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 119 MacIver, Suite A  
 Bishop CA 93514  
 (760) 873-7234  
 Fax (760) 873-6664  
 E-mail: bandtwiles@aol.com  
 Contact: Mr. Brett Wiles

**ARCHITECT**  
 Schlegel Lewis Architects  
 1620 Central Ave. SE  
 Albuquerque, NM 87106  
 (505) 247-1529  
 Fax: (505) 243-6701  
 E-mail: gdi@mac.com  
 Contact: James Lewis

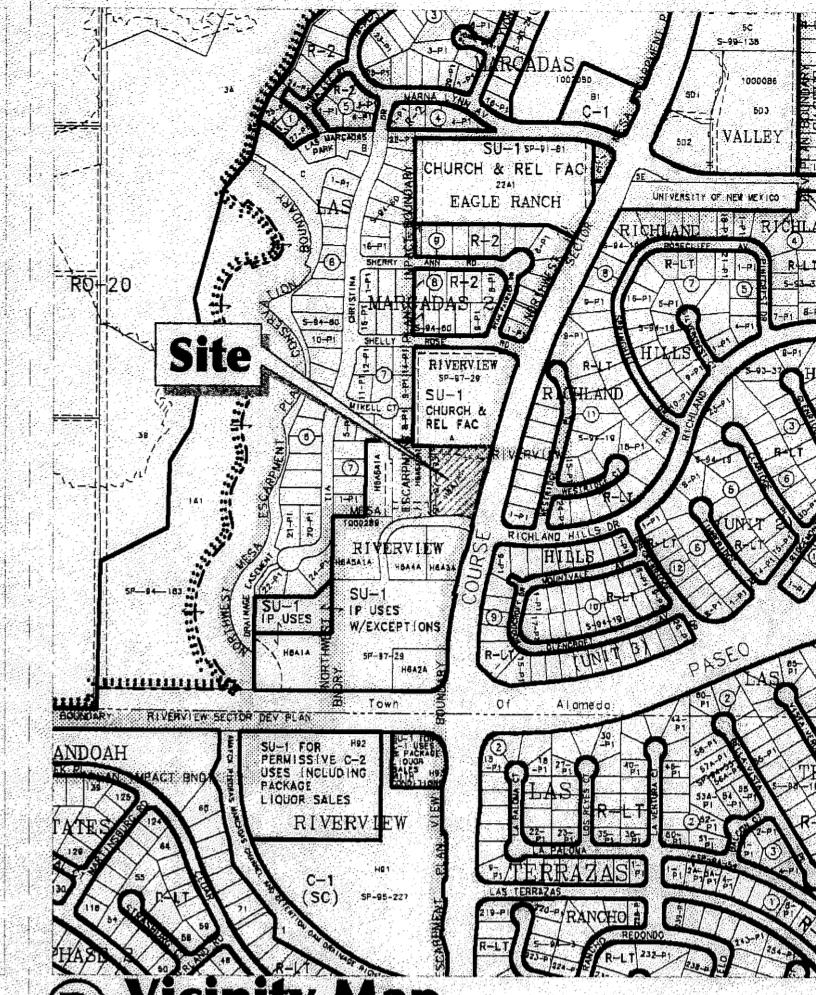
**CIVIL ENGINEER**  
 D. Mark Goodwin and Associates, P.A.  
 P.O. Box 90606  
 Albuquerque, NM 87199  
 (505) 828-2200, Fax: (505) 797-9539  
 E-mail: mark@goodwinengineers.com  
 Contact: Mark Goodwin



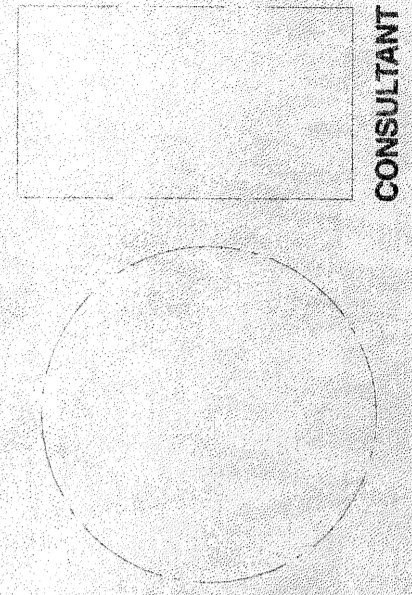
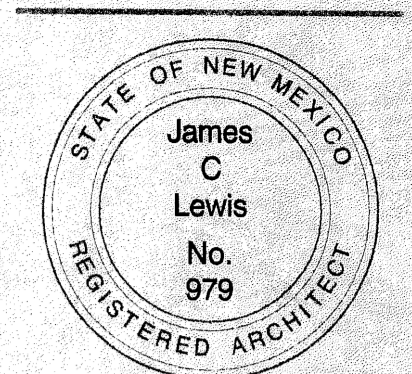
# Site Development Plan for Building Permit and Subdivision

# Carl's Jr.

## Paseo Del Norte and Golf Course



**D Vicinity Map**



CONSULTANT

**Project Team**

**Project Title**



ADDRESS: 8641 Golf Course Road NW  
 Albuquerque, New Mexico

LEGAL DESCRIPTION  
 PARCELS: H-6A7A1-A and H-6A7A1-B  
 SUBDIVISION: Riverview Parcels

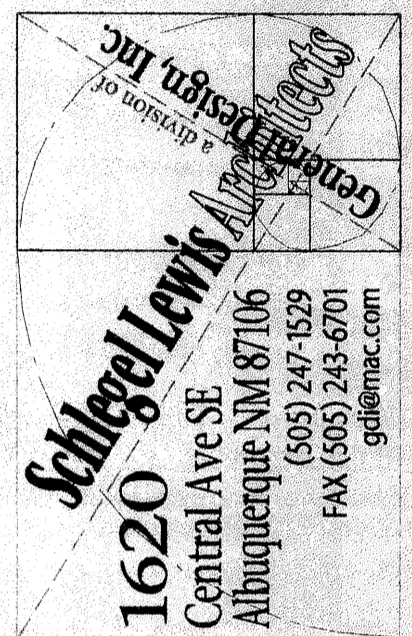
ZONE ATLAS PAGE: C-12

LAND USE ZONING: SU-1 for IP uses with exceptions

PARKING (Restaurant: 1 space per 4 seats)

	Parcel 6A7A1-B	6A7A1-A
Required:	60/4=15	50/4=13
10% bus discount = 3.0 Spaces	-1.5	-1.3
<b>Total =</b>	<b>13.5</b>	<b>11.7</b>
Provided:		
Standard Spaces	23	15
Small Car Spaces	1	0
HC Space	1	1
<b>Total</b>	<b>25</b>	<b>16</b>

BICYCLE PARKING (1 space/20 parking spaces)  
 Required: 2 2  
 Provided: 2 2



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**C Notes**

**PROJECT SUMMARY**

This project incorporates approximately 4,700 square feet of quick serve type restaurant buildings including drive through windows, and will be built in two phases. The first phase is for a Carl's Jr. restaurant of approximately 2,700 square feet. The second phase is for an unknown restaurant of approximately 2,000 square feet.

The project includes towers, tile accents and curved metal awnings. The site features the building located toward the street with a large landscape buffer that includes patios. The parking is located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which, single story retail/restaurant. The color scheme, building materials and landscaping is similar to the surrounding development and conforms to the approved site development plan.

**B Project Summary**

- SDP-1 COVER SHEET
- SDP-2 SITE PLAN
- SDP-3 LANDSCAPE PLAN
- SDP-4 GRADING PLAN
- SDP-5 BUILDING ELEVATIONS
- SDP-6 CONCEPTUAL UTILITY PLAN

Site Development Plan for Building  
 Permit and Subdivision  
**Carl's Jr. Restaurant**  
 Golf Course and Paseo Del Norte  
 Albuquerque, NM 87105

ISSUE DATE:  
 16 June, 2005  
 REVISIONS:  
 12 July, 2005  
 18 July, 2005

**Cover Sheet  
 and Notes**

PROJECT 0514 SHEET **SDP-1**  
 OF 6

**Y Perspective**

**A Index**

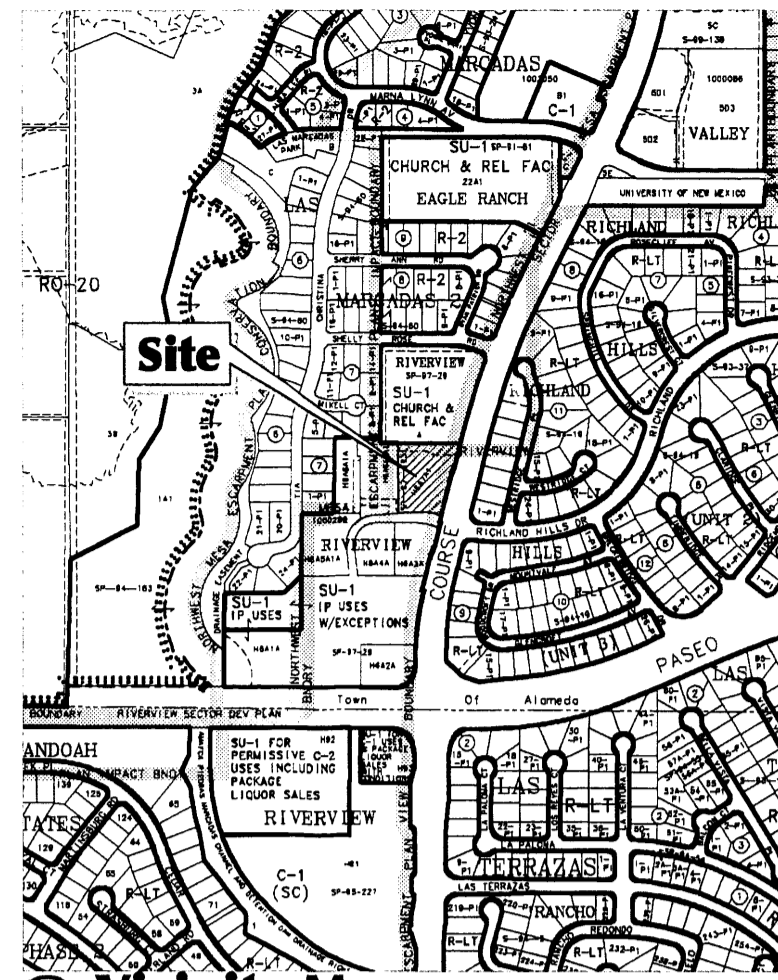


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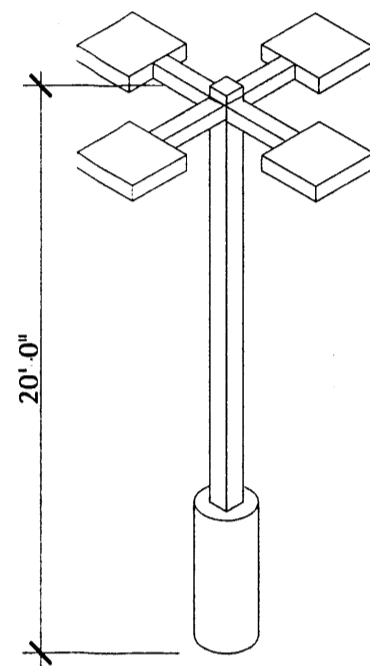
AA Detail Not Used

