

LEGAL DESCRIPTION
LOT 10--A, BLOCK 35, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	CENTERLINE
	RIGHT-OF-WAY LANE
	STRIPING
	LIGHT POLE
	PROPOSED BUILDING
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	EXISTING STRIPING
	PROPOSED CROSSWALK
	PROPOSED 5 SPACE BIKERACK
	PROPOSED FIRE HYDRANT

PROJECT NUMBER: 1004246
APPLICATION NUMBER: 07 DRB-70093

Is an Infrastructure List required? () Yes (X) No. If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i> Traffic Engineer, Transportation Division	8-8-07 Date
<i>[Signature]</i> Water Utility Development	8/2/07 Date
<i>[Signature]</i> Christina Dandoval Parks & Recreation Department	8/8/07 Date
<i>[Signature]</i> Bradley S. Bryson City Engineer	8/8/07 Date
NA Environmental Health Department (conditional)	Date
<i>[Signature]</i> Michael Helton Solid Waste Management	8/7/07 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8/10/07 Date

* Environmental Health, if necessary

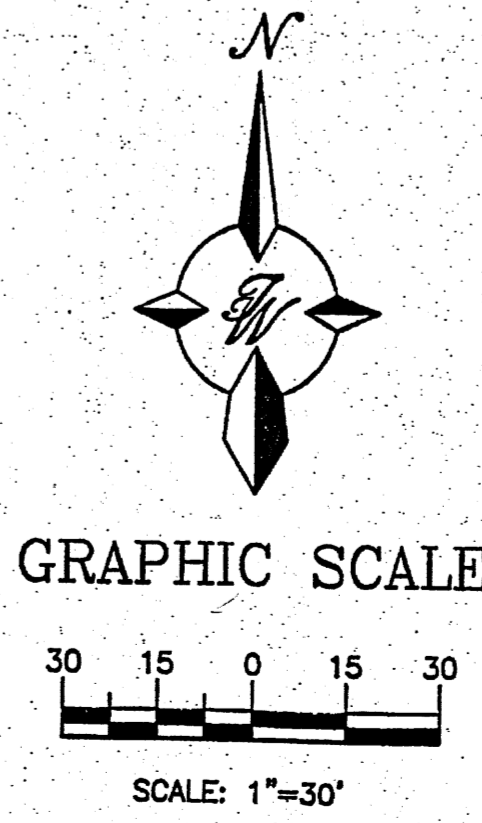
ADMINISTRATIVE AMENDMENT
09/01/09 File # 10035 Project # 1004246
Approve 2nd Pylon Sign
[Signature]
APPROVED BY: DATE: 04-02-09

- GENERAL NOTES**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WILL REQUIRE AN APPLICATION TO DRB TO AMEND THE PLAN.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
 - DELIVERY TRUCKS SHALL NOT IDLE LONGER THEN 5 MINUTES WHILE ON SITE.

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision.

SITE DATA TABLE

	LOT A	LOT B	LOT C	LOT D
TOTAL ACREAGE:	1.974 AC.	1.916 AC.	.765 AC.	.761 AC.
EXISTING ZONING:	SU2-IP	SU2-IP	SU2-IP	SU2-IP
PROPOSED ZONING:	SU2-IP	SU2-IP	SU2-IP	SU2-IP
FAR:	0.22	0.23	0.23	0.23
BUILDING SIZE:	19,280 SF	19,280 SF	7,876 SF	7,876 SF
PROPOSED USE:	RETAIL	RETAIL	RETAIL	RETAIL
MOTORCYCLE PARKING REQUIRED:	3	3	2	2
MOTORCYCLE PARKING PROVIDED:	4	2	2	2
TOTAL PARKING REQUIRED:	90	90	38	38
TOTAL PARKING PROVIDED:	92	88	40	40
HC REQUIRED:	4	4	3	3
HC PROVIDED:	4	4	3	3
BIKE SPACES REQUIRED:	5	5	2	2
BIKE SPACES PROVIDED:	5	5	5	5
BUILDING HEIGHT:	27.5'	27.5'	27.5'	27.5'



