



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-01286 (P&F)**
Project Name: **NO ALBUQ. ACRES, UNIT B**
Agent: **Wayjohn Surveying**

Project #: **1004300**
Phone No.: **255-2052**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 10-28-09 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - update utility signatures

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

[Handwritten initials]

OK

Project Number 1004300



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-01286 (P&F)**

Project #: **1004300**

Project Name: **NO ALBUQ. ACRES, UNIT B**

Agent: **Wayjohn Surveying**

Phone No.: **255-2052**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 10-28-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): - update utility signatures
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

[Handwritten initials]

OK

Project Number

1004300

3. **Project# 1001939**
09DRB-70322 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
BOHANNAN HUSTON INC agent(s) for UGENIA MECCI request(s) the above action(s) for all or a portion of Lot(s) 5, **CIELO OESTE Unit(s) 3**, zoned R-D, located on CASA FLORIDA PL NW BETWEEN GUNNISON NW AND CASA VISTOSA NW containing approximately 0.1252 acre(s). (H-9) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT OF FIELD DIMENSIONS AND TO PLANNING TO RECORD AND AGIS DXF FILE.**

4. **Project# 1007999**
09DRB-70305 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
BOHANNAN HUSTON INC agent(s) for EXPLORA EDUCATIONAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 2, zoned S-MI, located on SOUTHWEST CORNER OF 18TH ST NW AND BELLAMAH NW (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR EASEMENTS AND TO PLANNING FOR AGIS DXF FILE.**

5. **Project# 1007011**
09DRB-70279 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
WAYJOHN SURVEYING INC agent(s) for RED ROCK CAPITAL request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, Block(s) 39, **RAYNOLDS ADDITION** zoned SU-2 / R-2, located on ON COAL AVE SW BETWEEN 8TH ST SW & 9TH ST SW containing approximately 0.1629 acre(s). (K-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EXPIRATION OF APPEAL PERIOD FOR VARIANCE.**

6. ~~**Project# 1004300**~~
05DRB-01286 MINOR-PRELIM&FINAL
PLAT APPROVAL
WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] [*Deferred from 8/17/05, 8/24/09*] (C-18) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR UPDATED UTILITY SIGNATURES**

7. **Project# 1003475**
09DRB-70331 MINOR - TEMP DEFR
SWDK CONST
FELIX RABADI agent(s) for FELIX RABADI request(s) the above action(s) for all or a portion of Tract(s) 1, **PARADISE VIEW** zoned R-LT, located on PARADISE BLVD NW BETWEEN UNIVERSE NW AND UNSER NW containing approximately 13 acre(s). (B-10/11) **A TWO YEAR EXTENSION TO THE 4-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

October 28, 2009

DRB Comments

ITEM # 6

PROJECT # 1004300

APPLICATION # 05-01286

**RE: Lots 31 -32, Block 9, Tract A, Unit B, North Albuquerque
Acres**

Updated signatures are needed for the Final Plat, to include Environmental Health Department. It appears the Heading: Owner is needed for the Free Consent statement.

Please remove zoning note (3.) from Final Plat. A Solar Note consistent with § 14-14-4-7 is required, specific to this type of request, i.e. use the words "THIS PLAT" (rather than the words "REQUESTED FINAL ACTION") at the beginning of the note, and do not use the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 6

SUBJECT:

~~Final Plat~~

Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

NM 87103

RESOLUTION:

APPROVED **DENIED** **DEFERRED** **COMMENTS PROVIDED** **WITHDRAWN**

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: October 28, 2009

4300

DXF Electronic Approval Form

DRB Project Case #: 1004300

Subdivision Name: N ABQ ACRES UNIT B TRACT A BLOCK 9 LOT 31A

Surveyor: THOMAS D JOHNSTON

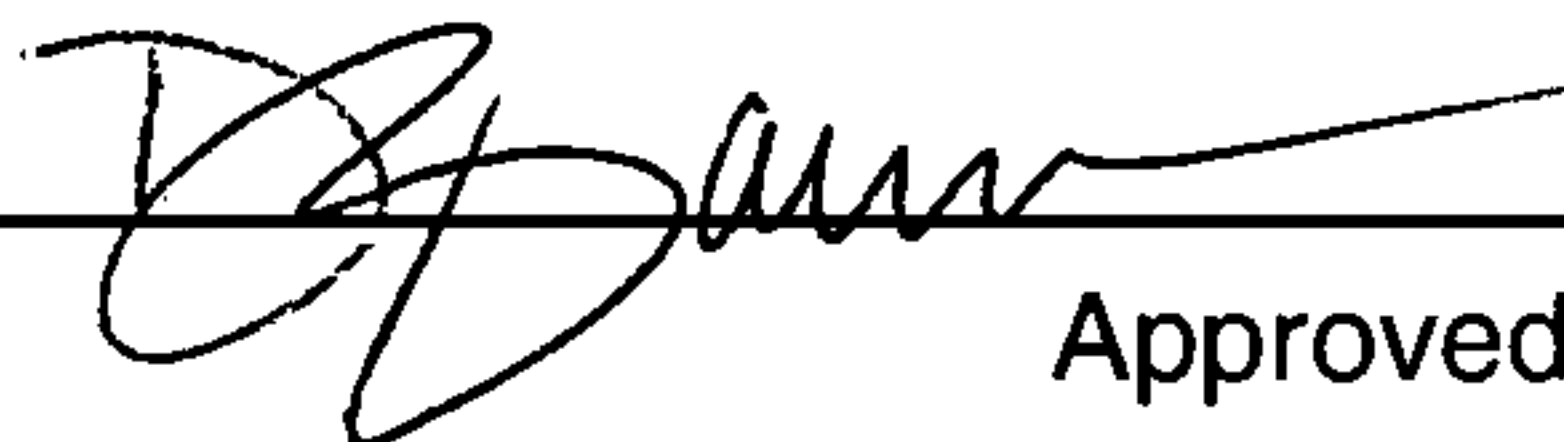
Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 10/26/2009

Hard Copy Received: 10/26/2009

Coordinate System: NMSP Grid (NAD 27)


Approved

10.26.2009
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc **4300** to agiscov on **10/26/2009** Contact person notified on **10/26/2009**



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 12, 2009

Project# 1004300
09DRB-70262 EXT OF MAJOR PRELIMINARY PLAT

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2/M1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND I-25 containing approximately 1.9986 acre(s).

At the August 12, 2009 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Jack Cloud, AICP, DRB Chair

Cc:
Wayjohn Surveying Inc. – Tom Johnston – 330 Louisiana Blvd NE –
Albuquerque, NM 87108

Elite Dri-Wall – Robert Navarette – 5201 Eagle Rock Ave. NE – Albuquerque,
NM 87113

Marilyn Maldonado
File

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

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5. **Project# 1004300**
09DRB-70262 EXT OF MAJOR
PRELIMINARY PLAT

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2/M1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND I-25 containing approximately 1.9986 acre(s). **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

6. **Project# 1004510**
09DRB-70252 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

EVANGEL CHRISTIAN CENTER request(s) the above action(s) for all or a portion of Tract(s) N, **MONTGOMERY HEIGHTS ADDITION** zoned SU-1 FOR CHURCH, located on MONTGOMERY BLVD NE BETWEEN JEFFERSON NE AND SAN MATEO NE containing approximately 3.9661 acre(s). (F-17)**INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

- Project# 1007798**
09DRB-70261 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

PAIKI agent(s) for CITY OF ALBUQUERQUE PARKS AND RECREATION requests) the above action(s) for all or a portion of Lot(s) F-1, F-2, & F-3, **VENTANA RANCH**, zoned R-LT, located on UNIVERSE NW BETWEEN PARADISE NW AND IRVING BLVD NW containing approximately 17.2104 acre(s). (B-10) **WITH THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO ABCWUA FOR EASEMENT AND TO PLANNING DEPARTMENT FOR AMAFCA, LINE DATA AND 20 FT STORM DRAIN EASEMENT.**

8. **Project# 1000985**
09DRB-70256 EXTENSION OF
SUBDIVISION IMPROVEMENTS
AGREEMENT

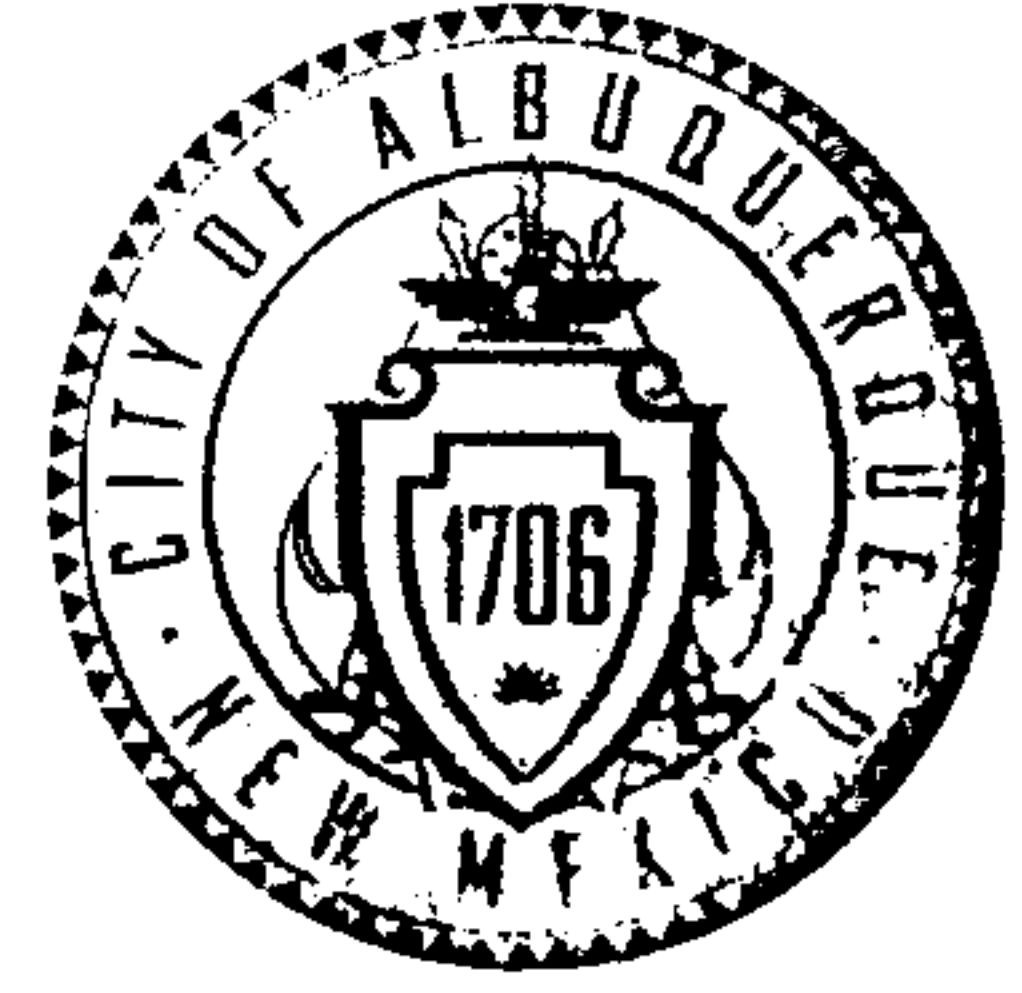
PALOMAS INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 1-A, zoned SU-2 C-1, located on SAN PEDRO DRIVE NE BETWEEN RANCHITOS AVE NE AND PALOMAS AVE NE containing approximately 2.9 acre(s). (D-18-Z)*[Deferred from 8/5/09]***WITHDRAWN AT THE AGENT'S REQUEST.**

**NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

9. **Project# 1002068**
09DRB-70264 SKETCH PLAT REVIEW
AND COMMENT

MARK GOODWIN AND ASSOCIATES PA agent(s) for YES HOUSING request(s) the above action(s) for all or a portion of Tract(s) 150 & 151, **TOWN OF ATRISCO GRANT**, zoned RT, located on GONZALEZ RD BETWEEN COORS AND BATAAN containing approximately 6.54 acre(s). (K-10 & L-10)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 5

SUBJECT:

Preliminary Plat Ext

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request but asks why this project is held up.

Albuquerque

NM 87103

RESOLUTION:

APPROVED X¹⁻⁷; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

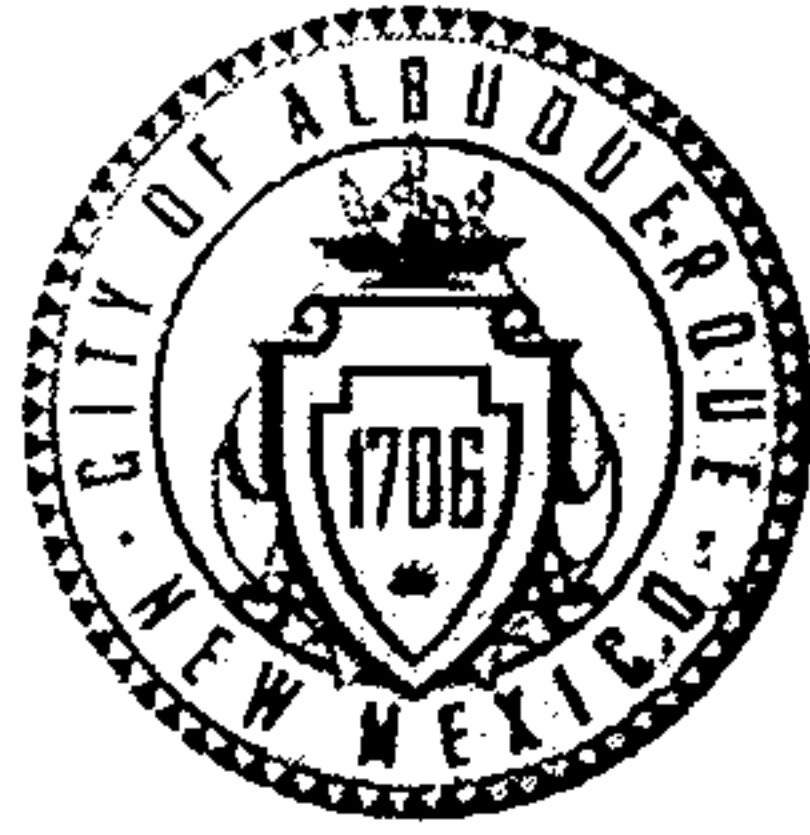
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: August 12, 2009



**DEVELOPMENT REVIEW BOARD
Action Sheet**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 30, 2008
MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. Project# 1007137**
08DRB-70097 VACATION OF PUBLIC
RIGHT-OF-WAY

ISMELDA F. FLORES request(s) the above/ referenced action(s) for all or a portion of the alley at the rear of Lot(s) 1, Block B, **CACY SUBDIVISION** zoned R-2, located on the east side of CORONA DR NW BETWEEN PHEASANT AVE NW AND FLAMINGO AVE NW. (G-11) [Deferred from 3/26/08, 5/7/08 & 7/16/08] **DEFERRED TO 10/29/08 AT THE AGENT'S REQUEST.**
- 2. Project# 1003604**
08DRB-70298 VACATION OF PUBLIC
EASEMENT

ALPHA PROFESSIONAL SURVEYING agent(s) for ANTHONY MONTOYA JR request(s) the above action(s) for all or a portion of Lot(s) A, **MIRA MESA ESTATES** zoned R-2, located on TELSTAR LOOP NW BETWEEN 68TH ST NW AND GLENRIO RD NW containing approximately .2353 acre(s). (J-10) **DEFERRED TO 8/6/08 AT THE AGENT'S REQUEST.**
- 3. Project# 1007139**
08DRB-70299 VACATION OF PUBLIC
EASEMENT
08DRB-70304 SIDEWALK WAIVER
08DRB-70305 MINOR - TEMP DEFR
SWDK CONST
08DRB-70306 MAJOR - PRELIMINARY
PLAT APPROVAL
08DRB-70307 MAJOR - SDP FOR
SUBDIVISION

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) 3-A & 4-A, **JUAN TABO HILLS Unit(s) 1**, zoned RD, SU-1, located on JUAN TABO BLVD SE BETWEEN GULFSTREAM DR SE AND TIJERAS ARROYO containing approximately 14.3953 acre(s). (M-22) **DEFERRED TO 8/20/08 AT THE AGENT'S REQUEST.**

4. **Project# 1007140**
08DRB-70297 VACATION OF PUBLIC EASEMENT
08DRB-70300 SIDEWALK WAIVER
08DRB-70301 MINOR - TEMP DEFR SWDK CONST
08DRB-70302 MAJOR - SDP FOR SUBDIVISION
08DRB-70303 MAJOR - PRELIMINARY PLAT APPROVAL

MARK GOODWIN AND ASSOCIATES PA agent(s) for JUAN TABO HILLS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2-A, A-C, **JUAN TABO HILLS, UNIT 1** zoned AD, SU-1, located on JUAN TABO BLVD BETWEEN VIA POSADA RD AND JULFSTREAM DR containing approximately 41.0242 acre(s). (M-22) **DEFERRED TO 8/27/08 AT THE AGENT'S REQUEST.**

5. **Project# 1003688**
08DRB-70290 VACATION OF PUBLIC EASEMENT
08DRB-70291 VACATION OF PRIVATE EASEMENT

SURV-TEK INC agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 9, **THE TRAILS Unit(s) 3A**, zoned SU-2 FOR SRSL 26, SU-1 FOR SCHOOL, PARK, OPEN SPACE & FUTURE ROW, located on WOODMONT AVE NW BETWEEN RAINBOW BLVD NW AND PASEO DEL NORTE NW containing approximately 25.25 acre(s). (C-9100906413032322306) *[Deferred from 7/23/08]* **DEFERRED TO 8/6/08 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

6. **Project# 1006976**
08DRB-70327 EPC APPROVED SDP FOR BUILD PERMIT

DAVID OBERSTEIN agent(s) for MEMORIAL VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) A, **SECTION 21, T. 10 N. R 3E NMPM** zoned SU-2 / RO, located on CENTRAL SE BETWEEN ELM SE AND GOLD AVE SE containing approximately 2.27 acre(s). (K-15) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION TO PROVIDE A COPY OF 1953 PLAT AND FOR COMMENTS AND TO PLANNING TO SHOW FIRELINE AND EXISTING WATER METERS ON SITE PLAN.**

7. **Project# 1007313**
08DRB-70329 EPC APPROVED SDP FOR BUILD PERMIT

JOHN FRIEDMAN, AIA agent(s) for DR CHARLES PACE request(s) the above action(s) for all or a portion of Lot(s) 3, **BOSQUE PLAZA SUBDIVISION** zoned C-1 (CS), located on BOSQUE PLAZA LANE, NW BETWEEN LA ORILLA, NW AND COORS BLVD NW containing approximately .5161 acre(s). (E-12) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING TO ADD FIRE HYDRANT AND TO MOVE SEWER SERVICE AND TO SIGN AFTER 8/1/08.**

