

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

December 31, 2014

Project# 1004245 14DRB-70391 VACATION OF PUBLIC RIGHT-OF-WAY

MARK GOODWIN AND ASSOCIATES, PA agents for ANASAZI RIDGE, LLC request the referenced/ above action for a portion of MCMAHON BLVD NW (formerly Lot 9, Block 8, PARADISE HEIGHTS UNIT 5), located on the south side of MCMAHON BLVD NW between WESTSIDE BLVD NW and KAYENTA ST NW. (A-10)

At the December 31, 2014, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file per section 14-14-7-2(A)(1) and (B) (1)(3) of the Subdivision Ordinance.

- (A)(1) The public easement vacation request was filed by the owners of a majority of the footage of land abutting the proposed vacation.
- (B)(1) Based on the Long Range Major Street Plan and the proposed adjacent subdivision, the public welfare is in no way served by retaining the public right of way.
- (B)(3) There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

- 1. Final disposition shall be through the City Real Estate Office.
- 2. The vacated property shall be shown on the replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by January 15, 2015 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Jack Cloud, DRB Chair

Cc: file

Project# 1003445

15DRB-70020 – SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

MULLEN HELLER ARCHITECTURE agents for THREPROPERTIES LLC request the referenced/above action for Tract H, FOUNTAIN HILLS PLAZA zoned SU-1/PDA, located on the northwest corner of EAGLE RANCH RD NW and PASEO DEL NOTRE NW containing approximately .9755 acre. (C-12) [Deferred from 2/25/15, 3/11/15, 3/18/15] THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO WATER AUTHORITY FOR SERVICE CONNECTION AGREEMENT AND TO PLANNING FOR RECORDING OF EASEMENT AND 15 DAY APPEAL PERIOD.

4. Project# 1002739

14DRB-70240 – SITE DEVELOPMENT
PLAN FOR SUBDIVISION
14DRB-70241 - TEMPORARY
DEFERRAL OF SIDEWALK
CONSTRUCTION
14DRB-70242 - PRELIMINARY PLAT

MARK GOODWIN AND ASSOCIATES, P.A. agents for KB HOME INC request the referenced/ above actions for all or a portion of Parcel 4 Unit 1, plus Parcel 6A and Blocks 1-6 Unit 9, **ANDERSON HEIGHTS SUBDIVISON** zoned R-D & R-LT, located on the north side of COLOBEL AVE SW between 118th St SW and MORRISSEY ST SW containing approximately 89.0114 acres. (N-8)[Deferred from 8/6/14, 9/10/14, 10/1/14, 10/22/14, 11/5/14, 11/19/14, 1/28/15, 2/18/15] **DEFERRED TO 4/15/15.**

5. Project# 1004245
14DRB-70220 - TEMPORARY
DEFERRAL OF SIDEWALK
CONSTRUCTION
14DRB-70221 PRELIMINARY PLAT

MARK GOODWIN AND ASSOCIATES, P.A. agents for ANASAZI RIDGE LLC request the refedrenced/ above actions for all or a portion of Blocks 7 - 9, 12 & 14, PARADISE HEIGHTS UNIT 5 zoned R-1, located on the south side of MCMAHON BLVD NW between WESTSIDE BLVD NW and KAYENTA ST NW containing approximately 6.76 acres. (A-10) [Deferred 7/16/14, 8/6/14, 9/10/14, 10/8/1, 11/5/14, 11/19/14, 12/10/14, 1/21/15, 1/28/15, 2/18/15] THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/25/15, ANDWITH AN APPROVED GRADING AND DRAINAGE PLAN **ENGINEER STAMP DATED 3/4/15 THE PRELIMINARY** PLAT WAS APPROVED.

3. Project# 1010182 15DRB-70024 EPC APPROVED SDP FOR BUILDING PERMIT GARCIA/KRAEMER & ASSOC. agent(s) for HOGARES INC request(s) the above action(s) for all or a portion of Lot(s) 3 & 4, Block(s) 2, SANDIA PLAZA zoned SU-1 FOR R-T 4DU MAX, located on GRIEGOS RD NW BETWEEN 12TH ST NW AND GRANDE AVE NW containing approximately .35 acre(s). (F-14) [Deferred from 1/28/15, 2/4/15, 2/11/15] THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.

CASES WHICH REQUIRE PUBLIC NOTIFICATION MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

4. Project# 1002739

14DRB-70240 – SITE DEVELOPMENT
PLAN FOR SUBDIVISION
14DRB-70241 - TEMPORARY
DEFERRAL OF SIDEWALK
CONSTRUCTION

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5. Project# 1004245
14DRB-70220 - TEMPORARY
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MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. Project# 1006008 15DRB-70056 MAJOR - FINAL PLAT APPROVAL BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) A-6-A, A-6-B, MESA DEL SOL, INNOVATION PARK zoned PC, located on UNIVERSITY BETWEEN STRYKER AND STIEGLITZ containing approximately 6.77 acre(s). (R-16 & S-16) THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR VERIFICATION OF RIGHT-OF-WAY DEDICATION AND FUTURE TRACT DEVELOPMENT.



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December 31, 2014

Project# 1004245

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Jack Cloud, DRB Chair

Cc: file

CITY OF ALBUQUERQUE PLANNING DEPARTMENT January 21, 2015 DRB Comments

ITEM #4

PROJECT # 1004245

APPLICATION # 14-70220/ 70221

RE: Blocks 7 – 9, 12 & 14, PARADISE HEIGHTS UNIT 5

The creation of additional Tracts encumbered by easements is not appropriate given the relatively small number of lots in the proposed subdivision.

Refer to comments from Transportation Development regarding cul de sacs for Sipapu Dr (vs. stub street) and Westside Blvd (vs. utilizing Parsons Blvd for temporary turnaround).

Refer to DRB comments regarding Sidewalk Waiver; a pedestrian connection from Sipapu to McMahon should be shown on Infrastructure List and Grading Plan.

An approved Grading & Drainage Plan is required concurrent with Preliminary Plat approval; more information is needed regarding 'new' spillway in Calle Vizcaya vs. existing spillway.

Jack Cloud, DRB Chairman 924-3880/jcloud@cabq.gov

CITY OF ALBUQUERQUE PLANNING DEPARTMENT October 30, 2013 DRB Comments

ITEM # 13

PROJECT # 1004245

APPLICATION # 13-70720

RE: Paradise Heights/ tbka Anasazi Ridge Unit 3

AGIS and the Planning Dept Case Tracking indicate that the 2005 zone change was completed – a zone change or an R-1 Zoning Certificate will be required.

Vacations of right of way will be required; it appears the connection of Westside and Parsons will need to be maintained in some fashion – refer to comments from Transportation Development.

Jack Cloud, DRB Chairman 924-3880/ jcloud@cabq.gov

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	Project Number:

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INFRASTRUCTURE LIST

Date Submitted:	
Date Site Plan Approved:	_
Date Preliminary Plat Approved:	_
Date Preliminary Plat Expires:	_
DRB Project No.:	
DRB Application No.:	

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Anasazi Ridge Unit 3

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Portions of Lot 3, 4-9, Blk 7, Lots 9-13 Blk 8, Lot 12, Block 9, and Lots 2-10, **Blk 14**

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size 32' FF 4'	Type of Improvement PAVING Perm Pvmt C&G (both sides) Sidewalk (both sides) Non-Deferred	Location Atlat! Drive NW	From Westside Blvd	To McMahon Blvd	Private Inspector	City Inspector /	City Cnst Engineer /
		26' FF 4'	Perm Pvmt C&G (both sides) Sidewalk (North Side) (1)	Westside Blvd	Tract E	Sipapu Drive NW			
		26' FF 4'	Perm Pvmt C&G (both sides) Sidewalk (both sides) (1)	Sipapu Drive NW	Westside Blvd	McMahon Blvd			
		26' FF 4'	Perm Pvmt C&G (both sides) Sidewalk (both side) (1)	Canty Ct.	Cul-de-Sac	Sıpapu Drive NW			
		32' FF	Perm Pvmt C&G (Southside) Median C&G (Northside) 6' Sidewalk (Southside) Non-Deferred	McMahon Bivd.	Western Boundary	Lot 9			
		32' FF	Perm Pvmt C&G (Southside) Median C&G (Northside) 6' Sidewalk (Southside) Non-Deferred	McMahon Bivd	Eastern Boundary	Lot 9			

6 &		•				<u>.</u> .	
	8"	WATER Waterline	Atlatl Drive NW	Westside Blvd	McMahon Blvd		
	8"	Waterline	Westside Blvd	Tract E	Sipapu Drive NW		
	6"	Waterline	Sıpapu Drive NW	Westside Blvd	McMahon Blvd		
<u>-</u>	6"	Waterline	Canty Ct.	Cul-de-Sac ·	Sıpapu Drive NW		
	12"	Waterline	McMahon Blvd	Atlati Drive NW	Eastern Boundary		
	8"	Waterline	25' Utility Easement	Sipapu Drive NW	Connection to Calle Vizcaya		
	8"	SANITARY SEWER Sanitary Sewer	Westside Blvd	Tract E	Sipapu Drive NW		
	8"	Sanitary Sewer	Sıpapu Drive NW	Westside Blvd	Lot 15		
	6"	Sanıtary Sewer	Canty Ct.	Cul-de-Sac	Sipapu Drive NW		
	8"	Sanitary Sewer	25' Utılity Easment	Sipapu Drive NW	Connection to Calle Vizcaya		
	10' Wide	DRAINAGE Outfall Channel	Kayenta Bivd.	Kayenta Blvd.	Calabacillas Arroyo		
	16'	Sidewalk Culverys	Sipapu Drive NW	Sipapu Drive NW	McMahon Blvd.		

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INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

TRANSIT & PARKING DEPARTMENT Shabih Rizvi COUNCIL OF GOVERNMENTS Kendra Watkins/Andrew Gingerich AMAFCA Lynn Mazur APD CRIME PREVENTION Steve Sink OPEN SPACE DIVISION Kent Reed Swanson FIRE DEPARTMENT Antonio Chinchilla ZONING ENFORCEMENT INSPECTOR David Kilpatrick NEIGHBORHOOD COORDINATION Stephani Winklepleck PNM Daniel Aragon NEW MEXICO GAS COMPANY Patrick Sanchez ALBUQUERQUE PUBLIC SCHOOLS April Winters COMCAST CABLE Mike Mortus Mid.Rio Grande Conserv. Dist. (MRGCD) Ray Gomez ENVIRONMENTAL HEALTH Paul Olson	TRANSPORTATION DEVELOPMENT	John MacKenzie
AMAFCA	TRANSIT & PARKING DEPARTMENT	Shabih Rizvi
APD CRIME PREVENTION	COUNCIL OF GOVERNMENTS	Kendra Watkins/Andrew Gingerich
OPEN SPACE DIVISION. Kent Reed Swanson FIRE DEPARTMENT. Antonio Chinchilla ZONING ENFORCEMENT INSPECTOR. David Kilpatrick NEIGHBORHOOD COORDINATION. Stephani Winklepleck PNM. Daniel Aragon NEW MEXICO GAS COMPANY. Patrick Sanchez ALBUQUERQUE PUBLIC SCHOOLS. April Winters COMCAST CABLE. Mike Mortus Mid.Rio Grande Conserv. Dist. (MRGCD). Ray Gomez	AMAFCA	Lynn Mazur
FIRE DEPARTMENT	APD CRIME PREVENTION	Steve Sínk
ZONING ENFORCEMENT INSPECTOR. David Kilpatrick NEIGHBORHOOD COORDINATION. Stephani Winklepleck PNM. Daniel Aragon NEW MEXICO GAS COMPANY. Patrick Sanchez ALBUQUERQUE PUBLIC SCHOOLS. April Winters COMCAST CABLE. Mike Mortus Mid.Rio Grande Conserv. Dist. (MRGCD). Ray Gomez	OPEN SPACE DIVISION	Kent Reed Swanson
NEIGHBORHOOD COORDINATION	FIRE DEPARTMENT	Antonío Chinchilla
PNM	ZONING ENFORCEMENT INSPECTOR	Davíd Kílpatríck
PNM	NEIGHBORHOOD COORDINATION	Stephaní Winklepleck
NEW MEXICO GAS COMPANY		
COMCAST CABLE	NEW MEXICO GAS COMPANY	Patríck Sanchez
Mid.Rio Grande Conserv. Dist. (MRGCD)	ALBUQUERQUE PUBLIC SCHOOLS	April Winters
	COMCAST CABLE	Mike Mortus
	Mid.Rio Grande Conserv. Dist. (MRGCD)	

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1004245

WEDNESDAY, July 16, 2014

Comments must be received by:

Friday, July 9, 2014

Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Major subdivision action Minor subdivision action	• •		•	•	
		S Z	Z		3 & PLANNING Annexation
					Allication
Vacation Variance (Non-Zoning)		V			Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector
SITE DEVELOPMENT PLAN		P	•		Development Plans) Adoption of Rank 2 or 3 Plan or similar
for Subdivision for Building Permit					Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
Administrative Amendment/Approva IP Master Development Plan	I (AA)	D			Street Name Change (Local & Collector)
Cert. of Appropriateness (LUCC)		L A	4		L / PROTEST of
STORM DRAINAGE (Form D) Storm Drainage Cost Allocation Plan	n				Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
PRINT OR TYPE IN BLACK INK ONLY. The application of application. Ref	ter, 600 2	2 nd Stre	et N	W, Albu	querque, NM 87102.
APPLICATION INFORMATION:					
Professional/Agent (if any): Mork Gazdwin 3	à Associ	aks, f	04	<u> </u>	PHONE: <u> </u>
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CITY: OUNOGUEZUE	. SIAIL _	TIII	4 1 F _		L-WAIL, K-WESTERY C GOODEN STREETS.CO
APPLICANT: Chasseri Redge, LC	<u>.</u>		. <u> </u>		PHONE: <u>ほみま 1106</u>
ADDRESS: PO Gox 12317					FAX:
CITY: Albuguergue	STATE _	nm	ZIP_	87195	E-MAIL:
Proprietary interest in site: عمصمحت		List <u>all</u>	own	ers:	· · · · · · · · · · · · · · · · · · ·
DESCRIPTION OF REQUEST: Yacatan Of Pa	ublic (Right	DC.	wing	for Anasari Radge 3.
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FORM V: SUBDIVISION VARIANCES & VACATIONS

	Application for Minor Plat on FORM S-3, including those submittal requirements. 24 copies Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all
	improvements to be waived. Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
	 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement
	Fee (see schedule) List any original and/or related file numbers on the cover application
	DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
	VACATION OF PUBLIC EASEMENT (DRB27)
X	VACATION OF PUBLIC RIGHT-OF-WAY (DRB28) X The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies.
	Not required for City owned public right-of-way.) \(\text{X} \) Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies
	Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request
١	Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement
ι	Fee (see schedule)
	List any original and/or related file numbers on the cover application Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
	Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies
	 Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the variance or waiver
	List any original and/or related file numbers on the cover application DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
	SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25)
	Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies
	 Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the variance
	 Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement
	 Fee (see schedule) List any original and/or related file numbers on the cover application
	DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required.
	TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19)
Ш	EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07) Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies
	 Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the deferral or extension
	List any original and/or related file numbers on the cover application DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
	VACATION OF PRIVATE EASEMENT (DRB26) VACATION OF RECORDED PLAT (DRB29)
	The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies
	Zone Atlas map with the entire property(ies) clearly outlined Letter/documents briefly describing, explaining, and justifying the vacation 6 copies
	Letter of authorization from the grantors and the beneficiaries (private easement only)
	 Fee (see schedule) List any original and/or related file numbers on the cover application
	Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.
I, t	he applicant, acknowledge that any
	ormation required but not submitted This application will likely result in This application will likely result in
	erral of actions. When Alleba 1-25-14
	Applicant signature / date Form revised 4/07
, ,	Checklists complete Application case numbers
\mathbf{Z}	Fees collected U D Z G - VOS 1/- Case #s assigned
	Related #s listed ————————————————————————————————————

