

LEGAL DESCRIPTION:
 LOT 10-A, BLOCK 35, TRACT A, UNIT B NORTH ALBUQUERQUE ACRES

LEGEND

| | |
|--|---------------------------|
| | PROPOSED CURB & GUTTER |
| | BOUNDARY LINE |
| | EASEMENT |
| | PROPOSED SIDEWALK |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | LANE |
| | STRIPING |
| | LIGHT POLE |
| | PROPOSED BUILDING |
| | PROPOSED PERIMETER WALL |
| | PROPOSED RETAINING WALL |
| | EXISTING CURB & GUTTER |
| | EXISTING SIDEWALK |
| | EXISTING STRIPING |
| | PROPOSED CROSSWALK |
| | PROPOSED 5 SPACE BIKERACK |
| | PROPOSED FIRE HYDRANT |

PROJECT NUMBER: 1004246
APPLICATION NUMBER: 07DRB-00144

Is an Infrastructure List required? Yes No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

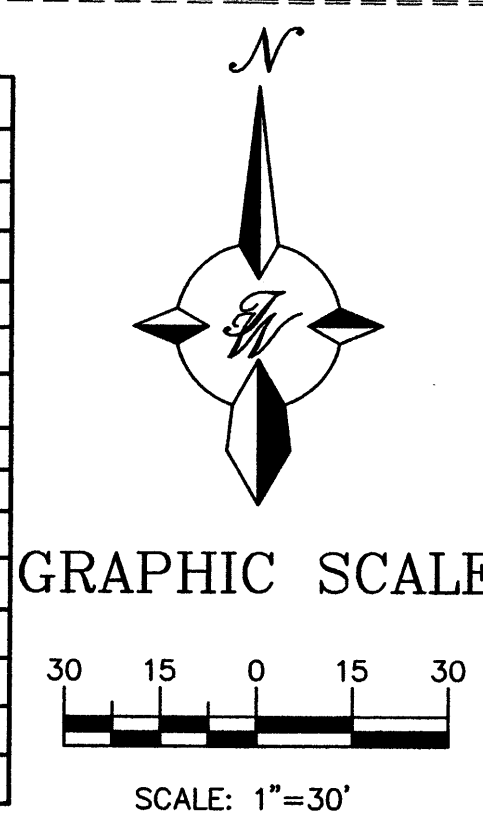
| | |
|---|---------|
| <i>John G. ...</i> | 5-2-07 |
| Traffic Engineer, Transportation Division | Date |
| <i>Roger A. ...</i> | 5-2-07 |
| Water Utility Development | Date |
| <i>Christina S. ...</i> | 5/2/07 |
| Parks & Recreation Department | Date |
| <i>... 25</i> | 8/17/07 |
| City Engineer | Date |
| <i>N/A</i> | |
| * Environmental Health Department (conditional) | Date |
| <i>Michael ...</i> | 8/9/07 |
| Solid Waste Management | Date |
| <i>... Mason</i> | 8/17/07 |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

- GENERAL NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WILL REQUIRE AN APPLICATION TO DRB TO AMEND THE PLAN.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
 - DELIVERY TRUCKS SHALL NOT IDLE LONGER THAN 5 MINUTES WHILE ON SITE.
 - No Drive Thrus are allowed with this development.

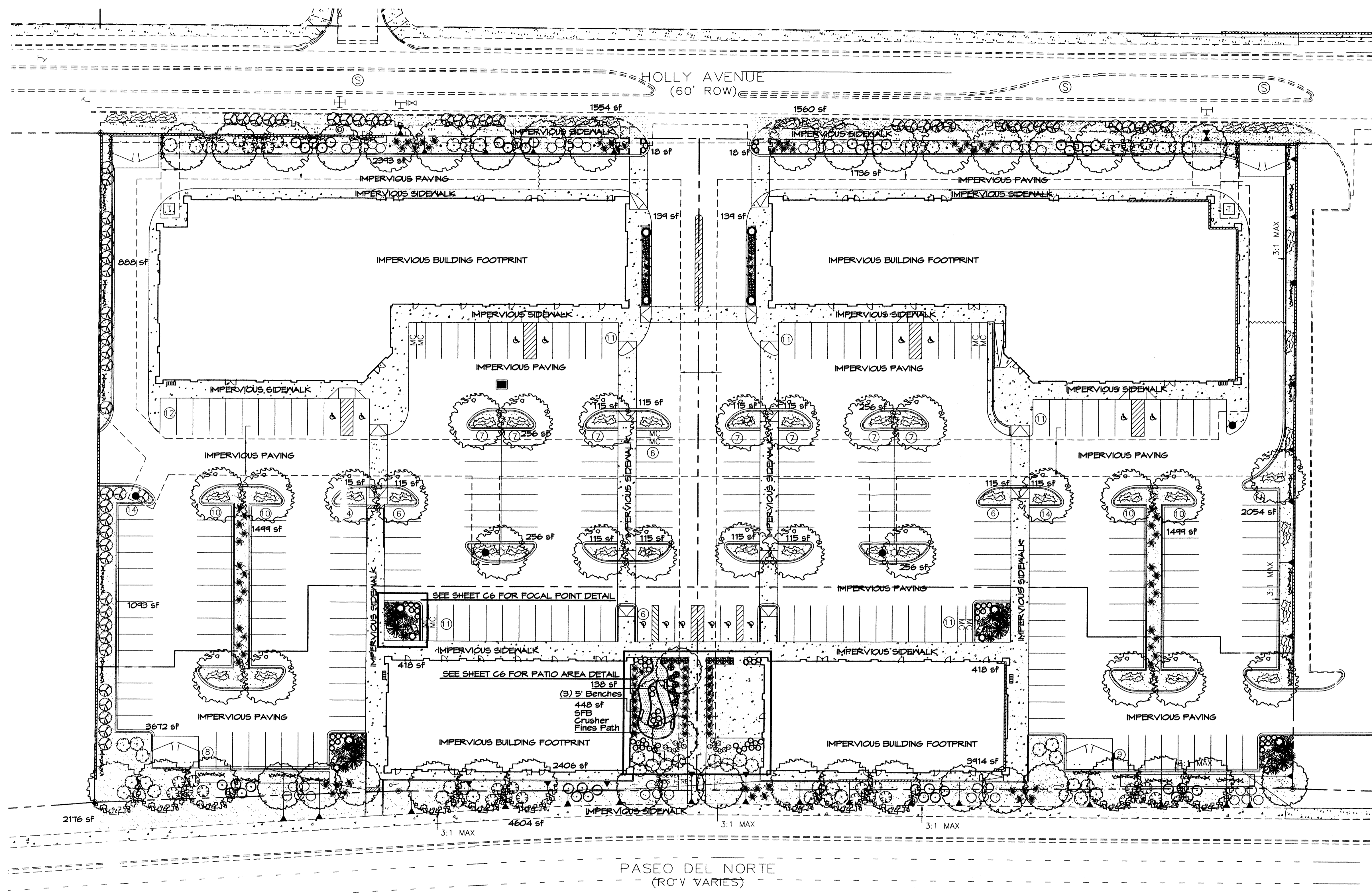
- KEYED NOTE**
- (A) 10' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (B) HC RAMP PER C.O.A. STD DWG #2441
 - (C) 6" STANDARD CURB & GUTTER
 - (D) UNI-DIRECTIONAL HC RAMP PER C.O.A. STD DWG #2441
 - (E) BOLLARD
- OTHER NOTES:**
- (1) SEE SHEET C-9 FOR DETAILS

| SITE DATA TABLE | LOT A | LOT B | LOT C | LOT D |
|------------------------------|-----------|-----------|----------|----------|
| TOTAL ACREAGE: | 1.974 AC. | 1.916 AC. | .765 AC. | .761 AC. |
| EXISTING ZONING: | SU2-IP | SU2-IP | SU2-IP | SU2-IP |
| PROPOSED ZONING: | SU2-IP | SU2-IP | SU2-IP | SU2-IP |
| BUILDING SIZE: | 19,280 SF | 19,280 SF | 7,876 SF | 7,876 SF |
| PROPOSED USE: | RETAIL | RETAIL | RETAIL | RETAIL |
| MOTORCYCLE PARKING REQUIRED: | 3 | 3 | 2 | 2 |
| MOTORCYCLE PARKING PROVIDED: | 4 | 2 | 2 | 2 |
| TOTAL PARKING REQUIRED: | 90 | 90 | 38 | 38 |
| TOTAL PARKING PROVIDED: | 92 | 88 | 40 | 40 |
| HC REQUIRED: | 4 | 4 | 3 | 3 |
| HC PROVIDED: | 4 | 4 | 3 | 3 |
| BIKE SPACES REQUIRED: | 5 | 5 | 2 | 2 |
| BIKE SPACES PROVIDED: | 5 | 5 | 5 | 5 |
| BUILDING HEIGHT: | 27.5' | 27.5' | 27.5' | 27.5' |



| | | |
|--|---|------------------|
| | HOLLY PLAZA | DRAWN BY LPS |
| | SITE PLAN FOR BUILDING PERMIT | DATE 04/30/07 |
| | TERRA WEST, LLC | SHEET # 1 |
| | 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | JOB # 25061 |

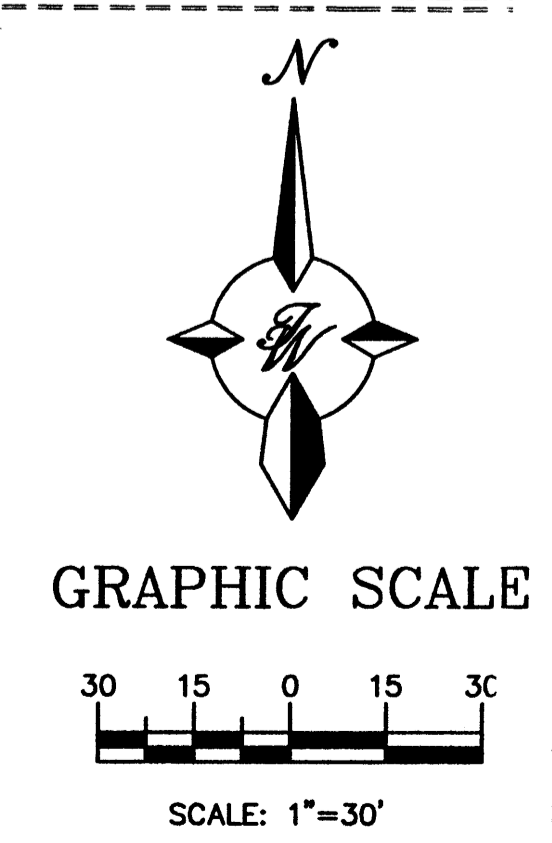
PROJECT# 1004246

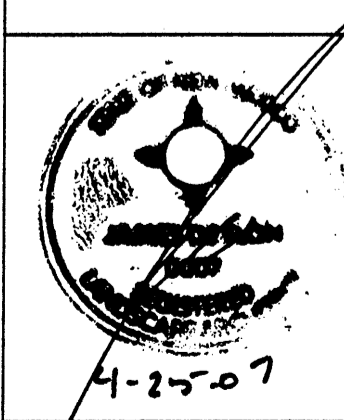
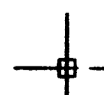


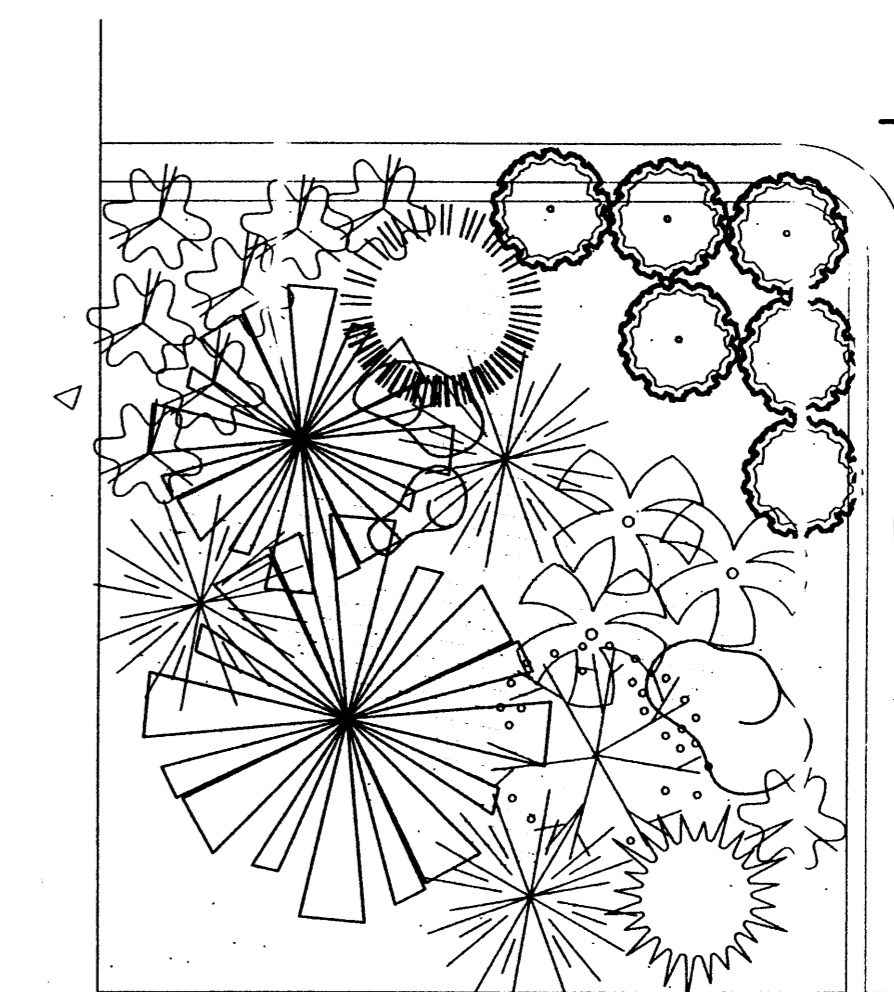
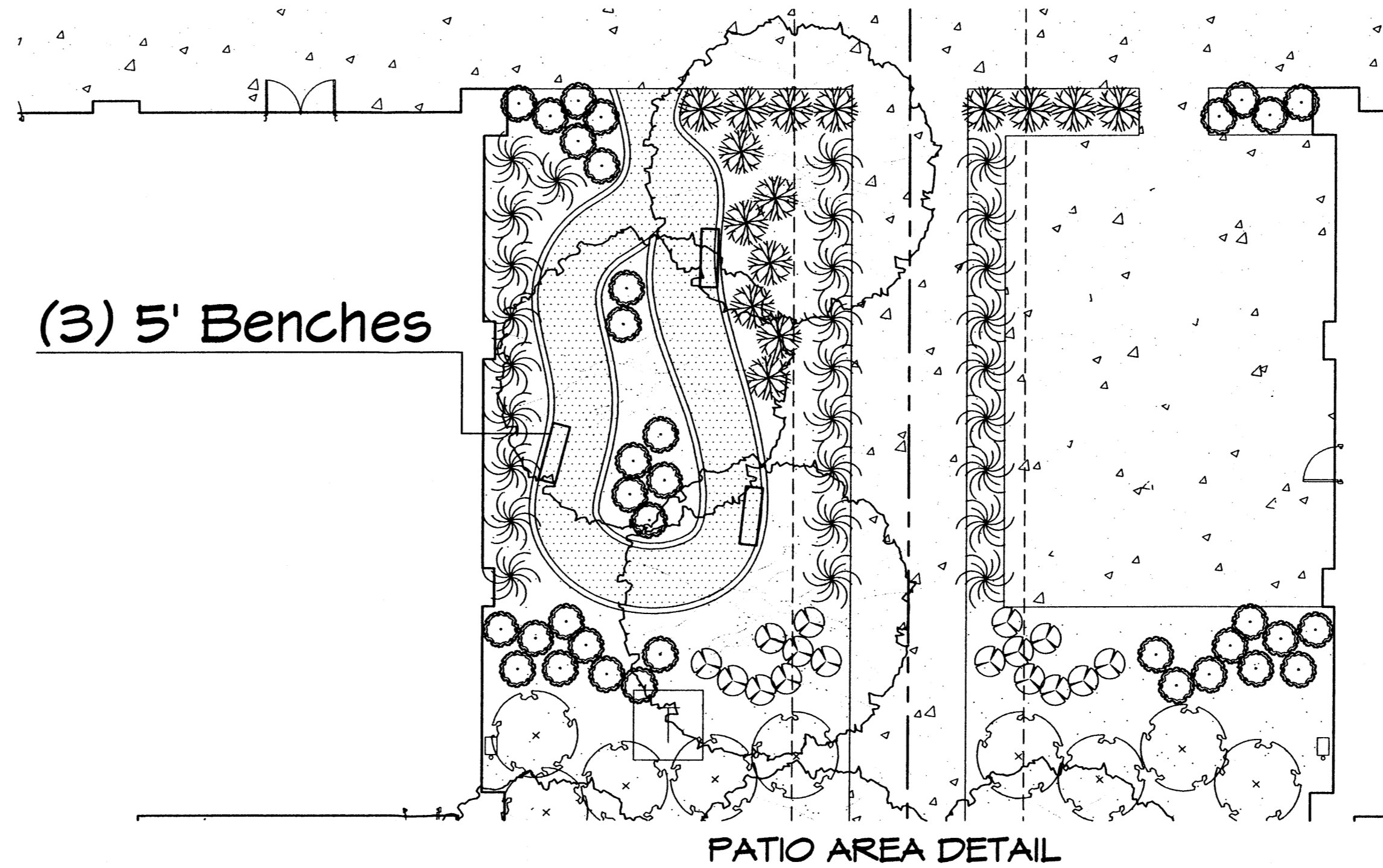
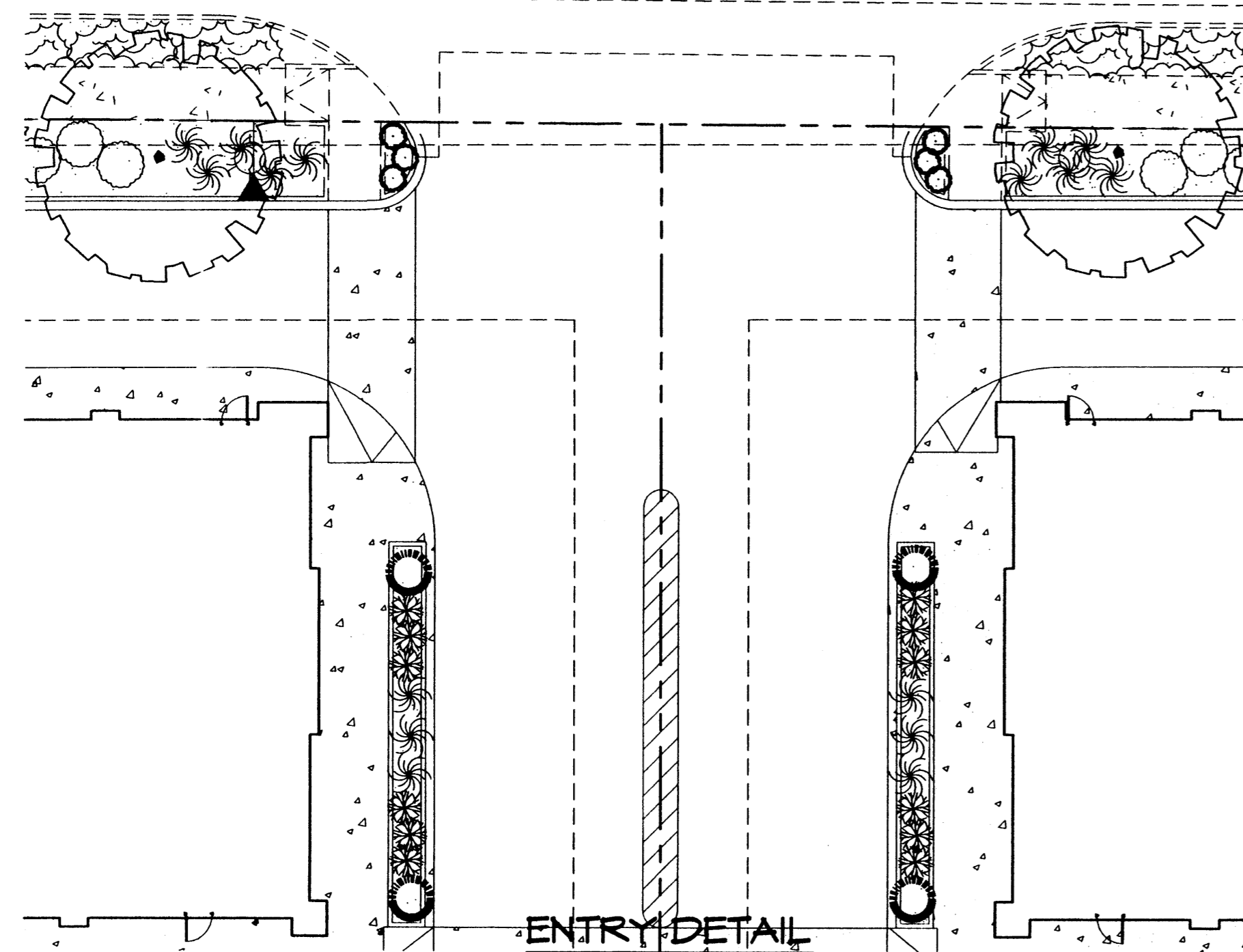
PLANT LEGEND

