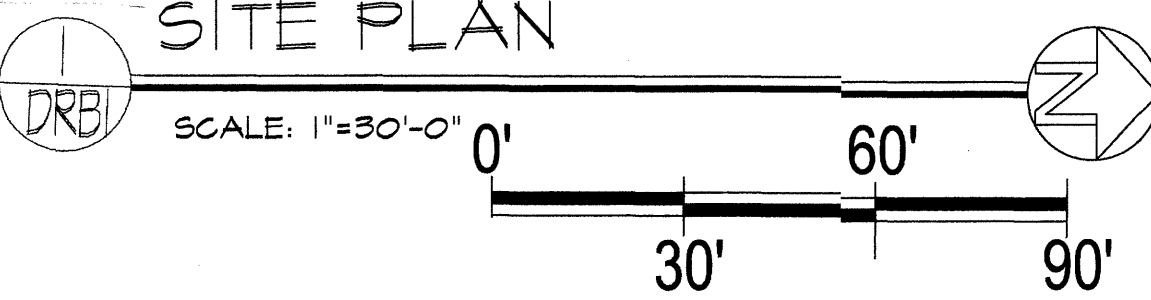
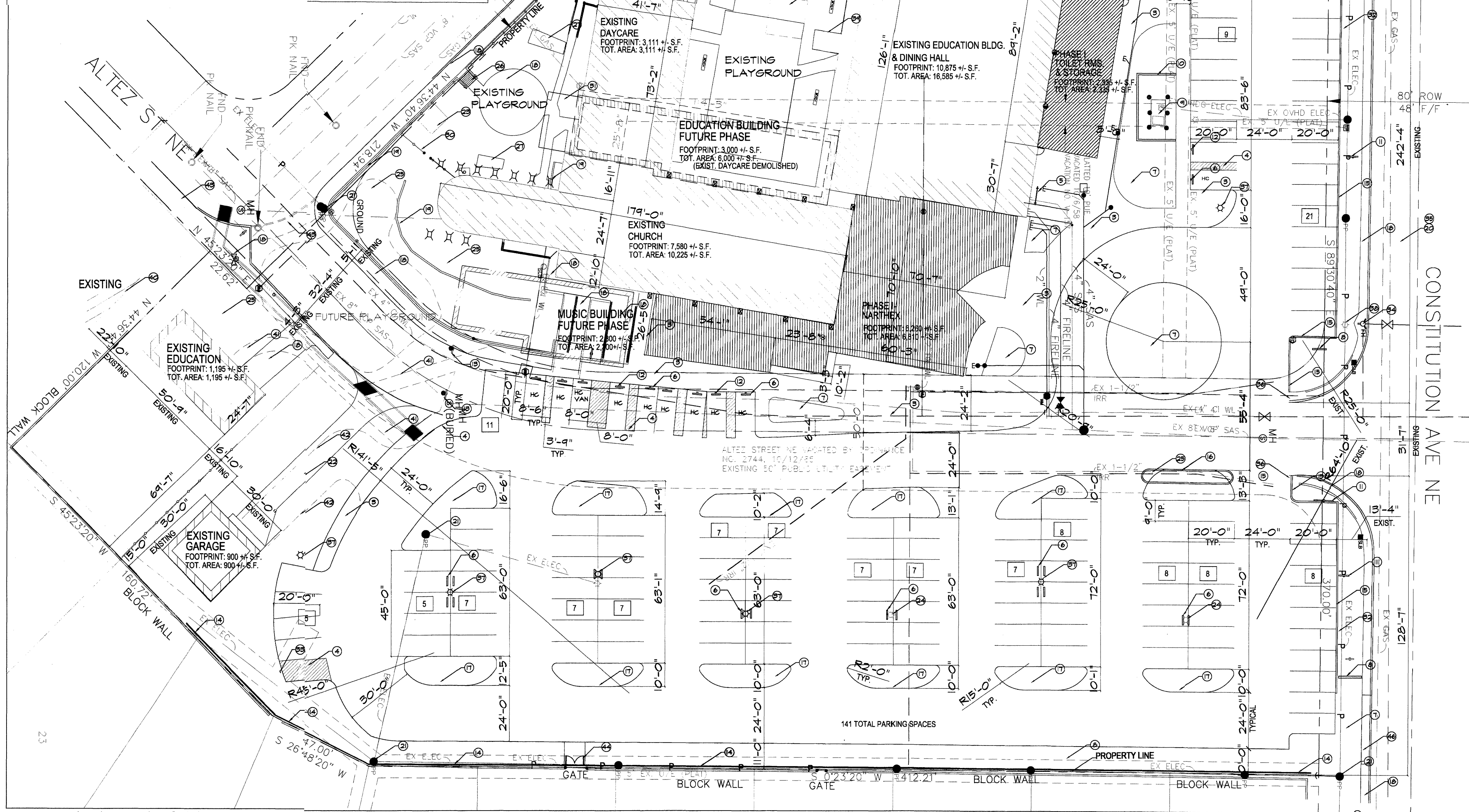
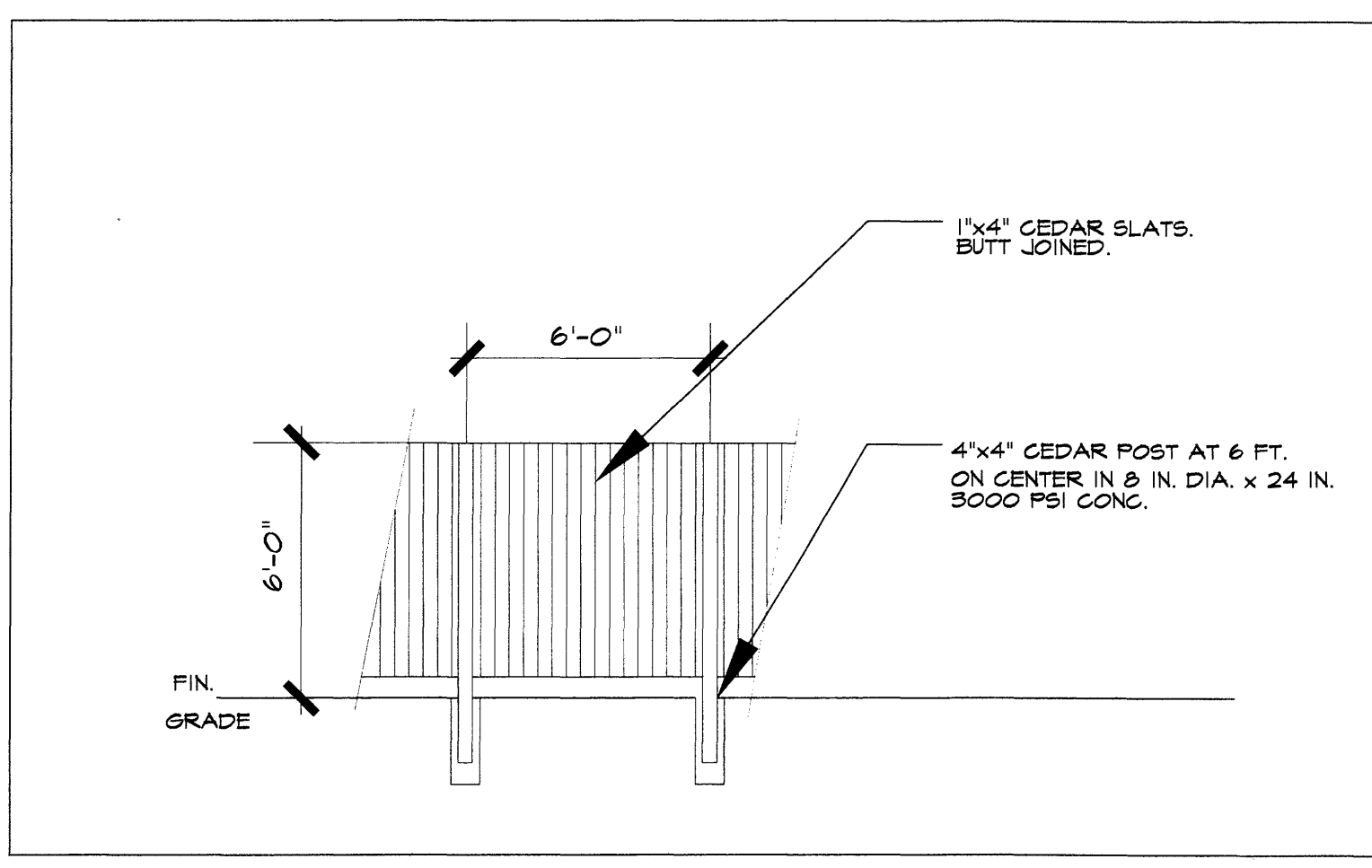


PROJECT NUMBER:	
APPLICATION NUMBER:	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated June 2, 2005, and the findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public-Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

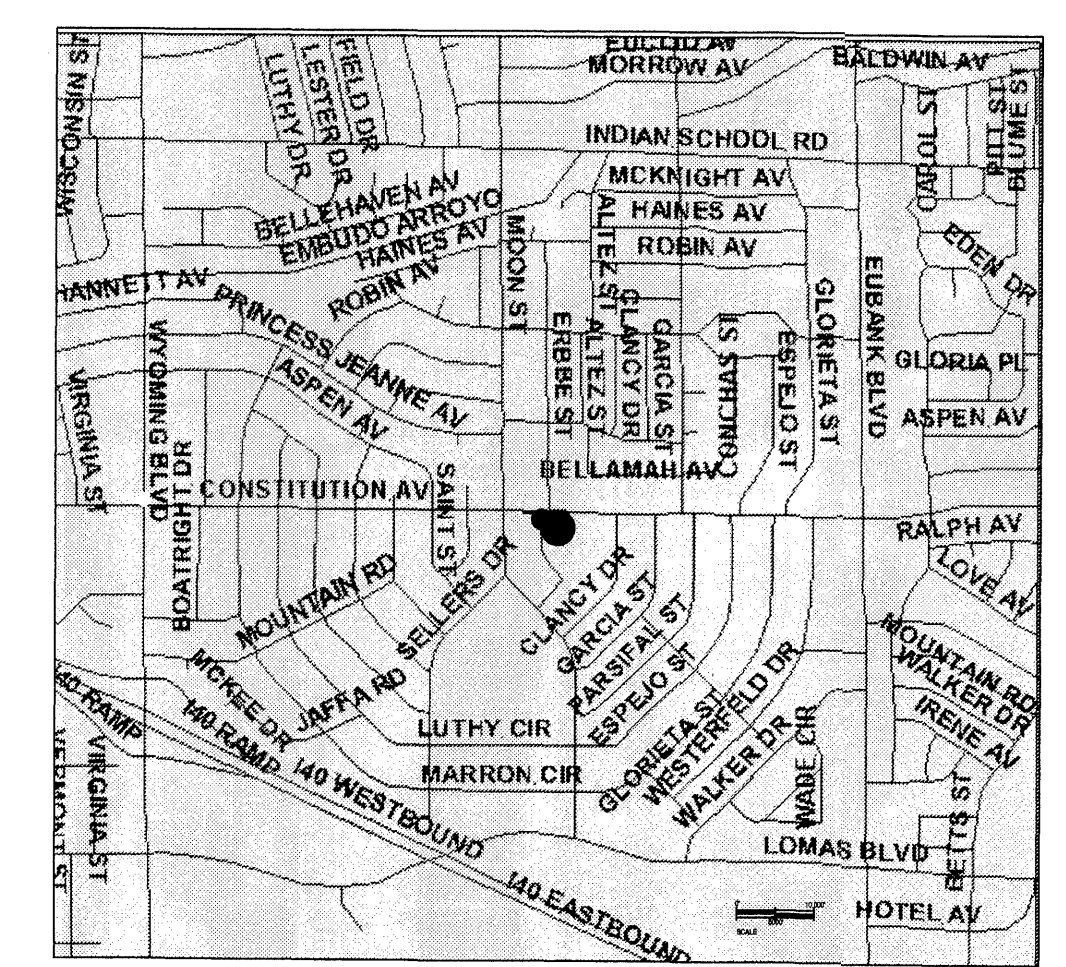


GENERAL NOTES:

- A. NUMBER OF PARKING SPACES: (1 PARKING SPC./ 4 CHURCH SEATS. 30" PEW/ SEAT PER SEC. 14-16-3-1 A3 CITY ZONING CODE. 415 LF OF PEW.) REQUIRED: 42 PROVIDED: 141
- B. NUMBER OF HANDICAP ACCESSIBLE PARKING SPACES: REQUIRED: 8 PROVIDED: 4
- C. NUMBER OF BICYCLE SPACES IN RACK: REQUIRED: 3 PROVIDED: 5
- D. RADII ARE 2'-0" UNLESS NOTED OTHERWISE.
- E. DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- F. ALL NEW SITE LIGHTING SHALL COMPLY WITH THE NIGHT SKY PROTECTION ACT.



FENCE DETAIL
SCALE: 1/8"=1'-0"



VICINITY MAP
ST. PAUL'S UMC 9500 CONSTITUTION NE

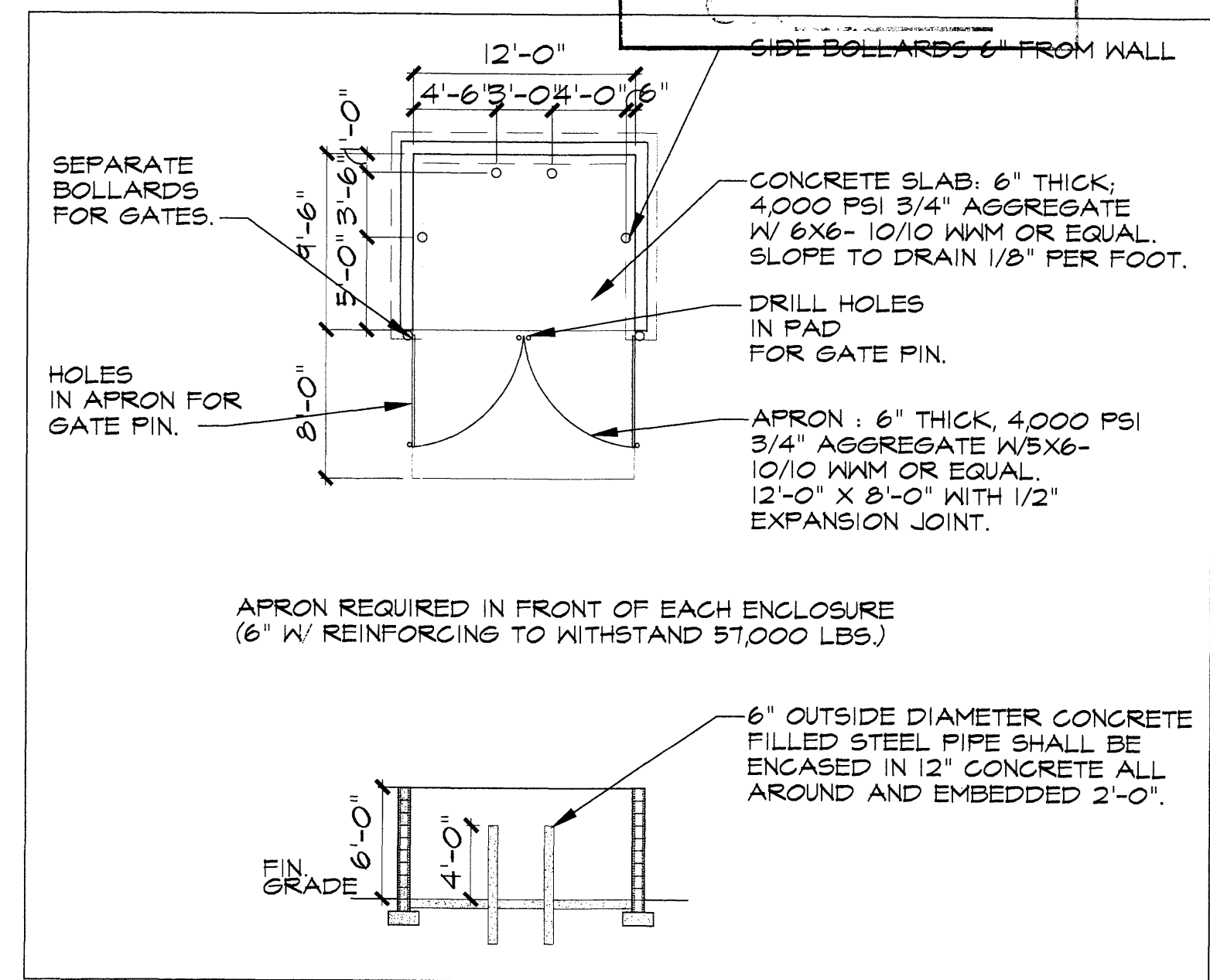
KEYED NOTES:

1. TRASH ENCLOSURE. SEE DETAIL 4/DRB1.
2. EXISTING CURB CUT TO REMAIN.
3. 4 INCH, 3000 PSI CONCRETE SIDEWALK.
4. PAINTED STRIPE ON ASPHALT, FUTURE PHASE WILL BE EDGE OF CONC. SIDEWALK.
5. BICYCLE RACK.
6. RELOCATED EXIST. CONCRETE WHEEL STOP, TYP.
7. LANDSCAPE AREA. SEE SHT. DRB2
8. EXISTING CHURCH SIGN. SEE DTL 5/DRB4.
9. EXISTING ELEC. TRANSFORMER.
10. 6 FT. HIGH CMU, STUCCO FINISHED TRANSFORMER ENCLOSURE WALL.
11. PRESCHOOL SIGN. SEE DTL. 6/DRB4.
12. HANDICAP ACCESSIBLE PARKING SIGN, TYP..
13. EXISTING BOLLARD.
14. 6 FT. HIGH CEDAR FENCE. SEE DETAIL 2/DRB1.
15. LINE OF EXISTING PARKING LOT PAVING.
16. EXISTING LANDSCAPE ISLAND.
17. NEW LANDSCAPE ISLAND. SEE SHEET DRB2.
18. EXISTING CONCRETE SIDEWALK.
19. EXISTING SITE RETAINING WALL APPROX.
20. BUS ROUTE.
21. EXISTING UTILITY POLE. SEE SHEET DRB5.
22. EXISTING ASPHALT DRIVE.
23. EXISTING TOY STORAGE SHED.
24. EXISTING +/- 25 FT. HIGH STEEL PARKING LOT POLE LIGHT WITH "COBRA HEAD" TYPE LUMINARIES. TO BE REPLACED IN FUTURE WITH LIGHT TYPE KEY NOTE 37.
25. EXISTING LANDSCAPE TO REMAIN. SEE SHEET DRB2.
26. EXISTING CONCRETE STEPS.
27. EXISTING PLAYGROUND EQUIPMENT.
28. PAINTED CROSSWALK STRIPING.
29. EXISTING CONCRETE RAMP WITH HANDRAILS.
30. EXISTING CHAINLINK FENCE.
31. EXISTING PORCH.
32. FUTURE 30 IN. HIGH STUCCO FINISHED PARKING SCREEN WALL.
33. MOTOR CYCLE PARKING SIGN.
34. EXISTING FIRE HYDRANT.
35. EXISTING BIKE ROUTE.
36. EXISTING ADA CURB CUT.
37. 15 FT. HIGH TAPERED ALUMINUM LIGHT POLE WITH SHARP CUT OFF LUMINARIES, 250 WATT HIGH PRESSURE SODIUM LAMPS TO CONFORM TO THE NIGHT SKIES PROTECTION ACT.
38. EXISTING COA STREET LIGHT.
39. DEMOLISH EXISTING EXTERIOR STAIRS.
40. EXISTING RESIDENCE ON ADJACENT PROPERTY.
41. FUTURE 4 IN. THICK CONCRETE SIDEWALK.
42. FUTURE ASPHALT DRIVEWAY.
43. FUTURE SIDEWALK, CURB AND GUTTER PER COA STANDARDS.
44. 8' WIDE CEDAR GATE.
45. NEW FIRE HYDRANT.
46. NEW 6' WIDE CONC. SIDEWALK, CURB AND GUTTER PER COA STANDARDS.

LEGEND

SYMBOL LEGEND	
⊞	ELECTRIC BOX
☆	LIGHT POLE
—	GUY WIRE
●	POWER POLE
⊕	ELECTRIC OUTLET
⊞	SIGNAL LIGHT JUNCTION BOX
⊞	TELEPHONE PEDESTAL
⊞	TELEPHONE MANHOLE
⊞	FIRE HYDRANT
⊞	WATER VALVE
⊞	WATER METER
⊞	SPRINKLER HEAD
⊞	SPRINKLER CONTROL BOX
⊞	ROOF DRAIN
⊞	BOLLARD
⊞	GAS METER
⊞	GAS VALVE
⊞	SIGN
⊞	BUILDING COLUMN (2.30"x1.65')
⊞	BUILDING COLUMN (0.40"x0.90')
—	HAND RAIL
⊞	SANITARY SEWER MANHOLE
—	WOOD FENCE
—	CHAINLINK FENCE
—	OVERHEAD ELECTRIC LINE
—	UNDERGROUND GAS LINE
⊞	CONTROL POINT
▨	NEW BUILDING
▨	EXISTING BUILDING
—	PROPERTY LINE
---	EASEMENT

PRELIMINARY PLAN
APPROVED BY DRB
8/29/05



REFUSE CONTAINER ENCLOSURE
SCALE: 1/8"=1'-0"

ST. PAUL'S UNITED METHODIST CHURCH ADDITIONS AND RENOVATIONS
9500 CONSTITUTION AVE. NE
ALBUQUERQUE, NM 87112

architects
PA ARCHITECTS
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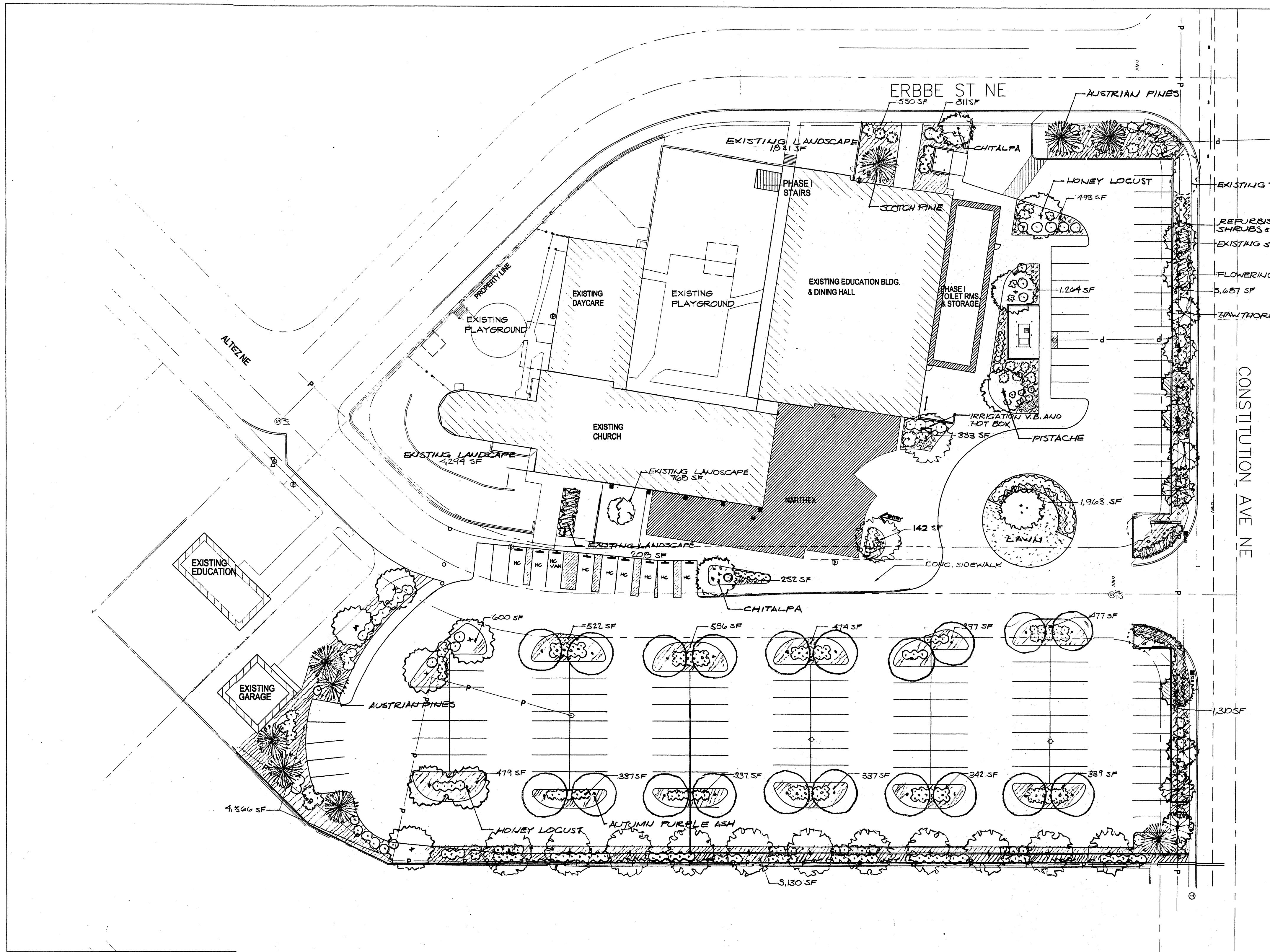
SHEET TITLE
SITE PLAN

DATE:
AUGUST 21, 2005

SHEET NO.

DRB SUBMITTAL
SHEET #1 -SITE PLAN

DRB1



LOT AREA SQUARE FEET= 175,111 (4.02 +/- ACRES)
 MINUS BUILDING AREA = 33,205 G.S.F.
 NET LOT AREA= 141,906 SQUARE FEET
 LANDSCAPE AREA REQUIRED
 15% NET LOT AREA= 21,286 SQUARE FEET
 LANDSCAPE AREA PROVIDED NEW: 20,360 SQUARE FEET
 LANDSCAPE AREA EXISTING TO REMAIN: 1,405 SQUARE FEET
 TOTAL LANDSCAPE AREA= 21,765 SQUARE FEET

LANDSCAPE NOTES

- GENERAL NOTES:**
- PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUNDCOVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS, OR OTHER SITE CONSTRAINTS.
 - INTENT OF PLAN IS TO CONFORM TO ALL CITY ORDINANCES AND CODES RELATED TO LANDSCAPE REQUIREMENTS, INCLUDING THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE (C-ORD 18-1995).
 - PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS.
 - ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS.
 - THERE SHALL BE A 2"-3" DEPTH OF MULCH AT ALL PLANTING AREAS. ADJUST SETTING HEIGHT/LEVEL OF NEW TREE, SHRUB OR GROUNDCOVERS SO THAT TOP OF ROOTBALL WILL BE COVERED BY 1" DEPTH OF MULCH.

IRRIGATION:
 AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE DESIGNED AND INSTALLED TO SERVE ALL NEW PLANT MATERIALS, TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW-FLOW BUBBLER AND/OR A DRIP EMITTER SYSTEM. REDUCED PRESSURE BACK FLOW PREVENTOR ENCLOSED IN A HOT BOX. MOUNT ON 4" THICK CONC. SLAB. PROVIDE ELECTRICAL SERVICE TO HOT BOX.

MAINTENANCE:
 ALL RESPONSIBILITIES FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL BE BY THE OWNER.

PLANTS:
 PLANT LIST CONSTITUTES A RANGE OF PLANT MATERIALS WHICH MAY BE USED ON THIS PROJECT. IT IS POSSIBLE THAT NOT ALL LISTED PLANTS WILL BE USED, AND ADDITIONAL APPROPRIATE PLANTS MAY BE INCLUDED ON THE FINAL PLAN.

PLANT LIST

Botanical Name	Common Name	Installed Size	Mature Size	Water Use
TREES				
<i>Gleditsia triacanthos</i>	Shademaster Honey Locust	2 1/2" cal.	45' x 50'	M+
<i>Fraxinus americana</i>	Autumn Purple Ash	2 1/2" cal.	45' x 45'	M+
<i>Pistachia chinensis</i>	Chinese Pistache	2 1/2" cal.	40' x 30'	M
<i>Chitalpa</i>	Chitalpa	1 1/2" - 2" cal.	30' x 30'	M
<i>CRATAEGUS C. INERMIS</i>	THORNLESS HAWTHORN	2" CAL	20' x 20'	L
<i>Pinus nigra</i>	Austrian Pine	4" - 6" tall	35' x 25'	M
<i>Pinus sylvestris</i>	Scotch Pine	4" - 6" tall	45' x 25'	M
<i>PRUNUS CERASIFERA 'K'</i>	KRAUTER FLOWERING PLUM	2" CAL	10' x 10'	L
SHRUBS				
<i>Caryopteris x clandonensis</i>	Blue Mist Spirea	5 gal.	3' x 3'	M
<i>Chamaebatiaria millefolium</i>	Fernbush	5 gal.	4' x 5'	L
<i>Spartium junceum</i>	Spanish Broom	5 gal.	5' x 5'	M
<i>Kniphofia uvaria</i>	Red Hot Poker	5 gal.	3' x 3'	M
<i>Perovskia atriplicifolia</i>	Russian Sage	5 gal.	5' x 5'	M
<i>Rosmarinus officinalis 'ARP'</i>	Rosemary	5 gal.	5' x 5'	L
<i>Salvia greggi</i>	Autumn Sage	5 gal.	2' x 3'	M
<i>Hesperaloe parviflora</i>	Red Yucca	5 gal.	3' x 3'	M
<i>Stipa tenuifolia</i>	Threadgrass	1 gal.	2' x 2'	M
<i>Helictotrichon sempersziens</i>	Blue Avena	1 gal.	2' x 2'	L
<i>Artemisa x powis castle</i>	Powis Castle Sage	1 gal.	2' x 5'	L+
<i>Cotoneaster buxifolius</i>	Greyleaf Cotoneaster	5 gal.	2' x 6'	M
GROUNDCOVERS & VINES				
<i>Delosperma cooperi</i>	Purple Iceplant	Pots	6" x 18"	L
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 gal.	---	M
MULCHES				
	Cobbles, Crusher Fines, Gravel & Bark			

LANDSCAPE PLAN
 SCALE: 1"=50'-0"