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

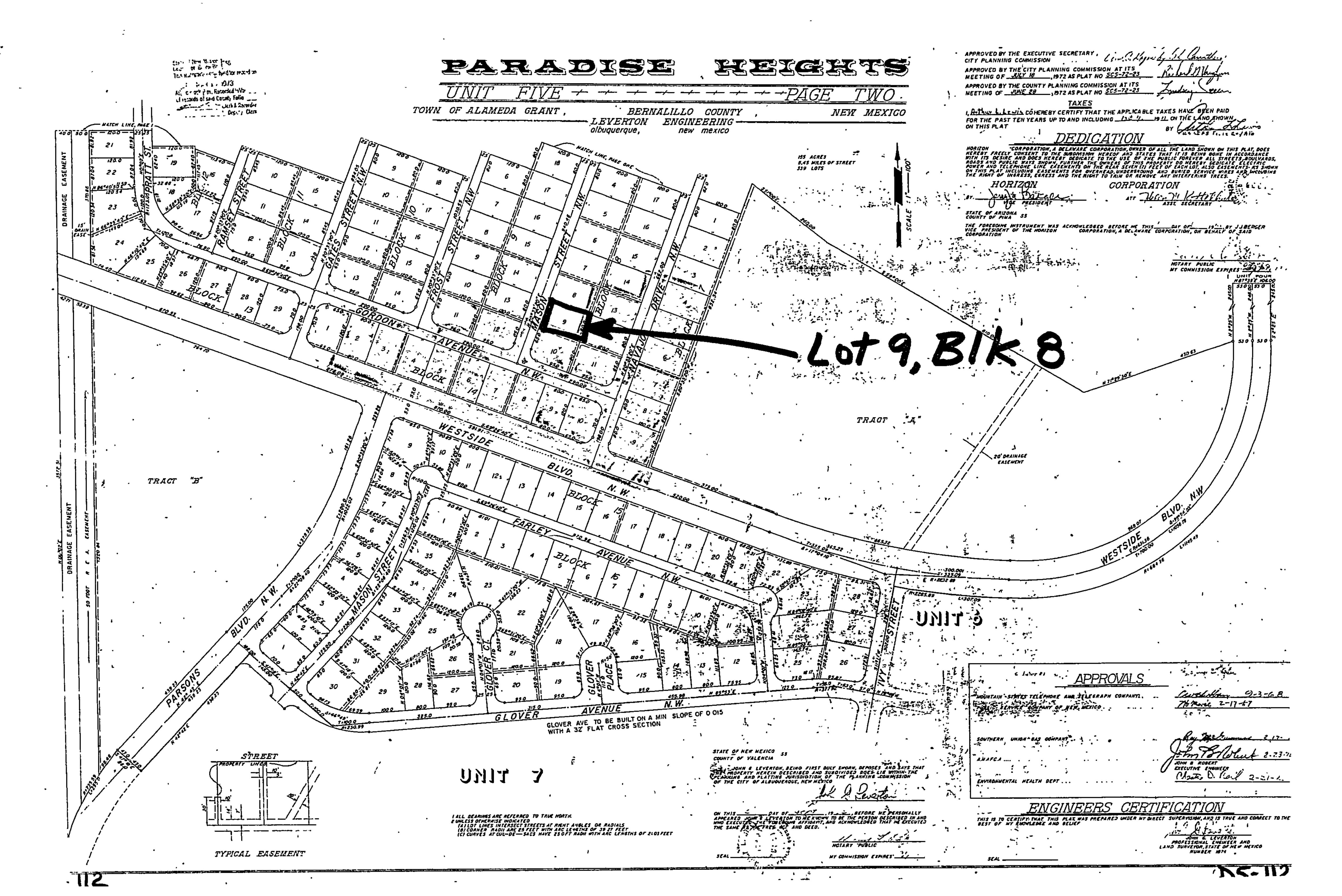
3. PHYSICAL POSTING

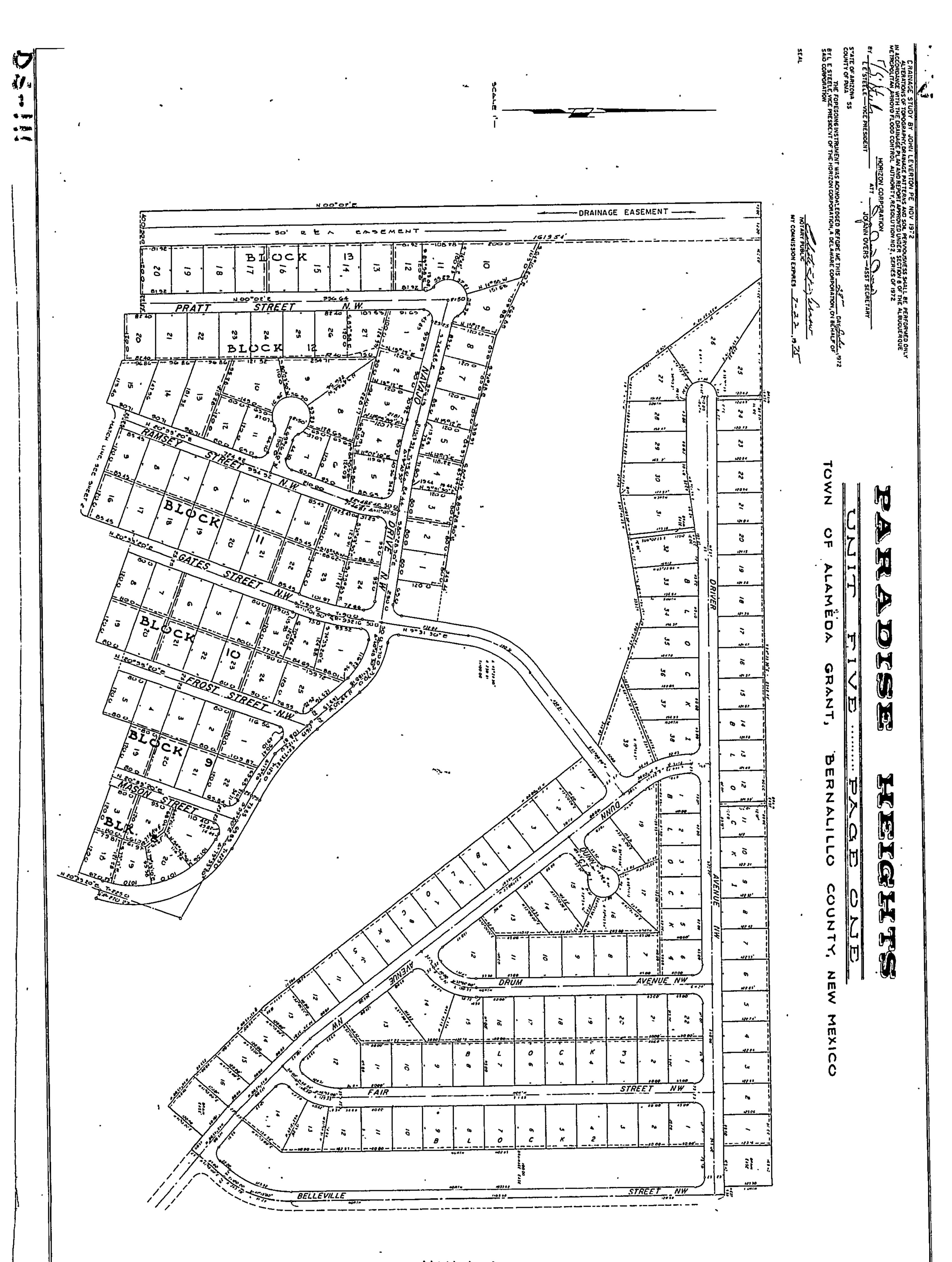
- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4.	TIME		
Signs mus	st be po	sted from <u>December 5, 14</u> To <u>Decem</u>	1 31, 14
5.	REMC	VAL	
	A. B.	The sign is not to be removed before the initial hearing on the The sign should be removed within five (5) days after the init	•
	to keep	heet and discussed it with the Development Services Front Co the sign(s) posted for (15) days and (B) where the sign(s) are et.	• • • • • • • • • • • • • • • • • • • •
		(Applicant or Agent)	(Date)
issued _	si	igns for this application,,,,	(Staff Member)

PROJECT NUMBER: 100 4245

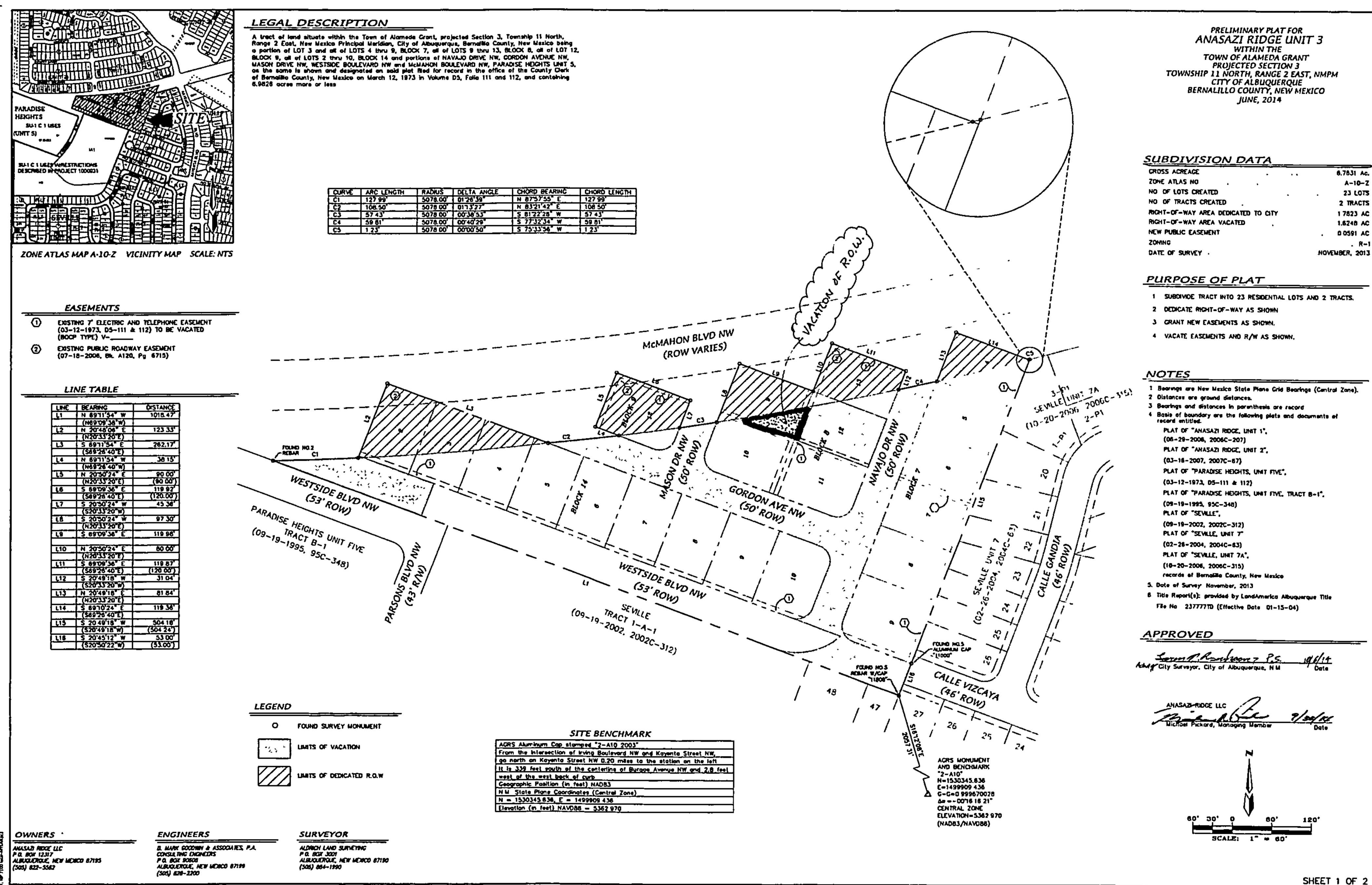
Rev. 1/11/05





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FORTH 10041245

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Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

		Supplemer	ntal Form (SF)		
_	SUBDIVISION Major subdivision action		S Z	ZONING & PLANNING Annexation	G	
	Minor subdivision action					
	Vacation Variance (Non-Zoning)		V	Zone Map Ame Zoning, include	s Zoning within	•
S	SITE DEVELOPMENT PLAN		P	Development P Adoption of Rai	•	or similar .
_	for Subdivision			Text Amendme	•	-
_	for Building Permit Administrative Amendment	/Approval (AA)		Plan(s), Zoning	Code, or Subc	i. Regulations
	IP Master Development Pla Cert. of Appropriateness (L	an	D	Street Name C	nange (Local &	Collector)
_		.000,	L A	APPEAL / PROTEST		, 2. Diamaina
-	STORM DRAINAGE (Form D) Storm Drainage Cost Alloc	ation Plan		Decision by: DF Director, ZEO, Z	-	
Planning	OR TYPE IN BLACK INK ONLY Department Development Servist be paid at the time of applicat	ices Center, 600 2 ^r	rd Street N	W, Albuquerque, NM 8	37102.	n in person to the
	ION INFORMATION:					
Profes	ssional/Agent (if any): <u>Mould റിയ</u>	twin ? Associ	otes Pl	<u>}</u>	PHONE:&	38.9900
ADDR	ESS: 00 Boy 90606				FAX:	
CITY:	Albuguergue	STATE <u>r</u>	<u>rm</u> ZIP_	87199_E-MAIL:_	1Chrashear	<u>e guadwinengineers</u>
APPL	ICANT: Anasazi Ridge LLC			PHO	ONF: &a.t	- 1100
	ESS: PO Box 12317			FA:		
	Albuguerque	STATE	1.0m 7!P	87195 E-MAIL:		
	etary interest in site: <u>Swer 3</u>					
	ION OF REQUEST: VQCQton c					
	& Preliminary Plat Appro				•	-
						yr and
	applicant seeking incentives pursuant to		•			
	RMATION: ACCURACY OF THE EXI		KIPTION 15			
	Tract No. 1000 See at			Block: See o	<u>ztached</u> Ur	nit:3
	V/Addn/TBKA: Agasaz: Redge		•	<i>O</i> 1		<u> </u>
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Zone A	Atlas page(s): YA-\O	UPC Code	e: <u>1010</u>	061302912100) &	
CASE HIST List an	TORY: ny current or prior case number that ma	ay be relevant to your a	application (I	² roj., App., DRB-, AX_,Z_, \	/_, S_, etc.):	
	<u>ject 1004245</u>					
	ORMATION: city limits? <u>√</u> Yes Wi	thin 1000FT of a landfi	11?			•
				Total site area (acres):	6.98	
	TION OF PROPERTY BY STREETS:		_		<u> </u>	•
	en: McMahon Bluch	•	•			
					Doviou Doto	
Check	if project was previously reviewed by:	Sketch Plat/Plan L or	Pre-applica	uon Review Team(PRT) □.	Review Date:	
SIGNATUR		<u> </u>			DATE 6/2	0/14
(Print	Name) John Gilbetly 1	5 <u>T.</u>		<u> </u>	Applicant: □ A	gent:
OR OFFIC	CIAL USE ONLY				Rev	rised: 4/2012
INTER	NAL ROUTING	Application case nu	mbers	Action	S.F.	Fees
_ •	cklists are complete	14DRB - 7	0218	VPE		\$ 45.00
	s have been collected	JYDRB - 7	10219	VRON	<u> </u>	\$ 300.00
_	e #s are assigned copy has been sent	14DRB - 7	0220	TDS	-	<u>50.00</u>
_	istory #s are listed	14DRB - 7	0221	PP		<u>945.00</u>
] Site is v	within 1000ft of a landfill			HDL		<u> </u>
_	P. density bonus		1 .	CMF	•	Total 20.00
. F.M.V.ì -	P. fee rebate	Hearing date	<u> </u>	6,6014	1	\$1435.00
. ` `	V /	6-20-14	Proj	ect# 10042	15	