- CHINESE PISTACHE (M) 26
Pistacia chinensis
2" Cal.
- SHUMARD OAK (M) 12
Quercus shumardii
2" Cal.
- PALM YUCCA (L) 8
- OGOTILLO (L) 4
Fouquieria splendens
- SPANISH BROOM (M) 49
Genista hispanica
5 Gal. 100sf
- RUSSIAN SAGE (M) 40
Perovskia atriplicifolia
5 Gal. 36sf
- MAIDENRASS (M) 10
Miscanthus sinensis
5 Gal. 16sf
- RED YUCCA (L) 12
Hesperaloe parviflora
5 Gal. 4sf
- APACHE PLUME (L) 40
Fallugia paradoxa
5 Gal. 25sf
- SCOTCH BROOM (M) 1
Cytisus scoparius
5 Gal. 16sf
- REGAL MIST (M) 27
Muhlenbergia capillaris
5 Gal. 4sf
- SANTA FE BROWN GRASS
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
- SANTA FE BROWN GRASS
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
- CHITALPA (M) 8
Chilopsis x Catalpa
2" Cal.
- COMMON HACKBERRY (M) 23
Celastrus occidentalis
2" Cal.
- MUGO PINE (M) 8
Pinus mugo
5 Gal. 4sf
- AGAVE (L) 12
Agave spp.
16 sf
- HONEYSUCKLE (M) 61
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- CHAMISA (L) 30
Chrysothamnus nauseosus
1 Gal. 13sf
- LAVENDE (M) 65
Lavandula angustifolia
1 Gal. 4sf
- THREADGLASS (M) 32
Stipa tenuissima
1 Gal. 4sf
- WILDFLOWER 16
1 Gal. 4sf
- WINTER JASMINE (L+) 48
Jasminum multiflorum
1 Gal. 14sf
and/or
- BANKS RIVER (M) 30
Rosa banksiae
1 Gal. 40sf
- TRUMPET VINE (M)
Campsis radicans
1 Gal. 40sf
- BENCH 5' LONG (3)
- OVERSIZED GRAVEL
4 BOULDER'S (12)

4-23-07 RMM



| | | | |
|---|----------------|----------------|---------------------|
|  | HOLLY PLAZA | | DRAWN BY cj |
| | LANDSCAPE PLAN | | DATE 2/06/07 |
|  TIERRA WEST, LLC 571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | | 2561-LANDSCAPE | SHEET # 2 |
| | | | JOB # |



STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

- HOLLY
Required 18 Provided 18
- FASEO DEL NORTE
Required 22 Provided 22

PARKING LOT TREE REQUIREMENTS

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

- 1 Shade tree per 10 spaces @244 spaces
Required 25 Provided # 26

NOTE TO CLIENT:

Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all Pervious landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

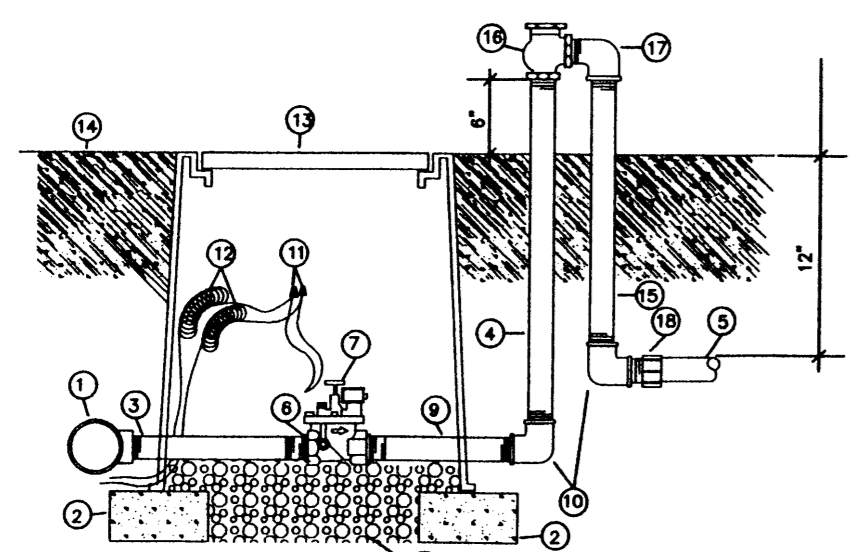
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

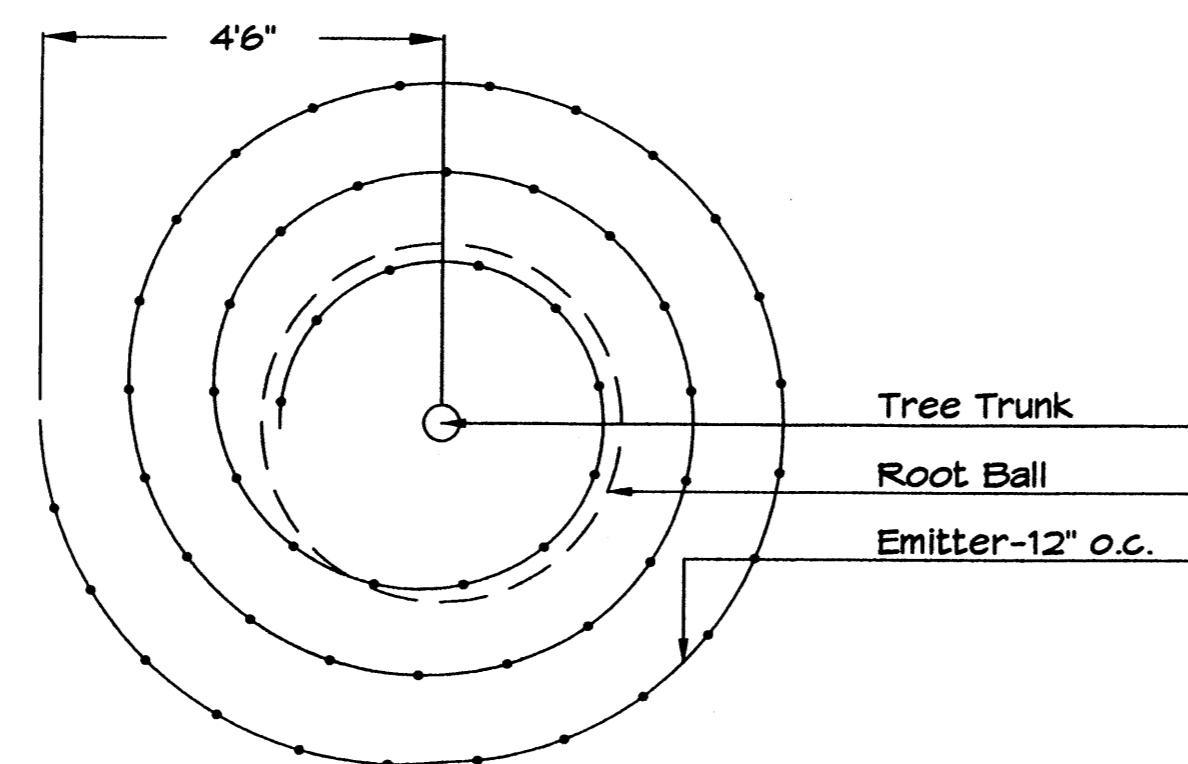
LANDSCAPE CALCULATIONS

| | | |
|--------------------------------|-------------|-------------|
| TOTAL LOT AREA | 235045 | square feet |
| TOTAL BUILDINGS AREA | 54312 | square feet |
| OFFSITE AREA | 0 | square feet |
| NET LOT AREA | 180733 | square feet |
| LANDSCAPE REQUIREMENT | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 27109 | square feet |
| TOTAL BED PROVIDED | 35188 | square feet |
| GROUND COVER REQ. | 75% | square feet |
| TOTAL GROUND COVER REQUIREMENT | 26391 | square feet |
| TOTAL GROUND COVER PROVIDED | 26890 (76%) | square feet |
| TOTAL LANDSCAPE PROVIDED | 35188 (19%) | square feet |

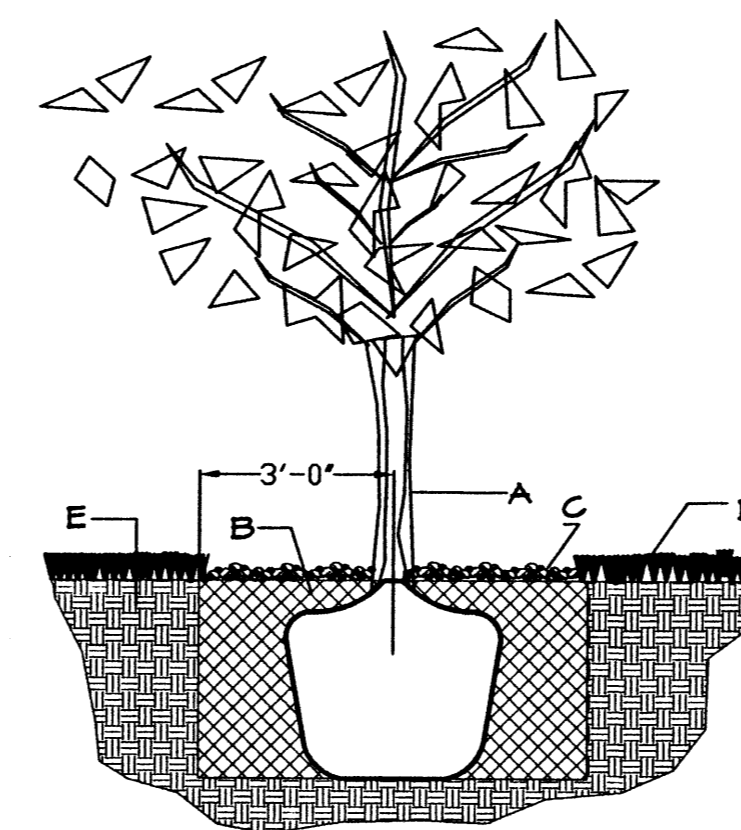


- 1 MAINLINE FITTING
- 2 GMI BLOCK
- 3 GALVANIZED NIPPLE
- 4 24" TO 36" GALVANIZED NIPPLE
- 5 VALVE BOX
- 6 FINISH GRADE
- 7 LATERAL PIPE
- 8 REDUCER BUSHING
- 9 AUTOMATIC VALVE (SEE LEGEND)
- 10 GRAVEL
- 11 GALVANIZED NIPPLE
- 12 GALVANIZED ELBOW
- 13 WATERPROOF WIRE CONNECTOR
- 14 WIRE EXPANSION LOOPS
- 15 VALVE BOX
- 16 FINISH GRADE
- 17 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 18 ATMOSPHERIC VACUUM BREAKER
- 19 GALVANIZED STREET ELL
- 20 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



Netafim Spiral Detail



GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

- A. TREE
- B. BACKFILL WITH EXISTING SOIL.
- C. 4" DEPTH OF BARK MULCH.
- D. TURF AT FINISH GRADE.
- E. UNDISTURBED SOIL.

TREE PLANTING DETAIL NTS

GENERAL NOTES:

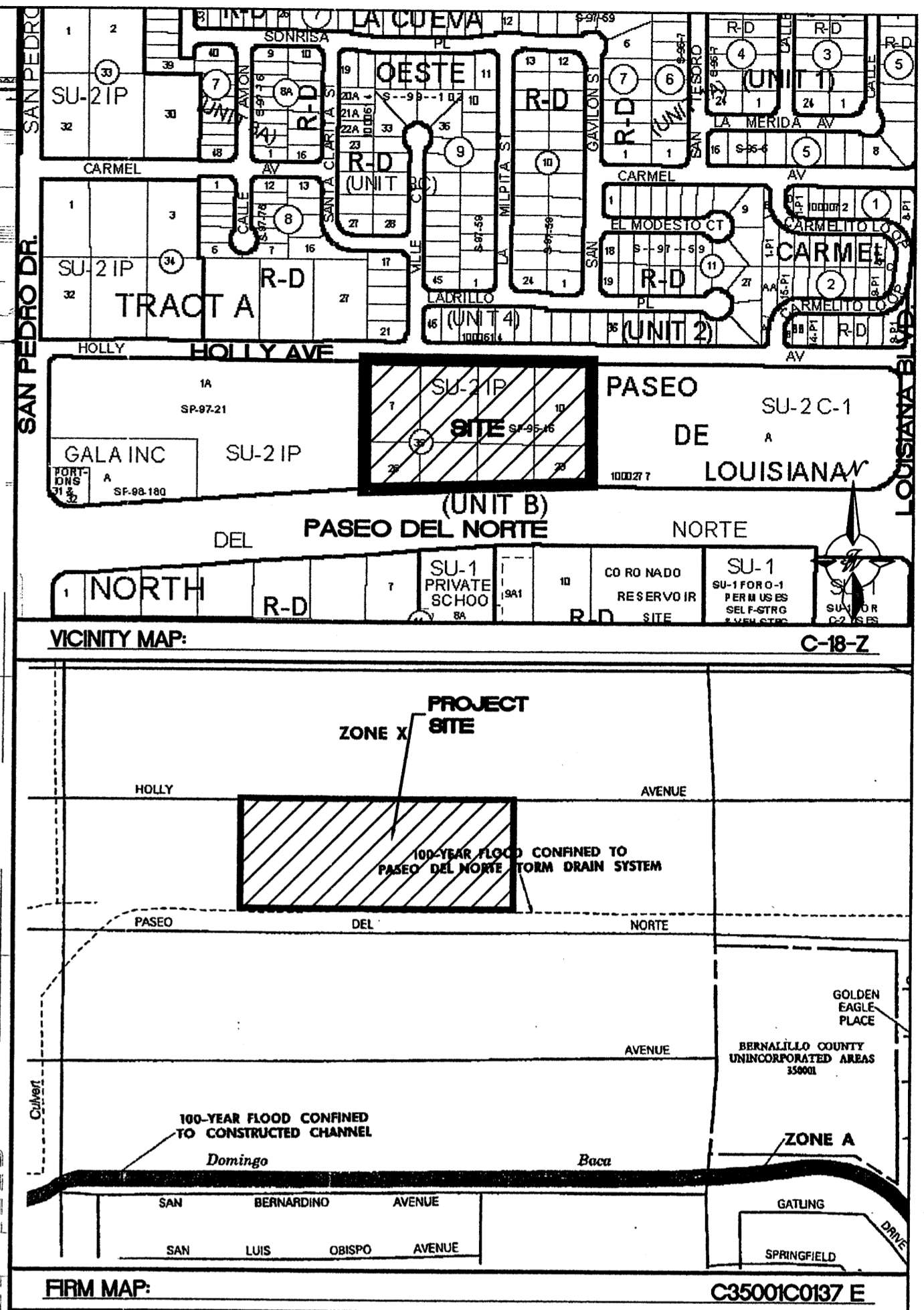
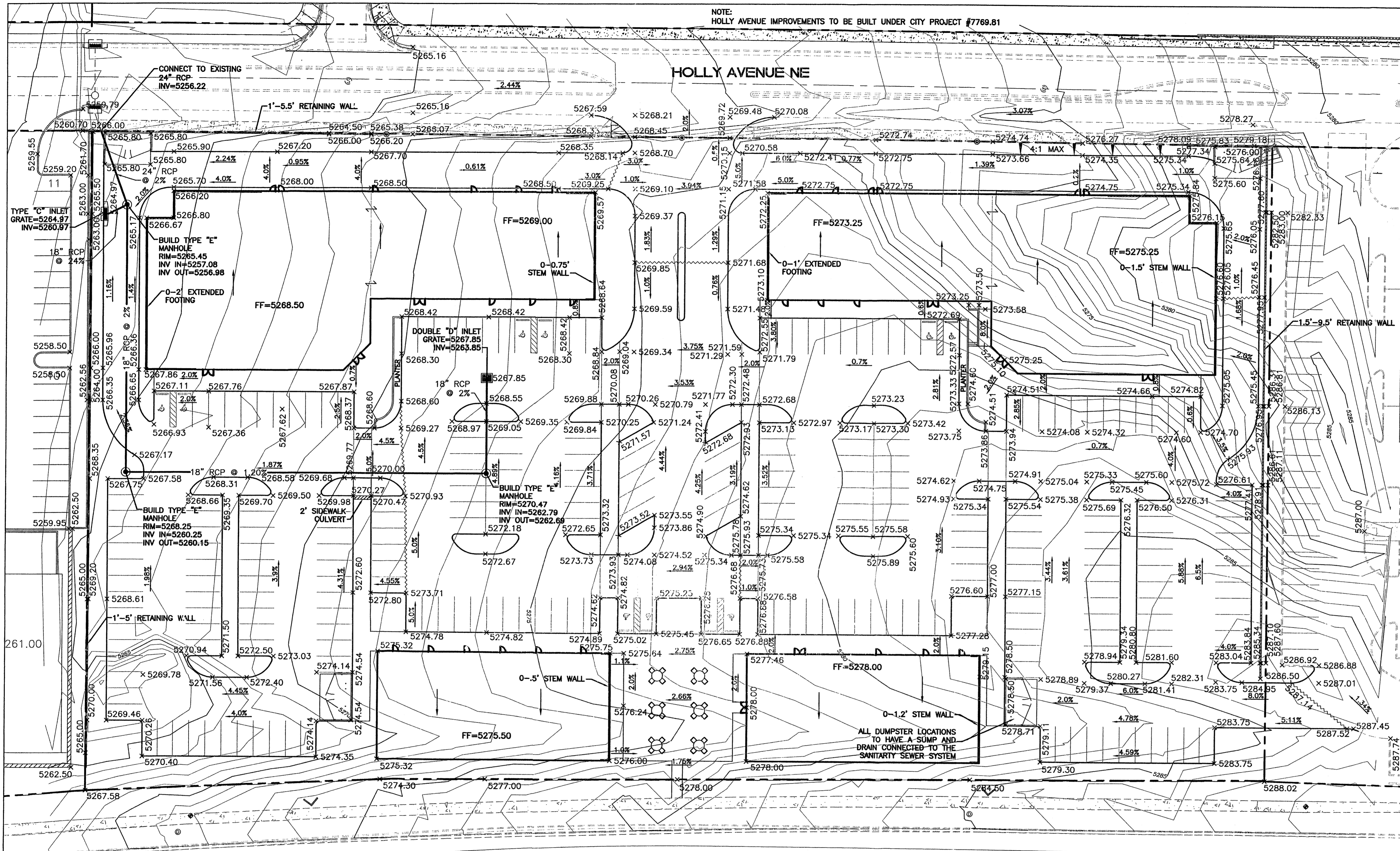
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- SHRUB PLANTING DETAIL NTS**

