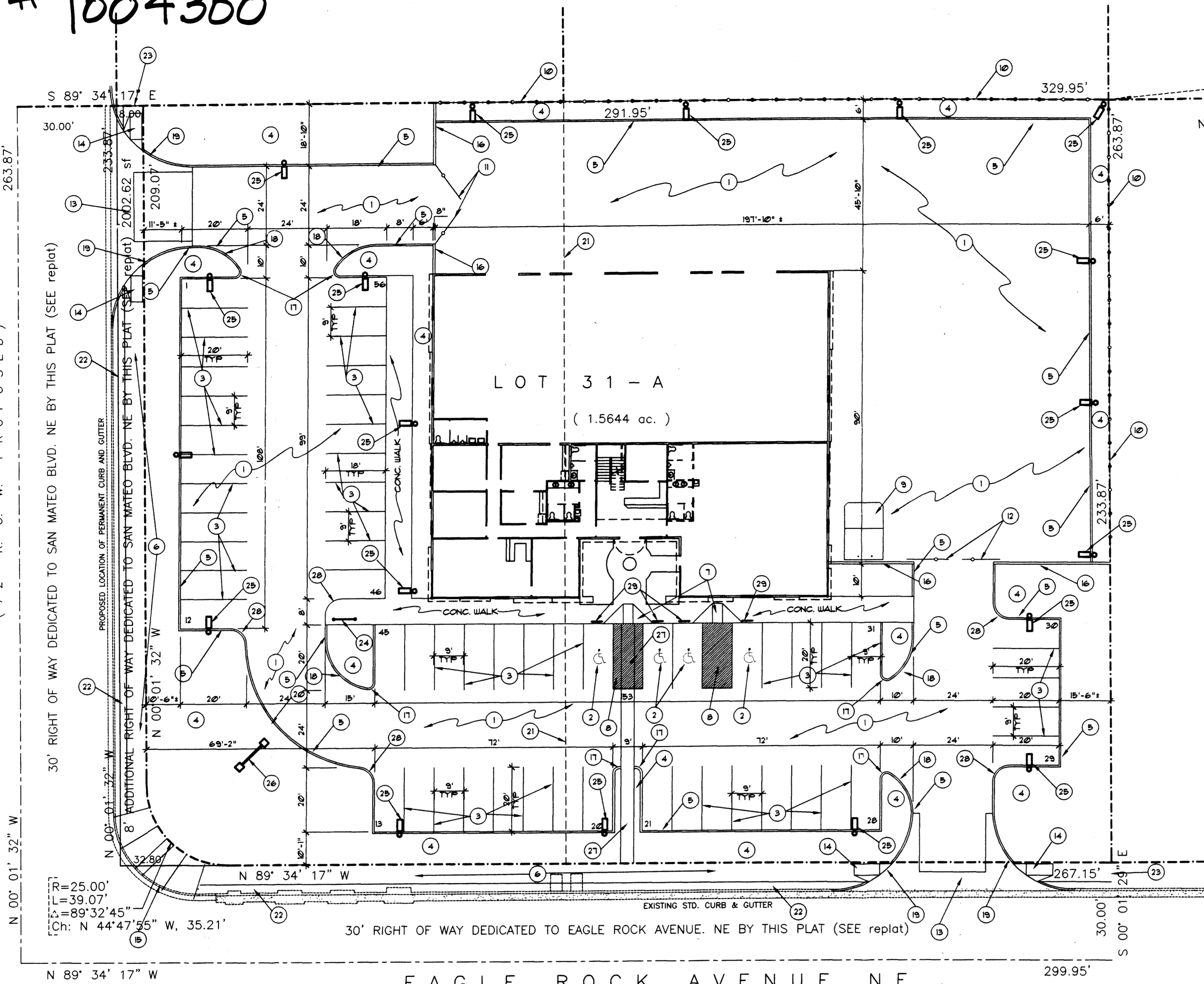


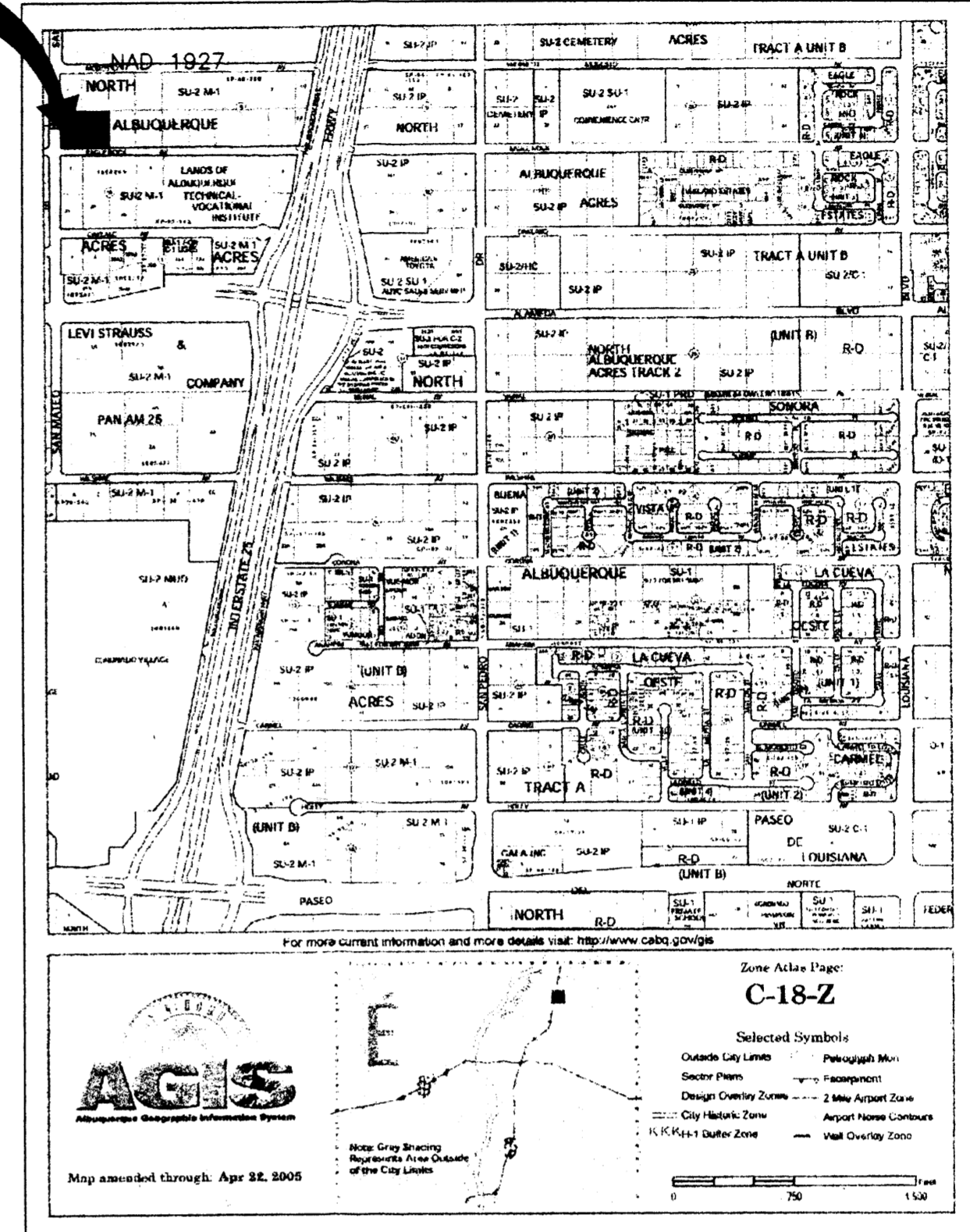
9E

SAN MATEO BOULEVARD NE
(6.4' R.O.W. EXISTING)
(7.2' R.O.W. PROPOSED)



ACS MONUMENT "10-C18"
x = 402,319.45
y = 1,324,061.42
Ground - 10' grid:
0.9996613
Delta Alpha: -00'11"18"
NMSP CENTRAL ZONE

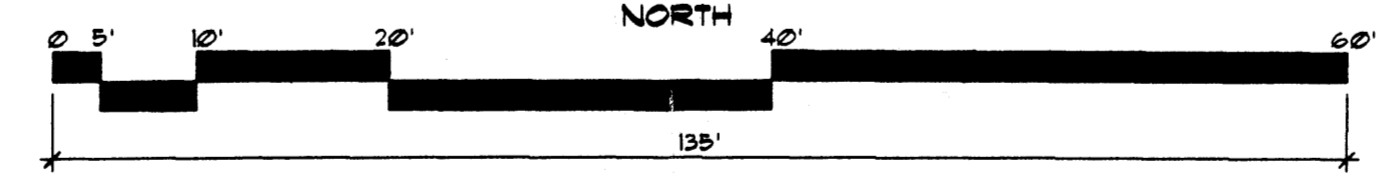
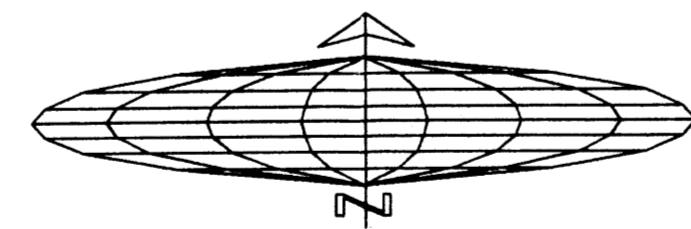
2190.16'
N 84° 38' 24" E
SITE



R=25.00'
L=39.07'
Δ=89°32'45"
Ch: N 44°47'55" W, 35.21'

SITE PLAN

Scale 1" = 20'



NOTES SPECIFIC TO SHEET

- 1 ASPHALT PAVING 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY OF ALBUQUERQUE STANDARDS.
- 2 BLUE PAINTED HANDICAP SYMBOLS, TYPICAL OF 4.
- 3 3" WIDE YELLOW STRIPING, (TYPICAL)
- 4 LANDSCAPE AREA. REFER TO LANDSCAPE PLANS FOR DETAILS AND SIZES.
- 5 6" STANDUP CONCRETE CURB. REFER TO SITE ELEMENT DETAILS.
- 6 6" NEW CONCRETE PUBLIC WALK HOLD TO PROPERTY LINE. (Per U.O.)
- 7 HANDICAP RAMP WITH MAXIMUM SLOPE OF 1:12. REFER TO DETAIL ON SITE ELEMENT SHEET.
- 8 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
- 9 CONCRETE DUMPSTER SLAB. REFER TO DETAIL ON SITE ELEMENT SHEET.
- 10 6'-0" HIGH CHAIN LINK FENCE WITH CONCERTINA WIRE ABOVE. TYPICAL AROUND STORAGE YARD.
- 11 TWO 12'-0" WIDE WROUGHT IRON SWINGING GATES.
- 12 TWO 12'-0" WIDE WROUGHT IRON GATES ON ROLLERS.
- 13 NEW CONCRETE PAVING PRIVATE ENTRANCES PER CITY OF ALBUQUERQUE DETAIL NO. 2426.
- 14 CONSTRUCT CONCRETE CURB ACCESS RAMP AS PER CITY OF ALBUQUERQUE STD. DTL. NO. 2419 & 2441.
- 15 PUBLIC WALK CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD. DTL. NO. 2440.
- 16 6'-0" HIGH 8" THICK SPLIT-FACED CMU WALL FROM NEW BUILDING TO PROPERTY LINE. COLOR TO COMPLEMENT BUILDING COLORS.
- 17 2' RADIUS.
- 18 15' RADIUS.
- 19 25' RADIUS.
- 20 35' RADIUS.
- 21 EXISTING PROPERTY LINE BETWEEN LOTS 31 & 32 TO BE REMOVED. REFER TO REPLAT.
- 22 PLANTING STRIP BETWEEN SIDEWALK AND BACK OF CURB.
- 23 NEW CONCRETE WALK TO END AT PROPERTY LINE. (Per U.O.)
- 24 BIKE RACK FOR 3 BIKES. REFER TO DETAIL ON SITE ELEMENT SHEET.
- 25 SITE LIGHTING FIXTURE. SEE DETAIL ON SITE ELEMENT SHEET.
- 26 MONUMENT SIGN. REFER TO DETAIL ON SITE ELEMENT SHEET.
- 27 48" WIDE CONCRETE SIDEWALK WITH BRICK PATTERN FROM BUILDING TO PUBLIC WALK.
- 28 5'-0" RADIUS.
- 29 BLUE AND WHITE HANDICAP PARKING SIGN REFER TO SITE ELEMENT DETAILS.