8. **Project# 1000650**
08DRB-70237 EPC APPROVED SDP
FOR BUILD PERMIT

GEORGE RAINHART & ASSSOC. agent(s) for NEW MEXICO EDUCATORS FEDERAL CREDIT UNION request(s) the above action(s) for all or a portion of Lot(s) 2A, **LAMONICA & WENK**, zoned SU-1 / C-1, located on COORS BLVD AND RIO BRAVO containing approximately 1.55 acre(s). (P-10) [Deferred from 5/28/08, 6/4/08, 6/11/08, 6/25/08, 7/9/08 & 7/23/08] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO CITY ENGINEER FOR SIA AND FOR SOLID WASTE SIGN OFF. 3 COPIES OF APPROVED SITE PLAN MUST BE PROVIDED TO PLANNING.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project# 1001449**
08DRB-70332 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ABQ ENGINEERING agent(s) for DT KABD DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 9, Block(s) A, **KIRTLAND ADDITION Unit(s) 2**, zoned C-1, located on GIBSON SE BETWEEN UNIVERSITY SE AND YALE SE containing approximately 3.254 acre(s). (M-15) **DEFERRED TO 8/6/08 AT THE AGENT'S REQUEST.**

10. **Project# 1004607**
08DRB-70334 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WILSON & COMPANY agent(s) for SALLS BROTHERS CONSTRUCTION INC request(s) the above action(s) for all or a portion of Block(s) 15 & 16, **VISRA VIEJA Unit(s) 3**, zoned RD, located on GROUNDSEL RD NW BETWEEN METE SOT NW AND VISTA TERRAZA DR NW containing approximately 6.32 acre(s). (D-9) **DEFERRED TO 8/6/08 AT THE AGENT'S REQUEST.**

11. **Project# 1004300**
08DRB-70330 EXT OF MAJOR
PRELIMINARY PLAT

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 9, **TRACT A, NORTH ALBUQUERQUE ACRES Unit(s) B,** zoned SU-2/M1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25 containing approximately 1.9986 acre(s). (C-18) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

12. **Project# 1007314**
08DRB-70331 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

WAYJOHN SURVEYING INC agent(s) for SLICE PIE LLC request(s) the above action(s) for all or a portion of Lot(s) 1-3 & 32-34, Block(s) 3, **EAST CENTRAL BUSINESS ADDITION** zoned C-2, located on CENTRAL AVE SE BETWEEN ELIZABETH ST SE AND DOROTHY ST SE containing approximately 1.1641 acre(s). (L-21) **THE PRELIMINARY/FINAL PLAT WAS APPROVED. AGIS DXF FILE MUST BE PROVIDED TO PLANNING IN ADDITION TO A COPY OF THE RECORDED PLAT.**

13. **Project# 1007342**
08DRB-70336 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

ERANEST H LEGER agent(s) for ERANEST H LEGER request(s) the above action(s) for all or a portion of **ROSSITER ADDITION** zoned R-1, located on 11TH ST NW BETWEEN BELLROSE AVE NW AND GRIEGOS RD NW containing approximately .4598 acre(s). (F-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR 20 FOOT RADIUS DEDICATION AND TO PLANNING FOR AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project# 1006982**
08DRB-70328 SKETCH PLAT REVIEW
AND COMMENT

CARTESIAN SURVEYS INC agent(s) for KBCK, LLC request(s) the above action(s) for all or a portion of Lot(s) 13, Block(s) 3, **FRANCISCAN ACRES** zoned SUK-2, R-T, located on BROADWAY BLVD SE BETWEEN MENAUL BLVD SE AND INTERSTATE 40 containing approximately .338 acre(s). (H-14)**THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project# 1006936**
08DRB-70335 SKETCH PLAT REVIEW
AND COMMENT

RIO GRANDE SURVEYING CO agent(s) for COA REAL ESTATE OFFICES request(s) the above action(s) for all or a portion of Block(s) 29, **TRANSPORTATION CENTER SUBDIVISION** zoned SU-3, located on 2ND ST SW BETWEEN LEAD SW AND GOLD SW containing approximately 3.3 acre(s). (K-14) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Other Matters: None.

ADJOURNED: 11:30



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 30, 2008

Project# 1004300
08DRB-70330 EXT OF MAJOR PRELIMINARY PLAT

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 9, **TRACT A, NORTH ALBUQUERQUE ACRES Unit(s) B,** zoned SU-2/M1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25 containing approximately 1.9986 acre(s). (C-18)

At the July 30, 2008 Development Review Board meeting, the one-year extension of the preliminary plat was approved.

The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



Jack Cloud, AICP, DRB Chair

Cc: WayJohn Surveying Inc. – 330 Louisiana Boulevard NE – Albuquerque, NM 87108
Cc: Elite Dri-Wall – Robert Navarette – 870 E. Hwy 66 – Albuquerque, NM 87059

#11




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 28, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Wayjohn Surveying Inc.

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1004300, 08DRB-70330 Extension of Major Preliminary Plat, Lots 31 and 32, Block 9, Tract A, North Albuquerque Acres Unit B, Located on Eagle Rock Ave. NE Between San Mateo Blvd. NE and Interstate 25.

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Coronado Landfill). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 1, 2007

8. Project# 1004300
07DRB-70158 EXT OF MAJOR PRELIMINARY PLAT

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block 9, Tract A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-1/M-1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25 NE containing approximately 1.9986 acre(s). (C-18)

At the August 1, 2007, Development Review Board meeting, a one-year extension of the preliminary plat was approved.



Sheran Matson, AICP, DRB Chair

Cc: Wayjohn Surveying Inc, 330 Louisiana Blvd NE, 87108
Elite Dri-Wall, Robert Navarette 870 E Highway 66, 87059
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 1, 2007
DRB Comments**

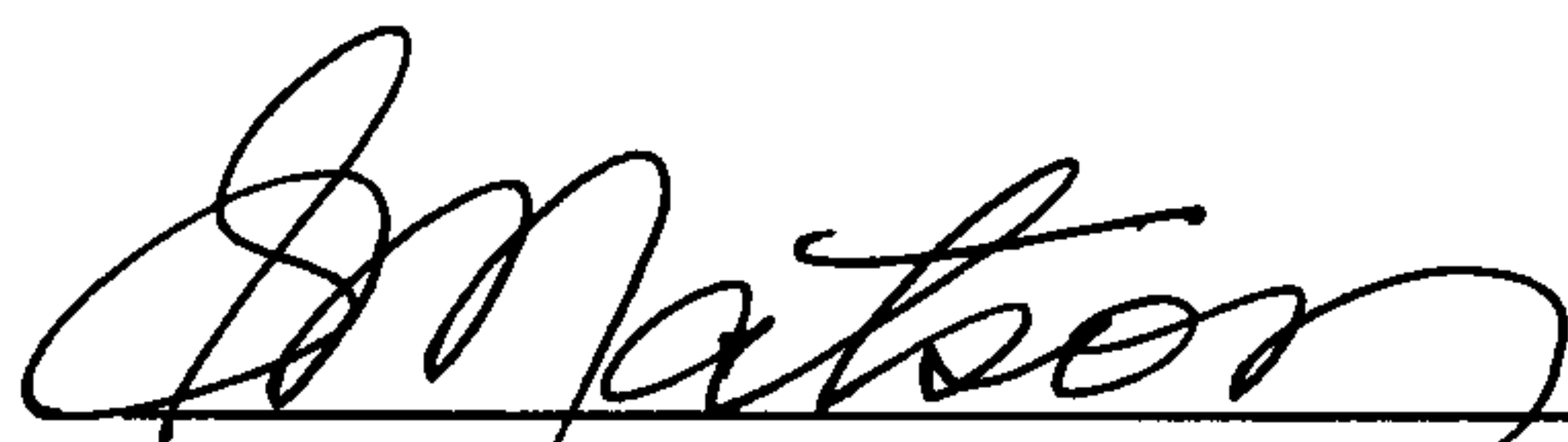
ITEM # 8

PROJECT #1004300

APPLICATION # 07-70158

RE: Lots 31 & 32, Block 9, Tract 9, N.A.A. Unit B/epp

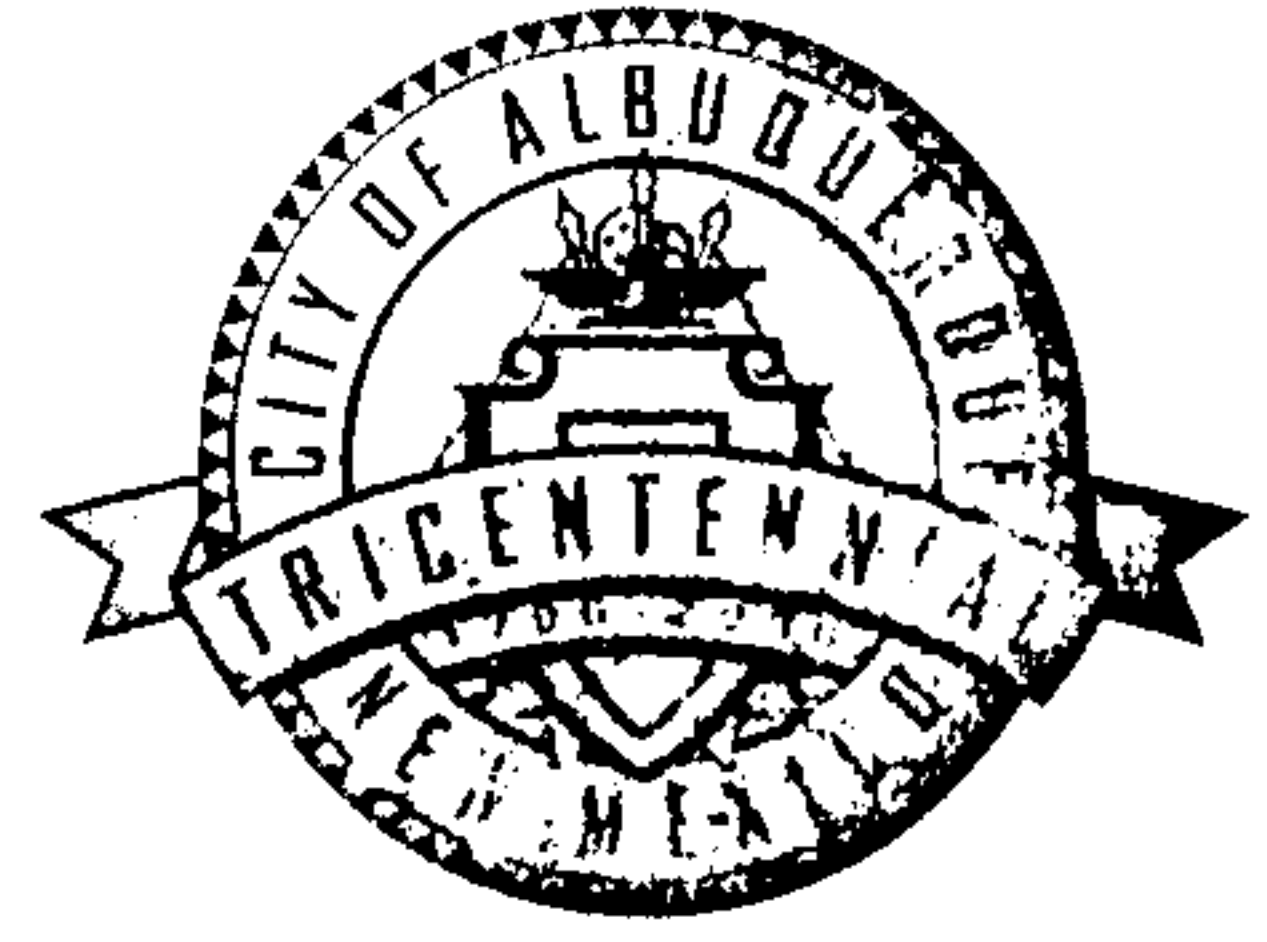
No objection to the requested one year extension. The first extension was granted on August 9, 2006. So this request is within the required one year time period per the City Subdivision Ordinance.



Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 8

SUBJECT:

Preliminary Plat – Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee 505-924-3986

DATE: AUGUST 1, 2007

0



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 9, 2006

9. Project # 1004300

06DRB-01088 Minor-Extension of Preliminary Plat

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/M-1, located on EAGLE ROCK AVE NE, between SAN MATEO BLVD NE and INTERSTATE 25 NE containing approximately 2 acre(s). (C-18)

At the August 9, 2006, Development Review Board meeting, a one-year extension of the preliminary plat was approved.



Sheran Matson, AICP, DRB Chair

Cc: Elite Dri-Wall, Attn: Robert Navarette, 870 Highway 66, 87059
Wayjohn Surveying Inc., 330 Louisiana Blvd NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 9

SUBJECT:

Preliminary Plat Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

P.O. Box 1293

No objection to extension request.

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION: *lyr*

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 9, 2006



"James P. Joseph"
<jjoseph@intera.com>
08/07/2006 03:56 PM

To <rmethvin@cabq.gov>, <SMatson@cabq.gov>
cc <CSenova@cabq.gov>, "Amy Andrews"
<aandrews@intera.com>, "David L. Jordan"
<djordan@intera.com>

bcc

Subject DRB agenda for August 9, 2006

Project No. 1004300 on the DRB agenda for August 9, 2006, is within the landfill buffer zone of the Coronado Landfill. The project (Elite Dri-wall, at Lots 31 & 32, Bock 9, Tract A, North Albuquerque Acres, Unit B) is before DRB for Minor-Extension of Preliminary Plat (06DRB-01088). The proposed development was originally reviewed and approved by the AEHD with regard to landfill gas mitigation recommendations. It is INTERA's understanding that the for this agenda item, the original plat will be used and AEHD signature approval has already been provided back in 2005; therefore, no additional action is required by the AEHD or DRB with respect to compliance with the Interim Guidelines. Should there be any design changes or plat addendums, the developer must first obtain AEHD approval of the changes.

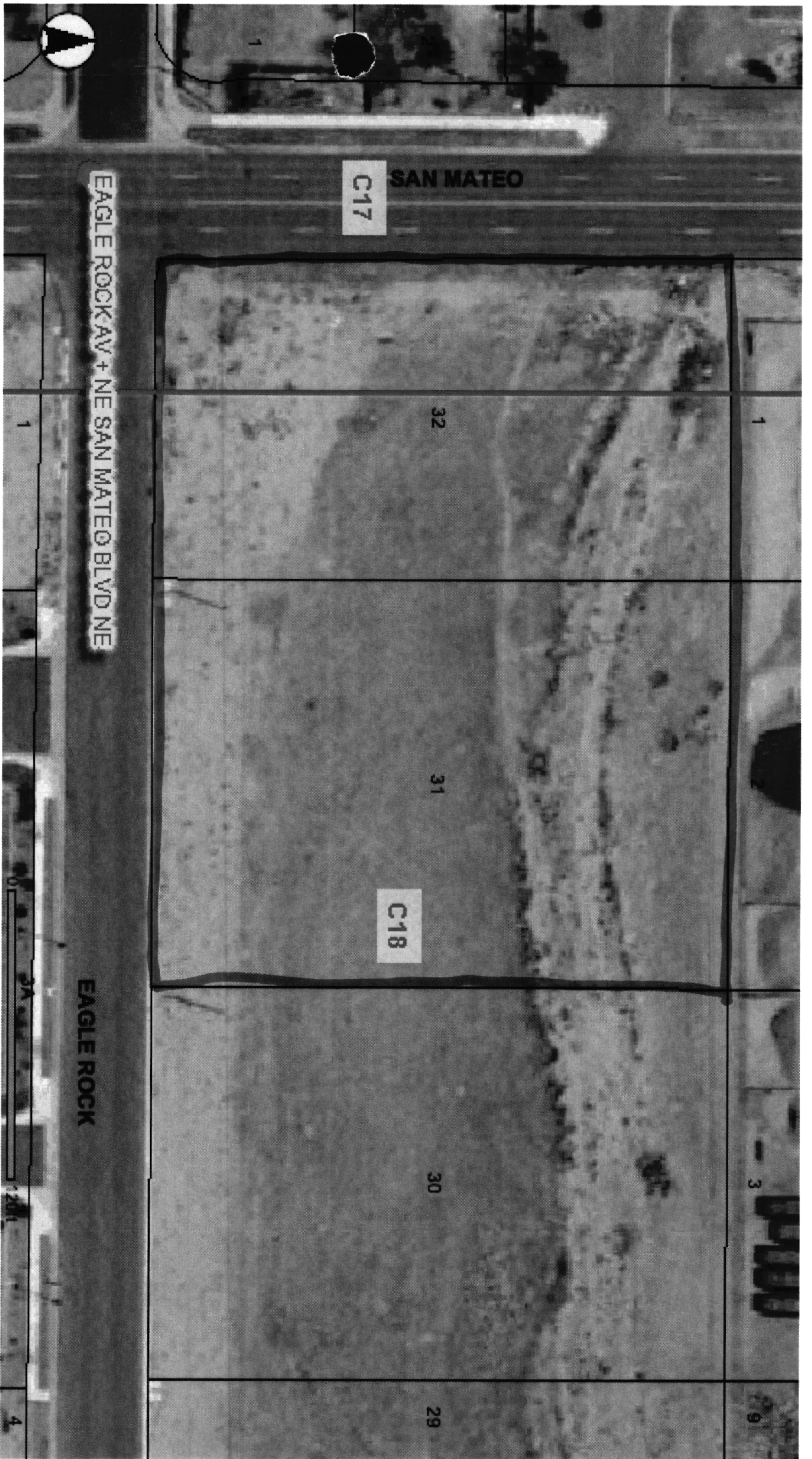
There are no other projects within landfill buffer zones on the DRB agenda for August 9, 2006.

Regards,

Jim Joseph

INTERA Inc.
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
505.246.1600 x1209

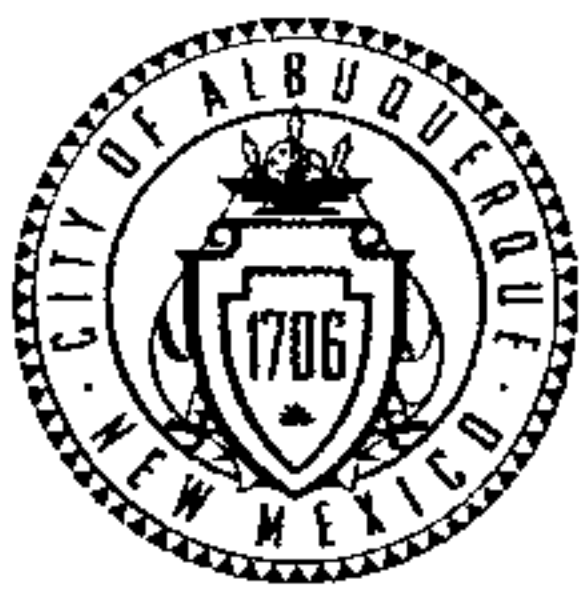
This email may contain confidential information or material protected by the attorney-client privilege. If you are not the intended recipient, please inform the sender by calling the above telephone number or replying by email.