ENGINEER'S SEAL

HOLLY PLAZA

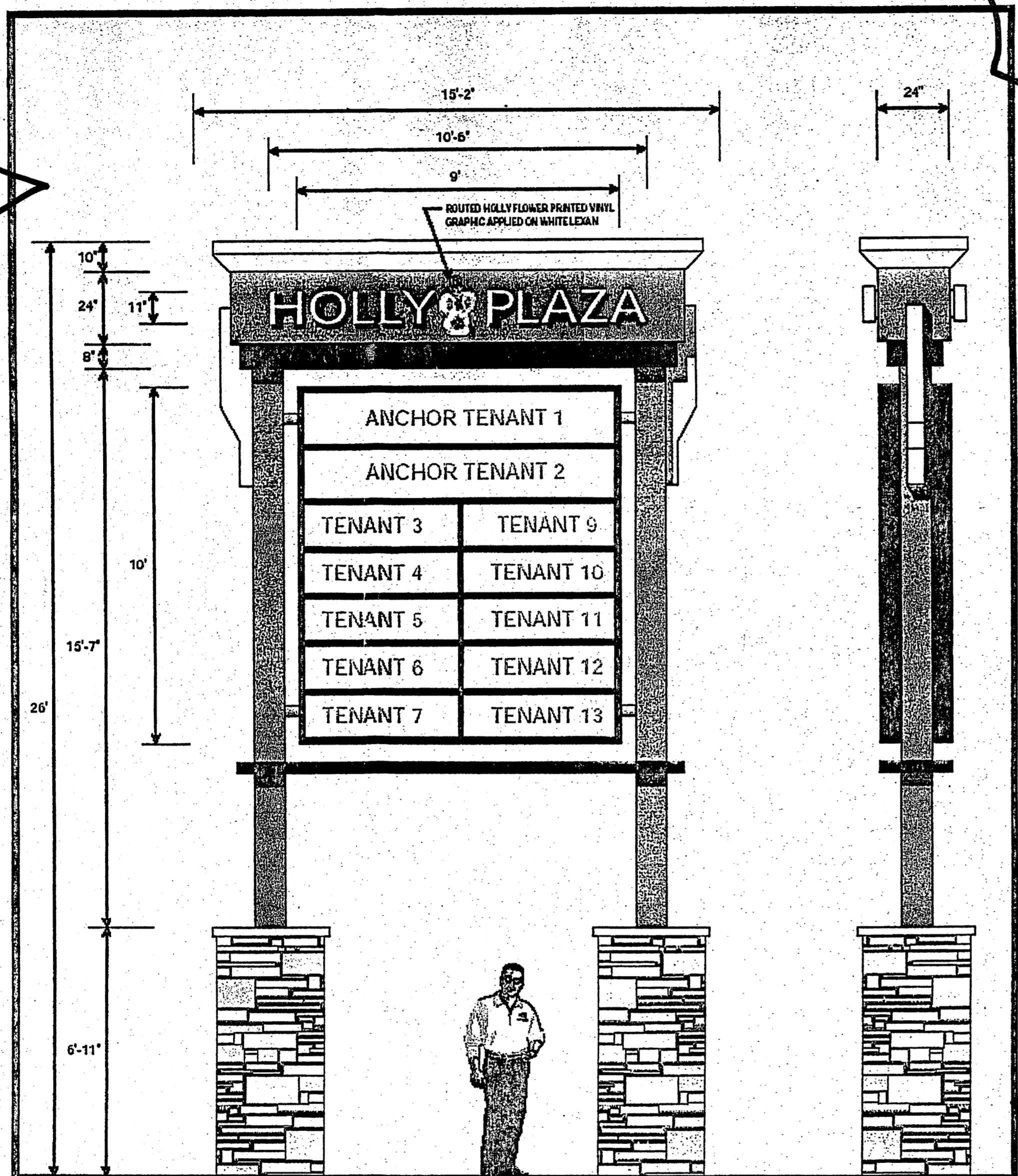
SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY: LPS
DATE: 05/31/07
SHEET #: C1
JOB #: 25061