Z Detail Not Used

Y Detail Not Used

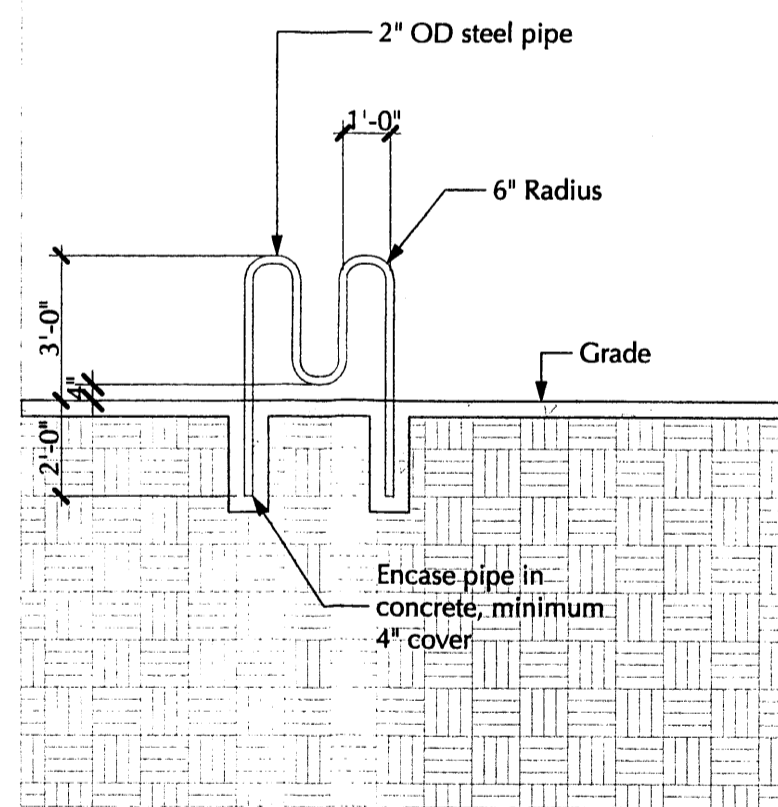


X Vicinity Map



Number of light fixtures on pole varies, see site plan. Use sharp cut-off fixtures at property lines. Site lighting fixtures for this project are limited to 20'-0" high. (The maximum height allowed by the approved site development plan for subdivision is 35'-0")

W Site Light Detail



V Bike Rack

ADDRESS: 8641 Golf Course Road NW  
Albuquerque, New Mexico

LEGAL DESCRIPTION:  
PARCELS: H-6A7A1-A and H-6A7A1-B  
SUBDIVISION: Riverview Parcels

ZONE ATLAS PAGE: C-12

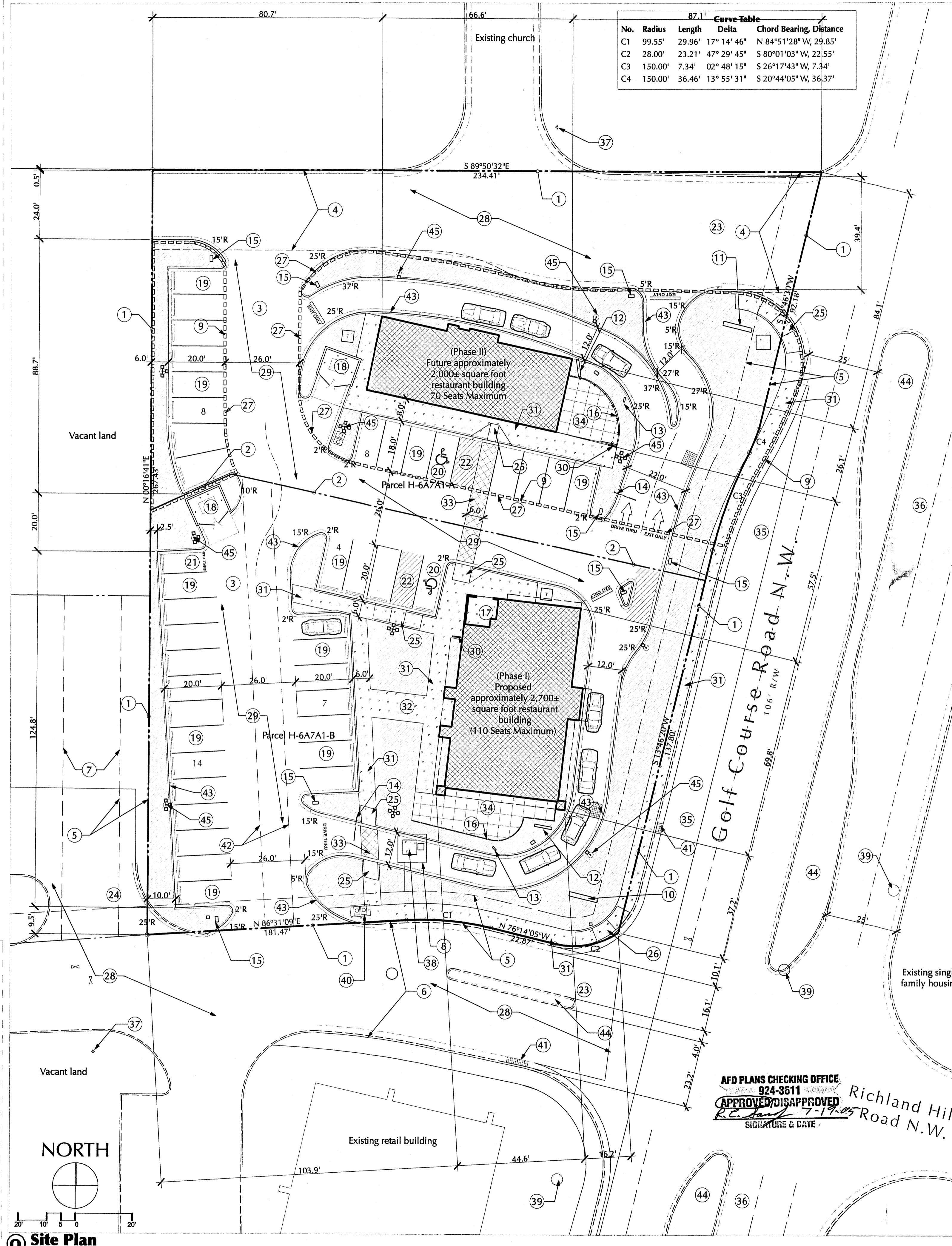
LAND USE ZONING: SU-1 for IP uses with exceptions

PARKING (Restaurant: (1 space per 4 seats))	Parcel 6A7A1-B	6A7A1-A
Required:	60/4=15	50/4=13
10% bus discount = 3.0 Spaces	-1.5	-1.3
<b>Total =</b>	<b>13.5</b>	<b>11.7</b>
Provided:		
Standard Spaces	23	15
Small Car Spaces	1	0
HC Space	1	1
<b>Total</b>	<b>25</b>	<b>16</b>

BICYCLE PARKING (1 space/20 parking spaces)

Required:	2	2
Provided:	2	2

U Notes



Q Site Plan

Curve Table

No.	Radius	Length	Delta	Chord Bearing	Distance
C1	99.55'	29.96'	17° 14' 46"	N 84° 51' 28" W, 29.85'	
C2	28.00'	23.21'	47° 29' 45"	S 80° 01' 03" W, 22.55'	
C3	150.00'	7.34'	02° 48' 15"	S 26° 17' 43" W, 7.34'	
C4	150.00'	36.46'	13° 55' 31"	S 20° 44' 05" W, 36.37'	

- KEYED NOTES
- Existing property line (typical).
  - Proposed property line (with this plan)
  - There is a proposed blanket cross access easement for the benefit of these sites
  - Existing public access and utility easement
  - Existing 10' wide public utility easement.
  - Existing public utility easement, sewer line & water line easement
  - Existing 20' wide public water line & sanitary sewer easement
  - Existing 10'x10' pullbox easement
  - Areas enclosed by the heavy dashed line are part of phase II
  - Proposed monument sign (Carl's Jr.) See detail 'AA' on sheet SDP-5
  - Proposed monument sign (Phase II restaurant) See detail 'Z' on sheet SDP-5
  - Drive through menu sign and order station, -See detail 'Y' on sheet SDP-5
  - Drive through preview menu sign, -See detail 'D' on sheet SDP-5
  - Drive through clearance menu sign
  - Directional sign, -See detail 'AB' on sheet SDP-5
  - 42" high wrought iron fence at drive through side of patio
  - Proposed screened staggering area for trash and deliveries
  - Dumpster enclosure, see elevation detail 'C' on sheet SDP-5
  - Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop (or 18' + 2' overhang with 8' wide walk)
  - Typical HC parking space 8'-6" x 20' with concrete wheel stop
  - Small car parking space 8'-0" x 15'-0". Provide "SMALL CAR" marking on pavement at the front of the space
  - 8' wide handicap aisle for van space
  - Existing common drive pad
  - Existing access road
  - Proposed curb ramp CONSTRUCT PER COA DWG #2-441
  - Existing curb ramp
  - Temporary 6" high asphalt curb at phase II line
  - Existing asphalt paving
  - Proposed asphalt paving
  - Bicycle rack (2 spaces minimum). See detail 'V' sheet SDP-2.
  - Proposed 6' wide concrete sidewalk CONSTRUCT PER COA DWG #2-440
  - Proposed concrete sidewalk
  - Proposed colored and textured concrete crosswalk
  - Colored and scored concrete patio
  - Existing deceleration lane
  - Existing turn lane
  - Existing fire hydrant location
  - Existing electrical vault (dive over)
  - Existing manhole
  - Existing water meters (field verify)
  - Existing inlet grate, see grading plan for location
  - Proposed 10'-0" wide utility easement.
  - Concrete curb
  - Existing street median
  - Site light fixture, -See detail 'W' on sheet SDP-2

B Keyed Notes

PROJECT NUMBER: 1004281  
APPLICATION NUMBERS: OSDRB-01057, OSDRB-01058

Is an Infrastructure List Required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Development Plan Approval

*Raymond A. ...* 8-27-05  
Traffic Engineer, Transportation Department Date

*Christina Dandora* 7-20-05  
Water Utility Development Date

*Bradley B. Bingham* 7-20-05  
Parks and Recreation Department Date  
City Engineer

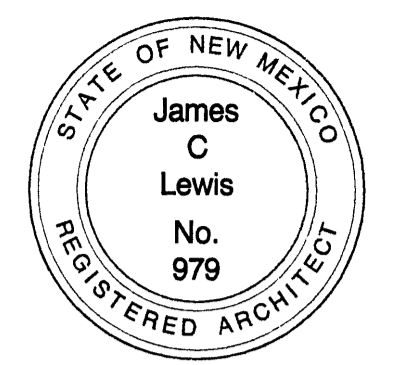
*N/A*  
Environmental Health Department (conditional) Date

*Michael Holton* 7-19-05  
Solid Waste Management Date

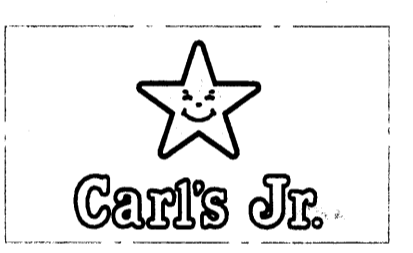
*M. Matson* 7/20/05  
DRB Chairperson, Planning Department Date

\* Environmental Health, if necessary

**A Signature Block**



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**Carl's Jr. Restaurant**  
Golf Course and Paseo Del Norte  
Albuquerque, NM 87105

ISSUE DATE:  
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PROJECT 0514 SHEET SDP-2 OF 6

**Site Plan**

1004281



**LANDSCAPING AND IRRIGATION**  
 All landscape maintenance and waste water responsibilities will be with the Owner's grounds maintenance personnel.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Provide gravel over filter fabric shall be placed in all landscape areas which are not designated to receive native seed or other ground cover. (See landscape plan and schedule).

