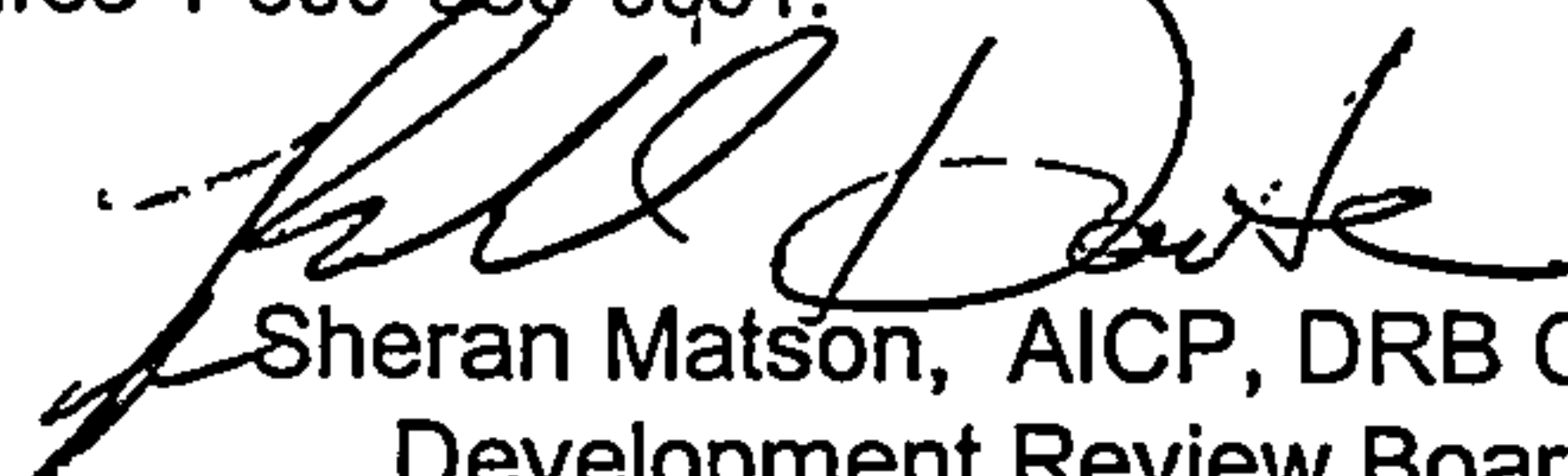
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Project # 1004300

05DRB-01080 Minor-SiteDev Plan BldPermit

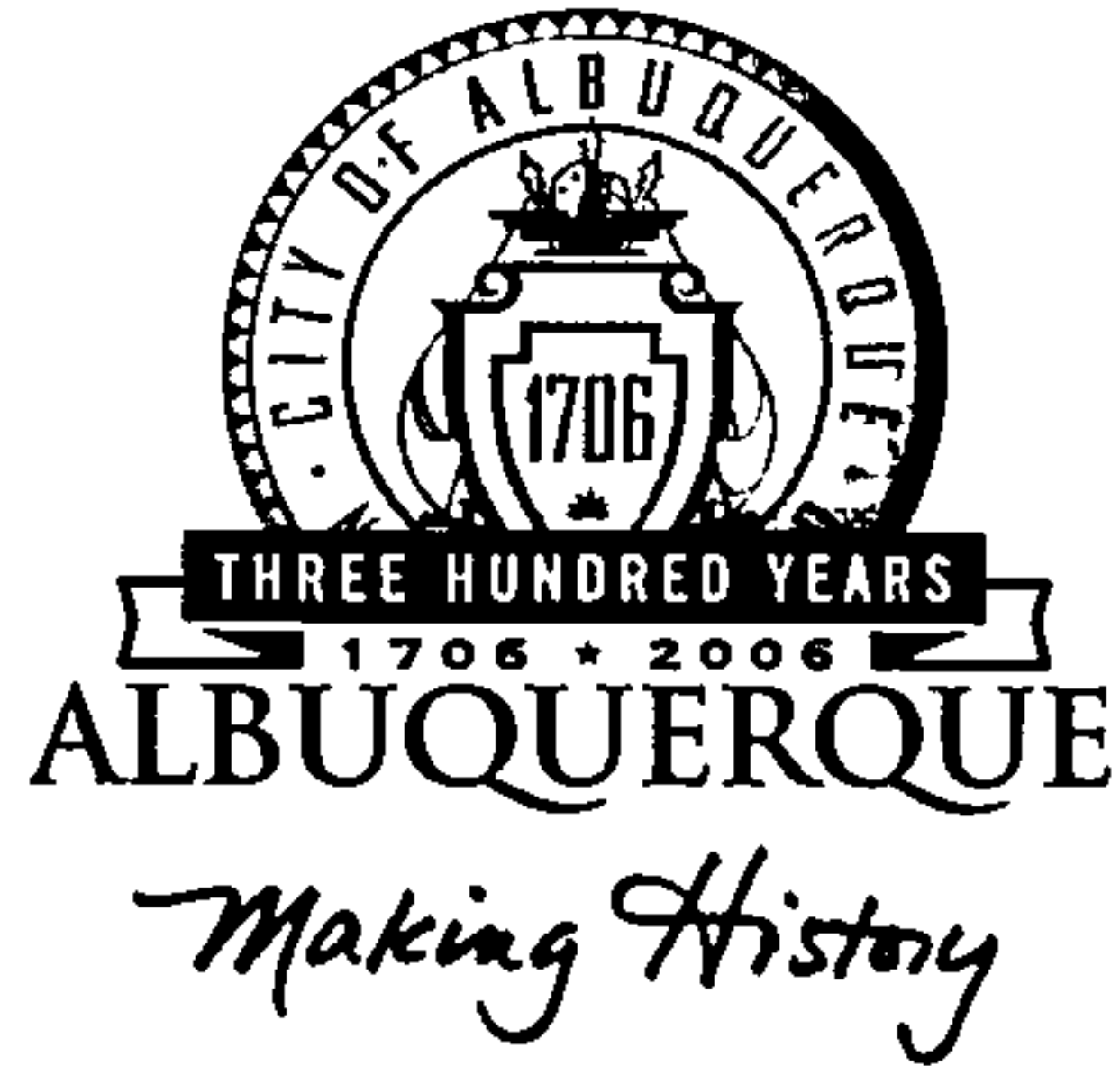
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Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 11, 2005.

CITY OF ALBUQUERQUE



Planning Department

P.O. Box 1293

Albuquerque, NM 87103

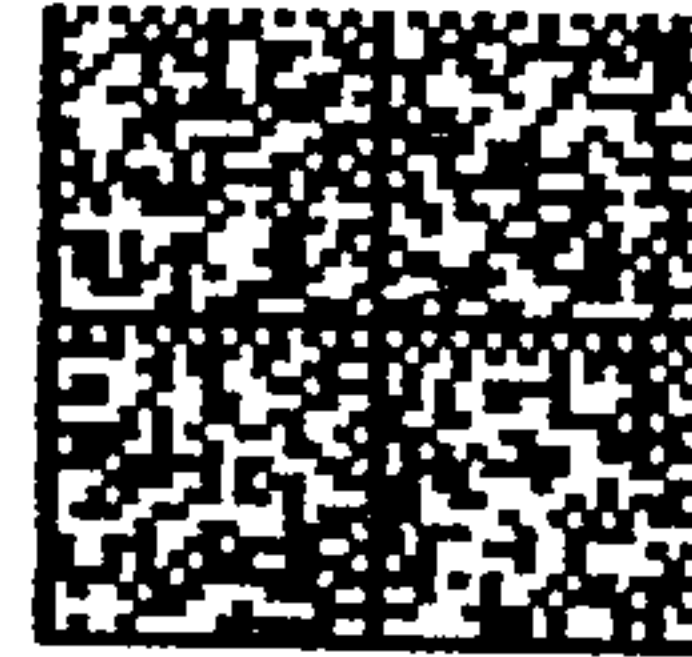
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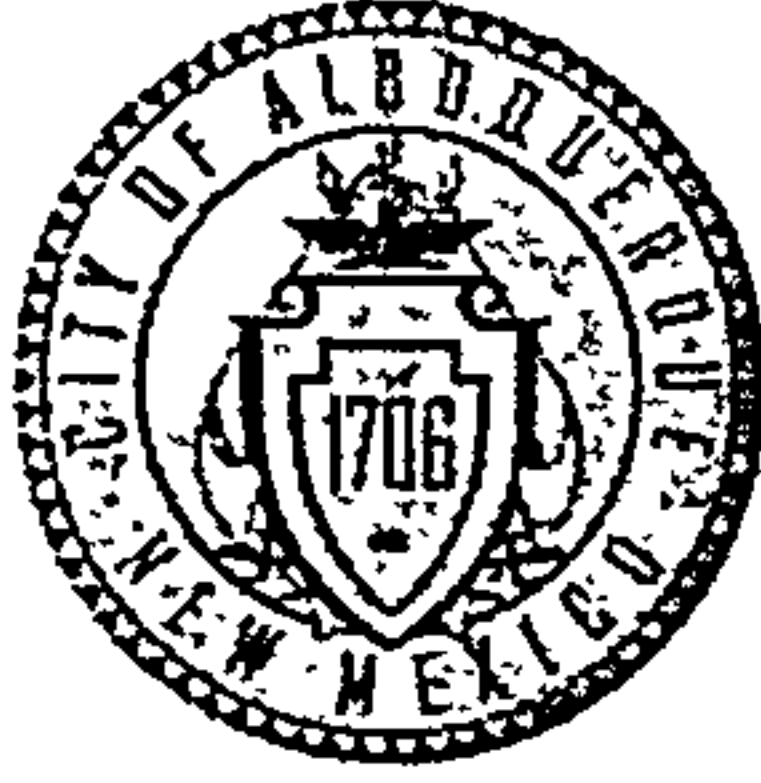


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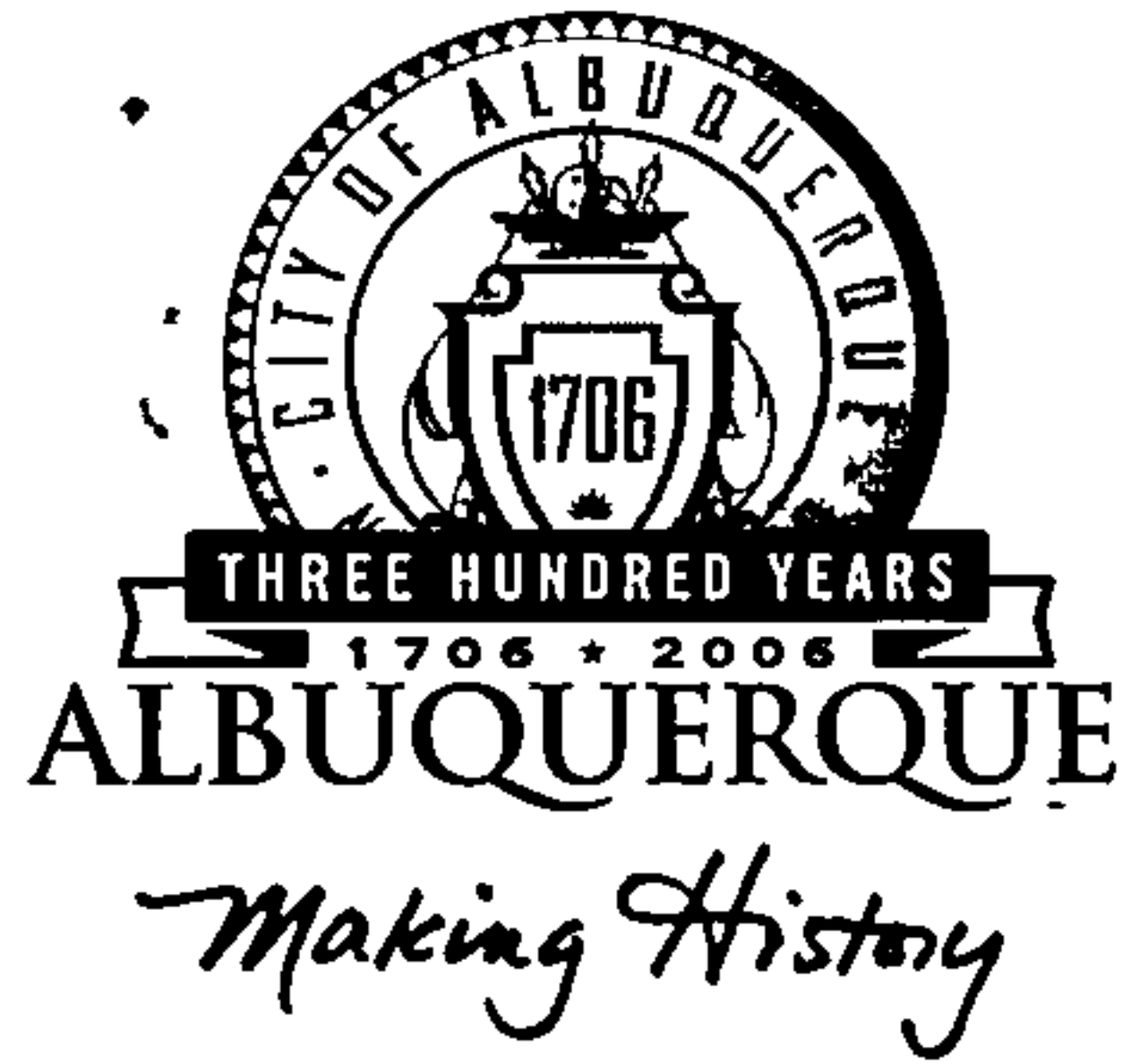
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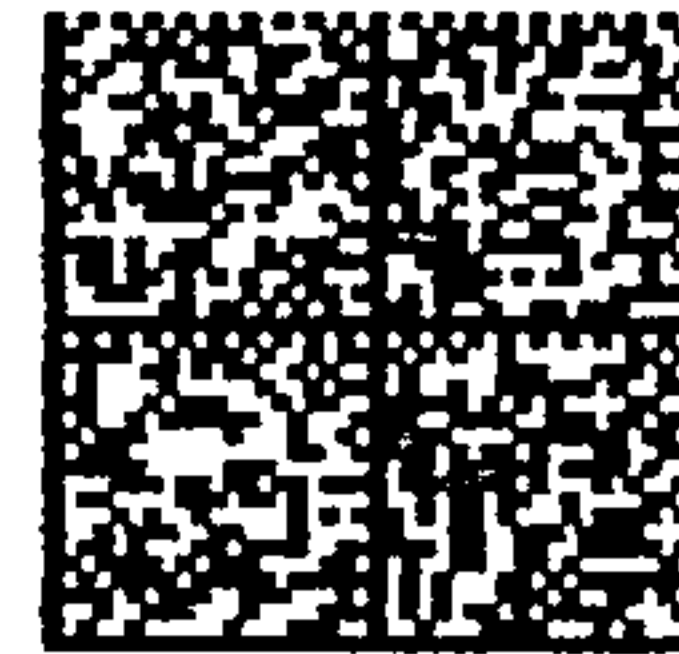

