

LOCATION MAP

ZONE ATLAS C-12-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	1.2150 Ac.
Zone Atlas No.	C-12-Z
No. of Existing Tracts/Parcels	1 Parcel
No. of Parcels created	2 Parcels
No. of Parcels eliminated	1 Parcel
Miles of full width streets created	0.00
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	0.0000 Ac.
Date of Survey	May, 2005
Utility Control Location System Log Number	2005231968
Zoning	SU-1 for C-2 & IP

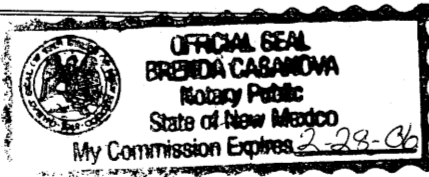
FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Charles A. Romero 6/22/05
Charles A. Romero, A single man Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO



This instrument was acknowledged before me on June 21, 2005
By Charles A. Romero, A single man.

Brenda Casanova 6-18-05 2-28-2006
NOTARY PUBLIC MY COMMISSION EXPIRES

5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

LEGAL DESCRIPTION

Parcel Lettered H-SIX-A-SEVEN-A-ONE (H-6A7A1), RIVERVIEW PARCELS, Situate within the Town of Alameda Grant, Projected Section 13, Township 11 North, Range 2 East of the New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 27, 1997 in Volume 97C, Folio 316 and containing 1.2150 acres, more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 Existing Parcel into 2 Parcels.
2. Grant easements as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

See note 5 below.
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

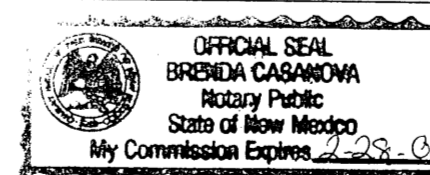
In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

Alan Ivener 6/22/05 Date
Ruth Ivener 6/22/05 Date
Ruth Ivener, Wife

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO



This instrument was acknowledged before me on June 22, 2005
By Alan Ivener and Ruth Ivener, husband and wife.

Brenda Casanova 6-18-05 2-28-2006
NOTARY PUBLIC MY COMMISSION EXPIRES

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6331338
Page: 1 of 2
69/15/2005 10:08AM
Bk-2005C Pg-304
Mary Herrera Bern. Co. PLAT R 12.00

PLAT FOR
PARCEL H-6A7A1-A AND H-6A7A1-B
RIVERVIEW PARCELS
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004281
Application Number: 05DRB-01133

PLAT APPROVAL

Utility Approvals:

<u>Lead D. Matz</u> PNM Electric Services	8-10-05 Date
<u>Lead D. Matz</u> PNM Gas Services	8-10-05 Date
<u>Marshall Bay</u> Qwest	8-9-05 Date
<u>Gene Burban</u> Comcast	8-10-05 Date
<u>[Signature]</u> New Mexico Utilities, Inc.	9-12-05 Date

City Approvals:

<u>[Signature]</u> City Surveyor	7-8-05 Date
<u>N/A</u> Real Property Division	7/20/05 Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	7-29-05 Date
<u>Roger A. Green</u> Water Utility Department	9-13-05 Date
<u>Christina Sandoral</u> Parks and Recreation Department	7/20/05 Date
<u>Bradley S. Bingham</u> AMAFCA	7/20/05 Date
<u>Bradley S. Bingham</u> City Engineer	7/20/05 Date
<u>[Signature]</u> DRB Chairperson, Planning Department	7/20/05 Date

SURVEYOR'S CERTIFICATION

"I, Will W. Plotner, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

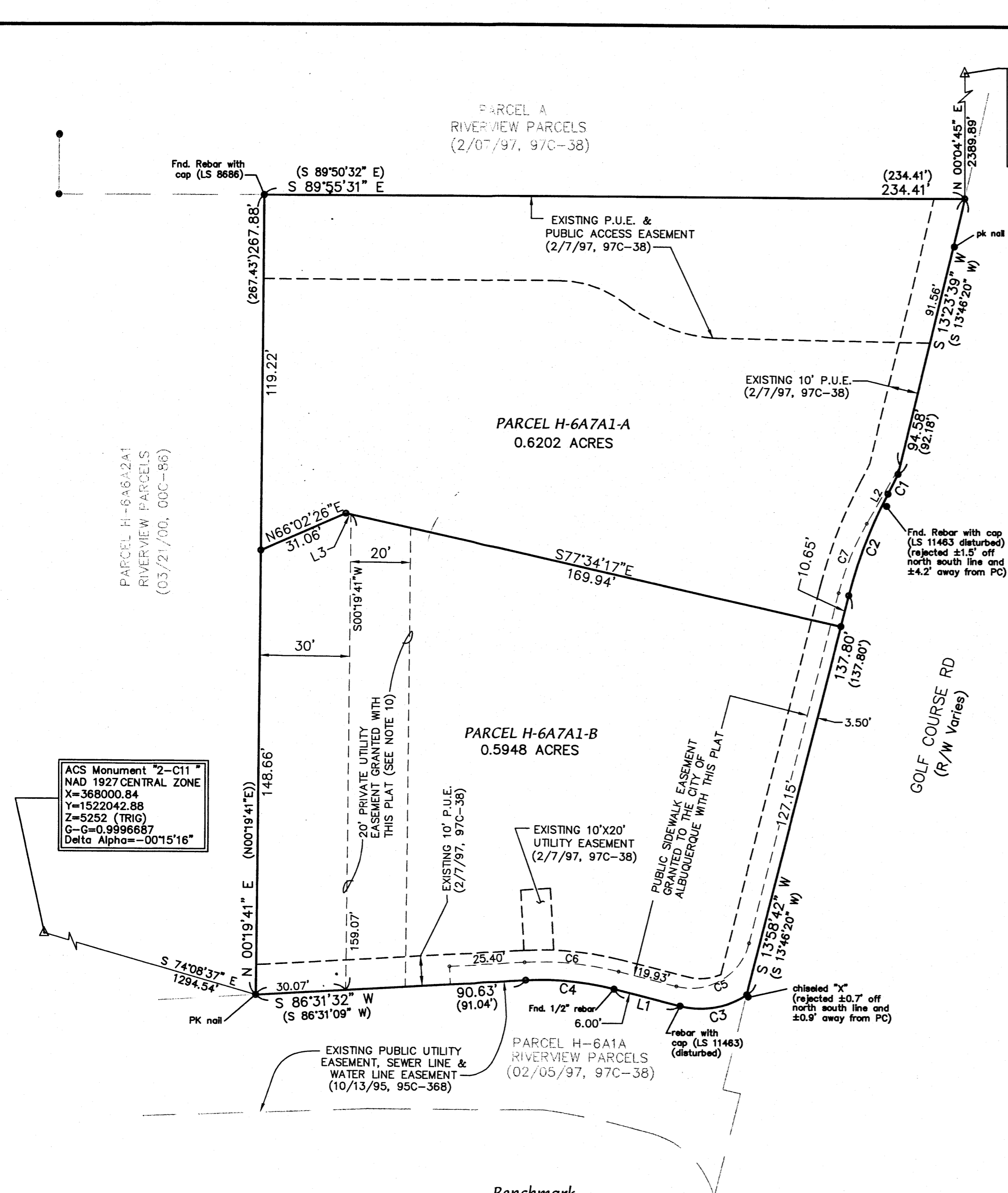
Will W. Plotner Jr. 7/5/05 Date
Will W. Plotner Jr., N.M.P.S. No. 14271



CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A5036FPS1.dwg	Drawn: RICHARD	Checked: WWP	Sheet 1 of 2
Scale: N/A	Date: 06/14/05	Job: A05036 (051060)	

PLAT FOR
PARCELS H-6A7A1-A AND H-6A7A1-B
RIVERVIEW PARCELS
 WITHIN THE
 TOWN OF ALAMEDA GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005



ACS Monument "3-B12"
 NAD 1927 CENTRAL ZONE
 X=369484.87
 Y=1524345.87
 Z=5277.263 (NAVD 27)
 G-G=0.9996671
 Delta Alpha=-00'15'06"

ACS Monument "2-C11"
 NAD 1927 CENTRAL ZONE
 X=368000.84
 Y=1522042.88
 Z=5252 (TRIG)
 G-G=0.9996687
 Delta Alpha=-00'15'16"

NOTES:

- Field survey performed in May 2005.
- Bearings are Grid based on the New Mexico State Plane Coordinate system (Central Zone).
- Bearings and distances shown in parenthesis are record.
- All distances are ground distances U.S. Survey foot.
- Basis of boundary is from plats and documents of record entitled:
 RIVERVIEW PARCELS H-6A5A1, H-6A6A1, H-6A6A2A, H-6A6A2B & H-6A7A1 (10-27-97, 97C-316)
 RIVERVIEW PARCELS H-6A1A THRU H-6A7A & PARCEL A (2-7-97, 97C-38)
 RIVERVIEW PARCELS H-6A5A1A, H6A6A1A, AND H6A6A2A1 (3-21-00, 00C-86)
 All being records of Bernalillo County, New Mexico.
- Unless otherwise noted all points are set Bathey marker with cap "LS 14271".
- City of Albuquerque, New Mexico Zone SU-1
- Talos Log Number 2005231968
- Benchmark is ACS Monument "5-C12" having an elevation of 5149.42 NAVD88 and converted using CORPSON to NAVD29 having an elevation of 5146.64 and verified using ACS Monument "3-B12" having an elevation of 5277.263 (NAVD 1927).
- Private Utility Easement for sanitary sewer and waterline purposes is granted to, for the benefit of, and to be jointly maintained by the owners of Parcels H-6A7A1-A and H-6A7A1-B.
- This subdivision is within the New Mexico Utilities, Inc. franchise area. Water and sanitary sewer capabilities are based on the New Mexico Utilities, Inc. facilities and not the City of Albuquerque's.
- Parcels H-6A7A1-A AND H-6A7A1-B are covered by a reciprocal cross lot access, parking and drainage easement, outside of buildings and is to be maintained by the owners of said tracts.

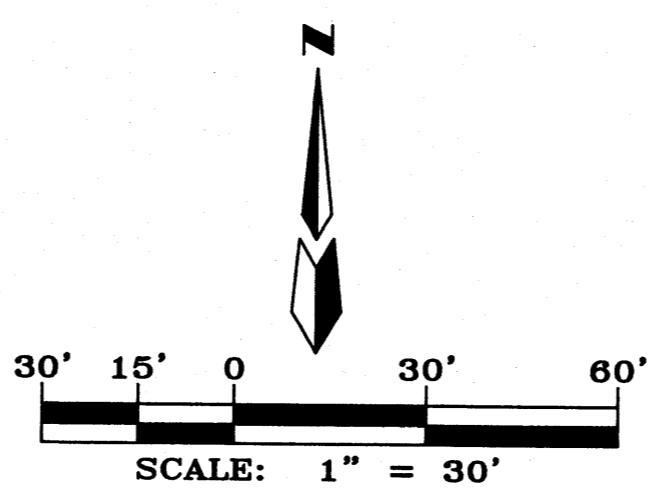
LINE TABLE

LINE	LENGTH	BEARING
L1	22.72 (22.87')	S 76°13'42" E (S 76°14'05" E)
L2	22.44	S 29°40'08" W
L3	1.73	S 77°34'17" E

Benchmark
 ACS MONUMENT "5-C12" HAVING AN ELEVATION OF 5149.42 NAVD88 AND CONVERTED USING CORPSON TO NAVD29 HAVING AN ELEVATION OF 5146.64. (SEE NOTE 9)

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD DIR.	CHORD
C1	150.00' (150.00')	7.34' (7.34')	3.67	2°48'15"	N 26°30'06" E	7.34'
C2	150.00' (150.00')	36.46' (36.46')	18.32	13°55'31"	S 20°56'28" W	36.37'
C3	28.00' (28.00')	23.21' (23.21')	12.32	47°29'45"	N 80°01'25" E	22.55'
C4	99.55' (99.55')	29.96' (29.96')	15.10	17°14'46"	N 84°51'05" W	29.73'
C5	20.00'	31.34'	19.93	89°47'35"	N58°52'30"E	28.23
C6	105.55'	31.77'	16.01	17°14'46"	N84°51'05"W	31.65
C7	91.26'	24.99'	12.57	15°41'26"	S21°49'25"W	24.91

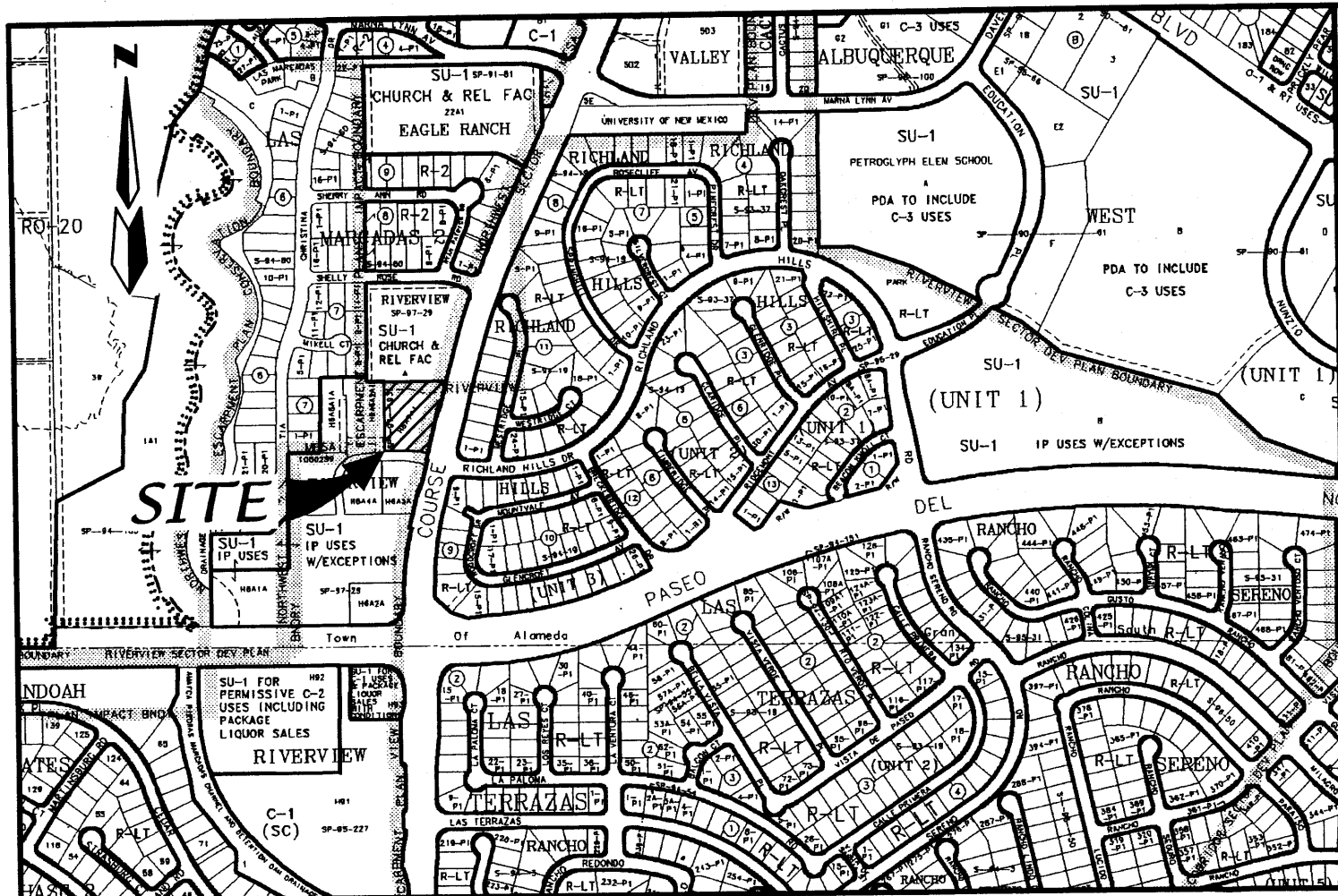


Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (97C-316)
●	FOUND AS INDICATED
○	SET BATHEY MARKER "LS 14271"



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244



LOCATION MAP

ZONE ATLAS C-12-Z
SCALE: NONE

SUBDIVISION DATA

Gross Acreage	1.2150 Ac.
Zone Atlas No.	C-12-Z
No. of Existing Tracts/Parcels	1 Parcel
No. of Parcels created	2 Parcels
No. of Parcels eliminated	1 Parcel
Miles of full width streets created	0.00
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	0.0000 Ac.
Date of Survey	May, 2005
Utility Control Location System Log Number	2005231968
Zoning	SU-1 for C-2 & IP

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Charles A. Romero 6/22/05
Charles A. Romero, A single man Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on June 21, 2005
By Charles A. Romero, A single man.