CONSTRUCTION NOTES:

- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASIN.
- D. 4" DEPTH OF BARK MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

| | | |
|--|---|------------------|
| | HOLLY PLAZA | DRAWN BY ej |
| | LANDSCAPE DETAIL SHEET | DATE: 2/06/07 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | 2561-LANDSCAPE |
| | | SHEET # (3) |
| | | JOB # |

NOTE:
HOLLY AVENUE IMPROVEMENTS TO BE BUILT UNDER CITY PROJECT #7769.81



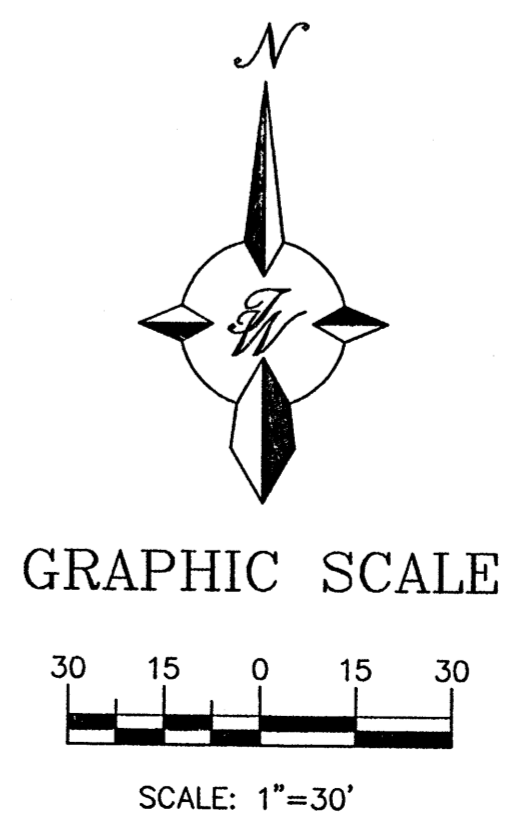
LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL
- EXISTING SIDEWALK
- 5011--- EXISTING CONTOUR
- 5010--- EXISTING INDEX CONTOUR
- x 5048.25 EXISTING SPOT ELEVATION
- 5011--- PROPOSED CONTOUR
- 5010--- PROPOSED INDEX CONTOUR
- x 5048.25 PROPOSED SPOT ELEVATION
- FLOW ARROW
- BOUNDARY LINE

NOTICE TO CONTRACTORS

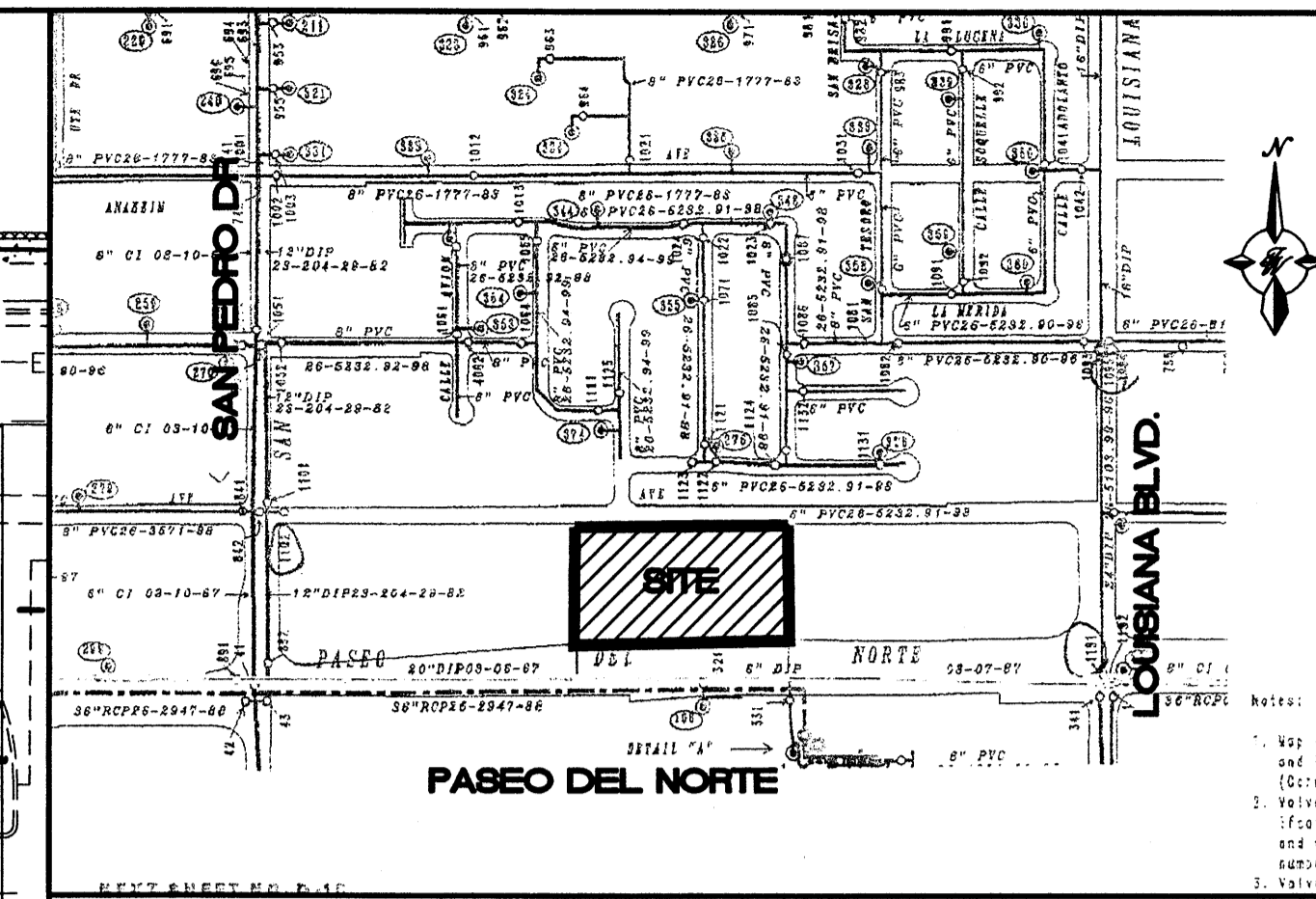
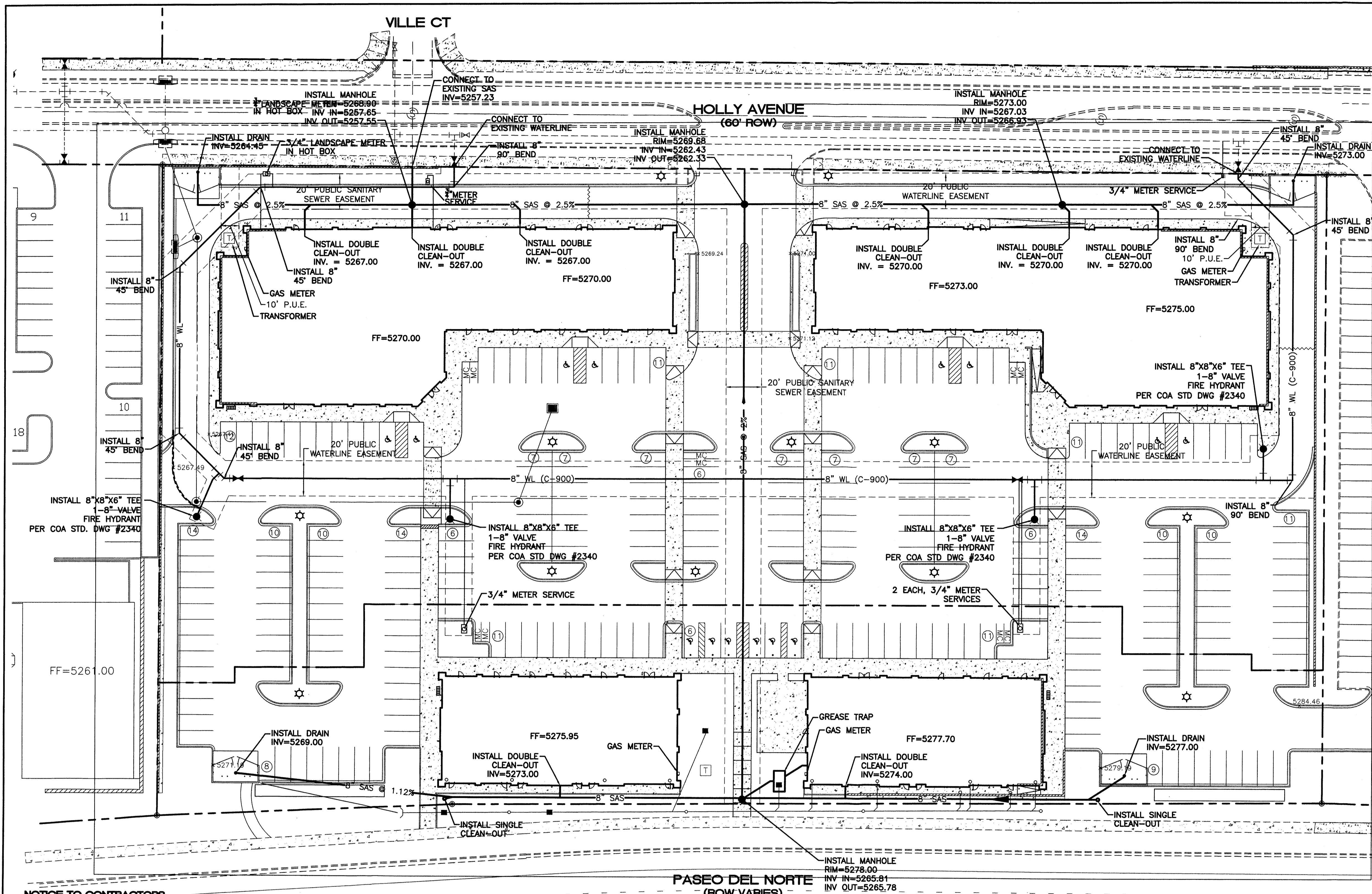
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OF PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



ROUGH GRADING APPROVAL _____ DATE _____

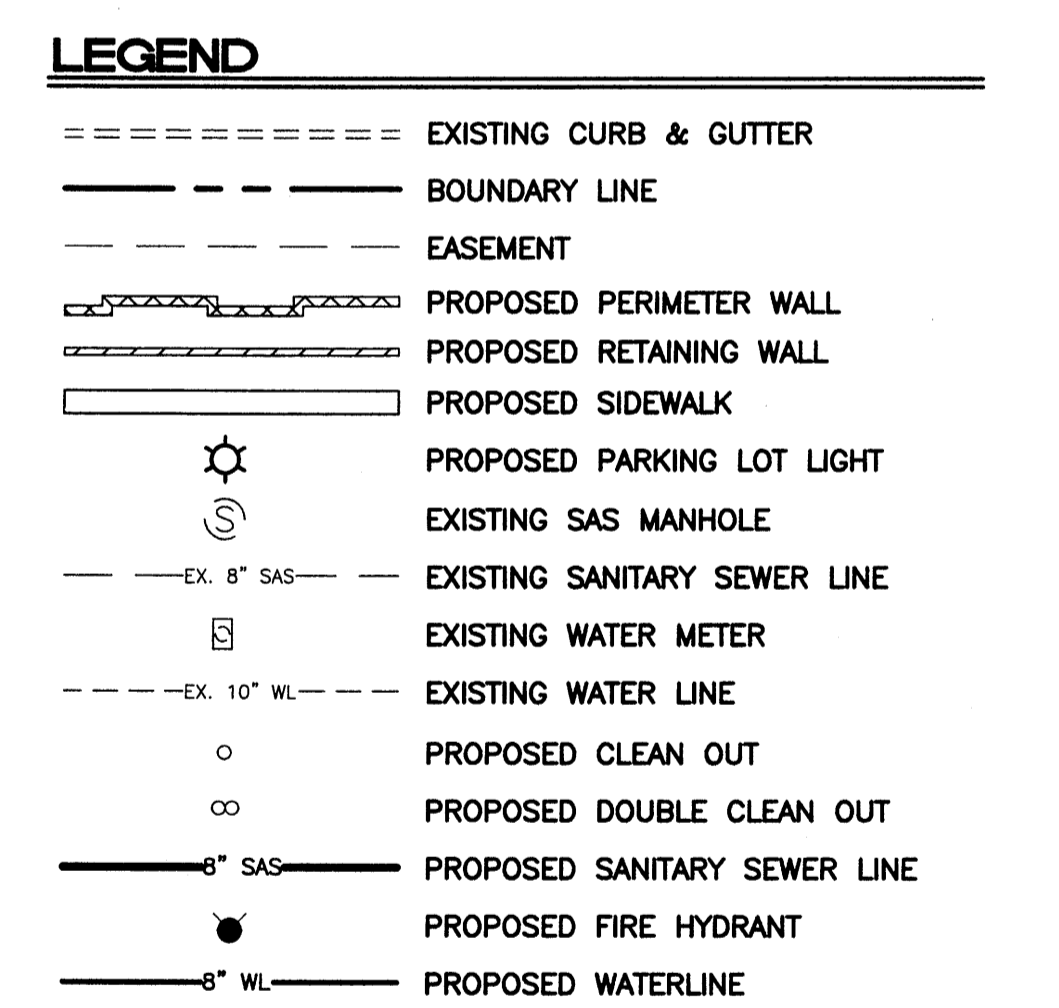
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|---|----------------------------------|--------------|------------------|
| | HOLLY PLAZA | | DRAWN BY AM |
| | GRADING AND DRAINAGE PLAN | | DATE 11/22/06 |
| | | SHEET # 4 | JOB # 25061 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | | | |



WATER SHUT OFF PLAN: SHUT OFF VALVES

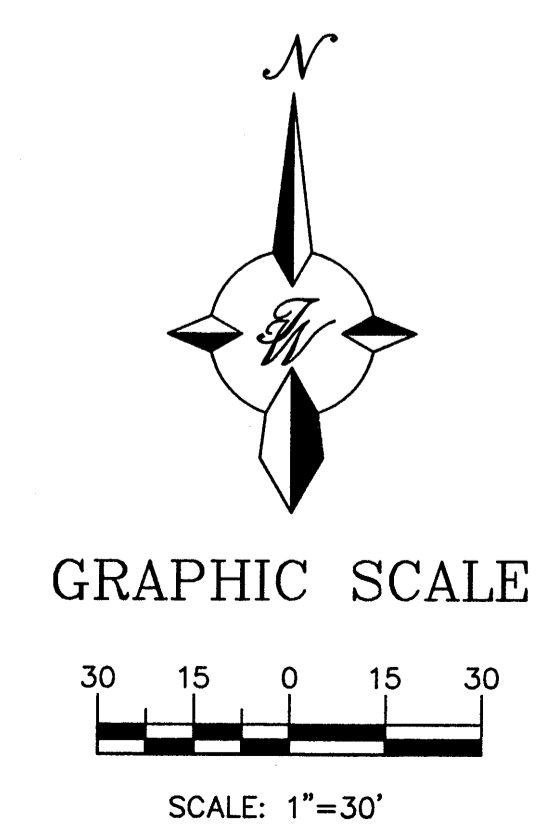
WATER SHUT OFF PLAN NOTES:
 1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 2. NOTIFY CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
 3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 4. SHUT OFF THE VALVES INDICATED IN THE ABOVE PLAN, TO BE DONE ONLY IN THE EVENT OF EMERGENCY. CONNECTION TO EXISTING WATER LINE TO BE PRESSURIZED.

- GENERAL NOTES:**
- ALL 8" SANITARY SEWER PIPE TO BE SDR-35.
 - ALL 6" AND 8" WATERLINE PIPE TO BE C-900.
 - ALL SANITARY SEWER SERVICE PIPE TO BE 4" PVC.
 - ALL WATERLINE SERVICE PIPE TO MATCH DESIGNATED METER SIZE AND BE OF PVC MATERIAL.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 - ALL PIPE MATERIAL TO BE USED PER UPC.
 - ALL MANHOLES TO BE BUILT PER COA STD DWG # 2102
 - SEE SHEET C10 FOR DETAILS.



- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
 - CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
 - CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OF DAMAGE OF UNDERGROUND FACILITIES.

- CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITIES PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATING EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
- CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
- CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLOGGED DURING EXCAVATION WORK.
- CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN AN UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.



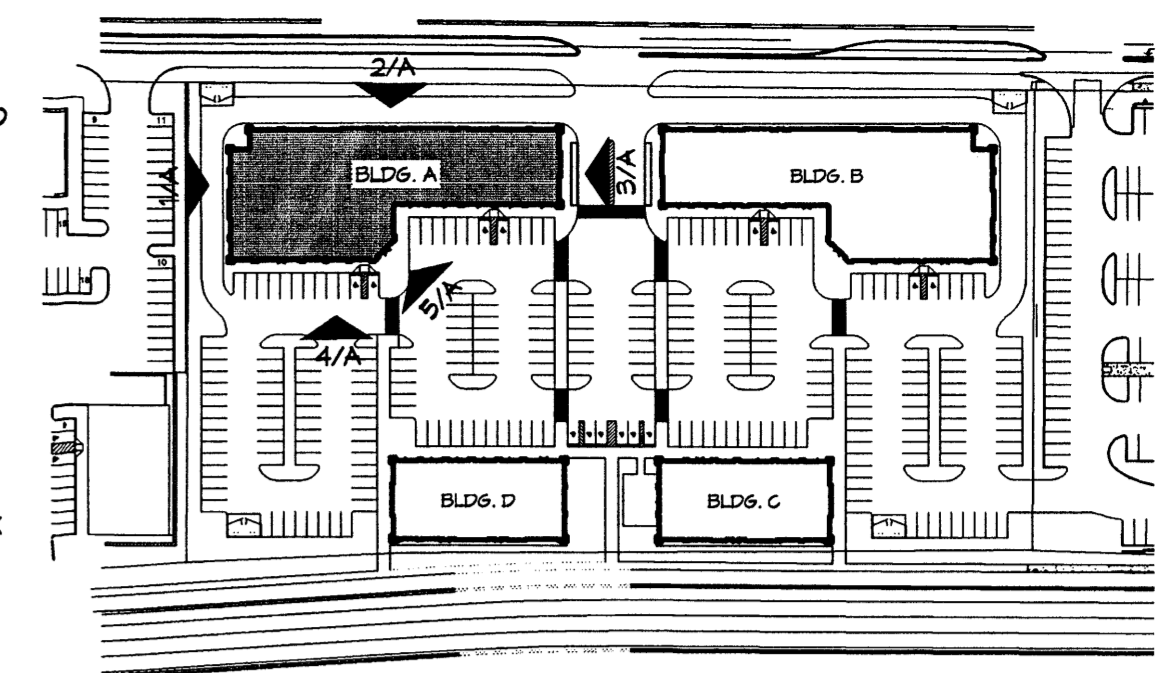
| | | |
|---|----------------------------|------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | HOLLY PLAZA | DRAWN BY LPS |
| | MASTER UTILITY PLAN | DATE 05-02-07 |
| TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | SHEET # C5 | JOB # 25061 |

GENERAL NOTES

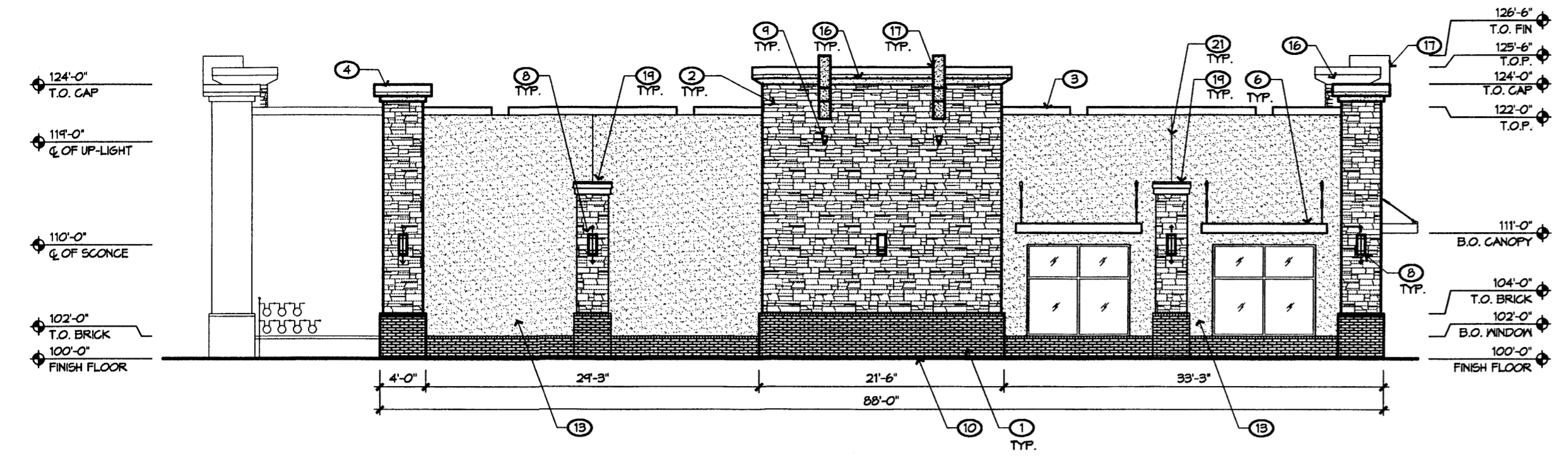
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE CITY OF ALBUQUERQUE ZONE CODE. ALL SIGNAGE TO COMPLY WITH LOCAL ORDINANCES.

KEYED NOTES

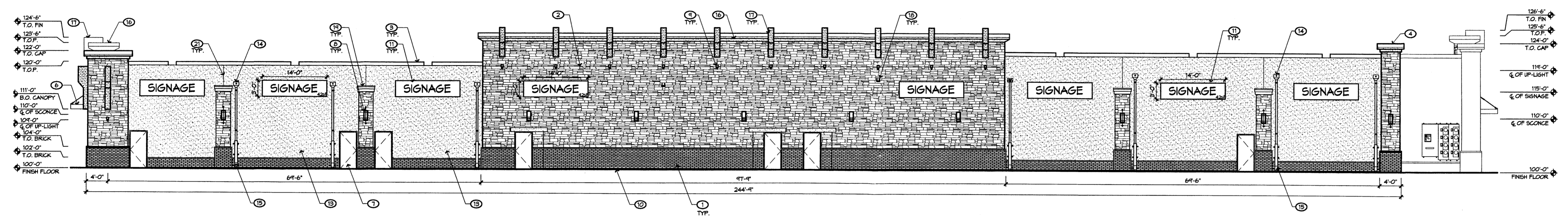
- QUEEN SIZE BRICK, COLOR BROWN
- STACKED STONE VENEER, OVER METAL LATH, WATERPROOF MEMBRANE AND 5/8" SHEATHING, COLOR TAN
- ROOF PARAPET WITH METAL CAP FLASHING, COLOR TO MATCH ADJACENT STUCCO
- CORNER PILASTER WITH METAL CAP, TO MATCH ADJACENT STUCCO
- ALUMINUM STOREFRONT, COLOR
- STEEL CANOPY WITH METAL DECK
- HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
- WALL SCIENCE
- UP-LIGHT
- FINISH FLOOR LINE
- SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLIMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED.
- 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
- TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
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- FIN STUCCO PIECE, COLOR TAN
- PRE-CAST CONCRETE CANALE, COLOR TO MATCH STACKED STONE VENEER
- SHORT PILASTER WITH METAL CAP, COLOR TO MATCH ADJACENT STUCCO
- STUCCO LINTEL, COLOR TAN
- CONTROL JOINT



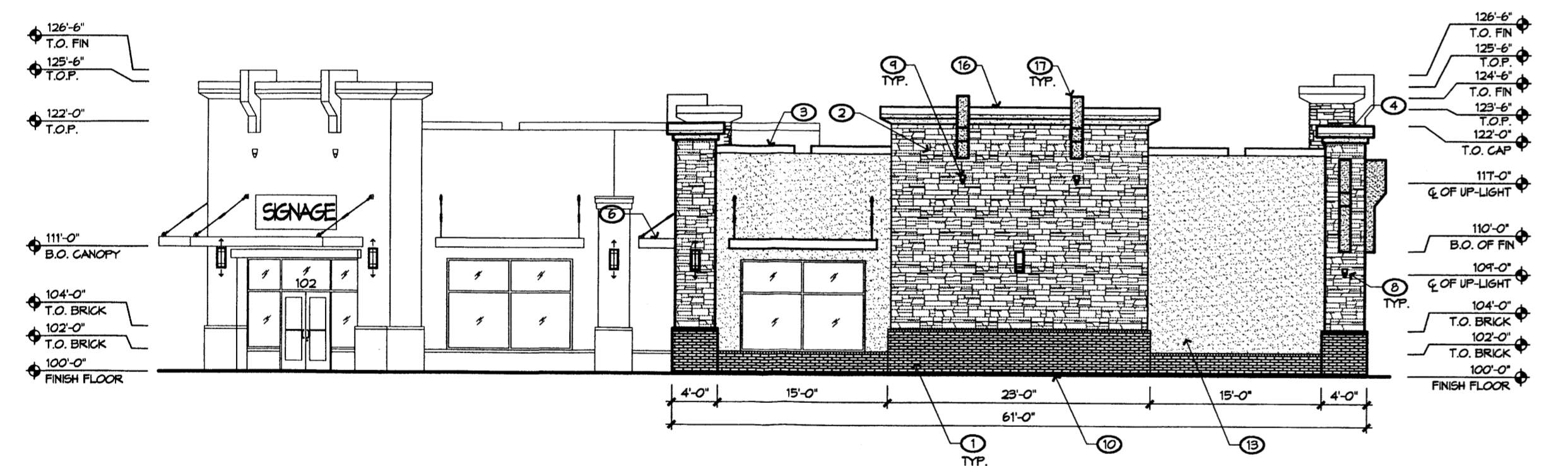
KEY PLAN N.T.S.



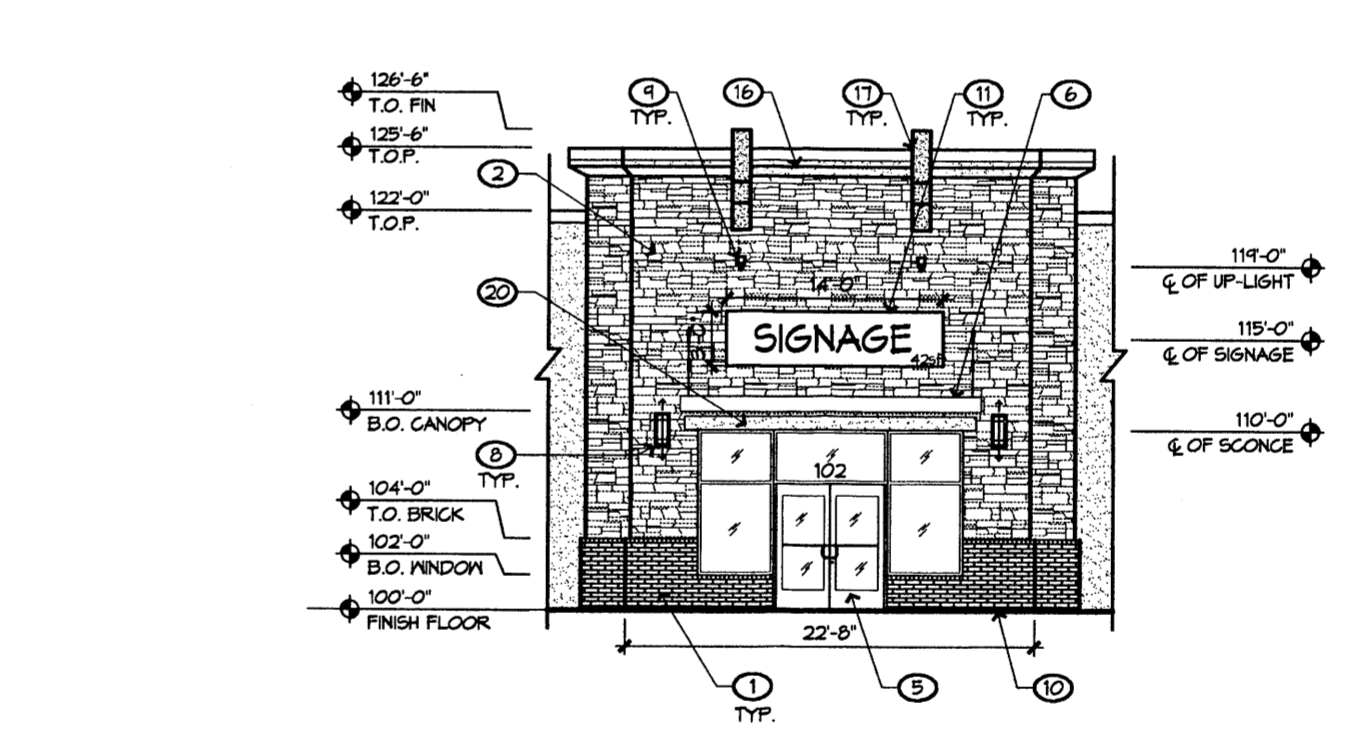
1 WEST ELEVATION
LOOKING EAST
3/32" = 1'-0"



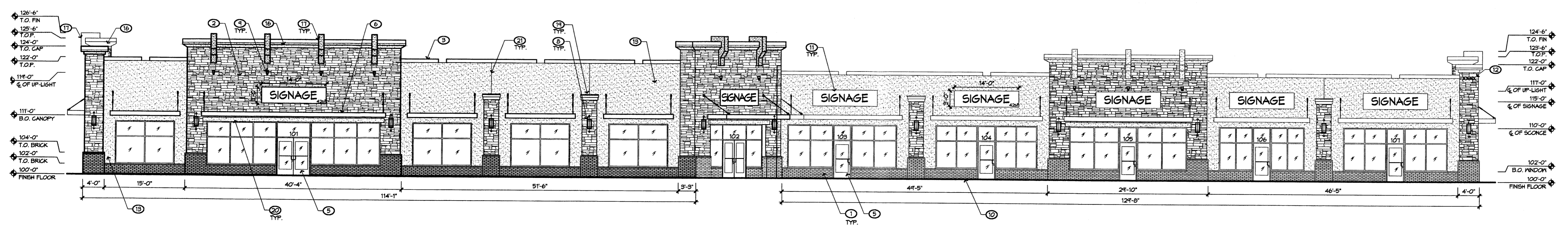
2 NORTH ELEVATION
LOOKING SOUTH
3/32" = 1'-0"



3 EAST ELEVATION
LOOKING WEST
3/32" = 1'-0"



5 SOUTHEAST ELEVATION
LOOKING NORTHWEST
3/32" = 1'-0"



4 SOUTH ELEVATION
LOOKING NORTH
3/32" = 1'-0"

ENGINEER

PROJECT

**Shops @ Nuevo Paseo
Building "A, B, C and D"**
Louisiana and Holly NE
Albuquerque, N.M. 87113

REVISIONS

- △
- △
- △
- △

DRAWN BY

REVIEWED BY

DATE

PROJECT NO. 06066

DRAWING NAME

BUILDING A
EXTERIOR
ELEVATIONS

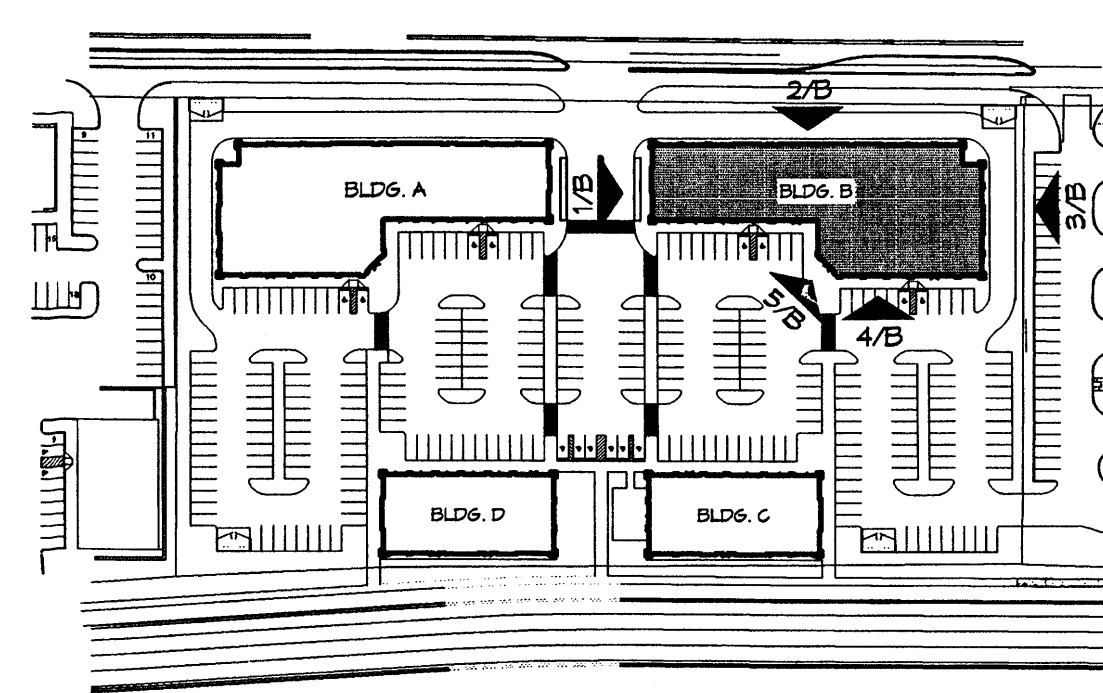
SHEET NO.