ST. PAUL'S UNITED METHODIST CHURCH ADDITIONS AND RENOVATIONS
 9500 CONSTITUTION AVE, NE
 ALBUQUERQUE, NM 87112

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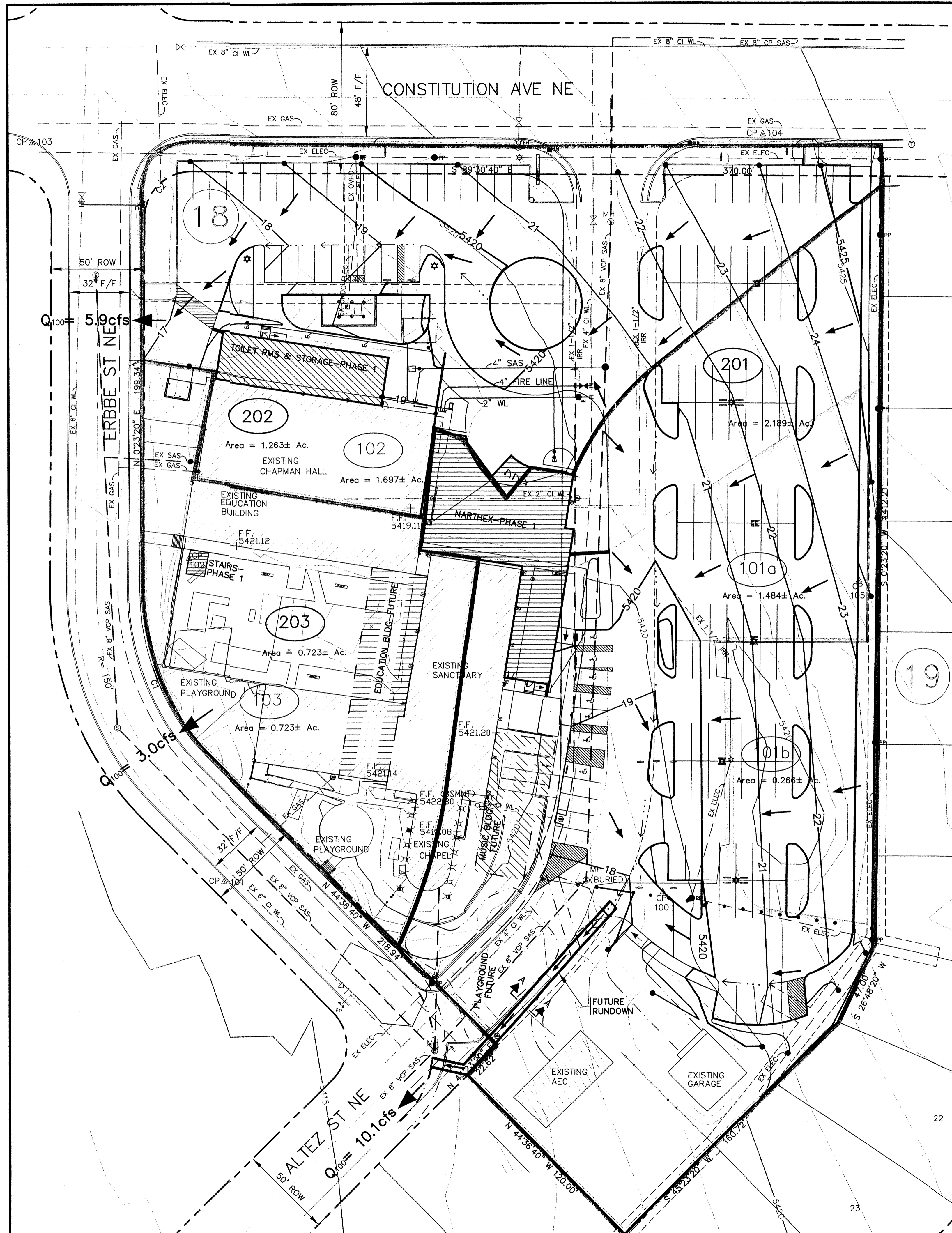
SHEET TITLE

LANDSCAPE PLAN

DATE:
 JUNE 2, 2005
 REVISED 01-05

SHEET NO.

DRB SUBMITTAL
 SHEET #2 -LANDSCAPE PLAN
 DRB2



DRAINAGE REPORT

Site Description
 The project site, identified as St. Paul's United Methodist Church, is located on the south side of Constitution Avenue, just east of the intersection of Moon Street NE and Constitution Avenue. It is bounded on the north, east and west by residential lots.

Legal Description
 Tract A St. Paul's United Methodist Church, City of Albuquerque, Bernalillo County, New Mexico, as recorded in the office of the County Clerk on 8/11/05 in Book 2005C, Page 278.

Flood Hazard Zones
 The site is not located in a flood zone as shown by Panels 35001C0356E & 35001C0358F.

Existing Conditions
 The site is a 4.02 Acre tract with a church facility and parking lot. The site is comprised of three major basins, as shown on this plan, which sheet flow through parking or drive lanes and discharge offsite to the west, south and southwest. The site slopes generally northeast to southwest at grades between three and four percent. An existing pond along the southeast side of the site is non-functional in terms of accepting or releasing flows.

Existing Flow Calculations (100-YR 6-HR)

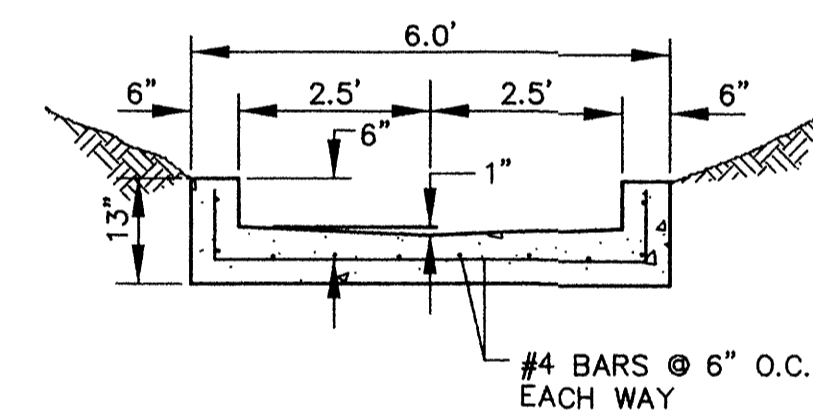
Basin	Area acres	Land Treatment				Q100 cfs	V360 ac-ft
		A	B	C	D		
101a	1.484	0.00	0.00	0.10	1.38	7.27	0.283
101b	0.266	0.00	0.00	0.27	0.00	0.92	0.029
102	1.697	0.00	0.00	0.29	1.41	8.04	0.308
103	0.723	0.00	0.00	0.35	0.37	3.07	0.111
Total						19.29	0.731

Proposed Conditions
 The church facility expansion to the north and east in Phase 1, and to the east in future phases, is an infill project and does not change the existing drainage patterns. The developed flows will continue to sheet flow through parking areas to swales that direct flows offsite to the west onto Erbbe Street and on the south onto Altez Street. Developed flows from the courtyard and playground areas of the site will continue to sheet flow southwest to Erbbe Street.

Proposed Flow Calculations (100-YR 6-HR)

Basin	Area acres	Land Treatment				Q100 cfs	V360 ac-ft
		A	B	C	D		
201	2.189	0.00	0.00	0.58	1.61	10.05	0.379
202	1.263	0.00	0.00	0.27	0.99	5.90	0.224
203	0.723	0.00	0.00	0.37	0.37	3.07	0.111
Total						19.02	0.714

Conclusion
 With the expansion of the church facility, this site will adhere to the existing drainage patterns. Overall, the developed condition with more landscaped area will decrease discharge from the site by 0.27 cfs. The expansion of the facility changes the location of basin boundaries, thereby redistributing flows; discharge to the east onto Erbbe Street from Basin 202 decreases by 2.1 cfs while discharge to the south onto Altez Street increases by 2.8 cfs. The discharge is in compliance with and will have no impact on the well-developed downstream drainage systems in the vicinity.



CONCRETE RUNDOWN DETAIL

NTS

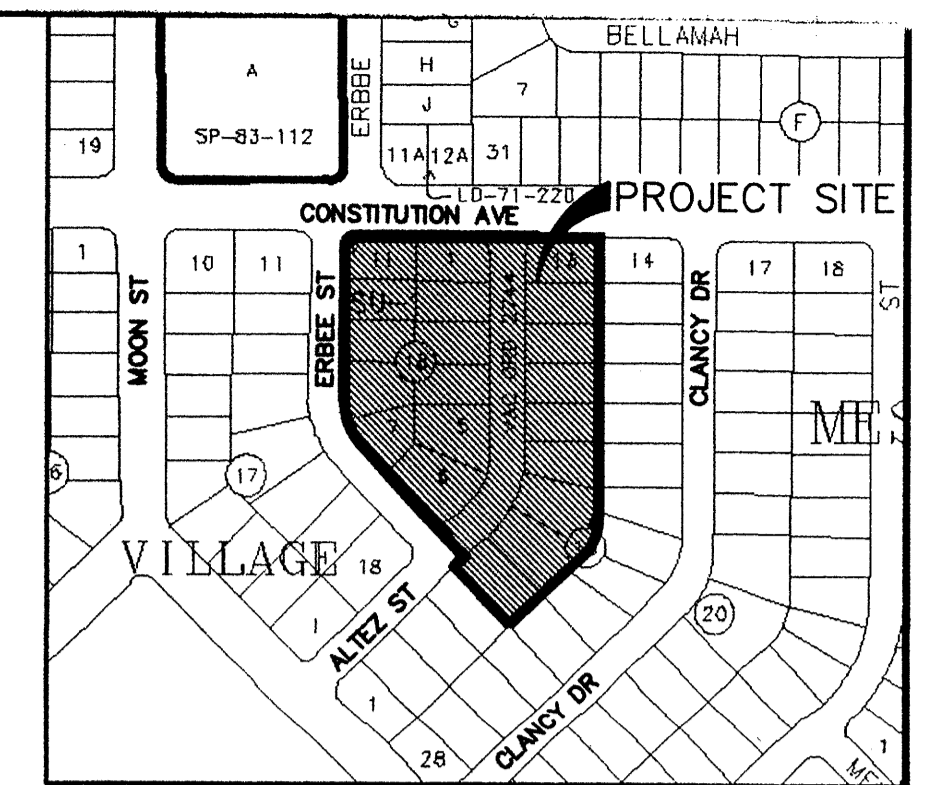
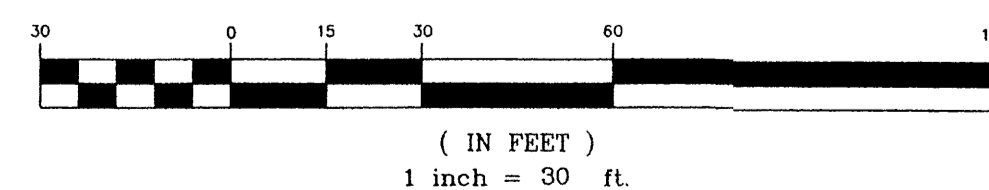
BENCH MARK

ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM, 11-J20" GEOGRAPHIC POSITION (NAD 1927) NM STATE PLANE COORDINATES (CENTRAL ZONE) X = 394,062.557 Y = 1,516,507.279 GROUND TO GRID FACTOR = 0.99967022 DELTA ALPHA = -00'12'15" NGVD 1929 TRIG ELEVATION = 5412.66

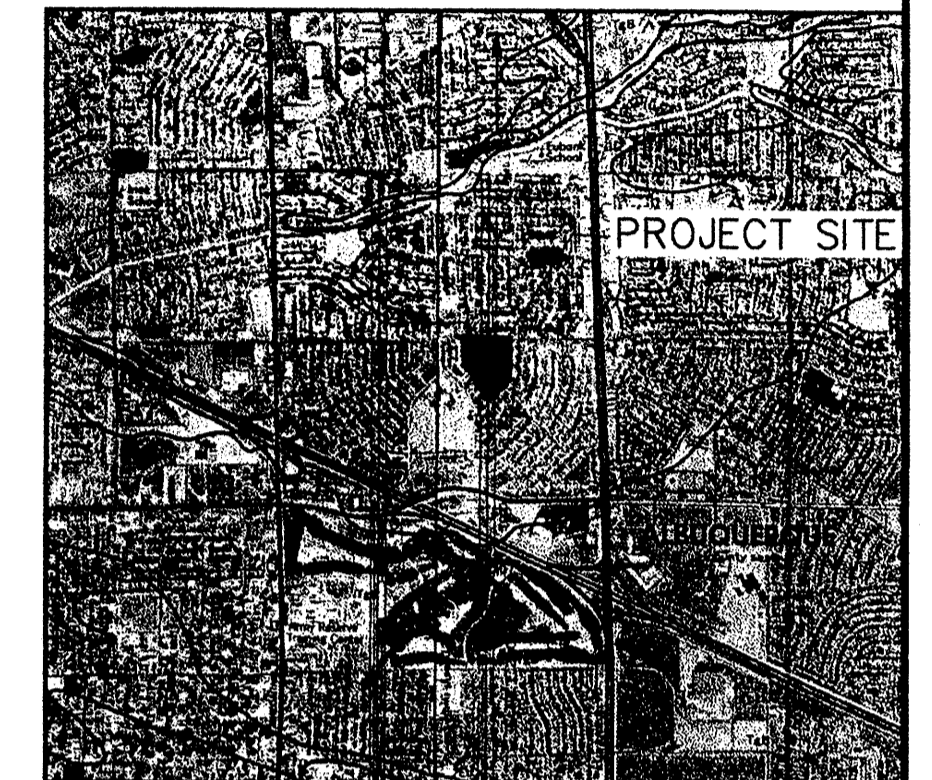
LEGAL DESCRIPTION

TRACT A
 ST. PAUL'S UNITED METHODIST CHURCH

GRAPHIC SCALE

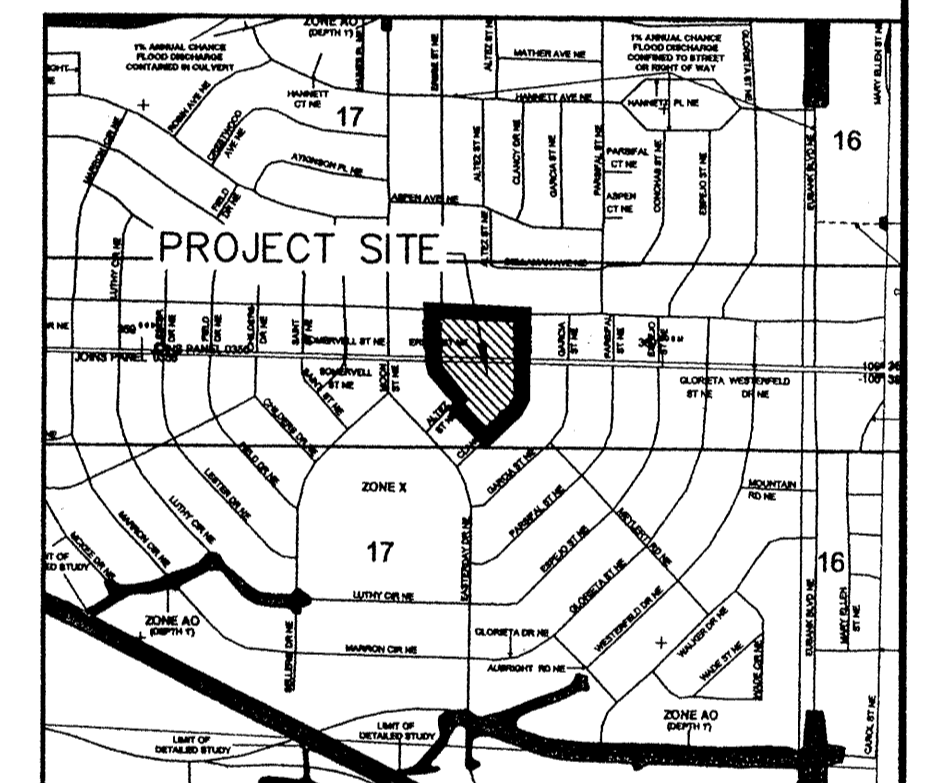


LOCATION MAP
 ZONE ATLAS MAP NO. J-20



SOILS MAP

REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 31 & 32



FLOOD INSURANCE MAP

REFERENCE: FLOOD INSURANCE STUDY PANELS 35001C0356E & 35001C0358F

LEGEND

- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING BASIN BOUNDARY LINE
- EXISTING BASIN TAG
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED BASIN BOUNDARY LINE
- PROPOSED BASIN TAG
- EXISTING BASIN TAG
- BASIN TAG
- SWALE
- FLOW ARROW
- NEW BUILDING

