VILLE CT

HOLLY AVENUE
(60' ROW)

EX. 10" WL

EX. 8" SA

PANERA
4,150 S.F.

SITE DATA TABLE	LOT A
TOTAL ACREAGE:	1.974 AC.
EXISTING ZONING:	SU2-IP
PROPOSED ZONING:	SU2-IP
FAR:	0.22
BUILDING SIZE:	19,280 SQ.FT.
PROPOSED USE:	RESTAURANT
MOTORCYCLE PARKING REQ.	3
MOTORCYCLE PARKING PRO	4
TOTAL PARKING REQUIRED:	105
TOTAL PARKING PROVIDED:	88 *
HC REQUIRED:	4
HC PROVIDED:	4
BIKE SPACES REQ:	5
BIKE SPACES PROVIDED:	5
BUILDING HEIGHT:	27.5'

(* REFERS TO PARKING VARIANCE NUMBER 11ZHE-80226)

FF=5261.00

SEPTEMBER, 2011

24 SITE PLAN - EXISTING CONDITIONS WITH MODIFICATIONS
SCALE: - 1"=300'

SITE
HOLLY AVE NE
PASEO DEL NORTE NE

4 KEYPLAN
SCALE: NTS

BAKERY CAFE:
#610048
SYSTEM: G3 (CALM)
PROTOTYPE UPDATE: 2011/01

DESIGN CONSULTANT:
ARCOSION INCORPORATED
ARCHITECTURE / INTERIOR DESIGN / FURNITURE / FIXTURE / EQUIPMENT PLANNING
1900 SPAN DRIVE, SUITE 101 EL CAJON, CA 92019
PH. (619) 442-3400 FAX (619) 442-3200 www.arcosion