Sheran Matson, AICP, DRB Chair
Development Review Board

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CITY OF ALBUQUERQUE



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Planning Department

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P.O. Box 1293

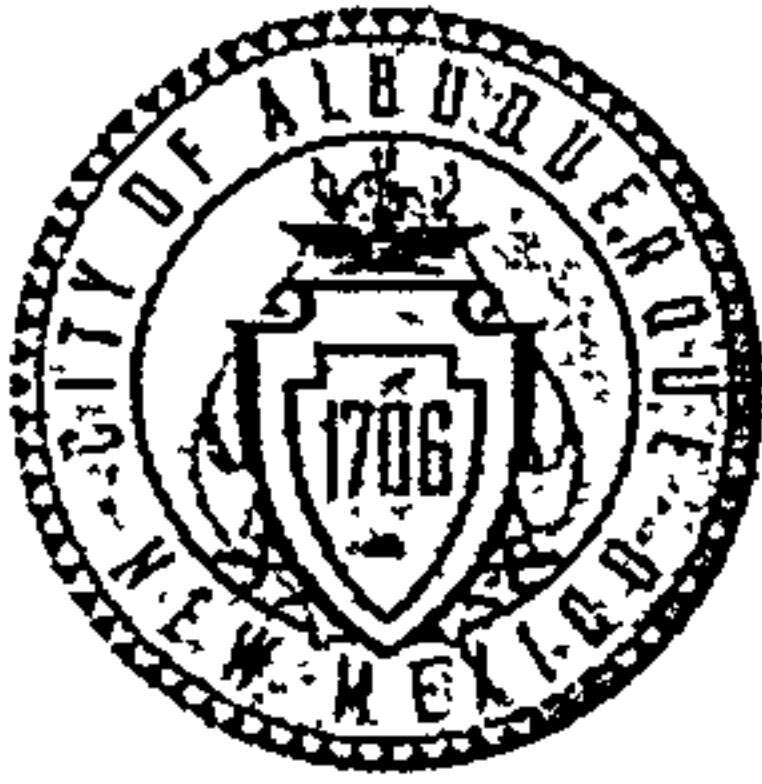
GUTIERREZ RICHARD &
102 CHELWOOD PARK NE
ALBUQUERQUE NM 87112

Albuquerque, NM 87103

87103+1293-93 8015



DRB



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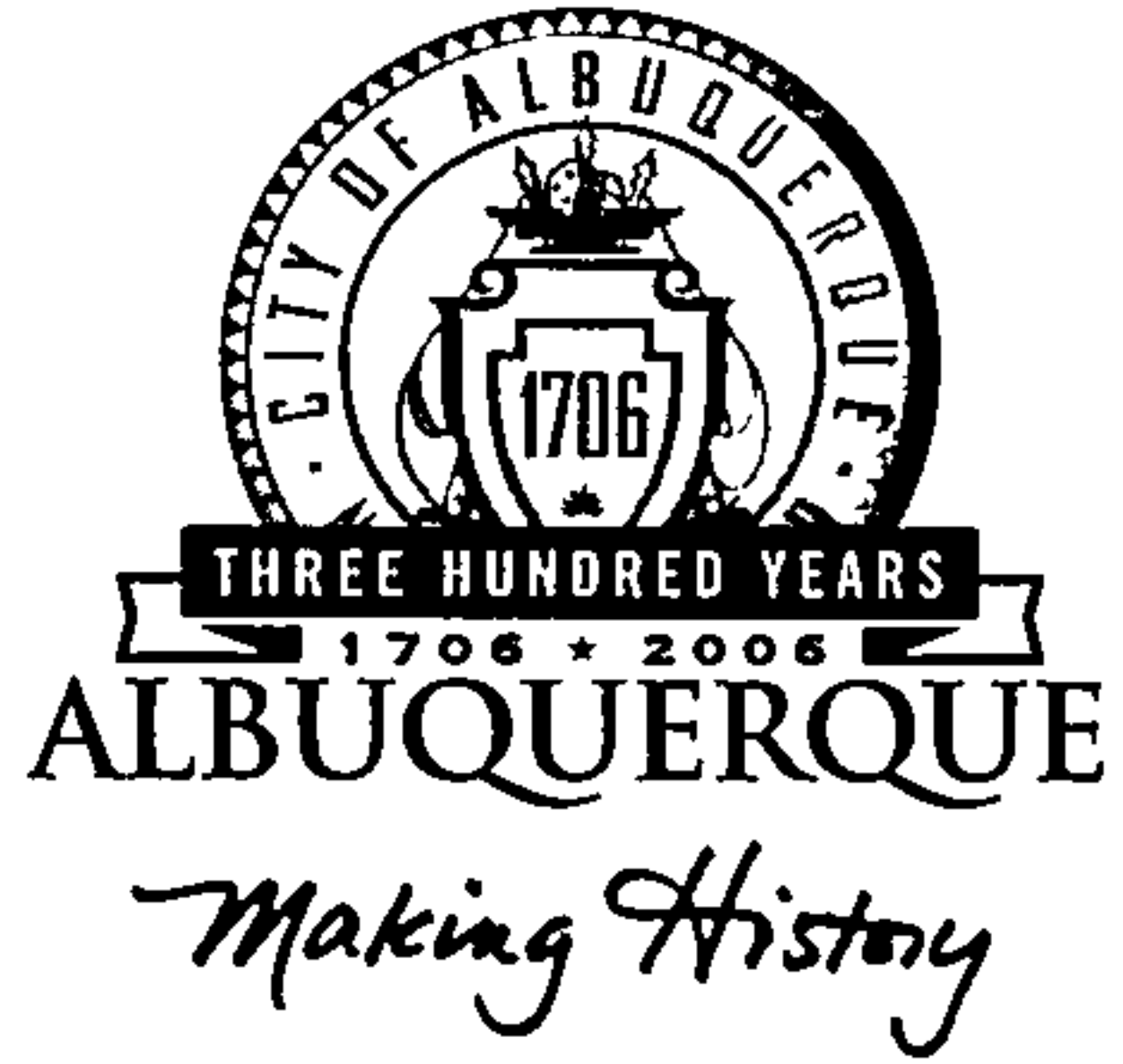
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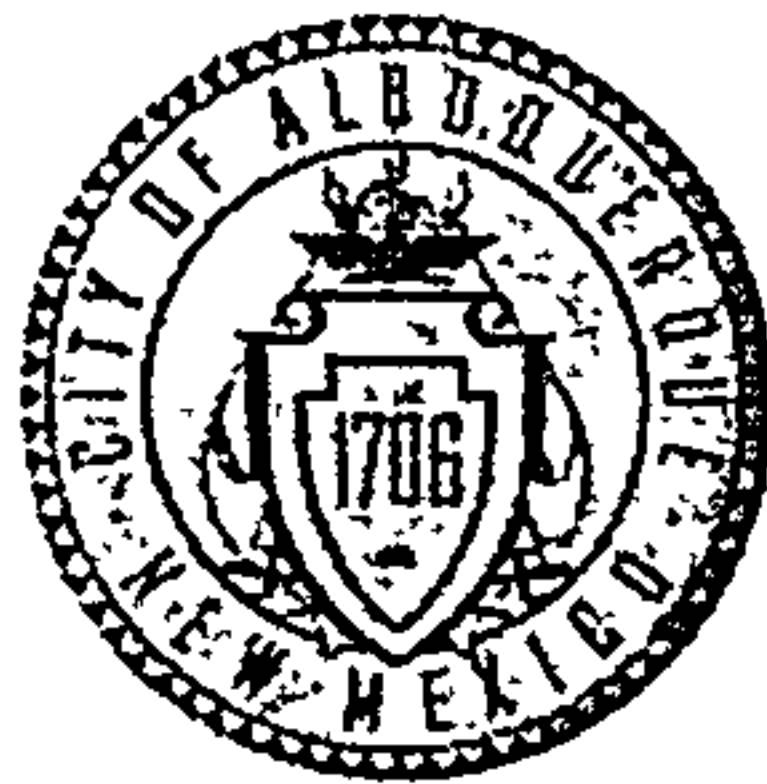
MARTINEZ GEORGE A ETUX
1329 ERBBE ST NE
ALBUQUERQUE NM 87112