#9

#1004300

8-9-06



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 24, 2005

11. Project # 1004300
05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). *[Deferred from 7/27/05 and 8/10/05 & 8/17/05] (C-18)*

At the August 24, 2005, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Planning for Environmental Health signature and 3 copies of the site plan.

05DRB-01286 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] *[Deferred from 8/17/05] (C-18)*

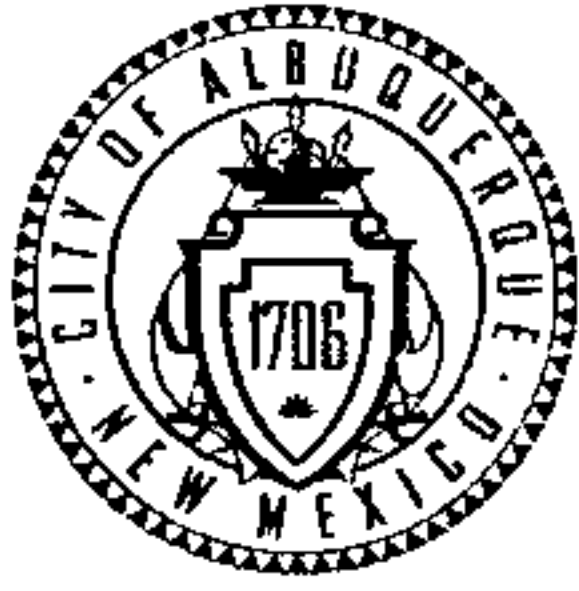
With the signing of the infrastructure list dated 8/24/05 and approval of the grading plan engineer stamp dated 8/22/05 the preliminary and final plat was approved with the following condition of final plat:

Environmental Health's signature must appear on the final plat.

The final plat was indefinitely deferred for the SIA.

If you wish to appeal this decision, you must do so by September 8, 2005, in the manner described below.


Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



**OFFICIAL NOTICE OF DECISION
PAGE 2**

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc:Robert Navarrette, 870 Highway 333 East, 87059
Jim Medley Architect, 3100 Christine St NE, 87111
Wayjohn Surveying Inc., 330 Louisiana Blvd NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



#11

COMPLETED 09/06/05 stt DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-01080 (SBP)**

Project # **1004300**

Project Name: **NO ALBQ. ACRES UNIT B**

Agent: **Jim Medley**

Phone No.: **292-3514**

Your request for ~~(SDP for SUB)~~, **(SDP for BP)**, (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/24/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): ~~15 day appeal period~~
~~Plat completed~~
~~HE HD signed~~
~~3 copies~~

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1004300



11

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01080 (SBP)

Project # 1004300

Project Name: NO ALBQ. ACRES UNIT B

Agent: Jim Medley

Phone No.: 292-3514

Your request for (SDP for SUB), (SDP for BP) (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/24/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

~~PLANNING (Last to sign): 15 day appeal period
Replat completion
HE HD signed
3 copies~~

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE. _____
- Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.

- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number

1004300

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004/300 AGENDA#: 11 DATE: 8/24/05

1. Name: Jim MEDLEY Address: 3100 CRISTIE RD Zip: 87111

2. Name: THOMAS SAWSTON Address: 330 LOUISIANA ME Zip: 87108

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

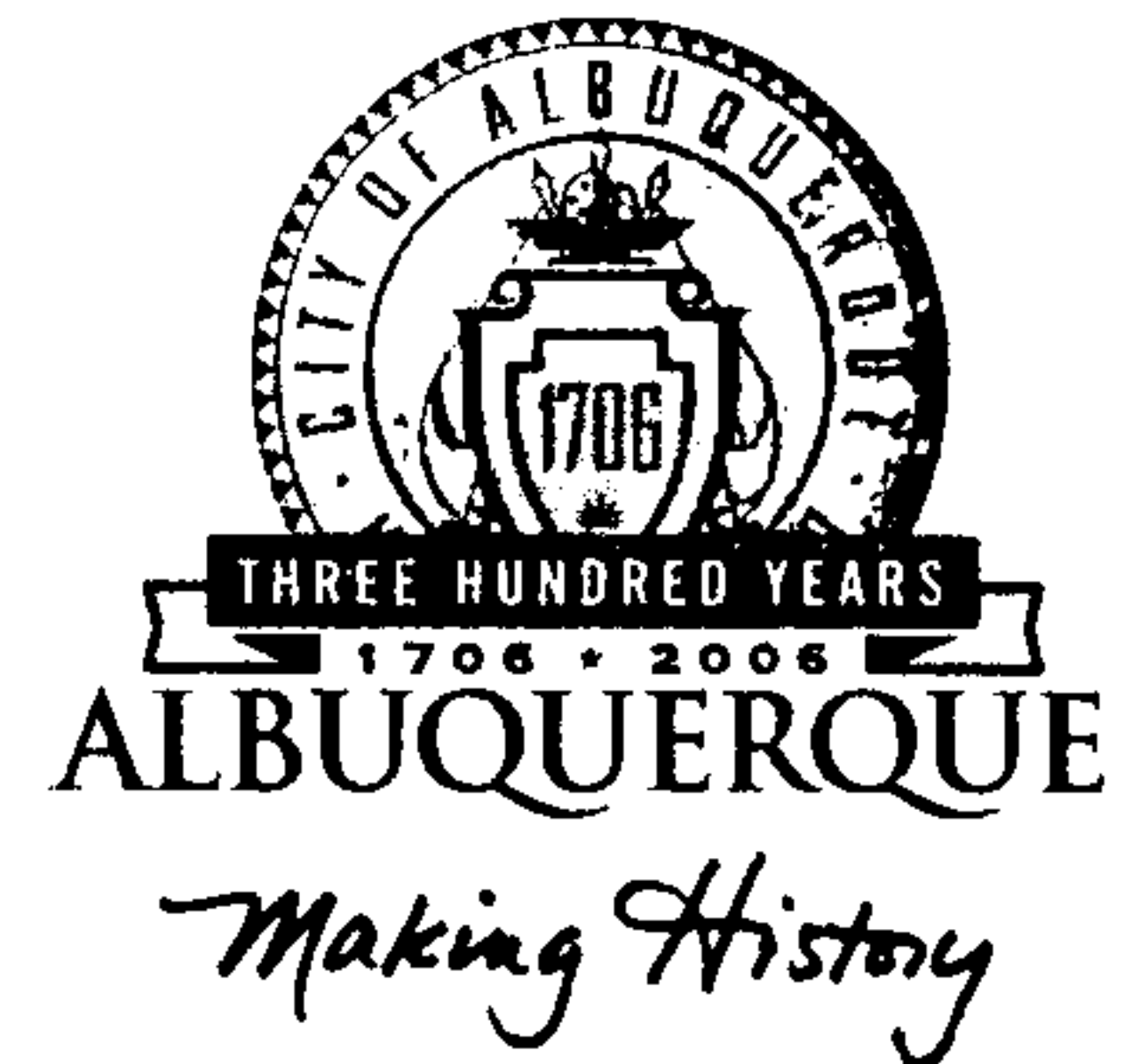
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 11

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments on Site Plan for Building Permit.
Infrastructure List comments.

An approved drainage plan dated 8-22-05 is on file for Preliminary Plat approval.

RESOLUTION: *Signed IL*

APPROVED ; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN ___
FP-Indef

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: (UD) (CE) (TRANS) (PRKS) **(PLNG)**

FOR:

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 24, 2005

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 17, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:15 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001986**
05DRB-01194 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for RIO OESTE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) D & E, **TAYLOR RANCH**, zoned R-1, located on COORS BLVD NW, between LA ORILLA NW and MONTANO PLAZA DR NW containing approximately 10 acre(s). [REF: 02DRB01927] (E-12) **A TWO-YEAR SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1004162**
05DRB-01193 Major-Preliminary Plat
Approval
05DRB-01195 Minor-Subd Design (DPM)
Variance
05DRB-01197 Minor-Sidewalk Waiver
05DRB-01198 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-P1 through 31-P1, Tract(s) L-2, VISTA DEL NORTE (to be known as **AGAVE SUBDIVISION**) zoned SU-1 PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 1000490, 05EPC00742, 05DRB01139, 05DRB01140] (E-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/11/05 THE PRELIMINARY PLAT WAS APPROVED. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

05DRB-01275 Minor-SiteDev Plan
Subd/EPC

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-P1 through 31-P1, Tract(s) L-2, VISTA DEL NORTE (to be known as **AGAVE SUBDIVISION**) zoned SU-1 PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 1000490, 05EPC00742, 05DRB01139, 05DRB01140] **[Russell Brito for Elvira Lopez, EPC Case Planner] (E-16) THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CORRECTION OF NORTH ARROW.**

3. **Project # 1003585**
05DRB-01191 Major-Vacation of Pub
Right-of-Way
05DRB-01190 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for 3900 SILVER AVENUE LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-20, **SILVER STREET TOWNHOMES**, zoned O-R, located on SILVER AVE SE, between ALISO AVE SE and MORNINGSIDE AVE SE containing approximately 2 acre(s). [REF: 05DRB00737] *[Deferred from 8/17/05]* (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

4. **Project # 1002861**
05DRB-01202 Major-Preliminary Plat
Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS DEVELOPMENT request(s) the above action(s) for all or a portion of Block(s) 46, Lots(s) 17 through 24, NEW MEXICO TOWN COMPANY TOWNSITE (to be known as **SOUTHERN UNION GAS LOFTS UNIT II**) zoned SU-3 special center zone, located on 9TH ST SW, between SILVER AVE SW and 8TH ST SW [REF: 03DRB01299, 04DRB00002, 04DRB01137, 05DRB00718] [Deferred from 8/17/05] (K-13) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

5. **Project # 1004341**
05DRB-01203 Major-Vacation of Pub
Right-of-Way

RIO GRANDE ENGINEERING agent(s) for DAVID & JENNIFER SOULE request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **DEL RIO ESTATES**) zoned R-2 residential zone, located on 76TH STREET NW, between FORTUNA ROAD NW and GLEN RIO ROAD NW containing approximately 6 acre(s). (J-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

6. **Project # 1003551**
05DRB-01183 Major-Preliminary Plat
Approval
05DRB-01184 Minor-Temp Defer SDWK

BRASHER & LORENZ agent(s) for DON K. NAYLOR request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 1, Lot(s) 12, 13, 19, 20 & 21, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **LA CUEVA ESTATES**) zoned R-D residential and related uses zone, developing area, located on GLENDALE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: 04DRB01095] (B-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/19/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: A PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project # 1004173**
05DRB-01192 Major-Vacation of Public Easements
05DRB-01196 Major-Preliminary Plat Approval
05DRB-01199 Minor-Sidewalk Waiver
05DRB-01200 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO., request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and D-2, (to be known as **VENTANA VISTA SUBDIVISION @ VENTANA RANCH WEST**) zoned R-LT residential zone, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 31 acre(s). (B-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/10/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 05DRB-01281 Minor-Subd Design (DPM) Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO., request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and D-2, (to be known as **VENTANA VISTA SUBDIVISION @ VENTANA RANCH WEST**) zoned R-LT residential zone, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 31 acre(s). (B-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1004353**
05DRB-01119 Major-Preliminary Plat Approval
05DRB-01120 Minor-Temp Defer SDWK

SURV-TEK, INC agent(s) for LONGFORD AT THE TRAILS, LLS request(s) the above action(s) for all or a portion of Tract(s) 6, **THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 04DRB01322] [Listed under Project #1002962 in error] [Deferred from 8/3/05] (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: USE OF A**

HAMMERHEAD REQUIRES FIRE AND SOLID WASTE APPROVAL. A PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

9. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). *[Deferred from 8/3/05 & 8/17/05]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

- ~~10. **Project # 1004300**~~
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). *[Deferred from 7/27/05 and 8/10/05 & 8/17/05]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

- 05DRB-01286 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] *[Deferred from 8/17/05]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

11. **Project # 1000631**
05DRB-01287 Minor-SiteDev Plan
Subd/EPC
05DRB-01288 Minor-SiteDev Plan
BldPermit/EPC
- GEORGE RAINHART ARCHITECT & ASSOCIATES, agent(s) for JEROME BETTMAN request(s) the above action(s) for all or a portion of Tract(s) A-2B and B-1, **JEANNEDALE, UNIT 5**, zoned SU-3 special center zone, located on UPTOWN BLVD NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [REF: AA-96-118, Z-72-65, 03EPC02043, 03EPC02042, 1002442] [Carmen Marrone, EPC Case Planner] (H-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO SHOW WATERLINE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR INTERNAL COMMENT SHEET MARKED UP AND ENTRANCE ON UPTOWN LOOP ROAD AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO SHOW WATERLINE EASEMENT, TO SHOW NEW 2-INCH METERBOX WITHIN RIGHT-OF-WAY AND TO TRANSPORTATION DEVELOPMENT FOR INTERNAL COMMENT SHEET MARKED UP AND ENTRANCE ON UPTOWN LOOP ROAD AND 3 COPIES OF THE SITE PLAN.**
- 05DRB-01282 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST agent(s) for 6401 UPTOWN, LLC request(s) the above action(s) for all or a portion of Tract(s) A-2B and B-1, **DALE J BELLAMAH'S JEANNEDALE UNIT 5**, zoned SU-3 special center zone, located on AMERICAS PARKWAY NE, between UPTOWN BLVD NE and JEANNEDALE DR NE containing approximately 5 acre(s). [REF: AA-96-118 03EPC02043, 03EPC020] (H-18) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD 20-FOOT WATERLINE EASEMENT, CHANGE STREET NAME, MAY NEED PRIVATE WATER/SEWER SERVICE EASEMENTS FOR BUILDING TO THE WEST AND TO TRANSPORTATION DEVLEOPMNT FOR RADIUS DEDICATION @ INTERSECTIONS, ADA EASEMENTS AND CROSS-ACCESS (WEST)(NORTH).**

12. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC
- TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 FOR C-1 WITH DRIVE UP PHARMACY & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] [**Russell Brito for Elvira Lopez, EPC Case Planner**] [*Deferred from 8/17/05*] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/31/05.**
13. **Project # 1004353**
05DRB-01285 Minor-SiteDev Plan
Subd/EPC
- CONSENSUS PLANNING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) 6, **SANTA FE @ THE TRAILS UNIT 2**, zoned R-D residential and related uses zone, developing area, located on WOODMONT NW, between RAINBOW BLVD NW and OAKRIDGE NW containing approximately 20 acre(s). [Listed under Project #1002962 in error] (C-9) **SITE PLAN FOR SUBDIVISION WS APPROVED AND SIGNED OFF BY THE BOARD.**
14. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit
- DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [*Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05 & indef deferred on a no show 8/17/05*] (D-18) **INDEFINITELY DEFERRED ON A NO SHOW.**

15. **Project # 1003358**
04DRB-00478 Minor-SiteDev Plan
BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SU-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). *[Was Indef Deferred on 4/7/04 on a no show] [Deferred from 8/10/05]* (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO DETERMINE IF ENVIRONMENTAL HEALTH HAS APPROVED THE ABATEMENT MEASURES FOR THE LANDFILL.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004177**
05DRB-01280 Minor-Subd Design (DPM)
Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) 10-13, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, between VENTANA RIDGE RD NW and containing approximately 74 acre(s). [REF: 05DRB01122, 01123, 01124, 00783] (B-8) **INDEFINITELY DEFERRED ON A NO SHOW.**

17. **Project # 1002960**
05DRB-01284 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) K, **SUNDORO SOUTH, UNIT 2**, zoned SU-2 FOR RLT, located on 98TH STREET NW, between LADERA BLVD NW and I-40 NW containing approximately 6 acre(s). [REF: 05DRB-00109] (J-8/9) **FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EXCHANGE WITH NMDOT AND TO RECORD PLAT AND TO PARKS FOR MAINTENANCE OF PCD EASEMENT.**

18. **Project # 1003982**
05DRB-01283 Minor-Prelim&Final Plat
Approval

WILKS CO. agent(s) for TAIHI & MARYANN JONES request(s) the above action(s) for Tract(s) A-15-M5-17 and A-15-M5-16, **LANDS OF TAIHI & MARYANN JONES**, zoned SU-2 NCR, located on WALTER NE, between MOUNTAIN RD NE and KINLEY AVE NE containing approximately 1 acre(s). [REF: 05DRB00338] (J-15) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1004058**
05DRB-01268 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for SANDIA FOUNDATION, PATRICK GLENNON request(s) the above action(s) for all or a portion of Tract(s) A & B, LOMAS & BROADWAY and Tract(s) P-1, LANDS OF NEW MEXICO CREDIT CORP., UNIT 2 (to be known as **LANDS OF SANDIA FOUNDATION**) zoned SU-2 M-1, located on MARBLE AVE NE, between BROADWAY BLVD NE and LOMAS BLVD NE containing approximately 4 acre(s). [REF: ZA-87-241, DRB-93-164, DRB-90-186, 05DRB00486] (J-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

20. **Project # 1003672**
05DRB-00704 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 3, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **ESTRADA COURT**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01423] (*Deferred from 5/4/05 & 5/18/05 & 5/25/05*) [*Final Plat Indef Deferred for SIA*] (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENT LANGUAGE ACROSS LOT 6-P1 AND TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

21. **Project # 1004361**
05DRB-01247 Minor-Sketch Plat or Plan

G. DONALD DUDLEY ARCHITECT agent(s) for RIVER HORSE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 2, 3, 4 and 5, Block(s) 001, MONTGOMERY HEIGHTS (to be known as **TULANE TOWNHOUSES**) zoned R-3, located on TULANE NE, between CARLISLE NE and WELLESLY NE containing approximately 1 acre(s). (G-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1004369**
05DRB-01279 Minor-Sketch Plat or Plan

RICHARD L GONZALES request(s) the above action(s) for all or a portion of Lot(s) 24-39, Block(s) 3, WEST PARK (to be known as **COUNTRY CLUB TOWNHOMES**) zoned C-2 community commercial zone, located on CENTRAL SW, between NEW YORK SW and GOLF COURSE containing approximately 2 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for August 3, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR AUGUST 3, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:15 P.M.

CITY OF ALBUQUERQUE
Planning Department
August 17, 2005
DRB Comments

ITEM # 10

PROJECT # 1004300 APPLICATION # 05-01286

Re: Elite Drywall/^{prelim}minor plat

No objection to the platting action.

Planning will take delegation until AEHD signs the plat. →

SPB^o

AGIS dxf is approved.



Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004300 AGENDA#: 10 DATE: 8.17.05

1. Name: JIM MEDLEY Address: 3100 CHRISTIAN Zip: 87111
D NE

2. Name: TOM JOHNSTON Address: 330 LOUISIANA NE Zip: 87108

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

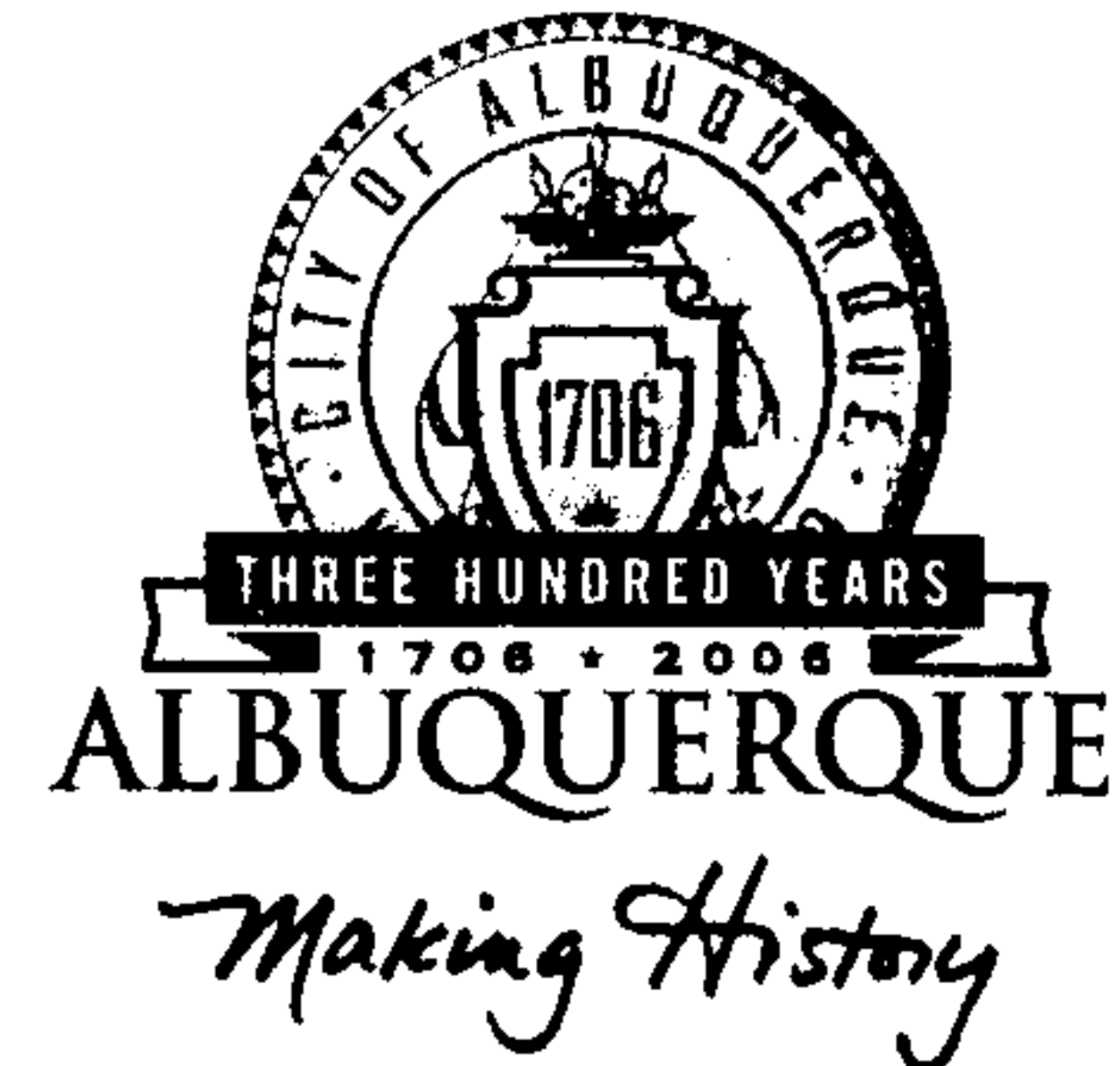
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 10

SUBJECT:

Final Plat
Preliminary Plat
Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved grading and drainage report must be on file prior to approval.
Infrastructure List comments.

P.O. Box 1293

Albuquerque

RESOLUTION:

8/24/05

APPROVED __; DENIED __; DEFERRED X; COMMENTS PROVIDED __; WITHDRAWN __

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

www.cabq.gov

FOR:

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 17, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 10, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
- Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:15 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1002948**
05DRB-01171 Major-One Year SIA
05DRB-01172 Minor-Ext of SIA for Temp
Defer SDWK

ISAACSON & ARFMAN agent(s) for MS DEV ONE, LLC request(s) the above action(s) for all or a portion of **VISTA FAISAN SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on ADOBE RD NW, between MONTANO RD NW and GUADALUPE TRAIL NW containing approximately 6 acre(s). (F-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED. A ONE-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

2. **Project # 1001081**
05DRB-01173 Major-Vacation of Pub
Right-of-Way

TIERRA WEST agent(s) for HOME DEPOT U.S.A. INC request(s) the above action(s) for all or a portion of Lot(s) 23, **SNOW HEIGHTS ADDITION**, zoned C-2 (SC) community commercial zone, located on SNOW HEIGHTS CIRCLE NE, between MENAUL BLVD NE and SNOW HEIGHTS BLVD NE. [Deferred from 8/10/05] (H-20) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

3. **Project # 1001628**
05DRB-01167 Major-Vacation of Public
Easements
05DRB-01166 Major-Preliminary Plat
Approval
05DRB-01170 Minor-Temp Defer SDWK
05DRB-01168 Minor-Subd Design (DPM)
Variance
05DRB-01169 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC agent(s) for JUDE BACA request(s) the above action(s) for all or a portion of the EQUESTRIAN CENTER (to be known as **MESA RIDGE SUBDIVISION**) zoned SU-1 for PRD special use zone, located on MONTANO RD NW, between VISTA MONTANO NW and EQUESTRIAN CENTER NW containing approximately 8 acre(s). (E-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/10/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: NEED AMAFCA'S SIGNATURE. ALL STORM DRAIN EASEMENTS WILL BE GRANTED TO THE CITY OF ALBUQUERQUE AT FINAL PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 05DRB-01242 Minor-SiteDev Plan
Subd/EPC
05DRB-01251 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING, INC agent(s) for JUDE BACA request(s) the above action(s) for all or a portion of Tract(s) Z-1, SADDLE RIDGE, UNIT 2 (to be known as **MESA RIDGE SUBDIVISION**) zoned SU-1 PRD, located on MONTANO ROAD NW, between VISTA MONTANO NW and EQUESTRIAN DR NW [REF: 01-EPC-01759, 01-EPC-01760, 01-EPC-01761] [Russell Brito for Lola Bird, EPC Case Planner] (E-11) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR LABELING ALL STORM DRAINS AND TO PLANNING FOR 15-DAY**

APPEAL PERIOD AND RUSSELL BRITO'S COMMENTS ON EPC TRAIL ACCESS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR LABELING ALL STORM DRAINS AND TO PLANNING FOR 15-DAY APPEAL PERIOD AND RUSSELL BRITO'S COMMENTS ON EPC TRAIL ACCESS.

4. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [Deferred from 7/27/05 and 8/10/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

5. **Project # 1000650**
05DRB-01067 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP request(s) the above action(s) for all or a portion of Tract(s) 1A2, **LANDS OF LAMONICA**, zoned SU-1/C-1 permissive use, located on COORS BLVD SW, between LAMONICA RD SW and RIO BRAVO BLVD SW containing approximately 2 acre(s). [Deferred from 7/20/05, Indef deferred on a no show on 8/10/05]] (P-10) **INDEFINITELY DEFERRED ON A NO SHOW.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1004343**
05DRB-01213 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 22-27, **ALAMEDA BUSINESS PARK**,

zoned SU-2 IP-EP, located on EDITH BLVD NW, between ALAMEDA PARK DR NW and the AMAFCA DIVERSION CHANNEL containing approximately 12 acre(s). [REF: DRB-98-223] *[Deferred from 8/3/05 & 8/10/05]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 9/7/05.**

7. **Project # 1003358**
04DRB-00478 Minor-SiteDev Plan
- BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SU-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). *[Was Indef Deferred on 4/7/04 on a no show] [Deferred from 8/10/05]* (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1002457**
05DRB-01226 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for MAINSTREET PROPERTIES, LLC request(s) the above action(s) for all or a portion of Tract(s) X-1-A, X-1-B, Block(s) 2, GLENWOOD HILLS, UNIT 1 (to be known as **GLENWOOD LOFTS**) zoned SU-1 / PRD, located on MONTGOMERY NE, between TRAMWAY NE and SPANISH BIT ST NE containing approximately 3 acre(s). [REF: 05DRB-00529] (G-23) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

9. **Project # 1003606**
05DRB-01211 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO., INC. request(s) the above action(s) for Lot(s) 509-26 509-27, 19W, 12B, Row 7, Tract(s) L and B, Town of Atrisco Grant, Unit A, Westland North Subdivision, Sundoro South, Unit 1,

Painted Sky, Unit 1 (to be known as **SUNDORO SOUTH UNIT 5**, zoned SU-2 FOR RLT, located on LADERA DRIVE NW, between 94TH STREET NW and 90TH STREET NW containing approximately 23 acre(s). [REF: 04DRB-01693, 01692, 01691, 01690, 01689, 04DRB-01237] [*Deferred from 8/3/05*] (J-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO RESOLVE DEAD-END WATERLINE IN TEPHRA AND TO PLANNING TO RECORD PLAT AND SEE PROOF OF RECORDING OF EASEMENTS FOR KIPUKA DRIVE AND AMAFCA'S SIGNATURE.**

10. **Project # 1003247**
05DRB-01217 Minor-Temp Defer SDWK

QUICK DRAW ENGINEERING agent(s) for MARK VALENCIA request(s) the above action(s) for Lot(s) 1 & 2, CORONA DEL SOL (to be known as **VALENCIA SUBDIVISION**) zoned R-2 residential zone TOWNHOMES, located on ALAMAGORDO ST NW between COORS BLVD NW AND ST JOSEPH NW, containing approximately 1 acre(s). [REF: SV-98-52, DRB-98-18, Z-98-38, V-98-29, S-99-4] [*Listed under Project #1004347 in error*] [*Was Indef deferred on a no show*] (G-11) **TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

11. **Project # 1004360**
05DRB-01245 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for WASHINGTON INVESTORS request(s) the above action(s) for all or a portion of Lot(s) 313-A-2-A, ACRES ADDITION (to be known as **ENTRADA DEL BOSQUE**) zoned RA-2, located on MOUNTAIN ROAD NW, between GALBADON NW and LULAC AVE NW containing approximately 3 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1004163**
05DRB-01219 Minor-Sketch Plat or Plan

JON E BOLTZ request(s) the above action(s) for all or a portion of Lot(s) 10, **SIERRA BONITA ADDITION**, zoned R-1, located on BELLROSE AVE NW, between GRIEGOS NW and FREEMAN NW containing approximately 1 acre(s). [REF: 05DRB-00743] (F-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 13. **Project # 1004359**
05DRB-01244 Minor-Sketch Plat or Plan

MICHAEL EAVES agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 17, **RICE'S DURANES ADDITION, UNIT 1**, zoned R-2, located on RICE NW, between RIO GRANDE BLVD NW and INDIAN SCHOOL RD NE containing approximately 1 acre(s). (H-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. Approval of the Development Review Board Minutes for July 27, 2005. **THE DRB MINUTES FOR JULY 27, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:15 A.M.

Deferred
to 8/17/05

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004300 AGENDA#: 4 DATE: 8/10/05

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

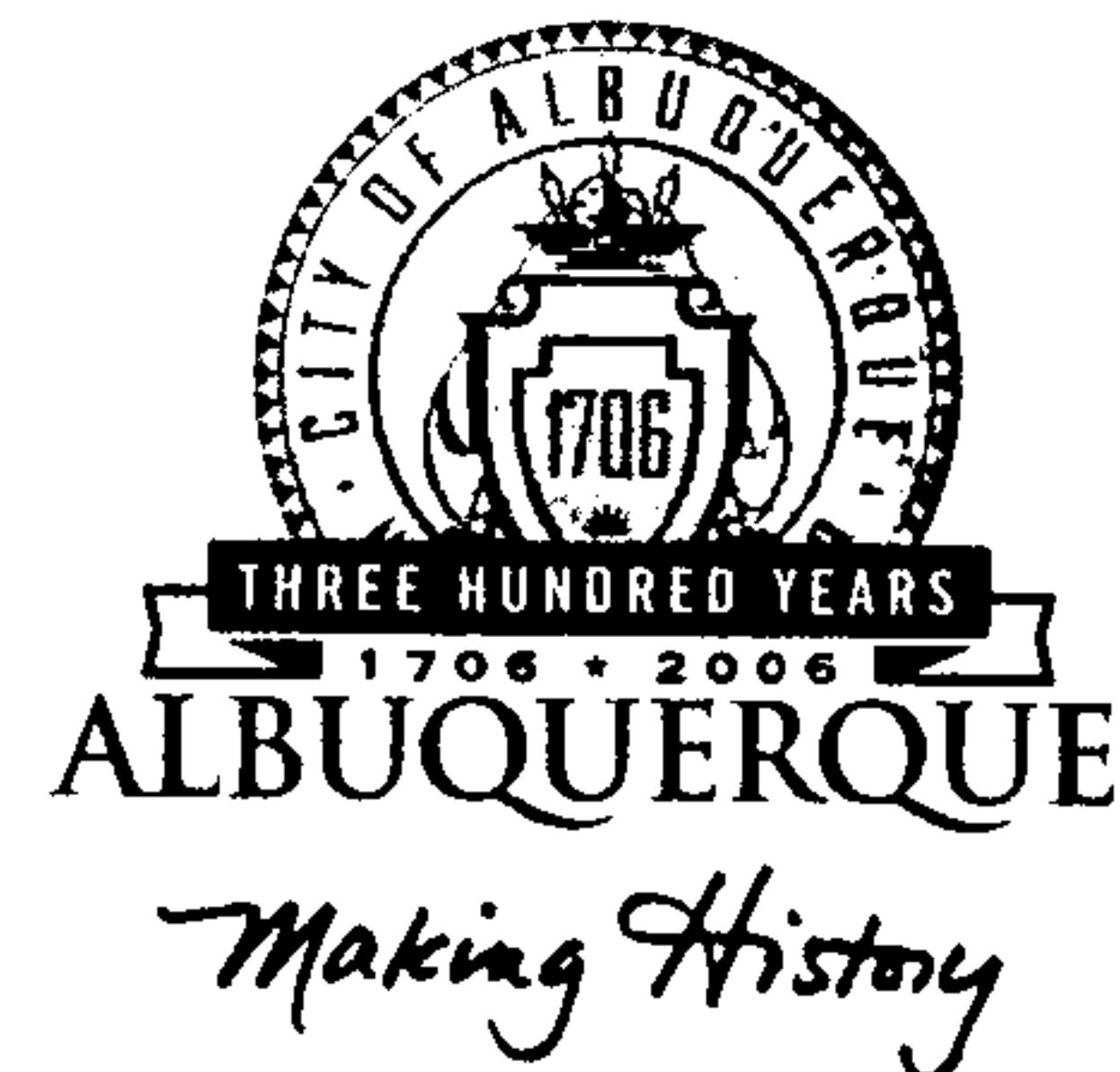
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan must be on file prior to site plan approval.

P.O. Box 1293

RESOLUTION:

8/17/05

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 10, 2005



10-10-05

**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 27, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 10:50 a.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). ~~[Deferred-from-7/27/05]-(C-18)-DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.~~

2. **Project # 1004244**
05DRB-01085 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01176 Minor-Prelim&Final Plat Approval

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, 1-11, Block(s) 18, 19, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITY DEVELOPMENT FOR ADJUSTMENT OF EASEMENT TO INCLUDE ALL EXISTING METERS, ADD LANGUAGE FROM ORIGINAL VACATION ORDINANCE FOR RETAINED EASEMENTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD.**

3. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [REF:04DRB-00204] [Deferred from 6/29/05 & 7/20/05 & 7/27/05] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

4. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). [Deferred from 7/20/05 & 7/27/05](K-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/11/2006.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003801**
05DRB-01180 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01179 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] (J-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS ON COMMENT SHEET AND PARKING CALCS NOTE FROM DAVID STALLWORTH AND DAVID STALLWORTH'S INITIALS ON THE PLAN AND TO UTILITIES DEVELOPMENT TO REVISE UTILITY PLAN (WATER METER LOCATION & SIZE, FIRE HYDRANT LOCATION). WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

6. **Project # 1001043**
05DRB-01182 Minor-SiteDev Plan
BldPermit/EPC

HUITT-ZOLLARS, INC agent(s) for KITTS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) A, STONEBRIDGE POINTE SUBDIVISION (to be known as **WEST BANDELIER**) zoned SU-1 FOR R-2, located on MCMAHON NW and BANDELIER DRIVE NW containing approximately 8 acre(s). [REF: 04EPC00850] [**Russell Brito, EPC Case Planner**] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A CHANGE ON SHEET 8 - CHANGE TITLE TO WEST BANDELIER AND 3 COPIES OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, NEED PLAT, GATE QUEUING, ADA STALLS AND RADII AND TO CITY ENGINEER FOR SIA.**

7. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [*Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05*] (D-18) **DEFERRED AT AGENT'S REQUEST TO 8/3/05.**

8. **Project # 1004326**
05DRB-01147 Minor-SiteDev Plan
BldPermit

INSITEWORKS agent(s) for JLM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-A, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1, located on JEFFERSON ST NE, between PASEO DEL NORTE NE and WILSHIRE AVE NE containing approximately 2 acre(s). [*Deferred from 7/20/05*] (C-17) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003865**
05DRB-00521 Minor- Final Plat Approval
- FORSTBAUER SURVEYING, LLC agent(s) for PARKS CUSTOM BUILDERS INC request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 21 & 22, Block(s) 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on ALAMEDA BLVD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 4 acre(s). [REF: 05DRB00006, DRB-99-187, Z-87-42-1] [*Final Plat was Indef Deferred for SIA 4/6/05*] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**
10. **Project # 1002176**
05DRB-01178 Minor-Extension of Preliminary Plat
- SURVEYS SOUTHWEST, LTD. agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-113, Z-98-54, 02DRB01306, 04DRB00526, 00960, 00961, 04DRB00962, 00963] (L-23) **WITH THE REINITIALING OF THE INFRASTRUCTURE LIST DATED 7/27/05 A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
11. **Project # 1004325**
05DRB-01146 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD, agent(s) for BILL ROBERTS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) F, **HOLIDAY PARK, UNIT 11**, zoned C-1 neighborhood commercial zone, located on JUAN TABO BLVD NE, between COMANCHE RD NE and containing approximately 1 acre(s). [REF: Z-1761] [*Deferred from 7/20/05*] (G-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COMPLETE WATER/SEWER TAPPING PERMITS AND OPEN NEW ACCOUNTS FOR TRACT F-2.**

12. **Project # 1002529**
05DRB-01175 Major-Final Plat
Approval

BORDENAVE DESIGNS agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, **CAS ADDITION, BLACK RANCH**, zoned SU-1 special use zone, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO NW containing approximately 6 acre(s). [REF: 04DRB01374, 04DRB01059, 04DRB02060, 04EPC01840, 04EPC01841, 04EPC01843, 03EPC02058, 03EPC02059, 03EPC02060, Z-93-115] [Deferred from 7/27/05] (B-13/B-14) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