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

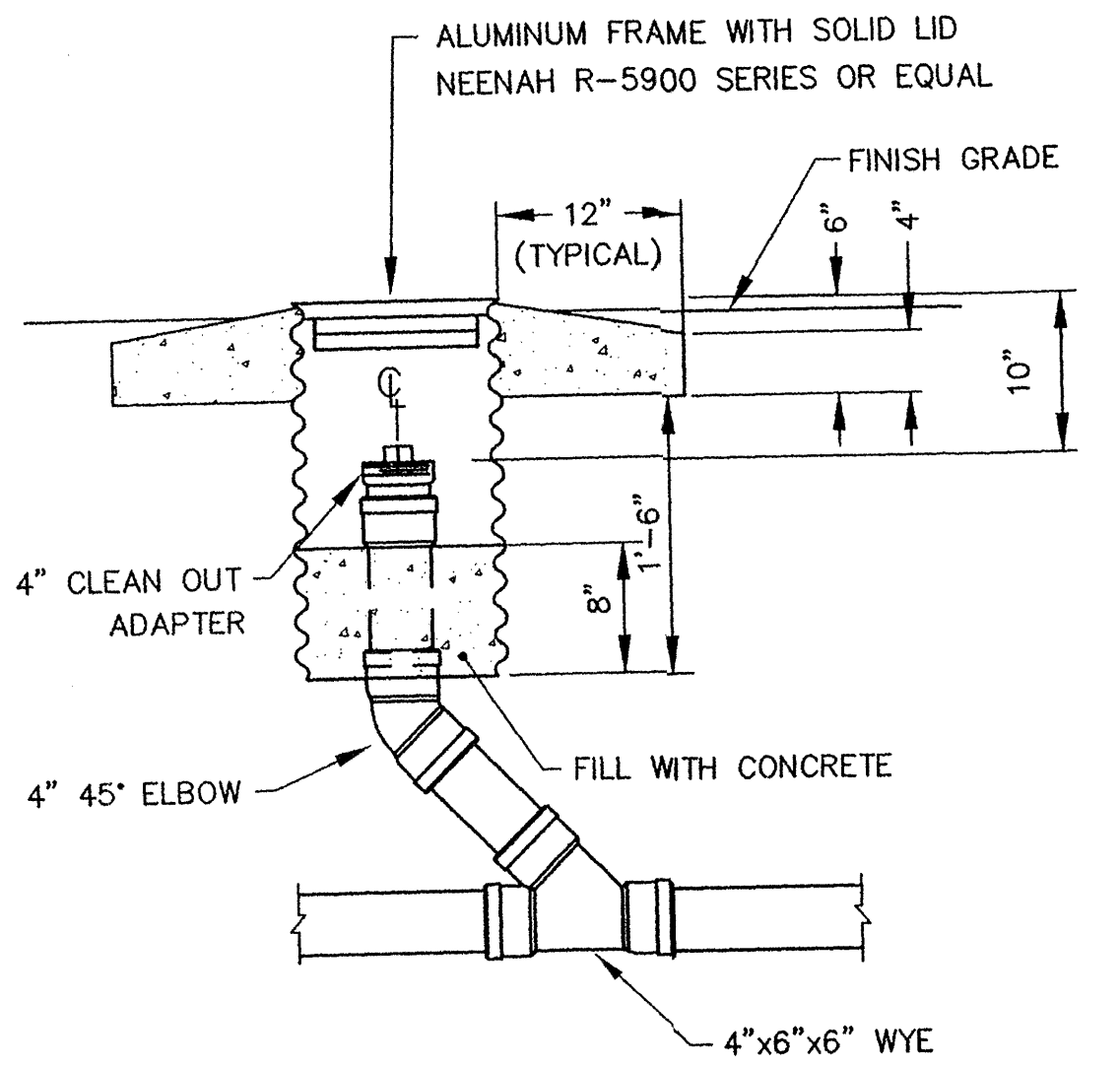
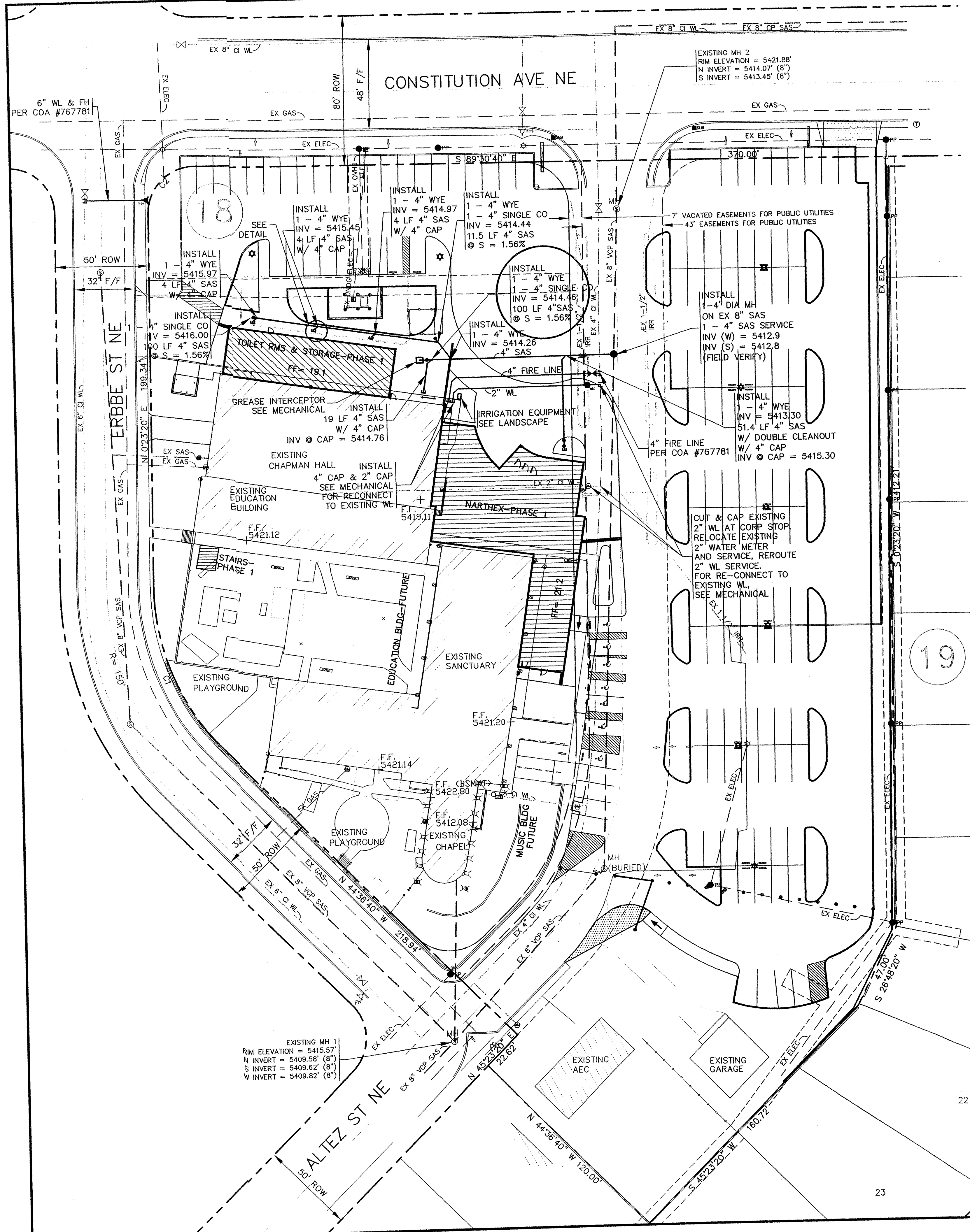
ST. PAUL'S UNITED METHODIST CHURCH
DRAINAGE PLAN