Planning Department

P.O. Box 1293

Albuquerque, NM 87103

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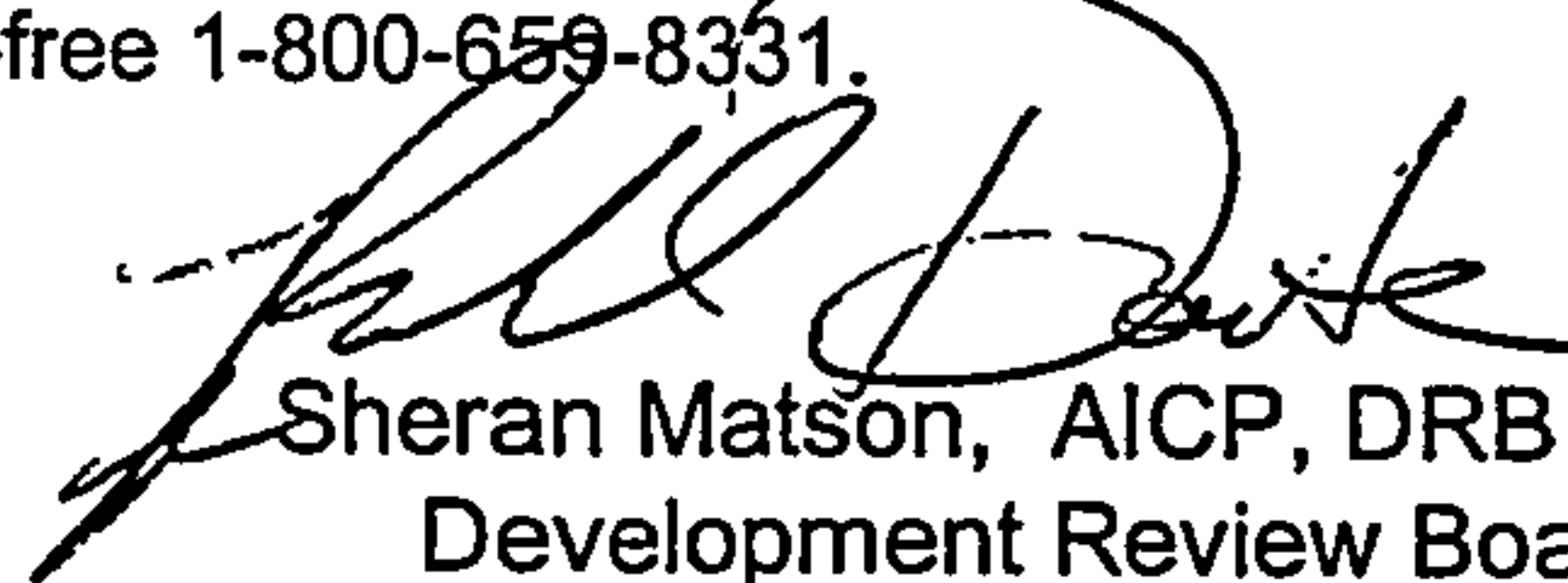
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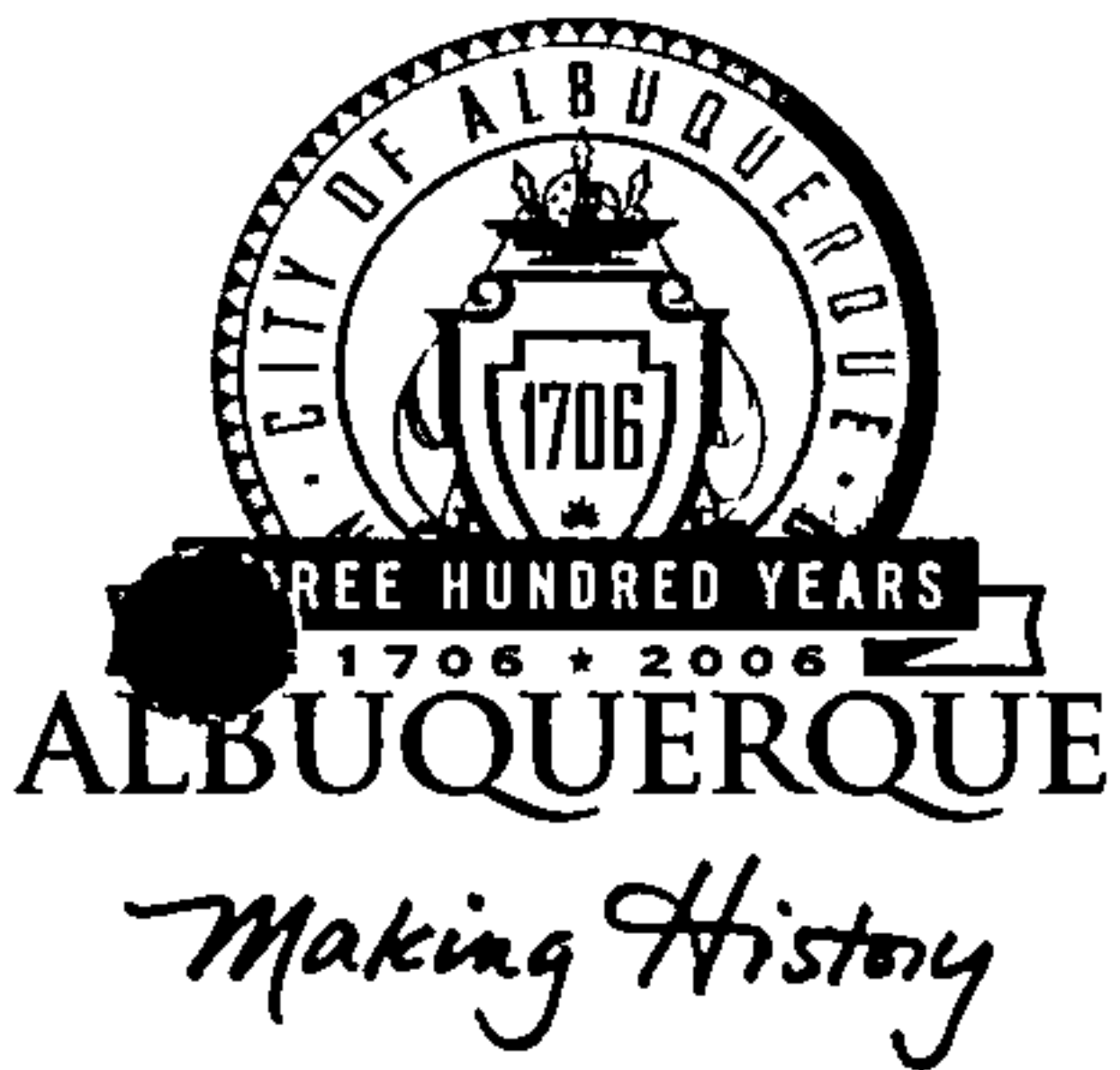
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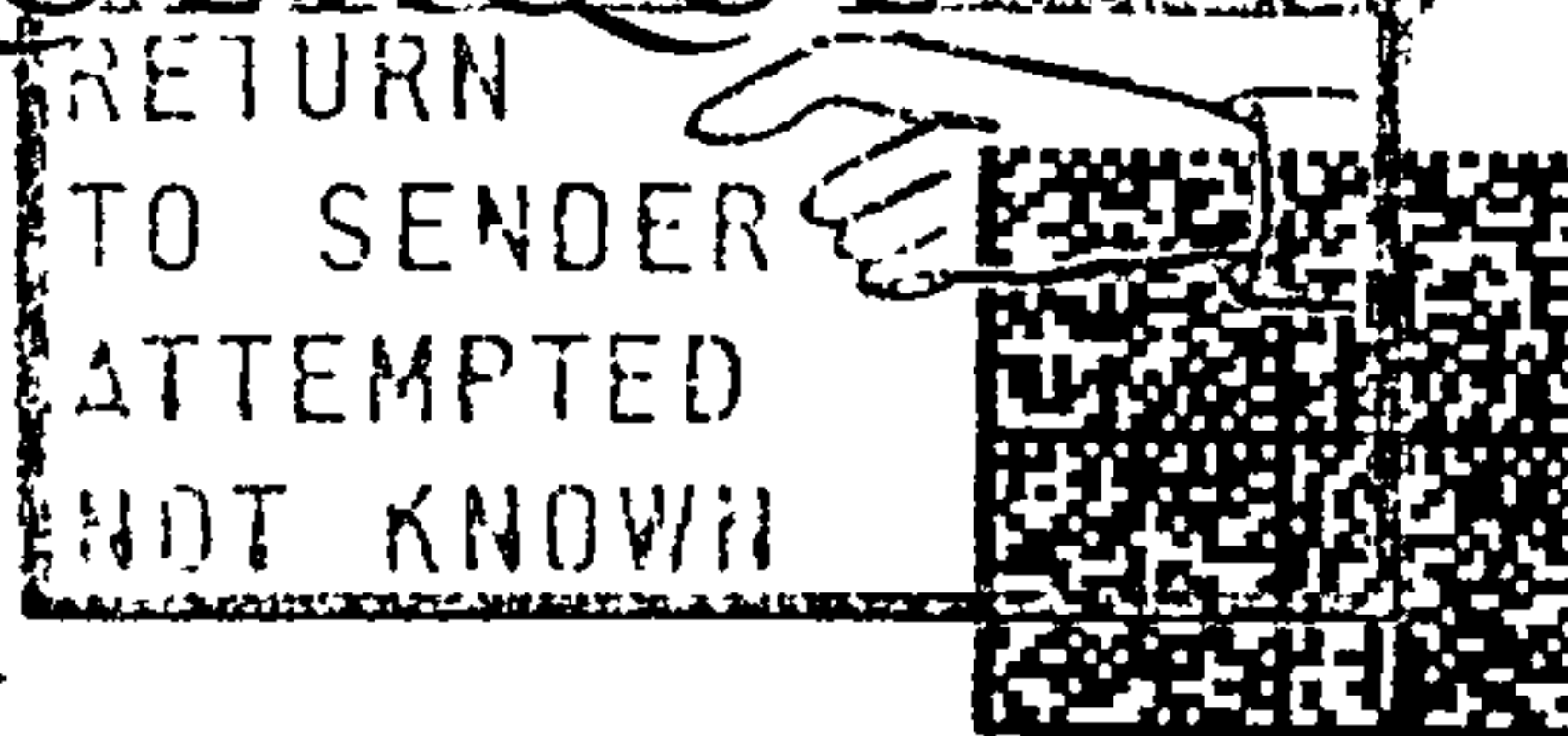

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Planning Department

P.O. Box 1293

Albuquerque, NM 87103

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SENA ELOY A & PATRICIA A
9601 CONSTITUTION NE
ALBUQUERQUE NM 87112

B7112+3112-01 C00B

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z ZONING & PLANNING
<input type="checkbox"/> Major Subdivision action	<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action	<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)	<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes	<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/> for Building Permit	<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> IP Master Development Plan	<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A APPEAL / PROTEST of...
STORM DRAINAGE	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/> Storm Drainage Cost Allocation Plan	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ST. PAUL'S UNITED METHODIST CHURCH PHONE: 505.298.5596
 ADDRESS: 9500 CONSTITUTION NE FAX: 505.275.8066
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: STPAULGBRONLINE.COM
 Proprietary interest in site: OWNER List all owners: ST. PAUL'S UNITED METHODIST CH.
 AGENT (if any): PA ARCHITECTS PHONE: 505.275.3890
 ADDRESS: PO BOX 51057 FAX: 505.275.3892
 CITY: ALBUQUERQUE STATE NM ZIP 87181 E-MAIL: NANCY@PAARCHITECTS.NET

DESCRIPTION OF REQUEST: A SITE DEVELOPMENT PLAN TO ADD NEW NARTHEX (ENTRANCE, ADA TOILETS, OFFICES) & RE-PAVE PARKING LOT (4-9, 145 sq ft)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. PLAT OF TRACT A ST. PAUL'S UMC Block: _____ Unit: _____
 Subdiv. / Addn. MESA VILLAGE ADDITION
 Current Zoning: SU-1 Proposed zoning: SU-1
 Zone Atlas page(s): J-20-Z No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 4.02 +/- Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 102005832223441416 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 9500 CONSTITUTION AVE NE
 Between: MOON and EUBANK

CASE HISTORY: Catalina Lehner EPC Case # 1004244; DRB-0176
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): VAC 157; BA 541; BA 660; Z 629; V-529; DRB 2744; 100-1391

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Nancy A. Bartlett for PA ARCHITECTS DATE 8-25-05
 (Print) NANCY A. BARTLETT (AGENT for SPUMC) Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB-01373</u>	<u>JBP</u>	<u>7(3)</u>	<u>\$ - 0 -</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>9/7/05</u>			Total <u>\$ 20.00</u>

Ki Suis 8/29/05
 Planner signature / date

Project # 1004244

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

NANCY BARTLETT. PA ARCHITECTS. Agent *SPONE*

Nancy Bartlett Applicant name (print)
8-29-05 Applicant signature / date



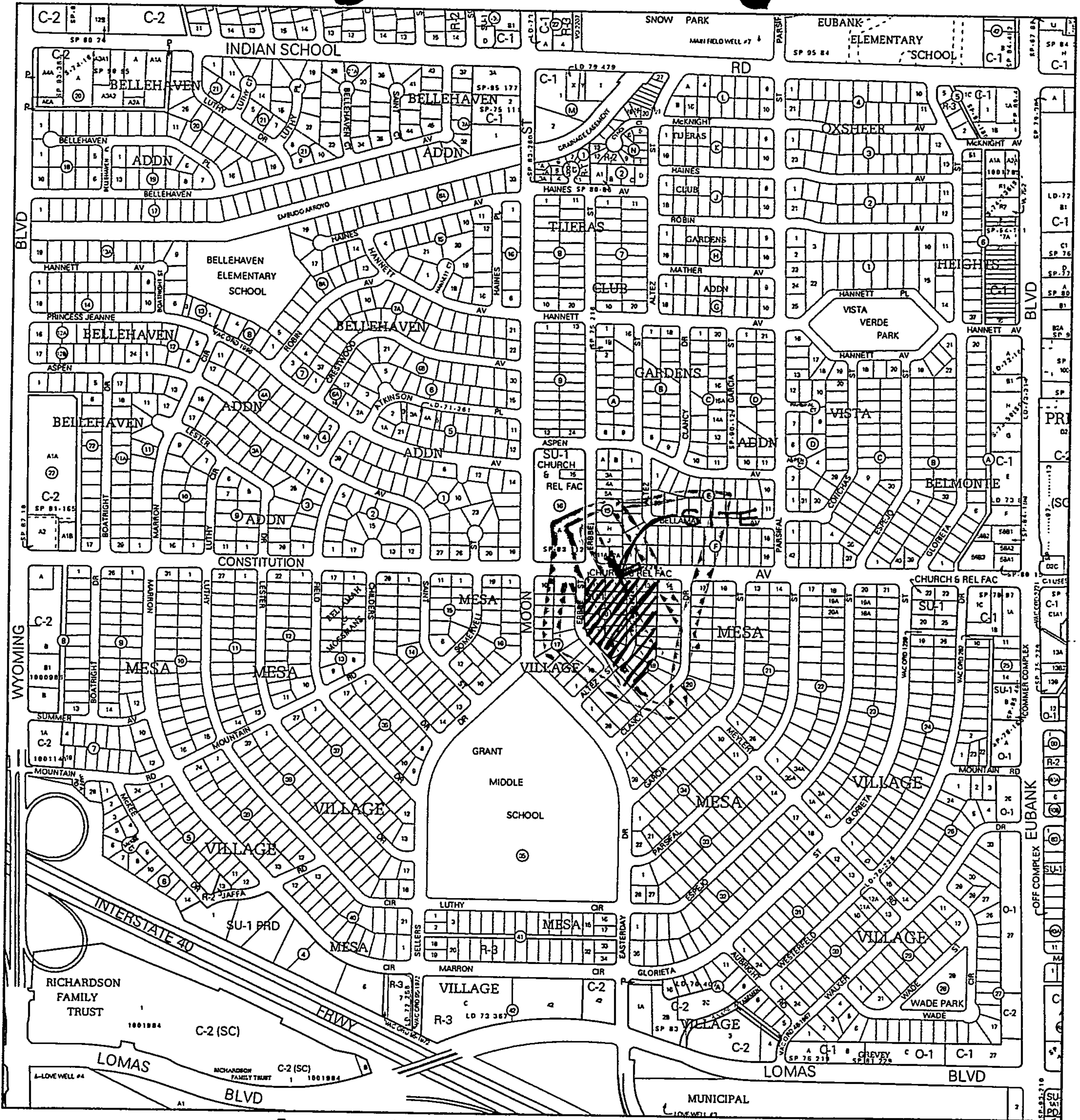
Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