**LANDSCAPE IRRIGATION**  
 Irrigation shall be a complete underground system. Trees shall receive (5) 1.0 GPH drip emitters and shrubs shall receive (2) 1.0 GPH drip emitters. Drip and bubbler system to be tied to 1/2" poly pipe with flue caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.**

AB Detail Not Used

AA Detail Not Used

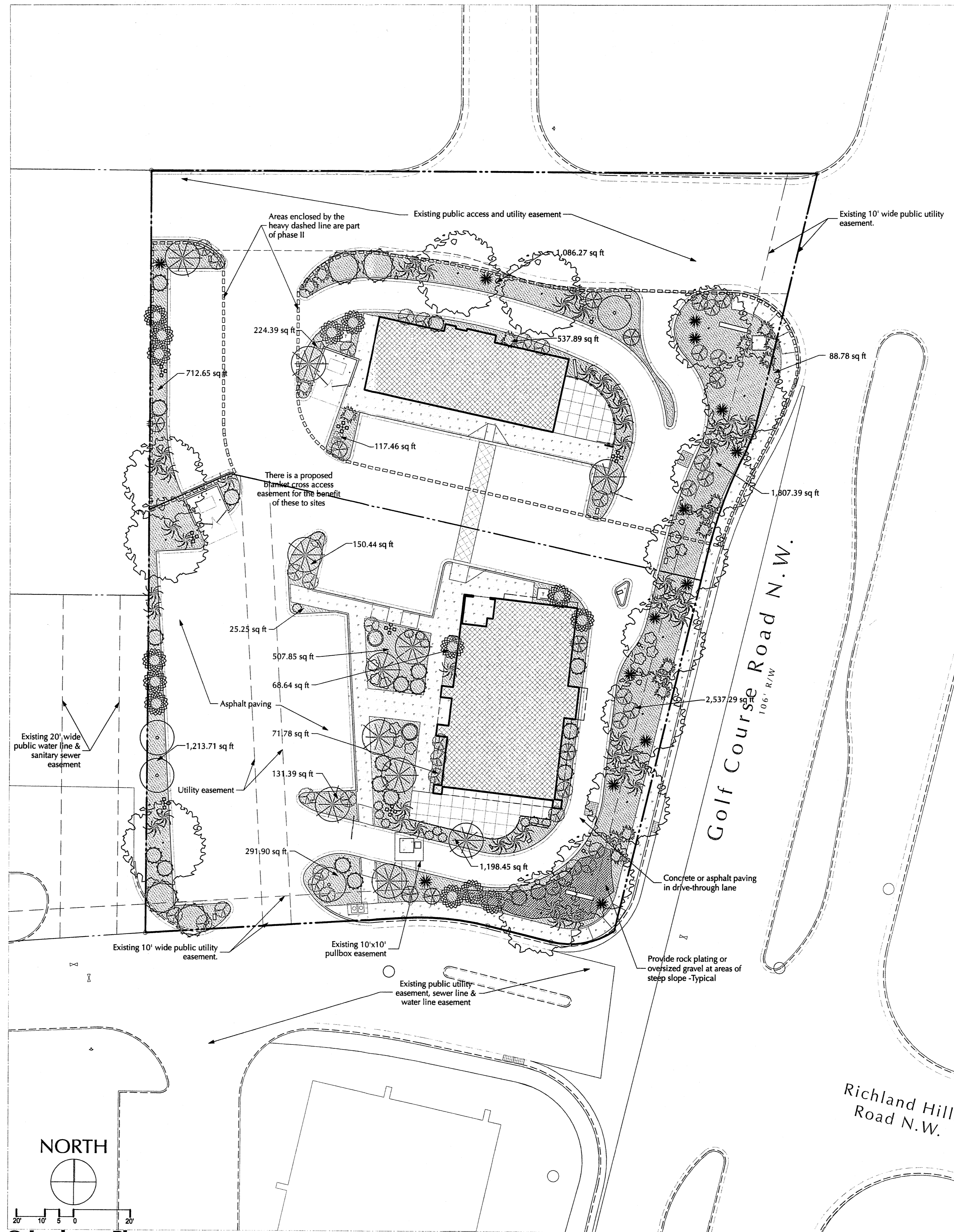
Z Detail Not Used

Y Detail Not Used

W Landscape Notes

V Detail Not Used

U Detail Not Used



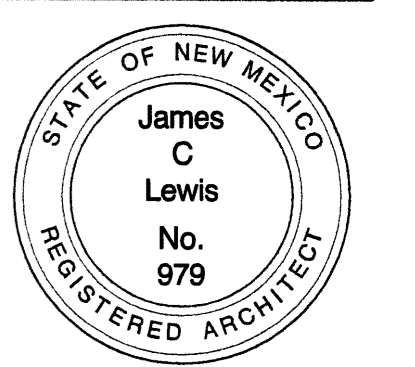
Q Landscape Plan

<b>NORTH LOT</b>	
Total Lot Area:	26,860 sf
Total Building Area:	2,000 sf
Net Lot Area:	24,860 sf
Landscape requirement (15%):	3,729 sf
Total Bed Provided (Planted, gravel):	4,486 sf
Percent of net lot area:	18.0%
<b>SOUTH LOT</b>	
Total Lot Area:	25,943 sf
Total Building Area:	2,700 sf
Net Lot Area:	23,243 sf
Landscape requirement (15%):	3,496 sf
Total Bed Provided (Planted, gravel):	6,197 sf
Percent of net lot area:	26.7%
<b>STREET TREE REQUIREMENTS</b>	
Street trees required under the City of Albuquerque street tree ordinance are as follows:	
Golf Course Road NW	Required: 9, Provided: 9

D Landscape Calculations

	ARIZONA ASH (M) <i>Fraxinus velutina</i> 2" Caliper	14
	DESERT WILLOW (L) <i>Chaparral linearis</i> 2" Caliper	4
	WESTERN REDBUD (M) <i>Cercis occidentalis</i> 2" Caliper	10
	NEW MEXICO OLIVE (M) <i>Forsteria neomexicana</i> 2" Caliper	4
	APACHE PLUME (L) <i>Fallugia paradoxa</i> 5 Gal. 25 sf	14
	MUGHO PINE (M) <i>Pinus mugho</i> 5 Gal.	2
	ROSEMARY (M) <i>Rosmarinus officinalis</i> 2 Gal. 36 sf	22
	RED TIP PHOTINIA (M) <i>Photinia fraseri</i> 5 Gal. 64 sf	8
	MAIDEN GRASS (M) BLUE AVENA & THREADGRASS <i>Miscanthus sinensis, Helictichon sempervirens, Stipa tenuifolia</i> 1 Gal. 16 sf	50
	RUSSIAN SAGE (M) <i>Perovskia atriplicifolia</i> 5 Gal.	14
	POTENTILLA (M) <i>Potentilla fruticosa</i> 2 Gal.	18
	AUTUMN SAGE (M) <i>Salvia greggii</i> 2 Gal. 9 sf	41
	LAVENDER <i>Lavandula spp.</i> 1 Gal. 25 sf	29
	WILDFLOWER 1 Gal. 4 sf including but not limited to: Catmint Wall Flower & Yarrow	14
	COMMERCIAL GRADE Steel edging	
	OVERSIZED GRAVEL & Boulders	
	SUNSET ROSE 3/4" Gravel over fabric	
	CONCRETE Sidewalks/paving	
	CONCRETE Colored and textured	

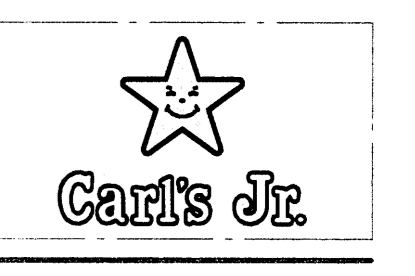
A Landscape Schedule



CONSULTANT

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 gollmcc.com



Site Development Plan for Building Permit and Subdivision  
**Carl's Jr. Restaurant**  
 Golf Course and Paseo Del Norte  
 Albuquerque, NM 87105