STATE OF NEW MEXICO
FREDERICK J. GUGLIA
NO. 2386
REGISTERED ARCHITECT

PARADISE BAKERY & CAFE #610048
HOLLY PLAZA -
6550 HOLLY AVE. NE SUITE A-8
ALBUQUERQUE, NM 87113

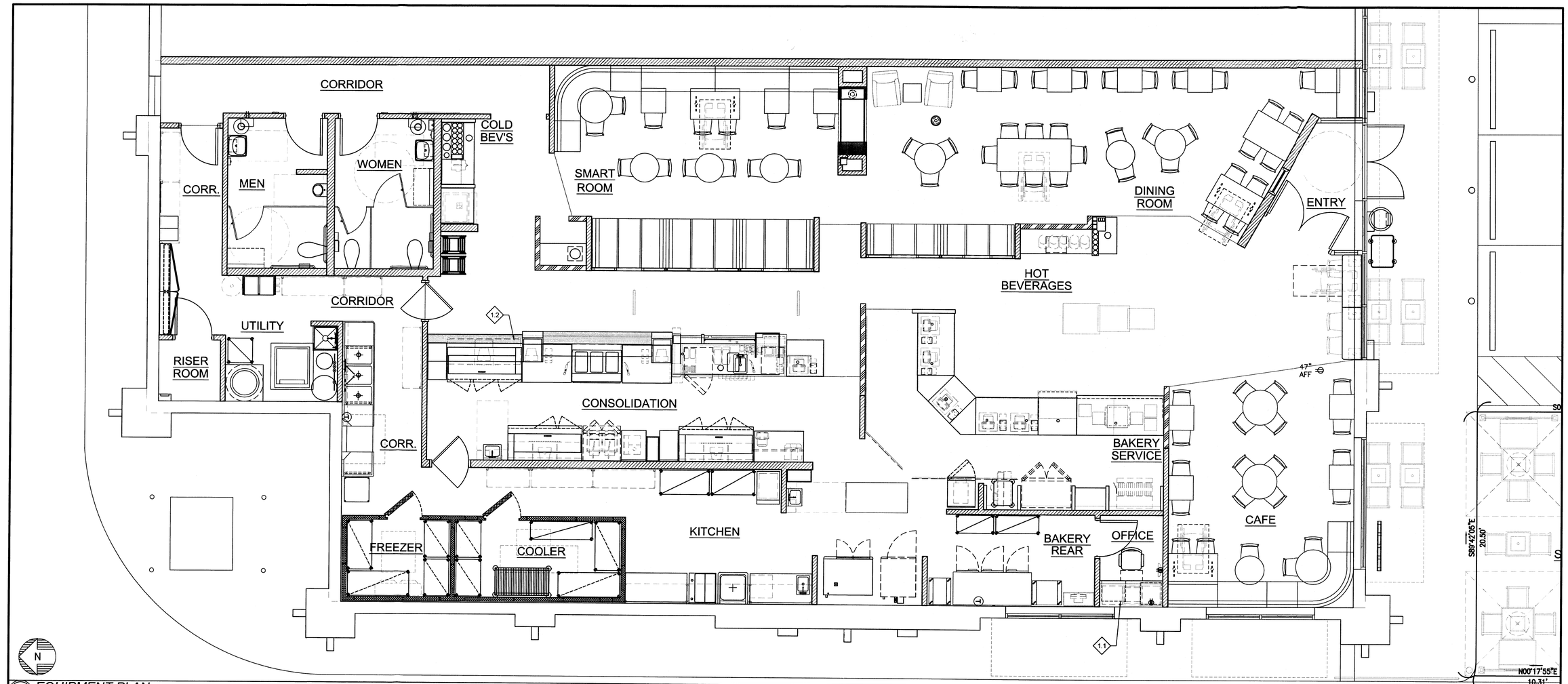
Panera BREAD

PERMIT / BID SET
ISSUED: 07.13.11

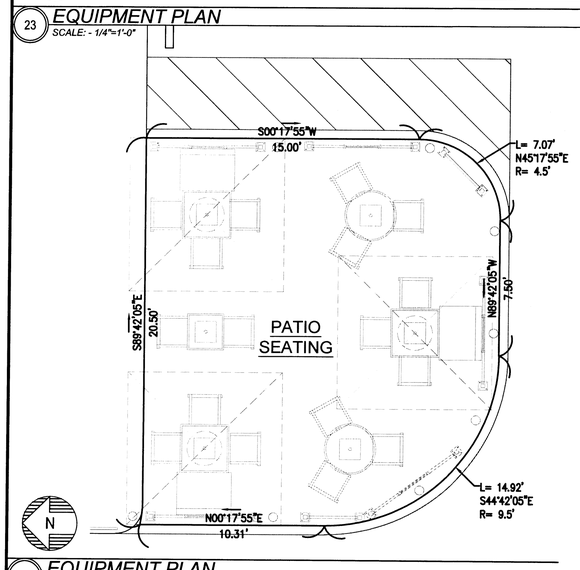
REVISION

ISSUE DATE: 07.13.11
PROJECT NUMBER: 110396
DRAWN BY: BTN
DPM: Michael Rolves
DM: Caryl Scobbie
CPM: Keith Kotchey

SHEET NO:
A-1.0
SITE PLAN
NEW CONSTRUCTION
FILE: 610048-A-1.0.dwg



23 EQUIPMENT PLAN
SCALE: - 1/4"=1'-0"



24 EQUIPMENT PLAN
SCALE: - 1/4"=1'-0"

4 KEYPLAN
SCALE: NTS

BAKERY CAFE:
#610048
SYSTEM: G3 (CALM)
PROTOTYPE UPDATE: 2011-01

DESIGN CONSULTANT:
ARCHITECTURE / CONSTRUCTION MANAGEMENT / LAND DEVELOPMENT / CIVIL ENGINEERING / STRUCTURAL ENGINEERING / MECHANICAL ENGINEERING / ELECTRICAL ENGINEERING / PLUMBING
9600 LAS VEGAS, LAS VEGAS, NV 89123
PH. (702) 410-2400 FAX. (702) 410-2420
www.arcvision.com