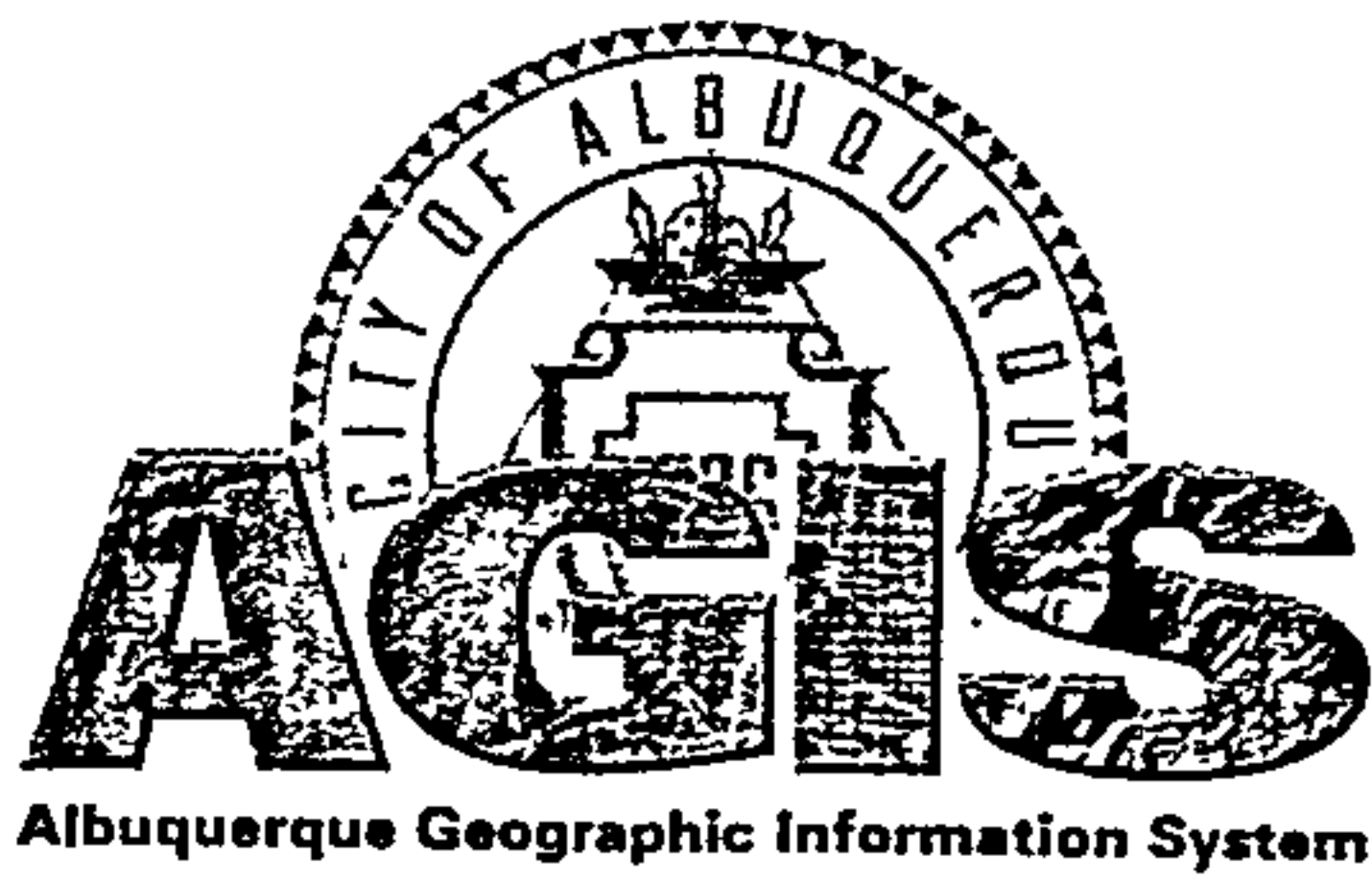
Application case numbers
05DR3 - 01373

Li Sims 8/29/05
 Planner signature / date

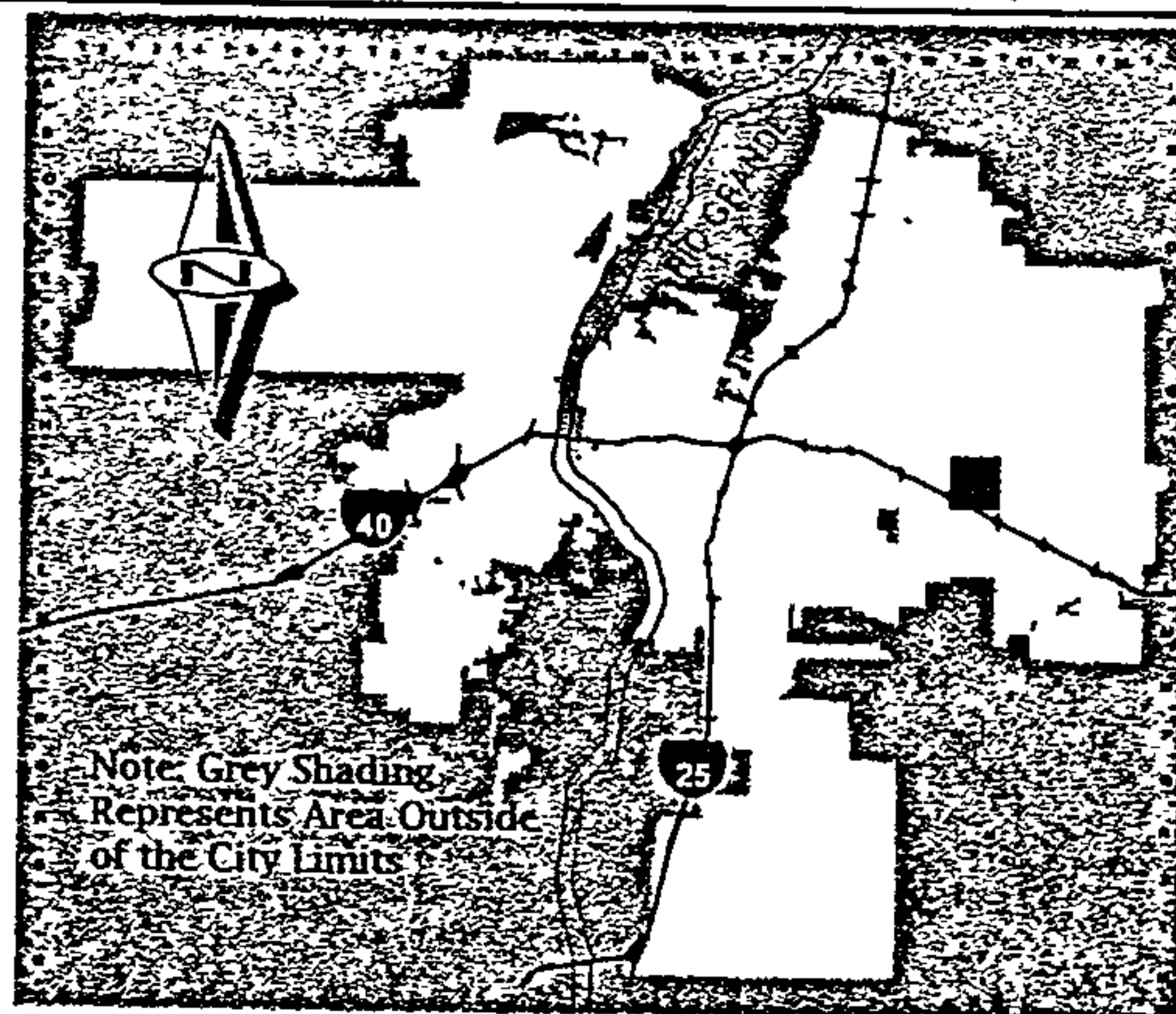
Project #



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: Apr 07, 2005



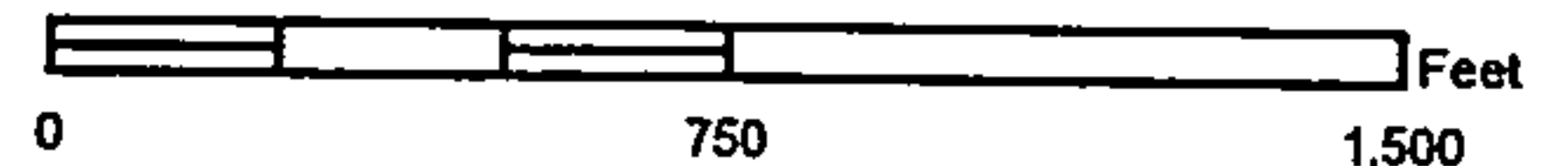
Note: Grey Shading Represents Area Outside of the City Limits

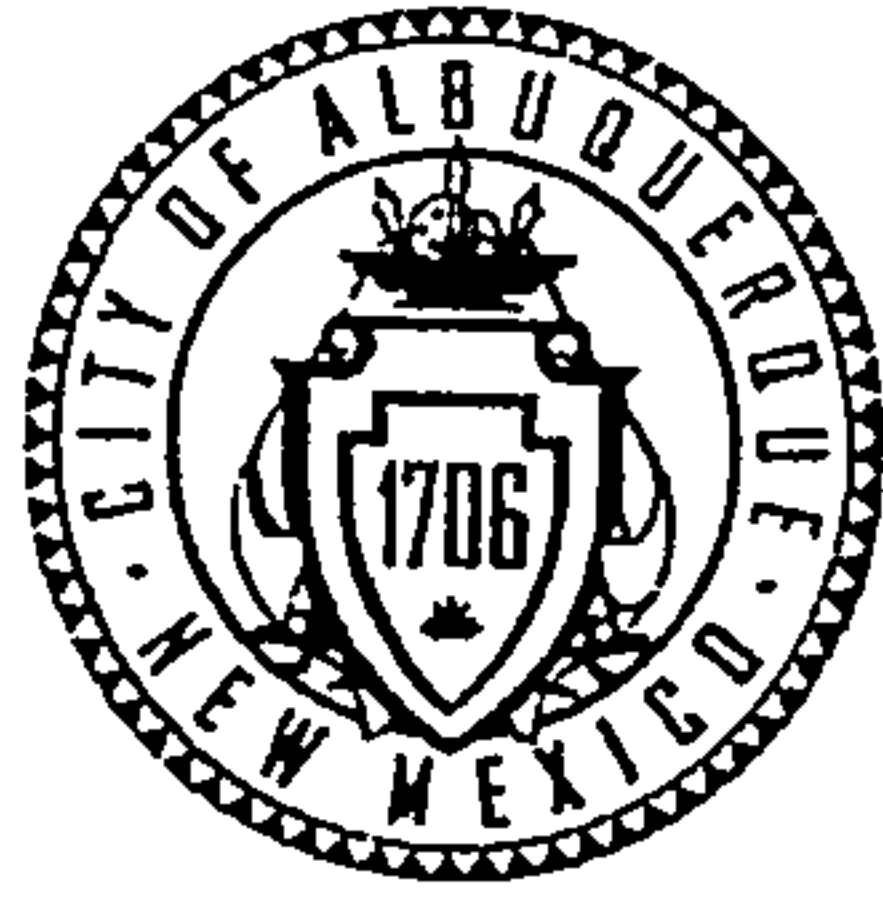
Zone Atlas Page:

J-20-Z

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: July 22, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004244***
05EPC-00928 EPC Site Development Plan-
Building Permit

St. Paul's United Methodist Church
9500 Constitution Ave. NE
Albuquerque, NM 87112

LEGAL DESCRIPTION: for all or a portion of
Lots 5-13 of Block 19 & Lots 1-11 of Block 18,
Mesa Village Subdivision, zoned SU-1, located
on CONSTITUTION AVE. NE, between MOON
ST. NE and EUBANK BLVD. NE, containing
approximately 5 acres. (J-20) Catalina Lehner,
Staff Planner

On July 21, 2005 the Environmental Planning Commission voted to approve Project 1004244/05EPC 00928, a request for a Site Development Plan for Building Permit for St. Paul's United Methodist Church, zoned SU-1 for Church & Related Facilities, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for approval of a site development plan for building permit for an approximately 4.02 acre site located on Constitution Avenue NE, between Moon Street and Eubank Boulevard. St. Paul's United Methodist Church currently exists on the subject site.
2. Approval of this request will allow for construction of a new narthex and office/conference room addition, a new toilet and locker room addition, new landscaping, new walkways and parking lot improvements including asphalt paving and area lighting.
3. The additions and renovations will be phased due to the costs associated with implementing the proposal in full. Future development phases will include a music building and a new education building.
4. The subject site is located in a Developing and Established Urban Area per the Albuquerque/Bernalillo County Comprehensive Plan. It does not lie within any area plan boundaries or sector plan boundaries.