DESIGN KIS
 DRAWN OBR
 CHECK KIS

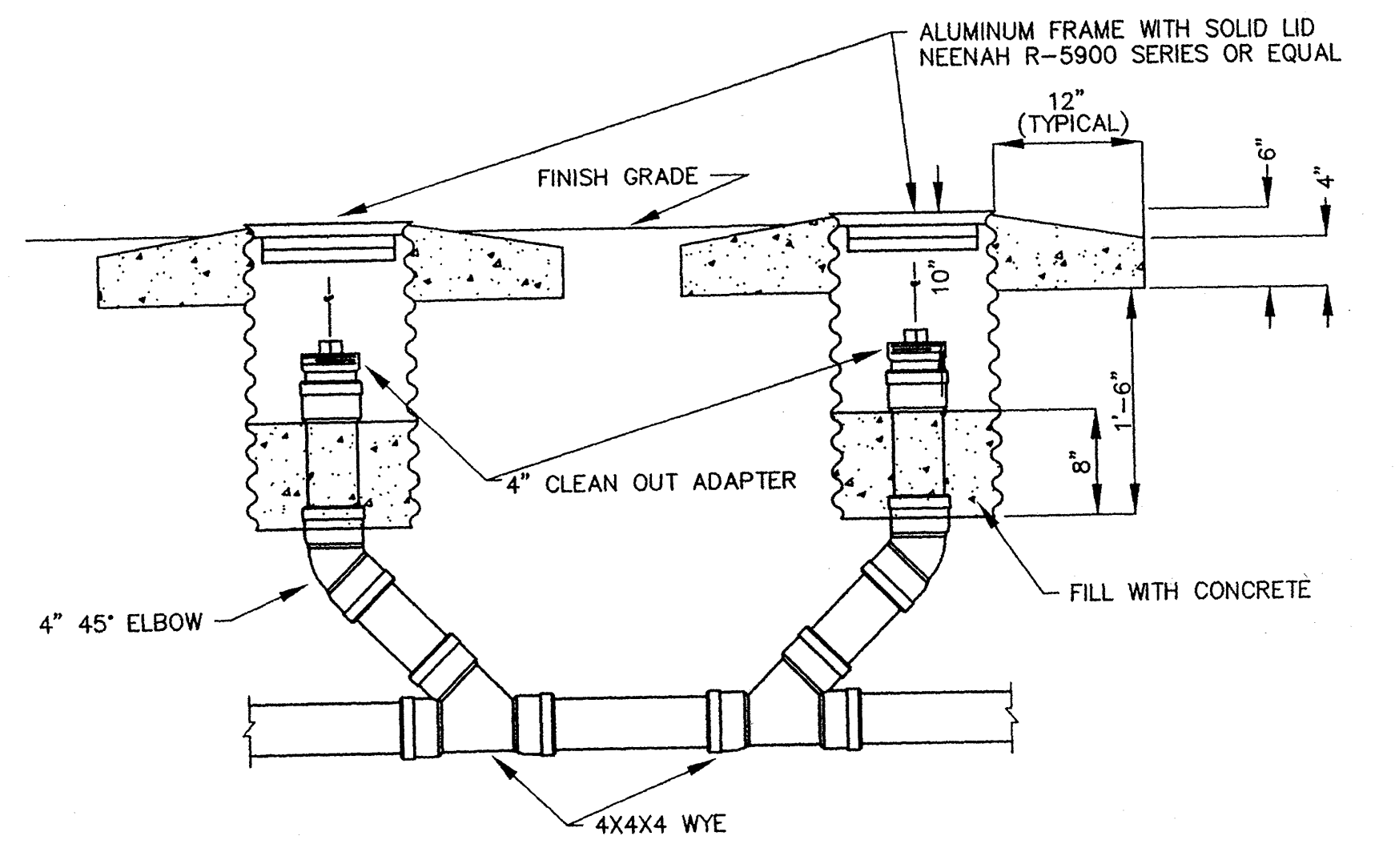
NO.	DATE	REMARKS	BY

WCEA NO. X5218048 DATE AUG 2005
 Zone Map No. J-20 SHEET NO. 1 OF 1

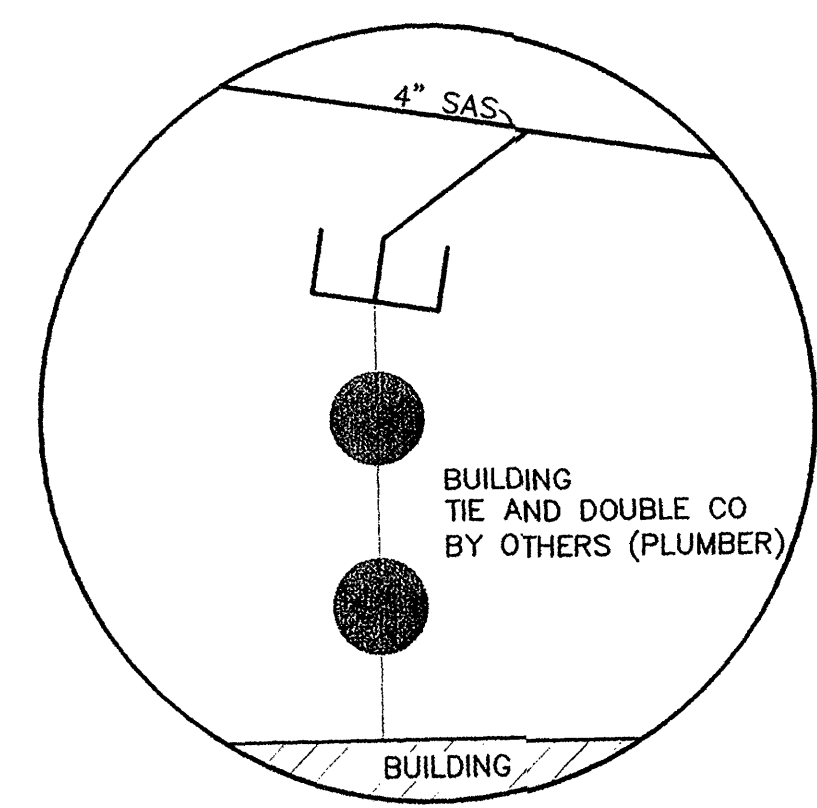
DRB SUBMITTAL SHEET #3 DRAINAGE PLAN



4" SINGLE CLEANOUT DETAIL
NTS



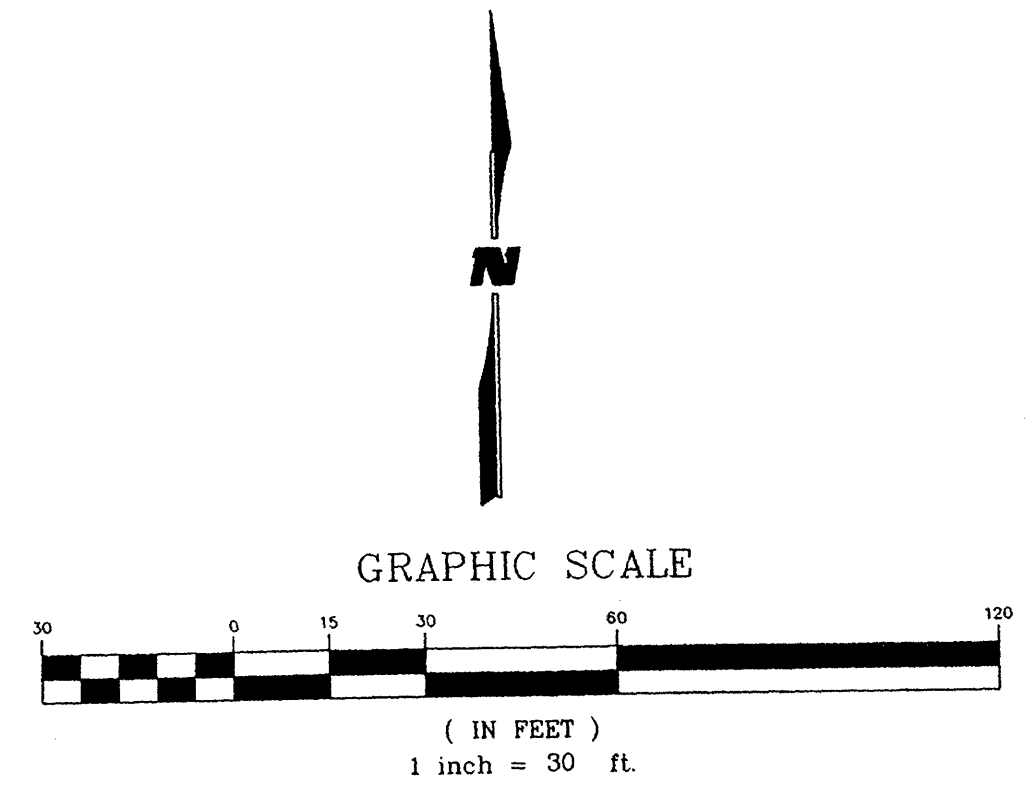
4" DOUBLE CLEANOUT DETAIL
NTS



BUILDING TIE DETAIL (TYP OF 4)
SCALE 1"=1'

UTILITY NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR TAPPING PERMITS FOR RELOCATED 2" METERED SERVICE AND 4" SAS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH COA #767781, PUBLIC FIRE HYDRANT & 4" FIRE LINE INSTALLATION.

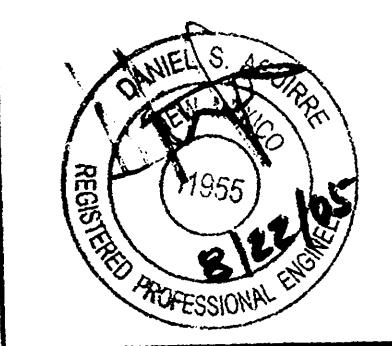


LEGEND

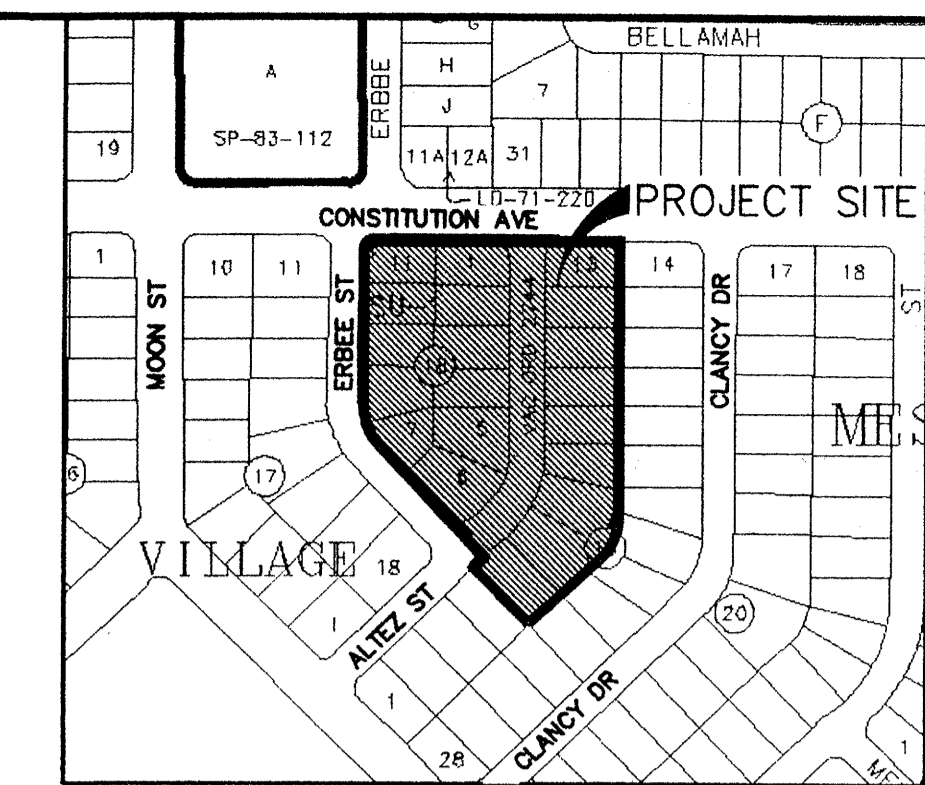
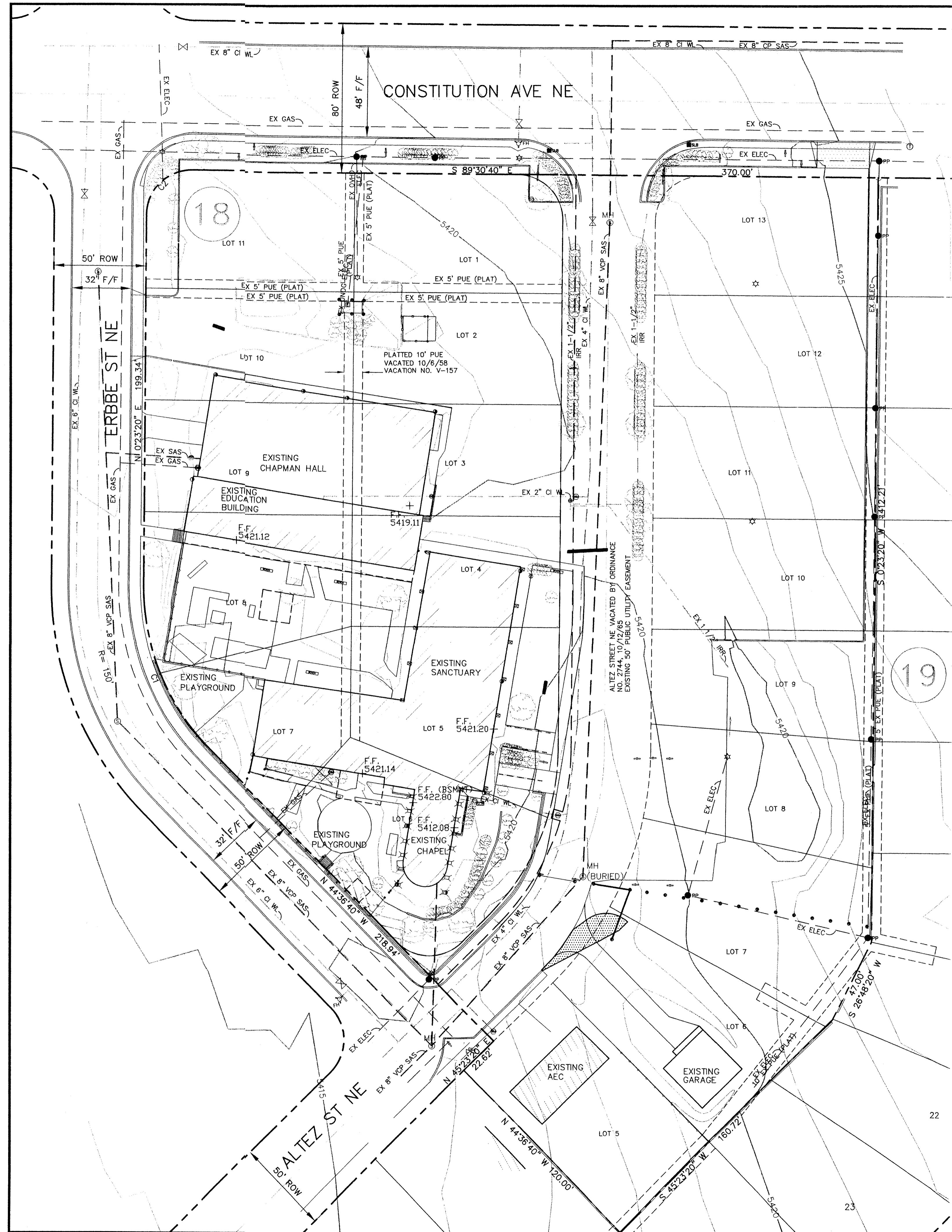
- 8" SAS — EXISTING SANITARY SEWER
- 4" WL — EXISTING WATER LINE
- ⊙ EXISTING SEWER MANHOLE

WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021		ST. PAUL'S UNITED METHODIST CHURCH OVERALL UTILITY PLAN	
		DESIGN	KIS
DRAWN	OBR	Zone Map No. J-20	SHEET NO. CU 0.1
CHECK	KIS		

WCEA X5218048
AUG 2005



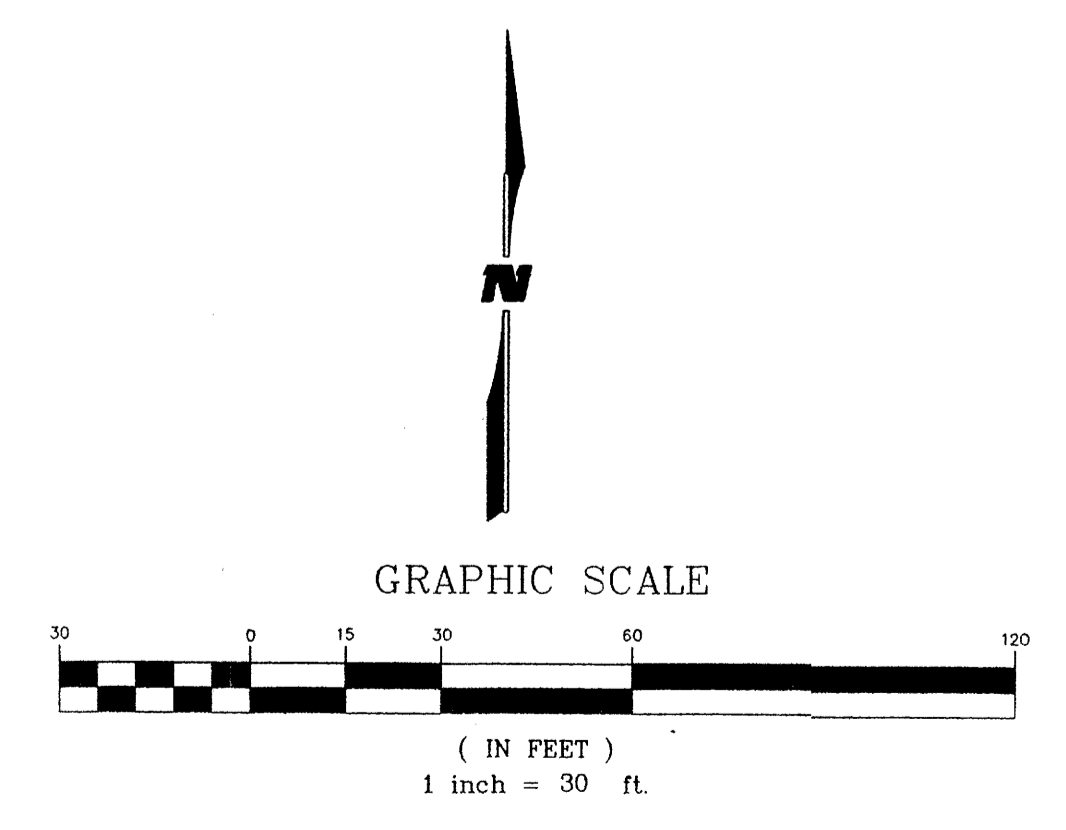
DRB SUBMITTAL
SHEET #5 UTILITY PLAN



LOCATION MAP
ZONE ATLAS MAP NO. J-20

SYMBOL LEGEND	
[Symbol]	ELECTRIC BOX
[Symbol]	LIGHT POLE
[Symbol]	GUY WIRE
[Symbol]	POWER POLE
[Symbol]	ELECTRIC OUTLET
[Symbol]	SIGNAL LIGHT JUNCTION BOX
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	TELEPHONE MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	SPRINKLER HEAD
[Symbol]	SPRINKLER CONTROL BOX
[Symbol]	ROOF DRAIN
[Symbol]	CLEAN OUT
[Symbol]	BOLLARD
[Symbol]	BENCH
[Symbol]	GAS METER
[Symbol]	GAS VALVE
[Symbol]	SIGN
[Symbol]	BUILDING COLUMN (2.30'x1.65')
[Symbol]	BUILDING COLUMN (0.40'x0.90')
[Symbol]	HAND RAIL
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	WOOD FENCE
[Symbol]	CHAINLINK FENCE
[Symbol]	EXISTING ELECTRIC
[Symbol]	EXISTING GAS
[Symbol]	EXISTING WATER
[Symbol]	EXISTING SAS
[Symbol]	CONTROL POINT
[Symbol]	SPOT ELEVATION
[Symbol]	SCRUB
[Symbol]	DECIDUOUS TREE
[Symbol]	EVERGREEN TREE

LEGAL DESCRIPTION
TRACT A
ST. PAUL'S UNITED METHODIST CHURCH



WILSON & COMPANY
2600 THE AMERICAN ROAD S.E.
SUITE 100
RIO RANCHO, NEW MEXICO
87124
(505) 898-8021

ST. PAUL'S
UNITED METHODIST CHURCH
**EXISTING CONDITIONS
PLAN**

REVISIONS	NO.	DATE	REMARKS	BY

DESIGN	KIS	WCEA NO. X5218048	DATE	AUG 2005
DRAWN	OBR	Zone Map No.	SHEET NO.	
CHECK	KIS	J-20	1 OF 1	

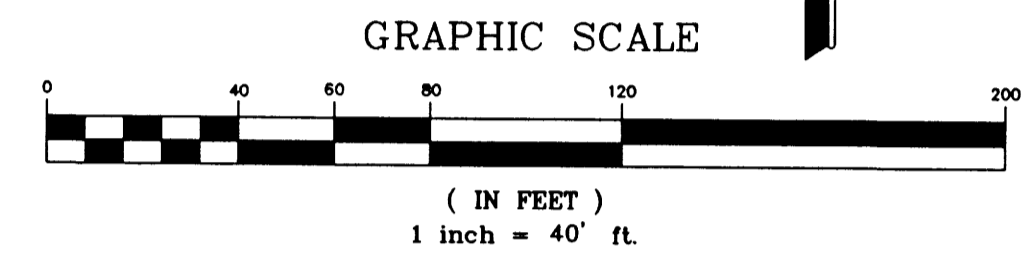
WCEA X5218048
AUG 2005

T:\PROJECTS\X5218048\W\SHEETS\8548XC.DWG\08-22-05\KIS

PLAT OF
TRACT A
ST. PAUL'S UNITED METHODIST CHURCH

BEING COMPRISED OF PORTIONS
OF BLOCKS 18 AND 19
MESA VILLAGE SUBDIVISION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 2005