PARADISE BAKERY & CAFE #610048
HOLLY PLAZA - 6550 HOLLY AVE. NE
ALBUQUERQUE, NM 87113

Panera BREAD

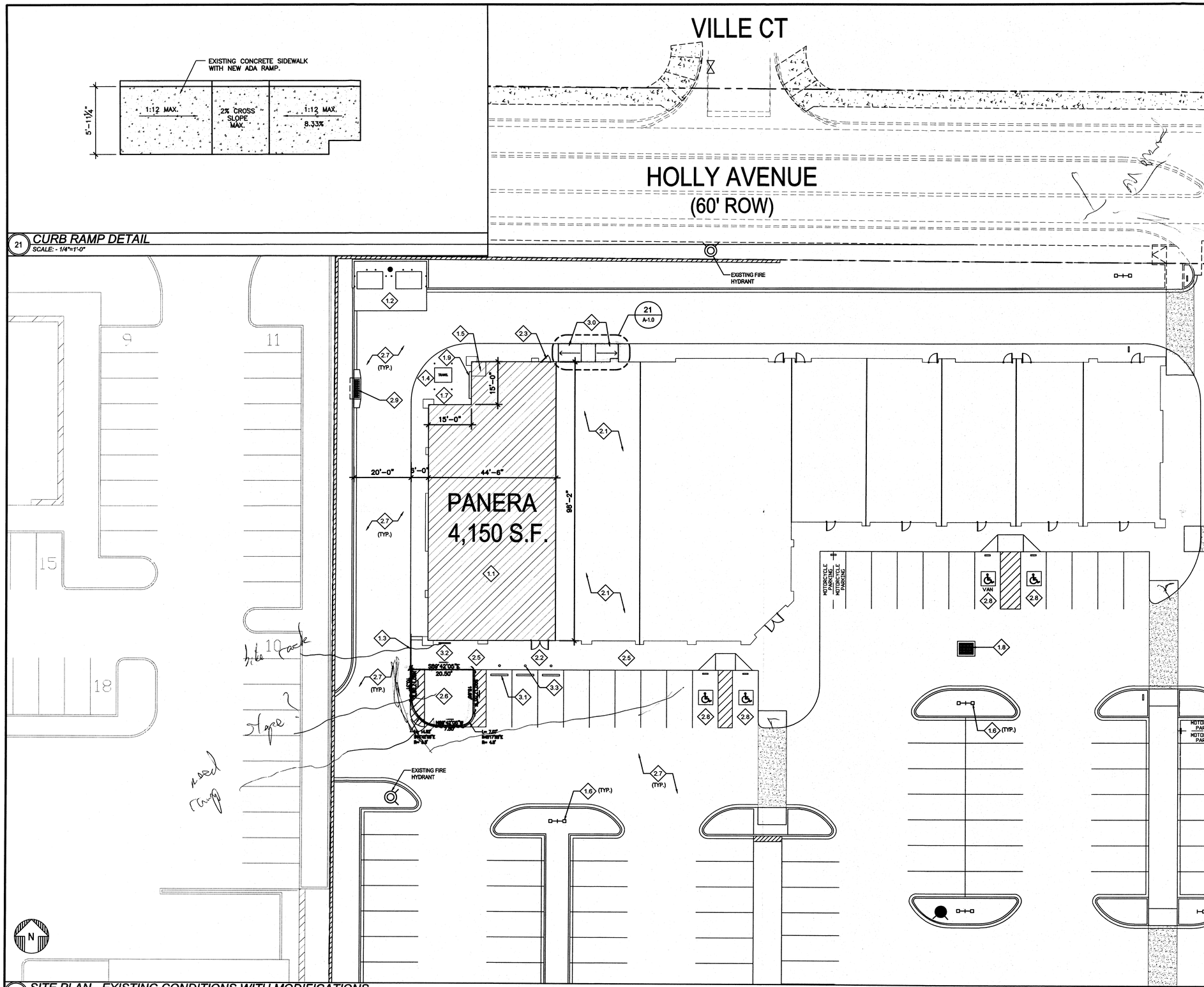
PHASE 1
ISSUED 06.24.11

REVISION

ISSUE DATE: 06.24.11
PROJECT NUMBER: 110396
DRAWN BY: BTN
DPM: Michael Rolves
DM: Caryl Scobbie
CPM: Keith Kotchey