5. The proposal furthers the Developing and Established Urban Area goal because the additions and renovations to St. Paul's United Methodist Church (SPUMC) will create a quality urban environment that is visually pleasing, and SPUMC will continue to contribute to neighborhood variety and choice as it has for the past 40 years.
6. The following four Comprehensive Plan policies for Developing and Established Urban Areas support the proposal for the following reasons:
 - a) Policy II.B.5.a- full range of urban land uses
SPUMC is a non-residential use in this mostly residential area.
 - b) Policy II.B.5d- location, intensity and design of new development
The design, location and intensity of the proposed additions will respect the surrounding neighborhood.
 - c) Policy II.B.5.l- design quality/innovation appropriate to plan area
The proposed additions are of a quality design appropriate for this established urban area.
 - d) Policy II.B.5.m- design improves the visual environment
The proposed additions and renovations will improve the quality of the visual environment surrounding the subject site.
7. The existing 5 foot landscape buffer along the subject site's eastern border will need to conform to Zoning Code §14-16-3-10-E-4-a, which requires a minimum landscape buffer of 10 feet along a residential/non-residential boundary.
8. The Indian Moon Neighborhood Association and property owners within 100 feet of the subject site were notified regarding this request. There is no known neighborhood or other opposition.
9. Testimony indicates that the existing 25 foot high lights have not generated complaints from the neighbors or community.
10. This project is subject to impact fees as indicated by staff comments.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are adequately addressed.
3. Approval of future development phases shall be delegated to the Development Review Board (DRB).
4. The 5 foot landscape buffer along the subject site's eastern border will be increased to a minimum of 10 feet to conform to Zoning Code §14-16-3-10-E-4-a. Landscaping in the buffer will be provided as required per Zoning Code §14-16-3-10-E-4-b.
5. The easternmost two parking spaces of each parking island shall be eliminated to accommodate the required 10 foot landscape buffer.
6. The applicant shall coordinate service requirements with the Refuse Division of the Solid Waste Management Department.
7. Conditions of approval from the City Engineer and the Water Authority:
 - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. Site plan shall comply and be designed per DPM Standards.
 - c. New structures may not encroach upon existing easements. Fire flow requirements must be obtained from the Fire Marshal's office and submitted to utility development for verification of system adequacy. Installation of a new hydrant may be necessary in order to comply with those requirements.
8. The submittal shall demonstrate compliance with the requirements of the street tree ordinance (Section 6-2-1 et seq.).
9. All landscape areas shall be covered with living vegetative materials over at least 75% of the landscape area (Zoning Code Section 14-16-3-10-G-3).
10. Add 1 handicap space on the north side of the building close to Chapman Hall.
12. There shall be designated motorcycle parking.

OFFICIAL NOTICE OF DECISION
JULY 21, 2005
PROJECT #1004244
PAGE 4 OF 4


IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 5, 2005** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Richard Dineen
Planning Director

RD/CL/ac

cc: PA Architects, P.O. Box 51057, Albuquerque, NM 87181
Lynn Martin, Indian Moon NA, 1531 Espejo NE, Albuquerque, NM 87112
Mel Bernstein, Indian Moon NA, 1511 Clancy NE, Albuquerque, NM 87112



Development Review Board
City of Albuquerque
Planning Department
Albuquerque, New Mexico 87103

August 29, 2005

Re: St. Paul's United Methodist Church
9500 Constitution Ave. NE
Albuquerque, NM 87112

Dear DRB Board Members,

As agents for St. Paul's United Methodist Church, PA Architects respectfully submit that the following modifications were made to our submittal to the EPC, as required by the Official Notification of Decision, dated July 22, 2005.

1. The landscape buffer along the parking on the east edge of the site is 10 feet wide and landscaped per City Zoning Code 14-16-3-10-E-4 a and b.
2. The landscaping along Constitution NE complies with the street tree ordinance of the Code. We would like to remind the Planning Department that there are low hanging power lines (+/- 25 feet) above the entire length of the property edge at Constitution.
3. Two handicap parking spaces were relocated to the north side of the building close to Chapman Hall.
4. One motorcycle designated parking space was located in the southeast corner of the parking lot.
5. An additional fire hydrant will be installed per COA Work Order #767781.

We agreed to comply with items 1-12 of the EPC Conditions in the July 22, 2005 Official Notification of Decision.

Thank you for your time.

Sincerely,
PA Architects



Nancy Bartlett, Architect

Attachments; 6 DRB submittal drawings
SPUMC A05 DRB082905.doc

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME St. Paul's United Methodist
AGENT P.A. Architects
ADDRESS P.O. Box 51057
PROJECT & APP # 1004244 / 01373
PROJECT NAME MESA VILLAGE ADDITION

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

8/29/2005 9:50AM LOC: ANNX
RECEIPT# 00045851 WSH 006 TRANSH 0017
Account 441032 Fund 0110
Activity 3424000 TRSCXG
Trans Amt \$20.00
J24 Misc

\$20.00

VI \$20.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: St. Paul's United Methodist Church PHONE: 505-298-5596
 ADDRESS: 9500 CONSTITUTION AVE NE FAX: _____
 CITY: ALBUQUERQUE, STATE NM ZIP 87112 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): WILSON & COMPANY PHONE: 505-898-8021
 ADDRESS: 2600 THE AMERICAN RD SE Ste 100 FAX: 505-898-8501
 CITY: Rio Rancho STATE NM ZIP 87124 E-MAIL: KISUSCO@WILSONCO.COM

DESCRIPTION OF REQUEST: VACATION OF PORTION OF PUBLIC UTILITY EASEMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 6-13 Block 19 and LOTS 1-11 Block 18 Block: _____ Unit: _____
 Subdiv. / Addn. ADD VACATED ALTEZ NE ROW MESA VILLAGE ADDITION
 Current Zoning: SU-1 Proposed zoning: SAME
 Zone Atlas page(s): J-20 No. of existing lots: _____ No. of proposed lots: _____
 Total area of site (acres): 4.0± Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 10 200 583222 344 1416 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: CONSTITUTION AVE NE
 Between: ERBBE ST NE and CLANCY STREET NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): V529
DRB 1004244 OSEPC - 00928

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Kristine Susco DATE 6-30-05
 (Print) KRISTINE SUSCO _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
OS DRB - 01085

 Hearing date 7-27-05

Action	S.F.	Fees
<u>VPE</u>	<u>V</u>	\$ <u>300.00</u>
<u>CMF</u>	_____	\$ <u>20.00</u>
<u>Adv</u>	_____	\$ <u>75.00</u>
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
Total		\$ <u>395.00</u>

Andrew Garcia

Project # 1004244

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **24 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (not to exceed 8.5" by 14") **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") **6 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

KRISTINE SUSCO Applicant name (print)
Kristine Snow 6-30-05 Applicant signature / date



Form revised 4/03, 10/03 and JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|--------------------------|--------|
| Application case numbers | |
| 05 DRB - | -01085 |
| - | - |
| - | - |

Andrew Garcia Planner signature / date
Project # 1004244

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 12, 2005 To July 27, 2005

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

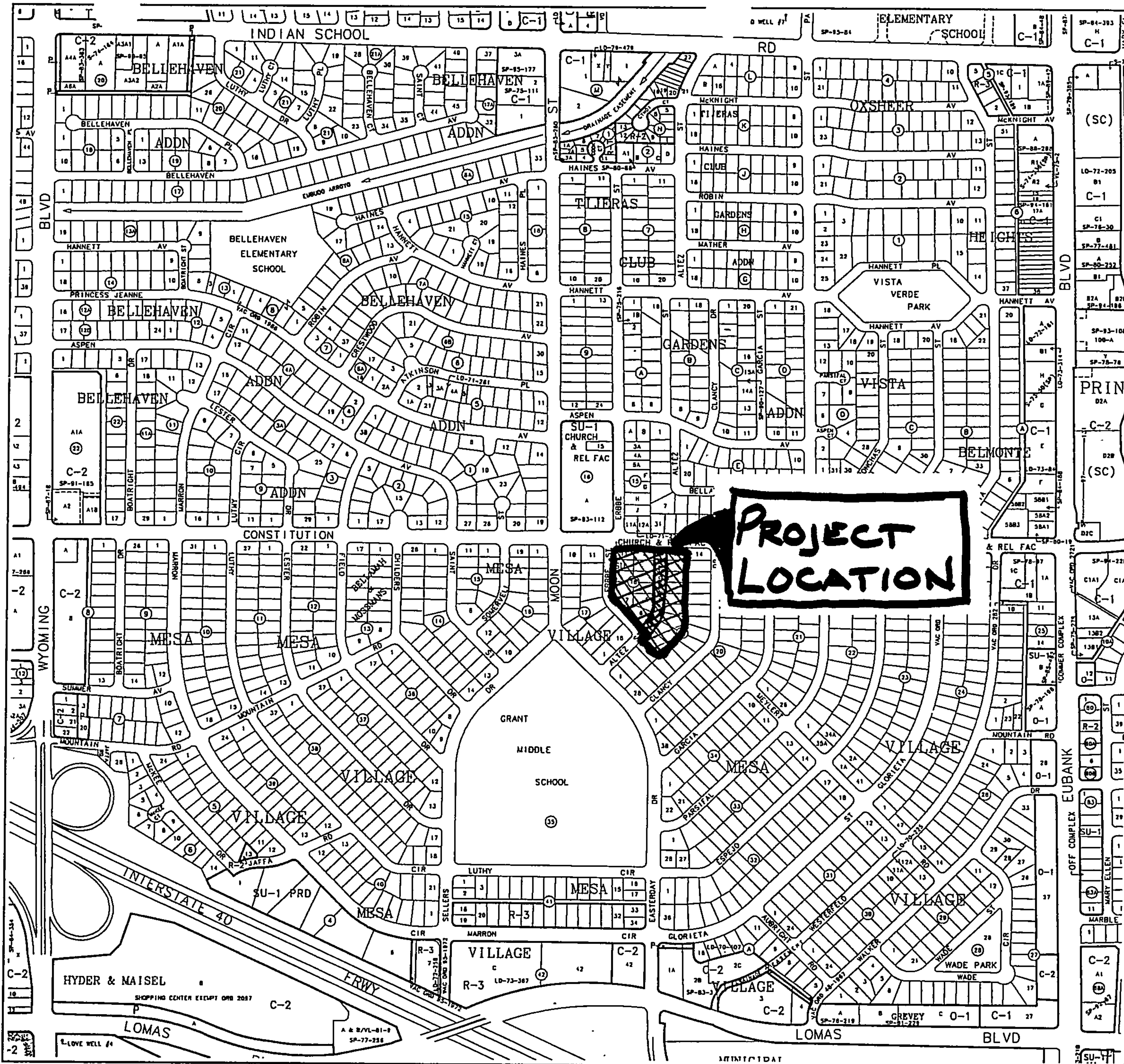
Christine Simon
(Applicant or Agent)

7-1-05
(Date)

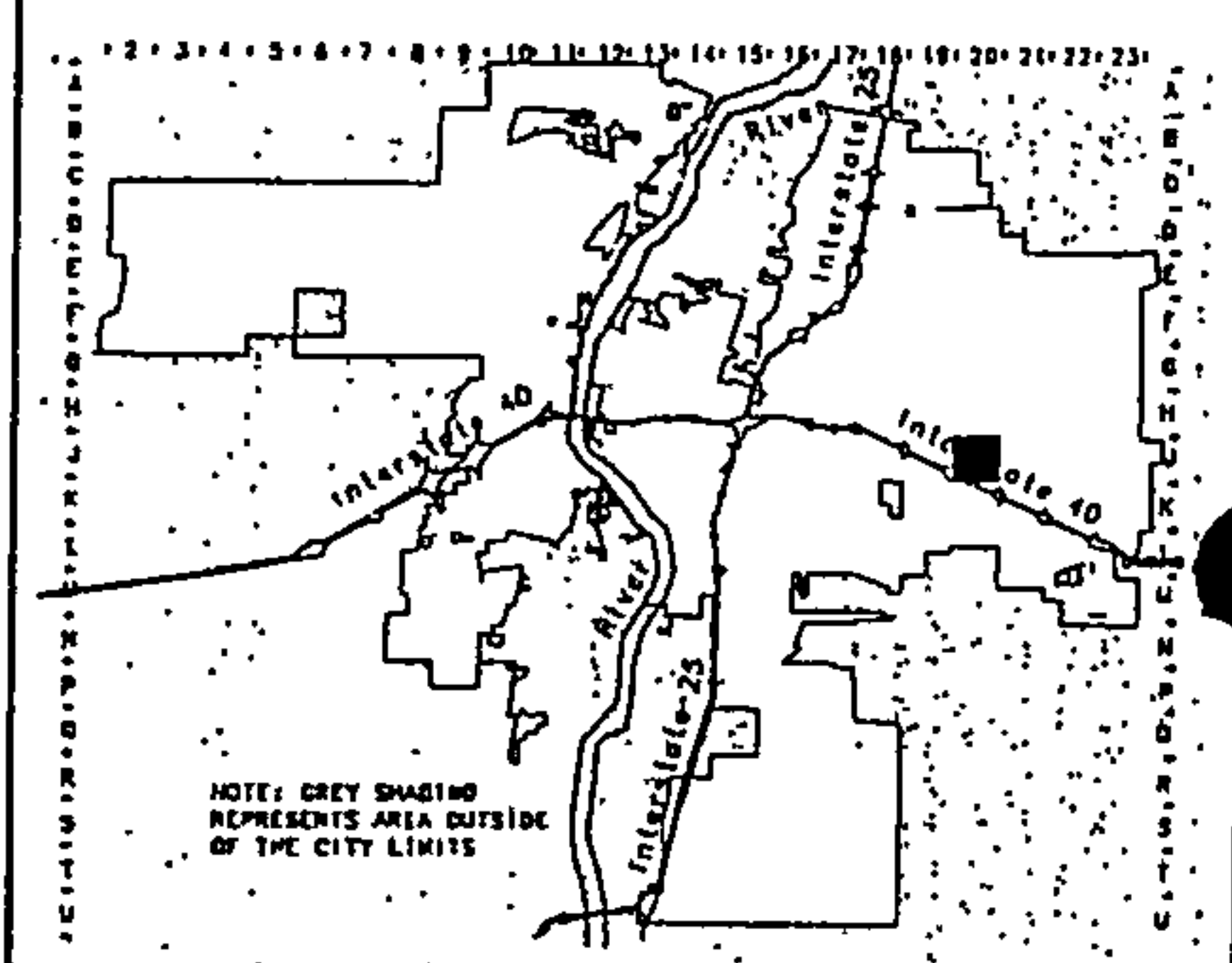
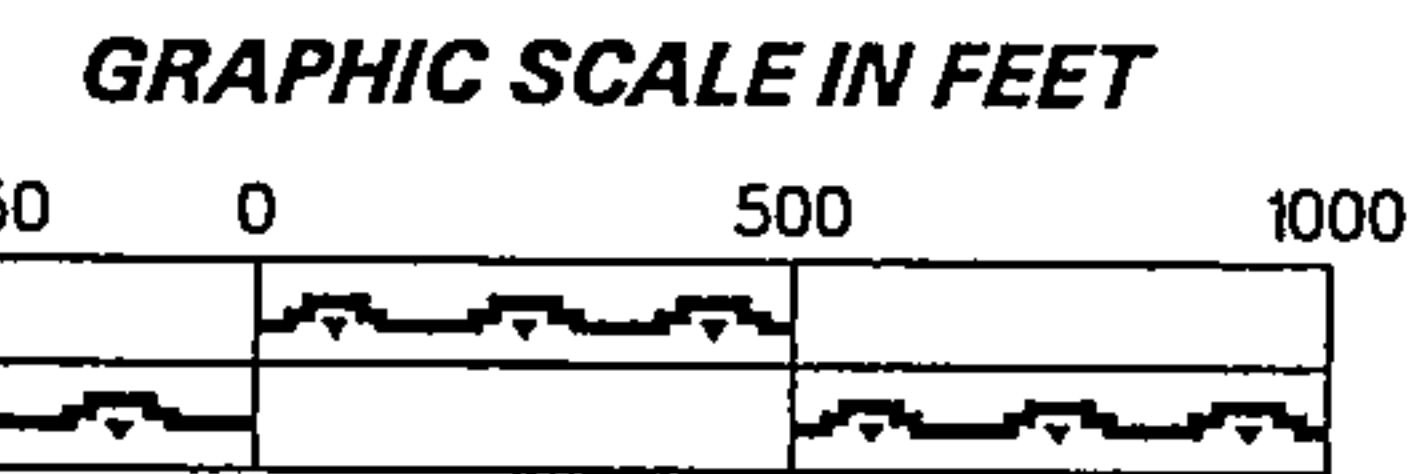
I issued 2 signs for this application, 7/1/05
(Date)