Brenda Casanova 6-18-05 2-28-2006
NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION

Parcel Lettered H-SIX-A-SEVEN-A-ONE (H-6A7A1), RIVERVIEW PARCELS, Situate within the Town of Alameda Grant, Projected Section 13, Township 11 North, Range 2 East of the New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on October 27, 1997 in Volume 97C, Folio 316 and containing 1.2150 acres, more or less.

NOTES

(SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 1 Existing Parcel into 2 Parcels.
2. Grant easements as shown hereon.

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
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In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

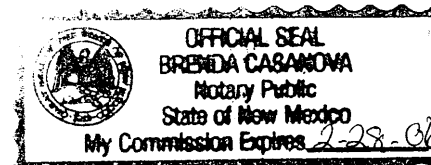
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Alan Ivener 6/22/05 Date
Ruth Ivener 6/22/05 Date
Ruth Ivener, Wife

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on June 22, 2005
By Alan Ivener and Ruth Ivener, husband and wife.



Brenda Casanova 6-18-05 2-28-2006
NOTARY PUBLIC MY COMMISSION EXPIRES

PLAT FOR
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RIVERVIEW PARCELS
WITHIN THE
TOWN OF ALAMEDA GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PRELIMINARY
APPROVED BY

PNM Electric Services _____ Date 7/20/05

PNM Gas Services _____ Date

Qwest _____ Date

Comcast _____ Date

New Mexico Utilities, Inc. _____ Date

City Approvals: MB Hart 7-8-05
City Surveyor Date

Real Property Division _____ Date

Traffic Engineering, Transportation Division _____ Date

Water Utility Department _____ Date

Parks and Recreation Department _____ Date

AMAFA _____ Date

City Engineer _____ Date

DRB Chairperson, Planning Department _____ Date

SURVEYOR'S CERTIFICATION

"I, Will W. Plotner, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plotner Jr. 7/5/05 Date
Will W. Plotner Jr., N.M.P.S. No. 14271



CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

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Scale: N/A	Date: 06/14/05	Job: A05036 (051060)	

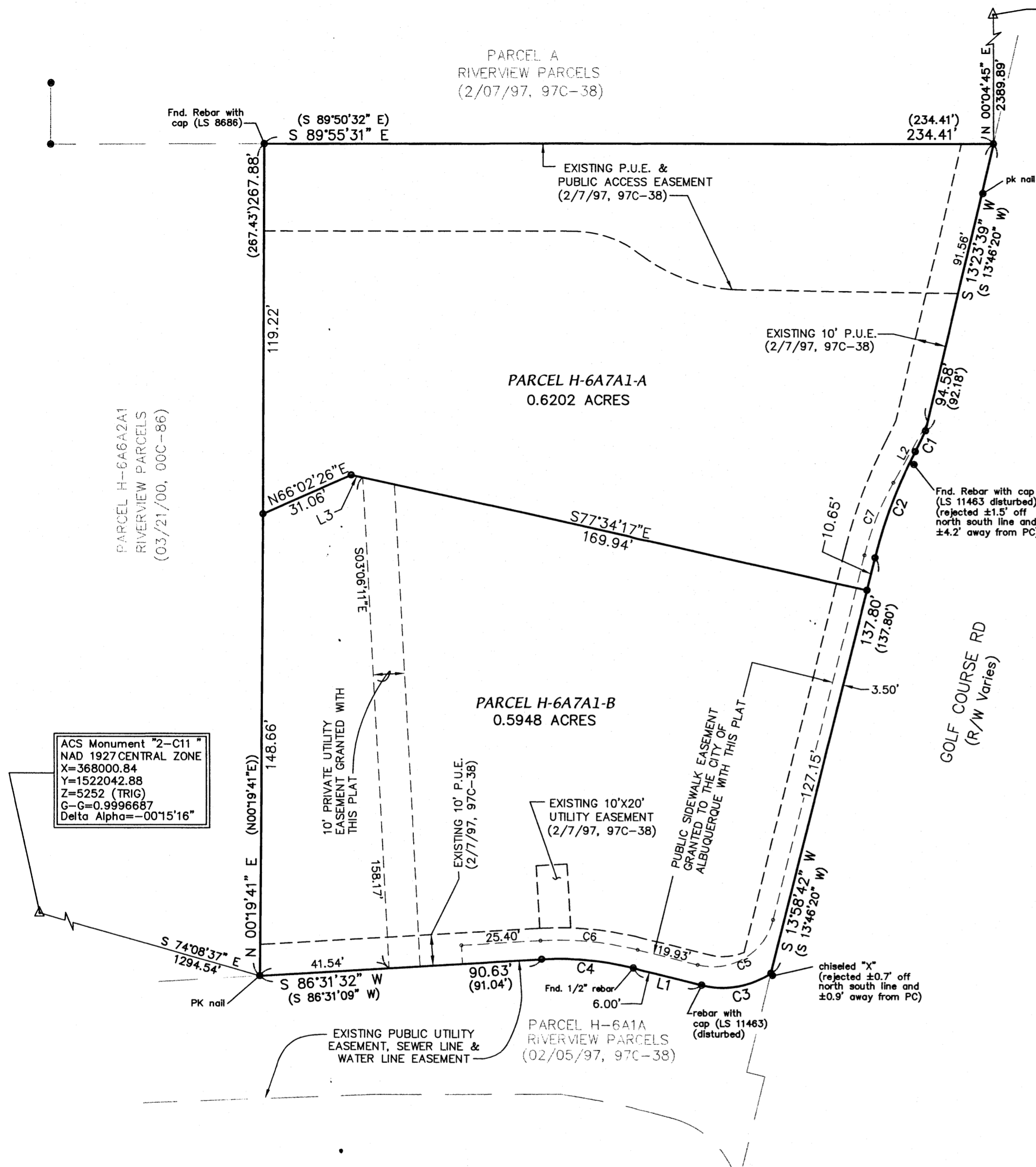
PLAT FOR
PARCELS H-6A7A1-A AND H-6A7A1-B
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 WITHIN THE
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 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2005

NOTES:

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- Benchmark is ACS Monument "5-C12" having an elevation of 5149.42 NAVD88 and converted using CORPSON to NAVD29 having an elevation of 5146.64 and verified using ACS Monument "3-B12" having an elevation of 5277.263 (NAVD 1927).
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- This subdivision is within the New Mexico Utilities, Inc. franchise area. Water and sanitary sewer capabilities are based on the New Mexico Utilities, Inc. facilities and not the City of Albuquerque's.

ACS Monument "3-B12"
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 Y=1524345.87
 Z=5277.263 (NAVD 27)
 G-G=0.9996671
 Delta Alpha=-00'15"06"

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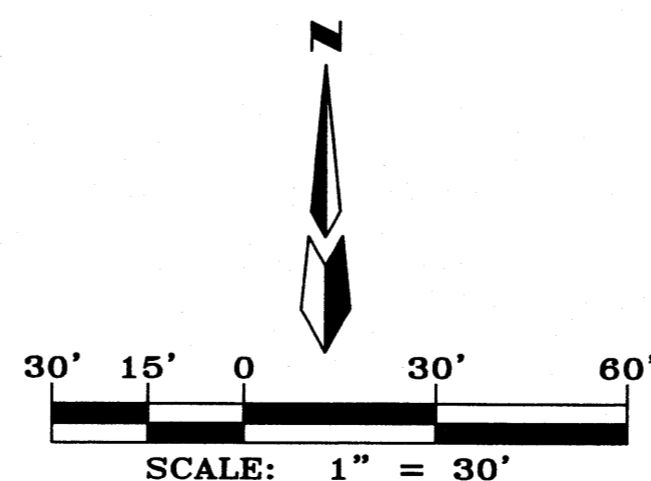


Benchmark

ACS MONUMENT "5-C12" HAVING AN ELEVATION OF 5149.42 NAVD88 AND CONVERTED USING CORPSON TO NAVD29 HAVING AN ELEVATION OF 5146.64. (SEE NOTE 9)

LINE TABLE		
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L2	22.44	S 29°40'08" W
L3	3.76	S 77°34'17" E

CURVE TABLE						
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C4	99.55' (99.55')	29.96' (29.96')	15.10	17'14"46"	N 84°51'05" W	29.73'
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Legend	
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (97C-316)
●	FOUND AS INDICATED
○	SET BATHEY MARKER "LS 14271"

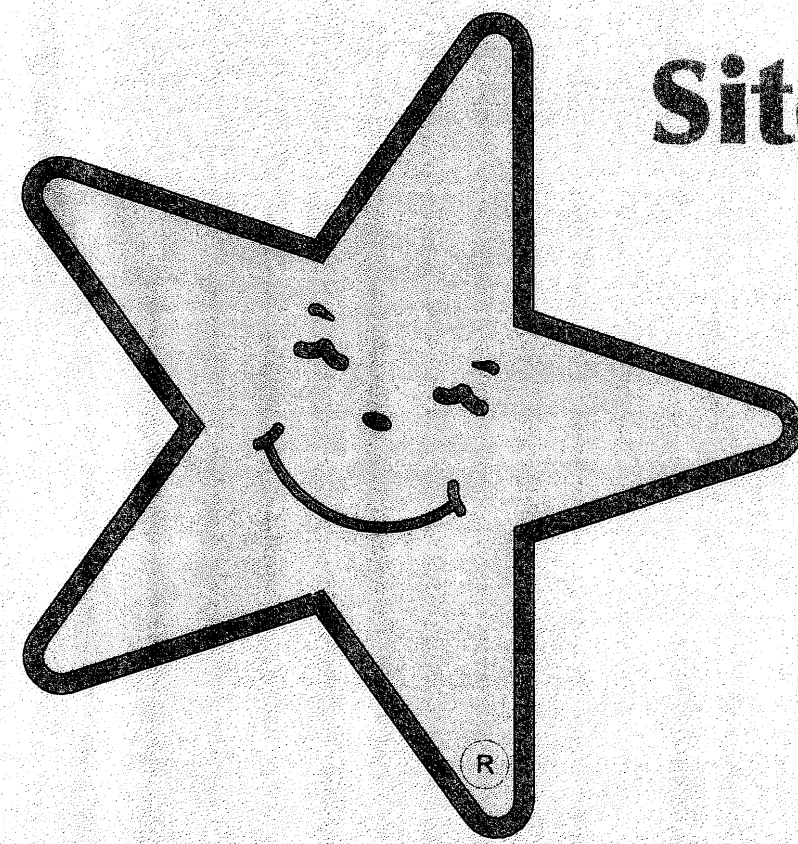


CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505)891-0244

OWNER
 Estrella del Rio Grande, Inc.
 119 MacIver, Suite A
 Bishop CA 93514
 (760) 873-7234
 Fax (760) 873-6664
 E-mail: bandtwiles@aol.com
 Contact: Mr. Brett Wiles

ARCHITECT
 Schlegel Lewis Architects
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 247-1529
 Fax: (505) 243-6701
 E-mail: gdi@mac.com
 Contact: James Lewis

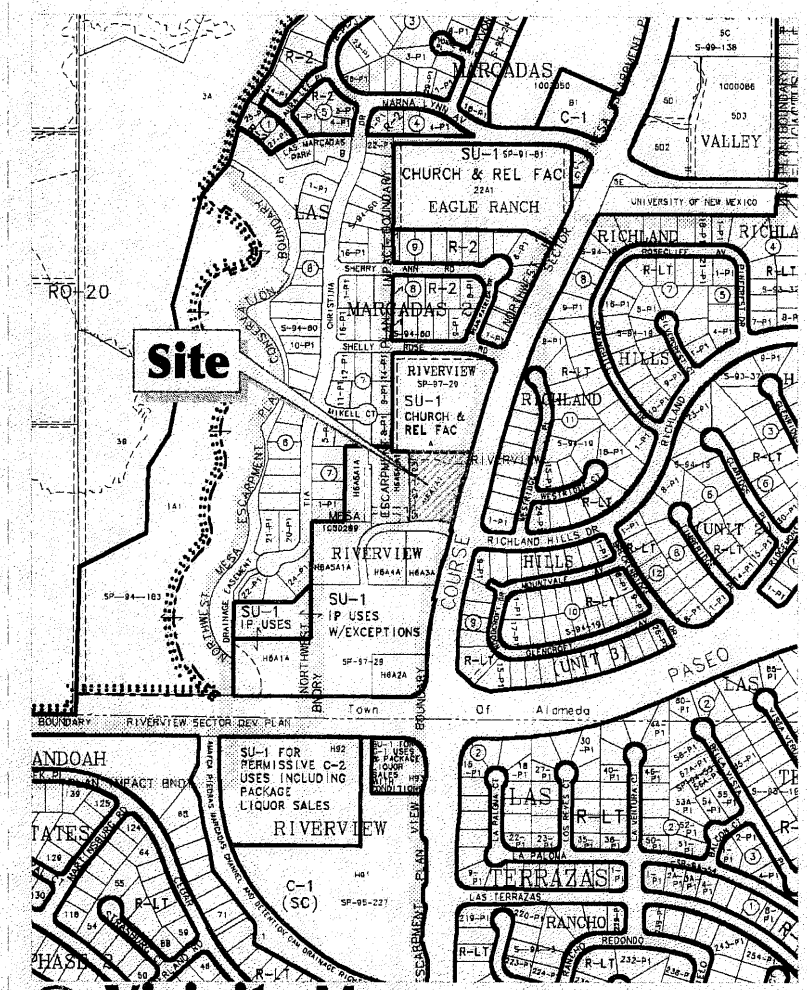
CIVIL ENGINEER
 D. Mark Goodwin and Associates, P.A.
 P.O. Box 90606
 Albuquerque, NM 87199
 (505) 828-2200, Fax: (505) 797-9539
 E-mail: mark@goodwinengineers.com
 Contact: Mark Goodwin



Site Development Plan for Building Permit

Carl's Jr.