SITE DATA

| | | |
|--------------------|-------------|------------------|
| GROSS LOT AREA | 15644 ACRES | (60,145 SQ. FT.) |
| BUILDING FOOTPRINT | | 11,121 SQ. FT. |
| NET LOT AREA | | 56,418 SQ. FT. |

BUILDING AREA SUMMARY

| | | |
|-----------------------|--------|---------|
| WAREHOUSE AREA | 6240 | SQ. FT. |
| FIRST LEVEL LEASABLE | 5208 | SQ. FT. |
| SECOND LEVEL LEASABLE | 4,533 | SQ. FT. |
| TOTAL LEASABLE | 15,981 | SQ. FT. |

PARKING CALCULATIONS

| | |
|------------------|--------------------------------|
| WAREHOUSE | 6240/1000 = 4 |
| OFFICES LEASABLE | 5741/100 = 49 SPACES |
| PARKING REQUIRED | 53 SPACES INCLUDING 4 HANDICAP |
| PARKING PROVIDED | 56 SPACES INCLUDING 4 HANDICAP |

PROJECT NUMBER: 1004300

Application Number: 05 DRB- -01080

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

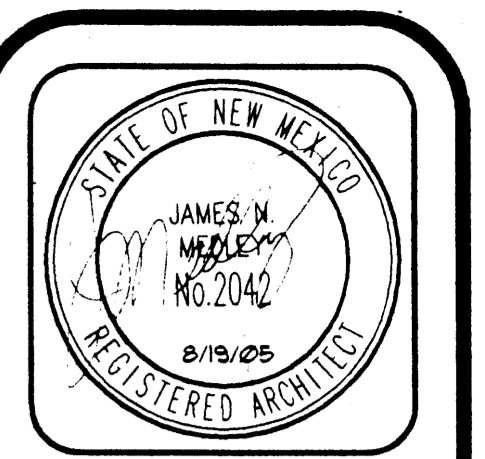
DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|---|-------------------------|
| <i>[Signature]</i> Traffic Engineering, Transportation Division | <u>8-24-05</u> Date |
| <i>[Signature]</i> Water Utility Department | <u>8-24-05</u> Date |
| <i>[Signature]</i> Parks and Recreation Department | <u>8/24/05</u> Date |
| <i>[Signature]</i> City Engineer | <u>8-24-05</u> Date |
| <i>[Signature]</i> Environmental Health Department (conditional) | <u>09-06-05</u> Date |
| <i>[Signature]</i> Solid Waste Management | <u>8/24/05</u> Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | <u>7/16/05</u> Date |

*Environmental Health, if necessary

5-13-05

Landfill Gas Note:
The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure the health and safety of the public. Recommendations made by a professional engineer with expertise in landfill and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.



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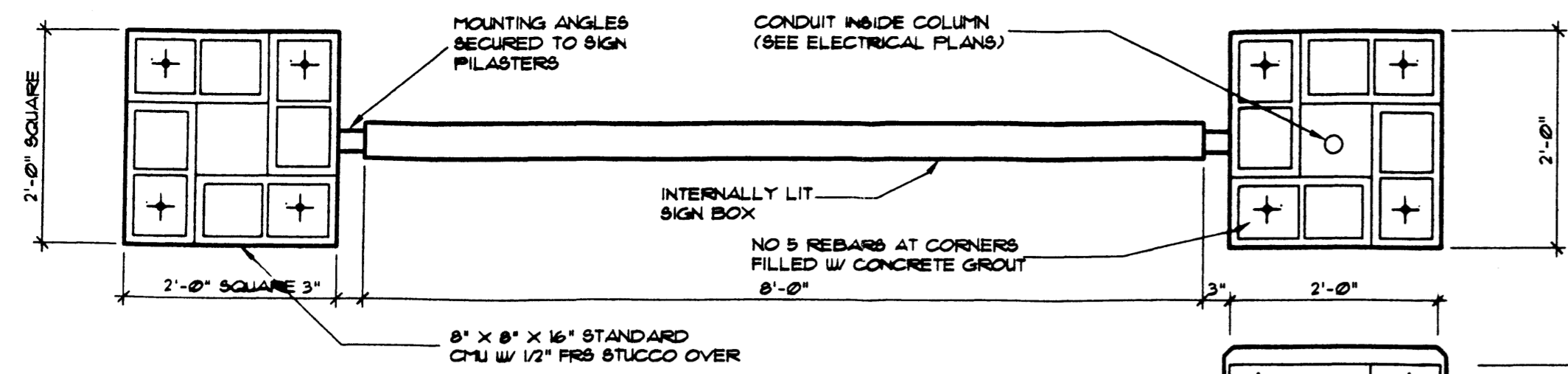
Plan No. 0495
Date: August 05
Drawn by: JMT
Checked by: JMT

OFFICE/WAREHOUSE
Project: **Robert Navarrette Elite Dri-Wall**
Albuquerque, New Mexico

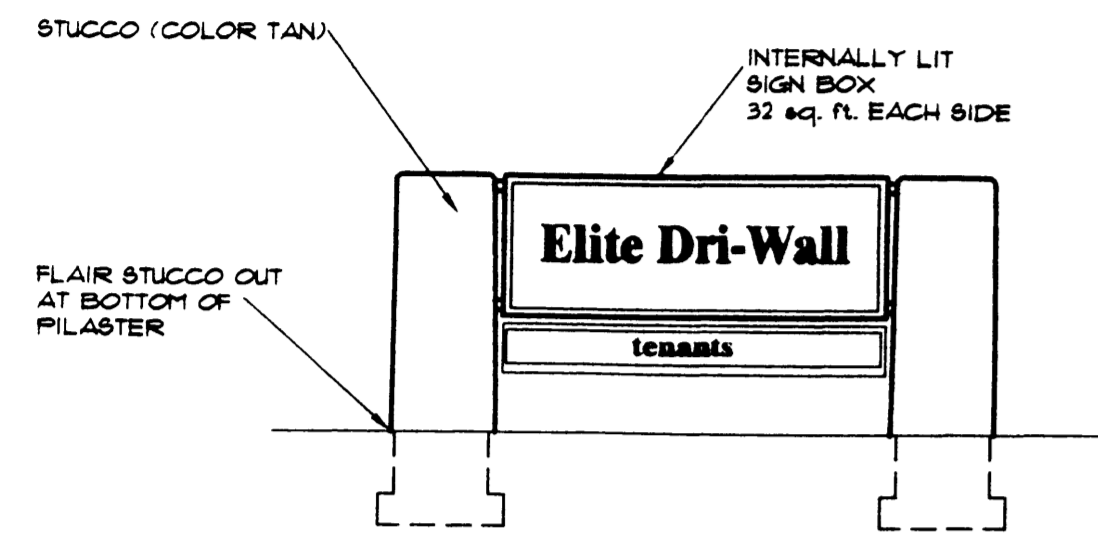
| No. | Revision / Issue | Date: |
|-----|------------------|-------|
| | | |

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

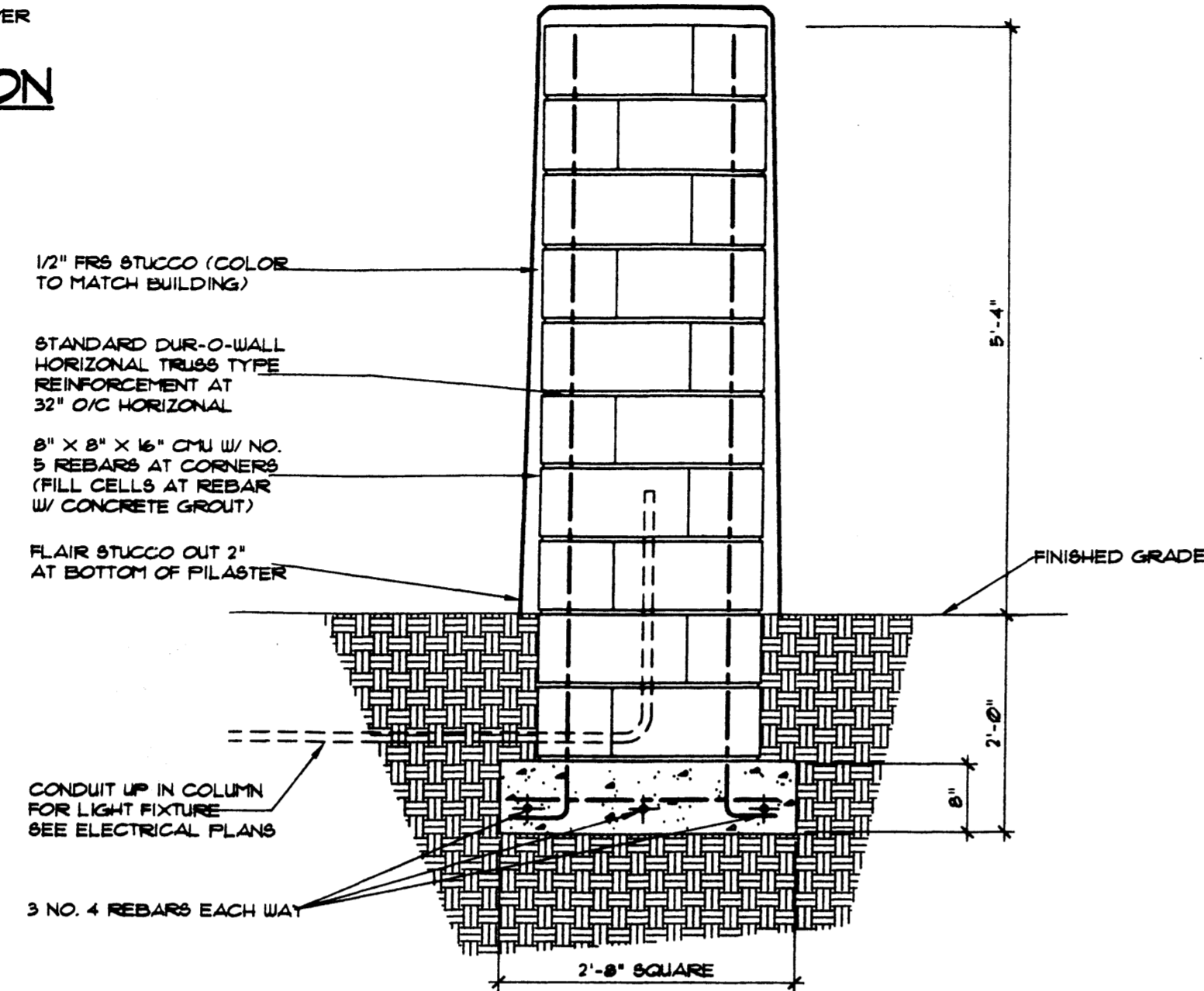
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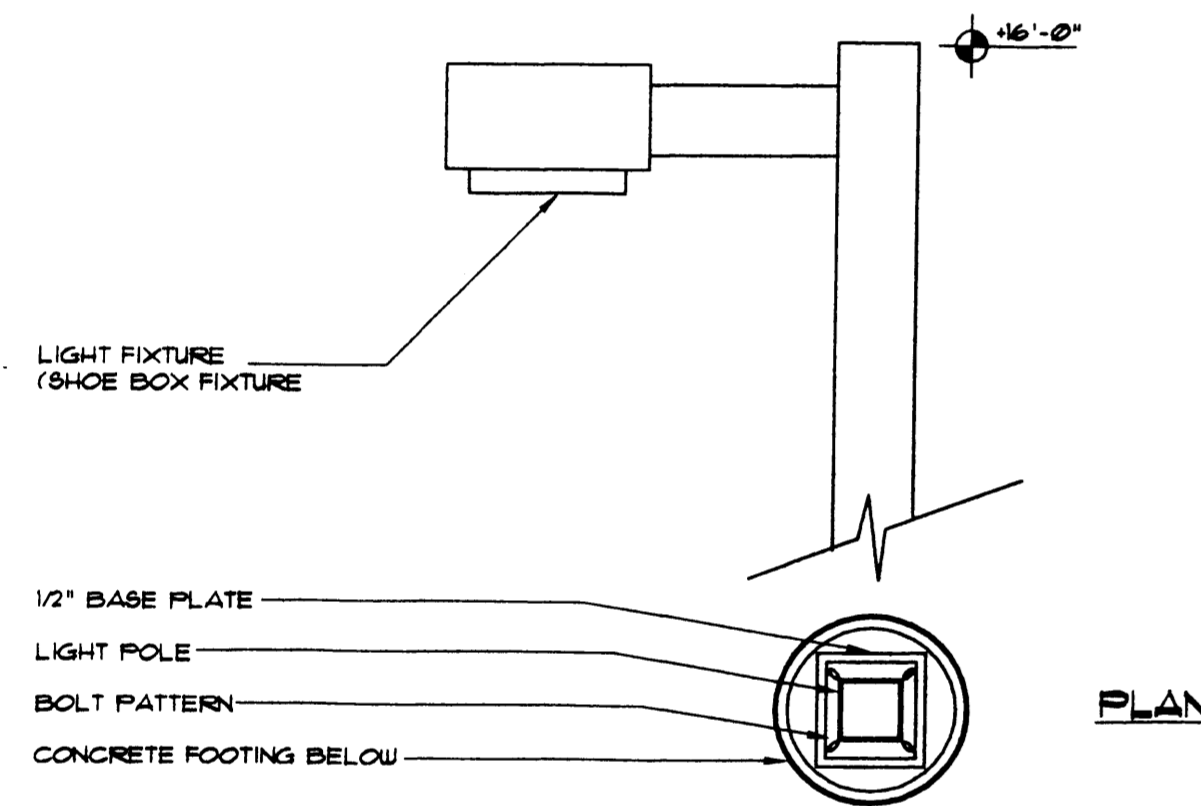
SIGN PLAN VIEW SECTION
SCALE 3/4" = 1'-0"