13. **Project # 1004337**
05DRB-01177 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING agent(s) for PALM HARBOR HOMES request(s) the above action(s) for all or a portion of Lot(s) A, **BELLAMAH'S CENTRAL ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between EUBANK BLVD NE and MORRIS NE containing approximately 3 acre(s). (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

14. **Project # 1000511**
05DRB-01102 Minor-Vacation of
Private Easements
05DRB-01101 Minor-Prelim&Final Plat
Approval

MIKE MONTOYA request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **HERITAGE EAST, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on DE VARGAS LOOP NE, between VENTURA ST NE and GREENWOOD ST NE containing approximately 1 acre(s). [REF: DRB-94-551] (D-20) **THE VACATION OF PRIVATE EASEMENTS WILL BE WITHDRAWN BY AGENT. THE REQUEST WAS DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

15. **Project # 1002739**
05DRB-01174 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOMES NEW MEXICO, INC request(s) the above action(s) for all or a portion of Tract(s) PARCEL 2-D LANDS OF RIO BRAVO PARTNERS, (to be known as **ANDERSON HEIGHTS, UNIT 1-A**) zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 119 acre(s). (N-8/P-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE CALCULATIONS AND PLANNING TO RECORD.**

16. **Project # 1004179**
05DRB-01181 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for JOHN PRICE request(s) the above action(s) for all or a portion of Tract(s) 82, (to be known as **ALVARADO GARDENS REPLAT, UNIT #3**) zoned RA-2 residential and agricultural zone, located on CANDELARIA RD NW, between TRELIS DR NW and GLENWOOD DR NW. [REF: DRB-94-102, 05DRB00796] (G-12) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

17. Approval of the Development Review Board Minutes for June 29, 2005. **THE DRB MINUTES FOR JUNE 29, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1004300 AGENDA#: 1 DATE: 7.27.05

1. Name: Jim MEDLEY Address: 3100 CHRISTWENDE Zip: 87111

2. Name: Robert NAVARETTE Address: 4909 GUADALUPE DR Zip: 87107

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

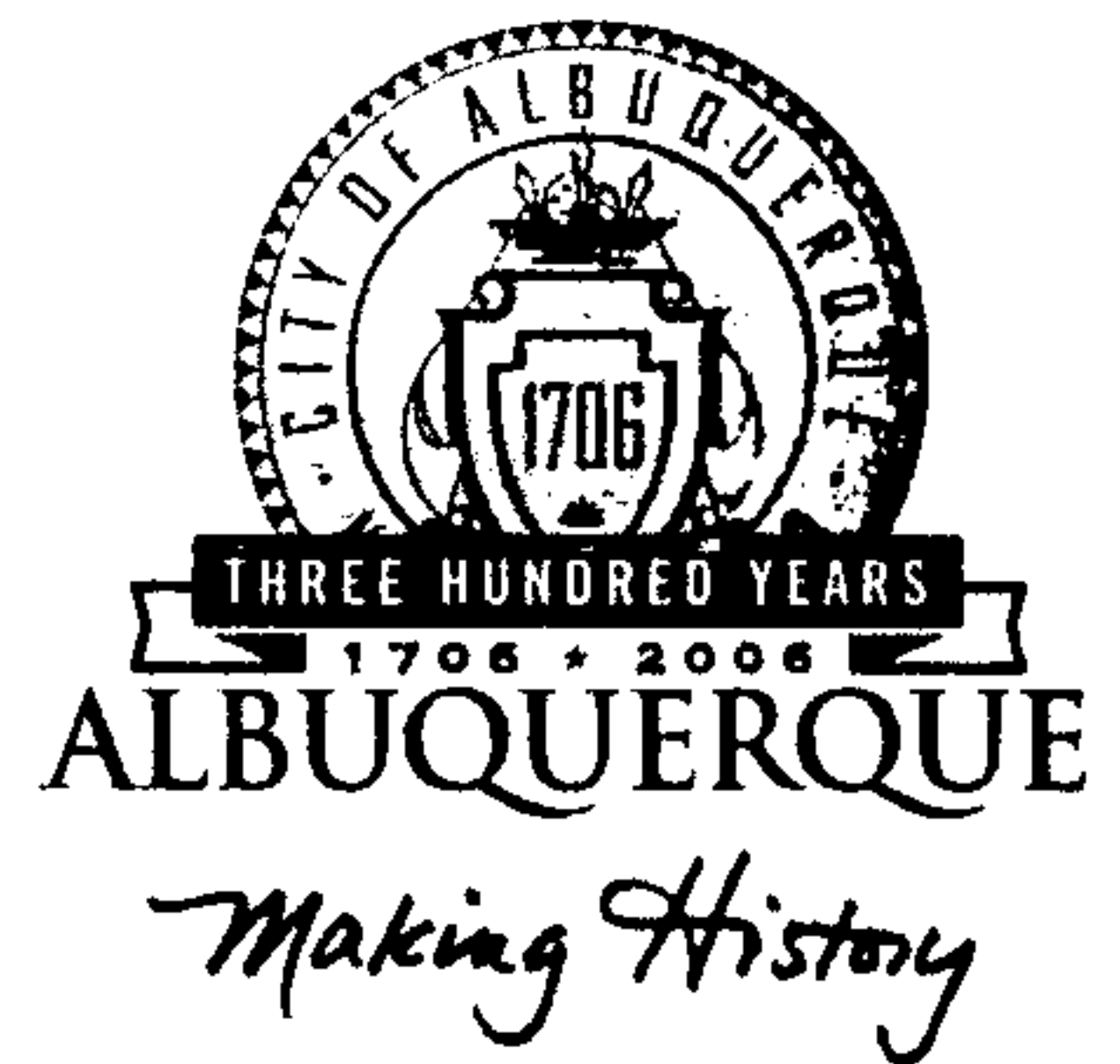
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 1

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan must be on file prior to approval.
This project will need an infrastructure list.
Concurrent platting action is required.

P.O. Box 1293

RESOLUTION:

8/10/05

Albuquerque

APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 27, 2005



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

July 27, 2005

Project # 1004300
05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). (C-18)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objection to the request.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter sent to Wildflower Area NA (R).
APS	No comments received.
Police Department	No CPTED or crime prevention comments at this time.
Fire Department	Exact fire hydrant requirements will be calculated when plans are submitted for permit. Access through wrought iron gates is required for Fire Department after normal business hours.
PNM Electric & Gas	Approves.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	Site is not within 1000 feet of a landfill. No comment.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.

City Engineer

An approved conceptual grading and drainage plan is required for Site Plan approval. This project will need an infrastructure list. Comments on site plan. A concurrent platting action is required.

Transportation Development

A replat is required. Dedication will be required along San Mateo along with improvements to both San Mateo and Eagle Rock. Radius dedication is needed at the corner of San Mateo and Eagle Rock. Radii need to be a minimum of 15' for passenger vehicles. Solid waste will need to approve the dumpster location. Parking bumps may be required along the west side of the building. Label some typical stall widths. Where are the build notes for the entrances? Is there another drive pad to the north on San Mateo?

Parks & Recreation

No objection.

Utilities Development

Need copy of Fire Flow calculation sheet from the Fire Marshall and their approval on the Site Plan showing location of all required fire hydrants.

Planning Department

The letters sent to the neighborhood association representatives stated that an administrative amendment to an existing site plan was the submittal. Normally, this misinformation would require re-sending the letters. However, since the site plan for building permit was mentioned later in the letter, it is not necessary to re-send corrected letters.

The site plan sheet should have "Site Development Plan for Building Permit" as the title.

The height of the refuse enclosure is not shown nor building materials details.

The North I25 Sector Plan requires a 6 foot landscape buffer along the side & rear property lines, 10 foot along collectors and arterials. See page 54. The site plan does not meet this requirement along the north & east property lines.

Please remove the buffalo junipers and substitute another low water shrub. The North I25 Sector Plan states that no parking space will be more than 50 feet from a tree. Please correct the note.

Planning Department

Please revise this statement: " Maintenance of landscape and irrigation system provided by owner."

A patterned pedestrian pathway is needed from the front entrance of the building to Eagle Rock sidewalk.

The loading dock on the north should be identified on the Site Plan sheet.

Existing or proposed easements should be shown on the Site Plan & Landscape Plan sheets.

Planning can take delegation until the replat is approved by DRB and recorded.

Bar scale is missing from the Landscape Plan.

Are any building mounted signs planned?

Impact Fee Administrator

Construction of a new office/ warehouse on this site will be subject to Impact Fees for Public Safety, Drainage, and Roadways. Based on a floor area of 9,741 square feet office/ 6,240 square feet warehouse, and an impervious area of 1.29 acres, estimated impact fees will be approximately \$1,666.74 for Public Safety in the East Side Service Area; \$13,168.32 for Drainage in the Far Northeast Service Area; and \$25,969.36 in the far Northeast Heights Service Area for Roadways. Impact Fees are to be paid at the time of issuance of building permits; however, the total Impact Fees of \$40,804.42 may be paid at a rate of 34% (\$13,873.50) if building permits are obtained by December 30, 2005, and 67% (\$27,338.96) if permits are obtained by December 29, 2006.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Robert Navarrette, 870 Highway 333 East, 87059

Jim Medley, Architect, AIA, 3100 Christine St NE, 87111



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 27, 2005 9:00 a.m.**, beginning at 9:00 a.m. for the purpose of considering the following:

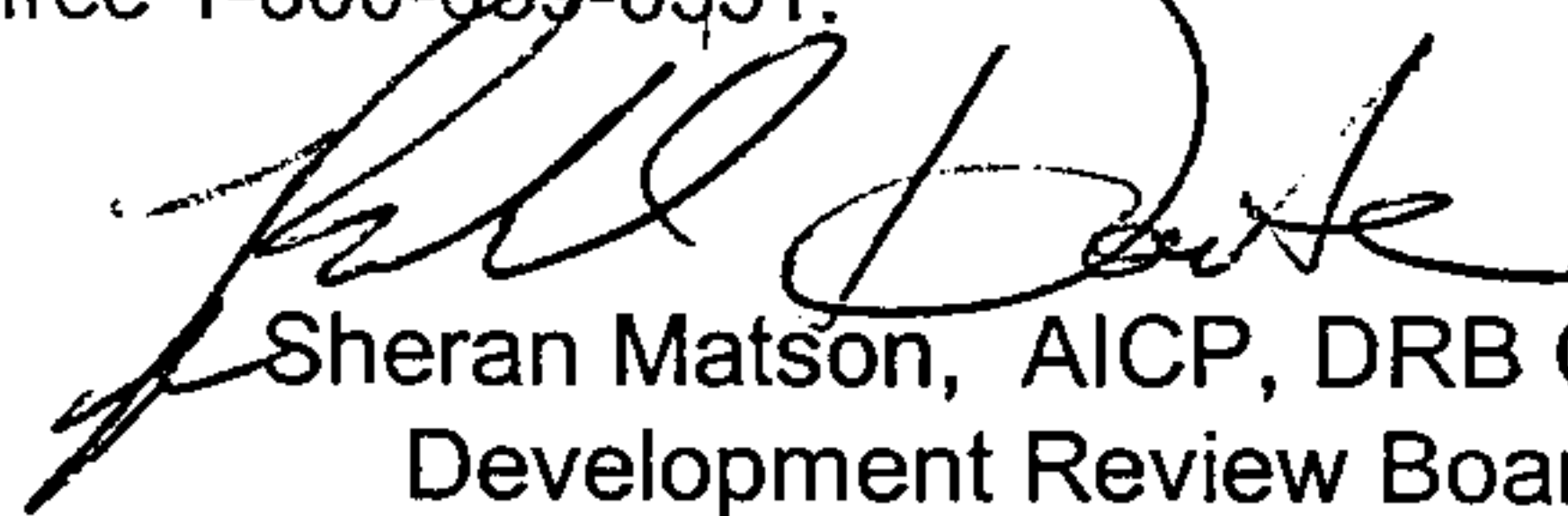
Project # 1004244
05DRB-01085 Major-Vacation of Public
Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20)

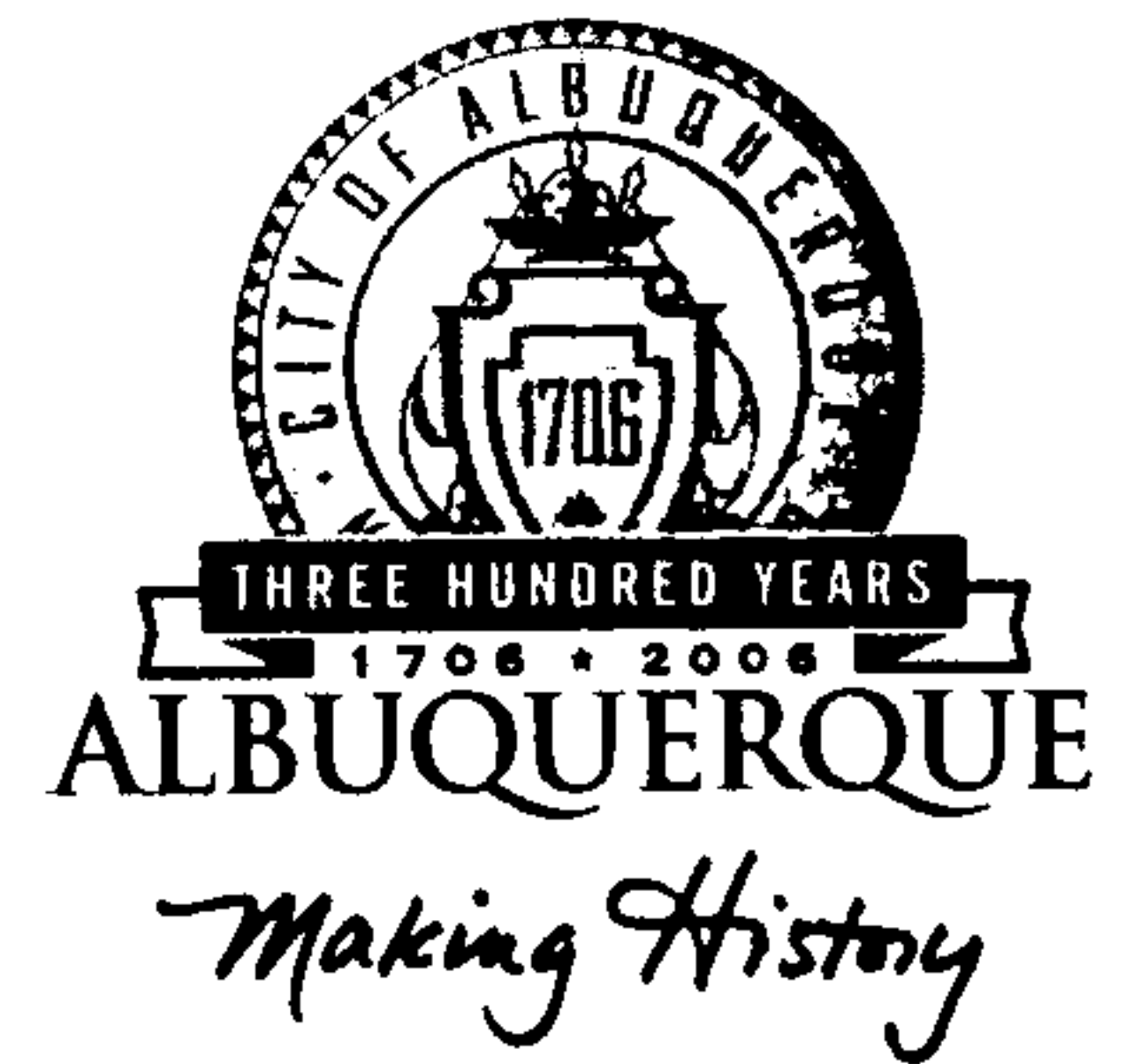
~~Project # 1004300~~
05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). (C-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 11, 2005.



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

July 7, 2005

TO: Larry T. Caudill and Rick Treadwell, Wildflower Area Neighborhood Association

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately two (2) acre(s): Minor Site Development Plan for Building Permit for the construction of a new office/warehouse building on this vacant tract of land.

Proposed by: Jim Mdley, Architect AIA at 292-3514

Agent for: Robert Navarrette

P.O. Box 1293

For property located: On or near the northeast corner of Eagle Rock NE and San Mateo NE.

Albuquerque

The case number(s) assigned is: 05DRB- 01080, Project # 1004300.

City Planning accepted application for this request on June 29, 2005.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested*.

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, July 27, 2005 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: JULY 27, 2005
Zone Atlas Page: C-18-Z
Notification Radius: 100 Ft.