Paseo Del Norte and Golf Course



D Vicinity Map

ADDRESS: 8641 Golf Course Road NW
 Albuquerque, New Mexico

PRELIMINARY PLAN

LEGAL DESCRIPTION: PARCELS: H-6A7A1-A and H-6A7A1-B
 SUBDIVISION: RIVERVIEW PARCELS

ZONE ATLAS PAGE: C-12

LAND USE ZONING: SU-1 for uses with exceptions

PARKING (Restaurant: 1 space per 4 seats)

	Parcel 6A7A1-B	6A7A1-A
Required:	60/4=15	50/4=13
10% bus discount = 3.0 Spaces	-1.5	-1.3
Total =	13.5	11.7
Provided:		
Standard Spaces	23	15
Small Car Spaces	1	0
HC Space	1	1
Total	25	16

BICYCLE PARKING (1 space/20 parking spaces)

Required:	2	2
Provided:	2	2

C Notes

PROJECT SUMMARY

This project incorporates approximately 4,700 square feet of quick serve type restaurant buildings including drive through windows, and will be built in two phases. The first phase is for a Carl's Jr. restaurant of approximately 2,700 square feet. The second phase is for an unknown restaurant of approximately 2,000 square feet.

The project includes towers, tile accents and curved metal awnings. The site features the building located toward the street with a large landscape buffer that includes patios. The parking is located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which, single story retail/restaurant. The color scheme, building materials and landscaping is similar to the surrounding development and conforms to the approved site development plan.

B Project Summary

- SDP-1 COVER SHEET
- SDP-2 SITE PLAN
- SDP-3 LANDSCAPE PLAN
- SDP-4 GRADING PLAN
- SDP-5 BUILDING ELEVATIONS
- SDP-6 CONCEPTUAL UTILITY PLAN

Site Development Plan for Building Permit
Carl's Jr. Restaurant
 Golf Course and Paseo Del Norte
 Albuquerque, NM 87105

ISSUE DATE:
 16 June, 2005
 REVISIONS:
 12 July, 2005

Cover Sheet and Notes

PROJECT SHEET
 0514 **SDP-1**
 OF 6

A Index

AB Project Team

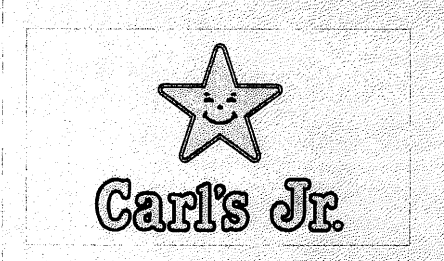
T Project Title



Y Perspective

STATE OF NEW MEXICO
 James C. Lewis
 No. 979
 REGISTERED ARCHITECT

Schlegel Lewis Architects
 1620 Central Ave. SE
 Albuquerque, NM 87106
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 FAX (505) 243-6701
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Site Development Plan for Building Permit
Carl's Jr. Restaurant
 Golf Course and Paseo Del Norte
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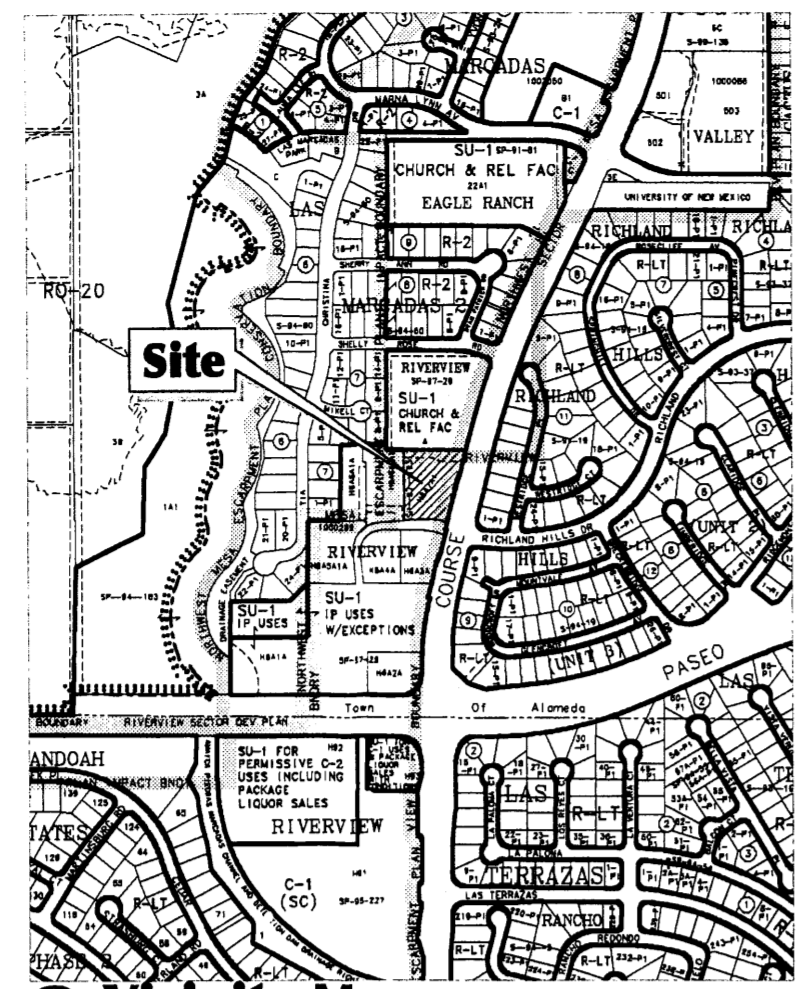
ISSUE DATE:
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Cover Sheet and Notes

PROJECT SHEET
 0514 **SDP-1**
 OF 6

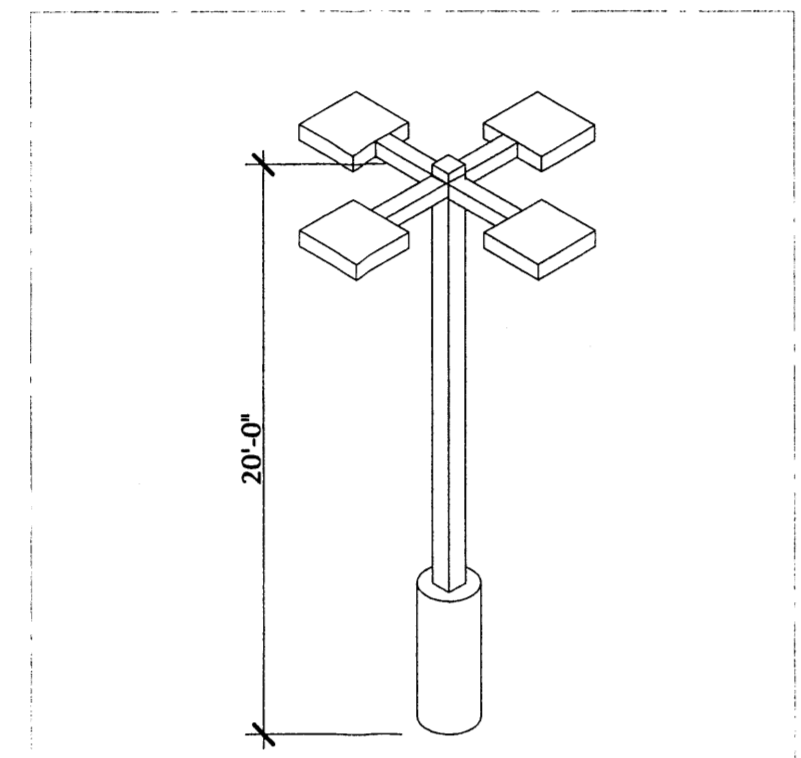
A Index

Detail Not Used



Vicinity Map

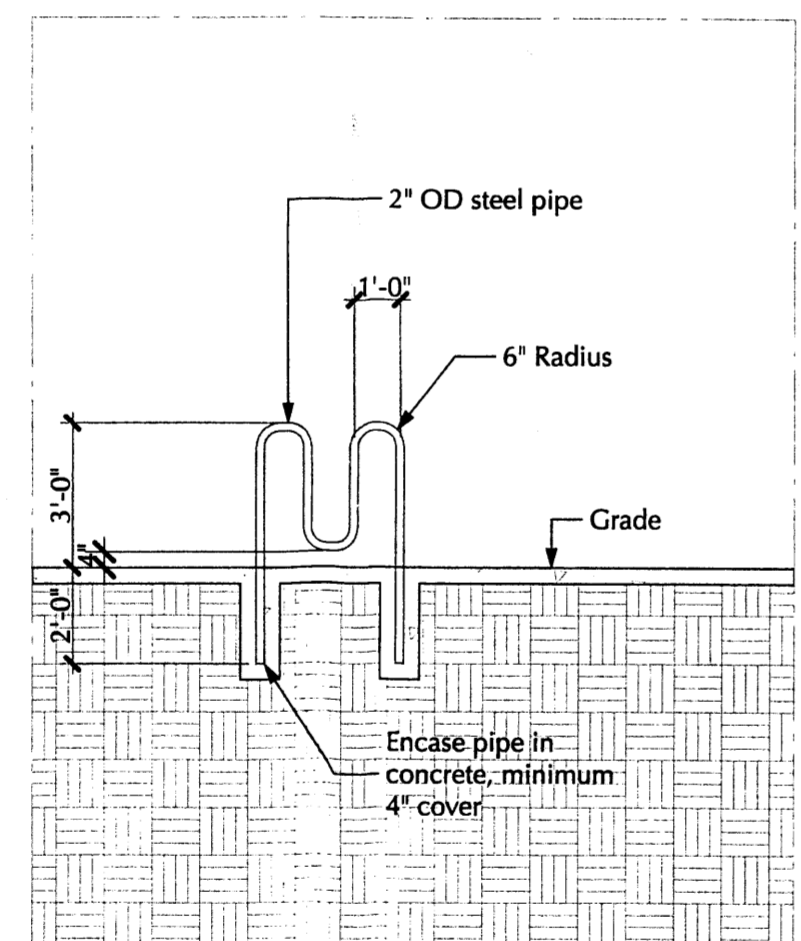
Detail Not Used



Number of light fixtures on pole varies, see site plan. Use sharp cut-off fixtures at property lines. Site lighting fixtures for this project are limited to 20'-0" high. (The maximum height allowed by the approved site development plan for subdivision is 35'-0")

Site Light Detail

Detail Not Used



Bike Rack

Detail Not Used

ADDRESS: 8641 Golf Course Road NW
Albuquerque, New Mexico

LEGAL DESCRIPTION
PARCELS: H-6A7A1-A and H-6A7A1-B
SUBDIVISION: Riverview Parcels

ZONE ATLAS PAGE: C-12

LAND USE ZONING: SU-1 for IP uses with exceptions

PARKING (Restaurant: 1 space per 4 seats)

	Parcel 6A7A1-B	6A7A1-A
Required:	60/4=15	50/4=13
10% bus discount = 3.0 Spaces	-1.5	-1.3
Total =	13.5	11.7

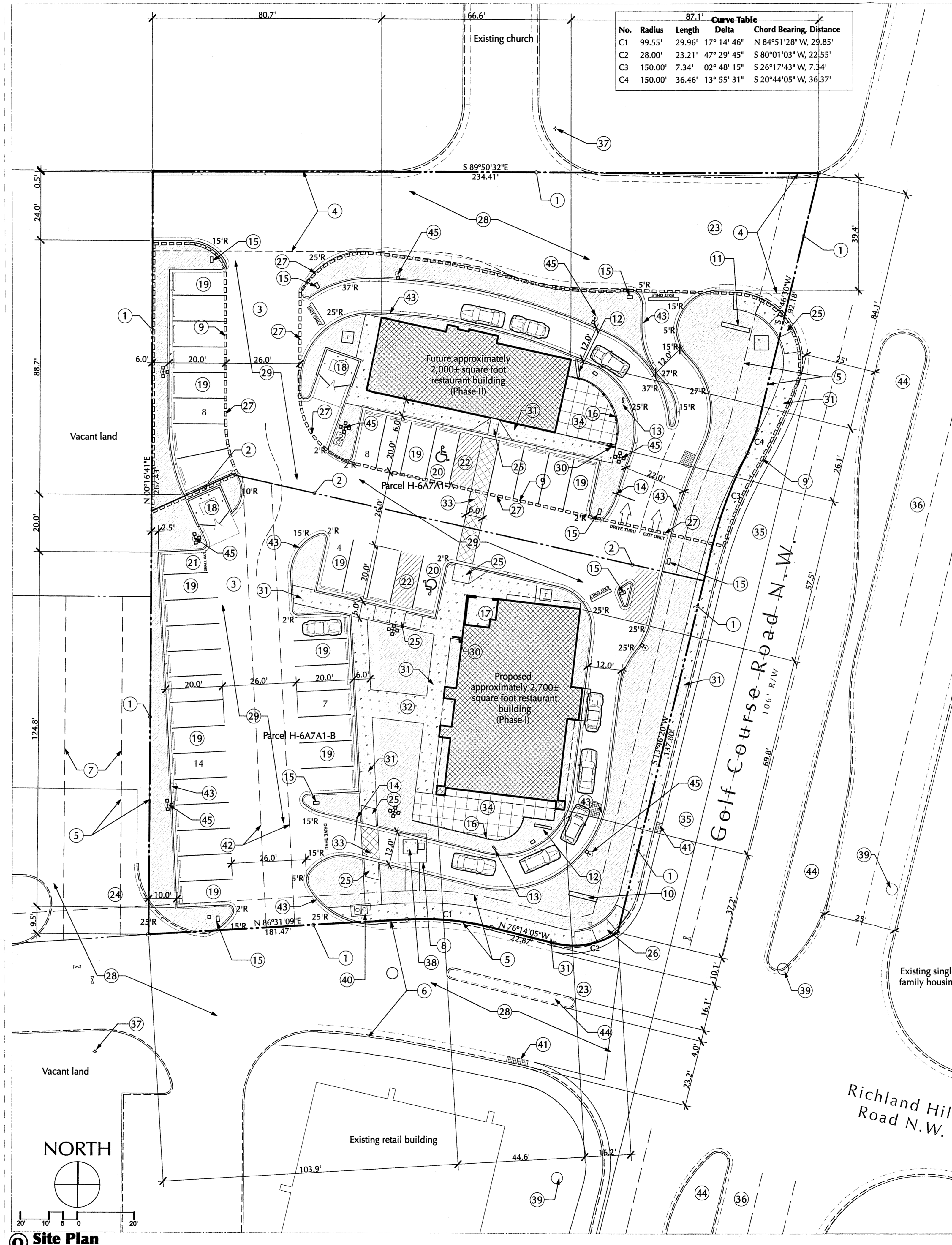
Provided:

Standard Spaces	23	15
Small Car Spaces	1	0
HC Space	1	1
Total	25	16

BICYCLE PARKING (1 space/20 parking spaces)

Required:	2	2
Provided:	2	2

Notes



Site Plan

No.	Radius	Length	Delta	Chord Bearing, Distance
C1	99.55'	29.96'	17° 14' 46"	N 84° 51' 28" W, 29.85'
C2	28.00'	23.21'	47° 29' 45"	S 80° 01' 03" W, 22.55'
C3	150.00'	7.34'	02° 48' 15"	S 26° 17' 43" W, 7.34'
C4	150.00'	36.46'	13° 55' 31"	S 20° 44' 05" W, 36.37'

- KEYED NOTES**
- Existing property line (typical).
 - Proposed property line (with this plat)
 - There is a proposed blanket cross access easement for the benefit of these to sites
 - Existing public access and utility easement
 - Existing 10' wide public utility easement.
 - Existing public utility easement, sewer line & water line easement
 - Existing 20' wide public water line & sanitary sewer easement
 - Existing 10'x10' pullbox easement
 - Areas enclosed by the heavy dashed line are part of phase II
 - Proposed monument sign (Carl's Jr.) See detail 'AA' on sheet SDP-5
 - Proposed monument sign (Phase II restaurant) See detail 'Z' on sheet SDP-5
 - Drive through menu sign and order station, -See detail 'Y' on sheet SDP-5
 - Drive through preview menu sign, -See detail 'D' on sheet SDP-5
 - Drive through clearance menu sign
 - Directional sign, -See detail 'AB' on sheet SDP-5
 - 42" high wrought iron fence at drive through side of patio
 - Proposed screened staggering area for trash and deliveries
 - Dumpster enclosure, see elevation detail 'C' on sheet SDP-5
 - Typical parking space 9'-0" wide (8'-6" minimum) x 20' with concrete wheel stop
 - Typical HC parking space 8'-6" x 20' with concrete wheel stop
 - Typical small car parking space 8'-0" x 15'-0". Provide "SMALL CAR" marking on pavement at the front of the space
 - 8' wide handicap aisle for van space
 - Existing common drive pad
 - Existing access road
 - Proposed curb ramp
 - Existing curb ramp
 - Temporary 6" high asphalt curb at phase II line
 - Existing asphalt paving
 - Proposed asphalt paving
 - Bicycle rack (2 spaces minimum). See detail 'V' sheet SDP-2.
 - Proposed 6' wide concrete sidewalk
 - Proposed concrete sidewalk
 - Proposed colored and textured concrete crosswalk
 - Colored and scored concrete patio
 - Existing deceleration lane
 - Existing turn lane
 - Existing fire hydrant location
 - Existing electrical vault (dive over)
 - Existing manhole
 - Existing water meters (field verify)
 - Existing inlet grate, see grading plan for location
 - Proposed 10'-0" wide utility easement.
 - Concrete curb
 - Existing street median
 - Site light fixture, -See detail 'W' on sheet SDP-2

B Keyed Notes

PROJECT NUMBER: 1004281
APPLICATION NUMBERS: 05DRB-01057, 05DRB-01058

Is an Infrastructure List Required? () Yes (X) No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB Development Plan Approval

Traffic Engineer, Transportation Department	Date
Water Utility Development	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	5/13/05

A Signature Block

STATE OF NEW MEXICO
James C Lewis
No. 979
REGISTERED ARCHITECT

CONSULTANT

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Carl's Jr.

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Site Plan

PROJECT 0514 SHEET SDP-2 OF 6

LANDSCAPING AND IRRIGATION
All landscape maintenance and waste water responsibilities will be with the Owner's grounds maintenance personnel.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Provide gravel over filter fabric shall be placed in all landscape areas which are not designated to receive native seed or other ground cover. (See landscape plan and schedule).

LANDSCAPE IRRIGATION

Irrigation shall be a complete underground system. Trees shall receive (5) 1.0 GPH drip emitters and Shrubs shall receive (2) 1.0 GPH drip emitters. Drip and bubbler system to be tied to 1/2" polytube with flue caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

AR Detail Not Used

AA Detail Not Used

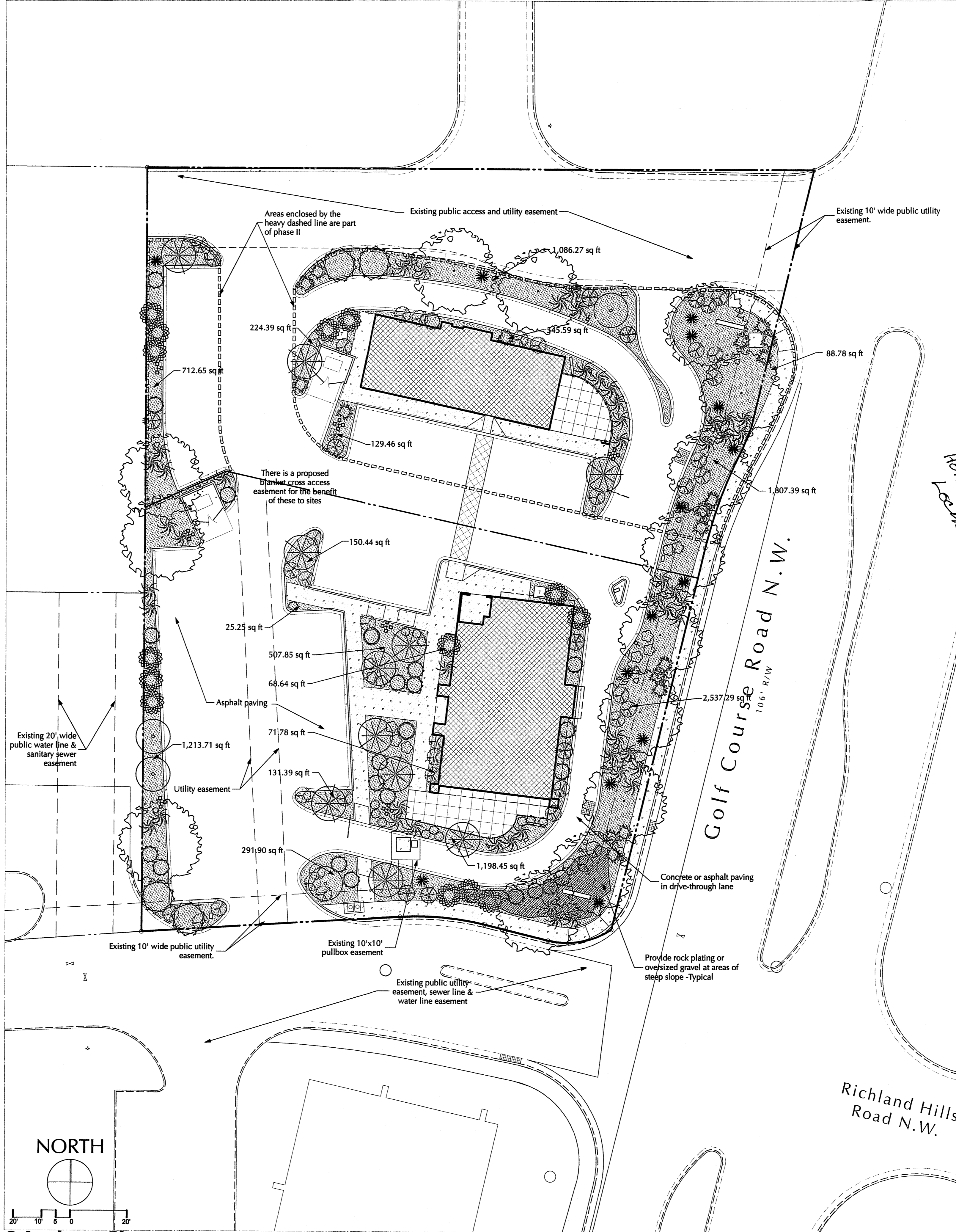
Z Detail Not Used

Y Detail Not Used

W Landscape Notes

V Detail Not Used

U Detail Not Used



Q Landscape Plan

NORTH LOT

Total Lot Area:	26,860 sf
Total Building Area:	2,000 sf
Net Lot Area:	24,860 sf
Landscape requirement (15%):	3,729 sf
Total Bed Provided (Planted, gravel):	4,506 sf
Percent of net lot area:	18.1%

SOUTH LOT

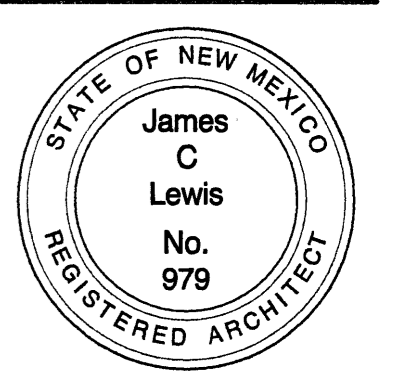
Total Lot Area:	25,943 sf
Total Building Area:	2,700 sf
Net Lot Area:	23,243 sf
Landscape requirement (15%):	3,496 sf
Total Bed Provided (Planted, gravel):	6,197 sf
Percent of net lot area:	26.7%

STREET TREE REQUIREMENTS
Street trees required under the City of Albuquerque street tree ordinance are as follows:
Golf Course Road NW
Required: 9, Provided: 9

D Landscape Calculations

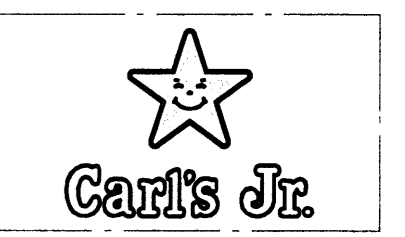
	ARIZONA ASH (M) <i>Fraxinus velutina</i> 2" Cal.	14
	DESERT WILLOW (L) <i>Chionopsis linearis</i> 15 Gal.	4
	WESTERN REDBUD (M) <i>Cercis occidentalis</i> 2" Cal.	10
	NEW MEXICO OLIVE (H) <i>Forresteria neomexicana</i> 15 Gal.	4
	APACHE PLUME (L) <i>Fallugia paradoxa</i> 5 Gal. 25 sf	14
	MUGHO PINE (M) <i>Pinus mugho</i> 5 Gal.	2
	ROSEMARY (M) <i>Rosmarinus officinalis</i> 2 Gal. 36 sf	22
	RED TIP PHOTINIA (M) <i>Photinia fraseri</i> 5 Gal. 64 sf	8
	MAIDENGRASS (M) BLUE AVENA & THREADGRASS <i>Miscanthus sinensis, Helictichon sempervirens, Stipa Tennotifolia</i> 1 Gal. 16 sf	50
	RUSSIAN SAGE (M) <i>Perovskia atriplicifolia</i> 5 Gal.	14
	POTENTILLA (M) <i>Potentilla Fruticosa</i> 2 Gal.	18
	AUTUMN SAGE (M) <i>Salvia greggii</i> 2 Gal. 9 sf	41
	LAVENDER <i>Lavedula spp.</i> 1 Gal. 25 sf	29
	WILDFLOWER 1 Gal. 4 sf including but not limited to: Catmint Wall Flower & Yarrow	14
	COMMERCIAL GRADE Steel edging	
	OVERSIZED GRAVEL & Boulders	
	SUNSET ROSE 3/4" Gravel over fabric	
	CONCRETE Sidewalks/paving	
	CONCRETE Colored and textured	

A Landscape Schedule



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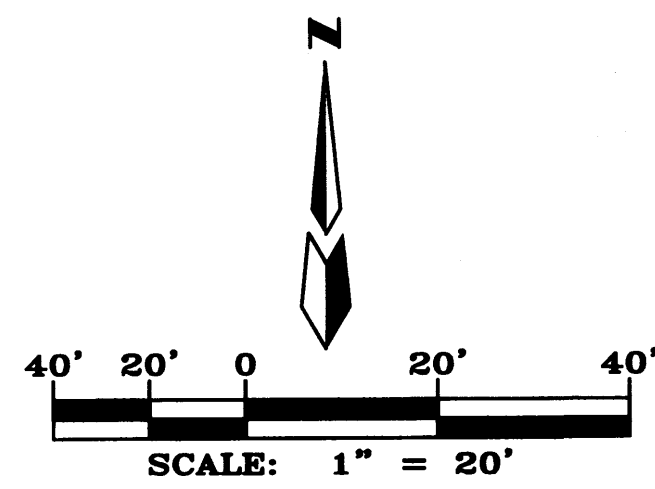