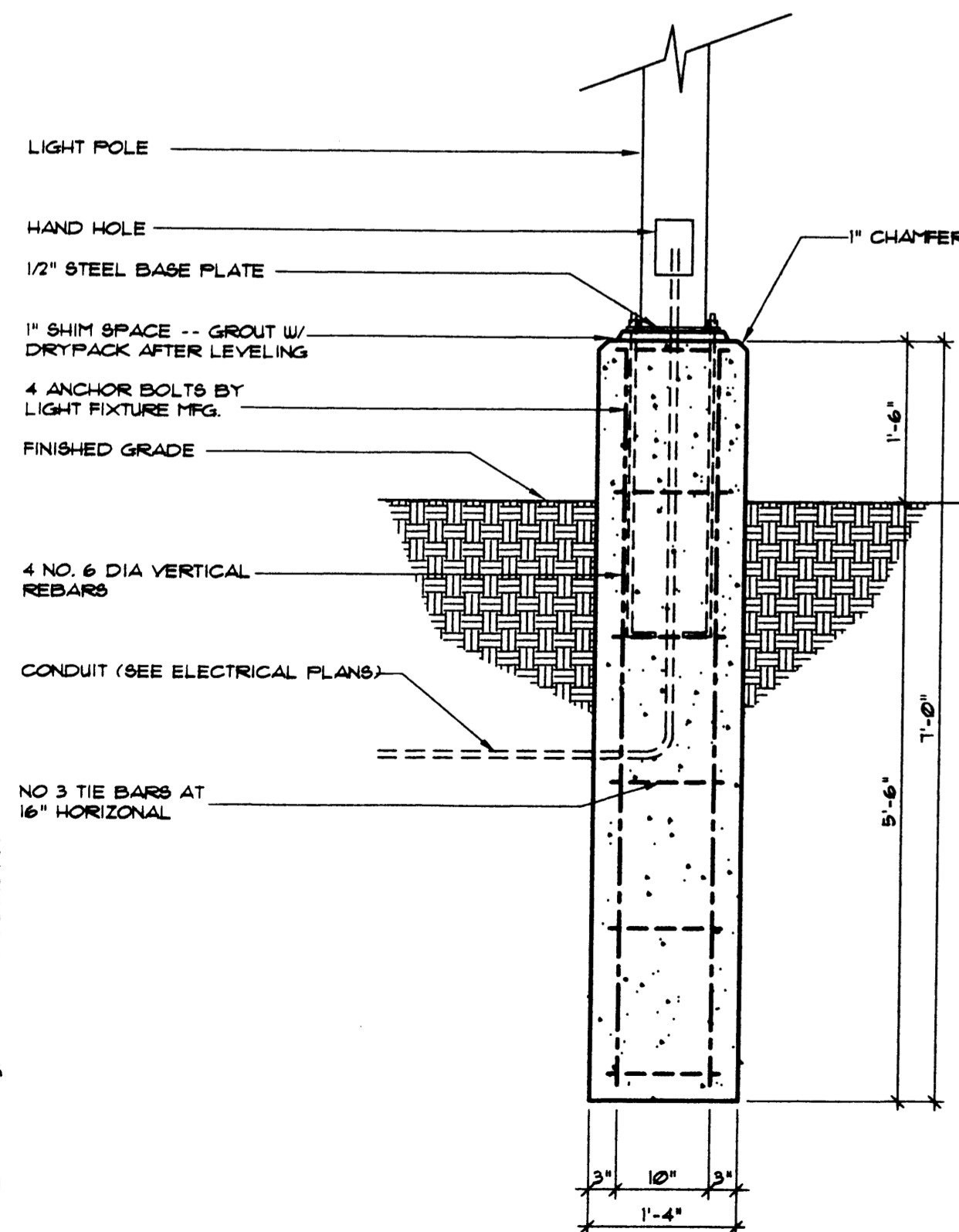
SIGN ELEVATION
SCALE 1/4" = 1'-0"



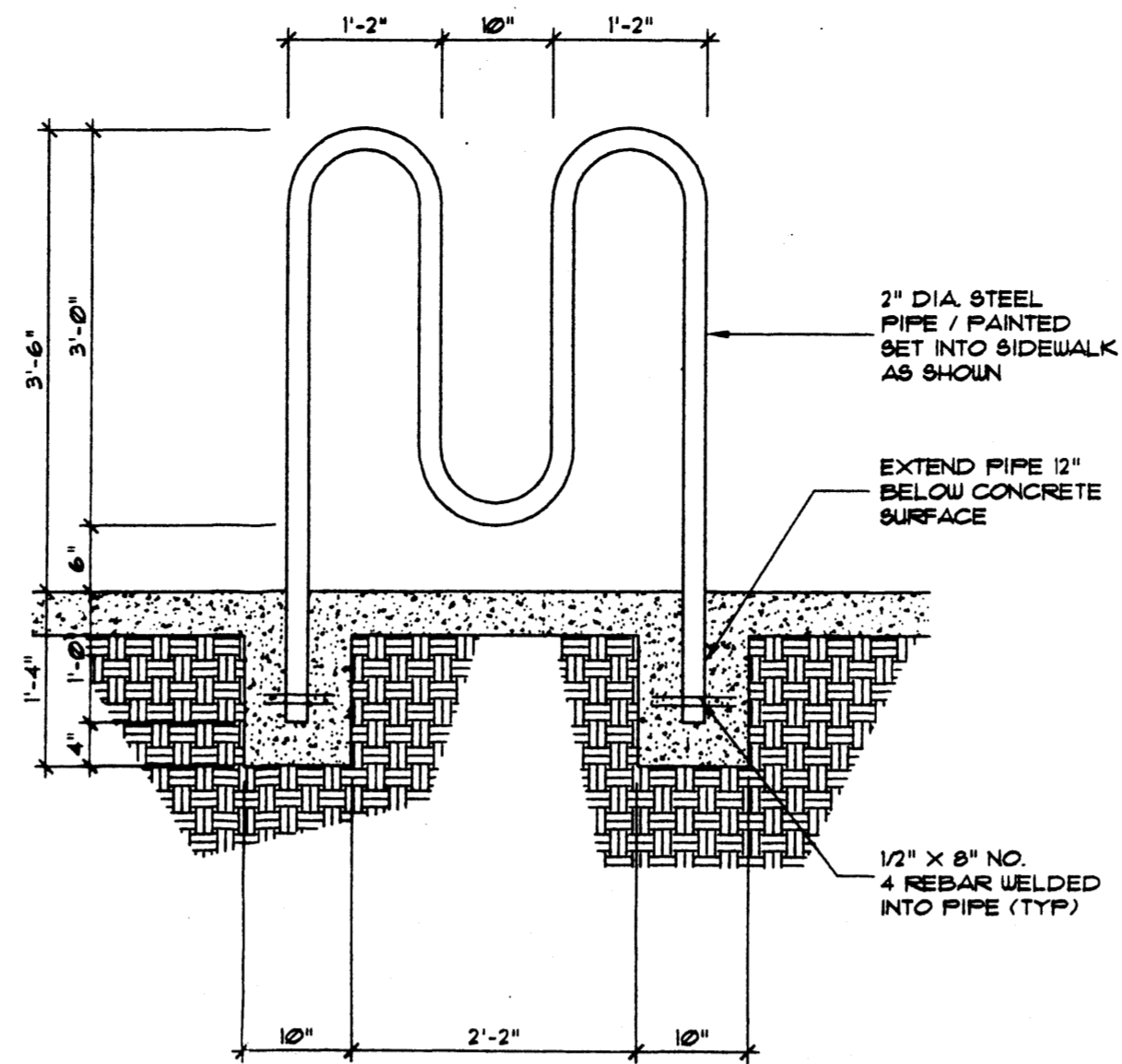
SIGN PILASTER SECTION



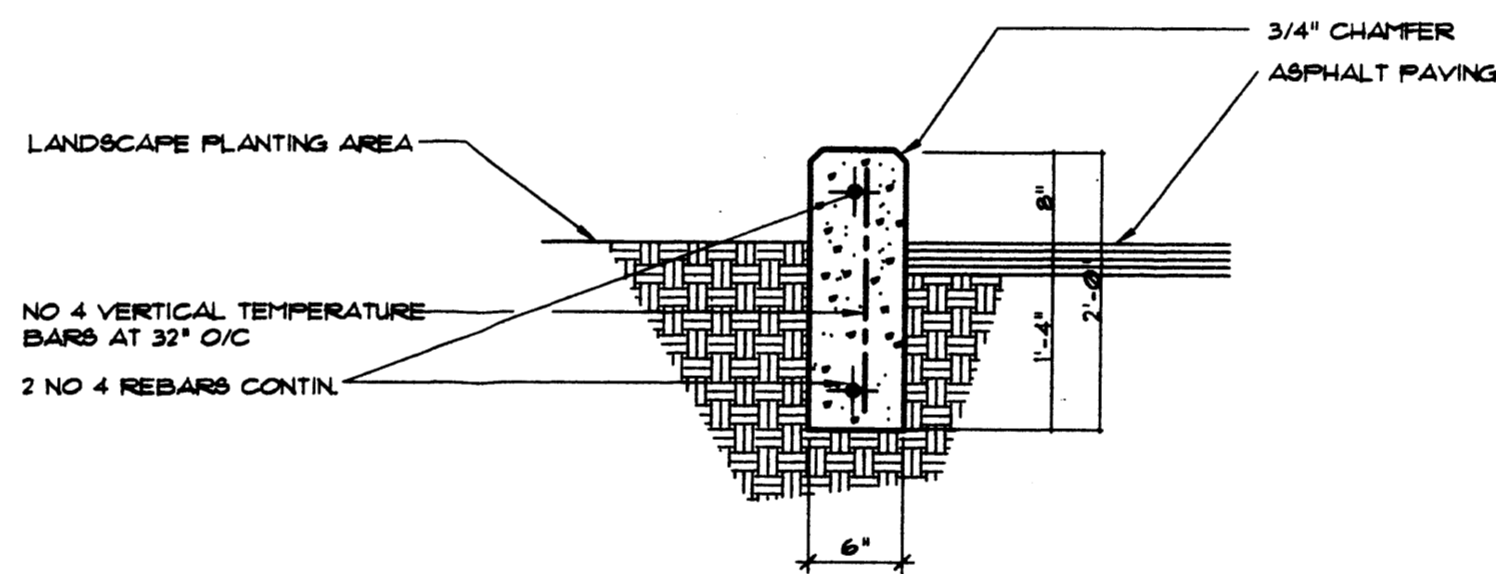
PLAN



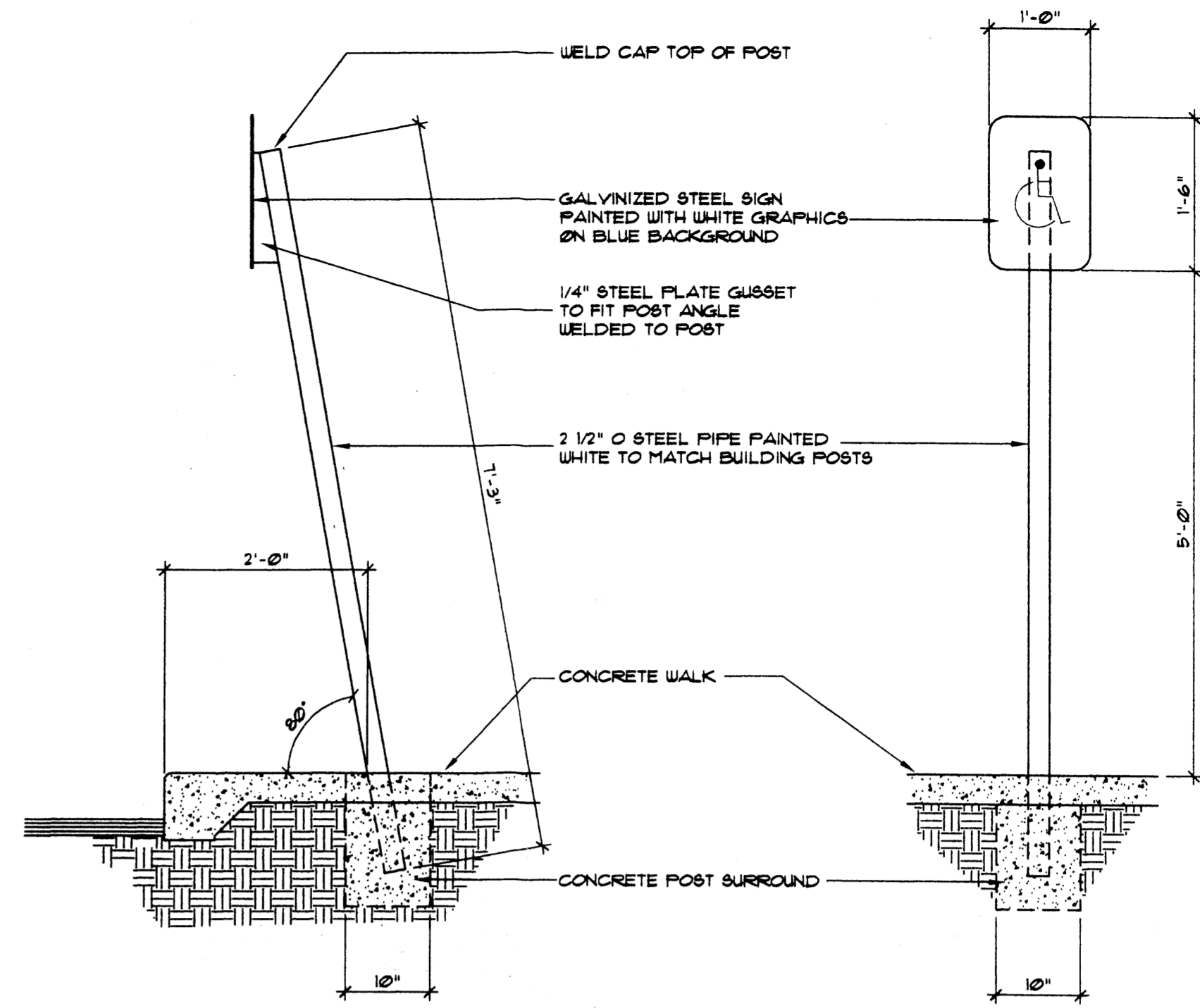
LIGHT FIXTURE COLUMN
SCALE 1/4" = 1'-0"