Project# 1004300
App# 05DRB-01080

Cross Reference and Location:

Applicant: ROBERT NAVARRETTE
Address: 870 HIGHWAY 333 EAST
ALBUQUERQUE NM 87059

Agent: JIM MEDLEY ARCHITECT, AIA
Address: 3100 CHRISTINE ST. NE
ALBUQUERQUE NM 87111

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: JULY 8, 2005

Signature: KYLE TSETHLIKAI

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP / LEGAL LIST**

Project# 1004300
Application# OSTD2B-01080

PAGE / OF /

Zone Atlas Page #	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
C-18	1018064	010-490	209-01	✓ Dwp
		024-490	02	✓ Dwp
		041-490	03	✓
		058-490	04	✓
		058-512	17	✓ Dwp
		041-512	18	✓ Dwp
		024-512	19	✓ Dwp
		010-512	20	✓ Dwp
		058-458	207-16	✓
		024-445	02	✓ Dwp
		010-458	19	✓ Dwp
C-17	1017064	400-510	108-15	✓ COP
		499-480	109-10	✓
		499-487	11	✓
		518-480	110-01	✓
		518-487	02	✓
		519-445	105-01	✓
		511-445	02	✓
		504-445	03	✓
		504-454	0901	✓
		513-455	10	✓
		518-447	11	✓



<mainframe@coa1mp3.cabq.gov>

07/06/2005 02:17 PM

To:
CC:
Subject:

1 RECORDS WITH LABELS PAGE
1
01018064 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101806401049020901 LEGAL: 032 009T RA UNIT B N ALBU AC
LAND USE:
PROPERTY ADDR: 00000 EAGLE ROCK
OWNER NAME: GRIEGO MIKE & JIM F SAHD
OWNER ADDR: 10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122
0101806402449020902 LEGAL: 031 009T R A UNIT B NTH ALBUQ AC
LAND USE:
PROPERTY ADDR: 00000 EAGLE ROCK
OWNER NAME: GRIEGO MIKE & JIM F SAHD
OWNER ADDR: 10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122
0101806404149020903 LEGAL: 030 009T RACT A UNIT B NORTH ALBUQUERQUE ACRES
LAND USE:
PROPERTY ADDR: 00000 EAGLE ROCK
OWNER NAME: MARGO CAROL, JIM F SAHD
OWNER ADDR: 10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122
0101806405849020904 LEGAL: 029 009T RACT A UNIT B NORTH ALBUQUERQUE ACRES
LAND USE:
PROPERTY ADDR: 00000 EAGLE ROCK
OWNER NAME: CLARK SCOTT B & PAMELA M &
OWNER ADDR: 10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122
0101806405851220917 LEGAL: 004 009T R A UNIT B N TH ALBUQ AC
LAND USE:
PROPERTY ADDR: 00000 ALAMEDA
OWNER NAME: VIGIL KIMBERLY
OWNER ADDR: 09300 HOLLY NE
ALBUQUERQUE NM 87122
0101806404151220918 LEGAL: 003 009T RA UNIT B NTH ALBU AC
LAND USE:
PROPERTY ADDR: 00000 ALAMEDA
OWNER NAME: VIGIL KIMBERLY
OWNER ADDR: 09300 HOLLY NE
ALBUQUERQUE NM 87122
0101806402451220919 LEGAL: 002 009T R A UNIT B N TH ALBUQ AC
LAND USE:
PROPERTY ADDR: 00000 ALAMEDA
OWNER NAME: VIGIL KIMBERLY
OWNER ADDR: 09300 HOLLY NE
ALBUQUERQUE NM 87122
0101806401051220920 LEGAL: 001 009T RA UNIT B NTH ALBU AC
LAND USE:
PROPERTY ADDR: 00000 ALAMEDA
OWNER NAME: VIGIL KIMBERLY
OWNER ADDR: 09300 HOLLY NE
ALBUQUERQUE NM 87122

PAGE 2

0101806405845820716 LEGAL: 004 010T R A U B N ALBU AC
LAND USE: PROPERTY ADDR: 00000 EAGLE ROCK
 OWNER NAME: ALBUQUERQUE TECHNICAL
 OWNER ADDR: 00525 BUENA VISTA DR SE
ALBUQUERQUE NM 87106
0101806402644520702 LEGAL: LOT 3-A BLOCK 10, PLAT OF LOT 3-A, BLOCK 10,
TRACT LAND USE: PROPERTY ADDR: 00000 EAGLE ROCK
 OWNER NAME: RGR LTD CO
 OWNER ADDR: 02833 DON PANCHO NW
ALBUQUERQUE NM 87104
0101806401045820719 LEGAL: 001 010T R A U B N ALBU AC
LAND USE: PROPERTY ADDR: 00000 EAGLE ROCK
 OWNER NAME: RGR LTD CO
 OWNER ADDR: 02833 DON PANCHO NW
ALBUQUERQUE NM 87104
0101706446051010815 LEGAL: TR 1 -A-2 SUBD PLAT FOR SPERRY SITE & WILDFLOWER
PA LAND USE: PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE
 OWNER ADDR: PO BOX 1293
ALBUQUERQUE NM 87103
0101706449948010910 LEGAL: 10 7 WIL DFLOWER PHASE 1 SITUATED IN SEC 14 T11N
R3 LAND USE: PROPERTY ADDR: 00000 BELLFLOWER
 OWNER NAME: KING ANTHONY E
 OWNER ADDR: 09101 BELLFLOWER LN NE
ALBUQUERQUE NM 87113
0101706449948710911 LEGAL: 11 7 WIL DFLOWER PHASE 1 SITUATED IN SEC 14 T11N
R3 LAND USE: PROPERTY ADDR: 00000 BELLFLOWER
 OWNER NAME: FENTON LISA L
 OWNER ADDR: 09105 BELLFLOWER LN NE
ALBUQUERQUE NM 87113
0101706451848011001 LEGAL: 1 6 WILD FLOWER PHASE 1 SITUATED IN SEC 14 T11N
R3E LAND USE: PROPERTY ADDR: 00000 BELLFLOWER
 OWNER NAME: AGUIRRE JOSE G
 OWNER ADDR: 09100 BELLFLOWER LN NE
ALBUQUERQUE NM 87113
0101706451848711002 LEGAL: 2 6 WILD FLOWER PHASE 1 SITUATED IN SE 14 T11N
R3E LAND USE: PROPERTY ADDR: 00000 BELLFLOWER
 OWNER NAME: SAVAGE CLAUDE A & PATRICIA
 OWNER ADDR: 09104 BELLFLOWER LN NE
ALBUQUERQUE NM 87113
0101706451946510501 LEGAL: 1 5 WILD FLOWER PHASE 1 SITUATED IN SEC 14 T11N
R3E LAND USE: PROPERTY ADDR: 00000 BANEBERRY
 OWNER NAME: RODRIGUEZ DAVID O & MELISSA M
 OWNER ADDR: 05122 BANEBERRY DR NE
ALBUQUERQUE NM 87113

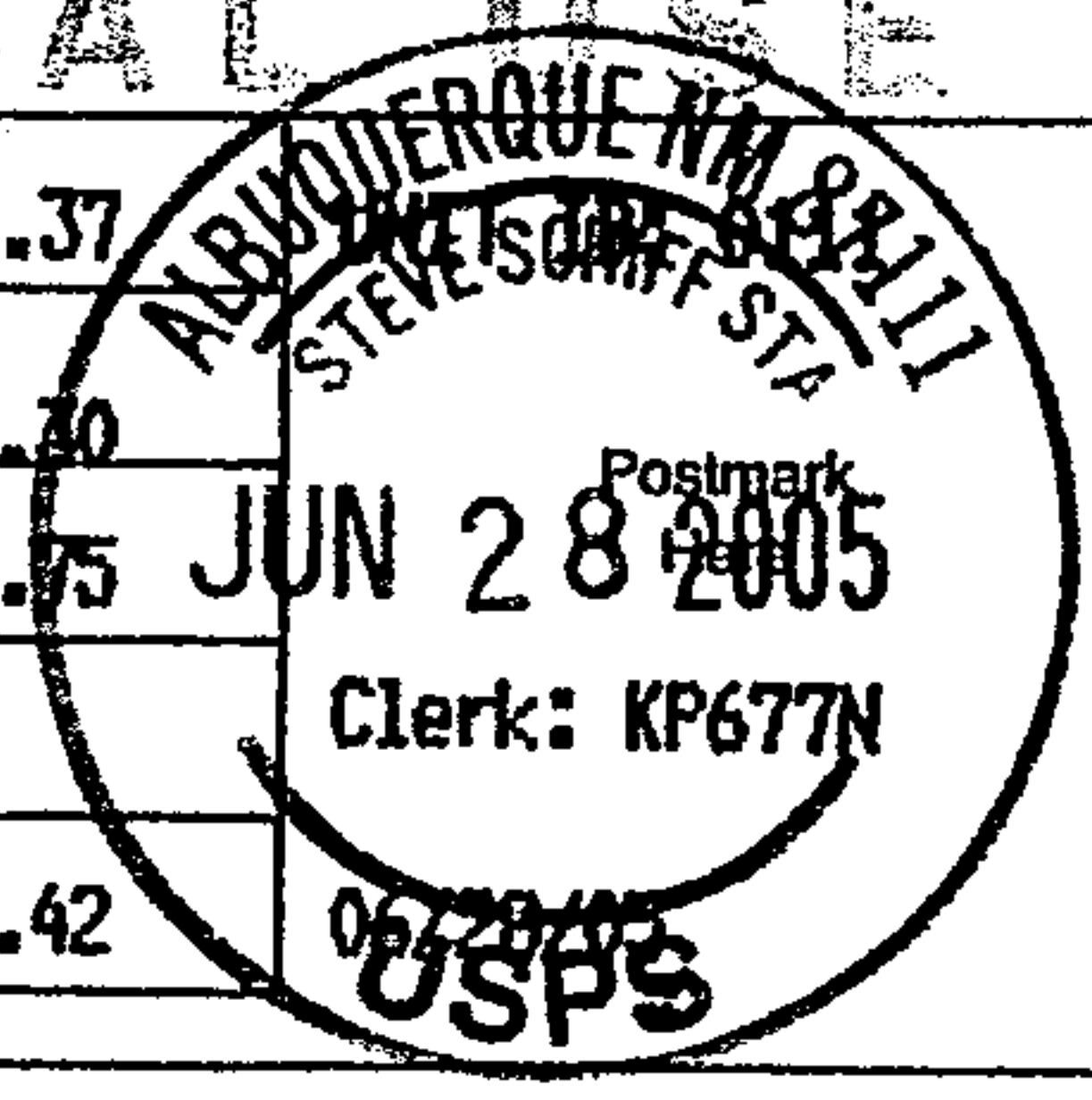
7005 1160 0002 1550 0911 5002

CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE
ALBUQUERQUE, NM 87113

Postage	\$ 0.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To **RICK TREADWELL**
 Street, Apt. No., or PO Box No. **5004 WATERCRESS NE**
 City, State, ZIP+4 **ALBUQ NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

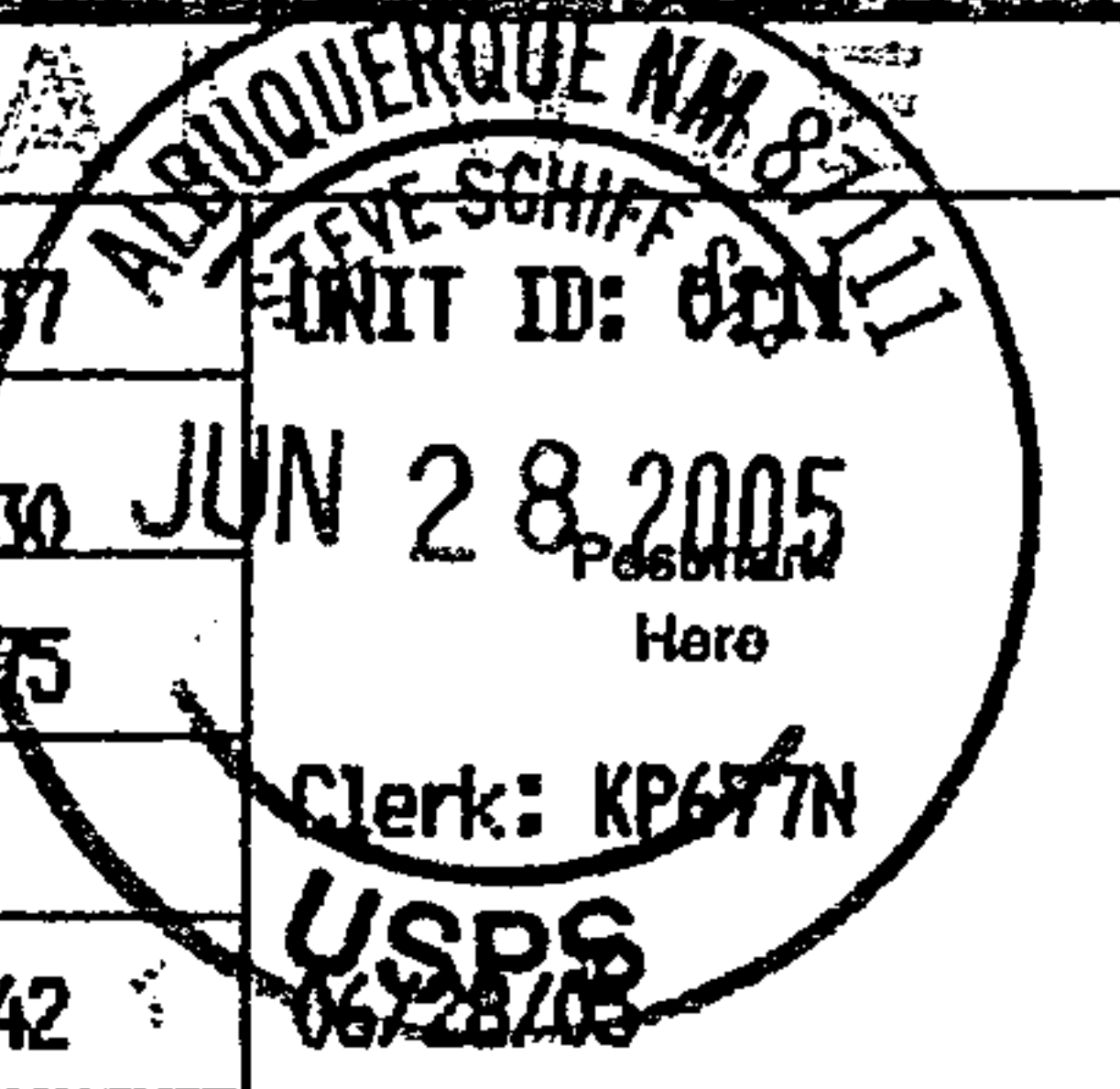
7005 1160 0002 1550 0911 5002

CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE
ALBUQUERQUE, NM 87113

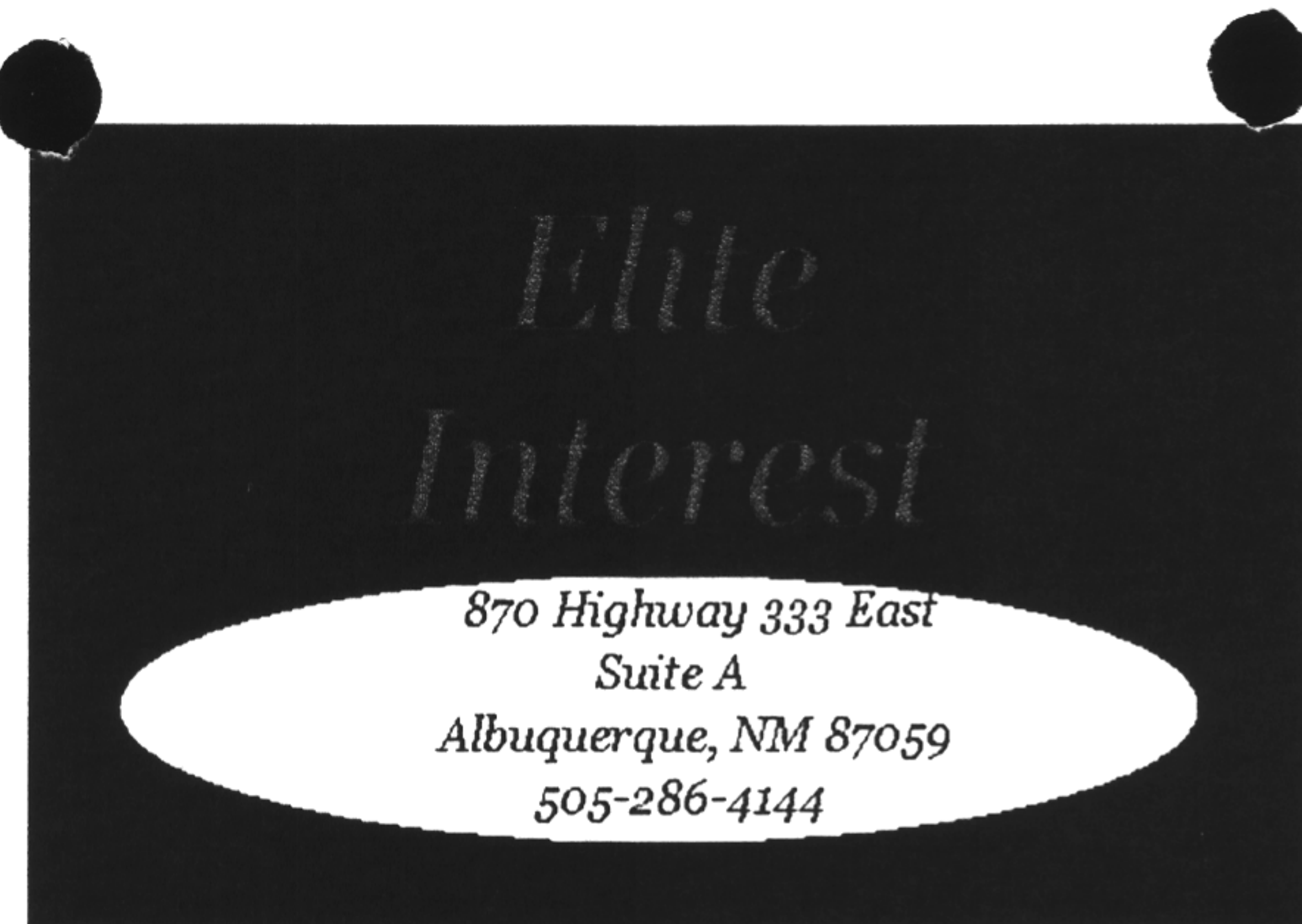
Postage	\$ 0.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To **LARRY T. CAWILL**
 Street, Apt. No., or PO Box No. **4915 WATERCRESS NE**
 City, State, ZIP+4 **ALBUQUERQUE NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

Wildflower Area



June 28, 2005

City of Albuquerque
Planning Department

Re: Authorization Notice pertaining to 5201 Eagle Rock Ave. NE
LOT 31 & 32 Block 9 NAA

To Whom It May Concern:

I, Robert Navarrette, hereby authorize Jim Medley, our Architect, to act as our representative through the DR~~B~~ process.

If you have any questions or need any more information please feel free to call me at 505-286-4144. Thank you!

A handwritten signature in black ink, appearing to read "Robert Navarrette". The signature is written in a cursive style with a horizontal line underneath.