Staff signature & Date

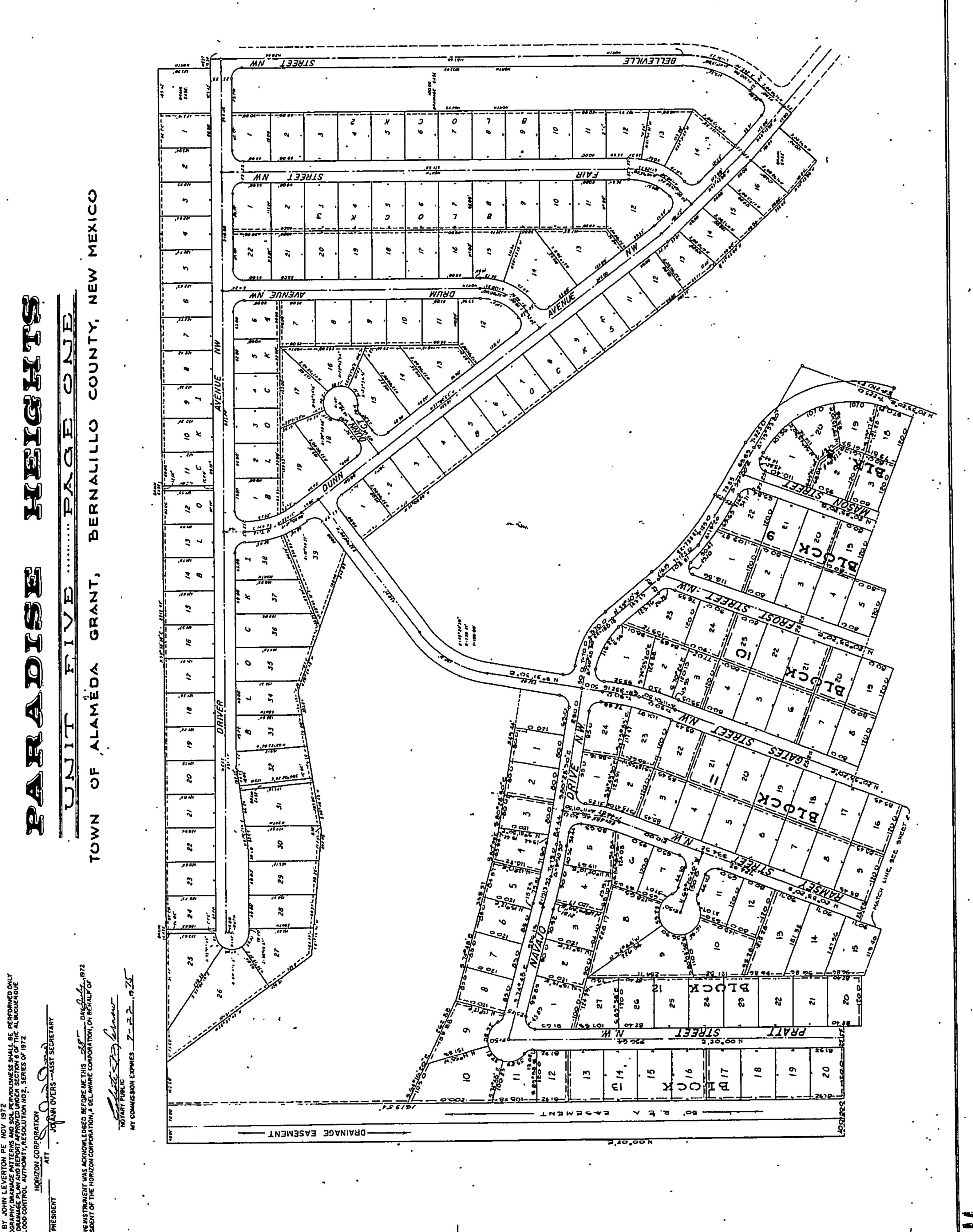
FORM V: SUBDIVISION VARIANCES & VACATIONS (PUBLIC HEARING CASE) **BULK LAND VARIANCE (DRB04)** 24 copies Application for Minor Plat on FORM S-3, including those submittal requirements. Letter briefly describing and explaining: the request, compliance with the Development Process Manual, and all improvements to be waived. Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM) Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement ___ Fee (see schedule) List any original and/or related file numbers on the cover application DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required. **VACATION OF PUBLIC EASEMENT (DRB27)** VACATION OF PUBLIC RIGHT-OF-WAY (DRB28) ____ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for City owned public right-of-way.) Drawing showing the easement or right-of-way to be vacated, etc. (not to exceed 8.5" by 11") 24 copies Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement ✓ Fee (see schedule) List any original and/or related file numbers on the cover application Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required. SIDEWALK VARIANCE (DRB20) SIDEWALK WAIVER (DRB21) Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the variance or waiver List any original and/or related file numbers on the cover application DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required. SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS (DRB25) Scale drawing showing the location of the proposed variance or waiver (not to exceed 8.5" by 14") 24 copies Zone Atlas map with the entire property(ies) clearly outlined ___ Letter briefly describing, explaining, and justifying the variance ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts ___ Sign Posting Agreement ___ Fee (see schedule) List any original and/or related file numbers on the cover application DRB meetings are approximately 30 DAYS after the filing deadline. Your attendance is required. TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB19) EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION (DRB07) Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the deferral or extension List any original and/or related file numbers on the cover application VACATION OF PRIVATE EASEMENT (DRB26) **VACATION OF RECORDED PLAT (DRB29)** The complete document which created the private easement/recorded plat (not to exceed 8.5" by 14") 6 copies Scale drawing showing the easement to be vacated (8.5" by 11") 6 copies Zone Atlas map with the entire property(ies) clearly outlined Letter/documents briefly describing, explaining, and justifying the vacation 6 copies Letter of authorization from the grantors and the beneficiaries (private easement only) Fee (see schedule) List any original and/or related file numbers on the cover application Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. I, the applicant, acknowledge that any information required but not submitted Applicant name (print) with this application will likely result in deferral of actions. HEM WEXICO Applicant signature / date

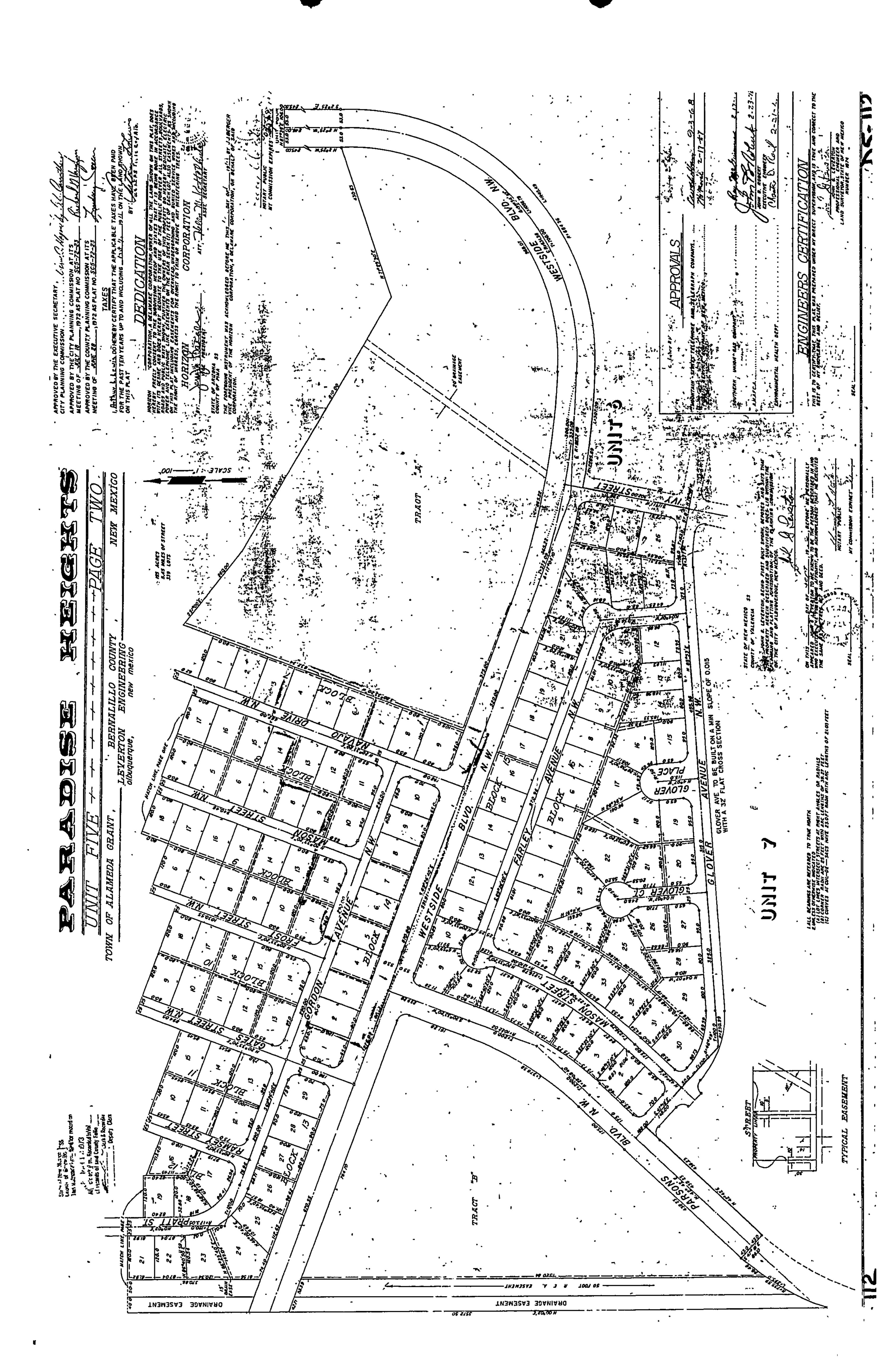
Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required. Form revised 4/07 Application case numbers Checklists complete -70218 Fees collected Planner signature / date Case #s assigned Project # Related #s listed

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

	MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13) N 5 Acres or more: Certificate of No Effect or Approval Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies Proposed Infrastructure List Signed Preliminary Pre-Development Facilities Fee Agreement for Residential development only Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum) Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request Property owner's and City Surveyor's signature on the proposed plat FORM DRWS Drainage Report, Water & Sewer availability statement filing information Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement List Signed Pre-Annexation Agreement if Annexation required. TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form Fee (see schedule) List any original and/or related file numbers on the cover application Preliminary plat approval expires after one year. DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
	MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes) PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing. Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request Property owner's and City Surveyor's signature on the proposed amended plat, if applicable Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement List any original and/or related file numbers are listed on the cover application Amended preliminary plat approval expires after one year. DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
	MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09) (Temporary sidewalk deferral extension use FORM-V) Zone Atlas map with the entire property(ies) clearly outlined Letter briefly describing, explaining, and justifying the request Plat or plan reduced to 8.5" x 11" Official D.R.B. Notice of the original approval Approved Infrastructure List. If not applicable, please initial. Previous SIA extension notice, if one has been issued. If not applicable, please initial. Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts Sign Posting Agreement List any original and/or related file numbers on the cover application Fee (see schedule) DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.
nfo vith lefe	The applicant, acknowledge that any required but not submitted a this application will likely result in erral of actions. Checklists complete Fees collected Case #s assigned Related #s listed Applicant any following point in this application will likely result in property for the project # DRP - 7092 Planner signature / date Project # DY245





Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Suppler	nental Form	(SF)
SUBDIVISION	s z	ZONING & PLANNING
Major subdivision action Minor subdivision action		Annexation
Vacation Variance (Non-Zoning)	V	Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector
SITE DEVELOPMENT PLAN	P	Development Plans) Adoption of Rank 2 or 3 Plan or similar
for Subdivision for Building Permit	•	Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
Administrative Amendment/Approval (AA) IP Master Development Plan	Ð	Street Name Change (Local & Collector)
Cert. of Appropriateness (LUCC)	L A	APPEAL / PROTEST of
STORM DRAINAGE (Form D) Storm Drainage Cost Allocation Plan		Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other
PRINT OR TYPE IN BLACK INK ONLY. The applicant Planning Department Development Services Center, 600 Fees must be paid at the time of application. Refer to su	2 nd Street	NW, Albuquerque, NM 87102.
APPLICATION INFORMATION:		
Professional/Agent (if any): Mark 6000 4000 4 Asso	x totes	PHONE: 828.9900
ADDRESS: 00 Box 90404		FAX:
CITY: Albuguergue STATE	<u>nm</u> ZII	2 87199 E-MAIL: Khrashear c goodwinengineers con
APPLICANT: Anasazi Redge LLC		PHONE:
ADDRESS: PO Box 12317		FAX:
CITY: Albusuerger STATE	<u>nm</u> ZI	- 87195 E-MAIL:
Proprietary interest in site: <u>owner 3</u>	List <u>all</u> ov	vners:
DESCRIPTION OF REQUEST: <u>Vocation of Public E</u>	asement	vacation of Public Right of way
		edge, Unit 3 und sidewalk defféral
Is the applicant seeking incentives pursuant to the Family Housi		
SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DE		
		Block: <u>See a Hached</u> Unit: 3
- · · · · · ·· · · · · · · · · · · ·		
		R-1 MRGCD Map No
		00613089121008
Zone Auas page(s): Pr. 10	,006. <u>10-1</u>	<u> </u>
	ur application	(Proj., App., DRB-, AX_,Z_, V_, S_, etc.):
Orosect 1004245 CASE INFORMATION:		<u> </u>
Within city limits? <u>√</u> Yes Within 1000FT of a la	ndfill?	<u></u>
No. of existing lots: No. of proposed lots:	: <u>23</u>	Total site area (acres): 98
LOCATION OF PROPERTY BY STREETS: On or Near:S	spapu	Dive
Between: McMahon Blud	•	
Check if project was previously reviewed by: Sketch Plat/Plan □		
Check if project was previously reviewed by. Sketch FlauFlan C	1 OI LIE-ahhii	
SIGNATURE WWW AND TO THE TOTAL SIGNATURE	•	DATE 6/20/14
(Print Name) John Gilberty Ft.		Applicant: Agent:
OR OFFICIAL USE ONLY		Revised: 4/2012
] INTERNAL ROUTING Application case	numbers	Action S.F. Fees
All checklists are complete	70218	<u>VPE</u> <u>\$45.60</u>
All fees have been collected All case #s are assigned	<u> つのスパ</u>	1 <u>VROW</u> <u>\$300.00</u>
AGIS copy has been sent	7022	
Case history #s are listed	<u> </u>	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Site is within 1000it of a landilli F.H.D.P. density bonus		Total 20.00
F.H.D.P. fee rebate Hearing date	<u>Zuly</u>	16 2014 \$ 1435.00
V 11 - 6-20-14	_	roject # 1004245
Staff signature & Dat	, e	



OI	RM V: SUBDIVISION VARIANCES & VACATIONS		
	BULK LAND VARIANCE (DRB04) Application for Minor Plat on FORM S-3, including those Letter briefly describing and explaining: the request, comprovements to be waived. Notice on the proposed Plat that there are conditions to Office of Community & Neighborhood Coordination in Sign Posting Agreement Fee (see schedule) List any original and/or related file numbers on the covered DRB Public hearings are approximately 30 DAYS after	mpliance with the Development Process Manual, and all subsequent subdivision (refer to DPM) uiry response, notifying letter, certified mail receipts er application	
r	VACATION OF PUBLIC EASEMENT (DRB27) ✓ VACATION OF PUBLIC RIGHT-OF-WAY (DRB28) ✓ The complete document which created the public ease (Not required for City owned public right-of-way.) ✓ Drawing showing the easement or right-of-way to be vary and the easement of right-of-way.) ✓ Letter briefly describing, explaining, and justifying the result of the easement of the	acated, etc. (not to exceed 8.5" by 11") 24 copies lined equest uiry response, notifying letter, certified mail receipts er application orded by the County Clerk within one year, it will expire.	
	SIDEWALK VARIANCE (DRB21) Scale drawing showing the proposed variance or waive Zone Atlas map with the entire property(ies) clearly out Letter briefly describing, explaining, and justifying the Value List any original and/or related file numbers on the covered DRB meetings are approximately 8 DAYS after the Tuest.	lined ariance or waiver	
	SUBDIVISION DESIGN VARIANCE FROM MINIMUS Scale drawing showing the location of the proposed variance. Zone Atlas map with the entire property(ies) clearly out Letter briefly describing, explaining, and justifying the variance. Office of Community & Neighborhood Coordination inquising Posting Agreement. Fee (see schedule) List any original and/or related file numbers on the covered DRB meetings are approximately 30 DAYS after the filing.	riance or waiver (not to exceed 8.5" by 14") 24 copies lined ariance uiry response, notifying letter, certified mail receipts er application	
	Zone Atlas map with the entire property(ies) clearly out Letter briefly describing, explaining, and justifying the describing. List any original and/or related file numbers on the coverage.	OF SIDEWALK CONSTRUCTION (DRB07) deferral or extension (not to exceed 8.5" by 14") 6 copies lined eferral or extension	
	 Scale drawing showing the easement to be vacated (8. Zone Atlas map with the entire property(ies) clearly out Letter/documents briefly describing, explaining, and just Letter of authorization from the grantors and the benefit Fee (see schedule) List any original and/or related file numbers on the cove Unless the vacation is shown on a DRB approved plat recovery 	lined tifying the vacation 6 copies ciaries (private easement only) er application	
oı th	he applicant, acknowledge that any ormation required but not submitted that he this application will likely result in the ferral of actions.	Applicant signature / date	
	Checklists complete Application case numbers	Form revised 4/07	