1004246 C9AA-10035

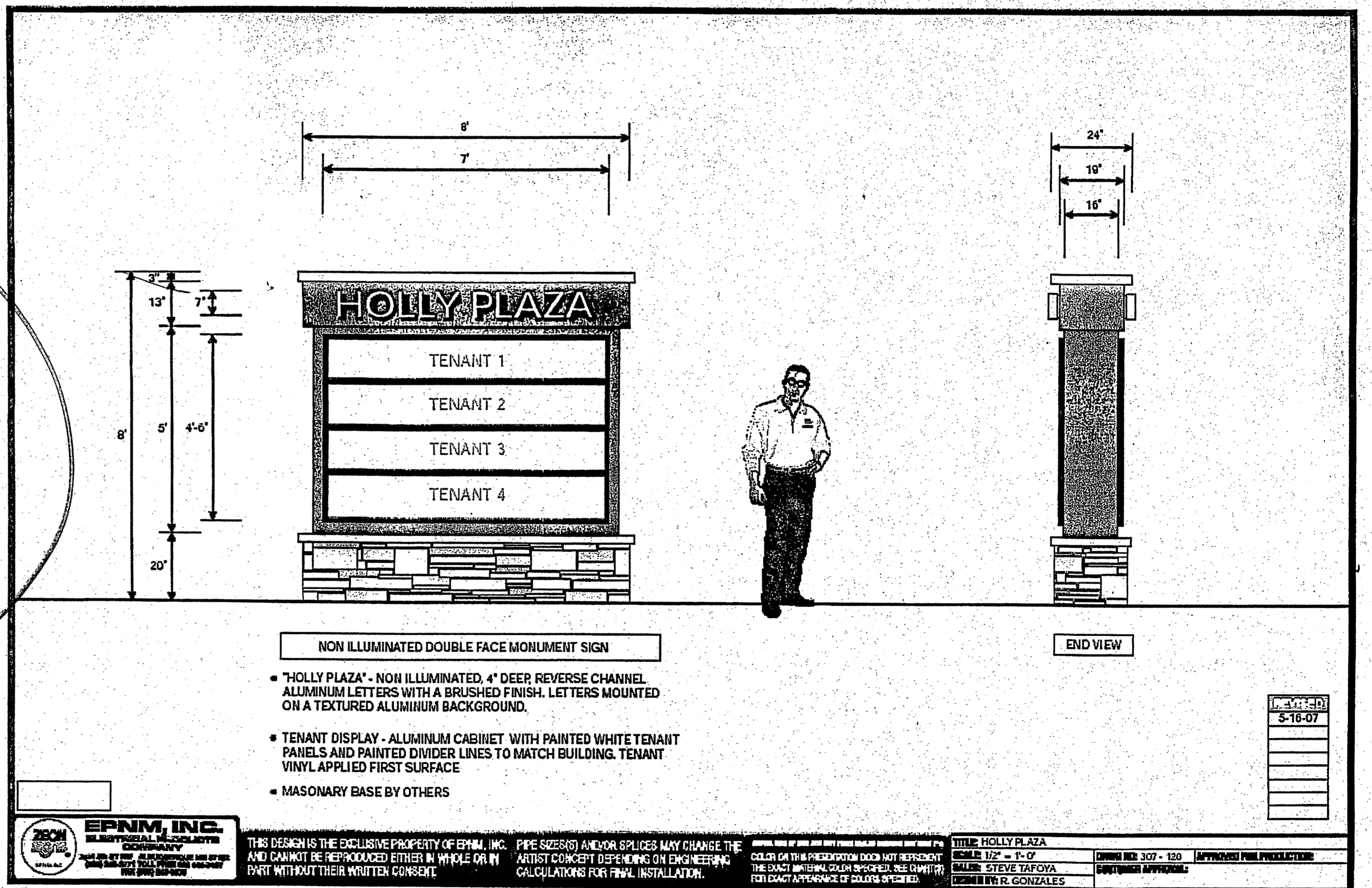


TOTAL SQUARE FEET: 100

PROPOSAL FOR NEW DOUBLE FACE FREE-STANDING DISPLAY

- "HOLLY PLAZA" - 4" DEEP REVERSE CHANNEL ALUMINUM LETTERS WITH A BRUSHED FINISH - SILHOUETTE ILLUMINATION WITH 15MM, 6500 WHITE NEON. LETTERS MOUNTED ON A TEXTURED ALUMINUM BACKGROUND.
- TENANT DISPLAY - .060 THK. ALUMINUM CABINET AND DIVIDER BARS TEXTURED TO MATCH BUILDING. INTERNALLY ILLUMINATED WITH D.H.O. FLUORESCENT LAMPS.
- MASONARY BASE BY OTHERS

← PYLON SIGN
FM: SHEET C1



EPNM, INC. ELECTRICAL & COMMUNICATIONS COMPANY	PROJECT: HOLLY PLAZA - LOUISIANA & HOLLY N.E.
DATE: 5/8/07	SCALE: 3/8" = 1'-0"
DRAWN BY: STEVE TAFUVA	APPROVED FOR PRODUCTION:
CHECKED BY: R. GONZALES	CUSTOMER APPROVAL:

ENGINEER'S SEAL	HOLLY PLAZA	DRAWN BY LPS
	SIGNAGE DETAILS	DATE 05-21-07
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	2561-DETAILS
RONALD R. BOHANNAN P.E. #7868		SHEET # C11
		JOB # 25081