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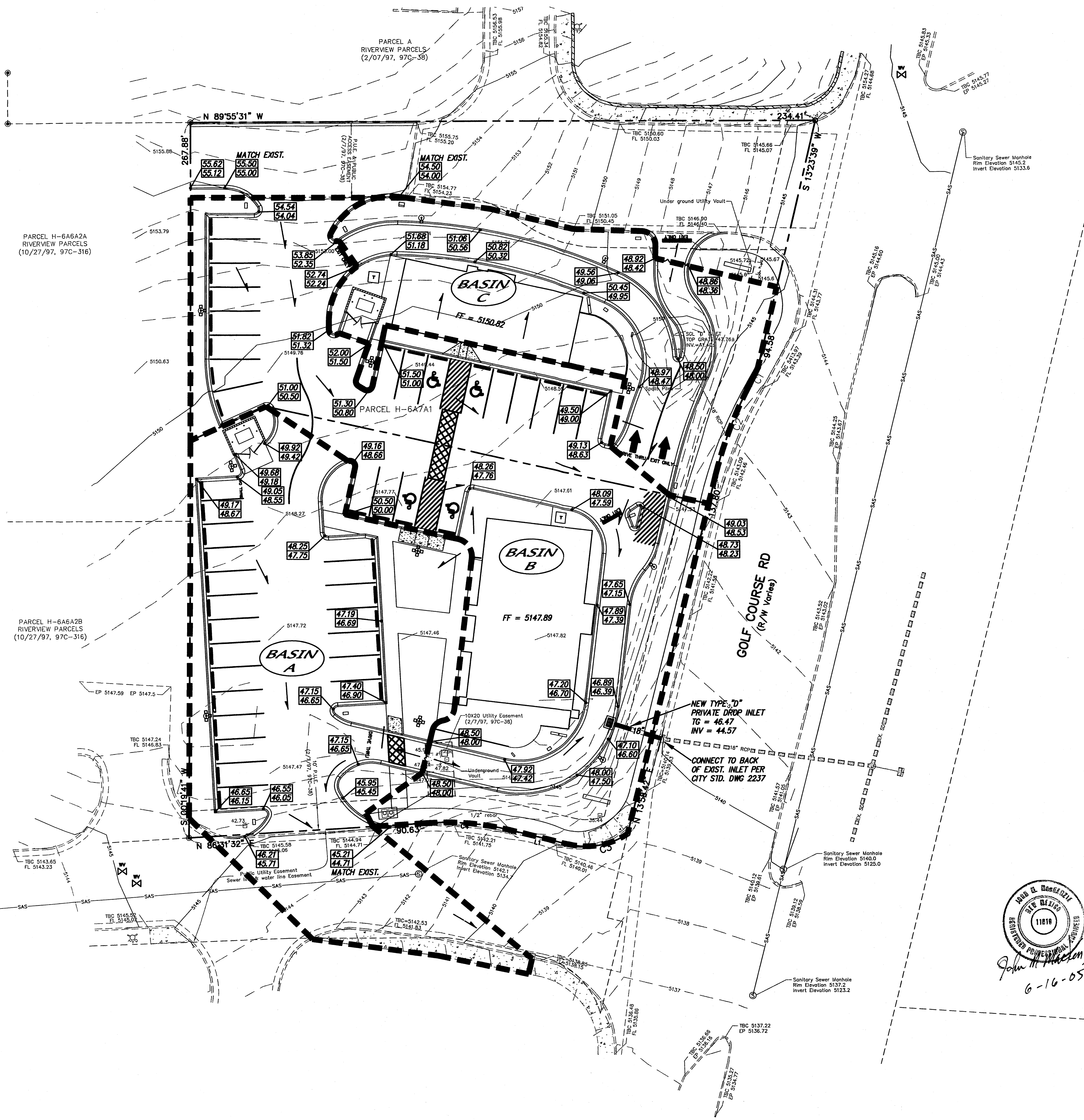
Landscape Plan
PROJECT 0514 SHEET **SDP-3** OF 6

Scale: 1"=20'-0"



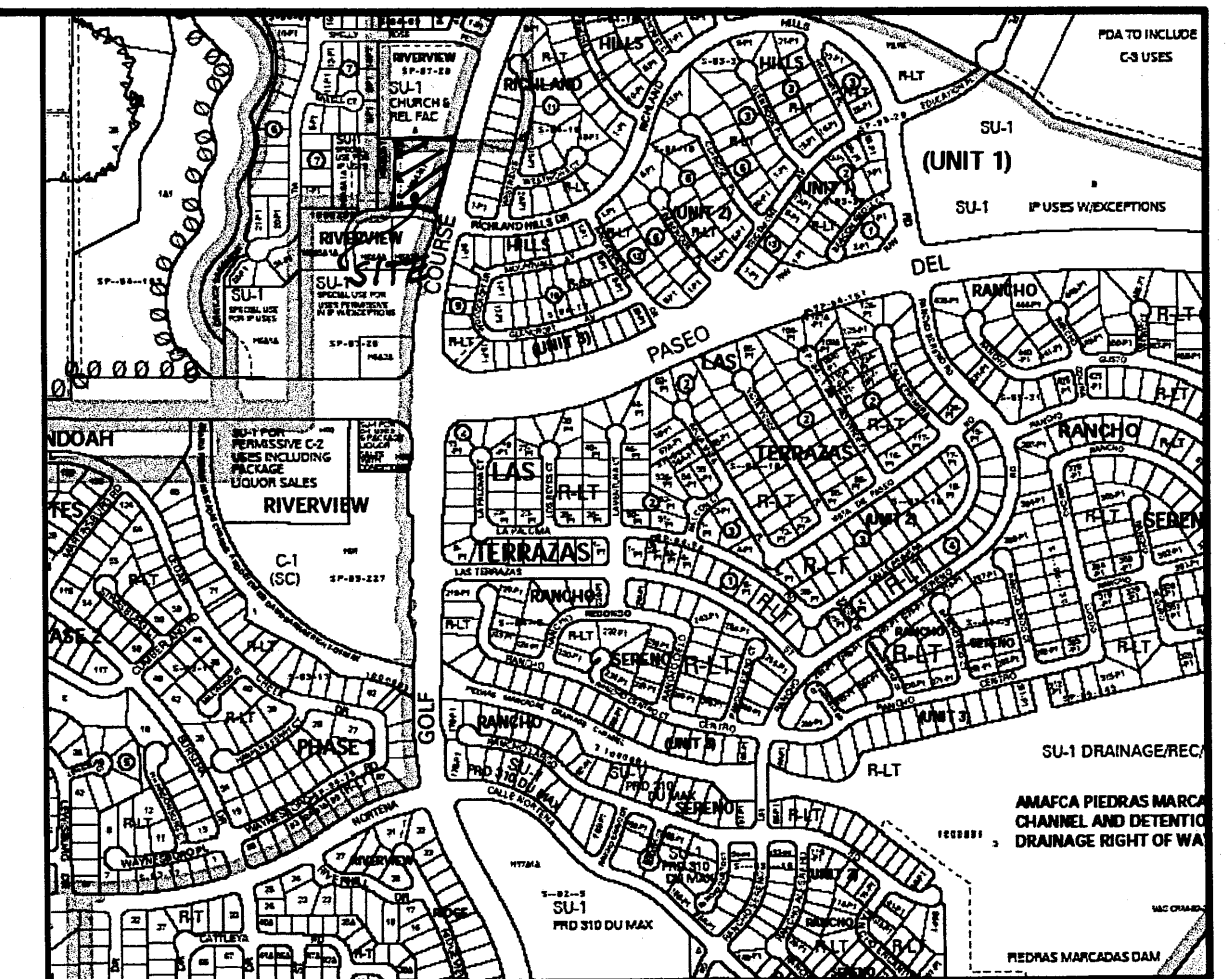
LINE	LENGTH	BEARING
LT	22.72 (22.87)	S 76°13'42" E (S 78°14'08" E)

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	150.00' (150.00')	7.34' (7.34')	2°48'15"	N 26°30'08" E	7.34'
C2	150.00' (150.00')	36.46' (36.46')	13°55'31"	S 20°56'28" W	36.37'
C3	28.00' (28.00')	23.21' (23.21')	47°29'45"	N 80°01'25" E	22.55'
C4	99.55' (99.55')	29.96' (29.96')	17°14'46"	N 84°51'05" W	29.73'



John H. Heston

 6-16-05



ZONE MAP: C-12-Z

ACS BENCHMARK
 STATION IS A STANDARD CORPS OF ENGINEERS METAL TABLE SET IN A CONCRETE POST, 0.75 FT. ABOVE THE GROUND, STAMPED "ALAMEDA B NO 2, ALBUQUERQUE DISTRICT, 1950".
 X=373,513.20 Y=1,520,142.81 Z=5058.25

LEGAL DESCRIPTION
 RIVERVIEW PARCEL H-6A4.

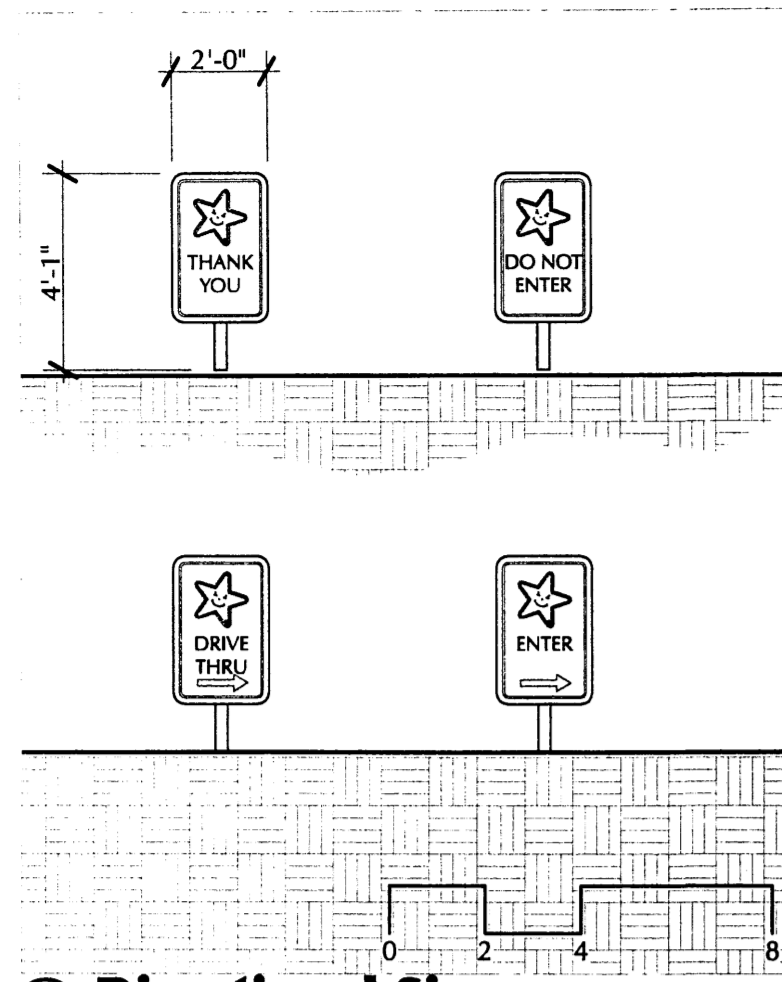
LEGEND

	PROPERTY LINE
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FINISHED FLOOR
	BASIN BOUNDARY

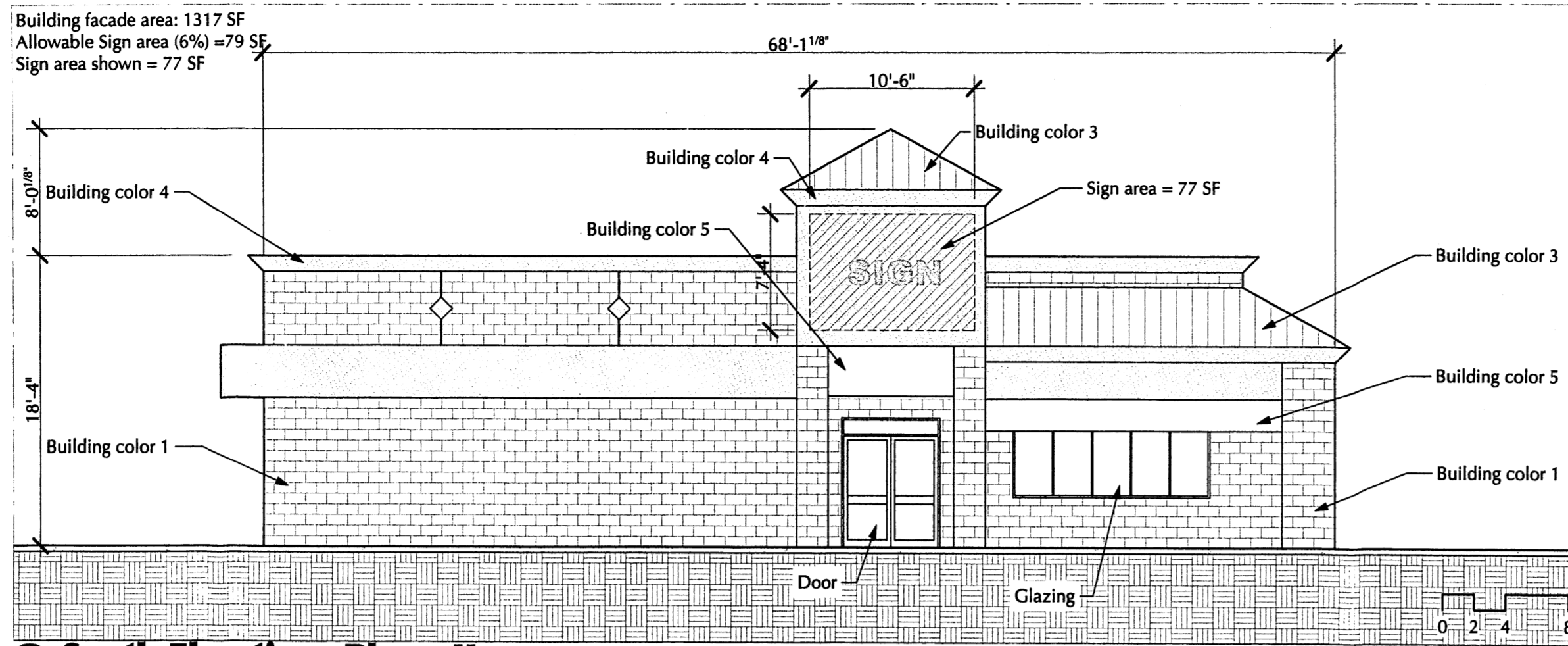
CARL'S JUNIOR
GOLF COURSE RD. N.E.
CONCEPTUAL GRADING PLAN