I, the applicant, acknowledge information required but not with this application will likely deferral of actions.	submitted	John Gilety Applicant name (pr	20/14
Checklists complete Fees collected Case #s assigned Related #s listed	Application case numbers 14DRB - 70219 14DRB - 70219 14DRB - 70220	Form revised 4 Pla Project # 1004245	107 しーフローリ nner signature / date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

Proposed Preliminary I Proposed Infrastructure Signed Preliminary Presign elevations & crack Zone Atlas map with the Letter briefly describing Property owner's and Community & Sign Posting Agreement Sign Posting Agreement Signed Pre-Annexation TIS/AQIA Traffic Impact Fee (see schedule) List any original and/or Preliminary plat approval	e List e-Development Facilities Fee Agrees sections of perimeter walls be entire property(ies) clearly outling, explaining, and justifying the recity Surveyor's signature on the place Report, Water & Sewer available Neighborhood Coordination inquired Study / Air Quality Impact Assemble of the Cover of the cover expires after one year.	colded to fit into an 8.5" by 14" pocket) eement for Residential development 3 copies (11" x 17" maximum) ined equest proposed plat pility statement filing information airy response, notifying letter, certified ed. essment form	only mail receipts
PLEASE NOTE: There a subdivision amendments public hearing. Proposed Amended Proposed	are no clear distinctions between Significant changes are thoseliminary Plat, and/or Infrastructures at, and/or Infrastructure List, and/or entire property(ies) clearly outling, explaining, and justifying the receity Surveyor's signature on the property Neighborhood Coordination inquint related file numbers are listed on the property approval expires after one year	quest roposed amended plat, if applicable iry response, notifying letter, certified the cover application	with regard to public notice and o fit into an 8.5" by .5" by 14" pocket)
(Temporary sidewalk de Zone Atlas map with the Letter briefly describing Plat or plan reduced to Official D.R.B. Notice of Approved Infrastructure Previous SIA extension Office of Community & Sign Posting Agreemen List any original and/or Fee (see schedule)	f the original approval List. If not applicable, please init notice, if one has been issued. I Neighborhood Coordination inquint related file numbers on the cover	ned quest itial If not applicable, please initial iry response, notifying letter, certified	
I, the applicant, acknowledge information required but not swith this application will likely deferral of actions.	submitted	John Gilletty Applicant name (pr Applicant signature / d	0/14
Checklists complete Fees collected Case #s assigned Related #s listed	Application case numbers 140287022)	Form revised October 20 Plan Project # 094244	nner signature / date



D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~

~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

June 20, 2014

Mr. Jack Cloud DRB Chair City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

Re: Anasazi Ridge Unit 3

Dear Mr. Cloud:

Attached, please find the following:

- Preliminary Plat for 23 residential lots
- Sidewalk Deferral Exhibit
- Grading Plan
- Infrastructure List
- Vacation Request

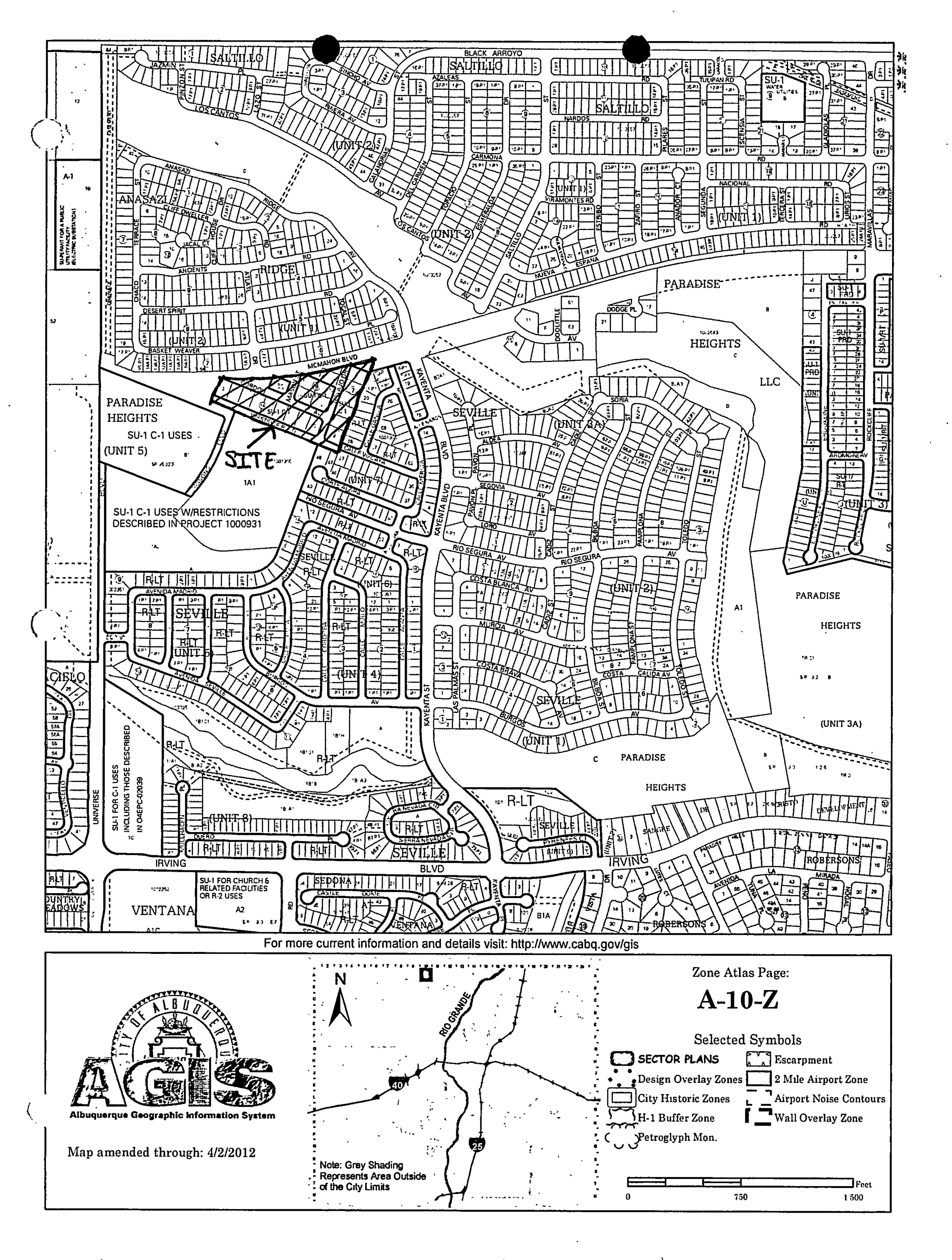
We propose to Vacate the existing antiquated platted right-of-way and lots, and re-configure the property as shown. The property was re-zoned in May of this year from SU-1 for C-1 to R-1 in advance of this request.

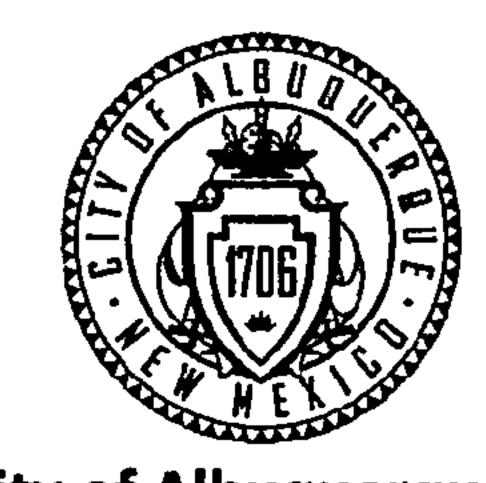
Thank you for your consideration of this matter.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John Gilletly, El Staff Engineer





City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

June 10, 2014

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on June 10, 2014:

Contact Name:

KAY BRASHEAR

Company or Agency:

MARK GOODWIN AND ASSOCIATES, PA

P.O. BOX 90606/87199

PHONE: 828-2200/FAX: 797-9539

E-MAIL: kbrashear@goodwinengineers.com

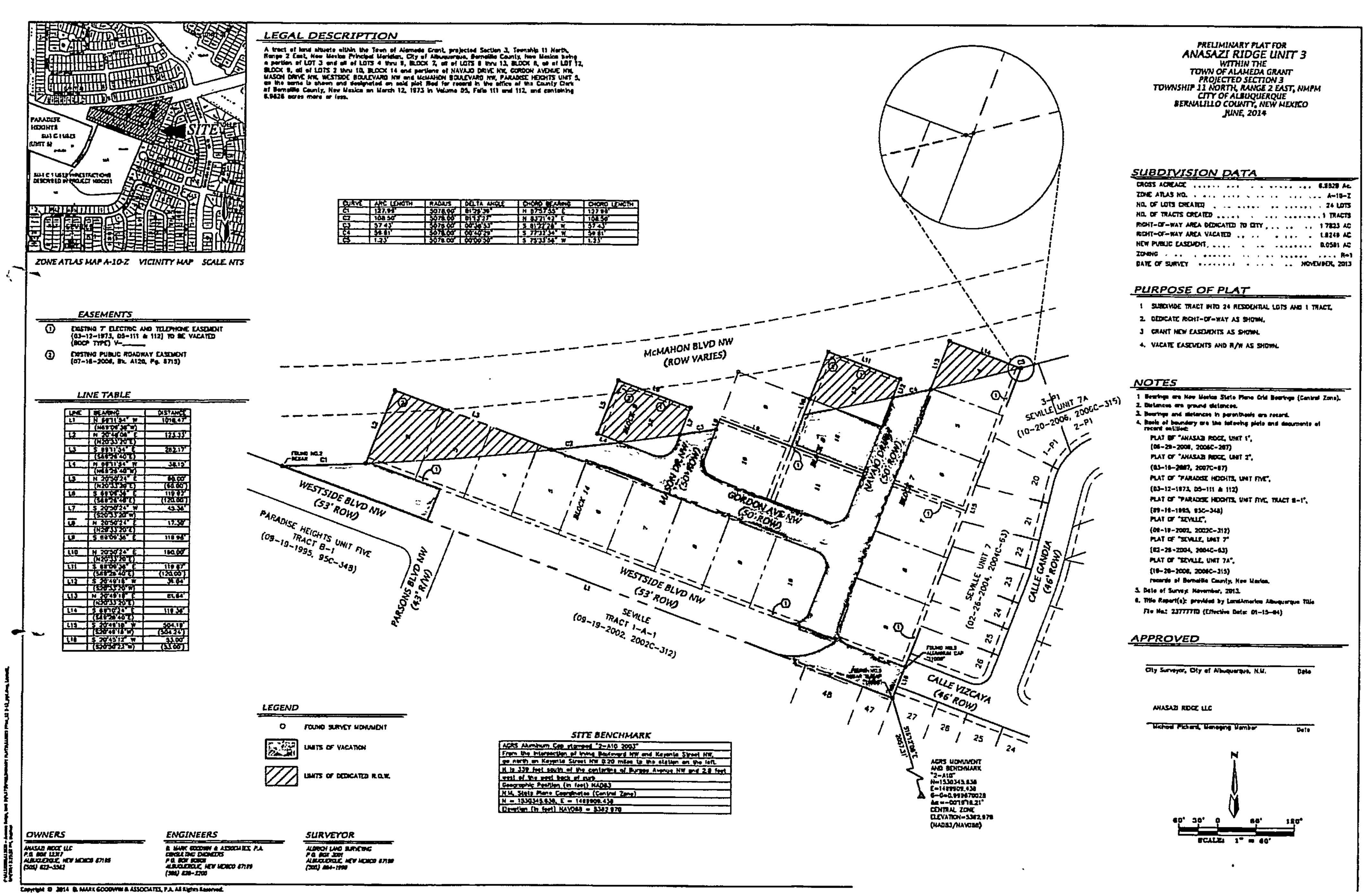
contacted the Office of Neighborhood Coordination requesting the names of ALL Neighborhood and/or Homeowner Associations who would be affected under the provisions of §14-8-2-7 of the Neighborhood Association Recognition Ordinance by your proposed project at (DRB SUBMITTAL) — ANASAZI RIDGE, UNIT 3, LOCATED ON SIPAPU DRIVE NW BETWEEN McMAHON BOULEVARD NW AND WESTSIDE BOULEVARD NW zone map A-10.

Our records indicate that as of June 10, 2014, there were no Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,
Stephani Winklepleck
Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

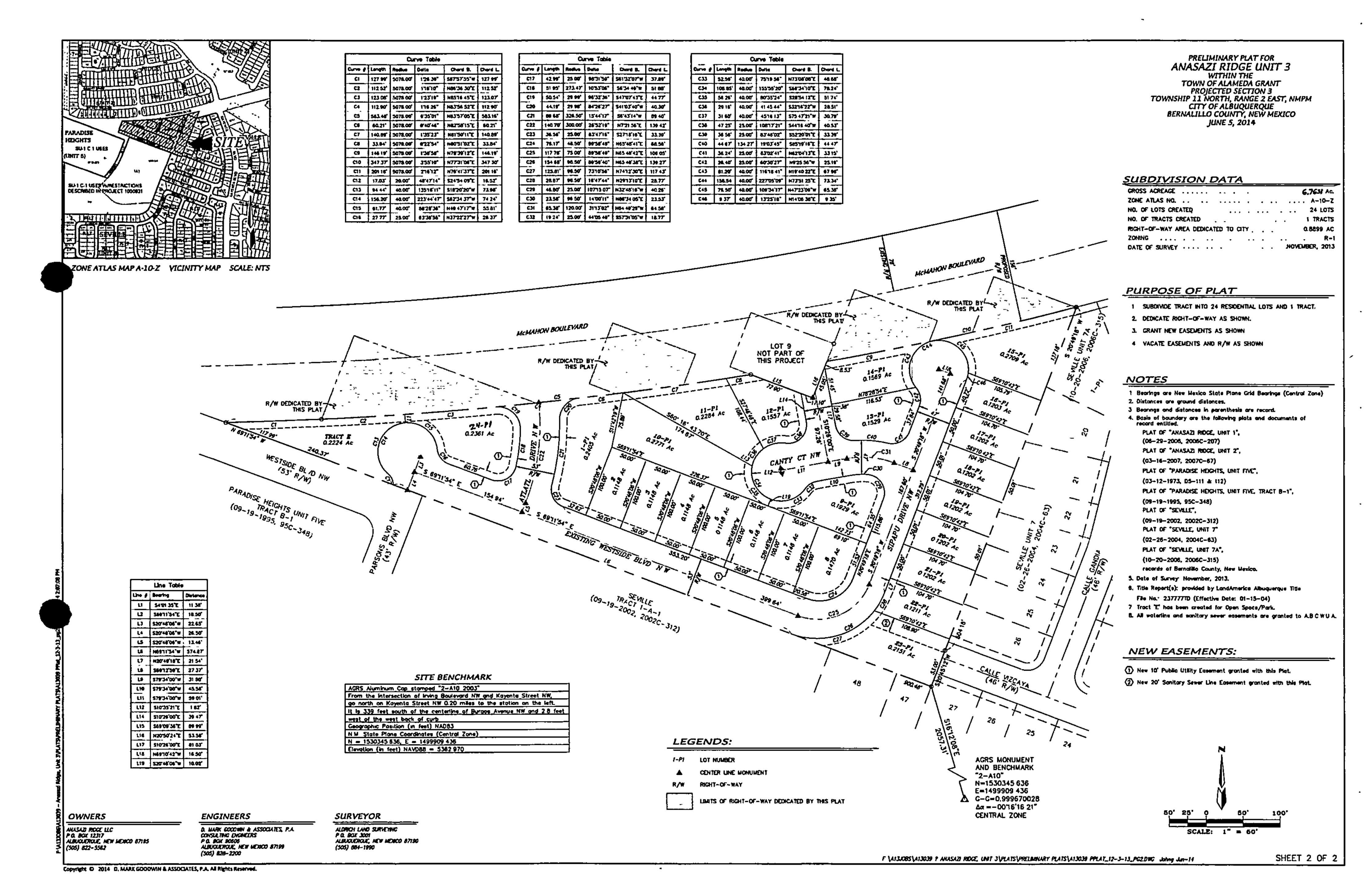
Planningnnona/hoaform (03/13/14)