Robert Navarrette - President

Project# 1004300

ROBERT NAVARRETTE
870 HIGHWAY 333 EAST
ALBUQUERQUE NM 87059

LARRY T. CAUDILL
Wildflower Area Neigh. Assoc.
4915 WATERCRESS NE
ALBUQUERQUE NM 87113

101806405849020904

CLARK SCOTT B PAMELA M &
10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122

101806402644520702

RGR LTD CO
2833 DON PANCHO NW
ALBUQUERQUE NM 87104

101706451848011001

AGUIRRE JOSE G
9100 BELLFLOWER LN NE
ALBUQUERQUE NM 87113

101706451146510502

RAMAZZINI WALTER JR & ERIN K
5118 BANE BERRY DR NE
ALBUQUERQUE NM 87113

101706451345510510

SANDOVAL JOSE R
5113 BLUE SAGE PL NE
ALBUQUERQUE NM 87113

JIM MEDLEY ARCHITECT, AIA
3100 CHRISTINE ST. NE
ALBUQUERQUE NM 87111

101806401049020901

GRIEGO MIKE & JIM F SAHD
10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122

101806405851220917

VIGIL KIMBERLY
9300 HOLLY NE
ALBUQUERQUE NM 87122

101706449948010910

KING ANTHONY E
9101 BELLFLOWER LN NE
ALBUQUERQUE NM 87113

101706451848711002

SAVAGE CLAUDE A & PATRICIA
9104 BELLFLOWER LN NE
ALBUQUERQUE NM 87113

101706450446510503

METOYER ROBERT MARTIN & DOBBI
5114 BANE BERRY DR NE
ALBUQUERQUE NM 87113

101706451844710511

GREEN WILLIAM H & ROBIN G
5117 BLUE SAGE PL NE
ALBUQUERQUE NM 87113

RICK TREADWELL
Wildflower Area Neigh. Assoc.
5004 WATERCRESS NE
ALBUQUERQUE NM 87113

101806404149020903

MARGO CAROL, JIM F SAHD
10012 SAN BERNADINO NE
ALBUQUERQUE NM 87122

101806405845820716

ALBUQUERQUE TECHNICAL
525 BUENA VISTA DR SE
ALBUQUERQUE NM 87106

101706449948710911

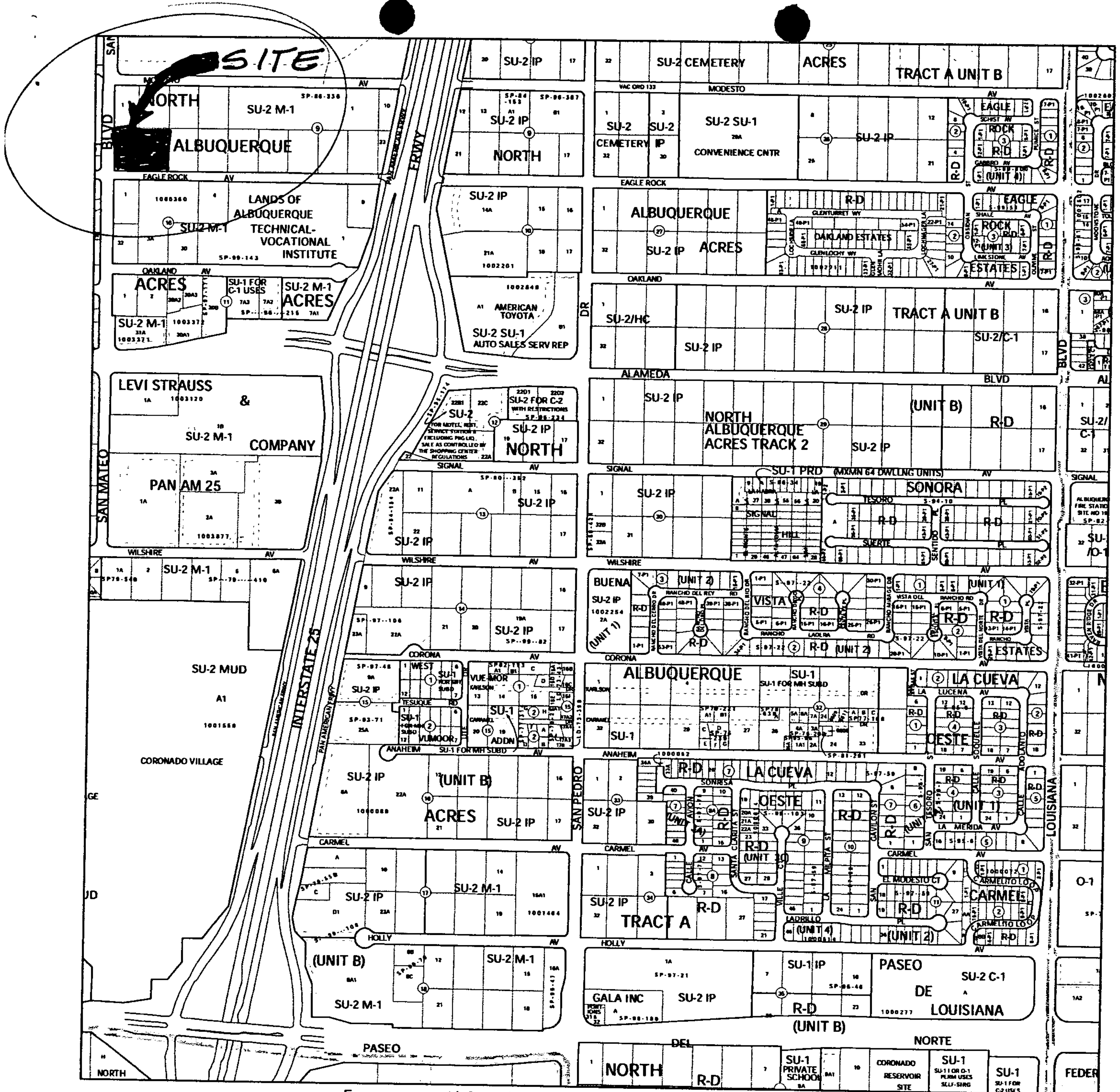
FENTON LISA L
9105 BELLFLOWER LN NE
ALBUQUERQUE NM 87113

101706451946510501

RODRIGUEZ DAVID O & MELISSA M
5122 BANE BERRY DR NE
ALBUQUERQUE NM 87113

101706450445410509

CATANACH JOANN &
5109 BLUE SAGE PL NE
ALBUQUERQUE NM 87113



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: Apr 22, 2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKK H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

June 29, 2005

City of Albuquerque Planning Department
600 2nd St. N. W.
Albuquerque, New Mexico 87102

Re: 5201 Eagle Rock N. E.
Lots 31 & 32 Tract A, Unit B, Block 9, North Albuquerque Acres

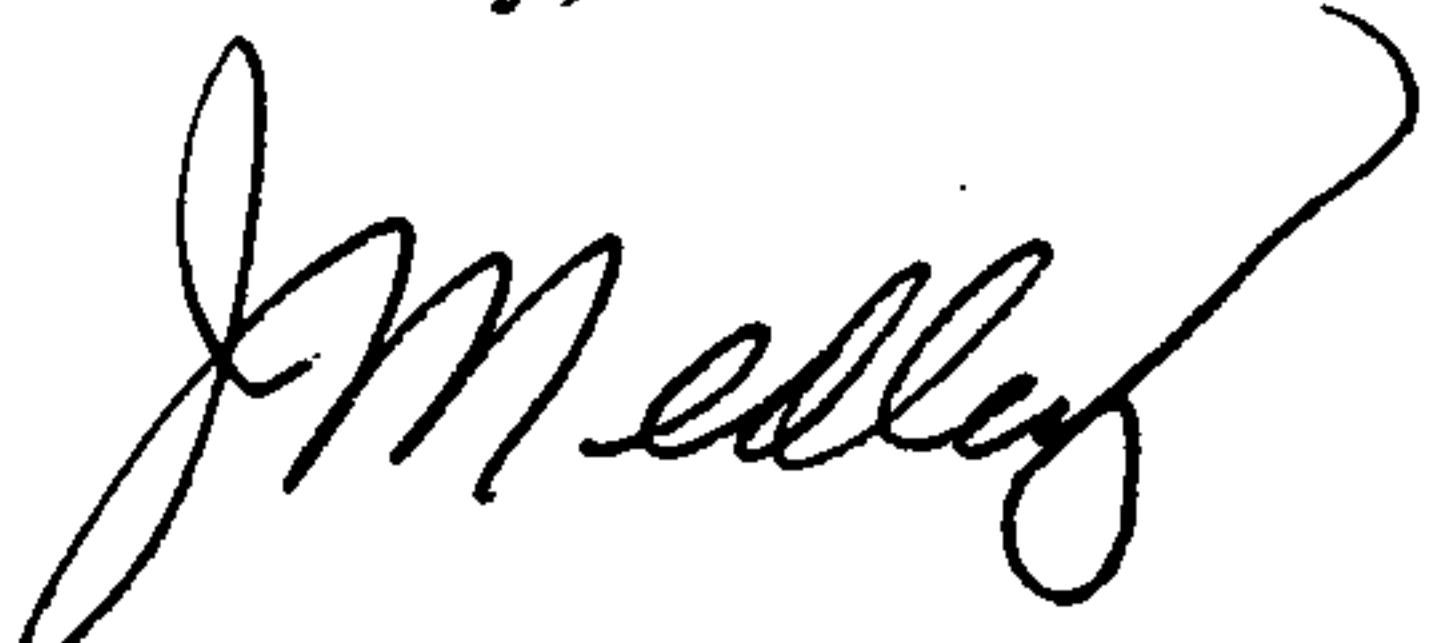
Gentlemen:

We are submitting plans for a Site Development Plan for Building Permit for the above referenced tract of land. We are requesting approval so that our client might obtain a building permit for the construction of a new office/warehouse building on this vacant tract of land.

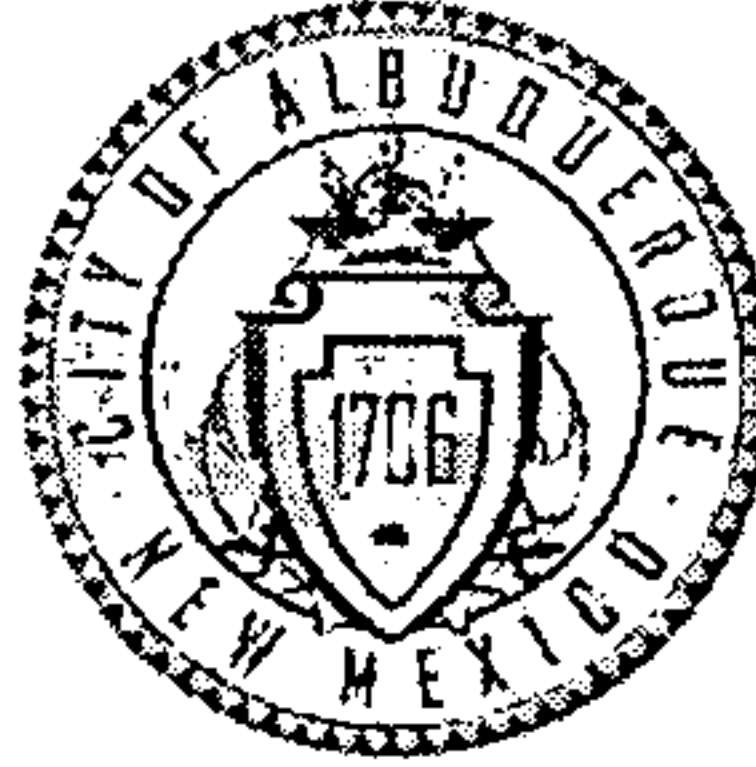
Our client will occupy approximately 25% of the offices and the entire warehouse of this project. He is going to construct this project as an above average project. He has great pride of ownership in this project.

Should you have questions or if we can provide additional information, please do not hesitate to call us.

Sincerely,



Jim Medley, Architect AIA



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, July 27, 2005 9:00 a.m.**, beginning at 9:00 a.m. for the purpose of considering the following:

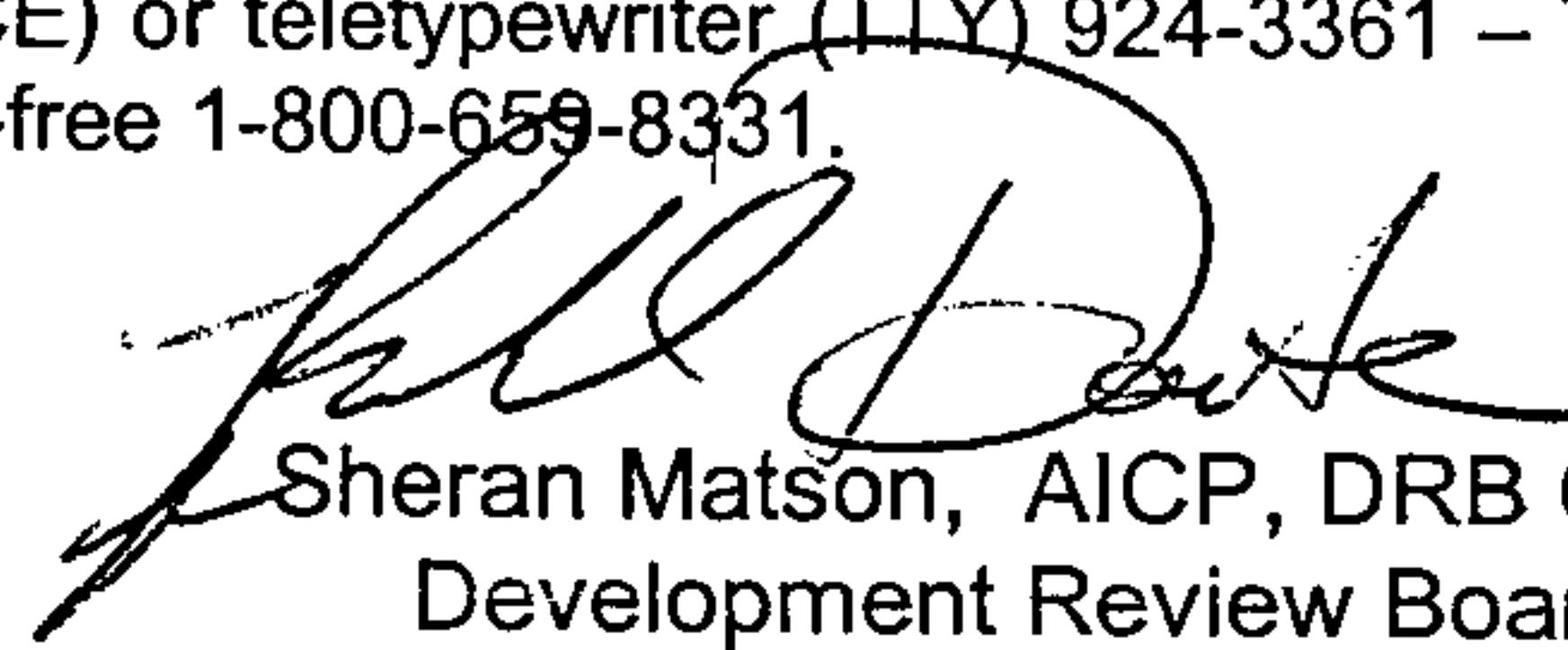
Project # 1004244
05DRB-01085 Major-Vacation of Public
Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20)

Project # 1004300
05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). (C-18)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 11, 2005.

CITY OF ALBUQUERQUE



THREE HUNDRED YEARS

1706 * 2006

*ALBUQUERQUE

Making History

Planning Department

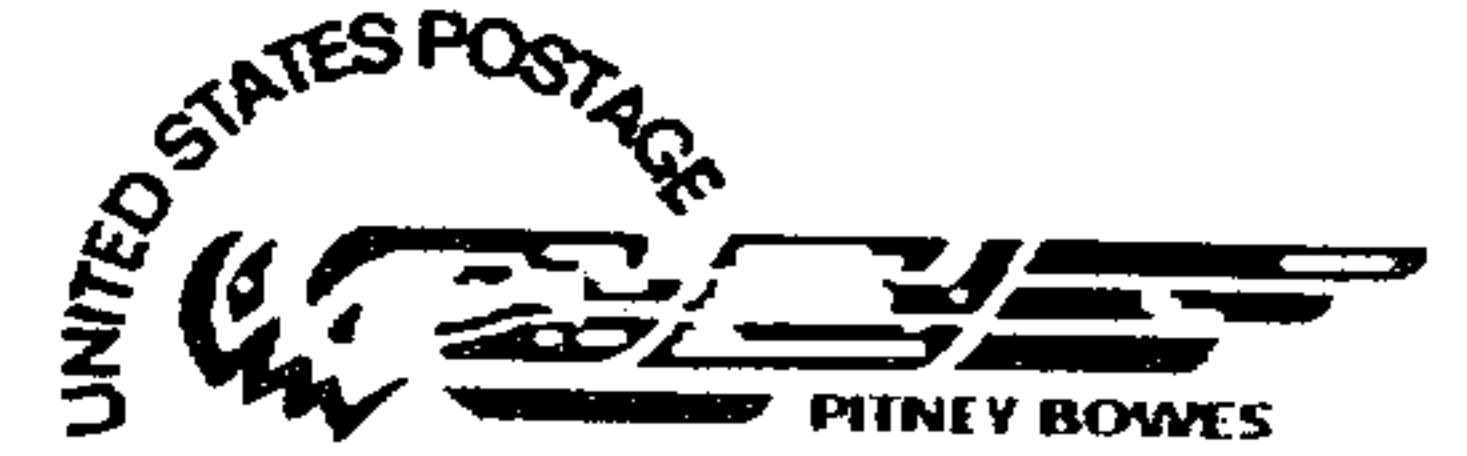
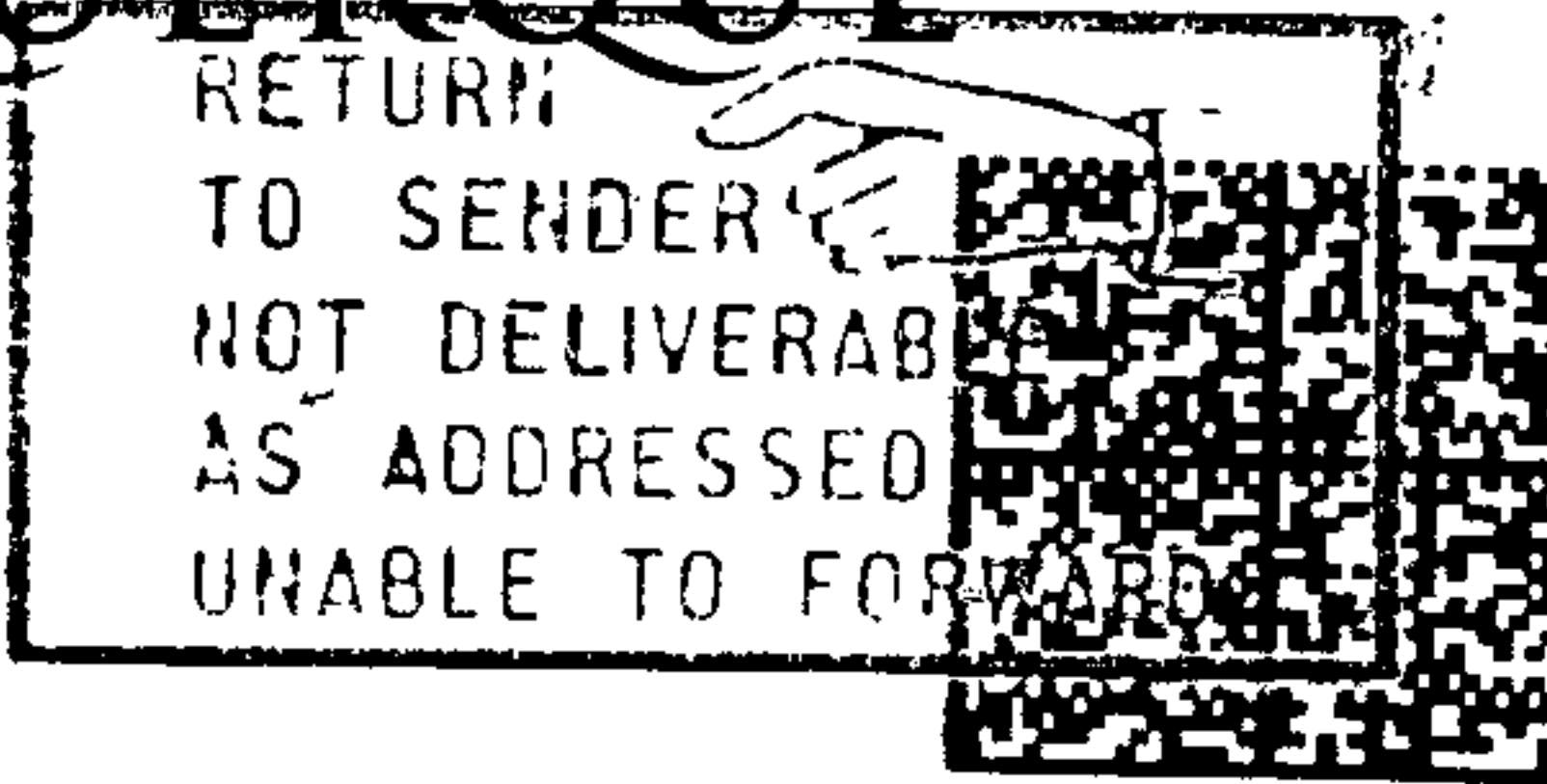
P.O. Box 1293