SHEET NO:
EQ-2.1
FLOOR PLAN
EQUIPMENT
FILE: 610048-EQ-2.1.dwg

21 CURB RAMP DETAIL
SCALE: - 1/4"=1'-0"



24 SITE PLAN - EXISTING CONDITIONS WITH MODIFICATIONS
SCALE: - 1/16"=1'-0"

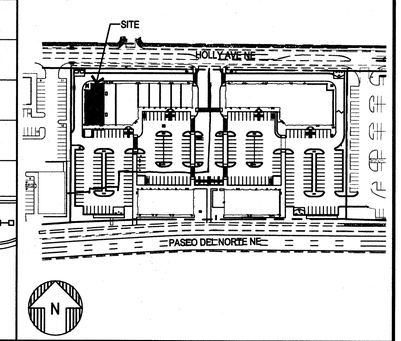
GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE REGULATION AND ORDINANCES OF THE CITY OF ALBUQUERQUE, NM AND ANY OTHER APPLICABLE CODES.
2. THE GENERAL CONTRACT SHALL NOTIFY THE OWNER/ARCHITECT OF ANY INTERRUPTIONS IN UTILITY SERVICES.
3. THE GENERAL CONTRACTOR SHALL CONTACT LOCAL UTILITIES TO VERIFY ALL SIZES, LOCATIONS, AND CONNECTION POINTS FOR ALL UTILITIES AFFECTED.
4. ANY CONNECTIONS, DISCONNECTIONS, AND INSTALLATIONS TO LOCAL UTILITIES SHALL BE MADE IN ACCORDANCE WITH APPLICABLE CODES.
5. EXTERIOR BUILDING SIGN FURNISHED & INSTALLED BY OWNER VENDOR. GC TO PROVIDE POWER.
6. GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO BID. ALSO PROVIDE CONTINUOUS CURB CUTS AND SMOOTH PAVEMENT & CURB TRANSITIONS BETWEEN NEW AND EXISTING CONDITIONS AS REQUIRED FOR SITEWORK AS INDICATED.
7. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ELECTRICAL CONDUIT AND STRUCTURAL FOOTINGS FOR ALL NEW SITE DRIVE-THRU SIGNAGE (TYPICAL).

KEYED NOTES:

INDICATED BY ◇ SYMBOL

- 1.1 PROPOSED PANERA SPACE
- 1.2 EXISTING CMU TRASH ENCLOSURE.
- 1.3 EXISTING STEEL PIPE HANDRAIL TO REMAIN.
- 1.4 EXISTING TRANSFORMER
- 1.5 PROPOSED FIRE SPRINKLER ROOM.
- 1.6 EXISTING SITE LIGHTING
- 1.7 EXISTING GAS METER
- 1.8 EXISTING STORM SEWER
- 1.9 EXISTING ELECTRICAL SWITCHGEAR
- 2.0 EXISTING FIRE HYDRANT (6" LINE)
- 2.1 ADJACENT TENANT SPACE.
- 2.2 EXISTING MAIN ENTRY DOORS. △1
- 2.3 EXISTING SERVICE DOOR TO REMAIN.
- 2.4 EXISTING LANDSCAPE AREA TO REMAIN.
- 2.5 EXISTING SIDEWALK TO REMAIN.
- 2.6 PROPOSED BRICK PAVER PATIO. △1
- 2.7 EXISTING DRIVE AISLE TO REMAIN.
- 2.8 EXISTING HANDICAP STALL WITH WHEEL STOP AND SIGNAGE.
- 2.9 EXISTING CULVERT DRAIN WITH STEEL COVER PLATE.
- 3.0 NEW CURB RAMPS. RUNNING SLOPE N.T.E. 8.33% AND CROSS SLOPE N.T.E. 2%.
- 3.1 NEW WHEELSTOP, SEE DETAIL X/XX.
- 3.2 EXISTING BIKE RACK TO REMAIN.
- 3.3 NEW BOLLARD W/ DECORATIVE COVER, SEE DETAIL X/XX.



4 KEYPLAN
SCALE: NTS

BAKERY CAFE:
#610048
SYSTEM: G3 (CALM)
PROTOTYPE UPDATE: 2011-01

DESIGN CONSULTANT:
ARCHITECTURE / INTERIOR DESIGN
SAINT LOUIS / DALLAS / LAS VEGAS / ORLANDO
PH. (314) 416-2400 FAX (314) 416-2420 www.arcvision.com

STATE OF NEW MEXICO
FREDERICK J. GALBIA
NO. 2366
REGISTERED ARCHITECT

PARADISE BAKERY & CAFE #610048
HOLLY PLAZA - 6550 HOLLY AVE. NE
ALBUQUERQUE, NM 87113

Panera BREAD

PERMIT / BID SET
ISSUED 07.13.11

REVISION
△1 BUILDING & OWNER COMMENTS 08/01/11

ISSUE DATE: 07.13.11
PROJECT NUMBER: 110396
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FILE: 610048-A-1.0.dwg

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