Rudhen Garcia
(Staff Member)

DRB PROJECT NUMBER: 1004244



CITY OF
Albuquerque
A Geographic Information System
PLANNING DEPARTMENT
© Copyright 1999



Zone Atlas Page
J-20-Z

Map Amended through
September 16, 1999

**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Arlington
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Los Angeles
Omaha
Phoenix
Rio Rancho
Salina
San Bernardino

30 June 2005

City of Albuquerque
Development Review Board
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87103

Re: St. Paul's United Methodist Church
Vacation of a Portion of a Public Utility Easement

To Whom It May Concern:

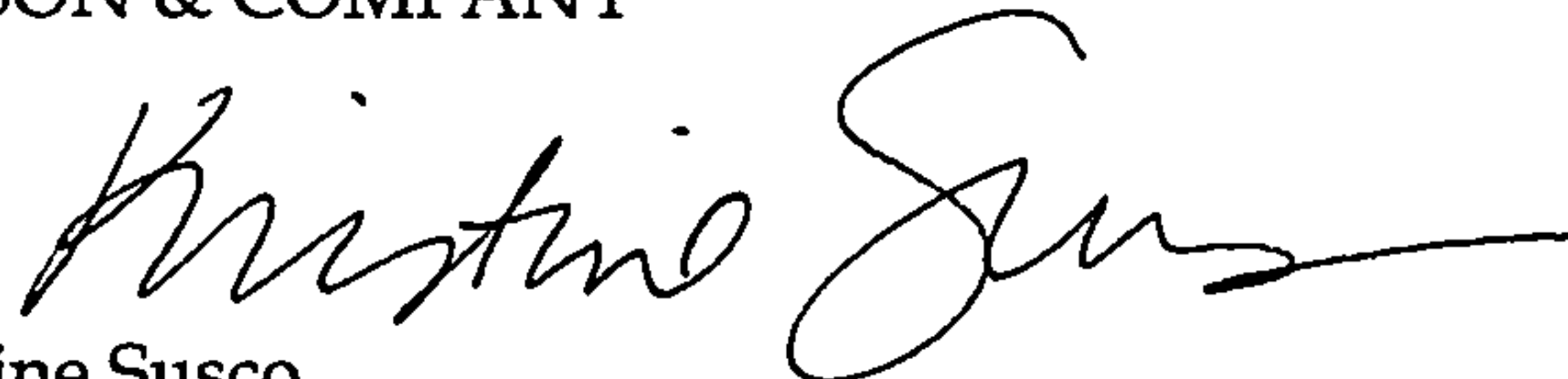
This letter is to inform the **City of Albuquerque, Development Review Board** that Wilson & Company, Inc., acting as agents for St. Paul's United Methodist Church., requests approval of the **Vacation of a portion of the existing 50' Public Utility Easement** located within MESA VILLAGE SUBDIVISION between Blocks 18 and 19. The request is indicated on the attached Vacation Exhibit.

The existing 50' Utility Easement was created when Ordinance 2744, dated 12 October 1965, vacated a portion of the 50' ROW of Altez Street NE and the City reserved easements for public utilities (See attached document).

Approval for this request will facilitate the planned expansion of the church facilities, while still maintaining a 43' wide Public Utility Easement.

If you have any questions concerning this project, please contact me at (505) 348-4191.

WILSON & COMPANY



Kristine Susco
Project Manager
Email: kiskusco@wilsonco.com

kis
Enclosure

**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Arlington
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Los Angeles
Omaha
Phoenix
Rio Rancho
Salina
San Bernardino

CERTIFIED MAIL

30 June 2005

Lynne Martin
Indian Moon Neighborhood Association
1531 Espejo NE
Albuquerque, NM 87112
(505) 294-0435

Re: **Neighborhood Association Notification**
Vacation of a Portion of a Public Utility Easement

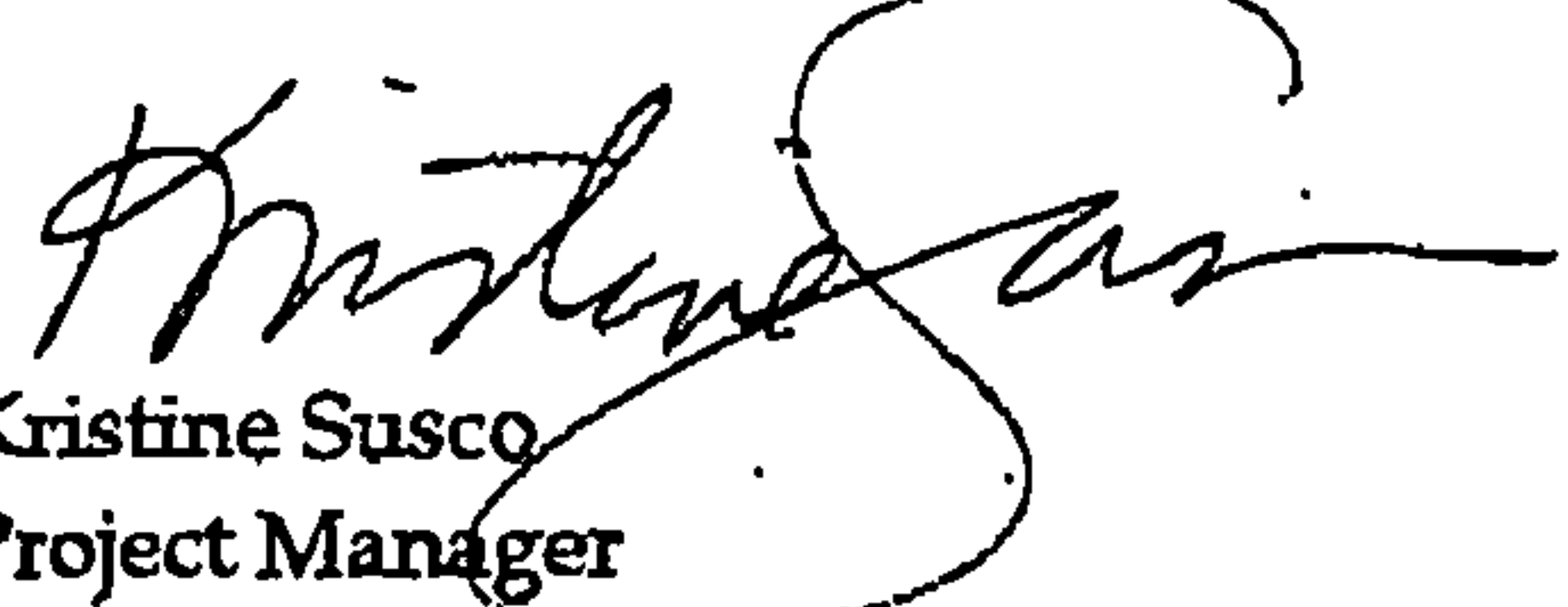
Dear Ms. Martin:

This letter is to inform the Indian Moon Neighborhood Association that Wilson & Company, Inc., acting as agents for St. Paul's United Methodist Church, is requesting approval of the Vacation of a portion of the existing 50' Public Utility Easement located within MESA VILLAGE SUBDIVISION between Blocks 18 and 19. The request is indicated on the attached Vacation Exhibit.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 27 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860

If you have any questions concerning this project, please contact me at (505) 348-4191.

WILSON & COMPANY


Kristine Susco
Project Manager
Email: kisusco@wilsonco.com

**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Arlington
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Los Angeles
Omaha
Phoenix
Rio Rancho
Salina
San Bernardino

CERTIFIED MAIL

30 June 2005

Mel Bernstein
Indian Moon Neighborhood Association
1511 Clancy NE
Albuquerque, NM 87112
(505) 299-0286

Re: **Neighborhood Association Notification**
Vacation of a Portion of a Public Utility Easement

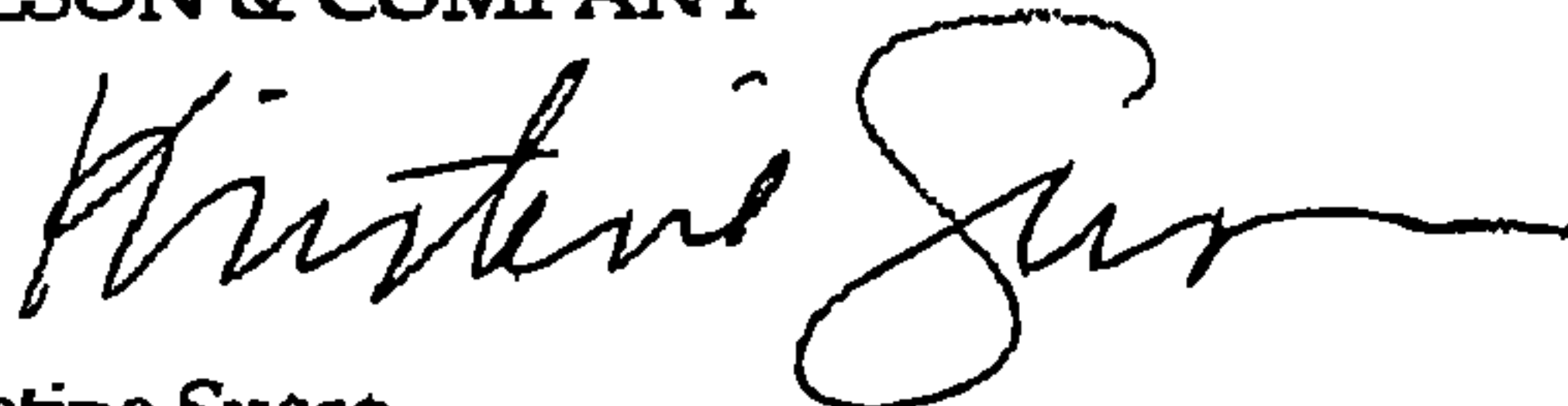
Dear Mr. Bernstein:

This letter is to inform the Indian Moon Neighborhood Association that Wilson & Company, Inc., acting as agents for St. Paul's United Methodist Church, is requesting approval of the Vacation of a portion of the existing 50' Public Utility Easement located within MESA VILLAGE SUBDIVISION between Blocks 18 and 19. The request is indicated on the attached Vacation Exhibit.

The City of Albuquerque Development Review Board will hold a public hearing on Wednesday, July 27 at 9:00 a.m. at Plaza Del Sol, 600 Second Street NW, Hearing Room, Lower Level. If you have any questions for the City Planning Staff, please contact the Planning Department at (505) 924-3860

If you have any questions concerning this project, please contact me at (505) 348-4191.