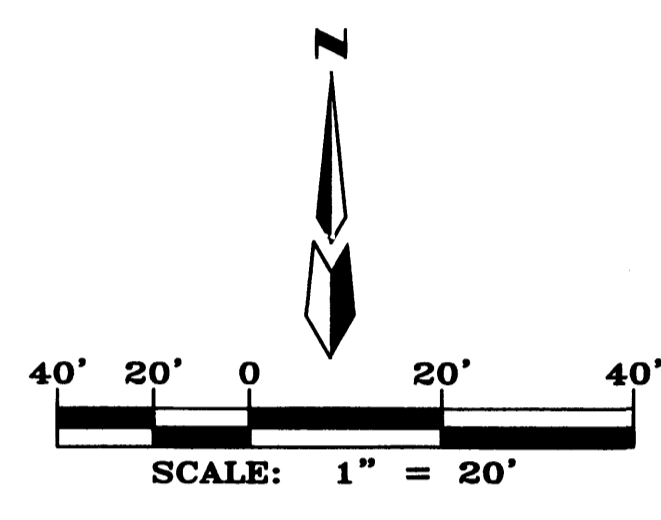
**ISSUE DATE:**  
16 June, 2005

**REVISIONS:**  
12 July, 2005  
18 July, 2005

**Landscape Plan**

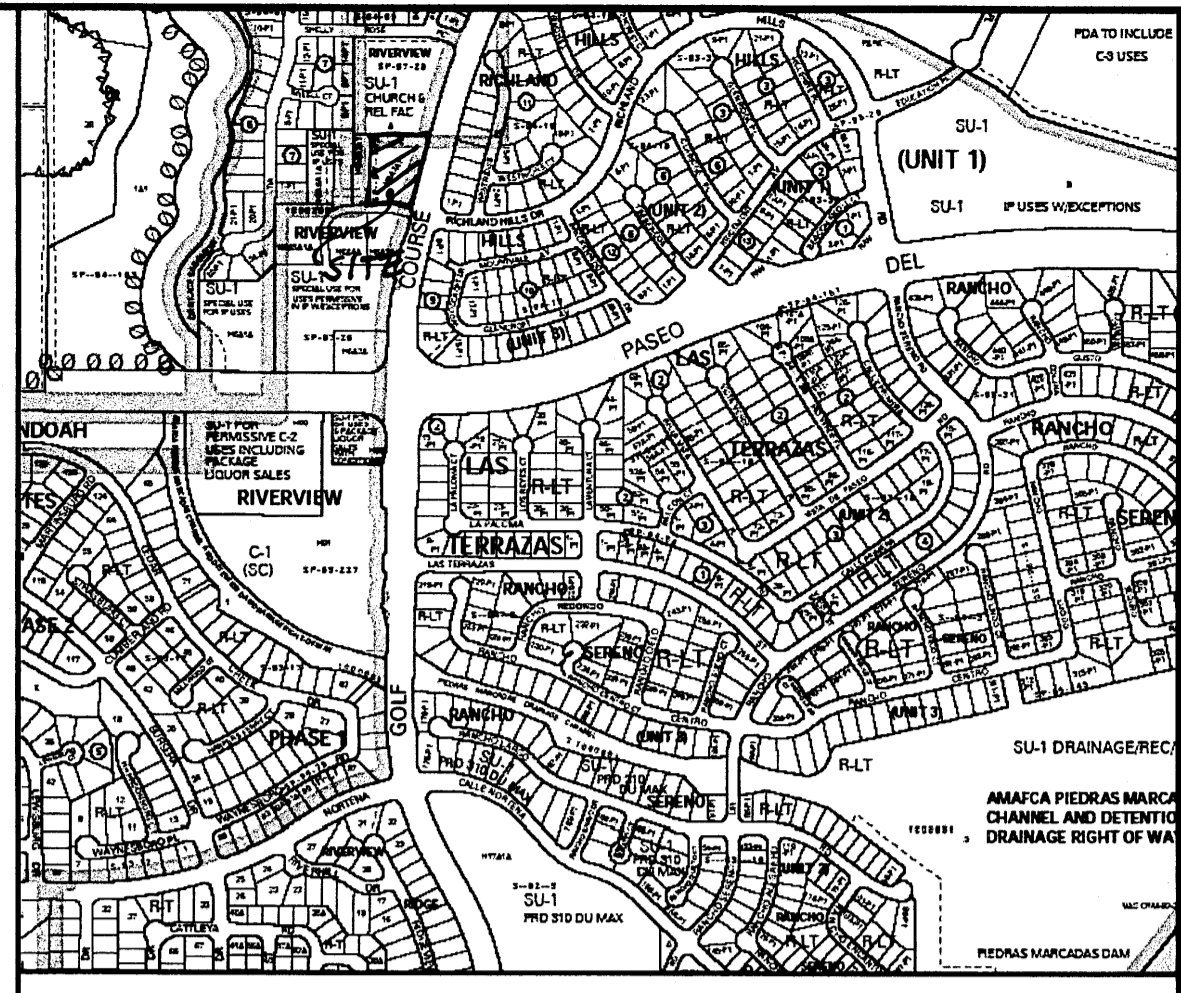
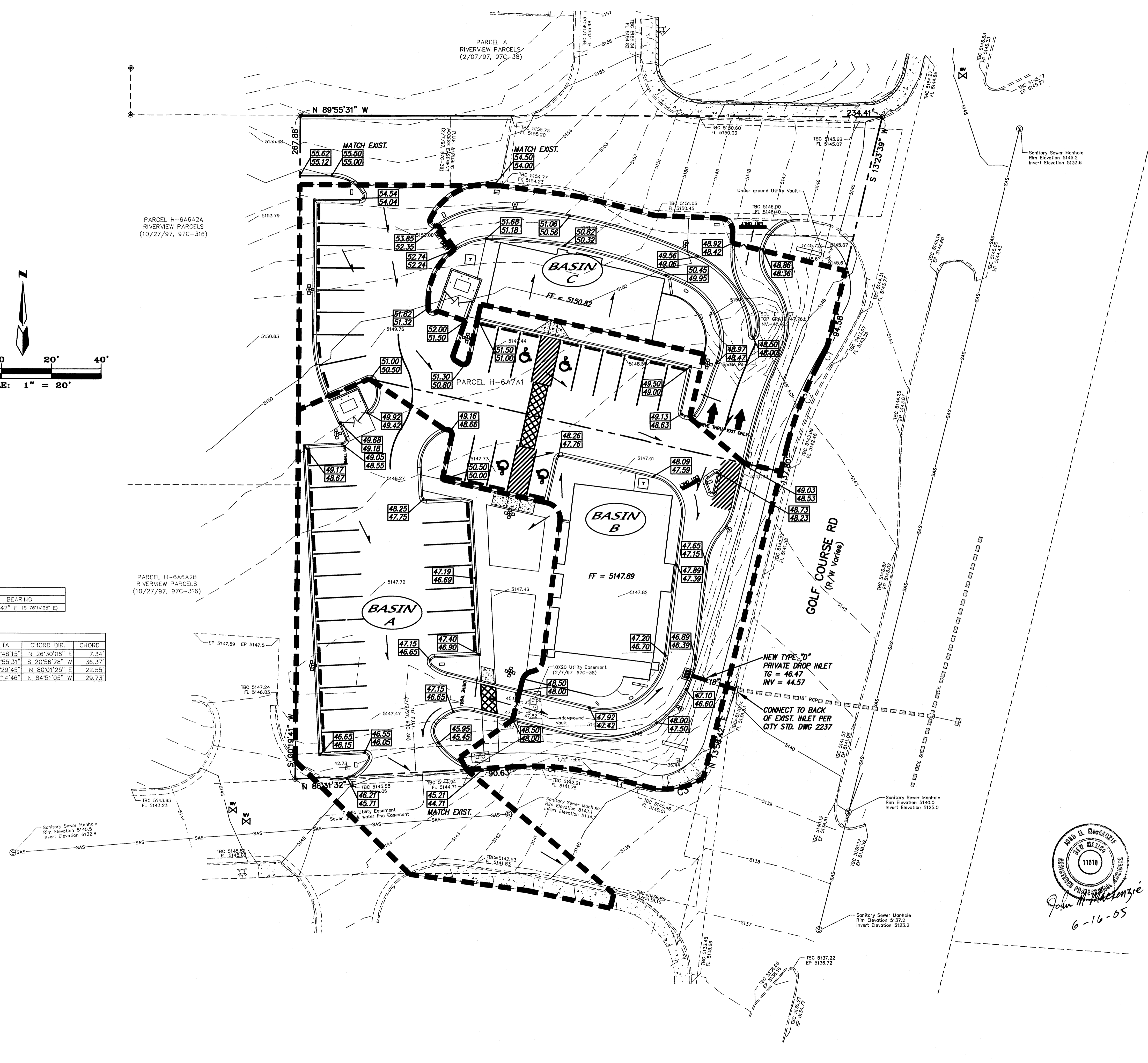
PROJECT 0514 SHEET **SDP-3** OF 6





LINE TABLE		
LINE	LENGTH	BEARING
L1	22.72 (22.87)	S 76°13'42" E (S 76°4'05" E)

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	150.00' (159.36')	7.34'	7°34'	N 26°30'56" E	7.34'
C2	150.00' (159.36')	36.46'	13°55'31"	S 20°36'28" W	36.37'
C3	28.00' (28.27')	2.37'	47°29'45"	N 80°01'25" E	2.85'
C4	89.55' (99.55')	29.96'	17°14'46"	N 84°51'05" W	29.73'



ZONE MAP: C-12-Z

**ACS BENCHMARK**  
 STATION IS A STANDARD CORPUS OF ENGINEERS METAL TABLE SET IN A CONCRETE POST, 0.75 FT. ABOVE THE GROUND, STAMPED "ALAMEDA B NO 2, ALBUQUERQUE DISTRICT, 1950".  
 X=373,513.20 Y=1,520,142.81 Z=5058.25

**LEGAL DESCRIPTION**  
 RIVERVIEW PARCEL H-6A4.

**LEGEND**

	PROPERTY LINE
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FINISHED FLOOR
	BASIN BOUNDARY

John H. Wenzel  
 6-16-05

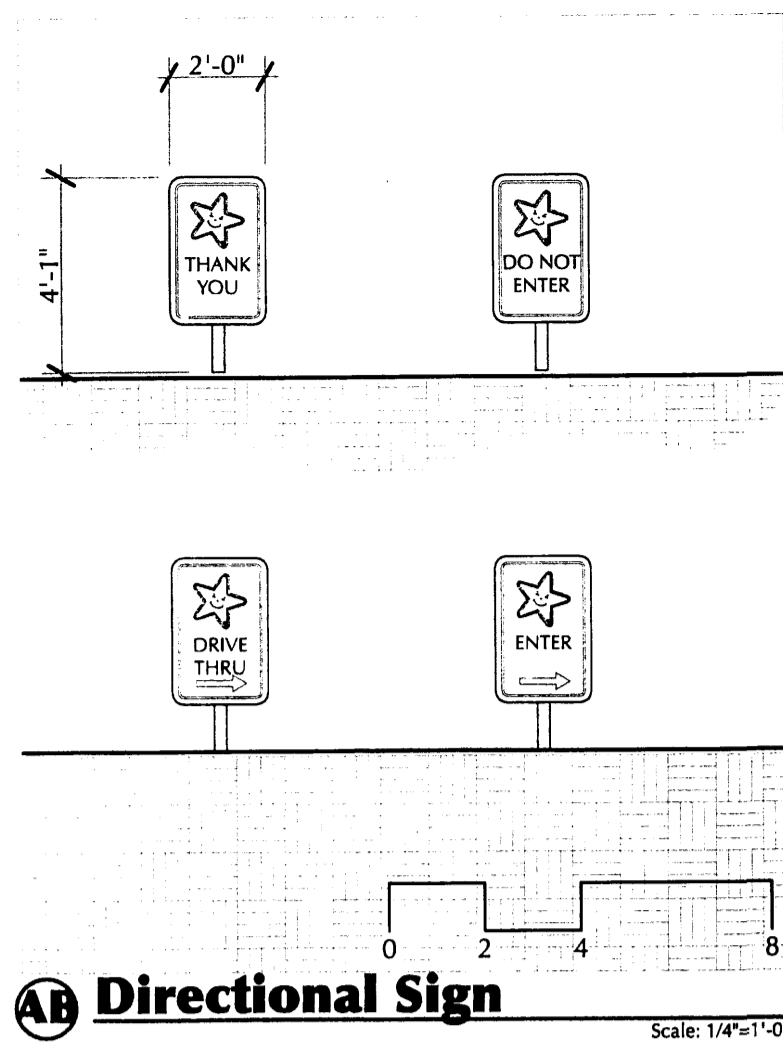
**CARL'S JUNIOR  
 GOLF COURSE RD. N.E.  
 CONCEPTUAL GRADING PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