GENERAL NOTES

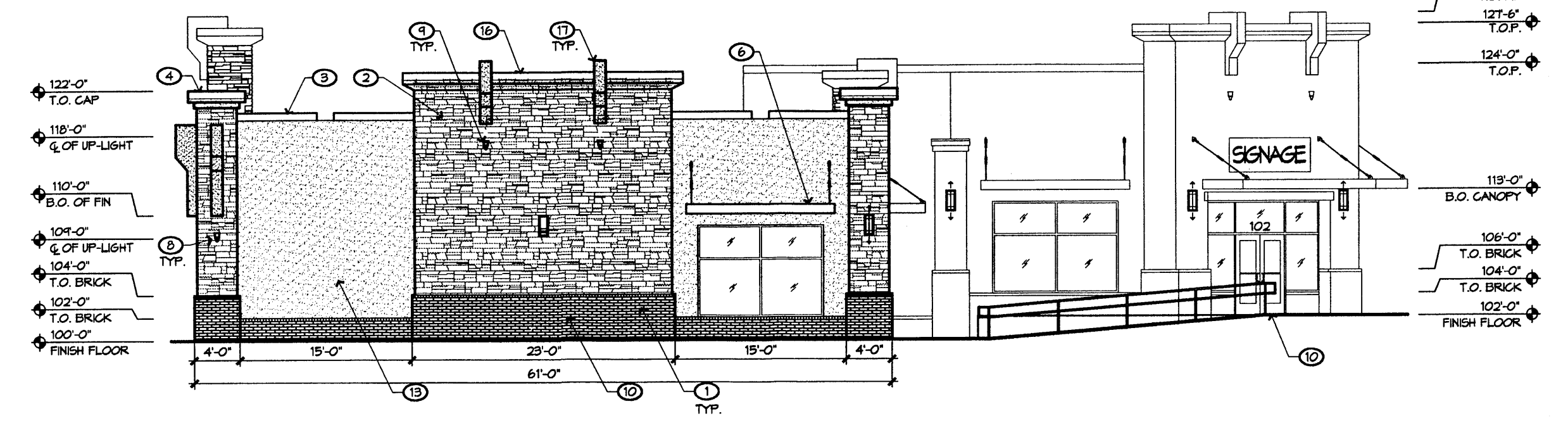
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE CITY OF ALBUQUERQUE ZONE CODE. ALL SIGNAGE TO COMPLY WITH LOCAL ORDINANCES.

KEYED NOTES

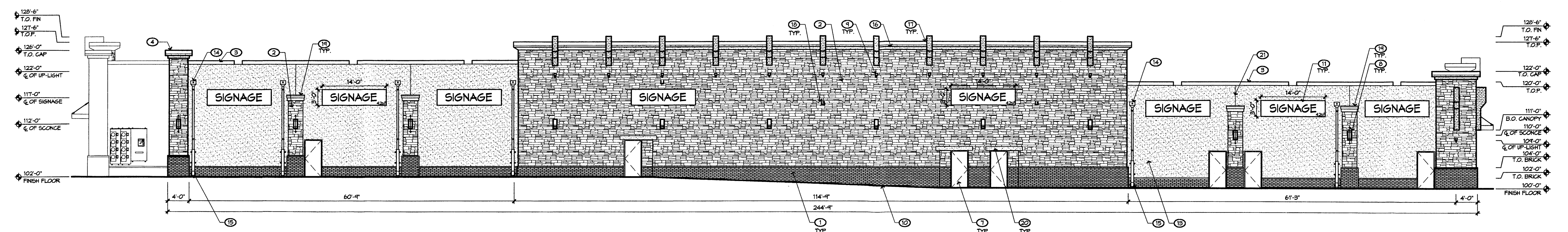
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- SHORT PILASTER WITH METAL CAP, COLOR TO MATCH ADJACENT STUCCO
- STUCCO LINTEL, COLOR TAN
- CONTROL JOINT



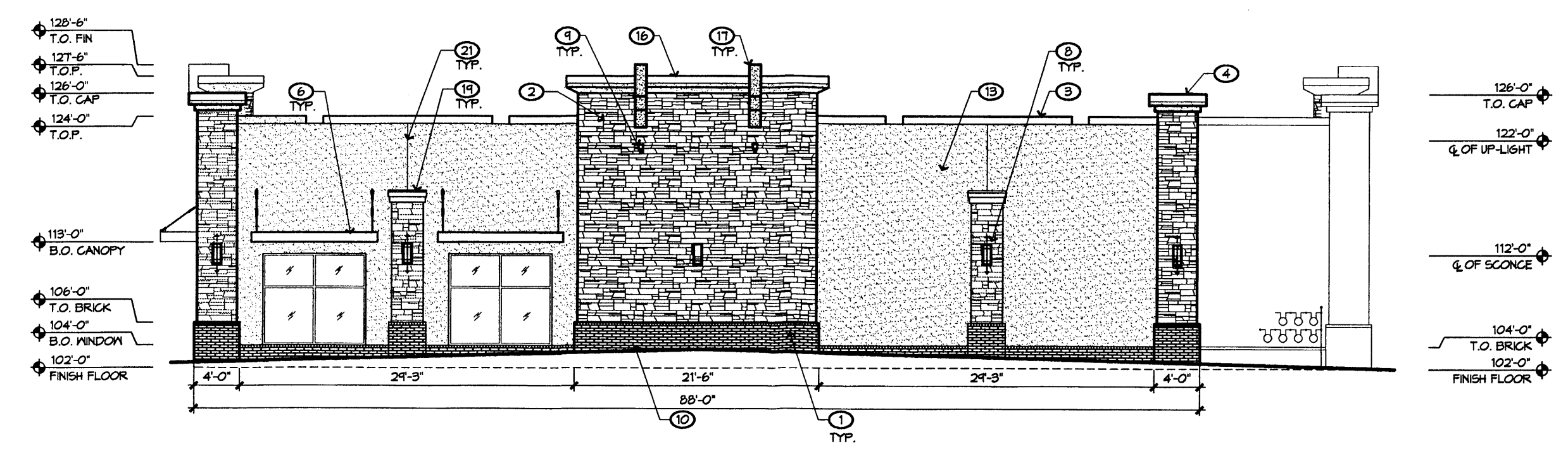
KEY PLAN N.T.S.



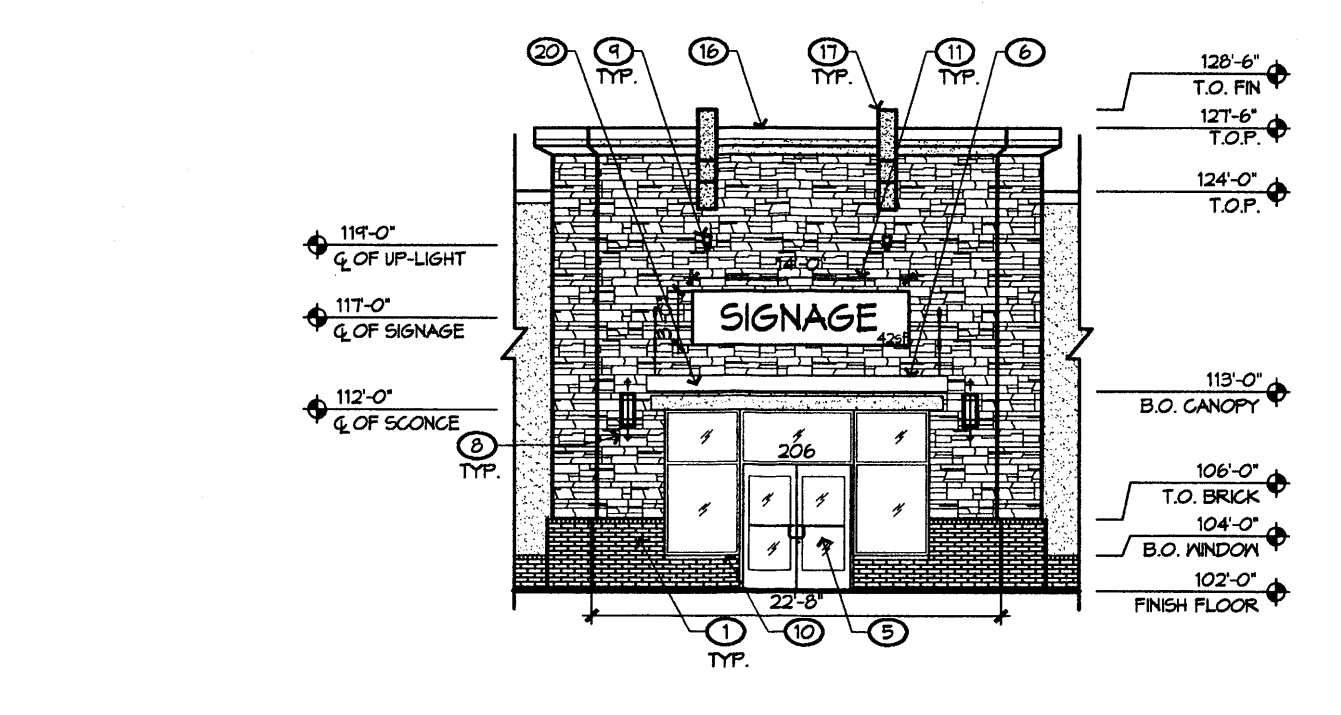
1 WEST ELEVATION
LOOKING EAST
3/32" = 1'-0"



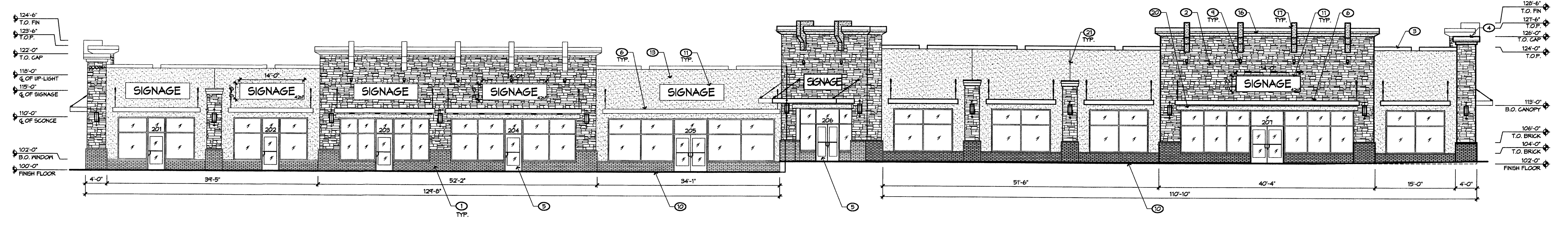
2 NORTH ELEVATION
LOOKING SOUTH
3/32" = 1'-0"



3 EAST ELEVATION
LOOKING WEST
3/32" = 1'-0"



5 SOUTHWEST ELEVATION
LOOKING NORTHEAST
3/32" = 1'-0"



4 SOUTH ELEVATION
LOOKING NORTH
3/32" = 1'-0"

| | |
|----------|--|
| ENGINEER | |
| PROJECT | |

Shops @ Nuevo Paseo
Building "A, B, C and D"
Louisiana and Holly NE
Albuquerque, N.M. 87113

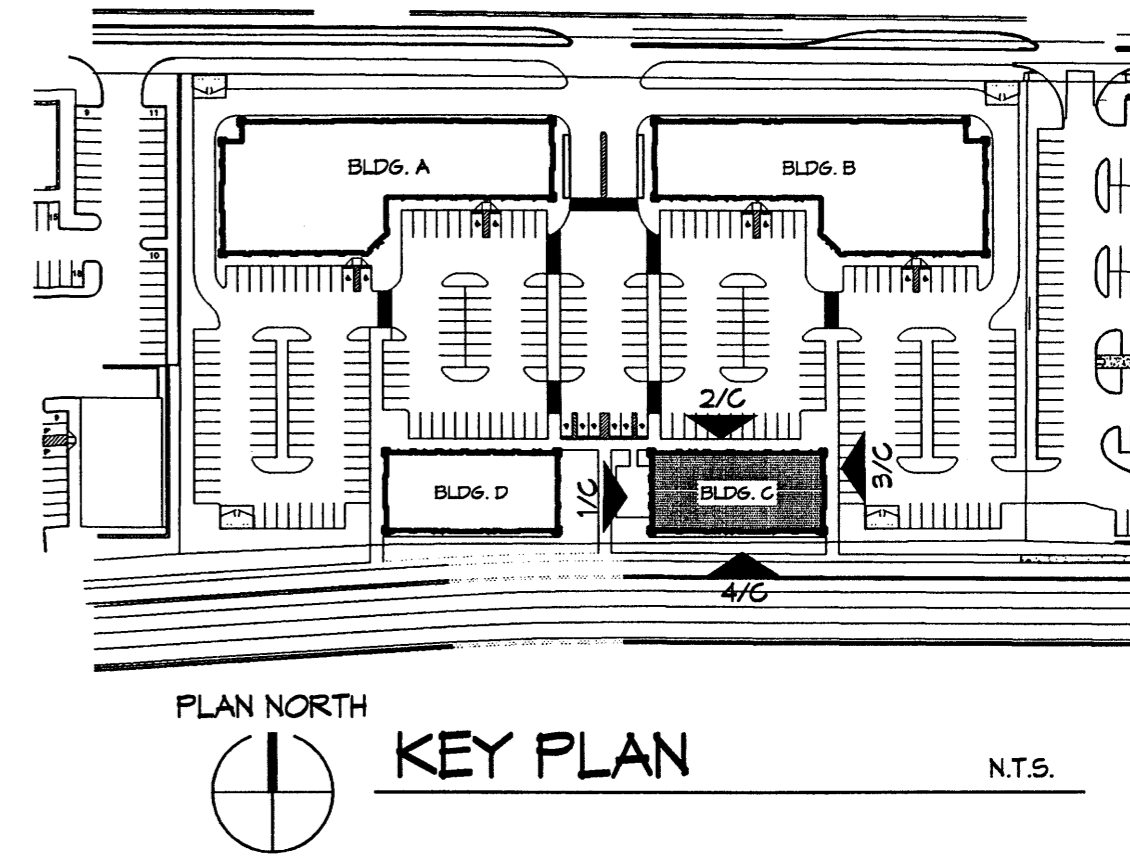
| | |
|--------------|--------------------------------------|
| REVISIONS | |
| △ | |
| △ | |
| △ | |
| △ | |
| DRAWN BY | |
| REVIEWED BY | |
| DATE | |
| PROJECT NO. | 06066 |
| DRAWING NAME | BUILDING B EXTERIOR ELEVATIONS |

GENERAL NOTES

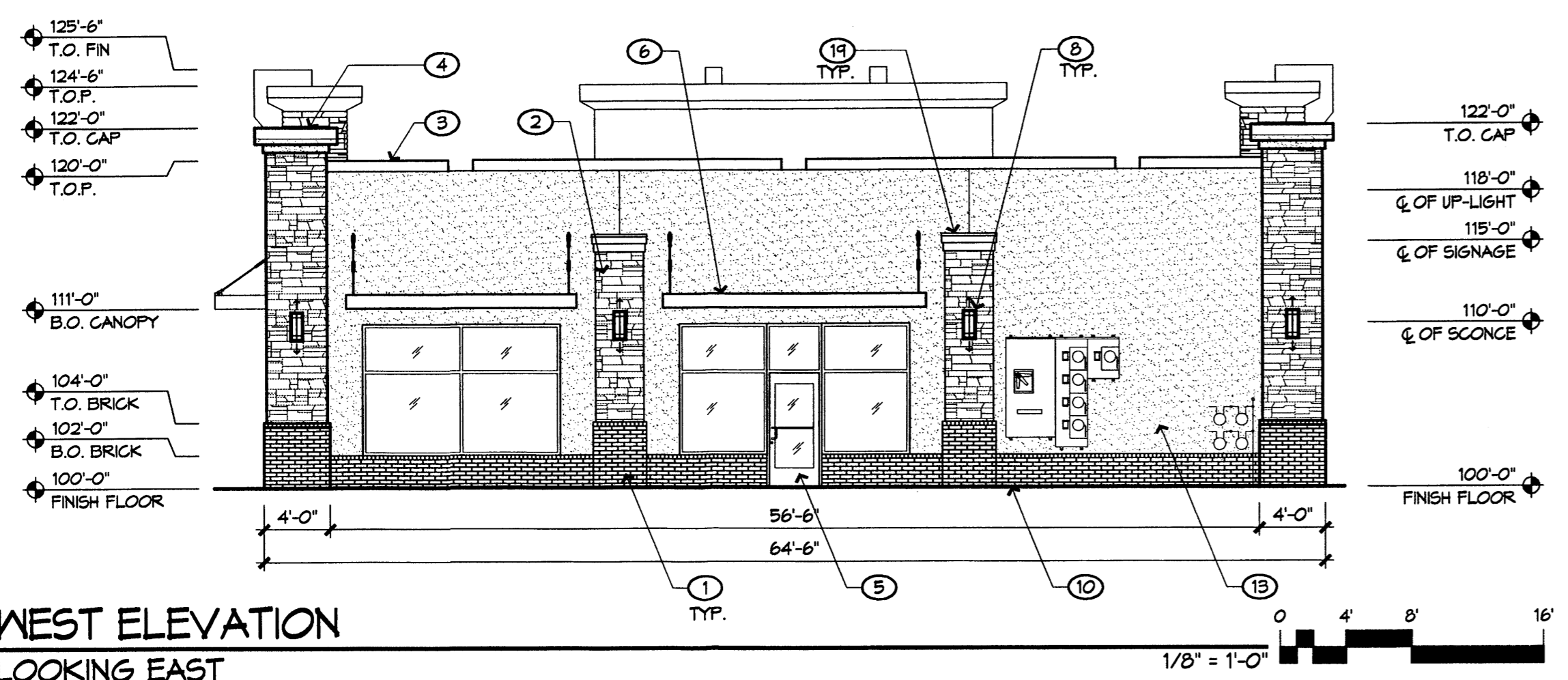
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KEYED NOTES

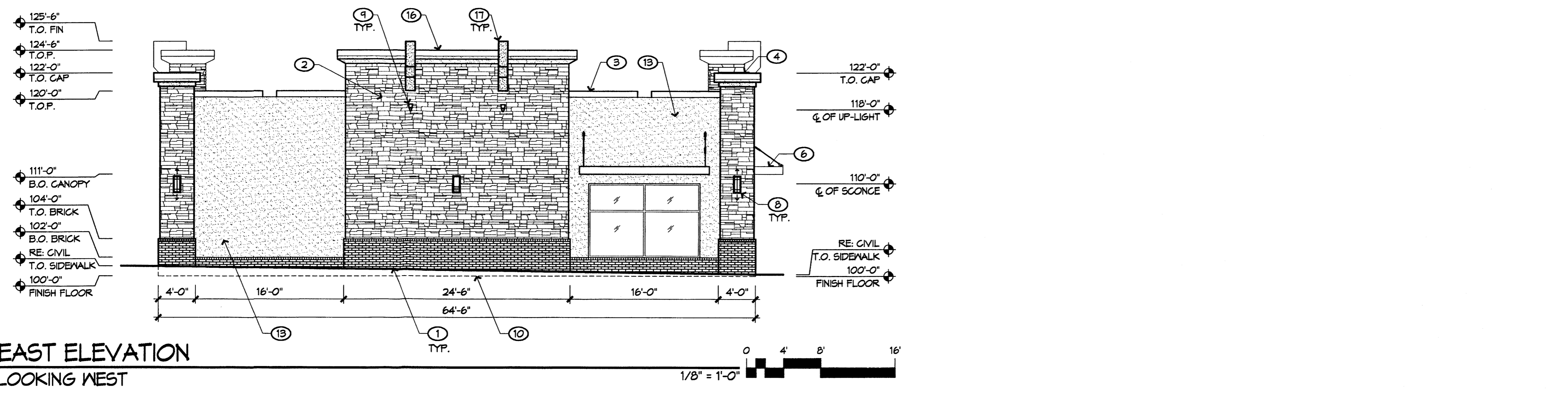
1. QUEEN SIZE BRICK, COLOR BROWN
2. STACKED STONE VENEER, OVER METAL LATH, WATERPROOF MEMBRANE AND 5/8" SHEATHING, COLOR TAN
3. ROOF PARAPET WITH METAL CAP FLASHING, COLOR TO MATCH ADJACENT STUCCO
4. CORNER PILASTER WITH METAL CAP, TO MATCH ADJACENT STUCCO
5. ALUMINUM STOREFRONT, COLOR
6. STEEL CANOPY WITH METAL DECK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. UP-LIGHT
10. FINISH FLOOR LINE
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12. 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
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14. DOWNSPOUT/OUTLET, COLOR TO MATCH ADJACENT STUCCO
15. DOWNSPOUT/OUTLET SLEEVE, COLOR TO MATCH ADJACENT STUCCO
16. OVERSIZED PARAPET WITH METAL CAP FLASHING, COLOR TO MATCH ADJACENT STUCCO
17. FIN STUCCO PIECE, COLOR TAN
18. PRE-CAST CONCRETE CANALE, COLOR TO MATCH STACKED STONE VENEER
19. SHORT PILASTER WITH METAL CAP, COLOR TO MATCH ADJACENT STUCCO
20. STUCCO LINTEL, COLOR TAN
21. CONTROL JOINT