WILSON & COMPANY



Kristine Susco
Project Manager
Email: kisusco@wilsonco.com



**** WELCOME TO ****

COTTONWOOD

ALBUQUERQUE, NM 87114-9996

06/30/05 12:05PM

Store	USPS	Trans	34
Wkstn	sys5002	Cashier	KTGH19
Cashier's Name		amy	
Stock Unit Id		WINAMY	
PO Phone Number		18002758777	
USPS #		3401500127	

1. First Class		4.42
Destination:	87112	
Weight:	0.90 oz.	
Postage Type:	PVI	
Total Cost:	4.42	
Base Rate:	0.37	

SERVICES

Certified Mail 2.30

7002086000094604192

Rtn Recpt (Green Card) 1.75

2. First Class		4.42
Destination:	87112	
Weight:	0.90 oz.	
Postage Type:	PVI	
Total Cost:	4.42	
Base Rate:	0.37	

SERVICES

Certified Mail 2.30

7002086000094604185

Rtn Recpt (Green Card) 1.75

Subtotal	8.84
Total	8.84

Cash	20.00
Change Due	
Cash	11.16

-Number of Items Sold: 2

7002 0860 0000 9460 4192

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE
ALBUQUERQUE, NM 87112

Postage	\$ 0.37	UNIT ID: 0127 Postmark Here Clerk: KTG19 06/30/05
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	

Sent To Mel Bernstein
 Street, Apt. No.; or PO Box No. 1511 Clancy NE
 City, State, ZIP+4 Albuquerque, NM 87112
 PS Form 3800, April 2002 See Reverse for Instructions

7002 0860 0000 9460 4185

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE
ALBUQUERQUE, NM 87112

Postage	\$ 0.37	UNIT ID: 0127 Postmark Here Clerk: KTG19 06/30/05
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.42	

Sent To Lynne Martin
 Street, Apt. No.; or PO Box No. 1531 Espejo NE
 City, State, ZIP+4 Albuquerque, NM 87112
 PS Form 3800, April 2002 See Reverse for Instructions

"Attachment A"

Date of Request: June 29, 2005
Name: Kristine Susco, Wilson & Company
Phone: 898-8021/Fax: 898-8501
Zone Map: J-20

INDIAN MOON N.A. (INM) "R"
***Lynne Martin**
1531 Espejo NE/87112 294-0435 (h)
Mel Bernstein
1511 Clancy NE/87112 299-0286 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY
O-92, you are most welcomed to notify the following "Unrecognized"
neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

June 29, 2005

Kristine Susco
Wilson and Company
2600 The American Road SE, Ste. 100
Rio Rancho, NM 87124
Phone: 898-8021/Fax: 898-8501

Dear Kristine:

Thank you for your inquiry of June 29, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOTS 6-13, BLOCK 19 AND LOTS 1-11, BLOCK 18, MESA VILLAGE SUBDIVISION LOCATED ON CONSTITUTION AVENUE NE BETWEEN ERBBE STREET NE AND CLANCY STREET NE zone map J-20.**

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(10/08/04)

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for ONC use only)

Date of Inquiry: 06/29/05 Time Entered: 2:45 p.m. ONC Rep. Initials: SW

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME St. Paul's United Methodist Church
 AGENT Wilson Company
 ADDRESS 2600 The American Rd SE. Ste 100
 PROJECT & APP # 1004244 / 05 DRB 01085
 PROJECT NAME _____

DUPLICATE
 City of Albuquerque
 Treasury Division

7/1/2005 8:35AM LOC: ANNX
 RECEIPT# 00042699 US# 008 TRANSH 0001
 Account 441018 Fund 0110
 Activity 4971000 TRSCCS
 Trans Amt \$395.00
 J24 Misc \$75.00
 CK \$395.00
 CHANGE \$0.00

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 300.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
- \$ 395.00 TOTAL AMOUNT DUE

****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/1/2005 8:35AM LOC: ANNX
 RECEIPT# 00042698 US# 008 TRANSH 0001
 Account 441006 Fund 110
 Activity 4983000 TRSCCS
 Trans Amt \$39.00
 J24 Misc \$300.00
 Counterreceipt.doc
 Thank You

KRISTINE I SUSCO 10/99
 13272 CANDELARIA NE
 ALBUQUERQUE, NM 87112

2191

95-8366/3070

City of Albuquerque

Treasury Division

\$ 395.00

7/1/2005 8:35AM

DOLLARS

Account 441018 Fund 0110

Activity 3414000

Trans Amt \$395.00

MP

ANX 0001

CCS

20.00

DUPLICATE

City of Albuquerque

July 1, 05

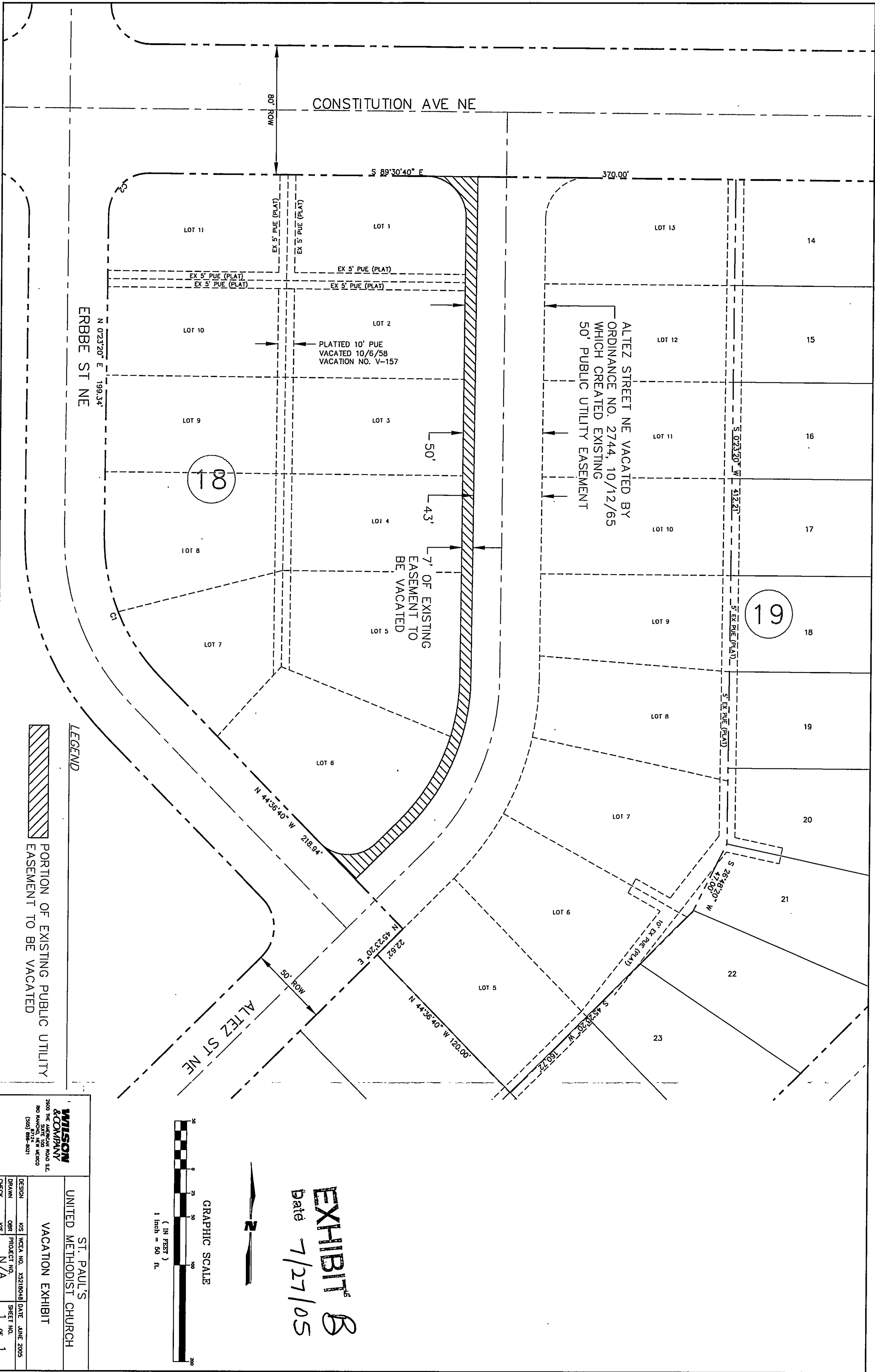
Three hundred ninety five and 00/100

Kristine

FOR

307083665 0017323713 2191

© HARLAND 2004



ALTEZ STREET NE VACATED BY ORDINANCE NO. 2744, 10/12/65 WHICH CREATED EXISTING 50' PUBLIC UTILITY EASEMENT

CONSTITUTION AVE NE

ERBBE ST NE

ALTEZ ST NE

LEGEND

PORTION OF EXISTING PUBLIC UTILITY EASEMENT TO BE VACATED

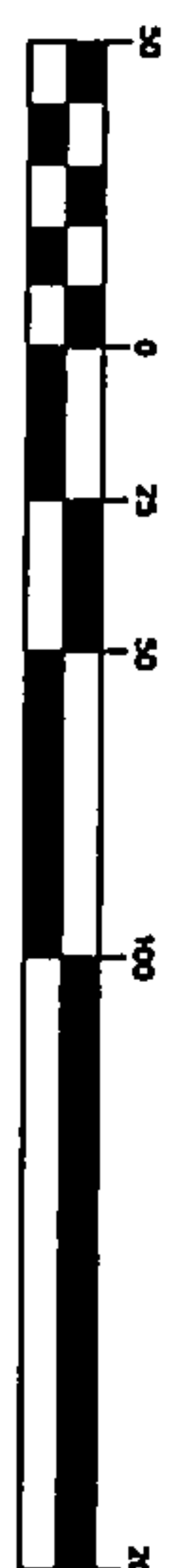


EXHIBIT B
Date 7/27/05

<p>WILSON & COMPANY 3800 THE AMERICAN ROAD, S.E. NO. HAVEN, STATE OF WISCONSIN (608) 888-8271</p>		<p>ST. PAUL'S UNITED METHODIST CHURCH VACATION EXHIBIT</p>	
DESIGN	KIS	WCA NO.	35218048
DRAWN	KIS	PROJECT NO.	N/A
CHECK	KIS	DATE	JUNE 2005
		SHEET NO.	1 OF 1

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT


Date ~~October 1965~~
OCT 25, 65

THIS VACATION HAS BEEN RECORDED

The attached sketch shows the area which has been vacated by Ordinance # ~~2744~~ 2744
published on ~~10-15-65~~ 10-15-65 (date) and which was considered by the
Planning and City Commissions as V. ~~529~~ 529. Related cases, if any, are _____

Please change your records accordingly.

Copies to:

1. City Engineer
 2. Water Department, Chief Engineer
 3. Land Agent
 4. Traffic Engineer
 5. Police Department
 6. Fire Department
 7. Sanitation Department
 8. Building and Inspection Department *street Maint Dept*
 9. ~~Order Department~~
 10. Southern Union Gas Company
 11. Public Service Company (2)
 12. Mountain States Tel. & Tel. Company ~~(2)~~
- Files 

CITY COMMISSION
October 12, 1965
V-529

778873

ORDINANCE NO. 2744

-369

AN ORDINANCE VACATING ALTEZ STREET NE BETWEEN CONSTITUTION AVENUE AND THE INTERSECTION OF ERBBE AND ALTEZ STREETS, AND DECLARING AN EMERGENCY.

WHEREAS there has heretofore been dedicated and conveyed to the City of Albuquerque New Mexico, a certain easement for street purposes as described below, and

WHEREAS said street is not needed for public use except for easements reserved by Section 2 hereof,

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE, NEW MEXICO:

SECTION 1. Altez Street NE, lying between the southerly right-of-way line of Constitution Avenue and the northeasterly right-of-way line of Erbbe Street, adjacent to Lots 1 through 6, inclusive, Block 18, and the northerly 35 ft. more or less of Lot 5, and all of Lots 6 through 13, inclusive, Block 19, Mesa Village Addition, filed in the office of the County Clerk of Bernalillo County, N. M., on September 23 and May 14, 1953, respectively, shall be and the same is hereby closed and vacated subject to easements reserved by Section 2 hereof.

SECTION 2. The City hereby reserves easements for public utilities, whether municipally or privately owned, which may be necessary for public use and benefit at the present time or in the future.

SECTION 3. Immediately upon the effective date of this ordinance, the land above-described shall be effectively vacated, and the City of Albuquerque by this ordinance disclaims from such date any further interest therein except for easements reserved in Section 2 hereof.

SECTION 4. This ordinance is an emergency measure because of urgent public need and will be effective immediately upon publication in full.

ADOPTED October 12, 1965

[Signature]
Chairman, City Commission, Albuquerque, N. M.

ATTEST: *[Signature]* City Clerk

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on

OCT 21 1965 *min*
At 2:35 o'clock *p* m. Recorded in Vol. 53
of records of said County Folio 369
[Signature] Clerk & Recorder
Deputy Clerk

[Signature] Indexers

APPROVED AS TO FORM
Date:

FRANK MORAN, CITY ATTORNEY

APPROVED AS TO DESCRIPTION
Date:

WILLIAM T. STEVENS, CITY ENGINEER

4244

DXF Electronic Approval Form

DRB Project Case #: 1004244

Subdivision Name: ST PAULS UNITED METHODIST CHURCH

Surveyor: CHRISTOPHER S CROSHAW


Contact Person: KRISTINE SUSCO

Contact Information: 898-8021

DXF Received: 7/18/2005

Hard Copy Received: 7/18/2005

Coordinate System: NMSP Grid (NAD 27)


Approved

07-20-2005
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **4244** to agiscov on **7/20/2005** Contact person notified on **7/20/2005**

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Z

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

V

P

L

D

A APPEAL / PROTEST of...