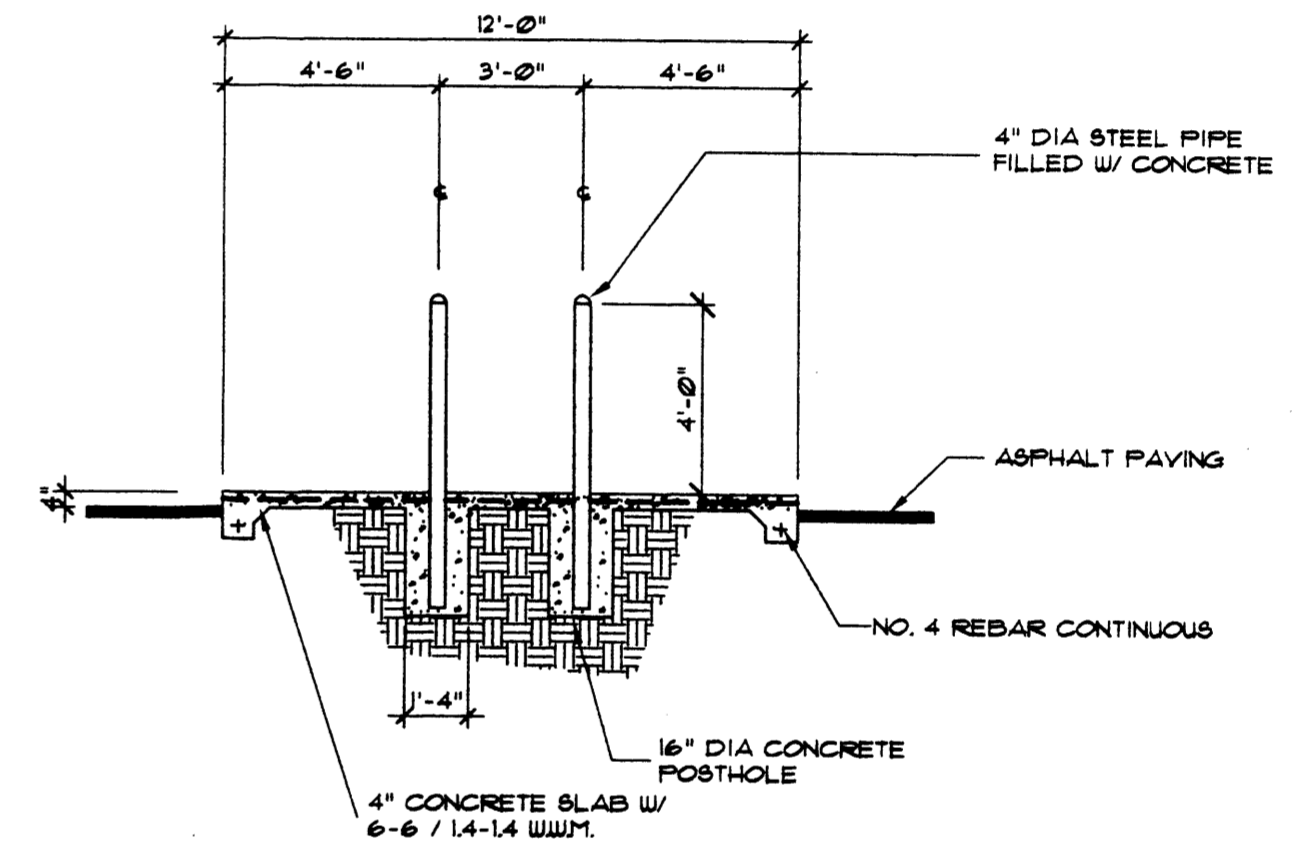
BIKE RACK DETAIL
SCALE 3/4" = 1'-0"



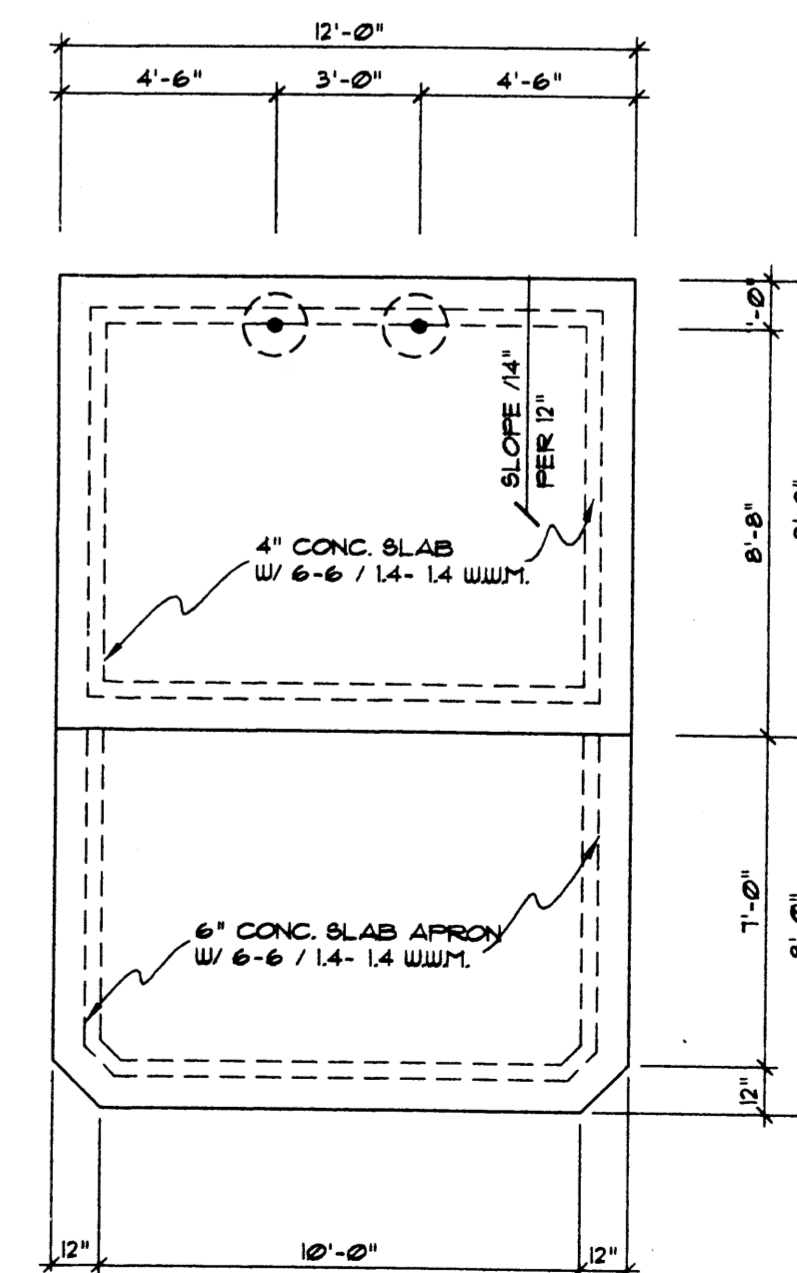
STAND-UP CURB DETAIL
SCALE 1" = 1'-0"



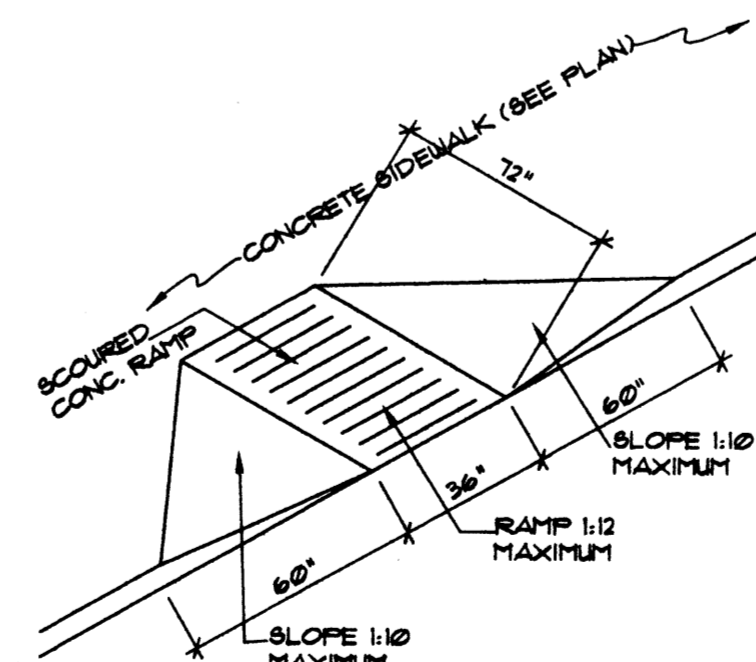
HANDICAP PARKING SIGN
SCALE 3/4" = 1'-0"



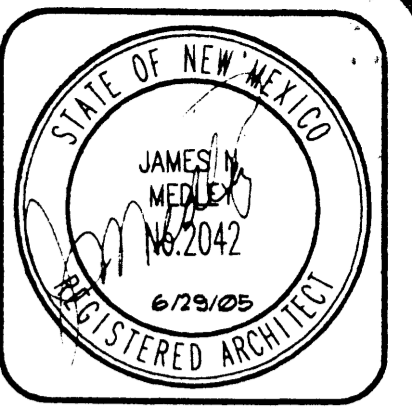
REFUSE CONC. PAD SECTION
SCALE 1/4" = 1'-0"



REFUSE CONCRETE PAD PLAN
SCALE 1/4" = 1'-0"



HANDICAP RAMP
NO SCALE



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Phone (505) 292-3514 Fax (505) 294-5593
email: jmedley@jim-medley-architect.com

| | |
|-------------|---------|
| Plot No. | 04199 |
| Date: | June 05 |
| Drawn by: | JNT |
| Checked by: | JNT |

Project: OFFICE/WAREHOUSE
Robert Navarrete
Elite Dri-Wall
Albuquerque, New Mexico

| | | |
|-----|------------------|-------|
| No. | Revision / Issue | Date: |
| | | |

Sheet Description
DEVELOPMENT REVIEW BOARD SITE ELEMENTS

Sheet:
C2

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PLANT LEGEND

| Qty. | Symbol | Scientific Name Common Name | Size | Water Use |
|----------------------------|--------|--|--------|-----------|
| Trees | | | | |
| 3 | | <i>Crataegus phaenopyrum</i> Washington Hawthorn | 2" B&B | Medium+ |
| 12 | | <i>Fraxinus velutina</i> 'Modesto' Modesto Ash | 2" B&B | Medium + |
| 6 | | <i>Gleditsia triacanthos</i> Honeylocust | 2" B&B | Medium |
| Shrubs/Groundcovers | | | | |
| 16 | | <i>Cotoneaster Pameyi</i> Clusterberry | 5-Gal | Medium |
| 13 | | <i>Buddleia davidii</i> Butterfly Bush | 5-Gal | Medium |
| 6 | | <i>Caesalpinia gilliesii</i> Yellow Bird of Paradise | 5-Gal | Low |
| 14 | | <i>Cercocarpus ledifolios</i> Curl-leaf Mtn. Mahogany | 5-Gal | Low + |
| 20 | | <i>Cytisus scoparius</i> Scotch Broom | 5-Gal | Medium |
| 22 | | <i>Encameria nauseosus</i> Chamisa | 1-Gal | Low |
| 17 | | <i>Hesperaloe parviflora</i> Red Yucca | 5-Gal | Low+ |
| 24 | | <i>Rosmarinus off. pro.</i> Creeping Rosemary | 5-Gal | Low + |
| 26 | | <i>Prunus besseyi</i> Western Sand Cherry | 5-Gal | Medium |
| 20 | | <i>Rhaphiolepis indica</i> India Hawthorn | 5-Gal | Medium |
| 8 | | <i>Rhus trilobata</i> Three-leaf Sumac | 1-Gal | Low+ |
| 25 | | <i>Rosmarinus officinalis</i> Rosemary | 5-Gal | Low + |
| Ornamental Grasses | | | | |
| 21 | | <i>Miscanthus sinensis</i> 'Gracillimus' Maiden Grass | 5-Gal | Medium |