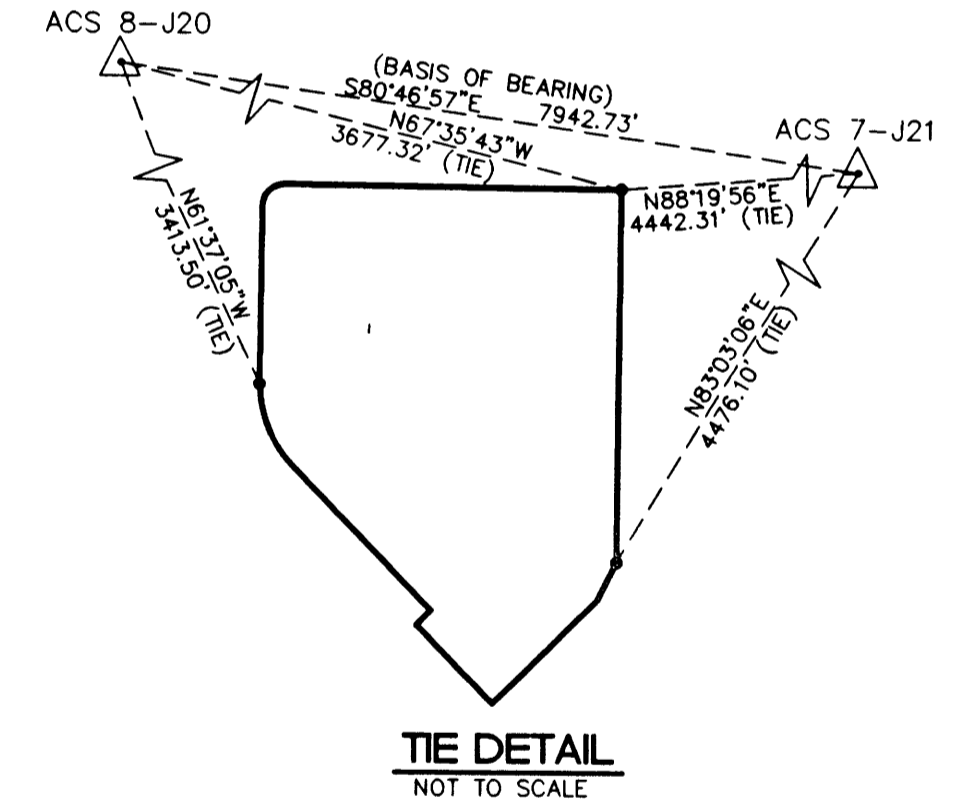
WITHIN SECTION 17 IN TOWNSHIP 10
NORTH, RANGE 4 EAST, N.M.P.M.



EASEMENT KEY

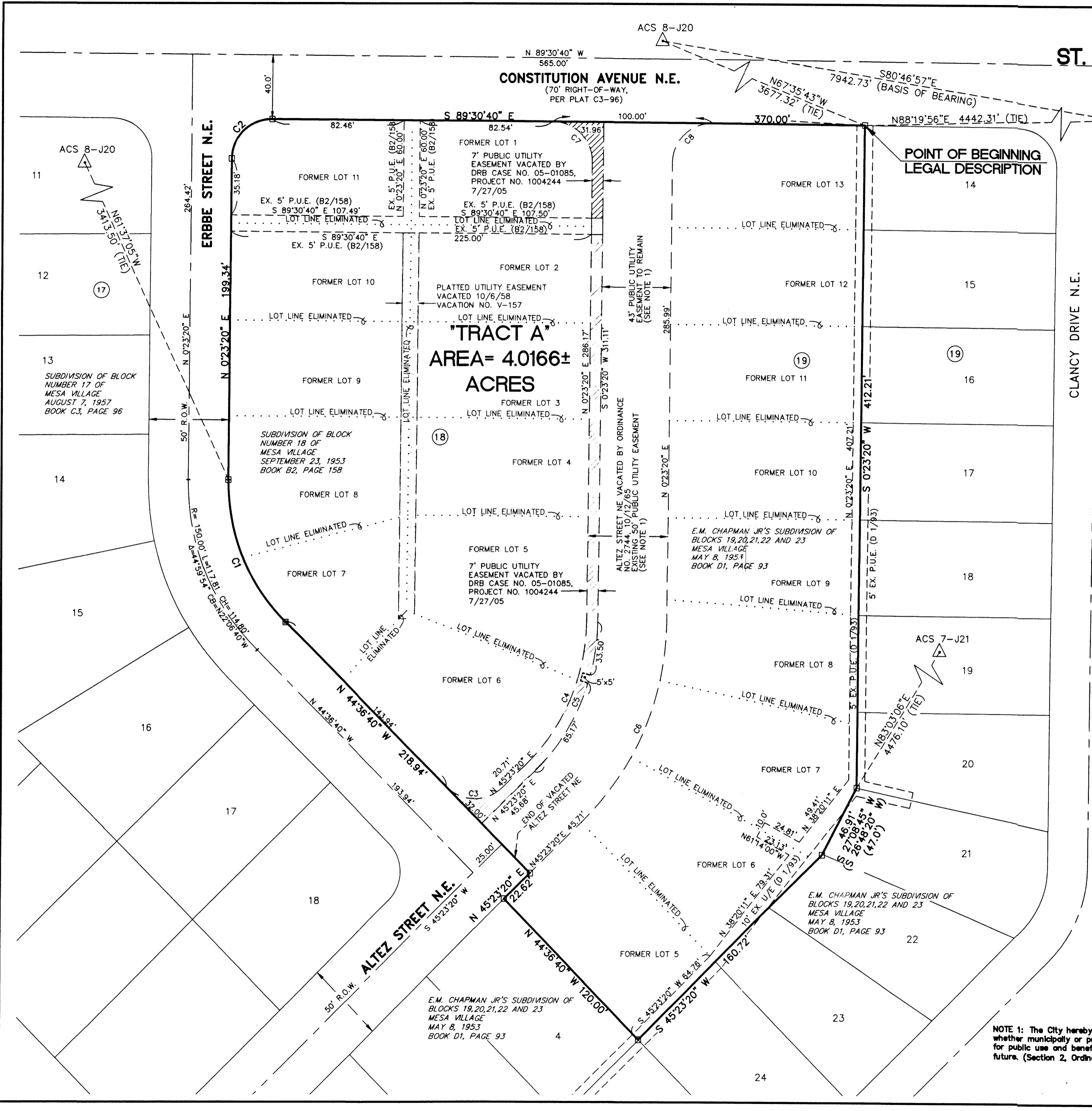
VACATED EASEMENT

VACATED EASEMENT (BY THIS PLAT)



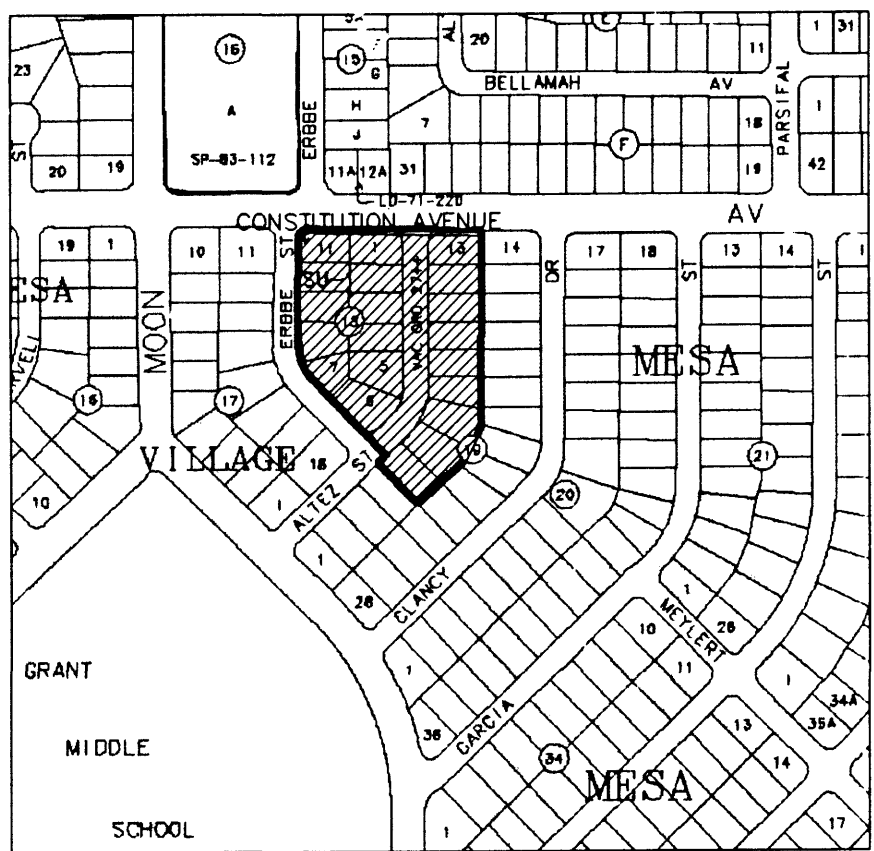
CURVE TABLE

CURVE	Length (Feet)	Radius (Feet)	Delta	Tangent (Feet)	Chord Bearing	Chord Length (Feet)
C1	98.17	125.00	44°59'54"	51.77	N22°06'40"W	95.67
C2	39.31	25.00	90°06'00"	25.04	N45°26'23"E	35.39
C3	39.27	25.00	90°00'00"	25.00	S89°35'00"W	35.38
C4	98.17	125.00	45°00'00"	51.78	N22°53'20"E	95.67
C5	103.67	132.00	45°00'00"	54.68	N22°53'20"E	101.03
C6	137.44	175.00	45°00'00"	72.49	N22°53'20"E	133.94
C7	39.23	25.00	89°54'00"	24.96	N44°33'40"W	35.32
C8	39.31	25.00	90°06'00"	25.04	S45°26'20"W	35.39



NOTE 1: The City hereby reserves easements for public utilities, whether municipally or privately owned, which may be necessary for public use and benefit at the present time or in the future. (Section 2, Ordinance NO. 2744, City of Albuquerque)

WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000
SHEET 2 OF 2
WCEA PROJ. NO. X5-218-048



VICINITY MAP N.T.S.

SUBDIVISION DATA:

D.R.B. CASE NUMBER 05 DRB 01176
 D.R.B. PROJECT NUMBER 1004244
 ZONE ATLAS INDEX NO. J-20-Z
 TOTAL NO. OF LOTS EXISTING: TWENTY
 TOTAL NO. OF LOTS CREATED: ONE
 GROSS SUBDIVISION ACREAGE: 4.0166 ACRES
 TOTAL MILES OF STREETS CREATED: ZERO
 TALOS LOG NO. 2005152716
 DATE OF SURVEY: MAY 2005

DISCLOSURE STATEMENT:

The purpose of this Plat is to reconfigure all of Block 18 of MESA VILLAGE A SUBDIVISION and Lots Five (5) through Thirteen (13) inclusive of Block 19 of E.M. CHAPMAN, JR'S SUBDIVISION OF BLOCKS 19, 20, 21, 22, AND 23 MESA VILLAGE into One Tract and vacate a portion of an existing public utility easement.

FREE CONSENT AND DEDICATION:

The Subdivision shown hereon is with the Free Consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s); said Owner(s) and/or Proprietor(s) warrant that they hold among them Complete and Indefeasible Title in Fee Simple to the land subdivided; said Owner(s) and/or Proprietor(s) do hereby acknowledge all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for Overhead and/or Buried Distribution Lines, Conduits, and Pipes for Underground and/or Overhead Utilities where shown or indicated, and including the Right of Ingress and Egress for Construction and Maintenance and the Right to trim interfering trees and shrubs; said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this Subdivision is their Free Act and Deed.

Owner/Proprietor of St. Paul's United Methodist Church

BY: David Gates
 Dave Gates, Chairman - Board of Trustees
 St. Paul's United Methodist Church

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 14th day of July, 2005.

BY: _____ For and on Behalf of

David Gates
 Notary Public: Barbara E. Rubio

My Commission Expires: February 2, 2009

GENERAL NOTES:

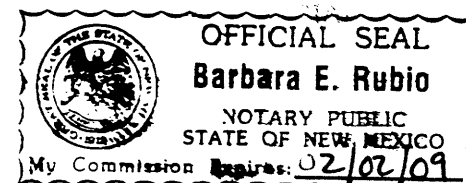
- ALBUQUERQUE CONTROL STATION "7-J21" DATA:
 Standard A.C.S. Brass Tablet stamped "7-J21, 1979" set flush with the curb.
 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 X = 418,050.94
 Y = 1,489,850.46
 ELEV. = 5520.36 (SLD 1929)
 GROUND TO GRID FACTOR = 0.99964366
 DELTA ALPHA = -00°09'27"
 NAD 1927
- ALBUQUERQUE CONTROL STATION "ACS 8-J20" DATA:
 Standard A.C.S. 3 1/4" Aluminum Cap Stamped "8-J20 1990" set flush in the top of the curb.
 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 X = 410,213.48
 Y = 1,491,122.32
 GROUND TO GRID FACTOR = 0.99965284
 DELTA ALPHA = -00°10'21"
 NAD 1927
- FIELD SURVEY WAS PERFORMED ON MAY 2005.
- BEARINGS SHOWN ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE). BASED ON A LINE FROM "8-J20" TO "7-J21"
 BEARING = S 80°46'57" E
- ALL DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD BEARINGS AND DISTANCES.
- THE SUBDIVISION BOUNDARY IS TIED TO NM STATE PLANE COORDINATE SYSTEM AS SHOWN.
- CORNERS IDENTIFIED AS "SET" ARE 5/8" REBAR WITH CAP STAMPED "CROSHAW 14733" AND SHOWN AS UNLESS OTHERWISE INDICATED.