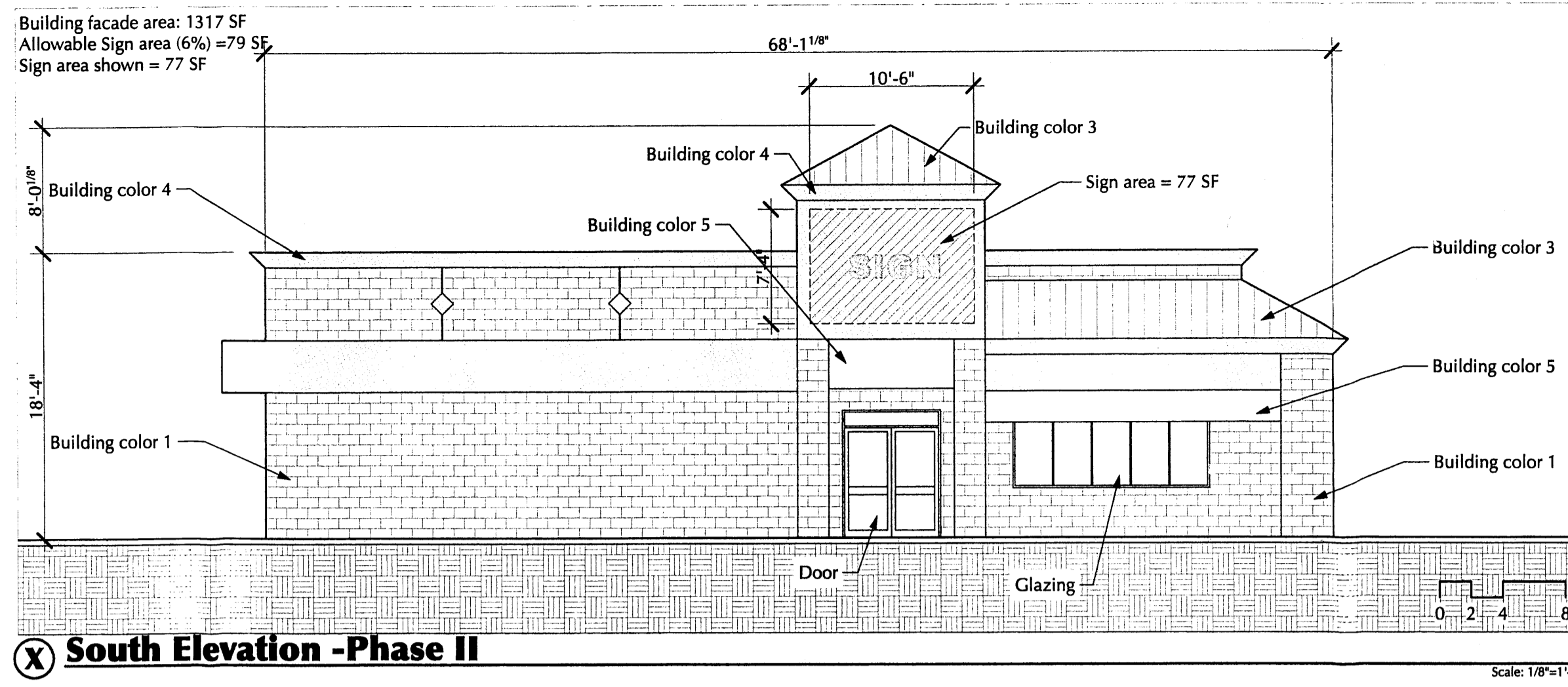
Designed: JMM Drawn: SPS Checked: DMG Sheet 1 of 1  
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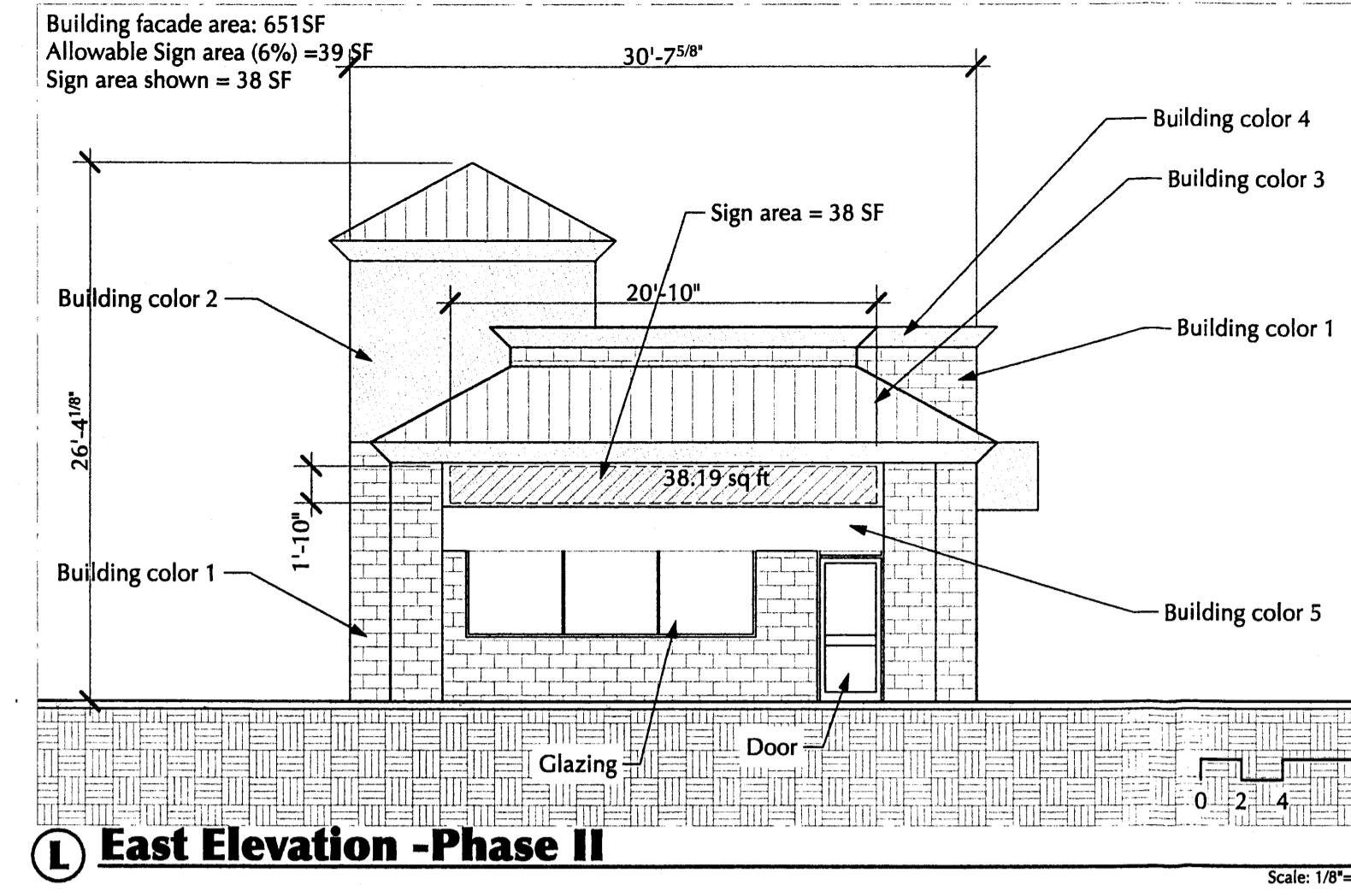




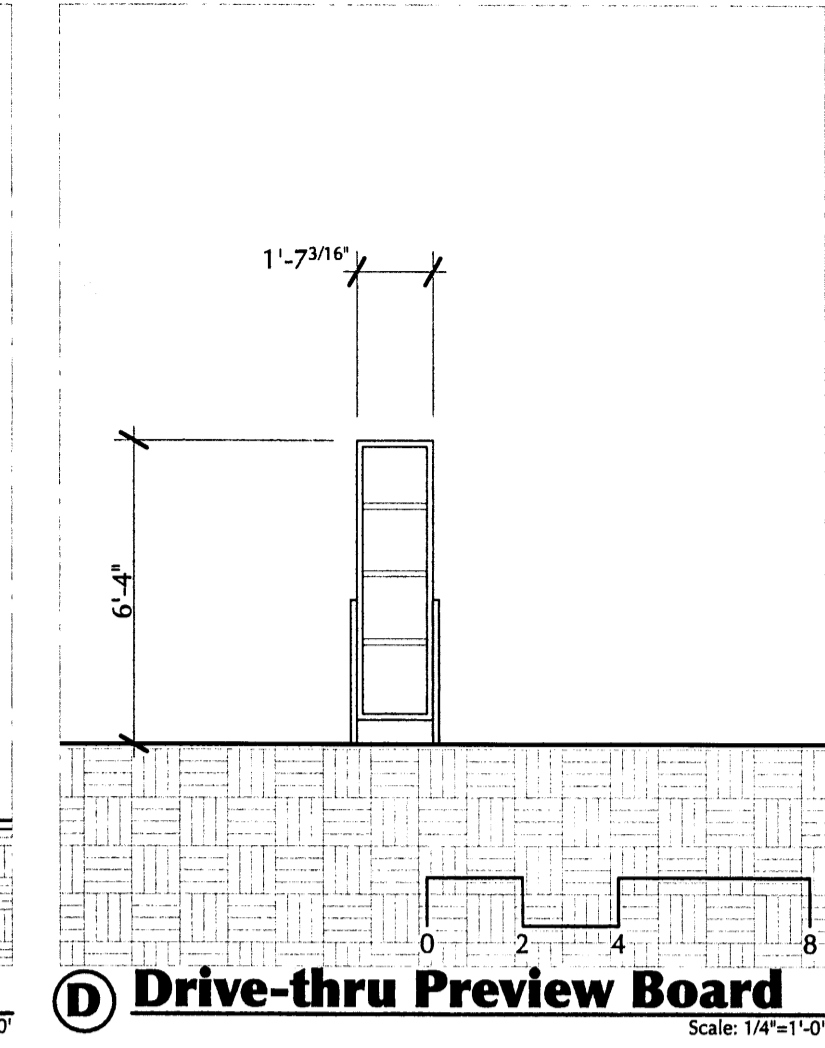
**AB Directional Sign** Scale: 1/4"=1'-0"



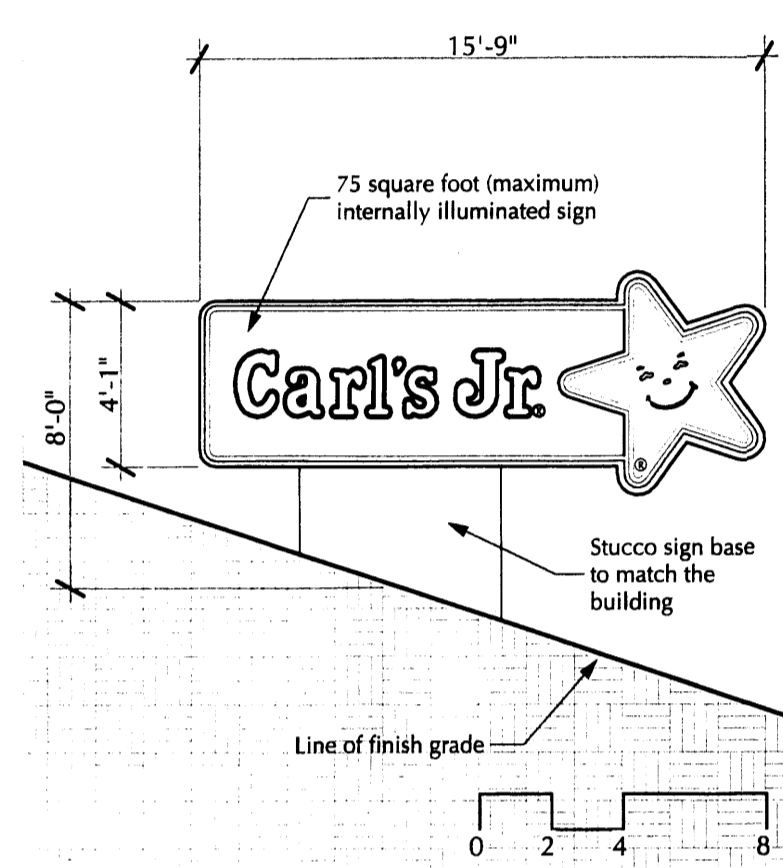
**X South Elevation - Phase II** Scale: 1/8"=1'-0"



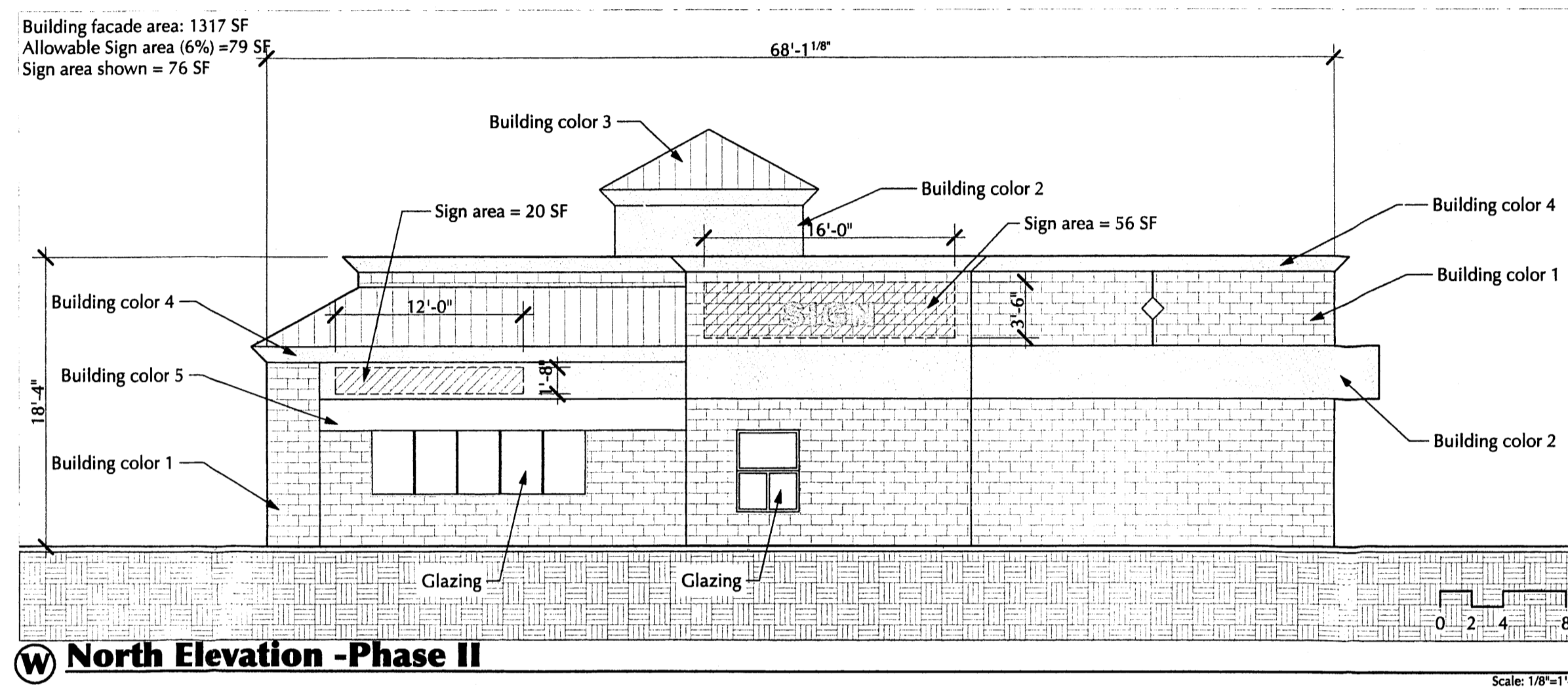
**L East Elevation - Phase II** Scale: 1/8"=1'-0"