SITE DATA

| | | |
|-------------------------|--------|----|
| GROSS LOT AREA | 70,313 | SF |
| LESS BUILDING(S) | 11,727 | SF |
| NET LOT AREA | 58,586 | SF |
| REQUIRED LANDSCAPE | | |
| 15% OF NET LOT AREA | 8,787 | SF |
| PROPOSED LANDSCAPE | 14,695 | SF |
| PERCENT OF NET LOT AREA | 25 | % |

REQUIRED STREET TREES
 PROVIDED AT 30' O.C. SPACING ALONG STREET 14
 REQUIRED PARKING LOT TREES
 PROVIDED AT 1 PER 10 SPACES (82 SPACES/10) 7

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
 LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
 HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE/IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP
 IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
 OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
 AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
 AT MATURITY

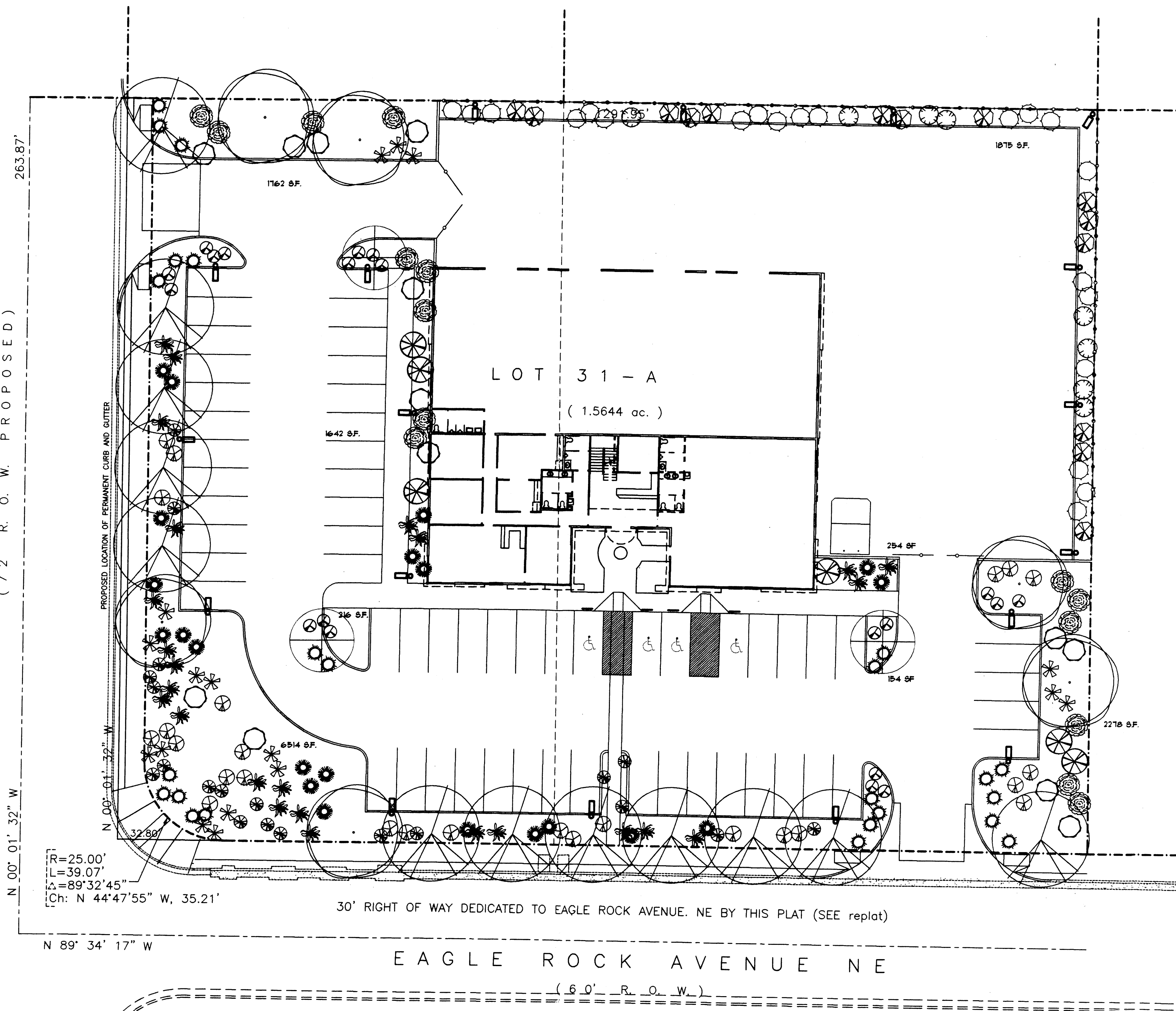
LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
 MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
 OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
 C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

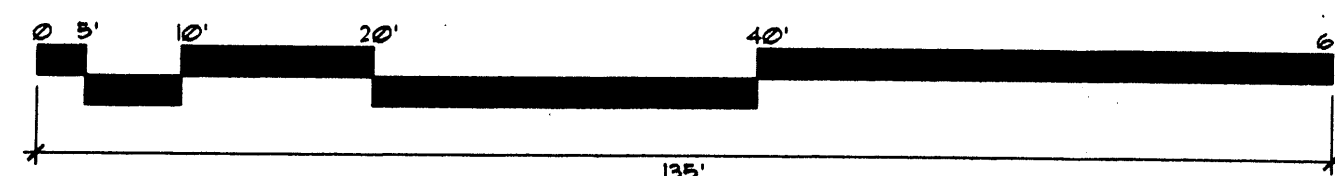
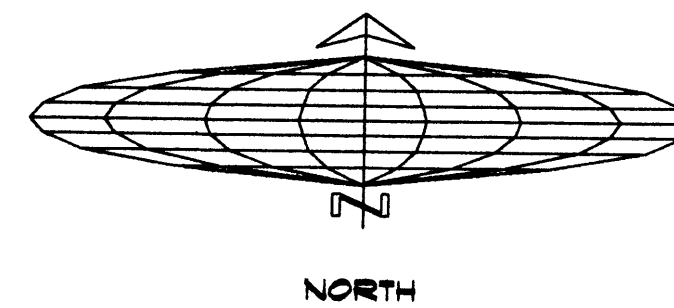
NO PARKING SPACE SHALL BE MORE THEN 50'
 FROM A TREE.

SAN MATEO BOULEVARD NE
 (6.4' R.O.W. EXISTING)
 (7.2' R.O.W. PROPOSED)

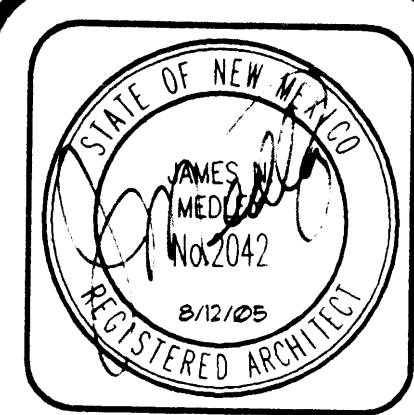
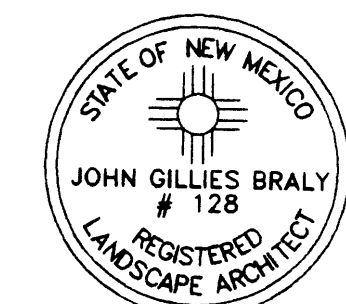


LANDSCAPE PLAN

Scale 1" = 20'



HeadUp
 LANDSCAPE CONTRACTORS
 www.headsuplandscape.com
 P.O. BOX 10597
 Albuquerque, NM 87184
 505.898.9615
 505.898.2105 (fax)
 design@hulc.com



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 Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 0405
 Date: August 05
 Drawn by: JAM
 Checked by: JAM

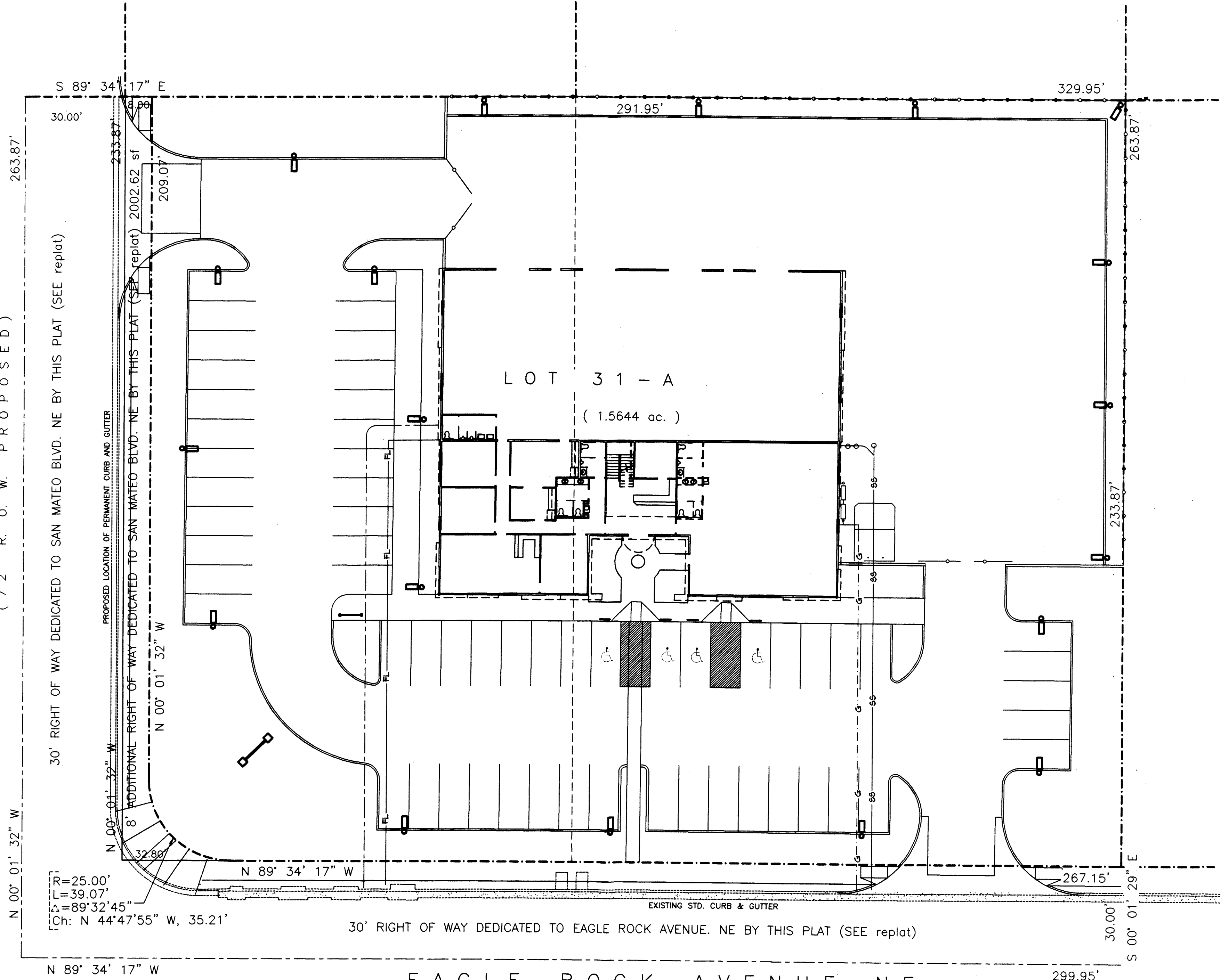
Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
 Albuquerque, New Mexico

| No. | Revision / Issue | Date: |
|-----|------------------|-------|
| | | |

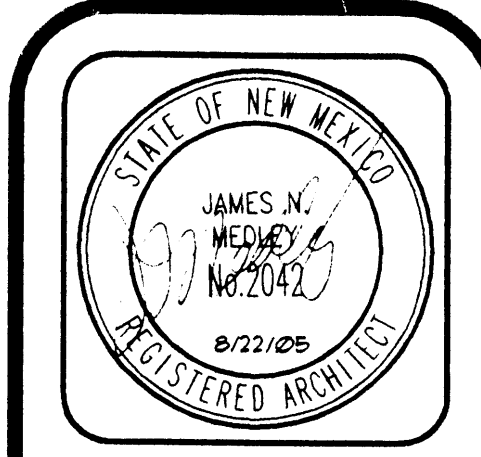
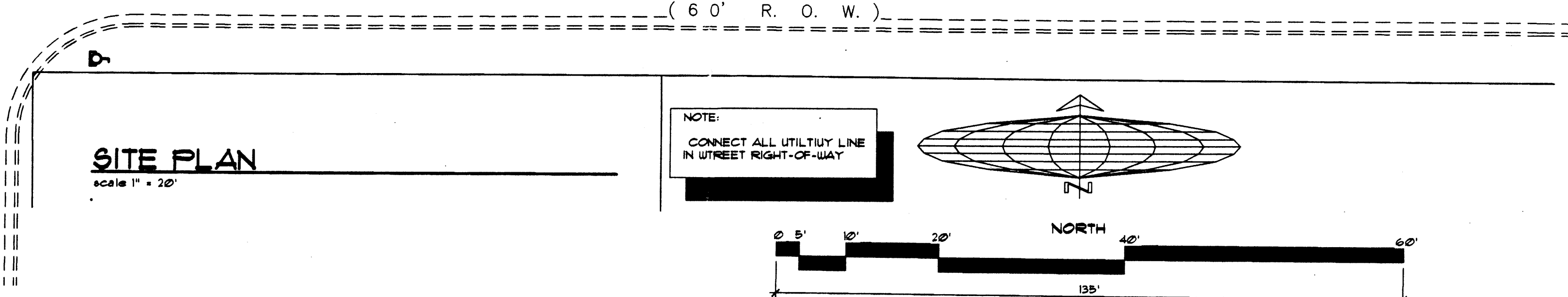
Sheet Description
LANDSCAPE PLAN