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

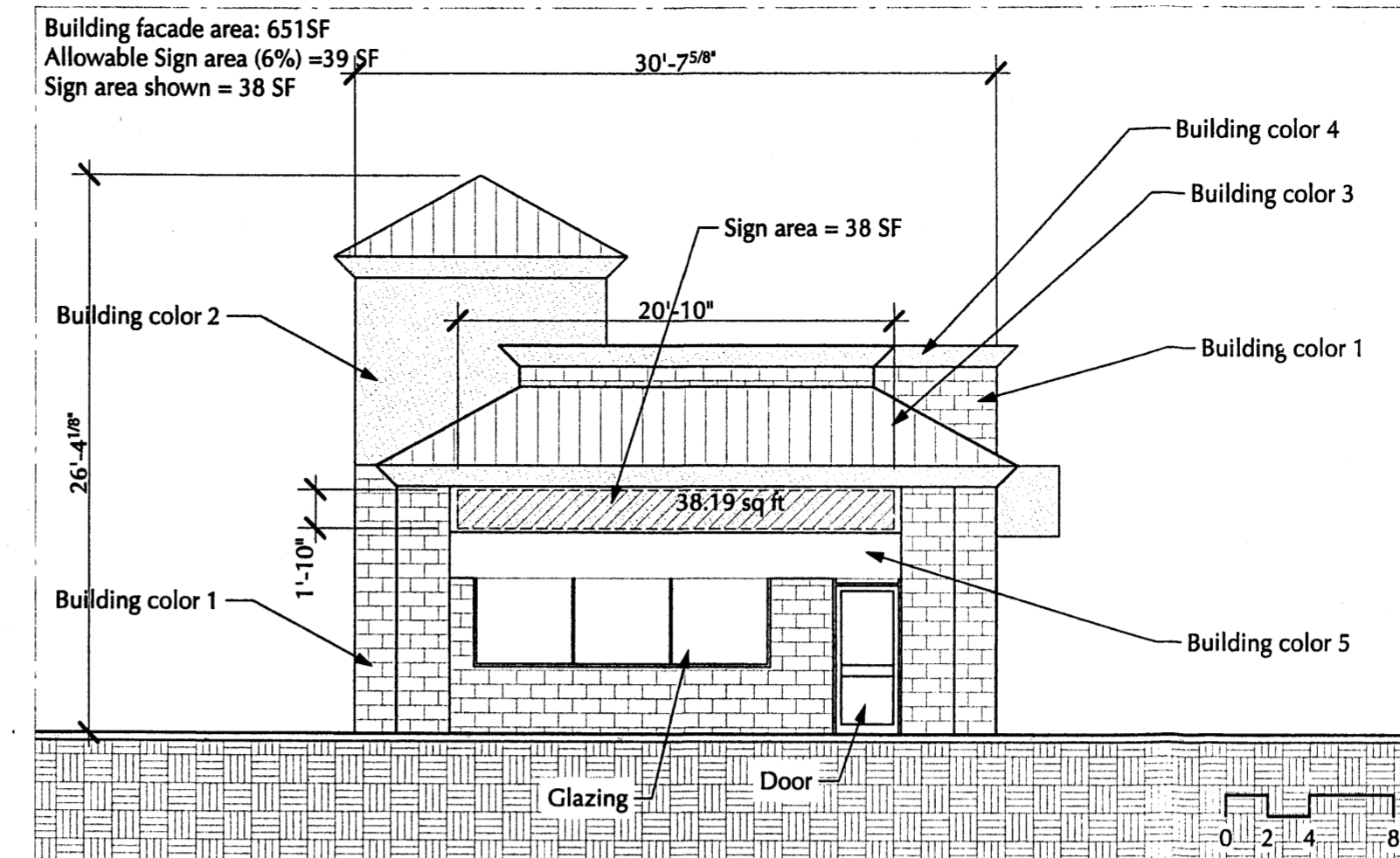
Designed: JMM Drawn: SPS Checked: DMG Sheet 1 of 1
 Scale: 1" = 30' Date: 06/03/05 Job: A05036



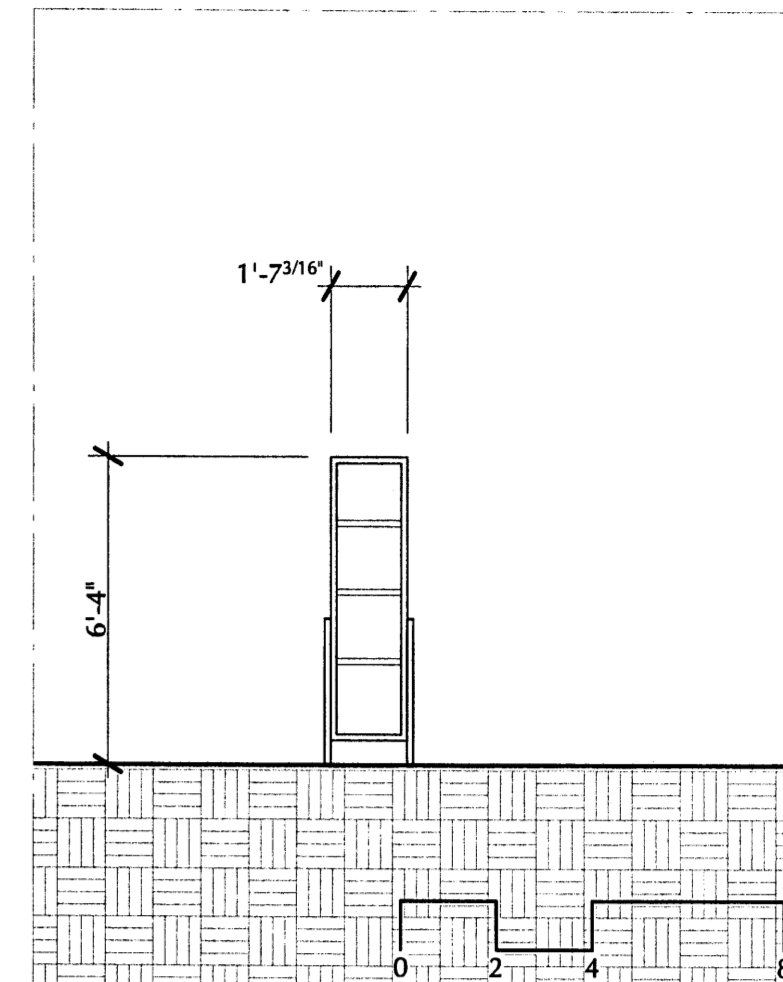
AB Directional Sign Scale: 1/4"=1'-0"



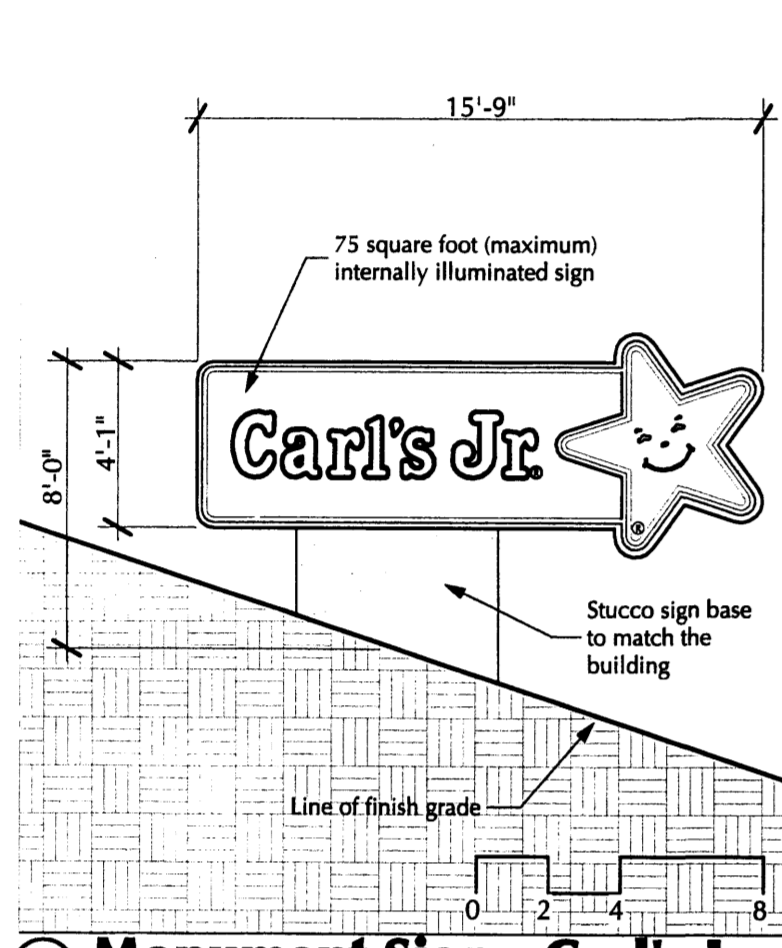
X South Elevation -Phase II Scale: 1/8"=1'-0"



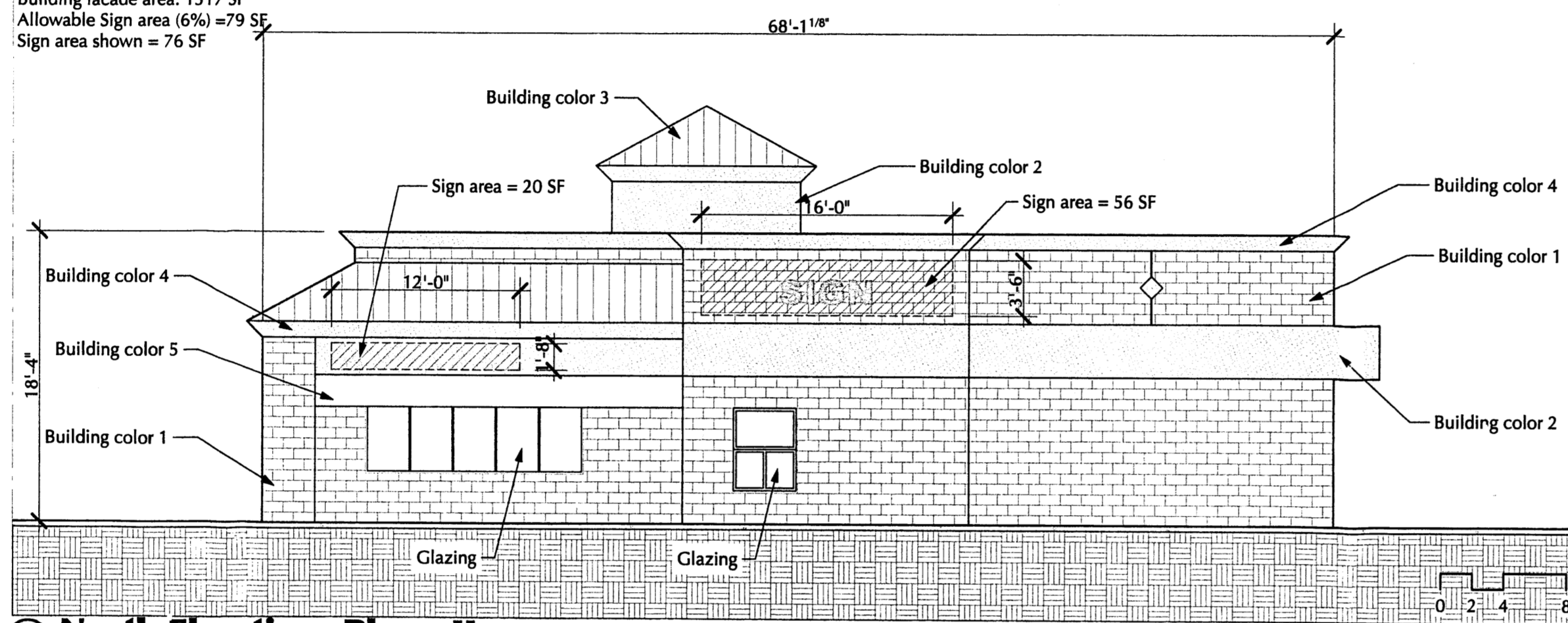
L East Elevation -Phase II Scale: 1/8"=1'-0"



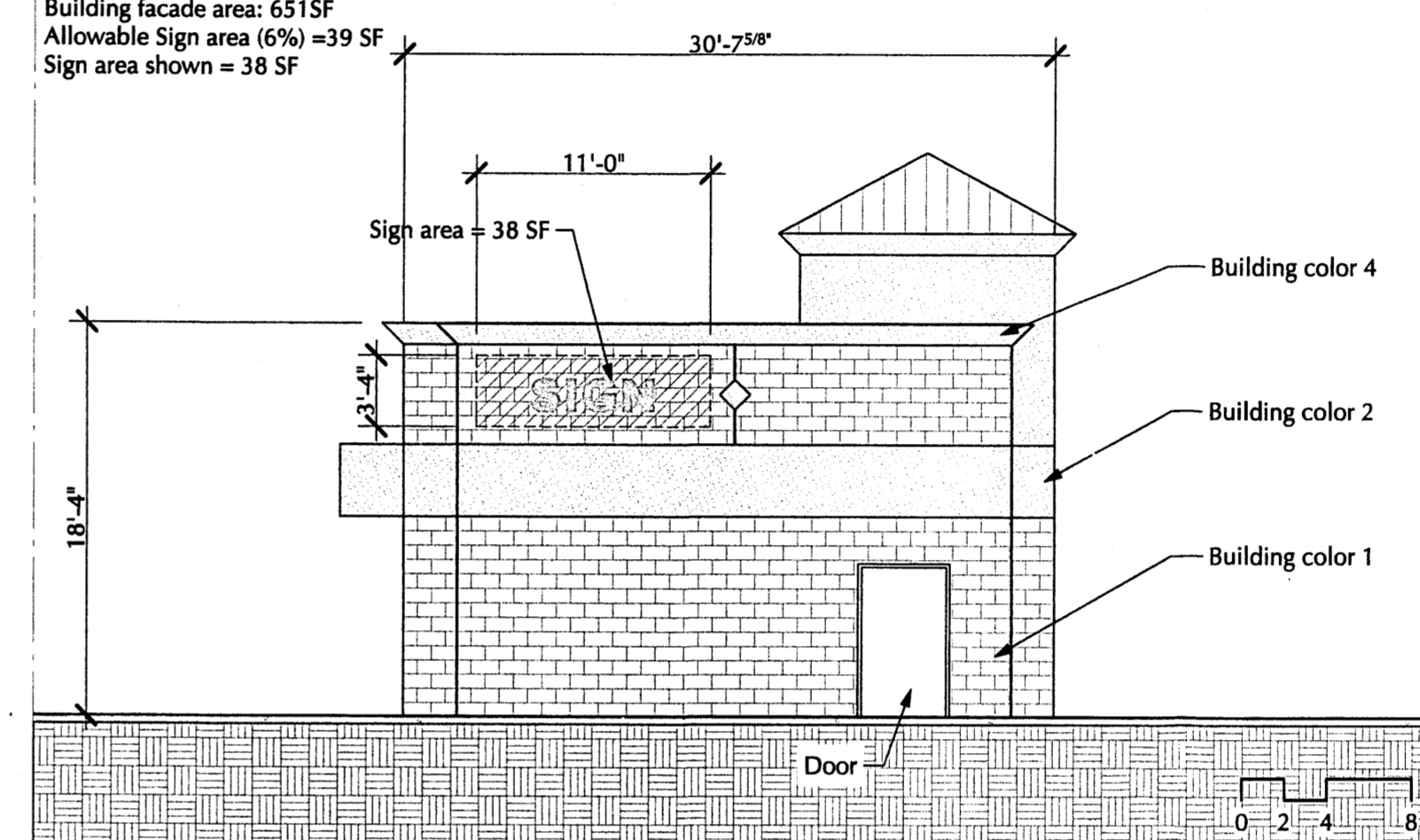
D Drive-thru Preview Board Scale: 1/4"=1'-0"