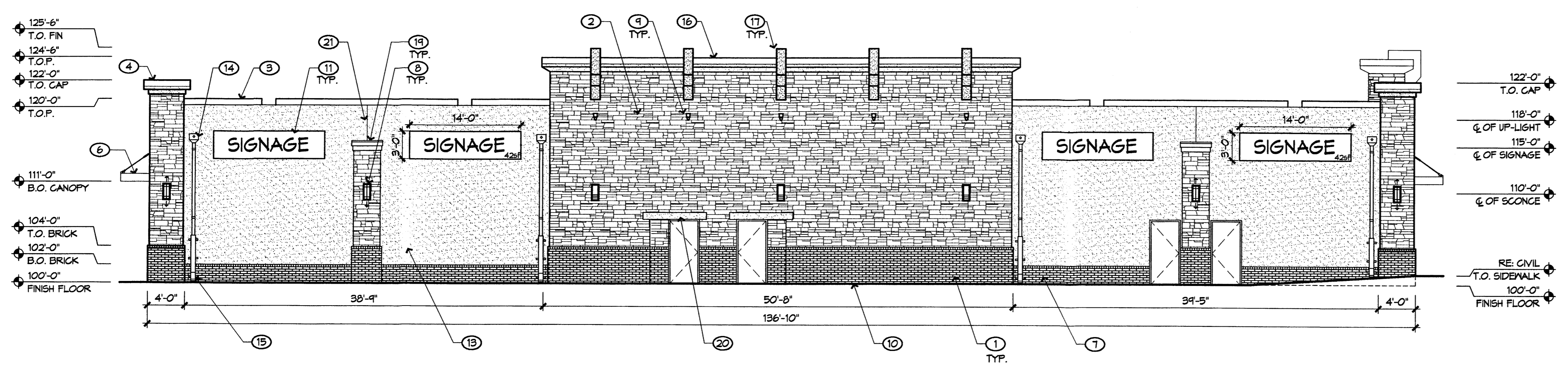
1 WEST ELEVATION
LOOKING EAST



2 NORTH ELEVATION
LOOKING SOUTH



3 EAST ELEVATION
LOOKING WEST



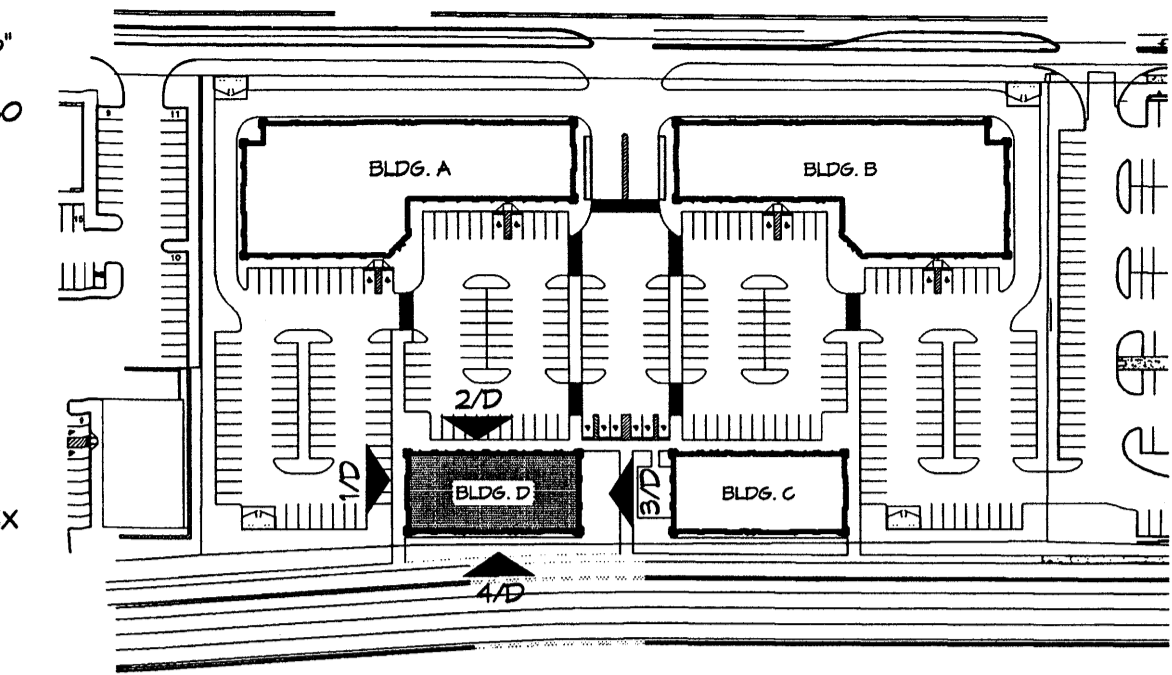
4 SOUTH ELEVATION
LOOKING NORTH

GENERAL NOTES

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KEYED NOTES

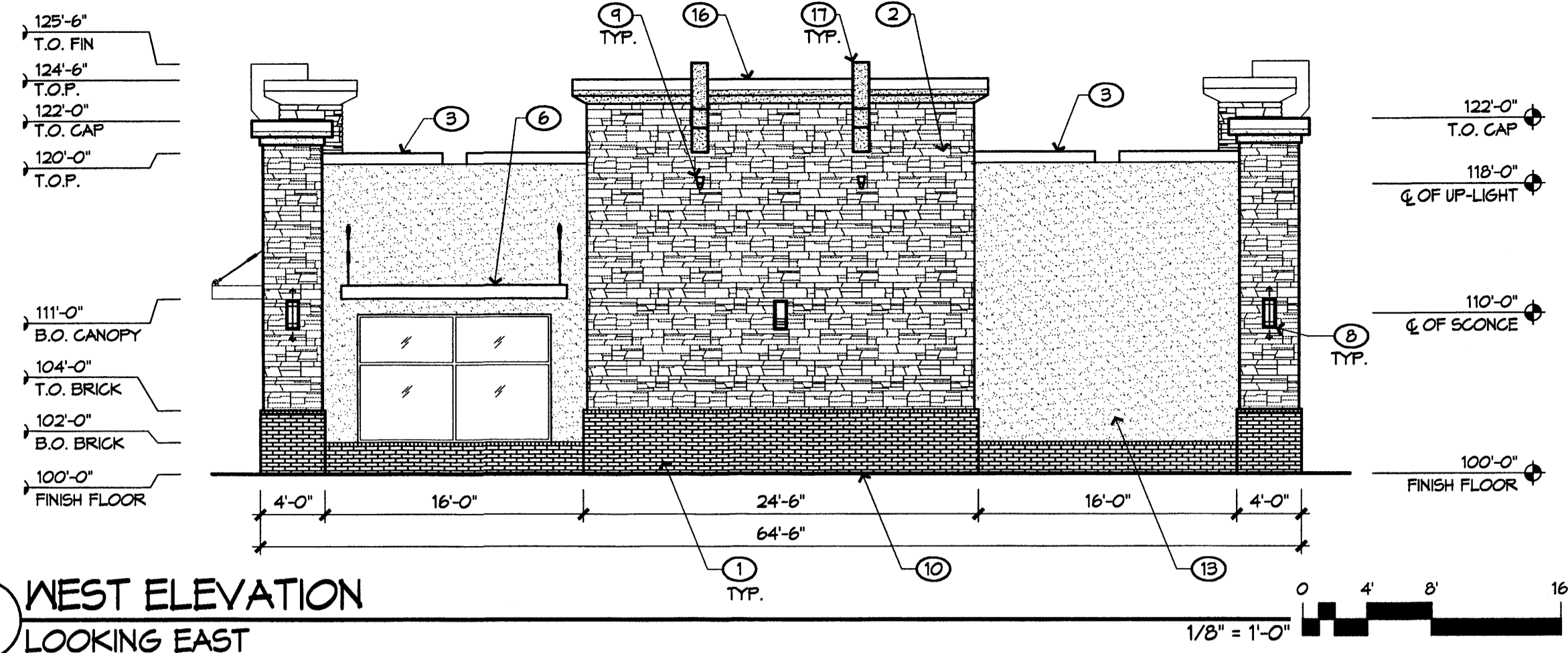
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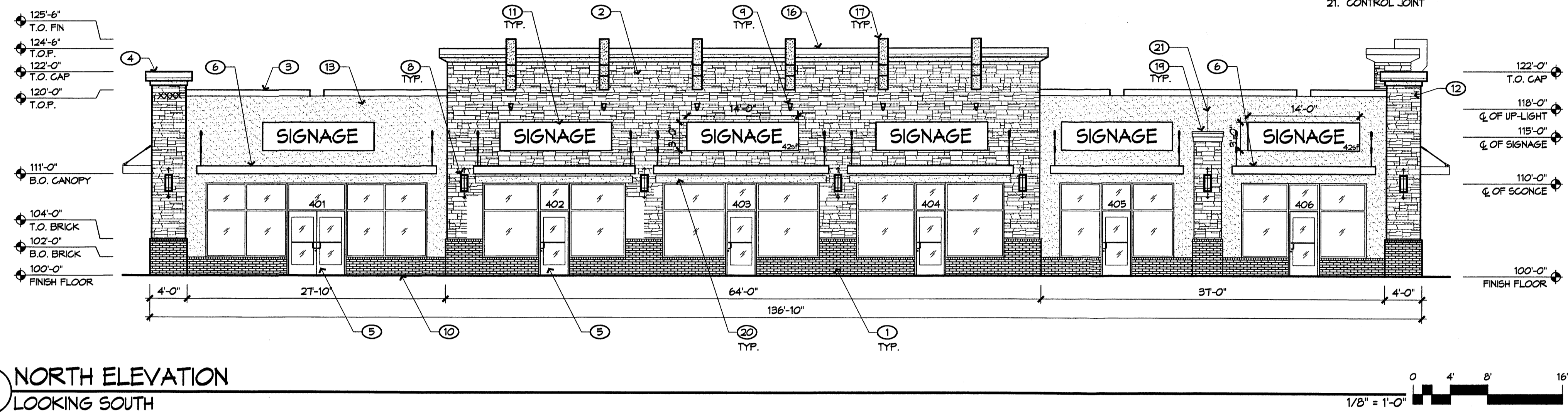
KEY PLAN

N.T.S.