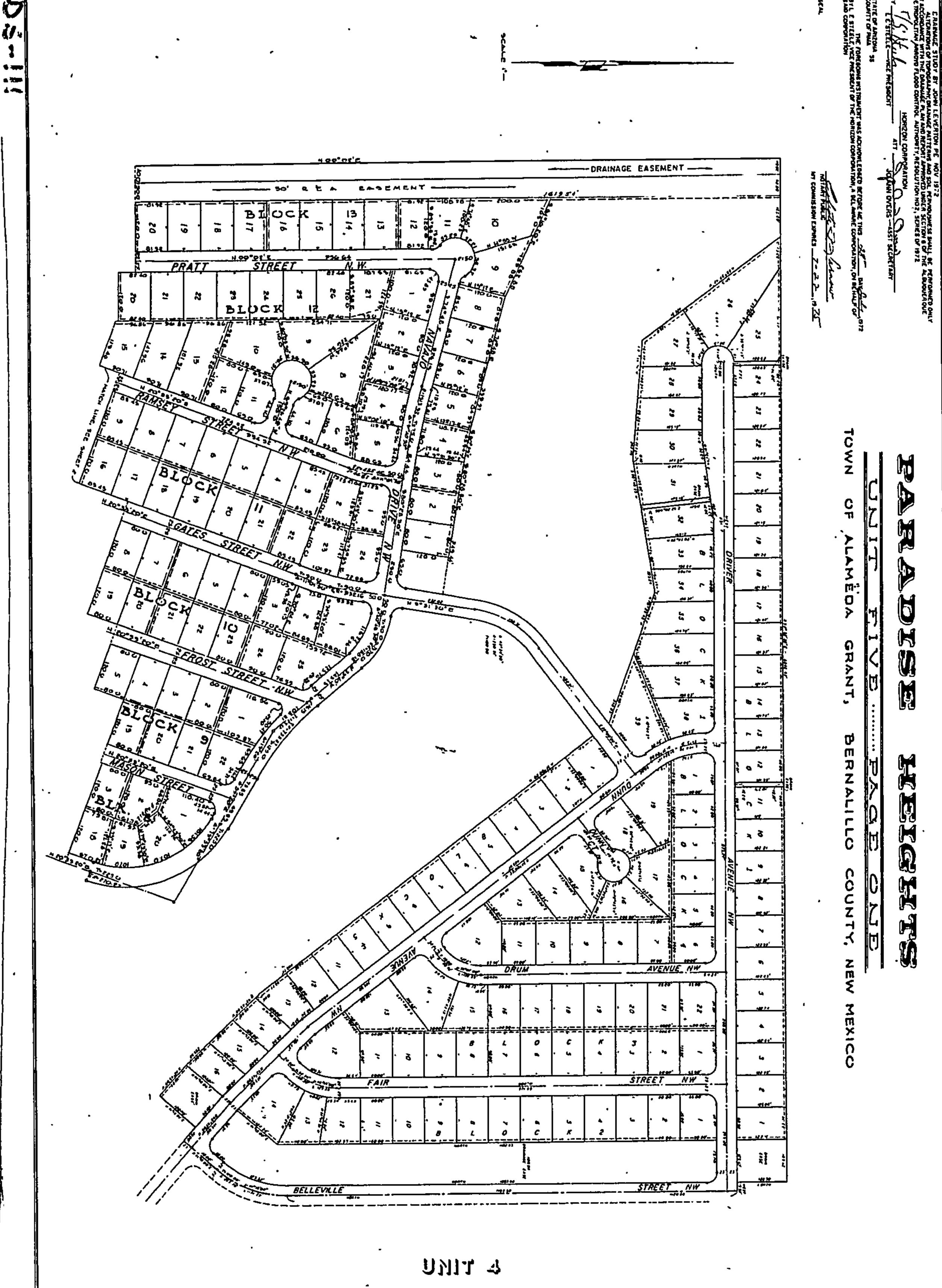


VACATION EXHIBIT (DRB 1004245)
ANASAZI RIDGE UNIT 3

DRAINAGE EASEMENT DRAINAGE EASEMENT M. Contract on the second seco

3



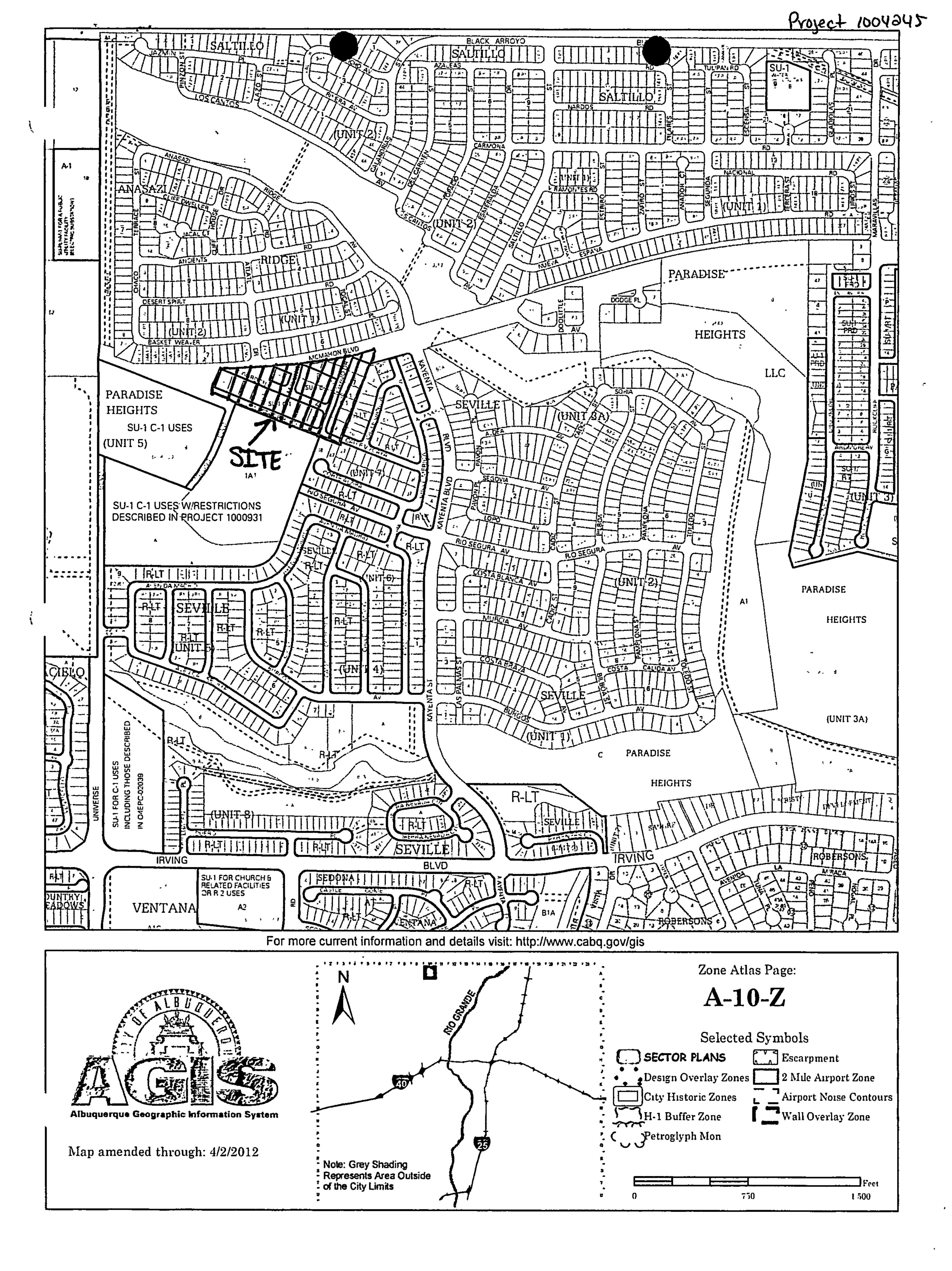




M. Elizabeth Everitt, Ph.D. SUPERINTENDENT

Pre-Development Facilities Fee (PDFF) Cover Sheet

PDFF	F agreements received by 5PM Thurs	day will be r	eady for pick up by 8	SAM on t	he following Tuesday.
Please drop off and pick up all Pre-Development Facilities Fee agreements at APS' Capital Master Plan office. The office is located in Suite 9, 2nd floor, of the Lincoln Building at 915 Locust St SE. A map to our offices is located at: http://construction.voteaps.com/LincolnMap.html					
Proje	ject # (if already assigned by DRB/EPC)				•
Pleas	se check one:				
	Preliminary PDFF (Preliminary PDFF are required for preliminary plat submittals.)	final plat s	FF are required for ubmittals and ecorded prior to		Waiver/Deferral (Must provide reason for waiver/deferral)
Proie	ject Information				
Subdivision Name Anasazi Ridge Unit 3 Location of Project (address or major cross streets) Sipapu Dr. between McMahon and Westside Proposed Number of Units: 24 Single-Family Multi-Family Note: A single-family unit is a single-family, detached dwelling unit.					
Waiver Information Property Owner Legal Description Zoning Reason for Waiver/Deferral					
Contact Information Name Kay Brashear Company Mark Goodwin & Associates, PA Phone (505) 828-2200 E-mail kbrashear@goodwinengineers.com					
Please include with your submittal: Zone Atlas map with the entire property(ies) precisely and clearly outlined Copy of a plat or plan for the proposed project List of legal description (e.g. lot, block) and street address for each lot (for final plat only) Please include project number on the top right corner of all documents Please paper clip all submitted documents (for ease of making copies)					
	OFFICE USE ONLY Cluster <u>Cibola</u> Tony Hilluman SusetView	te Submitted	6-10-2014	Date	Completed



PRELIMINARY

PRE-DEVELOPMENT FACILITIES FEE AGREEMENT

THIS AGREEMENT is made by and between the Albuquerque Municipal School District No. 12, Bernalillo and Sandoval Counties, New Mexico ("Albuquerque Public Schools" or "APS"), a public school district organized and existing pursuant to the laws of New Mexico, and

Anasazi Ridge, LLC. ("Developer") effective as of this had day of had yof had

WHEREAS, In order to provide for APS becoming more knowledgeable of development plans within the City so that APS may better plan for future growth, the City of Albuquerque requires that APS approve the plat(s) for any new subdivision; and

WHEREAS, Developer is proposing the development of a new subdivision, and requires APS approval of the plat for said subdivision; and

WHEREAS, DEVELOPER is required by the Albuquerque Subdivision Ordinance to provide appropriate infrastructure and improvements as a condition of developing a subdivision; and

WHEREAS, as a condition of approving such plat APS requires the provision of appropriate infrastructure and facilities or the payment of a facilities fee for each new residence to be constructed to help defray the cost of school construction, expansion, or maintenance;

THEREFORE, in consideration of the mutual promises contained herein, APS and Developer agree as follows:

- 1. Developer agrees that a facilities fee will be paid to APS for each dwelling unit to be constructed in the Subdivision.
- 2. The amount of the fee shall be:
 - If the permit is issued on or after January 1, 2010, the fee shall be \$2975 per dwelling unit.
 - If the permit is issued on or after August 1, 2011 the fee shall be \$1075 per dwelling

The fee for each dwelling unit in multi-family residential structures shall be sixty percent (60%) of the fee for a single family home. "Multi-family residential structure" means any type of residential property other than single-family houses (one single family, detached dwelling unit per lot).

- 3. Developer agrees that the fee shall be paid to APS at or before the issuance of any building permit for any lot or other parcel of property subject to this agreement.
- 4. Developer may satisfy all or part of its obligations under this contract by transferring improved or unimproved property to APS, provided that APS must agree to the transfer and to the value placed on the transferred property. APS, upon accepting such transfer, shall credit Developer with an amount equal to the agreed value, and the developer may designate the lot(s) to which such amount(s) shall be applied in satisfaction of its obligations hereunder.
- 5. This contract may be recorded in the office the County Clerk of Bernalillo and/or Sandoval County, and shall serve as notice of the Developer's obligation to pay facilities fees. Developer shall include on the plat of the Subdivision a statement that "The property on this plat is subject to a Pre-Development Facilities Fee Agreement with the Albuquerque Public Schools, recorded at [recording data]."
- APS, through its Facilities Fee Administrator, will provide a Payment Acknowledgement in the form attached hereto to the Developer reflecting receipt of the facilities fee (or equivalent compensation as described in paragraph 4 above), which form may be given to the City to show satisfaction of the fee obligation and satisfy that condition for receiving building permits. Developer may record that Payment Acknowledgement in the real estate records of Bernalillo or Sandoval County, but APS shall not be responsible for paying any recording fees nor shall APS be responsible for recording any such documents with the office of the County Clerk or any other office.

DRB Project # 1004245 APS Cluster

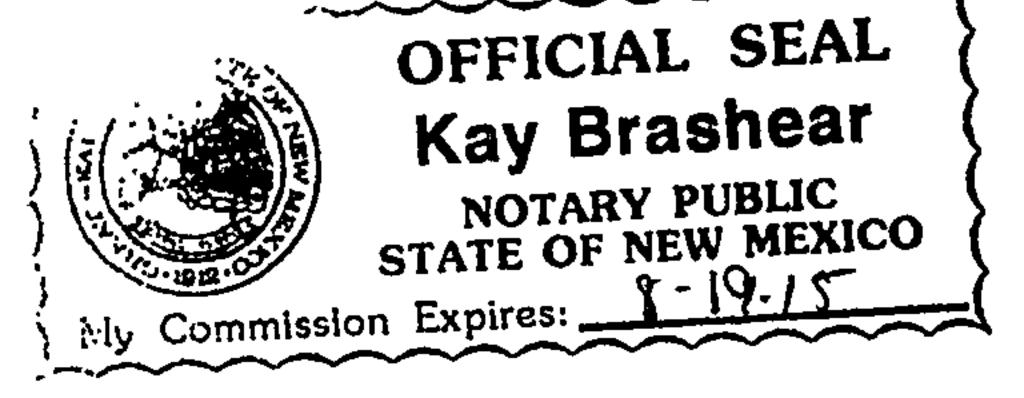
Signature

Michael Pickard, Member Name (typed or printed) and title

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on 6.10.14, by Michael Pickard of Anasazi Ridge, LLC., a New Mexico Limited Liability Corporation. Member



Notary Public

My commission expires:_ 8-19-15

ALBUQUERQUE PUBLIC SCHOOLS

By:

(Seal)

Signature

Elvira Lopez Plagner Demographer Name (typed or printed) and title

STATE OF NEW MEXICO COUNTY OF BERNALILLO

This instrument was acknowledged before me on how to by E UI (a La Opz annument was acknowledged before me on how to by E UI (a La Opz annument was acknowledged before me on how to be by E UI (a La Opz annument was acknowledged before me on how to be by E UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La Opz annument was acknowledged before me on how to be by the UI (a La UI) (a La Bernalillo and Sandoval Counties, and school district organized and existing under the laws of the State of New Mexico.