Sheet:

SAN MATEO BOULEVARD NE
(64' R. O. W. EXISTING)
(72' R. O. W. PROPOSED)



R=25.00'
L=39.07'
Δ=89°32'45"
Ch: N 44°47'55" W, 35.21'



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| | |
|-------------|-----------|
| Plan No. | 04105 |
| Date: | August 05 |
| Drawn by: | JMT |
| Checked by: | JMT |

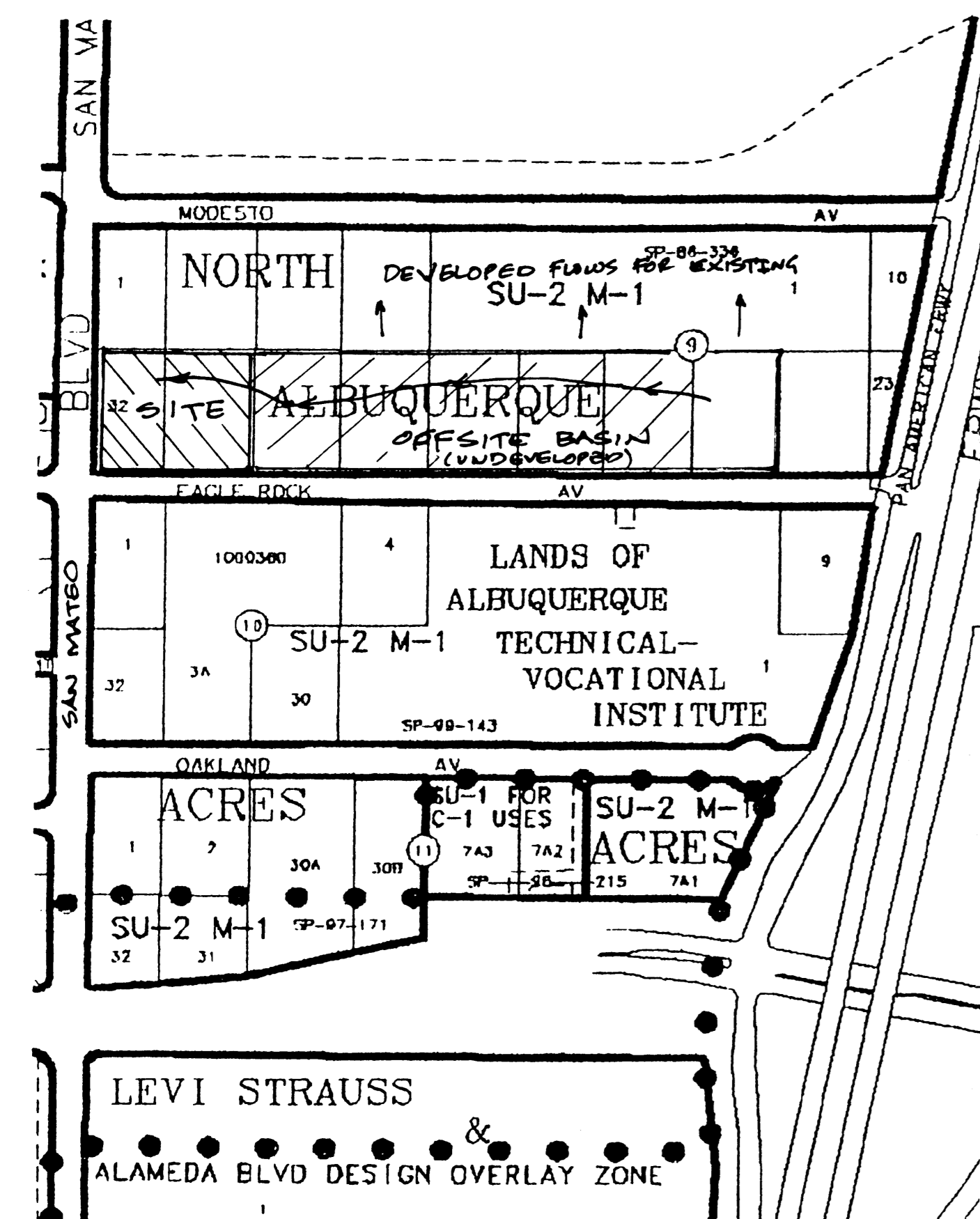
Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
 Albuquerque, New Mexico

| No. | Revision / Issue | Date: |
|-----|------------------|-------|
| | | |
| | | |

Sheet Description
PROPOSED
UTILITY SITE PLAN

Sheet:
U1

VICINITY MAP (C-18-Z) AND OFFSITE BASIN



LEGEND

| | | | |
|------|---|--|-------------------------|
| WV | WATER VALVE | SPOT ELEVATION | |
| WM | WATER METER | UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE | |
| MH | SANITARY SEWER MANHOLE | EA | EDGE OF ASPHALT |
| SAS | SANITARY SEWER DROP | EA | EDGE OF ASPHALT |
| W | WATER TAP | TC | TOP OF CURB / CONCRETE |
| IRR | IRRIGATION CONTROL VALVE | FL | FLOWLINE |
| TS | TRAFFIC SIGNAL / BOX | BSW | BACK OF SIDEWALK |
| PP | POWER POLE | CLF | CHAIN LINK FENCE |
| ANCH | ANCHOR | CBW | CONCRETE BLOCK WALL |
| LP | LIGHT POLE | RR | RR TIE LANDSC. RETAINER |
| TREE | TREE, CALIPER NOTED | OP | OVERHEAD POWER LINE |
| 4958 | EXISTING INDEX CONTOURS @ 5 FT. INTERVALS | | |
| 4958 | EXISTING CONTOURS @ 1 FT. INTERVALS | | |
| 56 | PROPOSED CONTOURS @ 1.0' INTERVALS | | |
| 58.0 | PROPOSED SPOT ELEVATION | | |
| --- | FLOW LINE | | |
| --- | PROPOSED RETAINER | | |
| TC | TOP OF CONCRETE | | |
| FL | FLOW LINE | | |
| TSW | TOP OF SIDEWALK | | |
| RIM | RIM OF MANHOLE | | |
| --- | BURIED TELEPHONE LINE | | |

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE IS SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

BENCH MARK IS ACS STA. "10-C17" ACS Aluminum disk epoxied to top of drop inlet, ENE quadrant of Alameda Blvd. & Jefferson Street, NE ELEV. 5179.24 (NAVD 88)

TBM
P-K Nail & disk "8686" set in asphalt curbing at SE corner of site ELEV. 5157.89

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE
- ALL IMPROVEMENTS IN SAN MATEO BOULEVARD, NE MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

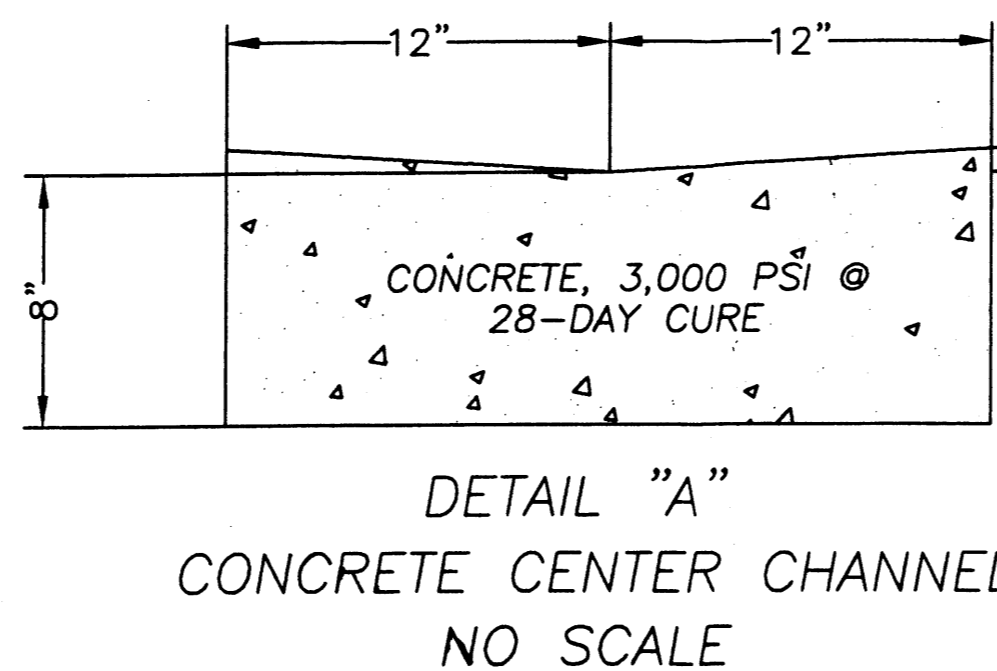
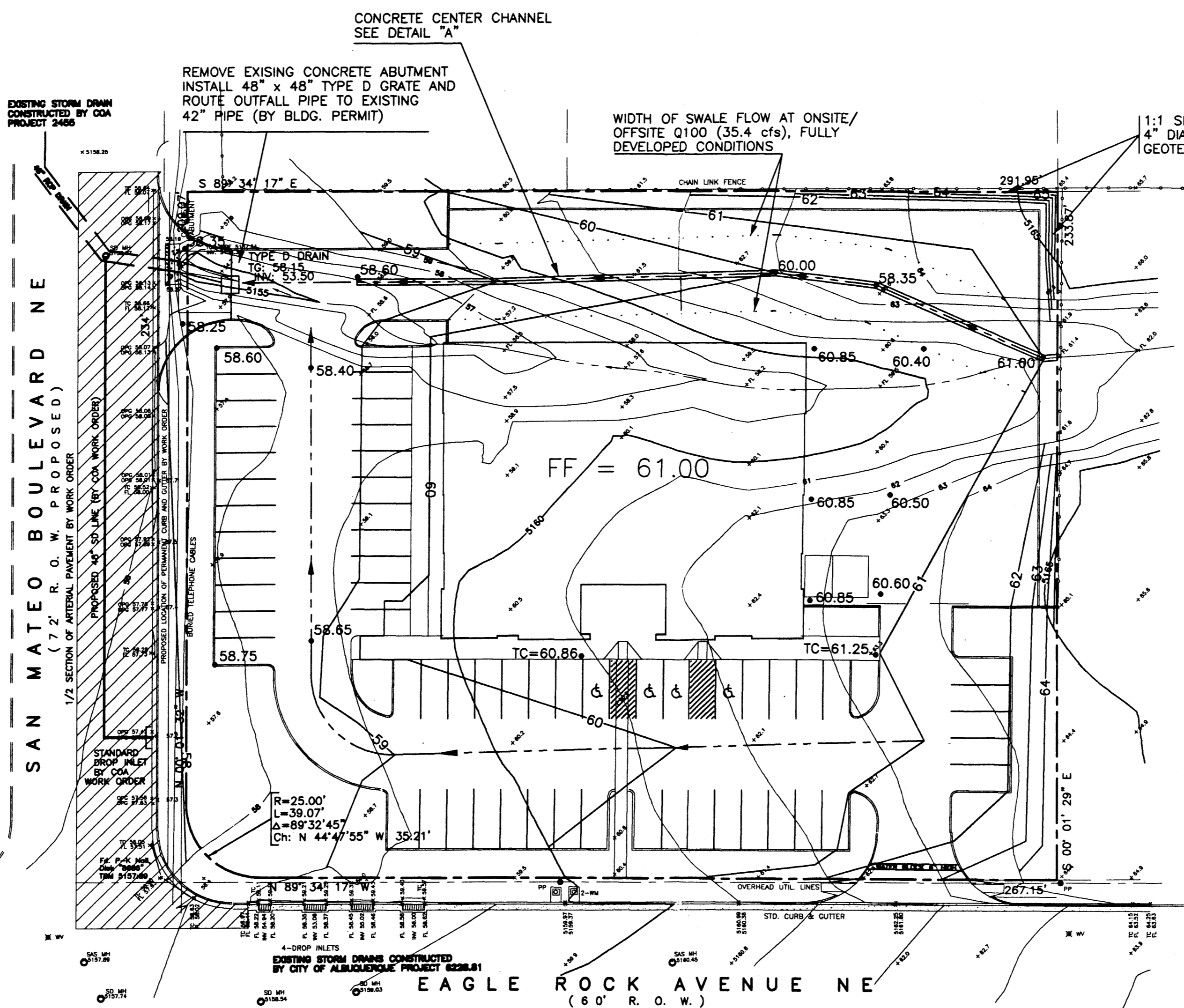
LEGAL DESCRIPTION / FLOOD NOTE