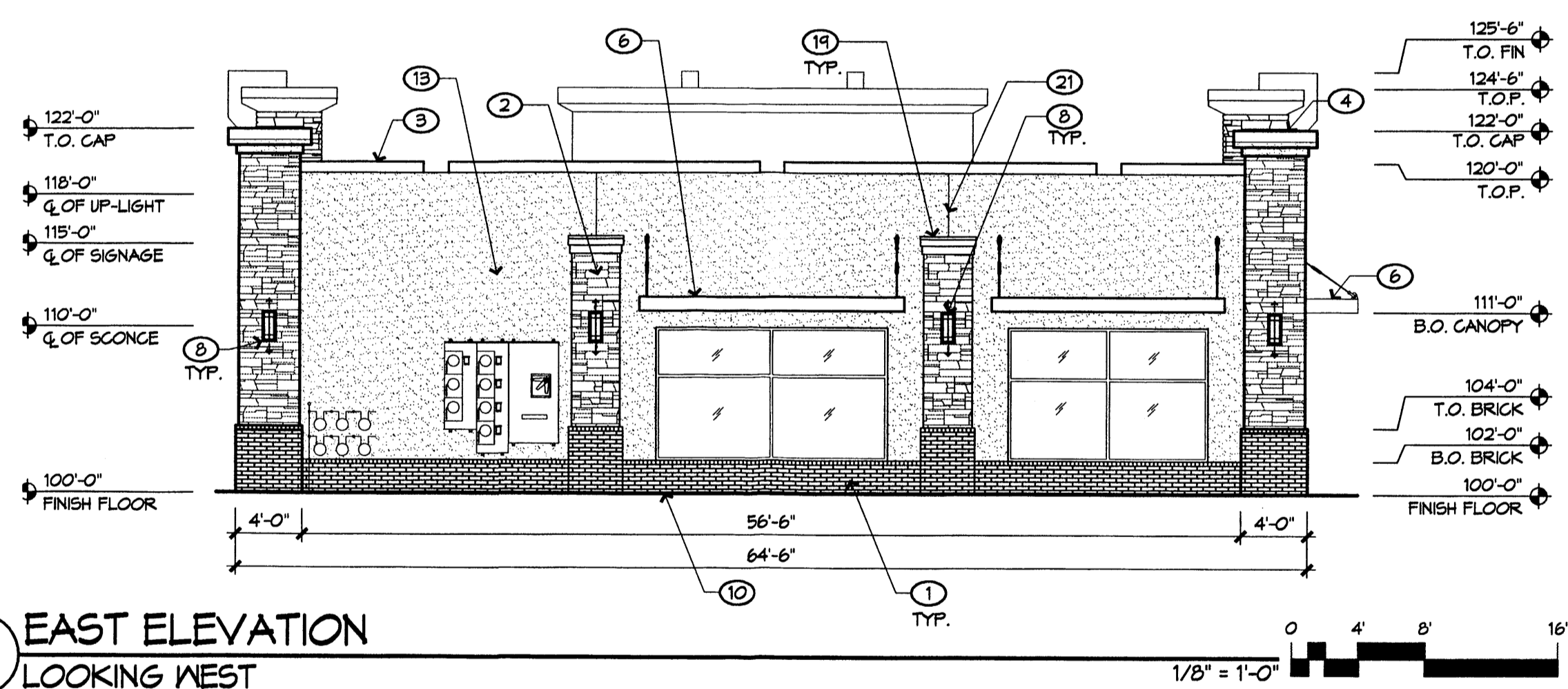
**1 WEST ELEVATION
LOOKING EAST**



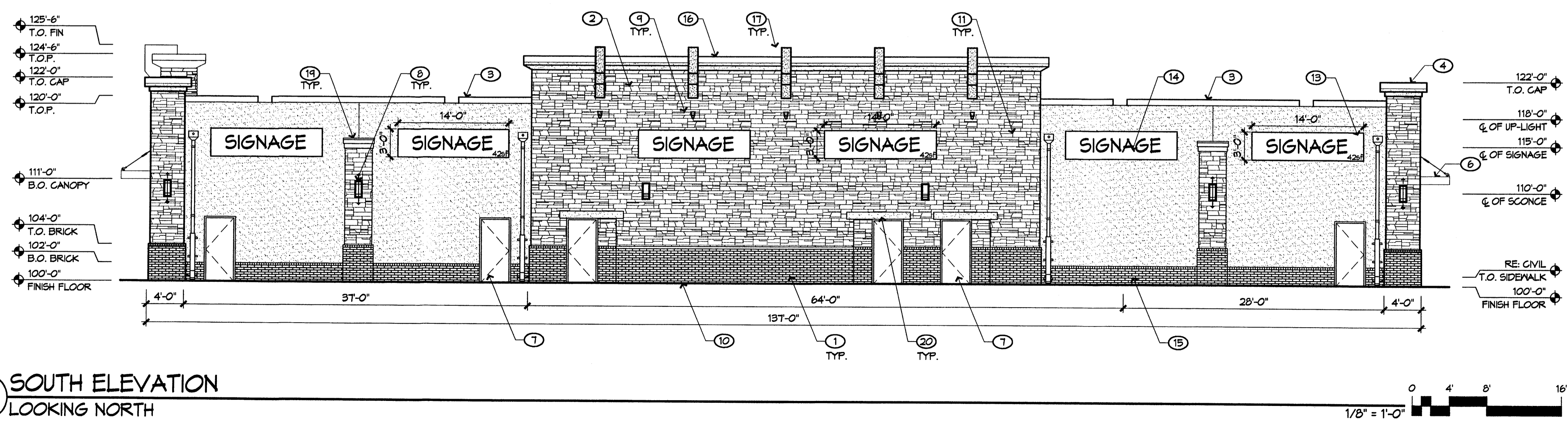
**2 NORTH ELEVATION
LOOKING SOUTH**

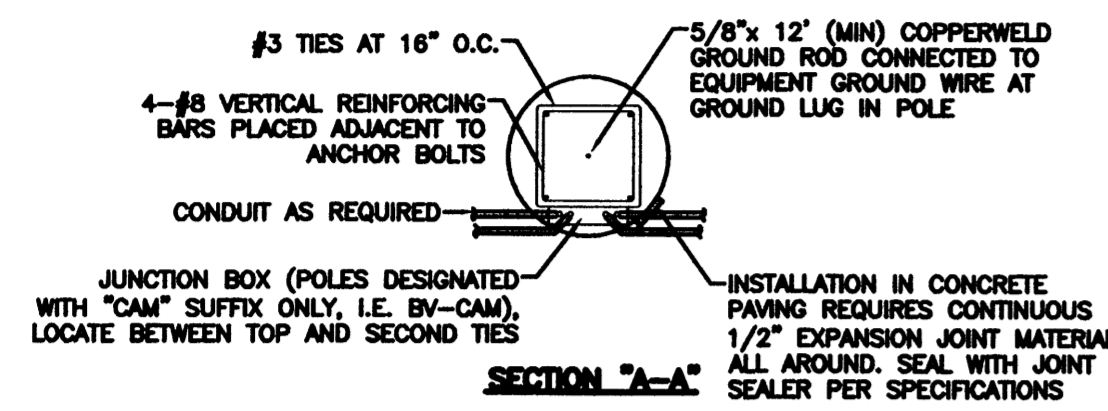


**3 EAST ELEVATION
LOOKING WEST**

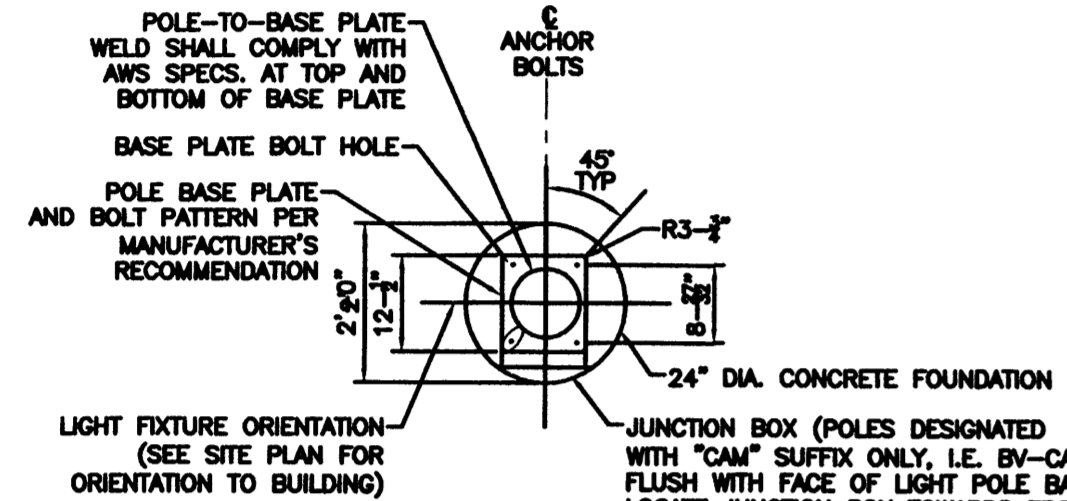


**4 SOUTH ELEVATION
LOOKING NORTH**

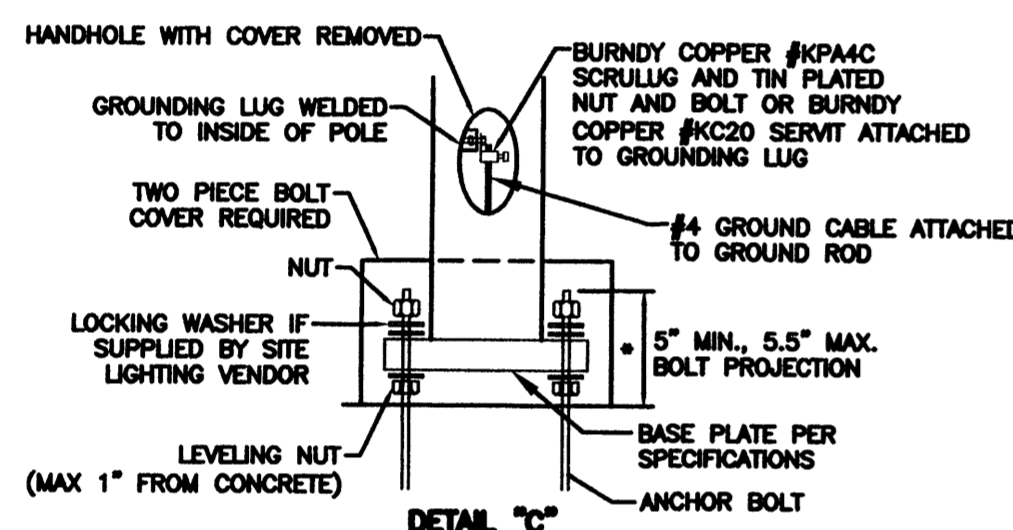




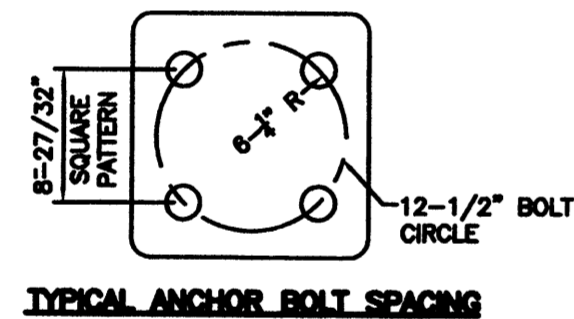
SECTION "A-A"



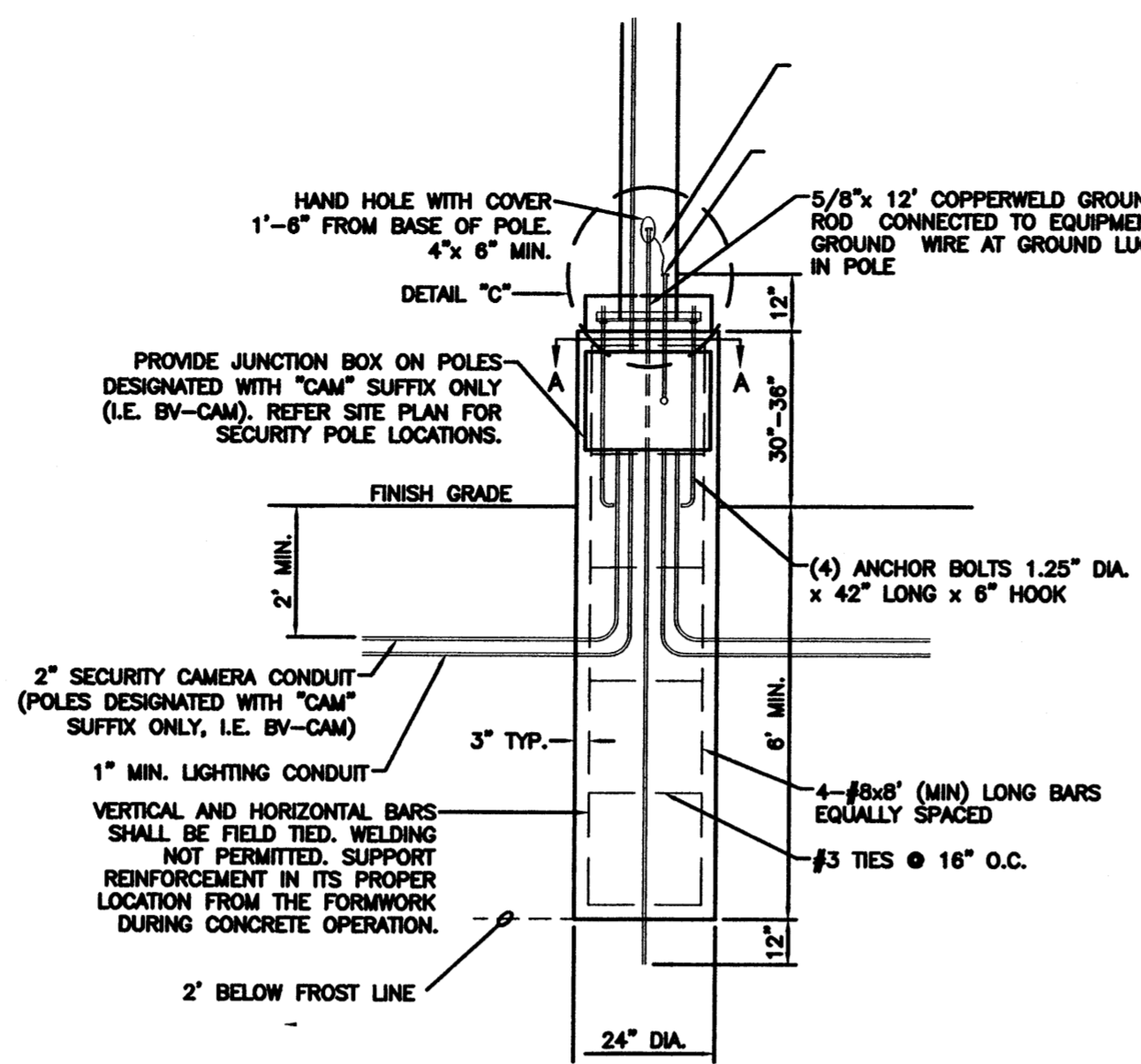
SECTION "B-B"



DETAIL "C"

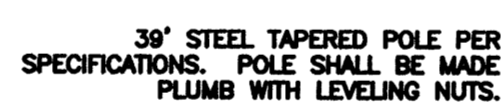


TYPICAL ANCHOR BOLT SPACING



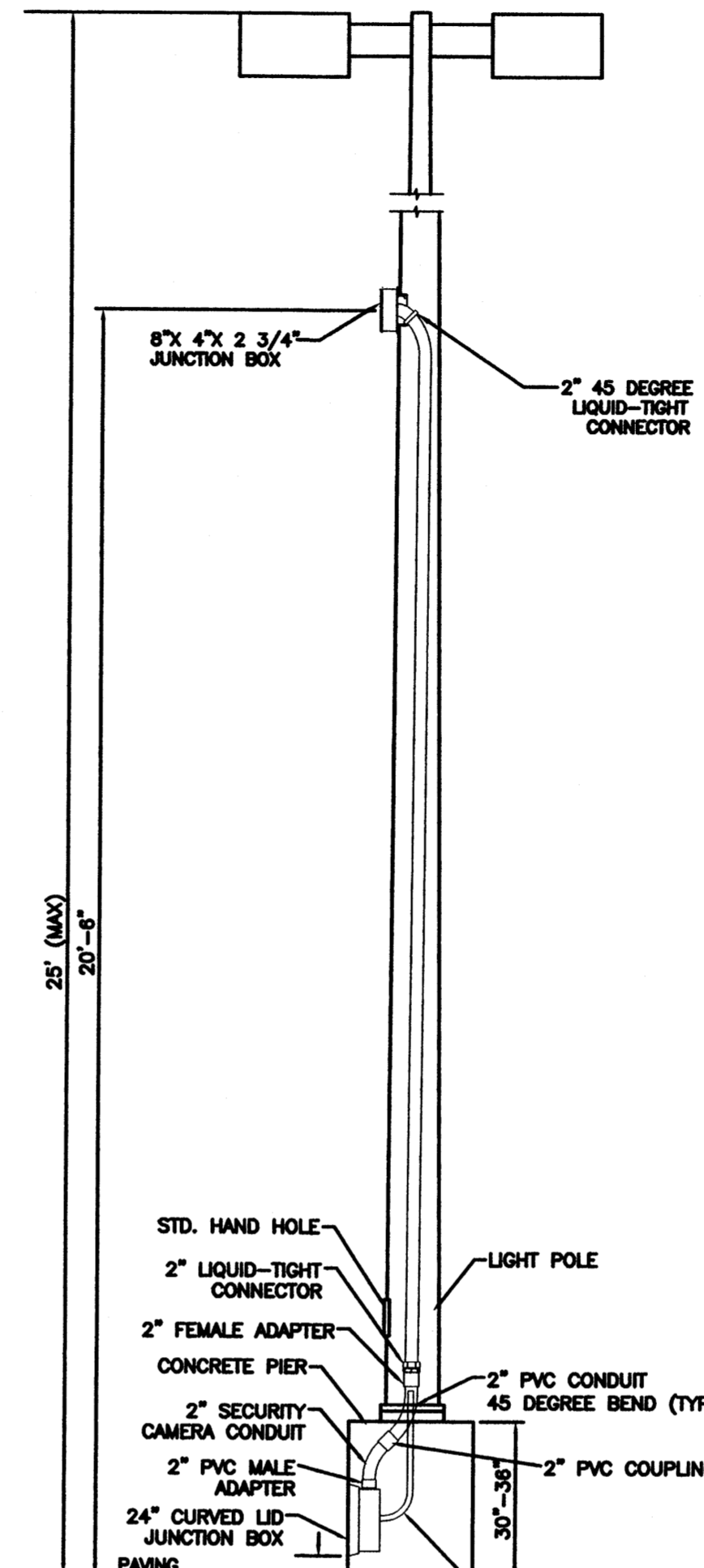
TYPICAL LIGHTING POLE BASE DETAIL

- NOTES:**
- 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 REINFORCING STEEL.
 - IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
 - FOUNDATION EXCAVATION SHALL BE BY 24\"/>



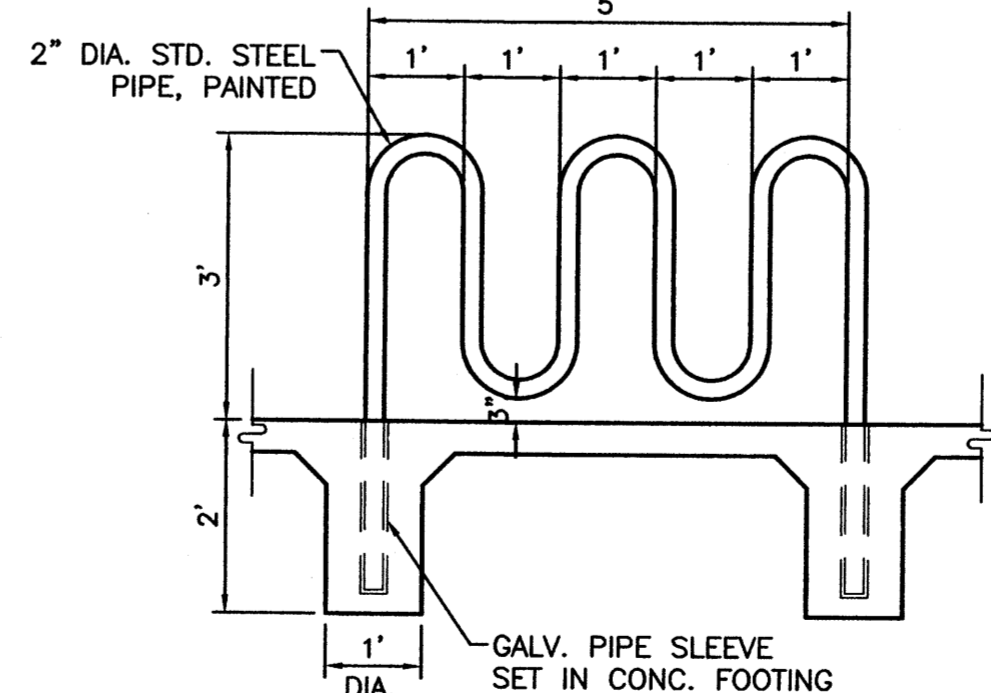
39\"/>

CONNECT ALL EQUIPMENT GROUND CONDUCTORS TO GROUNDING LUG IN POLE
TEMPORARY CAP ALL CONDUIT



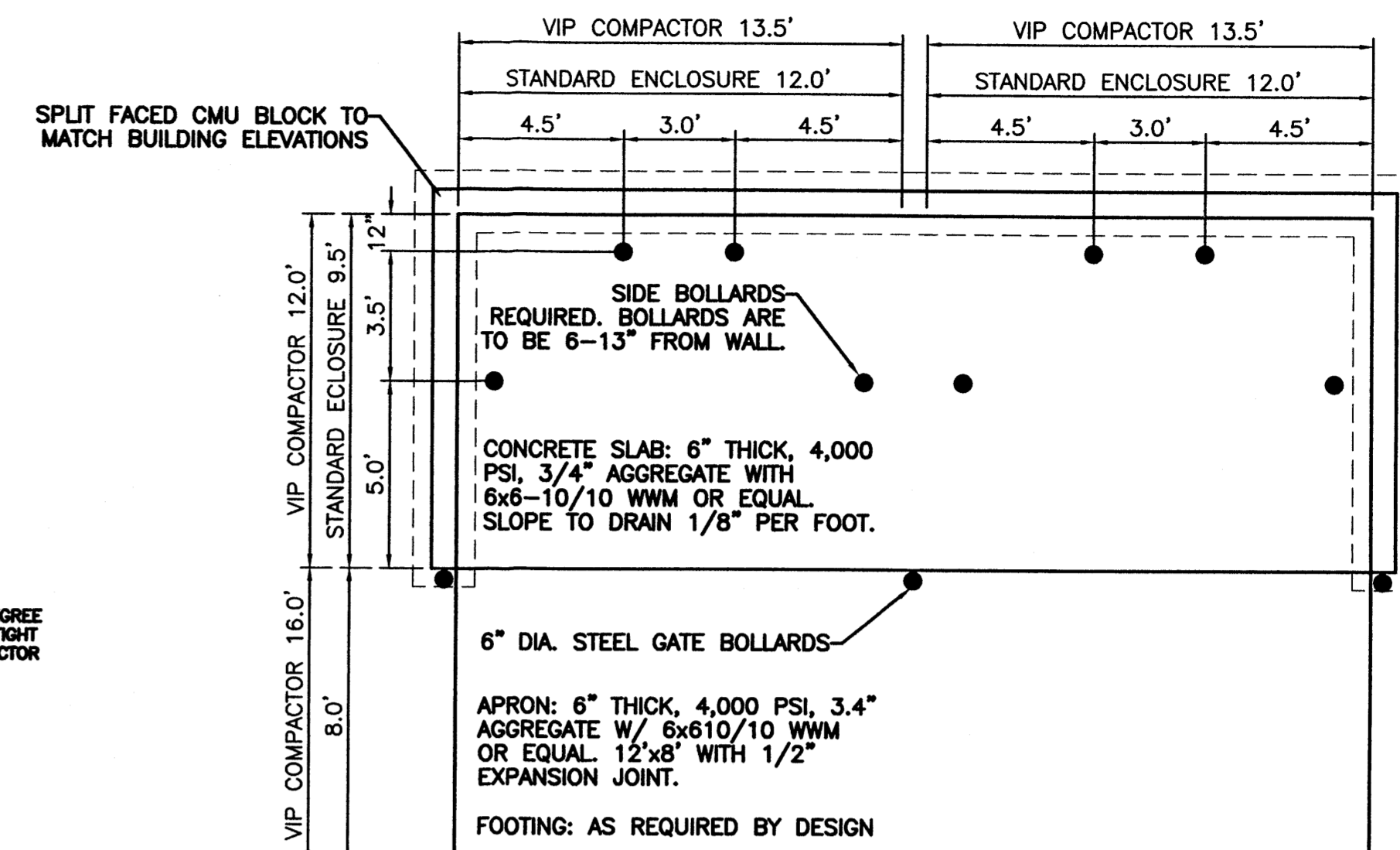
POLE MOUNTED CAMERA DETAIL

NOTE:
ONLY FOR POLE LOCATIONS DESIGNATED WITH "CAM" SUFFIX ONLY, I.E. BV-CAM. CAMERAS AND WIRING BY OTHERS.