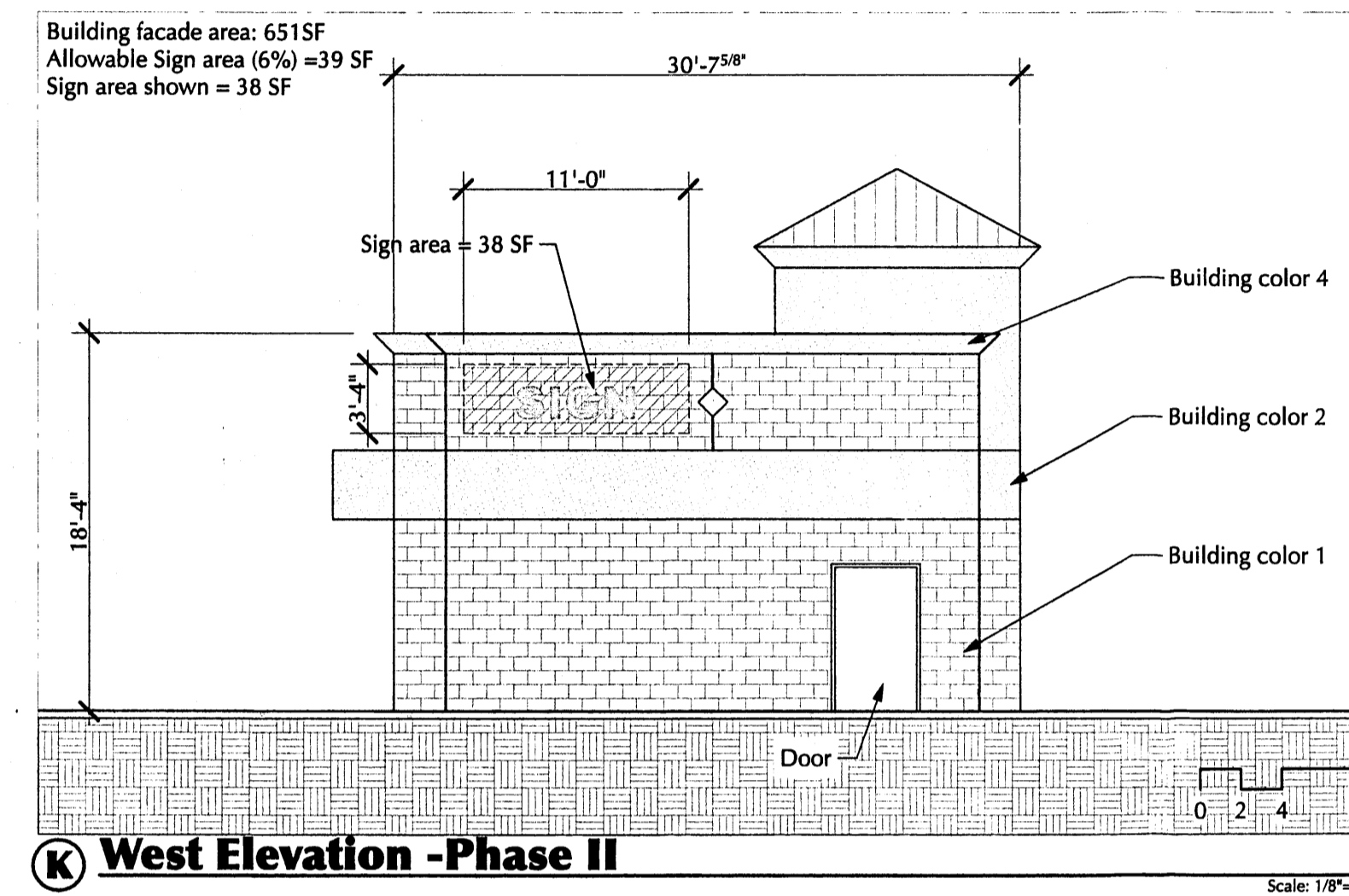
**D Drive-thru Preview Board** Scale: 1/4"=1'-0"



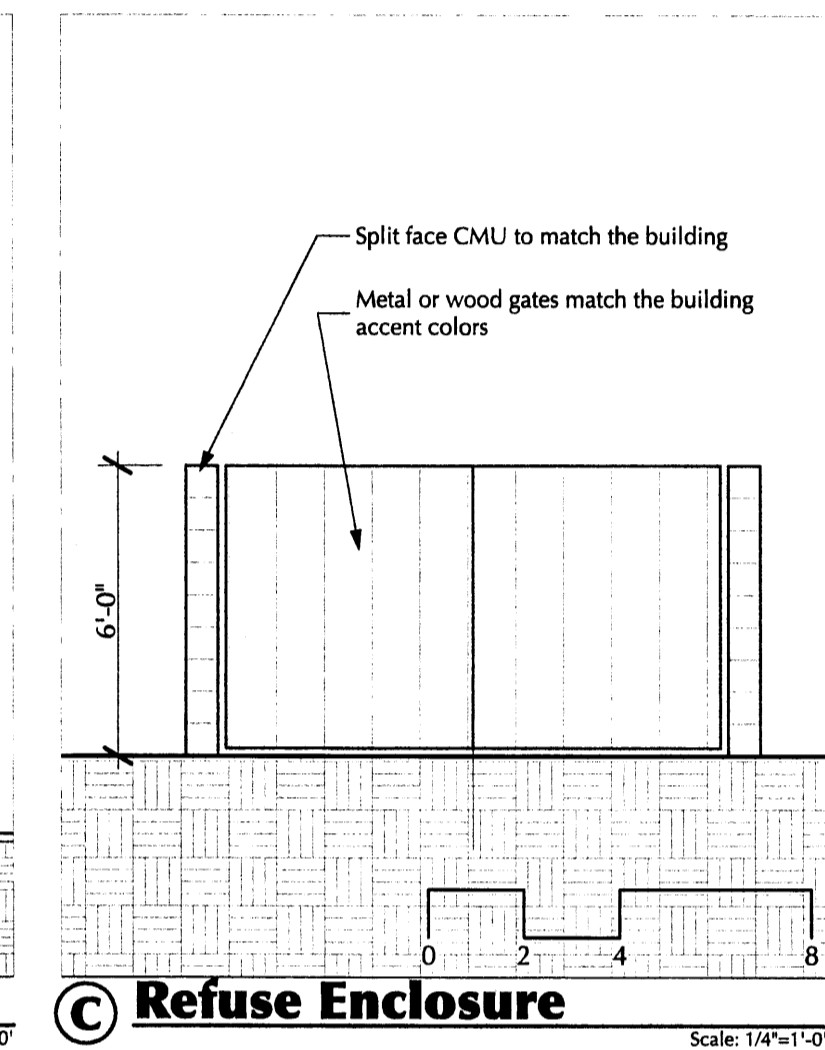
**AA Monument Sign - Carl's Jr.** Scale: 3/16"=1'-0"



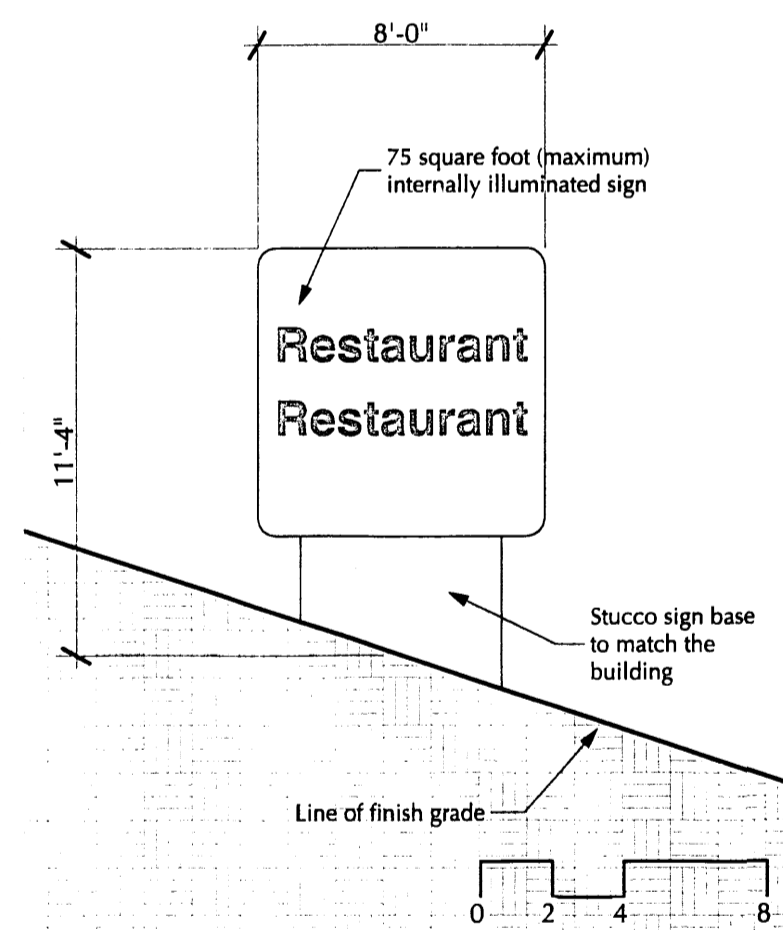
**W North Elevation - Phase II** Scale: 1/8"=1'-0"



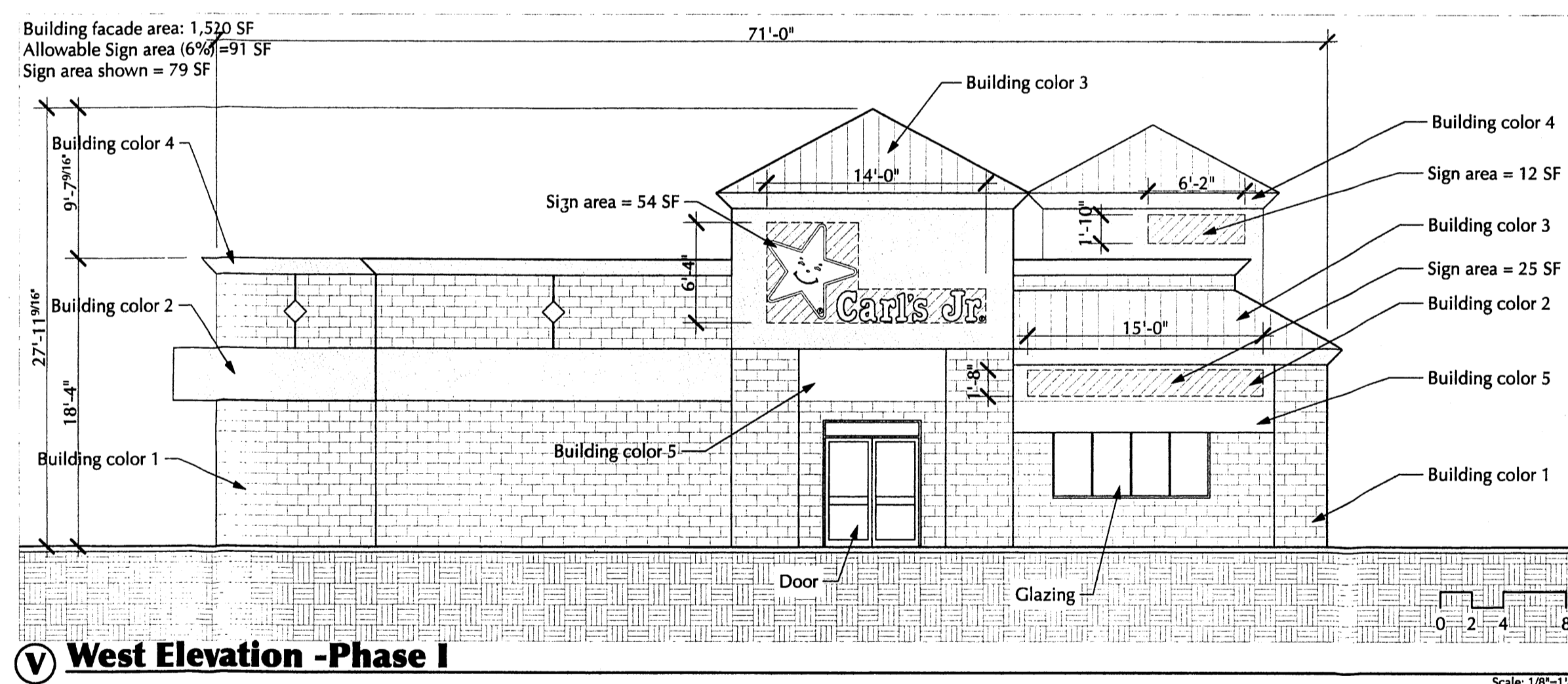
**K West Elevation - Phase II** Scale: 1/8"=1'-0"