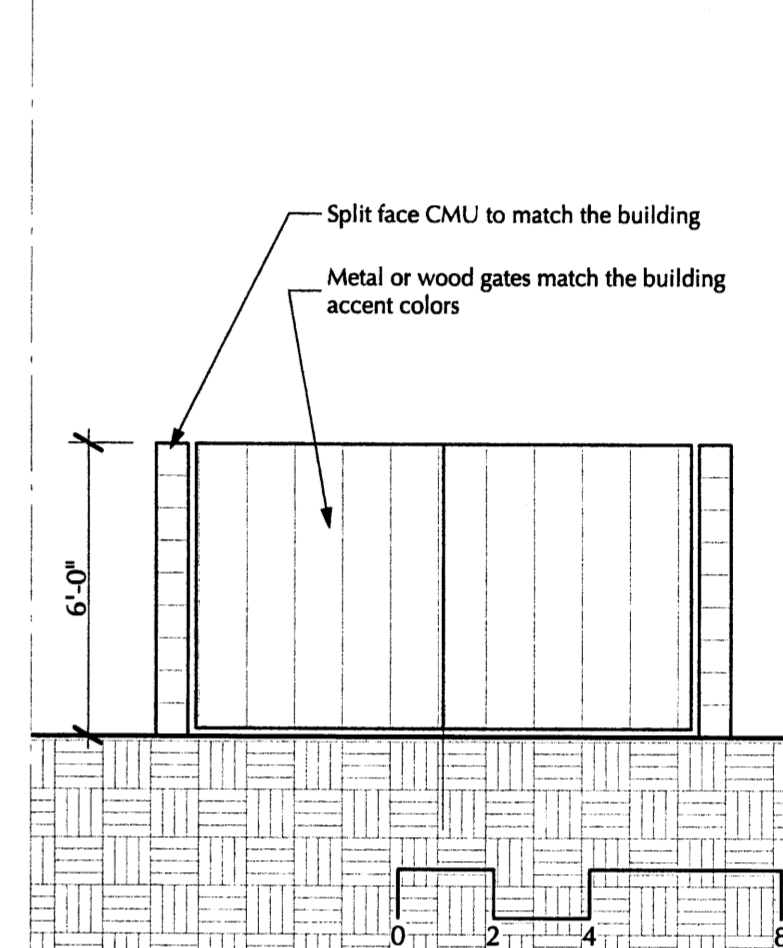
AA Monument Sign - Carl's Jr. Scale: 3/16"=1'-0"



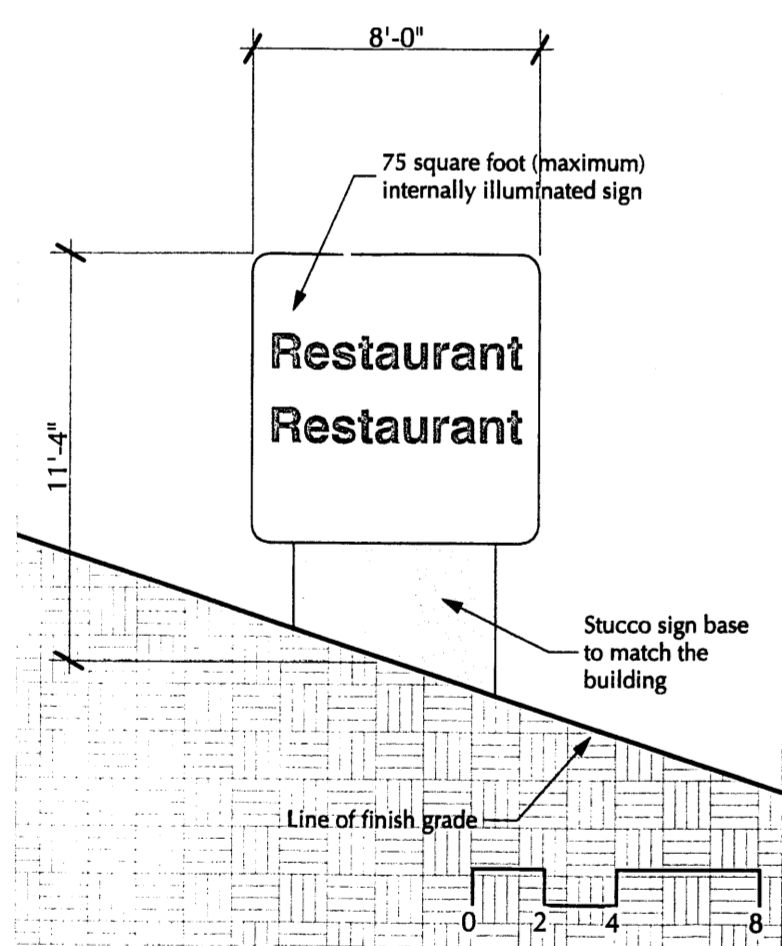
W North Elevation -Phase II Scale: 1/8"=1'-0"



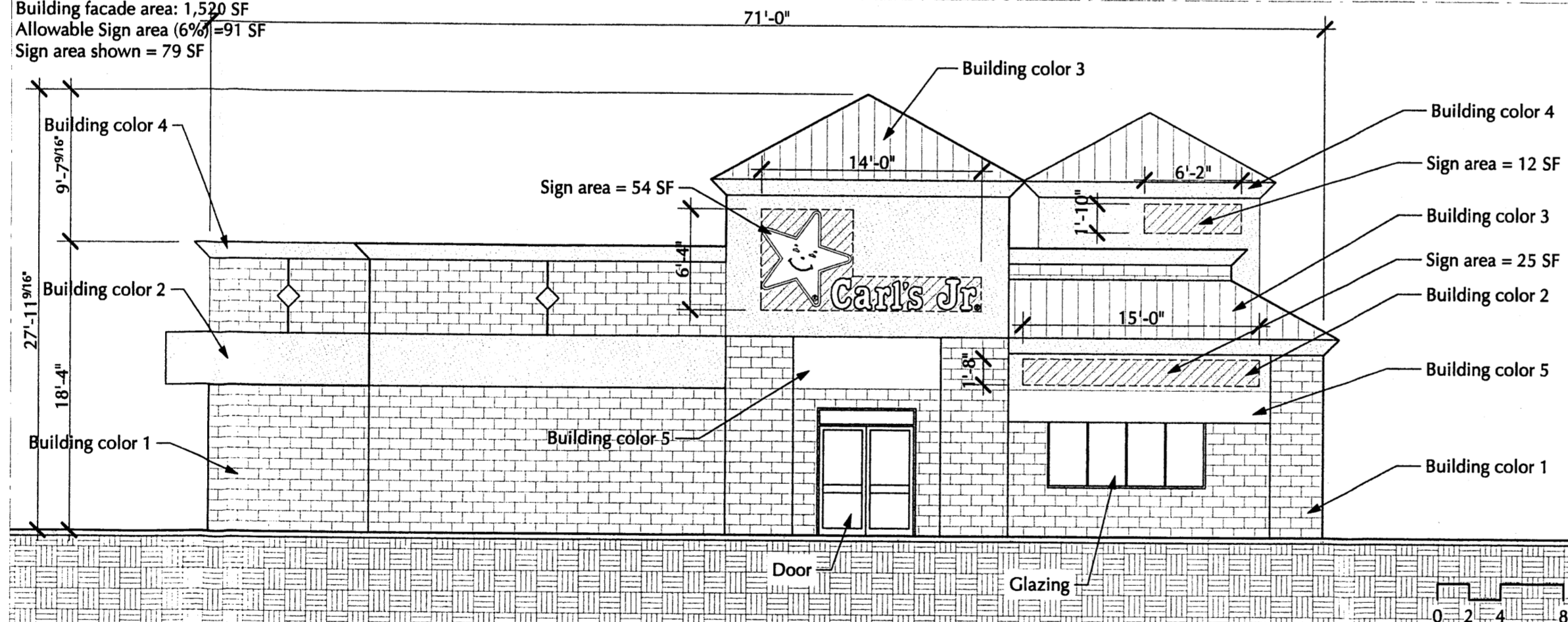
K West Elevation -Phase II Scale: 1/8"=1'-0"



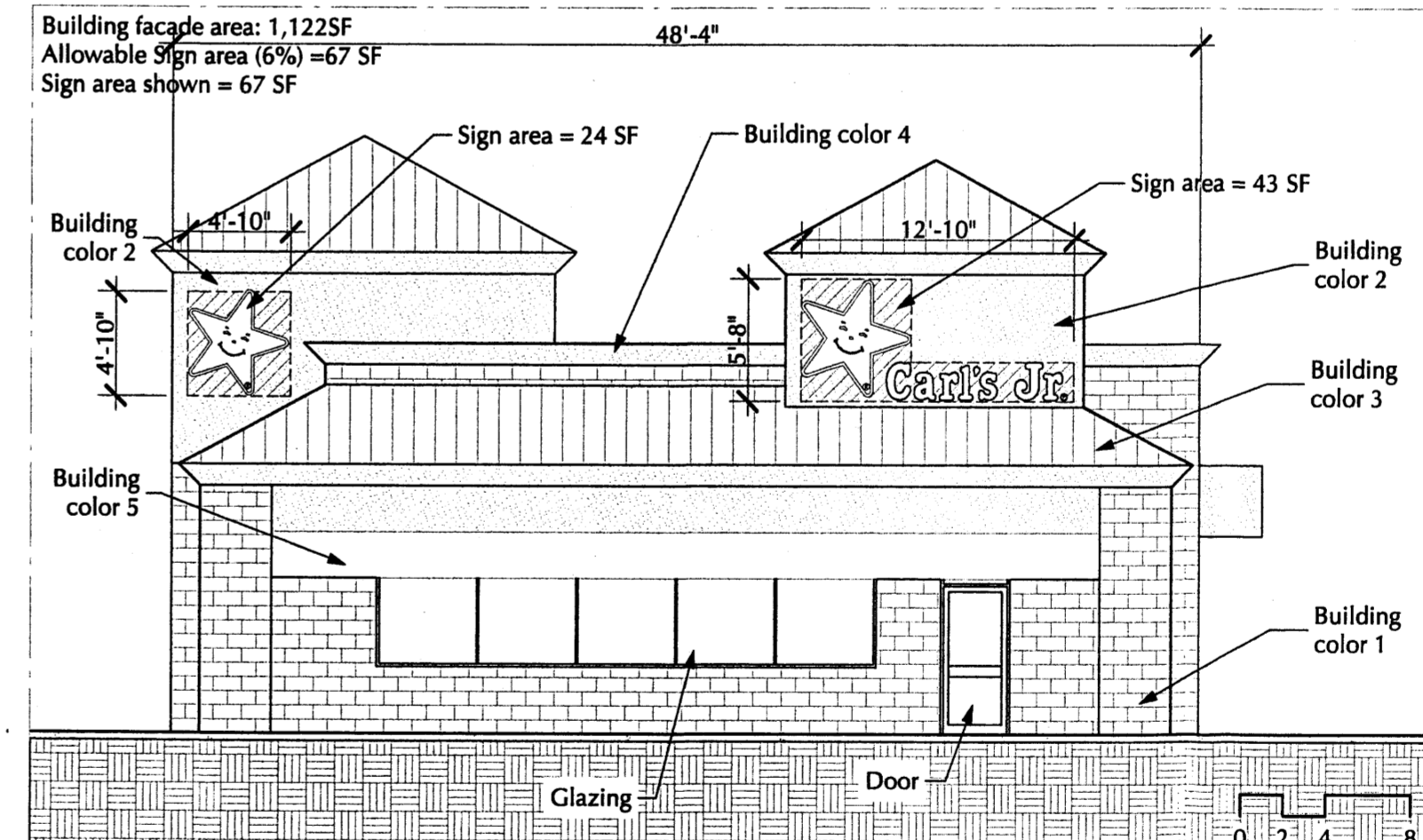
C Refuse Enclosure Scale: 1/4"=1'-0"



Z Monument Sign - Phase II Scale: 3/16"=1'-0"



V West Elevation -Phase I Scale: 1/8"=1'-0"



J South Elevation -Phase I Scale: 1/8"=1'-0"

BUILDING COLORS:
 Building color 1 Light Tan Split faced block
 Building color 2 Dark Tan Stucco accents
 Building color 3 Slate Blue Metal roof
 Building color 4 White Stucco cornice
 Building color 5 Red Fabric or metal awning

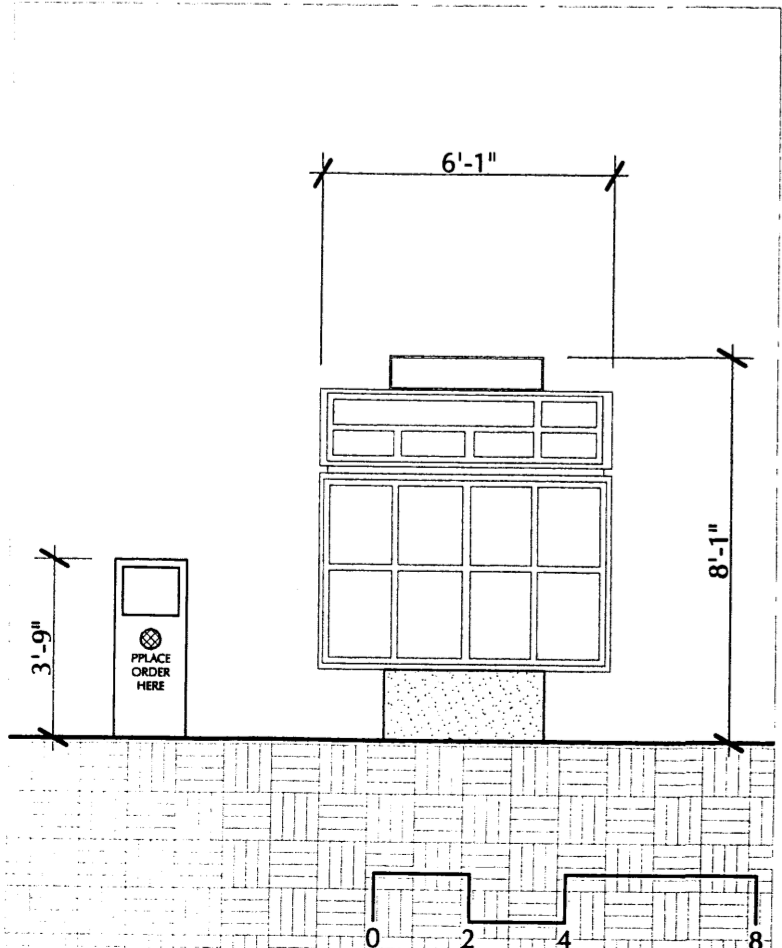
STOREFRONT FRAME and GLAZING:
 Door and window frames shall be clear or bronze aluminum or painted metal. Glazing shall be clear or tinted. Glazing shall not be mirrored finished. (non-reflective)

ROOFING:
 All flat roofing is not visible from public view and will be gravel or white membrane type.