LEGAL DESCRIPTION:

A certain parcel of land comprising Lots One (1) through Eleven (11) inclusive of Block Eighteen (18) of BLOCK 18 MESA VILLAGE A SUBDIVISION filed September 23, 1953 in Plat Book B2 at Page 158; Together with Lots Five (5) through Thirteen (13) inclusive of Block Nineteen (19) of E.M. CHAPMAN, JR'S SUBDIVISION OF BLOCKS 19, 20, 21, 22, AND 23 MESA VILLAGE A SUBDIVISION filed May 8, 1953 in Plat Book D1 at Page 93; Together with a portion of vacated street Right of Way Altez Street (Vacated by Ordinance No. 2744, 10/12/65), being described by metes and bounds as follows: All located within Section 17, T10N, R1E, N.M.P.M. Beginning at the Northwest Corner of Lot Fourteen (14) of said Block Nineteen (19) whence the Albuquerque Control Survey Monument identified as "7-J21, 1979," a Standard A.C.S. Brass Cap Monument in place bears N.88°19'56"E. 4,442.31 feet distant; thence S.00°23'20"W. along the Westerly Lot line of Lots Fourteen (14) though Twenty (20) inclusive of said Block Nineteen (19) a distance of 412.21 feet; thence S.27°08'45"W. a distance of 46.91 feet; thence S.45°23'20"W. a distance of 160.72 feet to the Northeast Corner of Lot Four (4) of said Block Nineteen (19); thence N.44°36'40"W. along the North line of said Lot Four (4) a distance of 120.00 feet to the Northeast Corner of said Lot Four (4), being on the Easterly Right of Way of Altez Street N.E.; thence N.45°23'20"E. along said Right of Way a distance of 22.62 feet to a point on the Easterly Right of Way of Erbbe Street N.E.; thence N.44°36'40"W. along said Easterly Right of Way a distance of 218.94 feet to a point on a curve to the right; thence 98.17 feet along the arc of said curve with a Radius of 125.00 feet, a Central Angle of 44°59'54" and a Chord of 95.67 feet which bears N.22°06'40"W.; thence N.00°23'20"E. a distance of 199.34 feet to a point on a curve to the right; thence 39.31 feet along the arc of said curve with a Radius of 25.00 feet, a Central Angle of 90°06'00" and a Chord of 35.39 feet which bears N.45°26'20"E. to a point on the Southerly Right of Way of Constitution Avenue N.E.; thence S.89°30'40"E. along said Southerly Right of Way a distance of 370.00 feet to the Point or Place of Beginning; Said tract contains 174,908 Square Feet or 4.0166 Acres, more or less.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
 UNIFORM PROPERTY CODE: 102005832223441416

PROPERTY OWNER OF RECORD: St. Paul's United Methodist Church
 BERNALILLO COUNTY TREASURES OFFICE: Rubio 8/10/05



PLAT OF
 TRACT A
ST. PAUL'S UNITED METHODIST CHURCH

BEING COMPRISED OF PORTIONS
 OF BLOCKS 18 AND 19
 MESA VILLAGE SUBDIVISION
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2005

APPROVALS:

<u>[Signature]</u> CITY SURVEYOR, ALBUQUERQUE, NM	<u>7-18-05</u> DATE
<u>[Signature]</u> TRAFFIC ENGINEERING, ALBUQUERQUE, NM	<u>7-27-05</u> DATE
<u>Christina Sandoval</u> PARKS & RECREATION, ALBUQUERQUE, NM	<u>7/27/05</u> DATE
<u>Roger A. Sloan</u> UTILITY DEVELOPMENT DIVISION, ALBUQUERQUE, NM	<u>8-05-05</u> DATE
<u>N/A</u> REAL PROPERTY DIVISION, ALBUQUERQUE, NM	<u>8/10/05</u> DATE
<u>Bradley D. Bingham</u> A.M.A.F.C.A.	<u>7/27/05</u> DATE
<u>Bradley D. Bingham</u> CITY ENGINEER, ALBUQUERQUE, NM	<u>7/27/05</u> DATE
<u>[Signature]</u> DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>8/10/05</u> DATE

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE 14 OF CHAPTER 14, OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

UTILITY COMPANY APPROVALS:

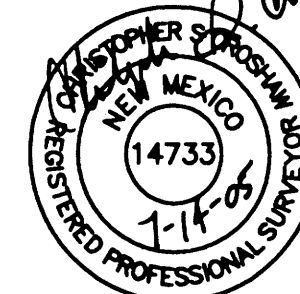
Public Utility Easements shown on this Plat are NOT EXCLUSIVE and are granted for the Common and Joint Use of the Utilities designated on this Plat, their Successors and Assigns, and for the use of any other Public Utilities whose use of said Easement is deemed to be in the Public Interest.
 PNM GAS & ELECTRIC SERVICES DISCLAIMER:
 In approving this Plat, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) did not conduct a Title Search of the Properties shown hereon, consequently, PNM does not waive nor release any Easement or Easement Rights which may have been granted by prior Plat, Replat, or Other Document which are not shown on this Plat.

<u>Lead D. Marts</u> PNM ELECTRIC SERVICES	<u>7-27-05</u> DATE
<u>Lead D. Marts</u> PNM GAS SERVICES	<u>7-27-05</u> DATE
<u>Thorne Bolton</u> COMCAST DIGITAL CABLE	<u>7-27-05</u> DATE
<u>[Signature]</u> QWEST COMMUNICATIONS	<u>8-3-05</u> DATE

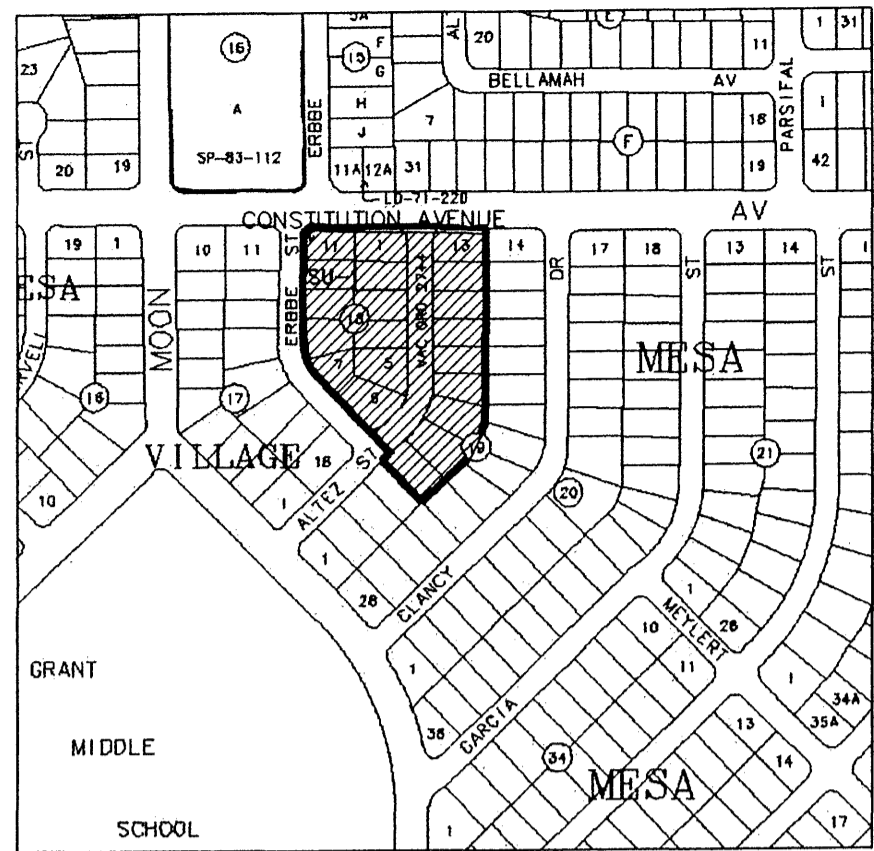
SURVEYOR'S CERTIFICATION:

I, Christopher S. Croshaw, a duly Registered Land Surveyor under the laws of the State of New Mexico, do hereby certify that this Plat was prepared by me or under my direct supervision, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, shows all Easements made known to me by the Owner(s), Utility Companies or other parties expressing an interest, is correct and true to the best of my belief and knowledge and that this Survey and Plat meet the Minimum Standards for Surveying in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Surveyors effective October 1, 2000.

Christopher S. Croshaw
 CHRISTOPHER S. CROSHAW
 N.M.P.L.S. #14733
14 July 2005
 DATE



WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
 SHEET 1 OF 2
 WCEA PROJ. NO. X5-218-048



VICINITY MAP N.T.S.

SUBDIVISION DATA:

D.R.B. CASE NUMBER _____
 D.R.B. PROJECT NUMBER 1004244
 ZONE ATLAS INDEX NO. J-20-Z
 TOTAL NO. OF LOTS EXISTING: TWENTY
 TOTAL NO. OF LOTS CREATED: ONE
 GROSS SUBDIVISION ACREAGE: 4.0166 ACRES
 TOTAL MILES OF STREETS CREATED: ZERO
 TALOS LOG NO. 2005152716
 DATE OF SURVEY: MAY 2005

DISCLOSURE STATEMENT:

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FREE CONSENT AND DEDICATION:

The Subdivision shown hereon is with the Free Consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s); said Owner(s) and/or Proprietor(s) warrant that they hold among them Complete and Indefeasible Title in Fee Simple to the land subdivided; said Owner(s) and/or Proprietor(s) do hereby acknowledge all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for Overhead and/or Buried Distribution Lines, Conduits, and Pipes for Underground and/or Overhead Utilities where shown or indicated, and including the Right of Ingress and Egress for Construction and Maintenance and the Right to trim interfering trees and shrubs; said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this Subdivision is their Free Act and Deed.

Owner/Proprietor of St. Paul's United Methodist Church

BY: David Gates
 David Gates, Chairman - Board of Trustees
 St. Paul's United Methodist Church

STATE OF NEW MEXICO)
) ss.
 COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 14th day of July, 2005.

BY: _____ For and on Behalf of

David Gates
 Notary Public: Barbara E. Rubio

My Commission Expires: February 2, 2009

GENERAL NOTES:

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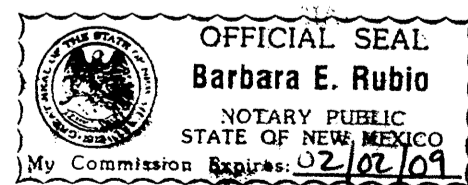
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 S.45°23'20"W. a distance of 160.72 feet to the Northeast Corner of Lot Four (4) of said Block Nineteen (19); thence
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THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:
 UNIFORM PROPERTY CODE: 102005832223441416

PROPERTY OWNER OF RECORD: St. Paul's United Methodist Church

BERNALILLO COUNTY TREASURES OFFICE: _____



PLAT OF
 TRACT A
ST. PAUL'S UNITED METHODIST CHURCH

BEING COMPRISED OF PORTIONS
 OF BLOCKS 18 AND 19
 MESA VILLAGE SUBDIVISION
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY 2005

APPROVALS:

Christopher S. Croshaw
 CITY SURVEYOR, ALBUQUERQUE, NM

TRAFFIC ENGINEERING, ALBUQUERQUE, NM

PARKS & RECREATION, ALBUQUERQUE, NM

UTILITY DEVELOPMENT DIVISION, ALBUQUERQUE, NM

REAL PROPERTY DIVISION, ALBUQUERQUE, NM

A.M.A.F.C.A.

CITY ENGINEER, ALBUQUERQUE, NM

DRB CHAIRPERSON, PLANNING DEPARTMENT

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE 14 OF CHAPTER 14, OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

UTILITY COMPANY APPROVALS:

Public Utility Easements shown on this Plat are NOT EXCLUSIVE and are granted for the Common and Joint Use of the Utilities designated on this Plat, their Successors and Assigns, and for the use of any other Public Utilities whose use of said Easement is deemed to be in the Public Interest.
 PNM GAS & ELECTRIC SERVICES DISCLAIMER:
 In approving this Plat, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) did not conduct a Title Search of the Properties shown hereon, consequently, PNM does not waive nor release any Easement or Easement Rights which may have been granted by prior Plat, Replat, or Other Document which are not shown on this Plat.

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

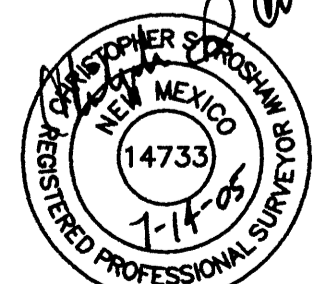
COMCAST DIGITAL CABLE _____ DATE _____

QWEST COMMUNICATIONS _____ DATE _____

SURVEYOR'S CERTIFICATION:

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Christopher S. Croshaw
 CHRISTOPHER S. CROSHAW
 N.M.P.L.S. #14733
14 July 2005
 DATE



WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
 SHEET 1 OF 2
 WCEA PROJ. NO. X5-218-048

DATE 7-18-05
PRELIMINARY PLAT
 APPROVED BY DRB
 ON 7/18/05
 DATE

DATE _____
AT
 DATE _____
JRI
 DATE _____
 DATE _____

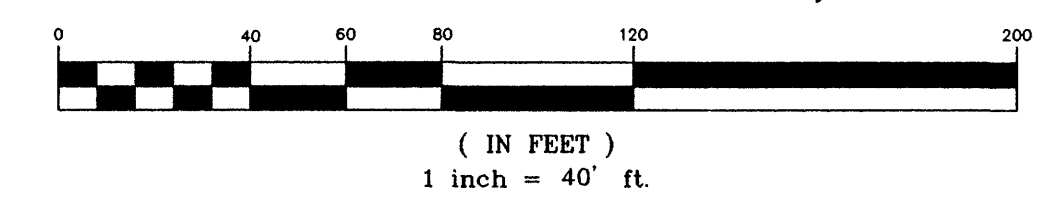
PLAT OF TRACT A
ST. PAUL'S UNITED METHODIST CHURCH

BEING COMPRISED OF PORTIONS OF BLOCKS 18 AND 19 MESA VILLAGE SUBDIVISION CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY 2005

WITHIN SECTION 17 IN TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.