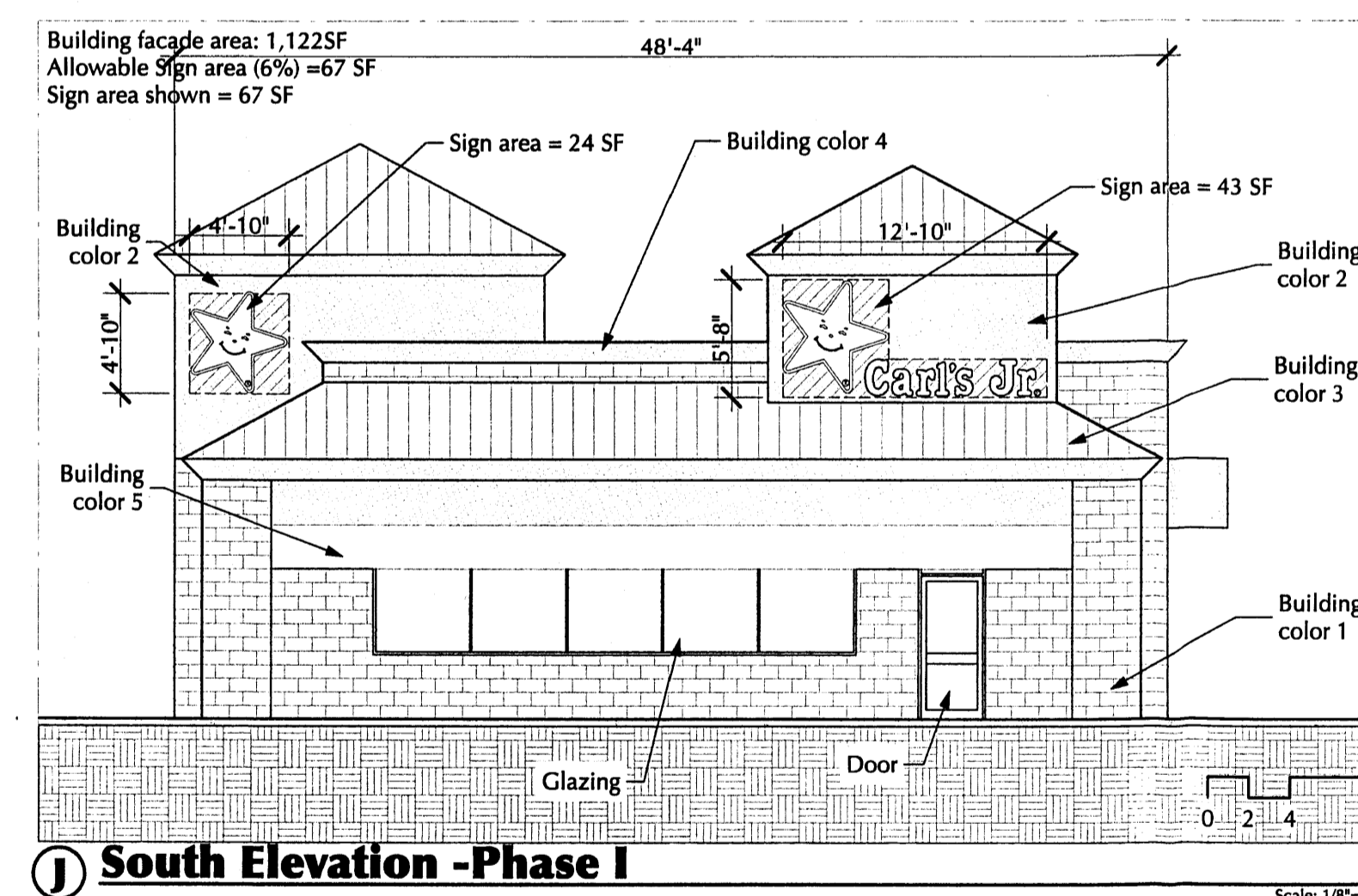
**C Refuse Enclosure** Scale: 1/4"=1'-0"



**Z Monument Sign - Phase II** Scale: 3/16"=1'-0"



**V West Elevation - Phase I** Scale: 1/8"=1'-0"



**J South Elevation - Phase I** Scale: 1/8"=1'-0"

**BUILDING COLORS:**  
 Building color 1 Light Tan Split face block  
 Building color 2 Dark Tan Stucco accents  
 Building color 3 Slate Blue Metal roof  
 Building color 4 White Stucco cornice  
 Building color 5 Red Fabric or metal awning

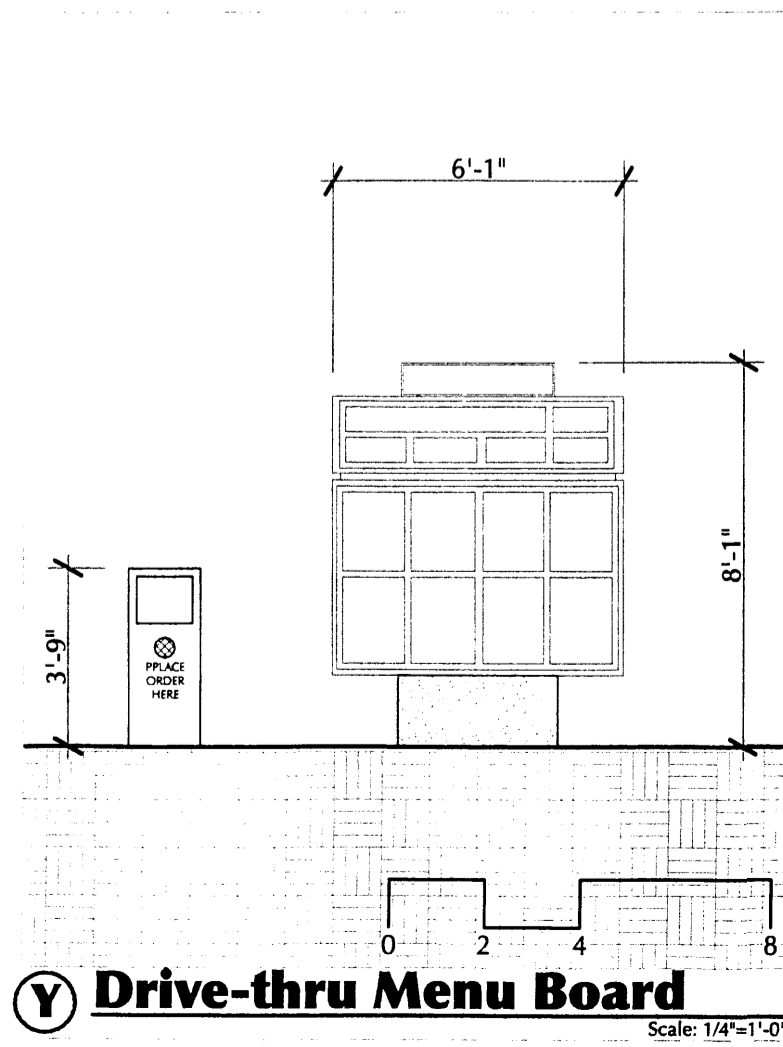
**STOREFRONT FRAME and GLAZING:**  
 Door and window frames shall be clear or bronze aluminum or painted metal. Glazing shall be clear or tinted. Glazing shall not be mirrored finished. (non-reflective)

**ROOFING:**  
 All flat roofing is not visible from public view and will be gravel or white membrane type.

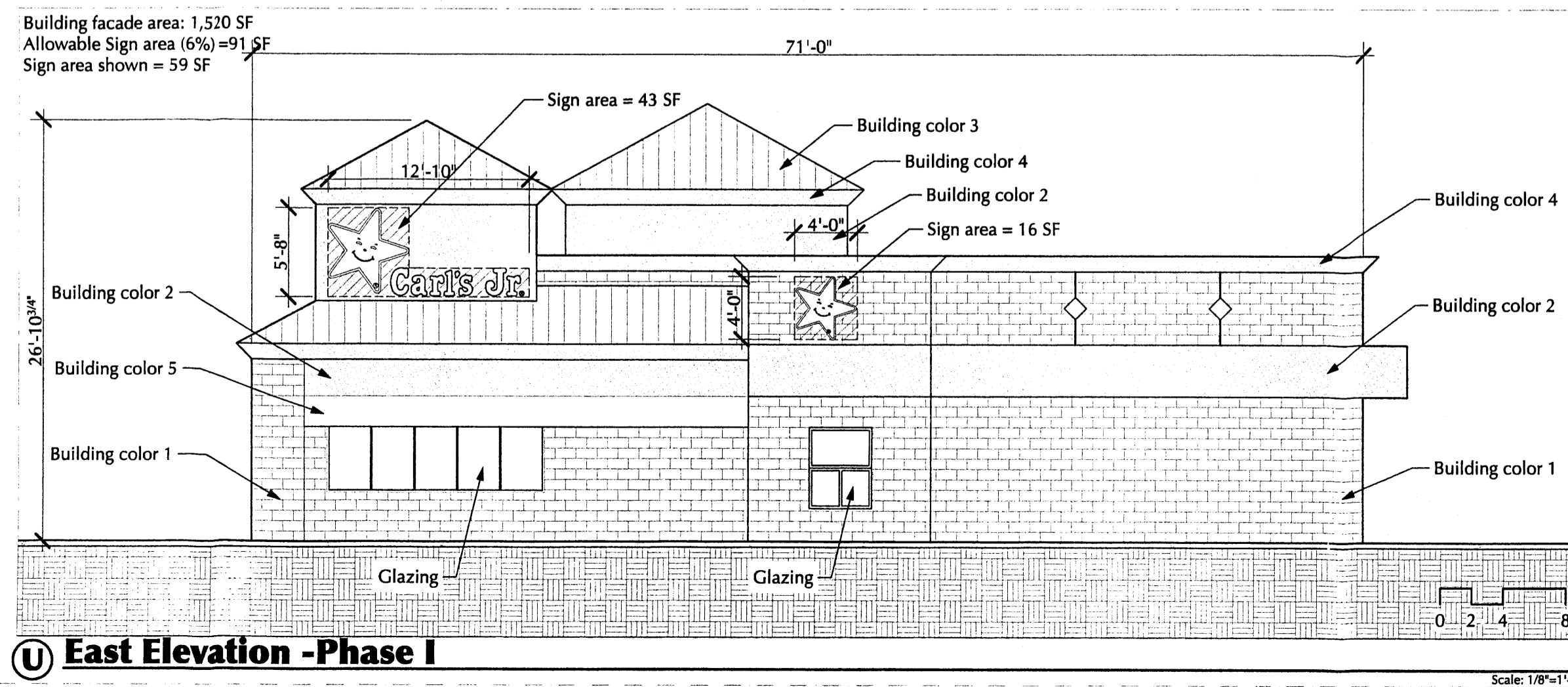
**SIGNAGE:**  
 All building mounted signs shall be internally illuminated channel letters. The total building mounted sign area shall not exceed 6% of the total building facade.