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

The above described property is located within Zone X, Community Parcel No. 350002.0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

DRAINAGE CONCEPT:

THIS SITE CURRENTLY FREE DISCHARGES TO THE CULVERT THAT DRAINS INTO THE SOUTH LA CUEVA CHANNEL. THE PROPOSED DRAINAGE CONCEPT IS TO CONTINUE TO FREE DISCHARGE DRAIN TO THE SOUTH LA CUEVA CHANNEL VIA EXISTING STORM DRAINS LOCATED WITHIN SAN MATEO BOULEVARD, NE. OFFSITE FLOWS WILL BE ACCOMMODATED VIA A SWALE THROUGH THE PARKING LOT. THE ULTIMATE BUILDOUT ON THE OFFSITE CONTRIBUTORY FLOWS WILL CONTRIBUTE A TOTAL OF 27.9 CFS TO THE SUBJECT SITE. THESE FLOWS WILL BE CONTAINED IN A TRIANGULAR CHANNEL WITH 6:1 SIDE SLOPES. DEPTH OF THE CHANNEL WILL BE 0.5 FEET AND TOP WIDTH OF THE CHANNEL AT 100 YEAR FLOOD CONDITIONS WILL BE 10.3 FEET. BOTH THE ONSITE AND OFFSITE FLOWS WILL BE DIRECTED INTO A TYPE D INLET LOCATED AT THE NW CORNER OF THE PROPERTY THAT WILL DRAIN INTO THE EXISTING 42" PIPE IN PLACE.



ONSITE HYDROLOGY

DRAINAGE DATA - Elite Dri-Wall
THIS SITE LIES WITHIN PRECIPITATION ZONE 3

| Condition | Storm Return Period, Table 4 (Years) | Treatment Type | Treatment Area (sq. ft.) | Excess Precip. Table A-8 (in.) | Peak Runoff Table A-9 (cfs/ac) | Runoff Volume (cu. Ft.) | Runoff Rate (cfs) |
|-------------|--------------------------------------|----------------|--------------------------|--------------------------------|--------------------------------|-------------------------|-------------------|
| EXISTING | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 70,198 | 0.92 | 2.60 | 5,381.8 | 4.19 |
| | | C | 0 | 1.29 | 3.45 | 0.0 | 0.00 |
| | | D | 0 | 2.36 | 5.02 | 0.0 | 0.00 |
| EXISTING | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 70,198 | 0.36 | 1.19 | 2,105.9 | 1.92 |
| | | C | 0 | 0.62 | 2.00 | 0.0 | 0.00 |
| | | D | 0 | 1.50 | 3.39 | 0.0 | 0.00 |
| DEVELOPED | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 10,771 | 0.92 | 2.60 | 825.8 | 0.64 |
| | | C | 0 | 1.29 | 3.45 | 0.0 | 0.00 |
| | | D | 59,427 | 2.36 | 5.02 | 11,687.4 | 6.85 |
| DEVELOPED | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 10,771 | 0.36 | 1.19 | 323.1 | 0.29 |
| | | C | 0 | 0.62 | 2.00 | 0.0 | 0.00 |
| | | D | 59,427 | 1.50 | 3.39 | 7,428.4 | 4.62 |
| TOTAL (EXT) | 100 | | | | | 5,381.8 | 4.2 |
| | 10 | | | | | 2,105.9 | 1.9 |
| TOTAL (DEV) | 100 | | | | | 12,513.2 | 7.5 |
| | 10 | | | | | 7,751.6 | 4.9 |

FLOW RATE WILL INCREASE BY 2.6 CFS AND 3.0 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 7131 CUBIC FEET FOR THE 100-YEAR STORM & 5646 CUBIC FEET FOR THE 10-YEAR STORM.

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS A BASIN OF APPROXIMATELY 6 ACRES. OFFSITE FLOWS ARE BASED UPON FULLY DEVELOPED CONDITIONS WITH A MAXIMUM 85% IMPERMEABLE SURFACE AND 15% LANDSCAPING. A FLOW INCREASE OF 12.3 CFS IS EXPECTED AT FULLY DEVELOPED CONDITIONS. DRAINAGE SWALE AND DROP INLETS ARE DESIGNED TO FULLY DEVELOPED CONDITIONS OF 27.9 CFS.

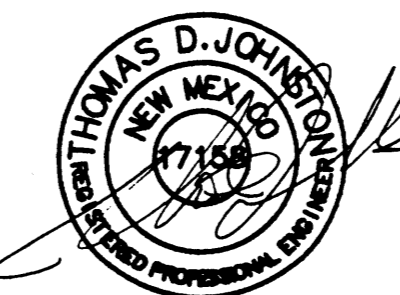
DRAINAGE DATA - Offsite flows, Elite Dri-Wall
THIS SITE LIES WITHIN PRECIPITATION ZONE 3

| Condition | Storm Return Period, Table 4 (Years) | Treatment Type | Treatment Area (sq. ft.) | Excess Precip. Table A-8 (in.) | Peak Runoff Table A-9 (cfs/ac) | Runoff Volume (cu. Ft.) | Runoff Rate (cfs) |
|-------------|--------------------------------------|----------------|--------------------------|--------------------------------|--------------------------------|-------------------------|-------------------|
| EXISTING | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 261,360 | 0.92 | 2.60 | 20,037.6 | 15.60 |
| | | C | 0 | 1.29 | 3.45 | 0.0 | 0.00 |
| | | D | 0 | 2.36 | 5.02 | 0.0 | 0.00 |
| EXISTING | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 261,360 | 0.36 | 1.19 | 7,840.8 | 7.14 |
| | | C | 0 | 0.62 | 2.00 | 0.0 | 0.00 |
| | | D | 0 | 1.50 | 3.39 | 0.0 | 0.00 |
| DEVELOPED | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 39,204 | 0.92 | 2.60 | 3,005.6 | 2.34 |
| | | C | 0 | 1.29 | 3.45 | 0.0 | 0.00 |
| | | D | 222,156 | 2.36 | 5.02 | 43,690.7 | 25.60 |
| DEVELOPED | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 39,204 | 0.36 | 1.19 | 1,176.1 | 1.07 |
| | | C | 0 | 0.62 | 2.00 | 0.0 | 0.00 |
| | | D | 222,156 | 1.50 | 3.39 | 27,769.5 | 17.29 |
| TOTAL (EXT) | 100 | | | | | 20,037.6 | 15.6 |
| | 10 | | | | | 7,840.8 | 7.1 |
| TOTAL (DEV) | 100 | | | | | 46,696.3 | 27.9 |
| | 10 | | | | | 28,945.6 | 18.4 |

FLOW RATE WILL INCREASE BY 12.3 CFS AND 11.3 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 26659 CUBIC FEET FOR THE 100-YEAR STORM & 21105 CUBIC FEET FOR THE 10-YEAR STORM.