Notary Public

NOTARY PUBLIC STATE OF NEW MEXICO My Commission Expires: 5-31-241

My commission expires: My

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

- 1. The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- 3. A physical description of the location, referenced to streets and existing land uses.
- 4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in <u>each</u> application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

	[]	ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-
	[X]	The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
		Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.
		Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.
Jus	st a remino	der - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 06/10/14 Time Entered: 9:55 a.m. ONC Staff Initials: siw

Anasazi Ridge Unit 3 Block and Lot #'s

Block	Lot
7	Portion of Lot 3, All of Lots 4-9
8	9 - 13
9	12
14	2 - 10

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs or the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. IIIVIE					
Signs must be posted from	July 1, 2014	To	Ju14	16,2014	
	d	<u></u>	J		•
5 REMOVAL				•	

- A. The sign is not to be removed before the initial hearing on the request:
 - B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) mobiligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being give a copy of this sheet.

httozo	Alux .		6/20/2014
(Appl	cant or Agent)	•	(Date)
issued <u>H</u> signs for this application,	<u>10-20-14</u> (Date)	· \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	(Staff Member)

DRB PROJECT NUMBER:	1004.245

Rev. 1/11/05

WARA BAA

ANDERTHE #

10.00m

Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

		t	Su	pplemental	Form (SF)				
	SUBDI	VISION Major subdivision or	· ·	S	Z	_	& PLANNING			
	-may	Major subdivision ad Minor subdivision ad				Ar	nnexation			
		Vacation Variance (Non-Zonii	ng)	V	•	Zc	one Map Amendoning, includes	Zoning with		е
•	SITE D	EVELOPMENT PL	AN	P			evelopment Pla doption of Rank	•	or similar	
		for Subdivision for Building Permit					ext Amendment an(s), Zoning C	•	•	
		Administrative Amer IP Master Developm	• • • • • • • • • • • • • • • • • • • •	A) D		St	reet Name Cha	inge (Local	& Collector)	
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Plannin	g Depar	PE IN BLACK INK thent Developmen aid at the time of a	t Services Center	, 600 2 nd S	treet N	IW, Albuqu	erque, NM 87	102.	on in person t	o the
APPLICA	TION IN	FORMATION:								
Prof	essional	/Agent (if any):	rk Goodun	: A330c	estes	PH		_PHONE:	.	
		PO BOX 901		-				_FAX:		
		bugnerene		TATE 1200	a ZIP_	87199	E-MAIL: <u>\</u>	brashear	e goodwa e	<u>Engin</u> e
APP	LICANT:	Cuna scir Red	مع لنت	•			PHON	1E:		
		PO BOX 123					FAX:			
		Ougvergre					E-MAIL: <i>l</i>			
		terest in site: <u>@</u>						•		
	_	REQUEST: Sket				CI 3.	·			
LOCKIE		NEGUESI. SYDT	CA PIGT SU	<u> </u>	<u>{</u>					
is the	e applicai	nt seeking incentives pu	rsuant to the Family	Housing Dev	elopmer	nt Program?	Yes/\	lo.		
ITE INF	ORMATIC	ON: ACCURACY OF T	HE EXISTING LEGA	L DESCRIP	TION IS	CRUCIAL! A	ATTACH A SEPA	RATE SHE	ET IF NECESSA	RY.
Lot	or Tract N	0					Block:	l	Init:3	
Subo	div/Addn/	TBKA: <u>Azacizi</u>	Ridge	<u> </u>			<u> </u>			
Exist	ting Zonin	1g:	P	roposed zon	ing:	2-1		_ MRGCD N	lap No	<u> </u>
Zone	e Atlas pa	ge(s): <u>A - 10</u>	U	PC Code: _	101	900 بو 109	299 21005			
	STORY: any curre	nt or prior case number	that may be relevant	to your appl	ication (Proj., App., D	RB-, AX_,Z_, V_	, S_, etc.): _	•	
#10	04245	0250	C-00930	0520	<u> </u>	931	·			
	FORMAT in city lim	ION: its? <u>\</u> Yes	Within 1000FT o	of a landfill?	no					
No. o	of existin	g lots: <u> </u>	_ No. of propose	1 lots: <u>25</u>		Total site ar	ea (acres):			
LOC	ATION O	F PROPERTY BY STR	EETS: On or Near: _	··· <u> </u>				· · · · · · · · · · · · · · · · · · ·		
Betw	/een: <u>~~</u>	1cmahen Blove	<u>d</u>	and	<u> (ည</u> e	staide				
Chec	ck if proje	ct was previously review	ved by: Sketch Plat/P	lan □ or Pre	-applica	tion Review T	eam(PRT) □.	Review Date	·	
IGNATU	JRE	Hay Brass	<u>-</u>		,*		D/	ATE <u>10-</u>	18-13	
(Prin	t Name)_	Kay Brashe	a-			<u></u>	A _I	pplicant: 🖵	Agent: ⊡	
R OFF	ICIAL US	SE ONLY						Re	vised: 4/2012	i 1
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	<u>/ </u>		10-21-13		Pro	ect#\(C	<u>504245</u>)		

Staff signature & Date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

	Scale drawing of the process Site sketch with measure improvements, if the Zone Atlas map with the Letter briefly describing	AND COMMENT (DRB22) oposed subdivision plat (folder rements showing structures, pere is any existing land use (e entire property(ies) clearly of explaining, and justifying the related file numbers on the co	ed to fit into an 8.5" by 14" parking, Bldg. setbacks, actologied to fit into an 8.5" by attined request	djacent rights-of-way and street
	EXTENSION OF MAJOR	R PRELIMINARY PLAT	(DRB08)	Your attendance is
	Letter briefly describing Copy of DRB approved Copy of the LATEST Of List any original and/or	e entire property(ies) clearly of explaining, and justifying the	request for Preliminary Plat Extended over application	sion request
	 Proposed Final Plat (fold Signed & recorded Final Design elevations & crowded Signed Atlas map with the Bring original Mylar of proposed Signed Sig	ded to fit into an 8.5" by 14" pal Pre-Development Facilities as sections of perimeter wall entire property(ies) clearly of lat to meeting, ensure property and the Mylerelated file numbers on the Control of final plat data for AGIS is respectively.	Fee Agreement for Residence Soutlined ty owner's and City Survey lar if property is within a lactory application	yor's signatures are on the plat
	5 Acres or more: Certifi Proposed Preliminary /	ner's and City Surveyor's signal Pre-Development Facilities cross sections of perimeter water ments showing structures, pere is any existing land use (entire property(ies) clearly of explaining, and justifying the	8.5" by 14" pocket) 6 contatures are on the plat price of the Agreement for Residents (11" by 17" maximum) parking, Bldg. setbacks, actioned erequest ty owner's and City Survey lar if property is within a latter over application eer)	pies for unadvertised meetings or to submittal ential development only 3 copies djacent rights-of-way and street 14" pocket) 6 copies
	PLEASE NOTE: There are amendments. Significant of Proposed Amended Proposed Amended Proposed (a pocket) 6 copies (b) 6 copies (c) 7 copies (c) 7 copies (c) 8 cop	no clear distinctions between nanges are those deemed by eliminary Plat, Infrastructure Let, Infrastructure Let, Infrastructure Let, Infrastructure Let, and/or Gentire property(ies) clearly of explaining, and justifying the	significant and minor charthe DRB to require public ist, and/or Grading Plan (folded to fit in the utlined to request ty owner's and City Survey over application	Your attendance is required. Inges with regard to subdivision notice and public hearing. Folded to fit into an 8.5" by 14" Into an 8.5" by 14" pocket) 6 copies yor's signatures are on the plat
info wit	he applicant, acknowledge brmation required but not so this application will likely erral of actions.	submitted	Applica	nt signature / date
N N N	Checklists complete Fees collected Case #s assigned	Application case numbers 13 - 0RB - 7つ		Planner signature / date
A A	Case #s assigned Related #s listed		Project #	004245

Acity of Albuquerque



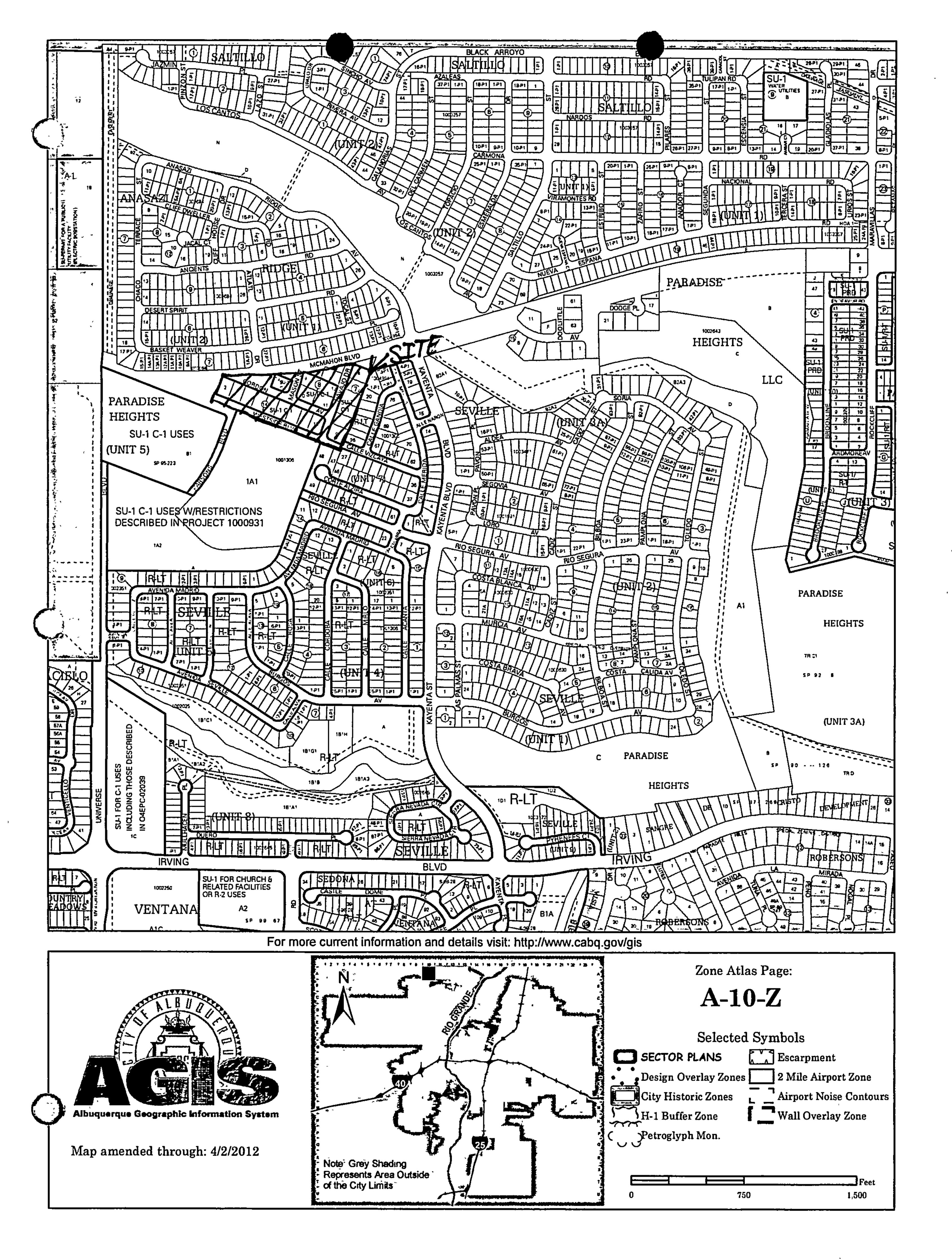
DEVELOPMENT/ PLAN REVIEW APPLICATION

		Sup	plemental Forn	n (SF)			
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_n_w	Major subdivision a Minor subdivision a				Annexation		
	Vacation Variance (Non-Zoni		٧		Zoning, includ	es Zoning wit	tablish or Change hin Sector
SITE	DEVELOPMENT PL	ΔΝ	Þ		Development Adoption of Ra	•	n or similar
	for Subdivision for Building Permit	- <i>5-</i> 41-4	•	<u> </u>	Text Amendm	ent to Adopte	d Rank 1, 2 or 3 abd. Regulations
	Administrative Ame IP Master Developm	ndment/Approval (AA nent Plan	A) D		Street Name (Change (Loca	l & Collector)
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STO	RM DRAINAGE (For Storm Drainage Co	•			Decision by: Director, ZEO,	-	CC, Planning of Appeals, other
Planning Dep	YPE IN BLACK INK artment Development paid at the time of a	t Services Center,	600 2 nd Street	t NW, Albu	iquerque, NM	87102.	ion in person to the
PPLICATION	INFORMATION:						
Profession	nal/Agent (if any): <u>Mo</u>	rk Gontum o	Associate:	3 PA	. <u>-</u> . <u>-</u>	PHONE:_	
ADDRESS:	PO BOX 90	<u>uch</u>				FAX:	
CITY:C	ubiginereire	S1	ATE <u>mm</u> Z	IP <u>8719</u>	P E-MAIL:	1Chminea	- e goodwa enginea
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	OF REQUEST:Ske	_					
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Is the applic	cant seeking incentives p	ursuant to the Family H	ousing Developn	nent Progran	n? Yes	∠No.	
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	ł No						_
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_	ning: <u> 2-1</u>						
Zone Atlas	page(s): A - 10	UP	C Code:	1000 ce1	<u>०५ ३५५ २१७०</u>	<u> </u>	
ASE HISTORY List any cur	/: rrent or prior case numbe	r that may be relevant t	o your applicatio	n (Proj., App	., DRB-, AX_,Z_,	, V_, S_, etc.):	
# 100494		DC -00930	05EPC -	00931			·-··
ASE INFORMA Within city I	ATION: imits? <u>\</u> Yes	Within 1000FT of	a landfill?	<u> </u>			
No. of exist	ting lots: <u>QS</u>	_ No. of proposed	lots: <u> </u>	_ Total site	e area (acres):		_
LOCATION	OF PROPERTY BY STR	EETS: On or Near:					
Between:	memainen Blow	<u>d</u>	andريـ	ve stande	-	<u></u> -	
Check if pro	oject was previously revie	wed by: Sketch Plat/Pla	an □ or Pre-appl	ication Revie	ew Team(PRT) C		
IGNATURE	Hay Brass					DATE 10	-18-13
(Print Name	e) Kay Brashe	20-				Applicant: 🕡	∕Agent: ⊡
ROFFICIAL						F	Revised: 4/2012
INTERNAL		Application of	ase numbers		Action	S.F.	Fees
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All case #s	are assigned		 -	<u> </u>		-	\$
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	ensity bonus						Total
F.H.D.P. fee	e rebate	Hearing date	e <u>Oct</u>	30,7	81 OE		\$_ Ø
6		10-21-13	Þ	roject#	100424	15	-
	<u></u>	Staff signature &		, 			

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

K	Site sketch with measur improvements, if the Zone Atlas map with the Letter briefly describing.	posed subdivision plat (folder	ed to fit into an 8.5" by 1 parking, Bldg. setbacks, folded to fit into an 8.5" butlined request	adjacent rights-of-way and street	
	 Letter briefly describing, Copy of DRB approved Copy of the LATEST Of List any original and/or response 	to 8.5" x 11" entire property(ies) clearly of explaining, and justifying the	request for Preliminary Plat Ext over application	Your attendance is ension request	
	 Proposed Final Plat (fold Signed & recorded Final Design elevations & crown Zone Atlas map with the Bring original Mylar of plants Copy of recorded SIA Landfill disclosure and Example List any original and/or recorded 	INAL PLAT APPROVAL (ded to fit into an 8.5" by 14" point of the Pre-Development Facilities as sections of perimeter walls entire property(ies) clearly of at to meeting, ensure property at the meeting, ensure property of the file numbers on the confinal plat data for AGIS is respectively.	Fee Agreement for Resultined by owner's and City Surant was application	veyor's signatures are on the plat	
	5 Acres or more: Certifice Proposed Preliminary / I ensure property own Signed & recorded Final Design elevations and compositions and compositions and compositions and compositions and compositions and compositions are simprovements, if the second Alas map with the Letter briefly describing, Bring original Mylar of plandfill disclosure and Endedule) List any original and/or resulting the second and	ner's and City Surveyor's sign Pre-Development Facilities I ross sections of perimeter wa ements showing structures, p ere is any existing land use (f entire property(ies) clearly of explaining, and justifying the	8.5" by 14" pocket) 6 continues are on the plat parties. Agreement for Results (11" by 17" maximum arking, Bldg. setbacks, folded to fit into an 8.5" utlined request by owner's and City Surfar if property is within a over application eer)	copies for unadvertised meetings brior to submittal idential development only m) 3 copies adjacent rights-of-way and street by 14" pocket) 6 copies	
	PLEASE NOTE: There are amendments. Significant character amendments. Significant character proposed Amended Prespocket) 6 copies Original Preliminary Plate Zone Atlas map with the Letter briefly describing, Bring original Mylar of plate List any original and/or response.	anges are those deemed by liminary Plat, Infrastructure L. Infrastructure List, and/or G entire property(ies) clearly o explaining, and justifying the	significant and minor classificant and minor classificant and minor classification of the DRB to require publication of the DRB to request by owner's and City Survey application	hanges with regard to subdivision	
info witl	he applicant, acknowledge rmation required but not so this application will likely erral of actions.	ubmitted	Appli	pplicant name (print) cant signature / date	
ENERAL I	Checklists complete Fees collected Case #s assigned Related #s listed	Application case numbers		Planner signature / date	





D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~

~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

October 18, 2013

Mr. Jack Cloud, Chair Development Review Boàrd City of Albuquerque PO Box 1293 Albuquerque, NM 87103

Re: Anasazi Ridge, Unit 3

Dear Mr. Cloud:

Attached, please find our sketch plat submittal for the referenced project. In July 2005, the owner was granted a Zone Map amendment from R-1 to SU-1/C-1. To the best of our knowledge the process was never completed resulting in the properties zoning to be R-1. This sketch plat proposed to develop the property under the R-1 Zoning into 25 single family lots with 5,000 square foot minimums.