**SIGNAGE COLOR:**  
 Signs faces shall be red and yellow.

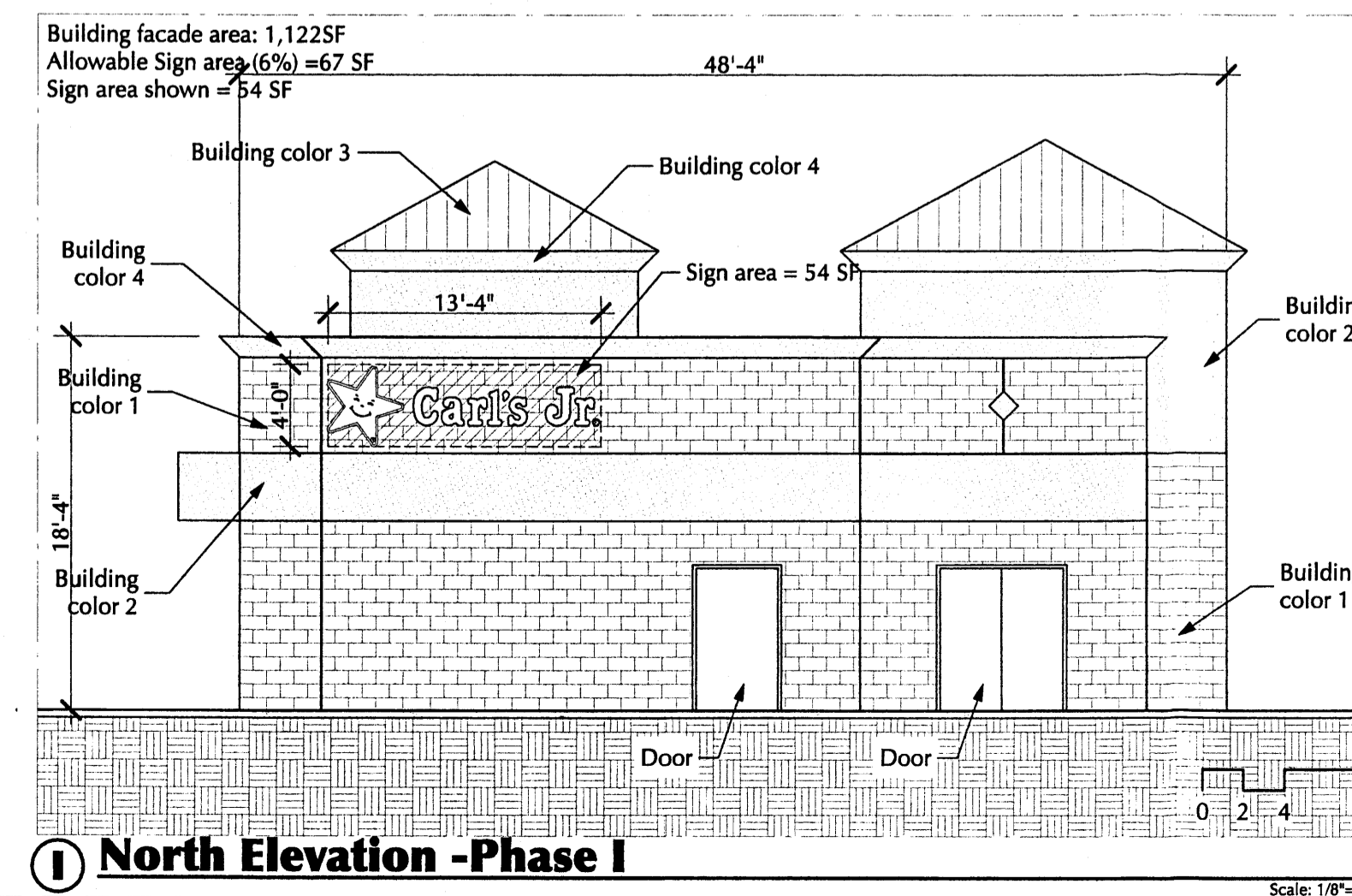
Note: All mechanical equipment will be screened from view of the adjacent parking area and public right of way.



**Y Drive-thru Menu Board** Scale: 1/4"=1'-0"

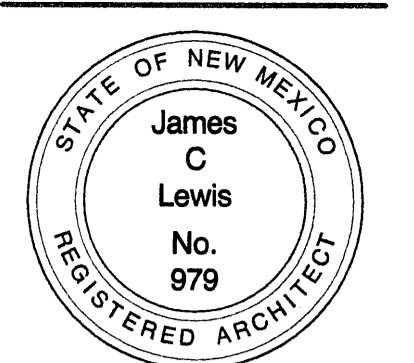


**U East Elevation - Phase I** Scale: 1/8"=1'-0"

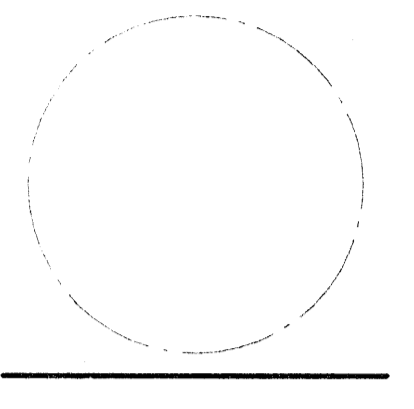


**I North Elevation - Phase I** Scale: 1/8"=1'-0"

**Colors and Materials**



CONSULTANT



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Site Development Plan for Building Permit and Subdivision  
**Carl's Jr. Restaurant**  
 Golf Course and Paseo Del Norte  
 Albuquerque, NM 87105

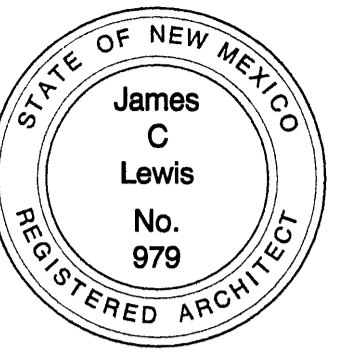
**ISSUE DATE:**  
 16 June, 2005

**REVISIONS:**  
 12 July, 2005  
 18 July, 2005

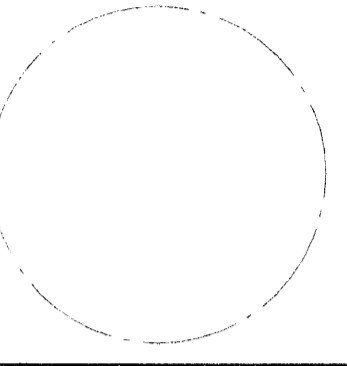
**Elevations**

PROJECT 0514 SHEET **SDP-5** OF 6



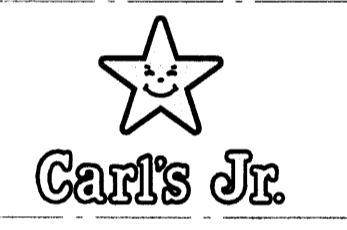


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**Utility Plan**

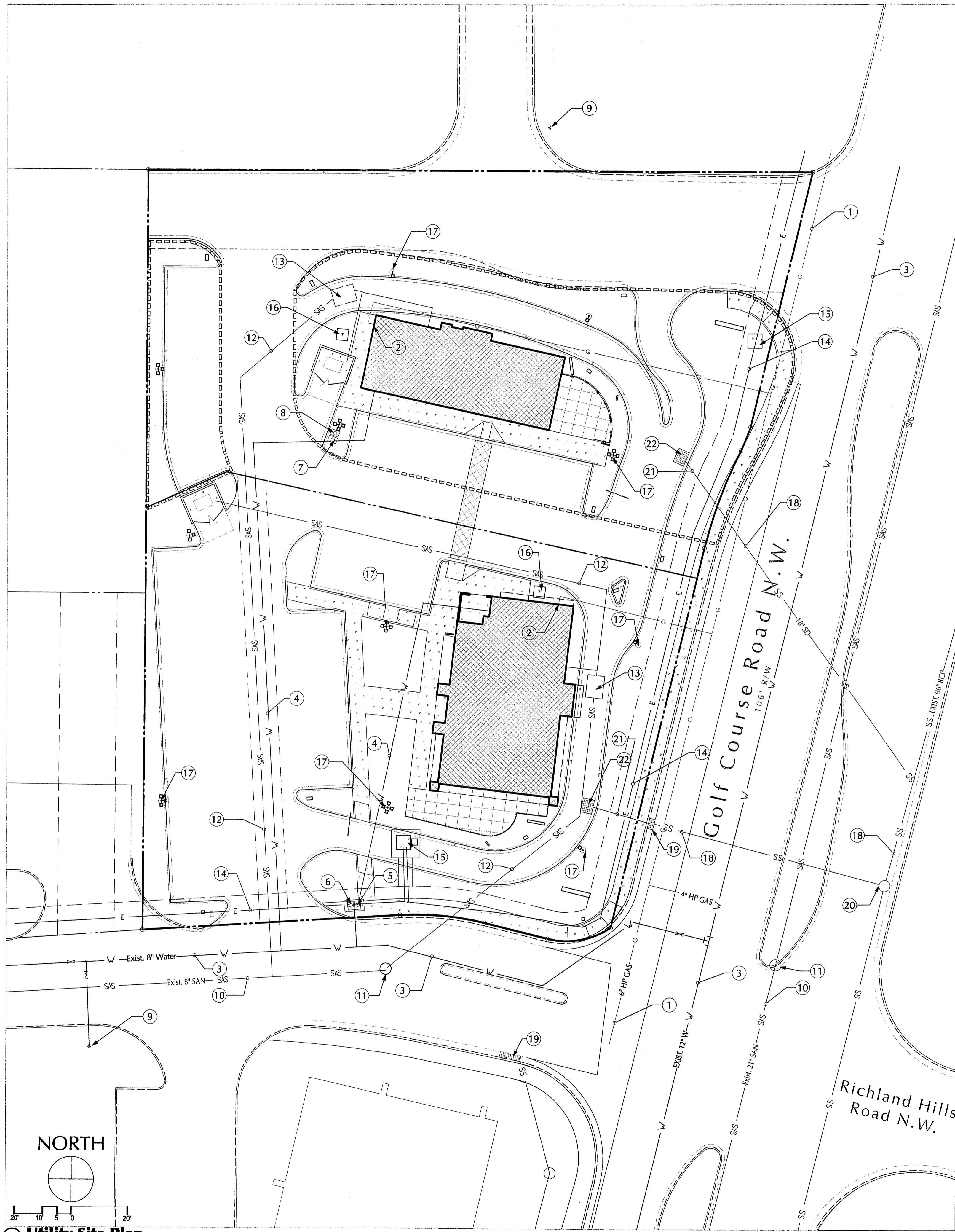
PROJECT 0514 SHEET **SDP-6** OF 6

**Detail Not Used**

**Detail Not Used**

**Detail Not Used**

**Detail Not Used**



**Utility Site Plan**

**Detail Not Used**

**Detail Not Used**

**keyed Notes**

- 1 Existing gas line
- 2 Proposed gas meter location
- 3 Existing water line
- 4 Proposed water line
- 5 Existing water meter
- 6 Existing irrigation meter
- 7 Proposed water meter
- 8 Proposed irrigation meter
- 9 Existing fire hydrant
- 10 Existing sanitary sewer main
- 11 Existing sanitary sewer manhole
- 12 Proposed sanitary sewer line
- 13 Proposed grease interceptor
- 14 Existing underground electrical line -Verify location
- 15 Existing splice box to remain
- 16 Proposed electrical transformer
- 17 Proposed parking lot light
- 18 Existing storm drain line
- 19 Existing storm drain inlet
- 20 Existing storm manhole
- 21 Proposed storm drain line
- 22 Proposed storm drain inlet

Scale: 1"=20'-0"