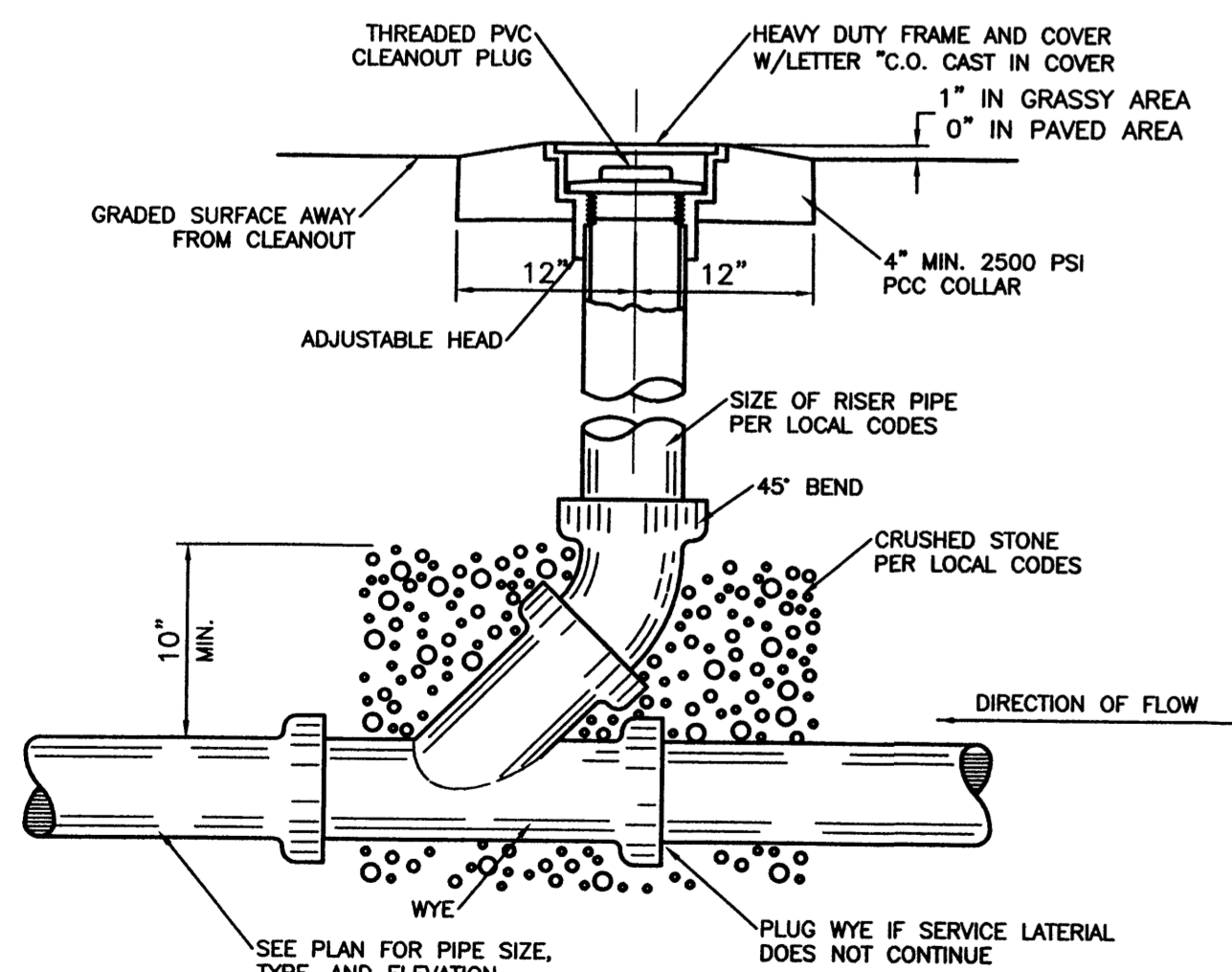
BIKE RACK DETAIL

SCALE: 1/2"=1'



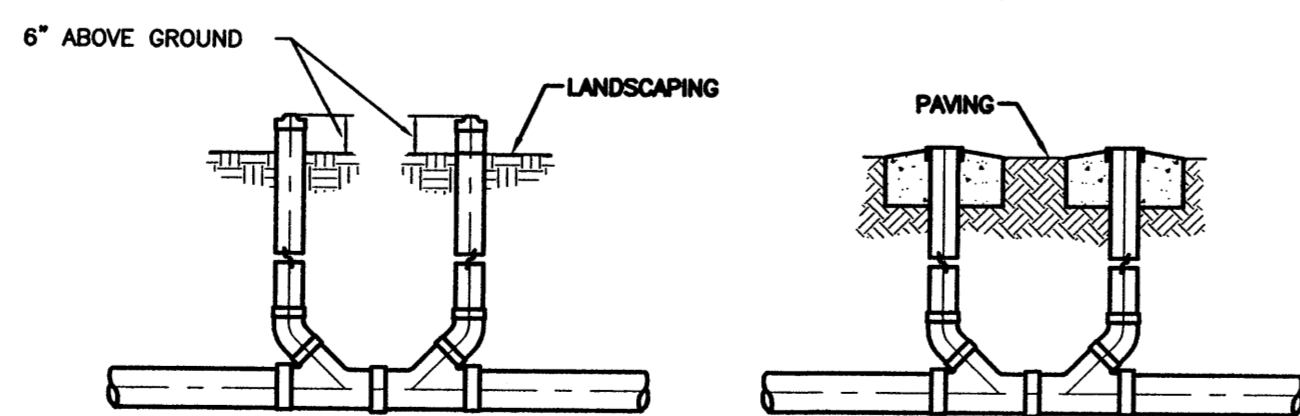
DUMPSTER ENCLOSURE DETAIL

NTS



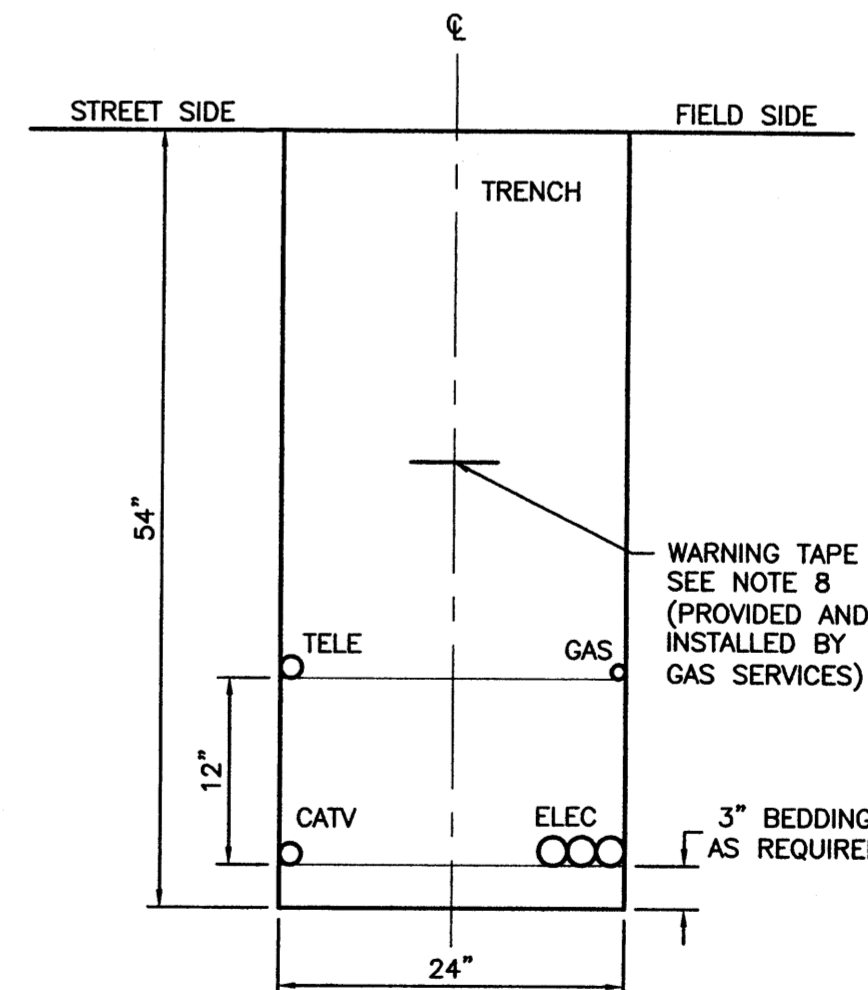
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS

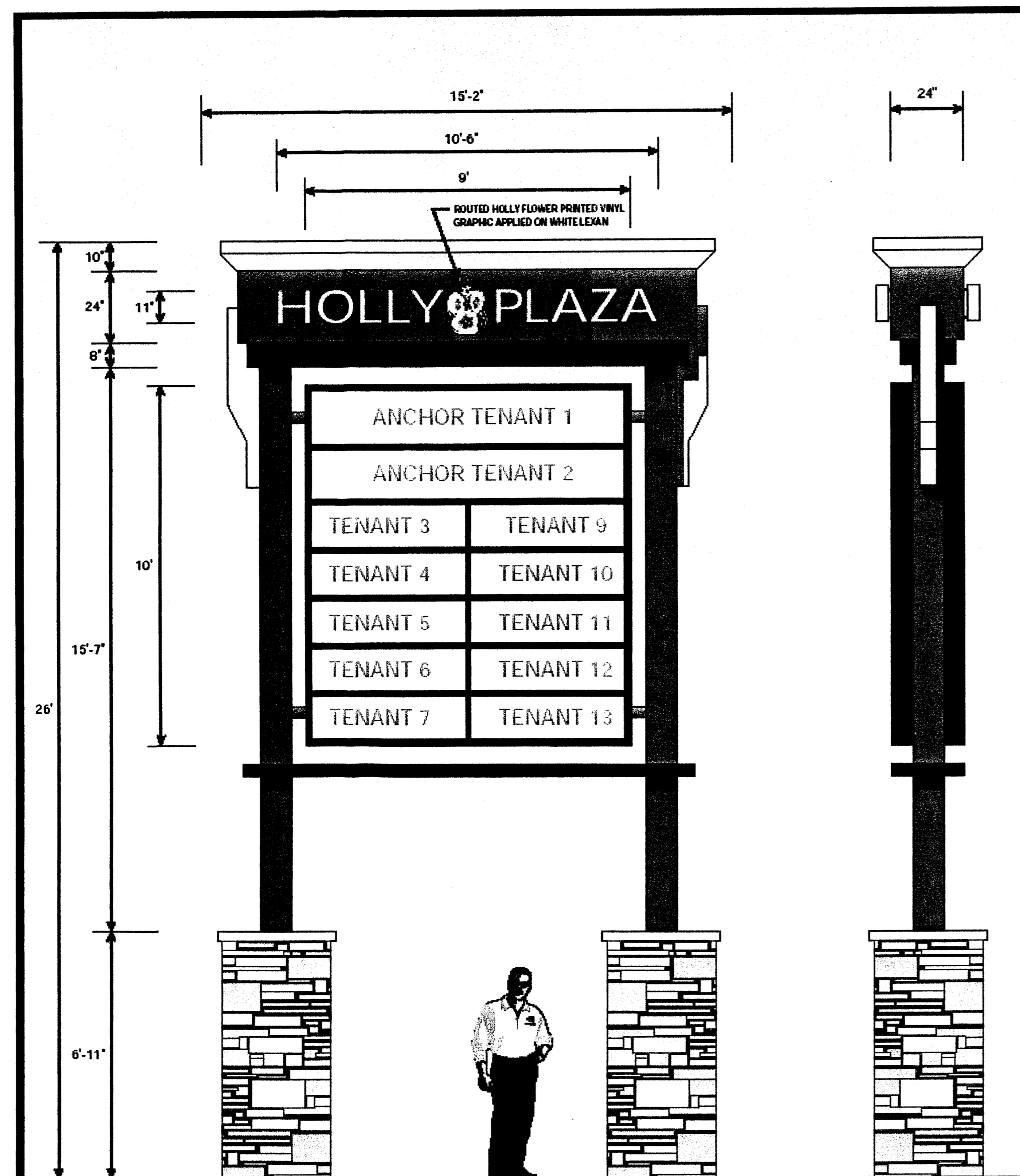


TYPICAL TRENCH DETAIL

NTS

- GENERAL NOTES:**
- COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS.
 - SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
 - IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL REQUIREMENTS TYPE REQUIREMENTS, 3\"/>

| | | |
|--|---|----------------------|
| | HOLLY PLAZA | DRAWN BY LPS |
| | DETAILS | DATE 04/30/07 |
| | 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | 2561-DETAILS |
| | | SHEET # 10 |
| | | JOB # 25061 |



TOTAL SQUARE FEET: 100

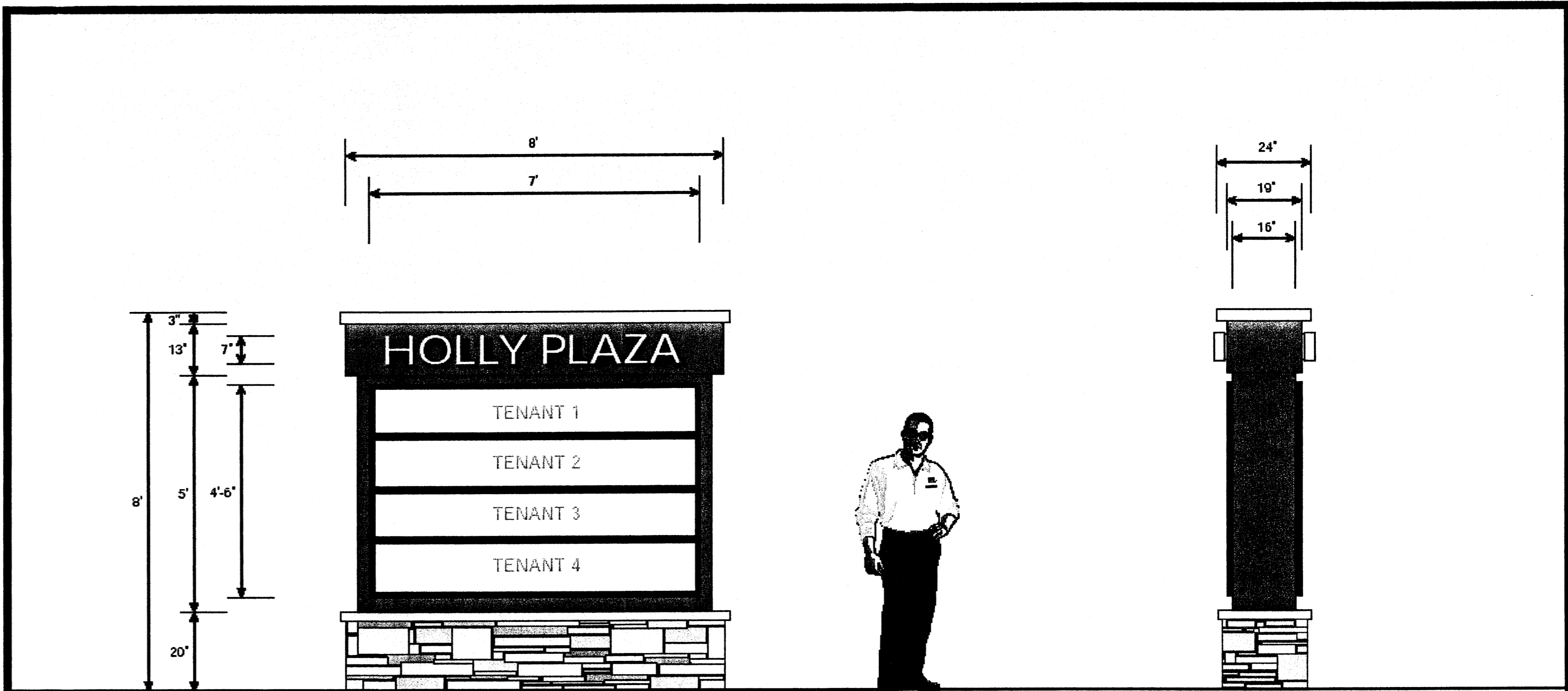
PROPOSAL FOR NEW DOUBLE FACE FREE-STANDING DISPLAY

- "HOLLY PLAZA" - 4" DEEP REVERSE CHANNEL ALUMINUM LETTERS WITH A BRUSHED FINISH - SILHOUETTE ILLUMINATION WITH 15MM, 6500 WHITE NEON. LETTERS MOUNTED ON A TEXTURED ALUMINUM BACKGROUND.
- TENANT DISPLAY - .090 THK. ALUMINUM CABINET AND DIVIDER BARS TEXTURED TO MATCH BUILDING. INTERNALLY ILLUMINATED WITH D.H.O. FLUORESCENT LAMPS.
- MASONARY BASE BY OTHERS



EPNM INC.
 1100 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202
 (303) 733-1100
 WWW.EPNM.COM

TITLE: HOLLY PLAZA - LOUISIANA & HOLLY N.E.
 SCALE: 3/8" = 1'-0"
 DATE: 05-21-07
 DRAWN BY: STEVE TAFOVA
 CHECKED BY: R. GONZALES



NON ILLUMINATED DOUBLE FACE MONUMENT SIGN

- "HOLLY PLAZA" - NON ILLUMINATED, 4" DEEP REVERSE CHANNEL ALUMINUM LETTERS WITH A BRUSHED FINISH. LETTERS MOUNTED ON A TEXTURED ALUMINUM BACKGROUND.
- TENANT DISPLAY - ALUMINUM CABINET WITH PAINTED WHITE TENANT PANELS AND PAINTED DIVIDER LINES TO MATCH BUILDING. TENANT VINYL APPLIED FIRST SURFACE
- MASONARY BASE BY OTHERS



EPNM INC.
 1100 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202
 (303) 733-1100
 WWW.EPNM.COM

TITLE: HOLLY PLAZA
 SCALE: 1/2" = 1'-0"
 DATE: 05-21-07
 DRAWN BY: STEVE TAFOVA
 CHECKED BY: R. GONZALES

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF EPNM, INC. AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.
 PIPE SIZES AND ANCHOR SPLICES MAY CHANGE THE ARTIST CONCEPT DEPENDING ON ENGINEERING CALCULATIONS FOR FINAL INSTALLATION.
 COLOR OF THIS PRESENTATION DOES NOT REPRESENT THE EXACT MATERIAL COLOR SPECIFIED. SEE DRAWING FOR EXACT APPEARANCE OF COLORS SPECIFIED.

| | | |
|----------------------------------|--|-----------------------|
| ENGINEER'S SEAL | HOLLY PLAZA | DRAWN BY LPS |
| | SIGNAGE DETAILS | DATE 05-21-07 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | 2561-DETAILS |
| RONALD R. BOHANNAN P.E. #7868 | | SHEET # C11 |
| | | JOB # 25061 |