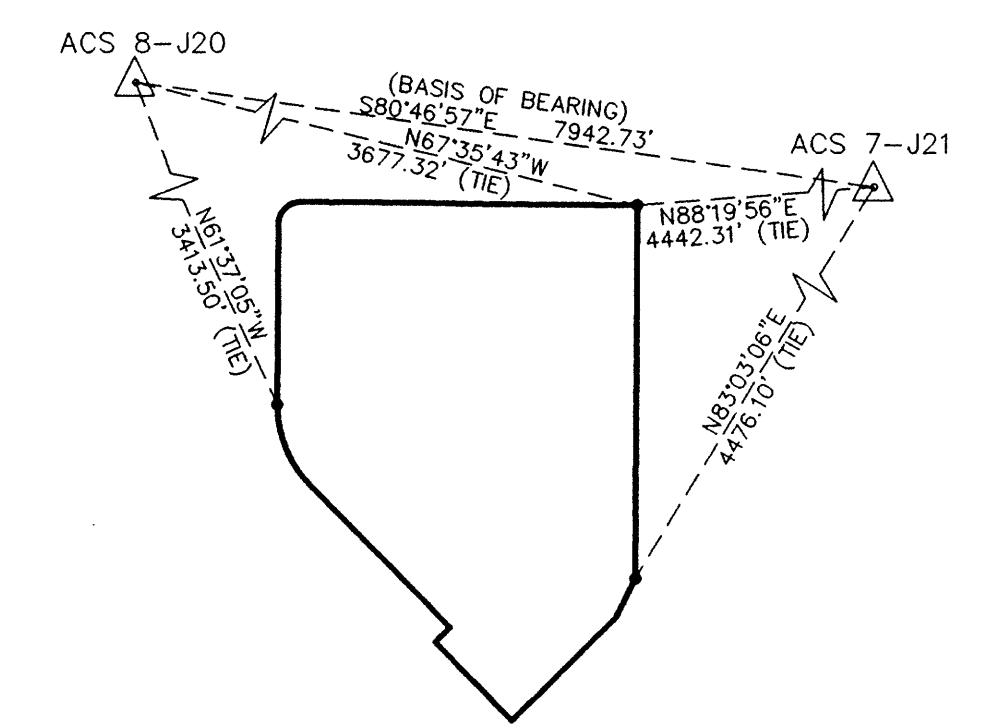


GRAPHIC SCALE



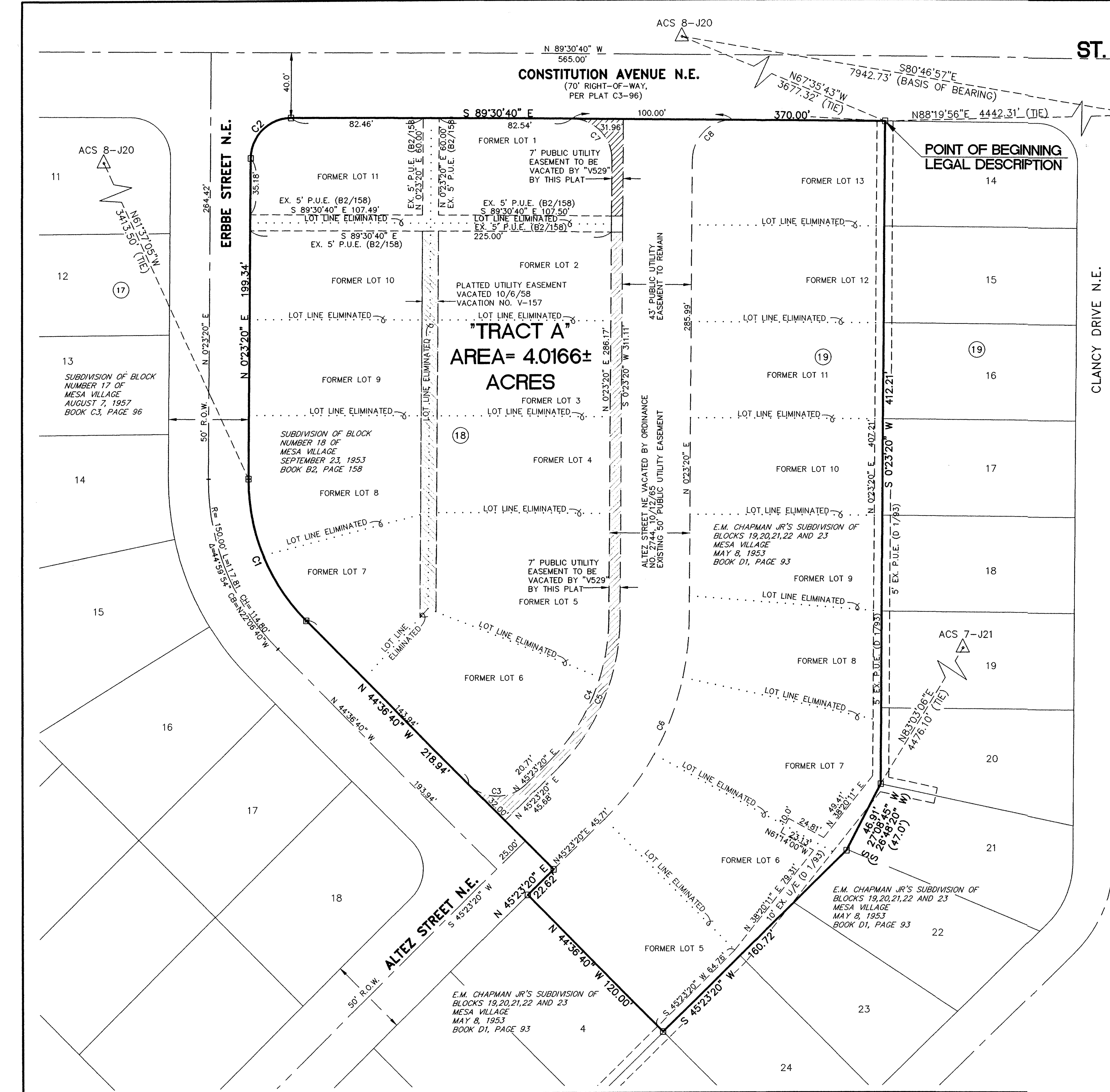
EASEMENT KEY

- VACATED EASEMENT
- VACATED EASEMENT (BY THIS PLAT)



TIE DETAIL
NOT TO SCALE

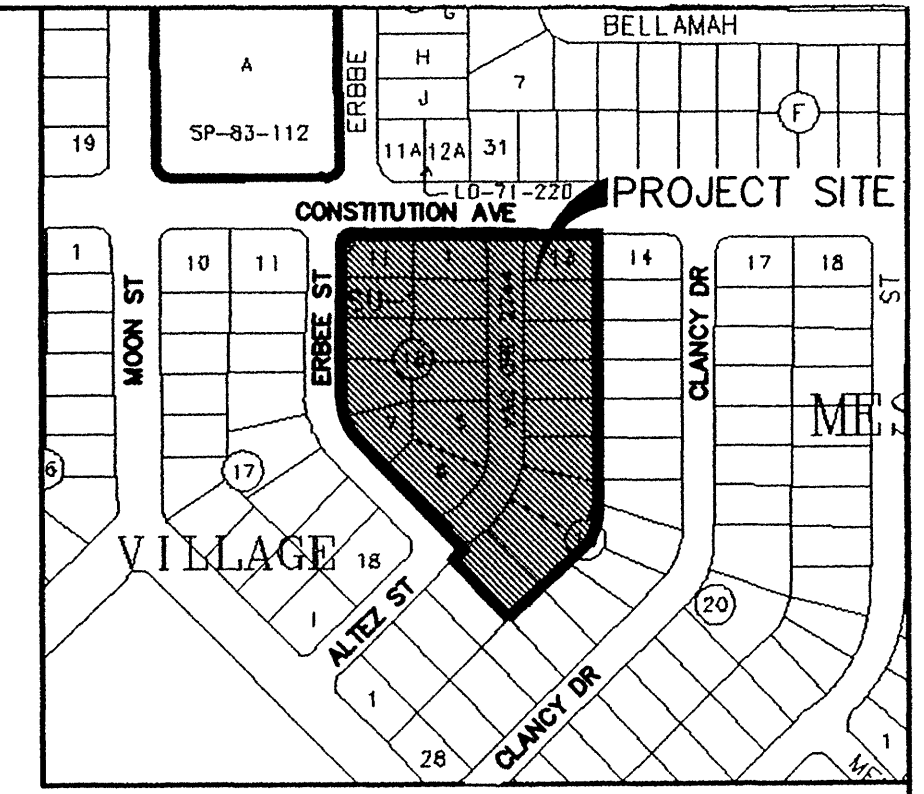
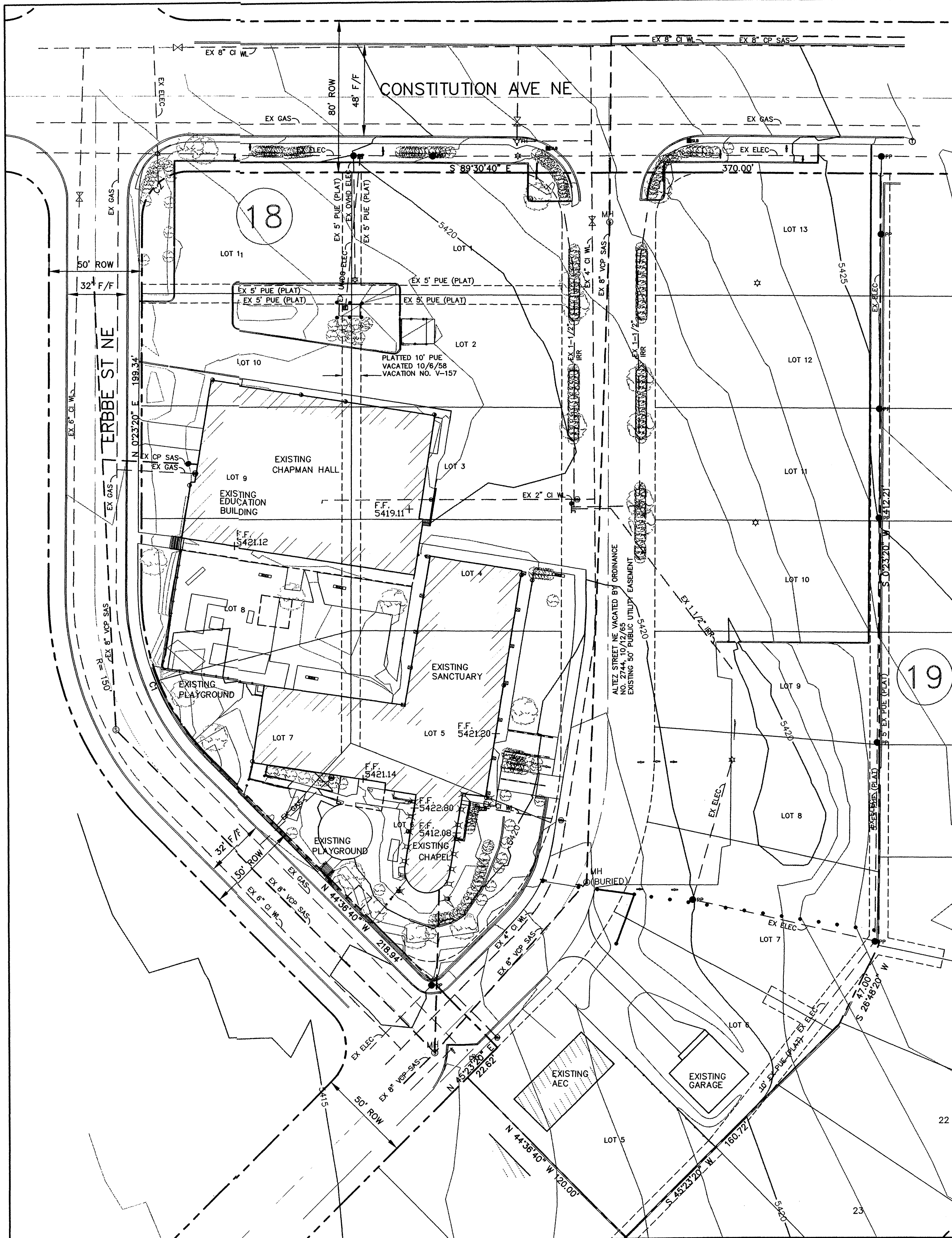
CURVE TABLE						
CURVE	Length (Feet)	Radius (Feet)	Delta	Tangent (Feet)	Chord Bearing	Chord Length (Feet)
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E.M. CHAPMAN JR'S SUBDIVISION OF BLOCKS 19,20,21,22 AND 23 MESA VILLAGE MAY 8, 1953 BOOK D1, PAGE 93

E.M. CHAPMAN JR'S SUBDIVISION OF BLOCKS 19,20,21,22 AND 23 MESA VILLAGE MAY 8, 1953 BOOK D1, PAGE 93

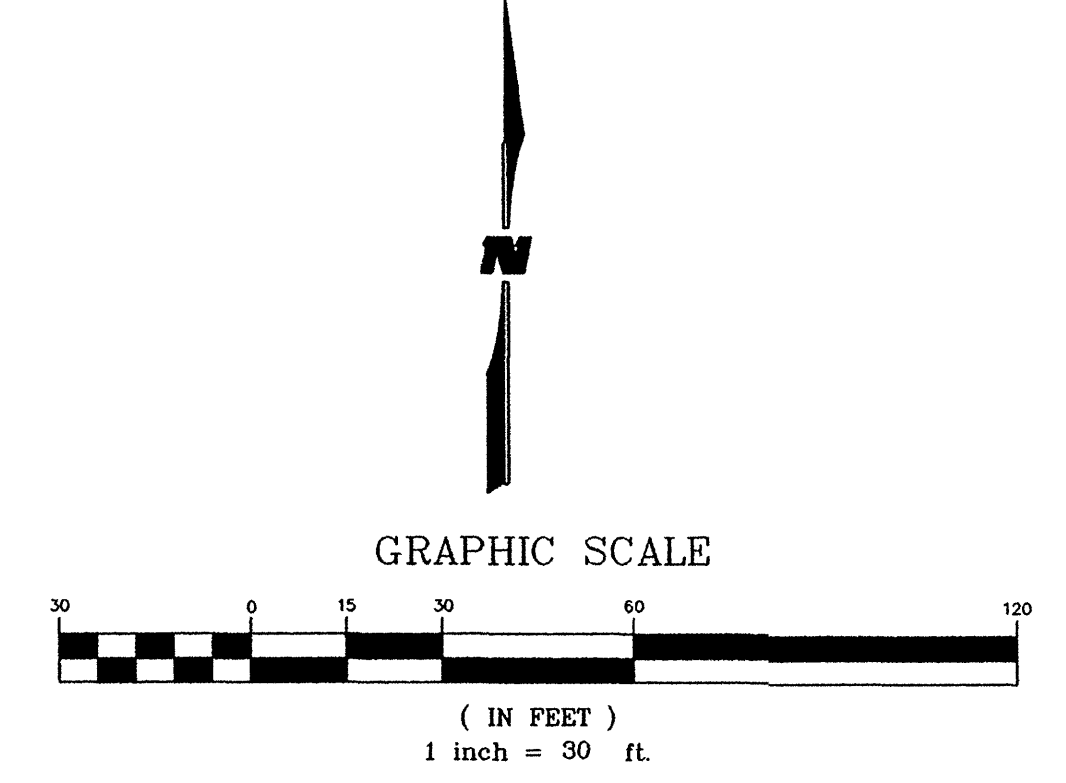
WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000
SHEET 2 OF 2
 WCEA PROJ. NO. X5-218-048



LOCATION MAP
ZONE ATLAS MAP NO. J-20

SYMBOL LEGEND	
[Symbol]	ELECTRIC BOX
[Symbol]	LIGHT POLE
[Symbol]	GUY WIRE
[Symbol]	POWER POLE
[Symbol]	ELECTRIC OUTLET
[Symbol]	SIGNAL LIGHT JUNCTION BOX
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	TELEPHONE MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	SPRINKLER HEAD
[Symbol]	SPRINKLER CONTROL BOX
[Symbol]	ROOF DRAIN
[Symbol]	CLEAN OUT
[Symbol]	BOLLARD
[Symbol]	BENCH
[Symbol]	GAS METER
[Symbol]	GAS VALVE
[Symbol]	SIGN
[Symbol]	BUILDING COLUMN (2.30'x1.65')
[Symbol]	BUILDING COLUMN (0.40'x0.90')
[Symbol]	HAND RAIL
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	WOOD FENCE
[Symbol]	CHAINLINK FENCE
[Symbol]	EXISTING ELECTRIC
[Symbol]	EXISTING GAS
[Symbol]	EXISTING WATER
[Symbol]	EXISTING SAS
[Symbol]	CONTROL POINT
[Symbol]	SPOT ELEVATION
[Symbol]	SCRUB
[Symbol]	DECIDUOUS TREE
[Symbol]	EVERGREEN TREE

LEGAL DESCRIPTION
LOTS 6 THRU 13, BLOCK 19 & LOTS 1 THRU 11, BLOCK 18,
MESA VILLAGE SUBDIVISION



WILSON & COMPANY
2600 THE AMERICAN ROAD S.E.
SUITE 100
RIO RANCHO, NEW MEXICO
87124
(505) 898-8021

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
ST. PAUL'S UNITED METHODIST CHURCH EXISTING CONDITIONS PLAN	
Design Review Committee	City Engineer Approval
City Project No.	Zone Map No.
	J-20
Sheet	Of
1	1

WCEA X5218048
JUNE 2005

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