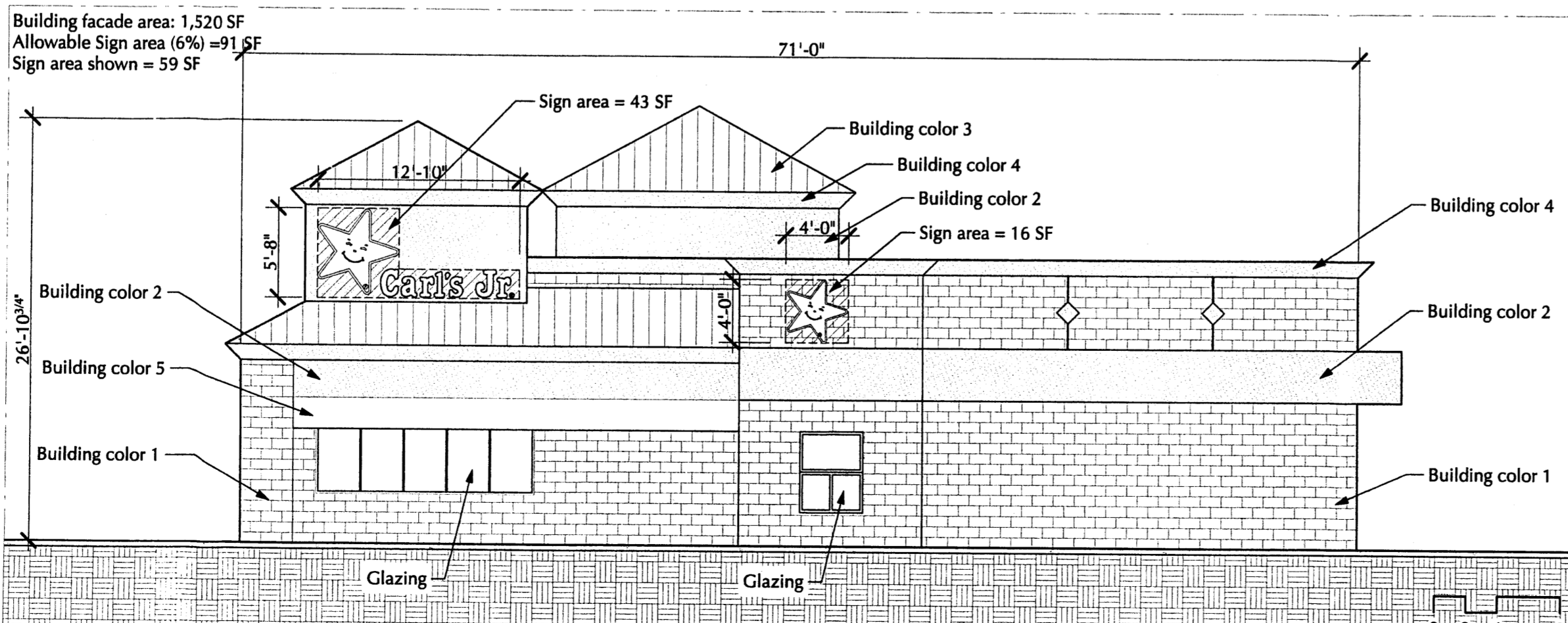
SIGNAGE:
 All building mounted signs shall be internally illuminated channel letters. The total building mounted sign area shall not exceed 6% of the total building facade.

SIGNAGE COLOR:
 Signs faces shall be red and yellow.

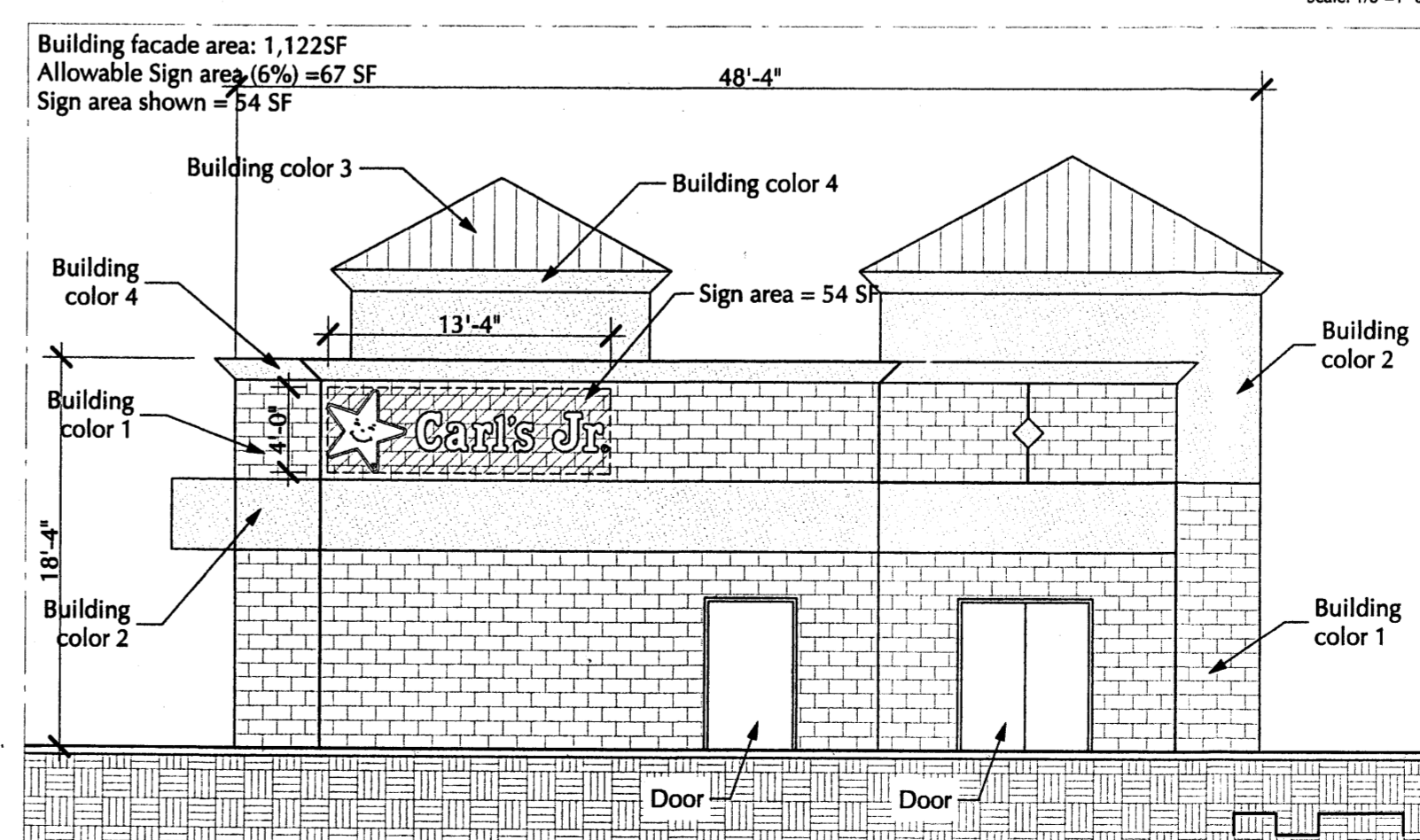
Note: All mechanical equipment will be screened from view of the adjacent parking area and public right of way.



Y Drive-thru Menu Board Scale: 1/4"=1'-0"

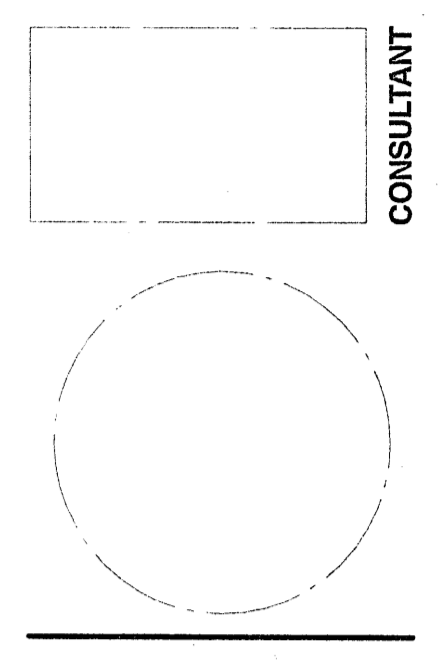
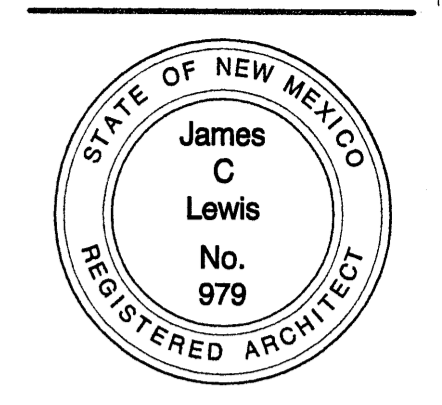


U East Elevation -Phase I Scale: 1/8"=1'-0"



I North Elevation -Phase I Scale: 1/8"=1'-0"

Colors and Materials



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Elevations

PROJECT 0514 SHEET **SDP-5** OF 6

AB Detail Not Used

X Detail Not Used

AA Detail Not Used

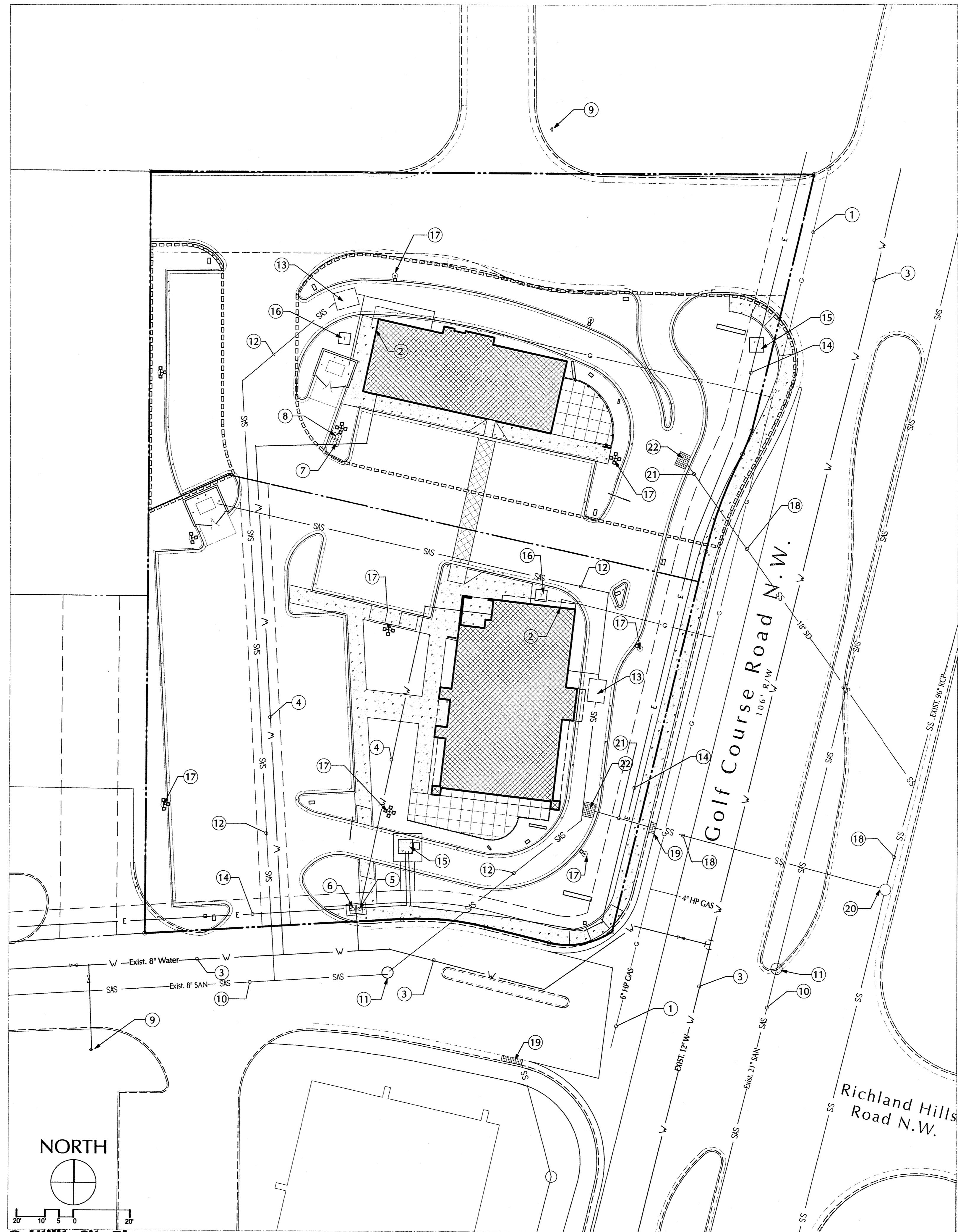
W Detail Not Used

Z Detail Not Used

V Detail Not Used

Y Detail Not Used

U Detail Not Used



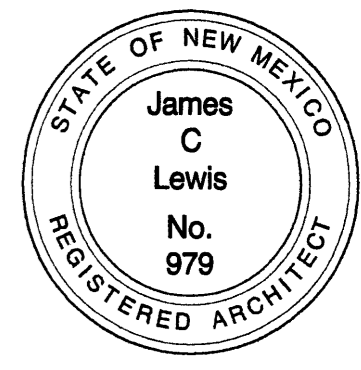
Q Utility Site Plan

D Detail Not Used

C Detail Not Used

- 1 Existing gas line
- 2 Proposed gas meter location
- 3 Existing water line
- 4 Proposed water line
- 5 Existing water meter
- 6 Existing irrigation meter
- 7 Proposed water meter
- 8 Proposed irrigation meter
- 9 Existing fire hydrant
- 10 Existing sanitary sewer main
- 11 Existing sanitary sewer manhole
- 12 Proposed sanitary sewer line
- 13 Proposed grease interceptor
- 14 Existing underground electrical line -Verify location
- 15 Existing splice box to remain
- 16 Proposed electrical transformer
- 17 Proposed parking lot light
- 18 Existing storm drain line
- 19 Existing storm drain inlet
- 20 Existing storm manhole
- 21 Proposed storm drain line
- 22 Proposed storm drain inlet

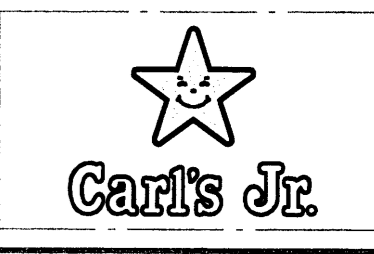
A Keyed Notes



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Utility Plan

PROJECT SHEET
 0514 SDP-6
 OF 6