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158



DRAINAGE AND GRADING PLAN
ELITE DRI-WALL

TDC ENGINEERING, INC. (505)266-7256
330 LOUISIANA BLVD. NE, ALBUQUERQUE, NM 87108
Fax: (505) 255-2887



Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

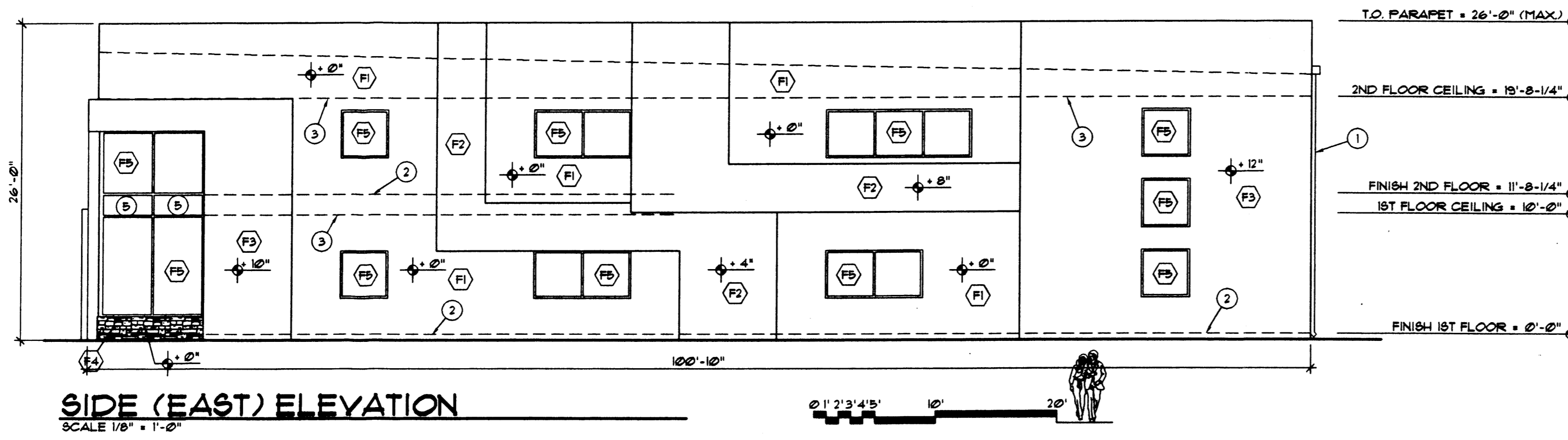
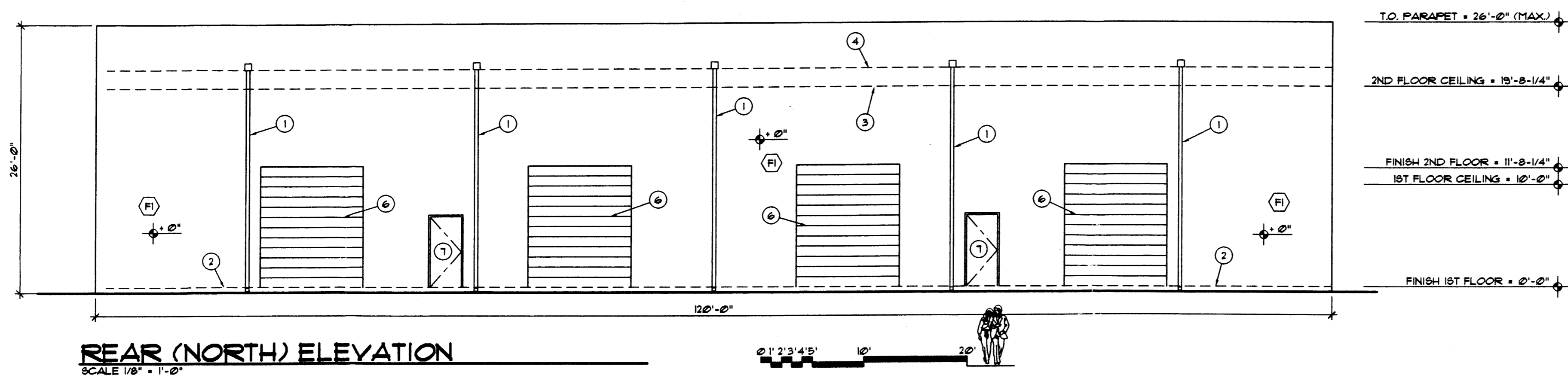
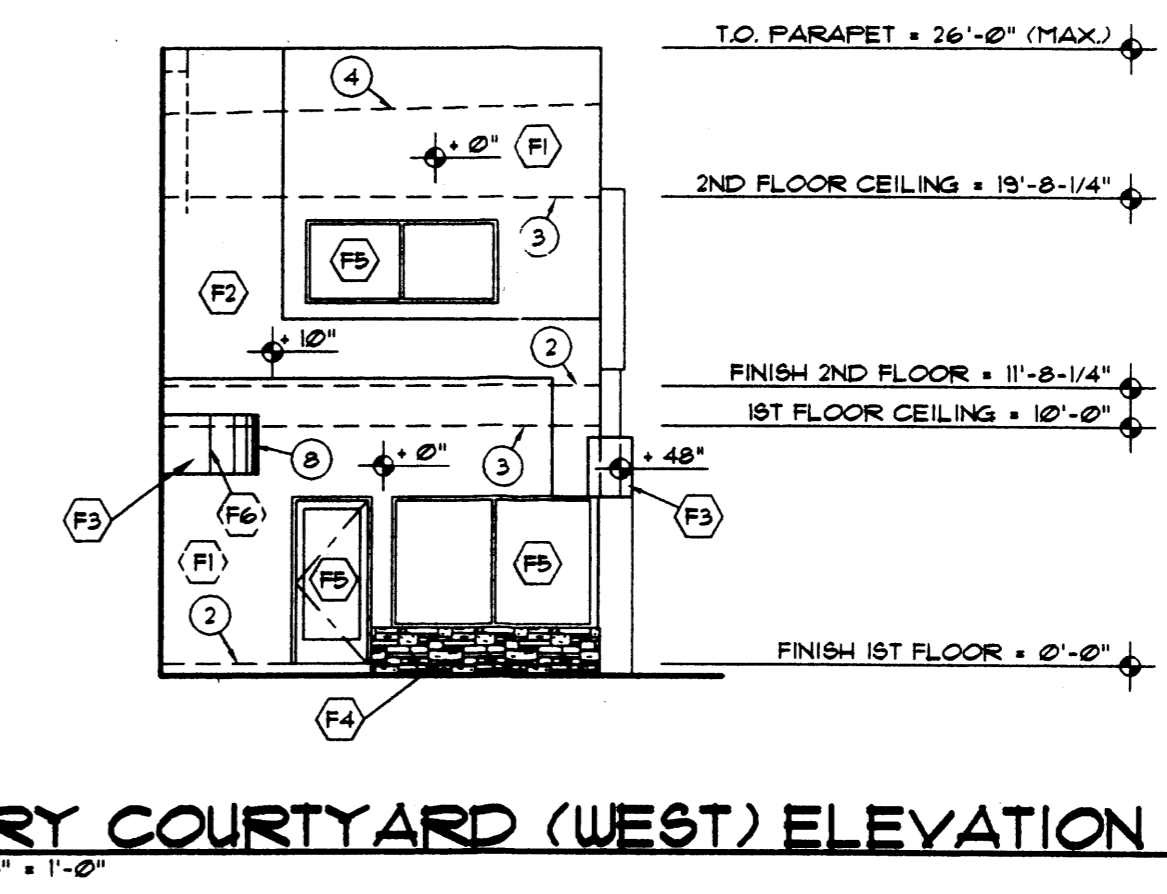
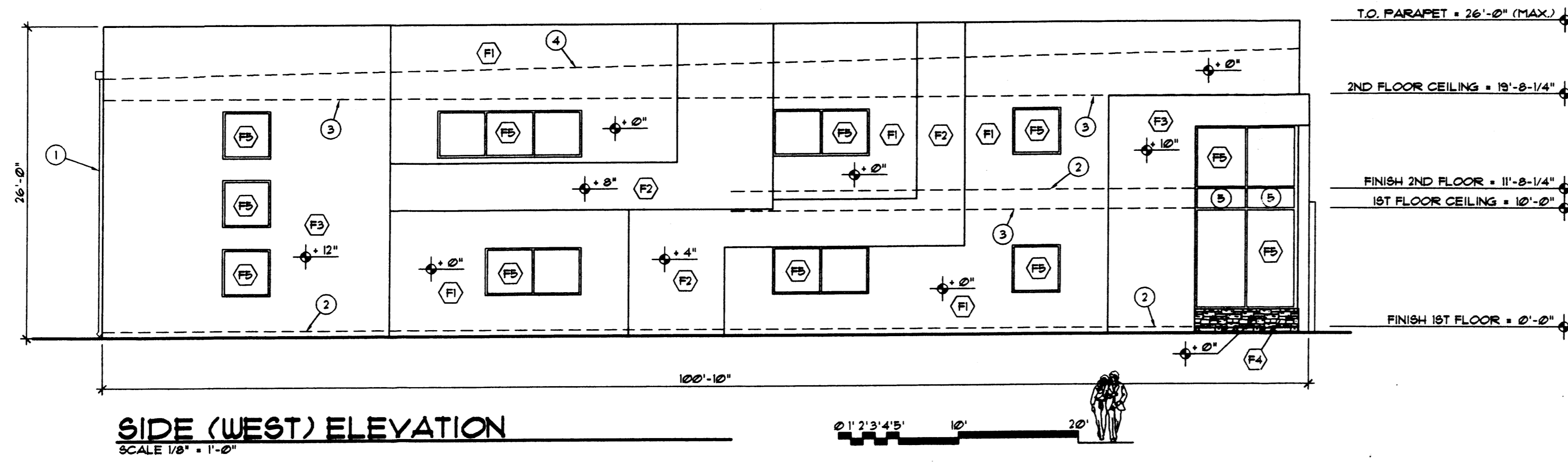
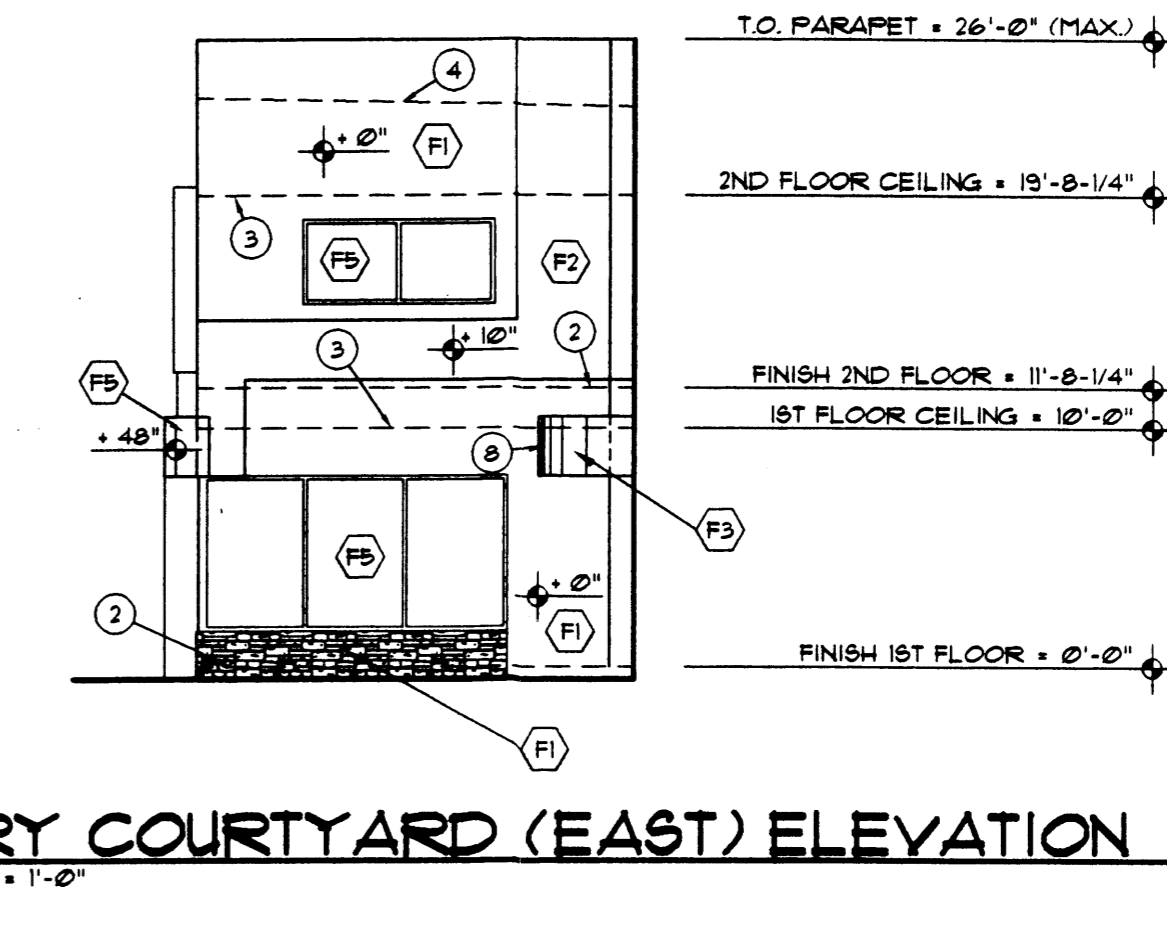
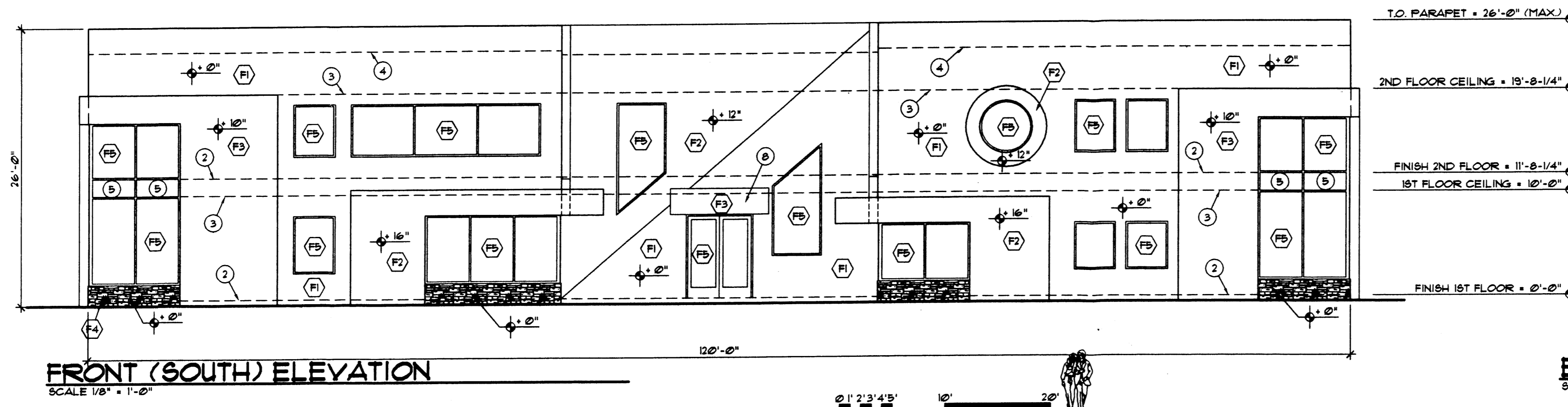
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OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

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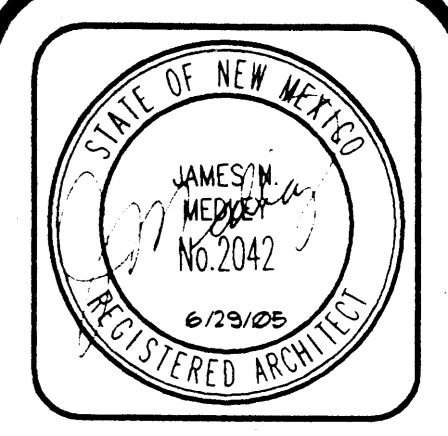
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- Exterior Finishes**
- (F1) MAIN STUCCO COLOR: (PALE BEIGE)
(RALPH LAUREN-FAIRVIEW DOME)
 - (F2) ACCENT STUCCO COLOR #1: (MEDIUM BEIGE)
(RALPH LAUREN-LYNDHURST MUSHROOM)
 - (F3) ACCENT STUCCO COLOR #2: (DARK BROWN)
(RALPH LAUREN-DRIED THISTLE)
 - (F4) CULTURED STONE VENEER (BROWN TONES)
 - (F5) ALUMINUM STOREFRONT GLAZING: BRONZE ANODIZED FINISH

- Notes Specific to Sheet**
- 1 SCUPPER AND DOWNSPOUT, PAINT TO MATCH ADJACENT WALL COLOR
 - 2 FLOOR LINE BEYOND.
 - 3 CEILING LINE BEYOND.
 - 4 ROOF LINE BEYOND.
 - 5 SPANDREL GLASS TO HIDE FLOOR STRUCTURE.
 - 6 METAL OVERHEAD DOOR, PAINT TO MATCH ADJACENT WALL COLOR.
 - 7 HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR.
 - 8 CURVED ENTRY COVER.

12" MARK INDICATES SURFACE PROJECTION FROM STRUCTURAL WALL.



JIM MEDLEY, Architect
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Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 04105
Date: June 05
Drawn by: JMT
Checked by: JMT

Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

| No. | Revision / Issue | Date: |
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Sheet Description
PRELIMINARY EXTERIOR ELEVATIONS

Sheet:
A1