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: St. Paul's United Methodist Church PHONE: 505-298-5596
 ADDRESS: 9500 CONSTITUTION AVE NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87112 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

AGENT (if any): WILSON & COMPANY, INC PHONE: 505-898-8021
 ADDRESS: 2600 THE AMERICAN ROAD SE #4100 FAX: 505-898-8501
 CITY: RIO RANCHO STATE NM ZIP 82124 E-MAIL: KRISTINE@WILSONCO.COM

DESCRIPTION OF REQUEST: PRELIMINARY / FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 6-13 BLK 19 (Lot 11) Block 18 and Block: _____ Unit: _____
VACATED ALTEZ ROW
 Subdiv. / Addn. MESA VILLAGE ADDITION

Current Zoning: SU-1 Proposed zoning: SAME

Zone Atlas page(s): J-20 No. of existing lots: 20 No. of proposed lots: 1

Total area of site (acres): 4.0 ± Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? N/A

UPC No. 10 20058 3222 34 41416 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: CONSTITUTION AVENUE

Between: ERBBE ST NE and CLANCY ST NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): V529

Proj # 1004244, 05DRB-01085, 05EPC-00928

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Kristine Susco DATE 7-18-05

(Print) KRISTINE SUSCO _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	05DRB-01176	P+F		\$ 215.00
<input type="checkbox"/> All fees have been collected			CMF	\$ 20.00
<input type="checkbox"/> All case #s are assigned				\$
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				\$
<input type="checkbox"/> F.H.D.P. fee rebate				\$
	Hearing date <u>7.27.05</u>			Total \$ <u>235.00</u>

Chloe Senora 7/19/05

Project # 1004244

Paul & Julie

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls 3 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Signed** Pre-Annexation Agreement if Annexation required.
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Kristine Sisco 7-18-05
Applicant name (print)
KRISTINE SISCO
Applicant signature / date



Form revised 11/04

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
OSDRB - 01176

Clare Senora 7/19/05
Planner signature / date
Project # 1004244

**WILSON
& COMPANY**

2600 American Rd. SE, Suite 100
Rio Rancho, NM 87124
505-898-8021
505-898-8501 Fax

Albuquerque
Arlington
Colorado Springs
Denver
El Paso
Fort Worth
Houston
Kansas City
Las Cruces
Lenexa
Los Angeles
Omaha
Phoenix
Rio Rancho
Salina
San Bernardino

18 July 2005

City of Albuquerque
Development Review Board
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87103

Re: *St. Paul's United Methodist Church*
Preliminary/Final Plat Submittal

To Whom It May Concern:

This letter is to inform the City of Albuquerque, Development Review Board that Wilson & Company, Inc., acting as agents for St. Paul's United Methodist Church., requests Preliminary/Final Plat approval of the above referenced plat. The request is indicated on the attached Zone Atlas Map.

The purpose of the plat is to consolidate the existing twenty lots into one tract, and to record the vacation, upon approval, of 7' of an existing 50' Public Utility Easement (formerly Altez St. public ROW). Approval for this request will facilitate the planned expansion of the church facilities.

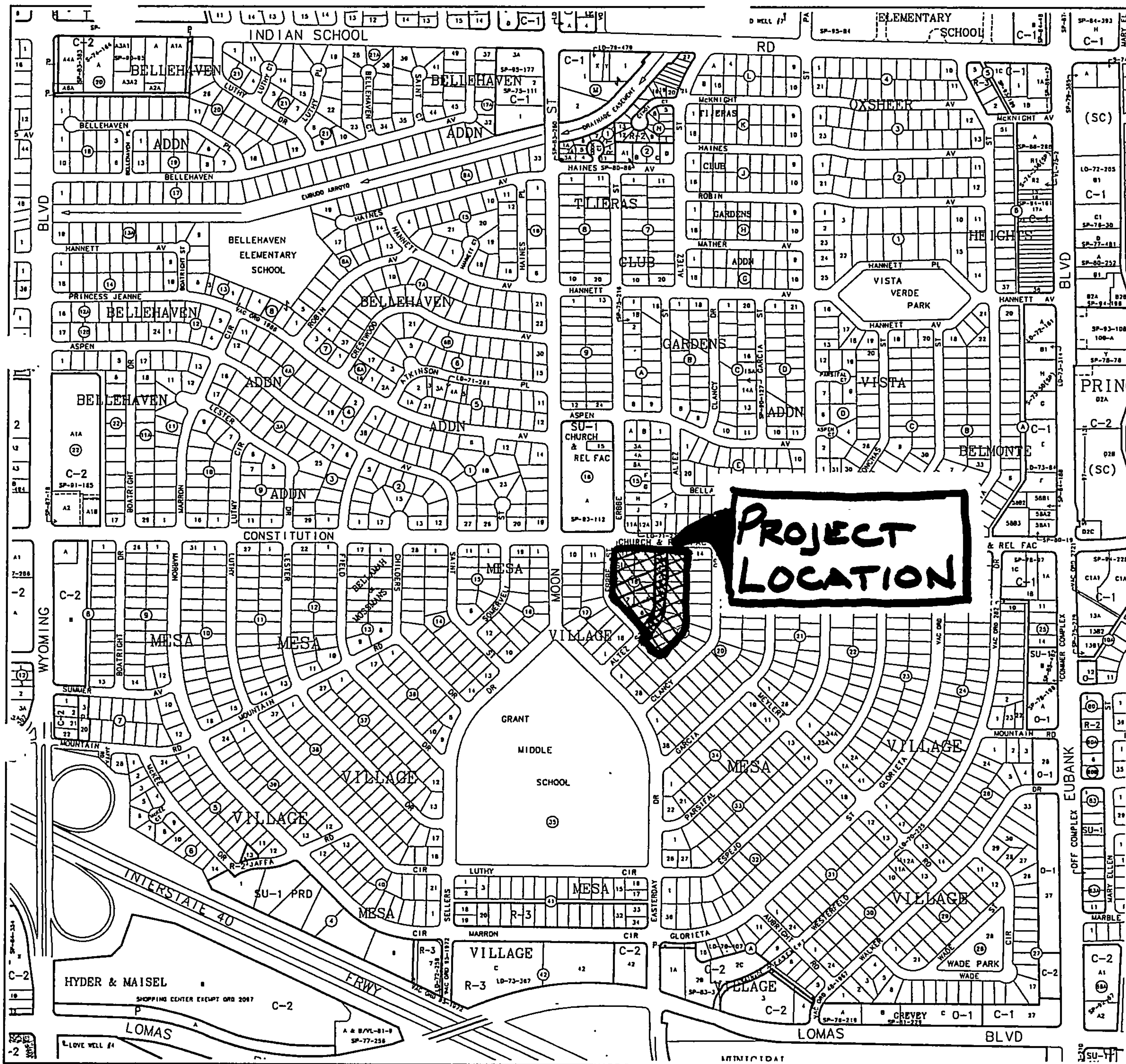
If you have any questions concerning this project, please contact me at (505) 348-4191.

WILSON & COMPANY

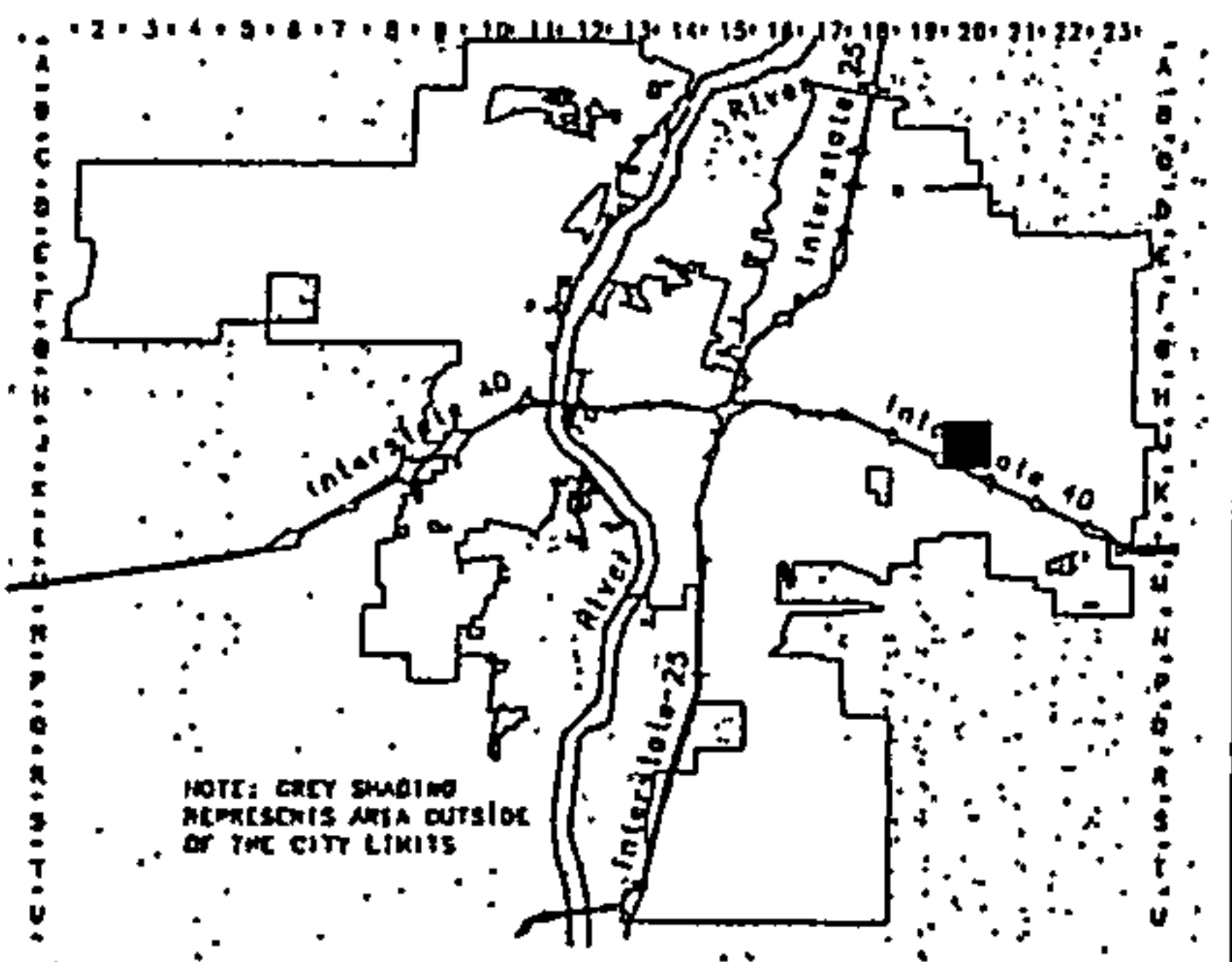
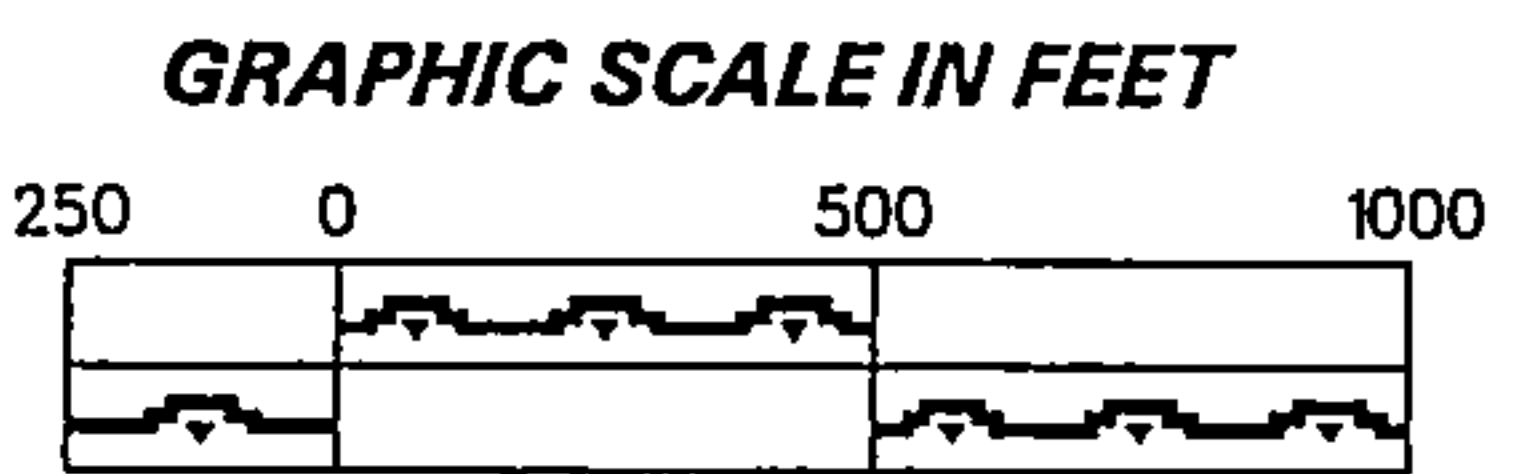


Kristine Susco
Project Manager
Email: kiskusco@wilsonco.com

kis
Enclosure



CITY OF
Albuquerque
A Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 1999



**Zone Atlas Page
J-20-Z**

Map Amended through
September 16, 1999

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME

St Pauls, United Methodist

AGENT

Wilson & Company

ADDRESS

1004244 / 05 DRB 01176

PROJECT & APP #

PROJECT NAME

Mesa Village Addition

\$ 20.00 441032/3424000 Conflict Management Fee

\$ 215.00 441006/4983000 DRB Actions

\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study

\$ 235.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/19/2005 9:06AM
 RECEIPT# 00046392 WSH 007 TRAN# 0002
 Account 441032 Fund 0110
 Activity 3424000 TRSLJS
 Trans Amt \$235.00
 J24 Misc \$10.00

DUPLICATE
 City Of Albuquerque
 Treasury Division
 6/21/04

DUPLICATE
 City Of Albuquerque
 Treasury Division

7/19/2005 9:06AM LDC: ANNX
 RECEIPT# 00046393 WSH 007 TRAN# 0002
 Account 441006 Fund 0110
 Activity 4983000 TRSLJS
 Trans Amt \$235.00
 J24 Misc \$215.00
 Ch \$235.00
 CHANGE \$0.00

Thank You

Thank You