We have highlighted existing Lot 12 which we believe is City of Albuquerque Right-Of-Way based upon discussions we have had with the Real Property Division. It is our intent to request a Vacation of the Right-of-Way that would not be needed for McMahon. Our client would dedicate the other areas to the proposed 156 R/W.

Thank you for your consideration of this plan and feel free to contact me if you need further information.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

Mark Goodwin,

President

DMG/kb

Attachment

October 30.2013

I

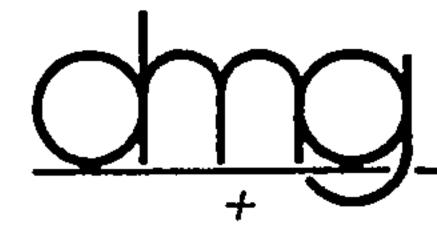


DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

	PROJECT NO. 100424	<u></u>
TO: X ALL WEMBERS	Application No. 14 DRB 702	<u>?21</u>
	airman, Planning Department	
Curtis Cherne, P.E., H. Kristal Metro, P.E., T. Allan Porter, P.E., Alb. Carol Dumont, Parks/	lydrology ransportation Development ouquerque/ Bernalillo Co.WUA /Municipal Development	
NEXT HEARING DATE:	7.21.15	
BEGINNING OF THE AGENDA. B THE ADMINISTRATIVE ASSISTANT THE BOARD WILL DISCUSS AN	BOTH PARTIES MUST AGREE UPON THE DATE OF DEF NT MUST RECEIVE A LETTER, PRIOR TO THE HEARIN ND MAKE A DECISION AT THE HEARING. THE APP I. IF THE APPLICANT IS NOT PRESENT WHEN THEIR	ARD AND THE APPLICANT AND/OR AGENT AT THE FERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, IG DATE, REQUESTING A SPECIFIC DEFERRAL DATE. PLICANT/AGENT WILL THEN BE INFORMED OF THE REQUEST MAY BE
	Reviséed Pret. Plet W/ structure List; rensent &	
	·	
		NEGEIVEN

TELEPHONE: 828.2200 EMAIL: Vian'e Goodwin engineers. com

CONTACTNAME: Diane Housen



D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 FAX 797-9539 (505) 828-2200

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~

~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

January 13, 2015

Mr. Jack Cloud DRB Chair City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

Anasazi Ridge Unit 3 (DRB 1004245) Re:

Request Preliminary Plat Approval and Sidewalk Waiver and Deferral

Dear Mr. Cloud:

This preliminary plat approval request was deferred pending City acquisition of Lot 9 and the approval of the Grading and Drainage Plan. Lot 9 has been acquired and the revised Grading and Drainage plan has been submitted again for approval and I think all the outstanding issues have been resolved.

Accompanying this letter is a revised preliminary plat, infrastructure list, sidewalk waiver and deferral exhibit and grading and drainage plan.

If you have any questions, please do not hesitate to contact me.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

Diane Hoelzer, PE

Senior Engineer

Current DRC	
Project Number:_	

FIGURE 12

INFRASTRUCTURE LIST

Date Submitted:	16-Dec-14
Date Site Plan Approved:	.
Date Preliminary Plat Approved:	· · · · · · · · · · · · · · · · · · ·
Date Preliminary Plat Expires:	·
DRB Project No.:	1004245

DRB Application No.:_____

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Anasazi Ridge Unit 3

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Portions of Lot 3, 4-9, Blk 7, Lots 9-13 Blk 8, Lot 12, Block 9, and Lots 2-10, Blk

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

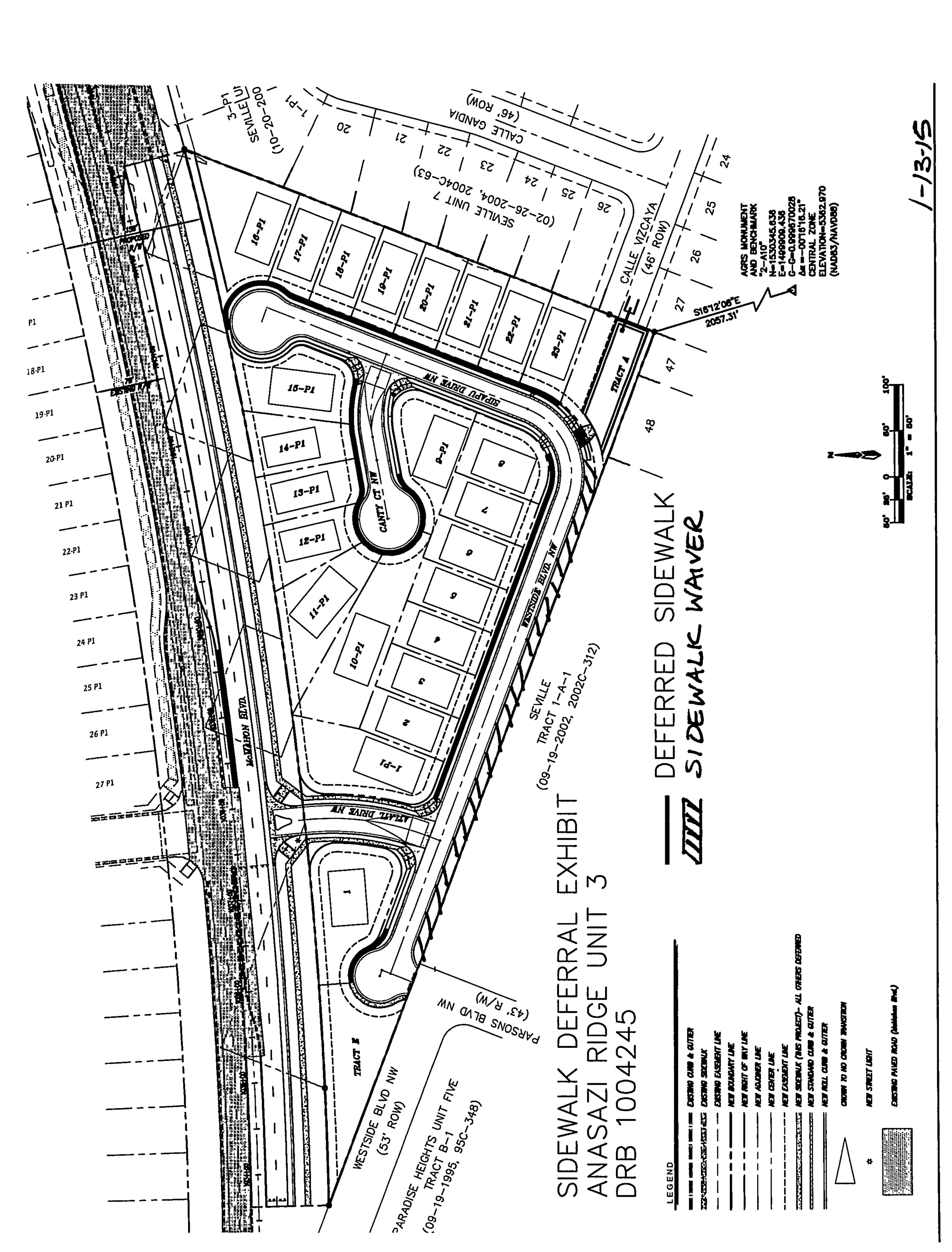
Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance

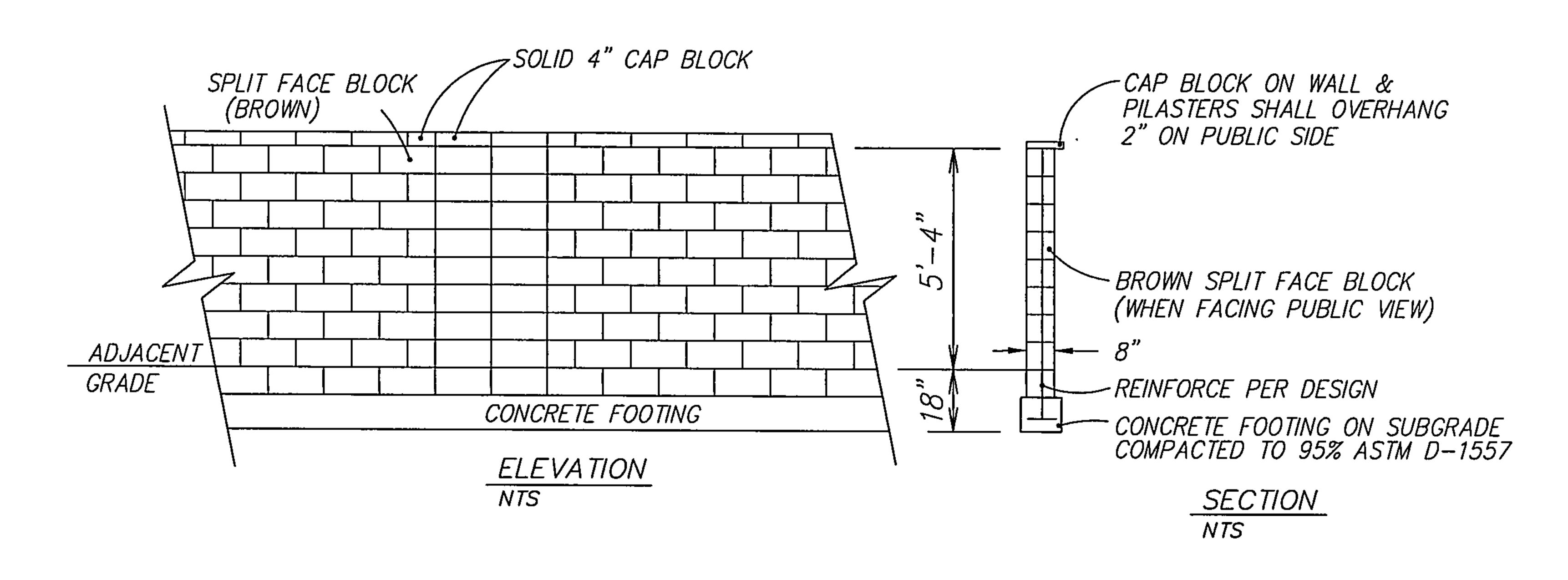
and close out b			ng construction which are necessary t						
SIA	COA DRC	Size	Type of Improvement	Location	From	То	Private	City	City Cnst
Sequence #	Project #	32' FF	PAVING Perm Pvmt	Atlatl Drive NW	Westside Blvd	McMahon Blvd	Inspector /	Inspector /	Engineer /
			C&G (both sides)						
		4'	Sidewalk (both sides)						
		28' FF	Perm Pvmt	Westside Blvd	End culdesac	Sipapu Drive NW		/	
			C&G (both sides)		(Tract E)				
		4'	Sidewalk (North Side) (1)						
		28' FF	Perm Pvmt	Sipapu Drive NW	Westside Blvd	End Culdesac			
			C&G (both sides)			(Lot 16)			
	4'	4'	Sidewalk (both sides) (1)						
		28' FF	Perm Pvmt	Canty Ct.	End culdesac	Sipapu Drive NW			
			C&G (both sides)		(Lot 10)				
	<u></u>	4'	Sidewalk (both side) (1)						/
		32' FF	Perm Pvmt	McMahon Blvd.	West prop. Line	East Prop.Line		/	/
			C&G (Southside)		(Tract E)	(Lot 16)			
			Median C&G						
			6' Sidewalk (Southside)					/	
	<u> </u>								

Anasazi Ridge Unit 3 DRB 1004245 (12-16-14)

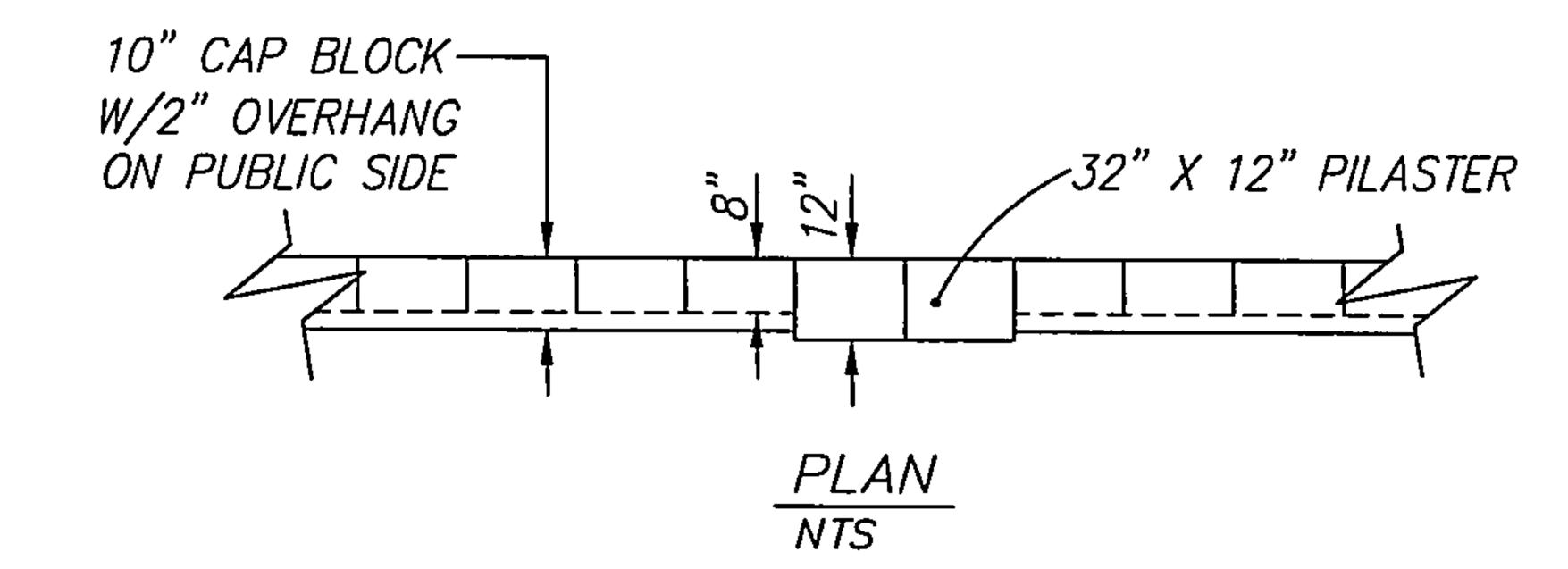
	WATER 8" Waterline	Atlatl Drive NW	Westside Blvd	Exist. 12" WL McMahon Blvd	
	8" Waterline	Westside Blvd	South P.L. Parsons Row	Sipapu Drive NW	
	6" Waterline	Sipapu Drive NW	Westside Blvd	Exist. 12" WL McMahon Blvd	
	6" Waterline	Canty Ct.	Cul-de-Sac	Sipapu Drive NW	
	12" Waterline	McMahon Blvd	Atlatl Drive NW	East P.L. (Lot 16)	
	SANITARY SEWER 8" Sanitary Sewer	Westside Blvd	South P.L.	Sipapu Drive NW	
	8" Sanitary Sewer	Sipapu Drive NW	Westside Blvd	End culdesac	
	6" Sanitary Sewer	Canty Ct.	End Culdesac (Lot 10)	(Lot 16) Sipapu Drive NW	
	8" Sanitary Sewer	20 ft. Public sanitary sewer easement	Sipapu Drive NW	Exist. 8" SAS Calle Vizcaya	
	DRAINAGE				
Perd	design Sidewalk culverts / meadering o	channel Tract A	Sipapu Dr. NW	Calle Vızcaya Spillway	
Perd	design Sidewalk culverts / channel / shallow pond	Lot 16	Sipapu Dr. NW	McMahan	
Perd	design Concrete rundow / spillway	Calle Vizcaya			

The items liste	ed below are on th	e CCIP and app	proved for Impact Fee credits. Signature	s from the Impact Fee Admi	nistrator and the City U	lser Department is requir	red prior to DRB approval of				
Financially	Constructed						Construction Certific				
Guaranteed	Under	Size	Type of Improvement	Location	From	То		City Cnst			
DRC#	DRC#						Inspector P.E.	ngineer			
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			· · · · · · · · · · · · · · · · · · ·		- ₁			/			
		ı !			Approval of Credita	able Items:	Approval of Creditable Item	ıs:			
					Impact Fee Admist	rator Signature Date	City User Dept. Signature	Date			
	······································	<u></u>	<u> </u>		impact ree Aumist	ator Signature Date	City Oser Dept. Signature	Date			
4 D	afaalaalle ta	محمد والمناب والمحمد و	versed eiglesselle excluibit								
_			roved sidewalk exhibit					 -			
_			ves, fittings, service connections and fire h	ydrants	<u>-</u> .		<u> </u>				
		-	manholes and inlets				 				
_			ired per DPM (Prior to release of Financial	Guaranty) to includeretaining	valls as defined on the a	pproved Grading Plan	<u> </u>				
5 <u>S</u>	AS Infrastructure in	clude manholes	and service connections.		-						
6 —				· · · · · · · · · · · · · · · · · · ·			· · · · · · · · · · · · · · · · · · ·				
AGENT / OWNER											
D:	one Heelzer E) <u> </u>									
וט	ane Hoelzer, F		DDB C	DRB CHAIR - date			PARKS & GENERAL SERVICES - date				
	-•		DABC	DAD CHAIR - date			FANNS & GENERAL SERVICES - date				
MARK GC	ODWIN & ASS	OCIATES	TDANCDODTATION	TRANSPORTATION DEVELOPMENT - date							
1111	AFIRMO	17-16-14	I .	N DEVELOPMENT - date	AMAFCA - date						
ANGINO	Nous	1010									
5	SIGNATUBÉ - date		UTILITY DEV	UTILITY DEVELOPMENT - date			date				
MAXIMUM TIME ALLOWED TO CONSTRUCT											
THE IMPR	ROVEMENTS WITHOU	T A DRB	CITY ENG	CITY ENGINEER - date							
EXTENSI	ON: <u>N/A</u>	- 									
DESIGN REVIEW COMMITTEE REVISIONS											
	REVISION DATE		DRC CHAIR	DRC CHAIR USER DEPARTMENT		AGE	NT /OWNER				
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PROJECT: 1004245 DATE: 7-16-14 APP: 14-70218



NOTES:

1. CONTRACTOR TO PROVIDE ENGINEERING DESIGN FOR REINFORCED WALL & WALL FOOTING BASED ON THE SITE GEOTECHNICAL REPORT. 2. MAXIMUM RETAINED HEIGHT FOR PERIMETER WALL IS 1'-6".

3. MAXIMUM GARDEN WALL HEIGHT IS 6'-0".

4. MAXIMUM HEIGHT FOR COMBINATION RETAINING AND GARDEN WALL

5. MAXIMUM SPACING FOR WALL PILASTERS IS 20'.

MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539

TITLE:

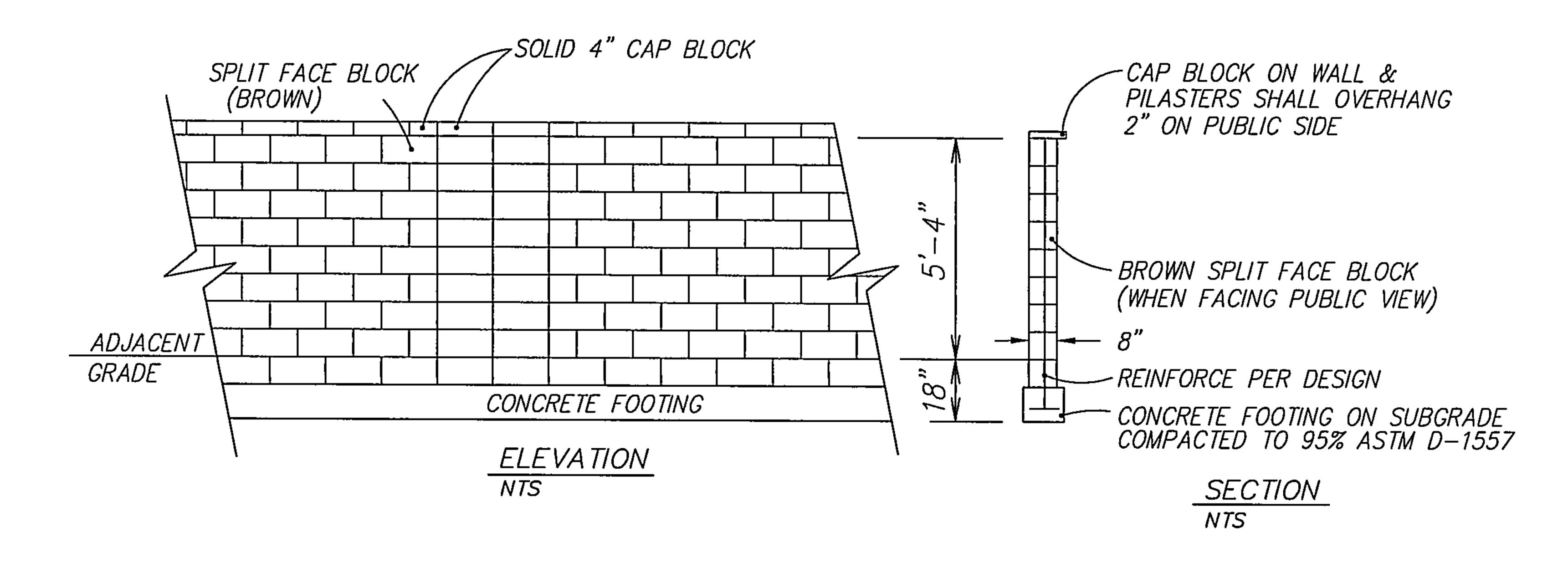
ANASAZI RIDGE SUBDIVISION SITE PERIMERTER WALL

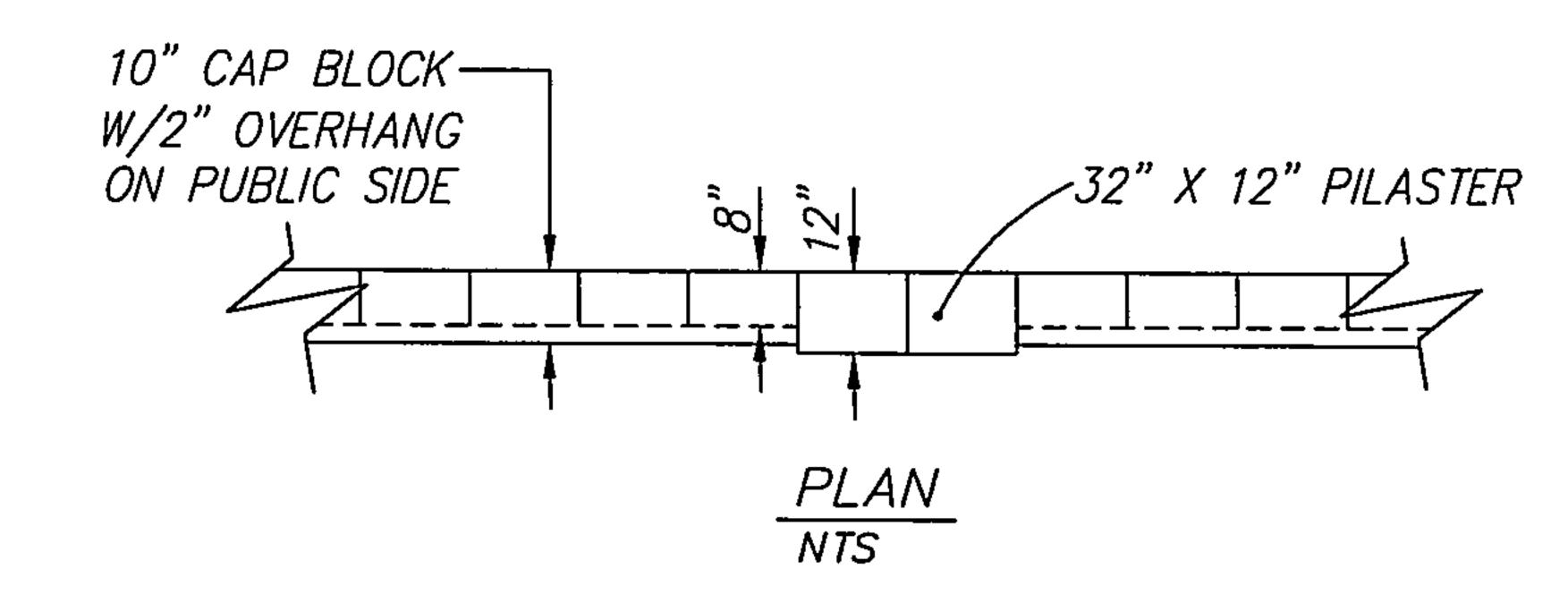
LOCATION:

AS SHOWN ON PERIMETER WALL PLAN

DRB PROJECT NO.

ZONE MAP NO. A-10-Z





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ANASAZI RIDGE SUBDIVISION SITE PERIMERTER WALL

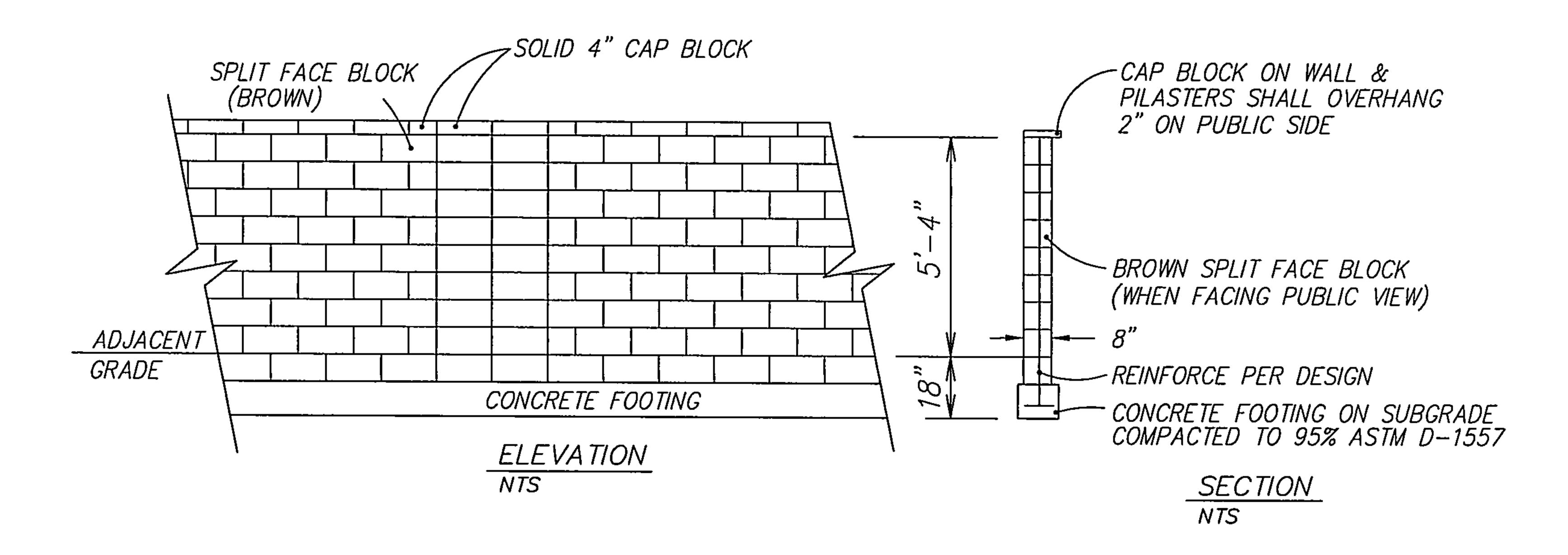
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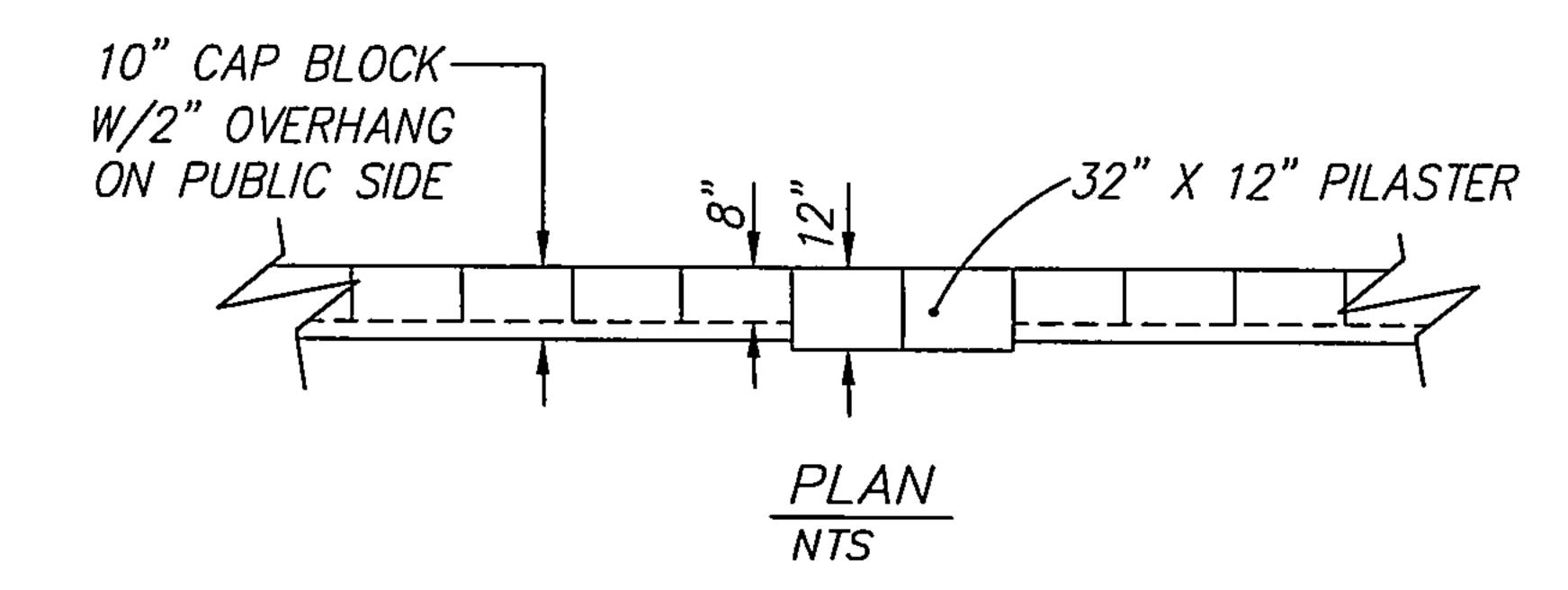
AS SHOWN ON PERIMETER WALL PLAN

DRB PROJECT NO.

ZONE MAP NO.

A-10-Z





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TITLE:

ANASAZI RIDGE SUBDIVISION SITE PERIMERTER WALL

LOCATION:

AS SHOWN ON PERIMETER WALL PLAN

DRB PROJECT NO.

ZONE MAP NO.

A-70-7