Albuquerque, NM 87103

DRB

101706449948710911

FENTON LISA L
9105 BELLFLOWER LN NE
ALBUQUERQUE NM 87113



02 1A \$ 00.37⁰
0004329277 JUL 07 2005
MAILED FROM ZIP CODE 87102

8711342203-05 R007

VERS 713
SIA
WY
G

City of Albuquerque Planning Department

One Stop Shop - Development and Building Services

08/04/2009 Issued By: PLNSDH

Permit Number: 2009 070 262

Category Code 910

Application Number: 09DRB-70262, Ext Of Major Preliminary Plat

Address:

Location Description: EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND I-25

Project Number: 1004300

Applicant

Elite Dri-Wall
Robert Navarette
5201 Eagle Rock Ave Ne
Albuquerque NM 87113
314-8014

Agent / Contact

Wayjohn Surveying Inc
Thomas Johnston
330 Louisiana Blvd Ne
Albuquerque NM 87108

wayjohnsurv@aol.com

Application Fees

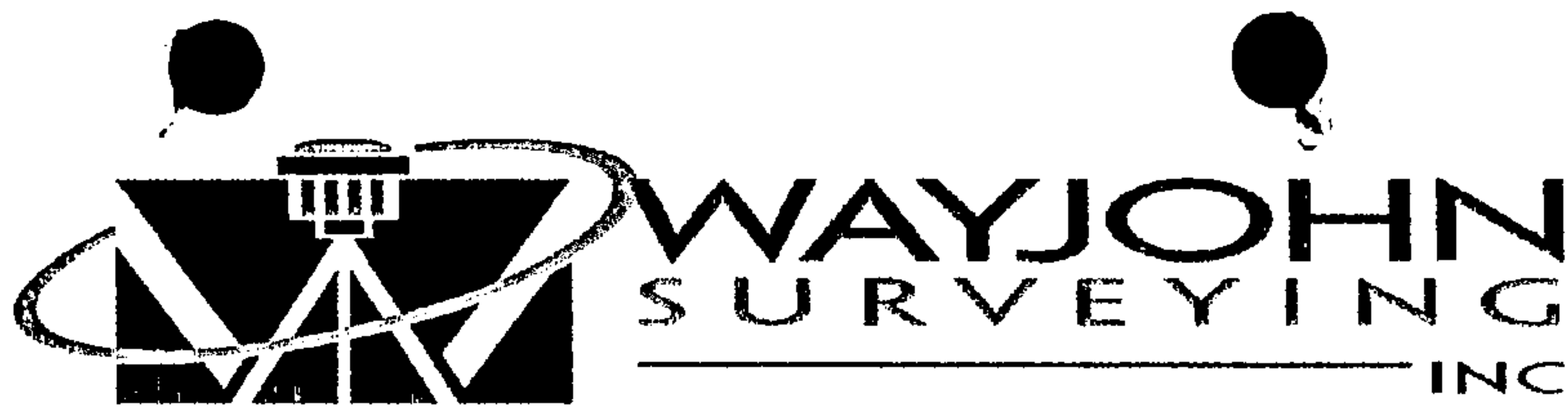
441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00

TOTAL: \$70.00

City Of Albuquerque
Treasury Division

8/4/2009 11:26AM LOC:ANNX
WSH 008 TRANS# 0011
RECEIPT# 00108780-00108780
PERMIT# 2009070262 TRSMSE
Trans Amt \$70.00
Conflict Manaq. Fee \$20.00
DRB Actions \$50.00
CHANGE \$70.00
\$0.00

Thank You



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

October 19, 2009

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Plat of Lot 31-A, Block 9, Tract A, Unit B, North Albuquerque Acres, Project No.
1004300

To Whom It May Concern:

I am submitting a request for final minor plat for the above referenced project. The public infrastructure closeout package has been approved by DRC. All other requirements for final plat have been met. This project was granted a preliminary plat extension in August of 2009.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "T. Johnston", written in a cursive style.

Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.

Subj: RE: DRC Project No. 778781, Elite Dri-Wall
Date: 10/16/2009 1:05:38 P.M. Mountain Daylight Time
From: alopez@cabq.gov
To: TGCEngineering@aol.com

Just received notice that the additional engineering fees had been paid by Elite Drywall.

Please proceed with the final plat submittal.

From: TGCEngineering@aol.com [mailto:TGCEngineering@aol.com]
Sent: Thursday, October 08, 2009 2:54 PM
To: Lopez, Anthony C.
Subject: Re: DRC Project No. 778781, Elite Dri-Wall

Dear Anthony:

Thank you for looking into it. Do I need to notify the owners, or does the City do that? Thanks again.

Regards,
Thomas D. Johnston, PS, PE
TGC Engineering Inc.
330 Louisiana Boulevard, NE
Albuquerque, NM 87108-2062
(505) 266-7256 Fax: (505) 255-2887
email: tgcengineering@aol.com

In a message dated 10/08/2009 2:47:47 P.M. Mountain Daylight Time, alopez@cabq.gov writes:

The payment for the additional engineering fees has NOT been received.

The amount is \$275.86, as soon as the payment is made then we can proceed to close this project.

Thanks for reminding us of this missing piece of the package.

From: TGCEngineering@aol.com [mailto:TGCEngineering@aol.com]
Sent: Thursday, October 08, 2009 12:24 PM
To: Lopez, Anthony C.
Subject: DRC Project No. 778781, Elite Dri-Wall

Dear Anthony,

What is the status of the closeout package for Elite Dri-Wall, Project No. 7787.81? Please let me know if we have anything outstanding. I am anxious to close this out and get the final plat recorded. Thank you for your help.

Regards,
Thomas D. Johnston, PS, PE
TGC Engineering Inc.
330 Louisiana Boulevard, NE
Albuquerque, NM 87108-2062
(505) 266-7256 Fax: (505) 255-2887
email: tgcengineering@aol.com



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): WAYDOWN SURVEYING INC. (TOM JOHNSON) PHONE: 255-2052
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: _____

APPLICANT: ELITE DRI-WALL (ROBERT NAVARETTE) PHONE: 314-8014
 ADDRESS: 5201 EAGLE ROCK AVENUE NE FAX: 314-8023
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31 AND 32 Block: 9 Unit: B
 Subdiv/Addn/TBKA: TRACT A, NORTH ALBUQUERQUE ACRES
 Existing Zoning: SU2/M1 Proposed zoning: SAME MRGCD Map No. _____
 Zone Atlas page(s): C18 UPC Code: 1018 064 024 490 20902

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004300
06DRB-01088 07DRB-70158 08DRB-70830

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill?
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 1.9986
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK AVENUE NE
 Between: SAN MATEO BLVD NE and INTERSTATE 25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 8.4.09

(Print) THOMAS D. JOHNSON Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>09DRB-70262</u>	<u>EPP</u>	<u>5(3)</u>	<u>\$ 50.00</u>
_____	<u>CME</u>	_____	<u>\$ 70.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____

Hearing date 08/12/09

Total \$ 70.00

Sandy Handley 08/04/09

Print #

1004300

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Copy of DRB approved infrastructure list
- Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
- List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
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- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
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- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHNSON
Applicant name (print)
[Signature] 8.4.09
Applicant signature / date

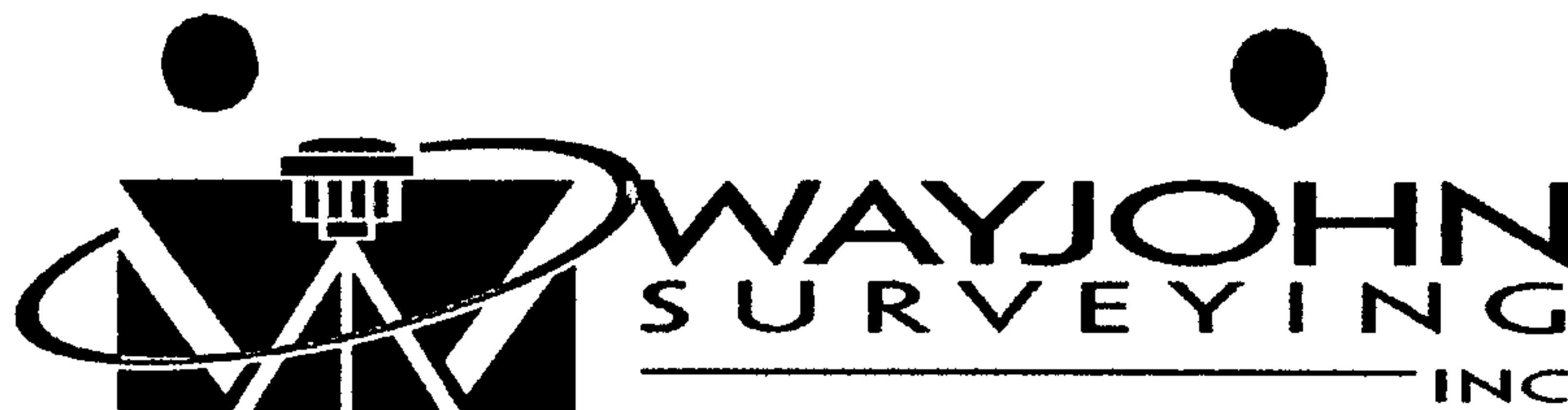


Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB3 - 70262

Sandy Handley 08/04/09
Planner signature / date
Project # 1004300



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

August 4, 2009

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Plat of Lot 31-A, Block 9, Tract A, Unit B, North Albuquerque Acres, Project No.
1004300

To Whom It May Concern:

I am submitting a request for a third extension of preliminary minor subdivision plat to create one lot from two existing parcels. We have requested the previous extension of preliminary plat in July 2008. The proposed building and parking lot on the site have been constructed. The public infrastructure (storm drain, paving, etc.) has been completed. The public infrastructure closeout package has been submitted. We would like to request an additional preliminary plat extension in order for the closeout process to be completed.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "T. Johnston", with a long horizontal line extending to the right.

Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.

ORIGINAL

INFRASTRUCTURE LIST

Date Submitted: 8/24/05

Date Site Plan Approved: 8/24/05

Date Preliminary Plat Approved: 8/24/06

Date Preliminary Plat Expires: 8/24/06

100-4300 DRB Project No.: 100-251

DRB Application No: 05-01303

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 31 & 32, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			<u>CURB AND CUTTER</u>	<u>SAN MATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP. LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>6'</u>	<u>SIDEWALK</u>	<u>SAN MATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>2" / 34"</u>	<u>MILL AND OVERLAY</u> <u>PAVEMENT</u> <u>(COLLECTOR)</u>	<u>E. SIDE SAN MATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>6'</u>	<u>SIDEWALK</u>	<u>EAGLE ROCK</u>	<u>E. PROP LINE</u>	<u>SAN MATED</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>48"</u>	<u>STORM DRAIN</u>	<u>SAN MATED</u>	<u>N. PROP LINE</u>	<u>EAGLE ROCK</u> <u>(EXISTING STORM SUMP</u> <u>DESTIN) LOCATION)</u>	<u>1</u>	<u>1</u>	<u>1</u>
			<u>built by CPN 622881</u>				<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

- 1 THE REMEDIATION MEASURES FOR LANDFILL GAS ABATEMENT OUTLINED IN THE "STATE LANDFILL GAS ABATEMENT REPORT" ARE INCLUDED AS REQUIRED INFRASTRUCTURE ITEMS
- 2 CORONADO LANDFILL
- 3

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

THOMAS D. JOHNSTON (AGENT)
NAME (print)

[Signature] 8/24/05 DRB CHAIR - date
 Christina Sandoral 8/24/05 PARKS & GENERAL SERVICES - date

WAYJOWN SURVEYING Inc.
FIRM

[Signature] 8-24-05
TRANSPORTATION DEVELOPMENT - date

[Signature] 8-29-05
SIGNATURE - date

[Signature] 8/24/05
UTILITY DEVELOPMENT - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

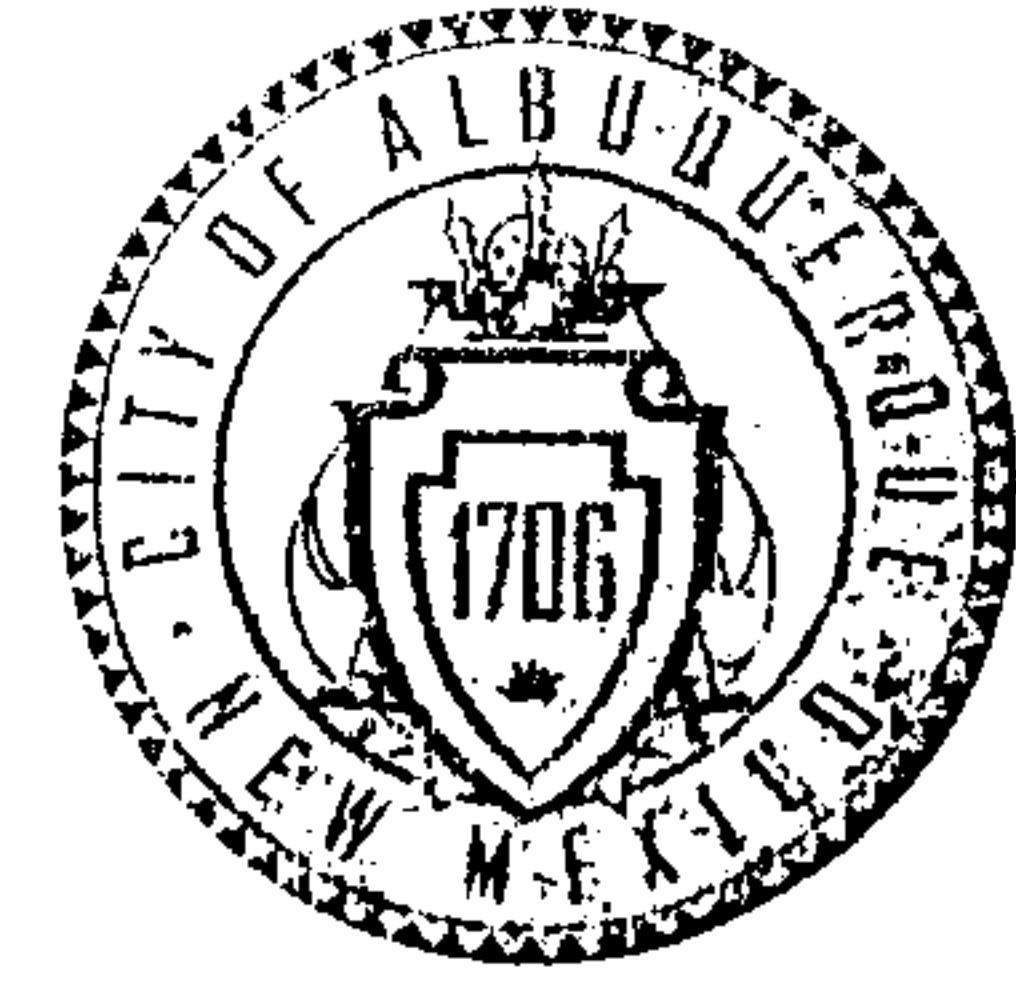
[Signature] 8-24-05
CITY ENGINEER - date

AMAFCA - date
 _____ - date
 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
1	10/25/07	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
2	6/2/08		<i>[Signature]</i>	<i>[Signature]</i>

CITY OF ALBUQUERQUE



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 11

SUBJECT:

Preliminary Plat Ext

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

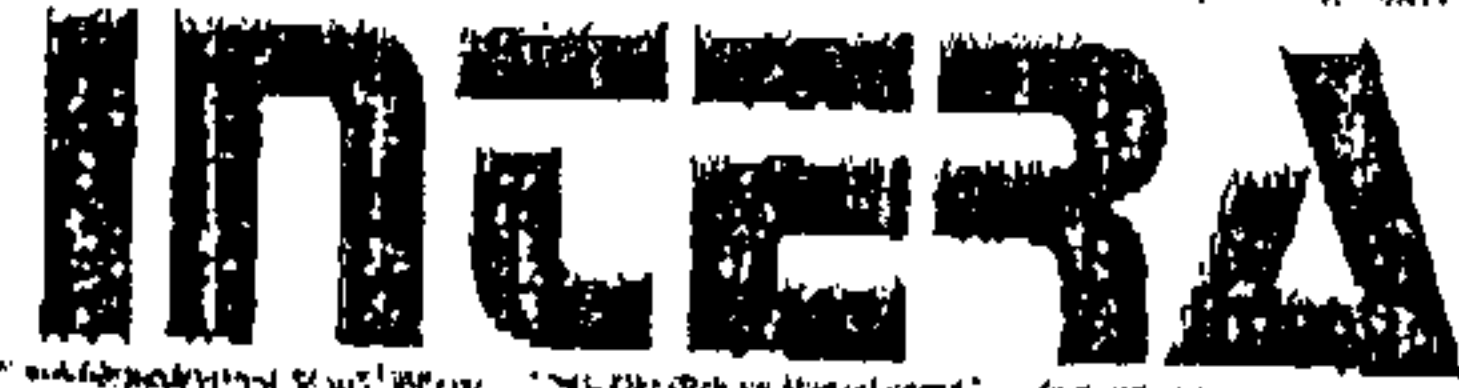
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 30, 2008




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 28, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Wayjohn Surveying Inc.

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1004300, 08DRB-70330 Extension of Major Preliminary Plat, Lots 31 and 32, Block 9, Tract A, North Albuquerque Acres Unit B, Located on Eagle Rock Ave. NE Between San Mateo Blvd. NE and Interstate 25.

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Coronado Landfill). The developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1004300

AGENDA ITEM NO: 11

SUBJECT:

PRELIMINARY PLAT – EXTENSION

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: JULY 30, 2008

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/22/2008 Issued By: FLNSDH

.....
Permit Number: 2008 070 330 **Category Code 910**

Application Number: 08DRB-70330, Ext Of Major Preliminary Plat

Address:

Location Description: EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25

Project Number: 1004300

Applicant

Elite Dri-Wall
Robert Navarette
330 Louisiana Blvd Se
Albuquerque NM 87109
281-4144

Agent / Contact

Wayjohn Surveying Inc
Thomas Johnston
330 Louisiana Blvd Ne
Albuquerque NM 87108

wayjohnsurv@aol.com

Application Fees

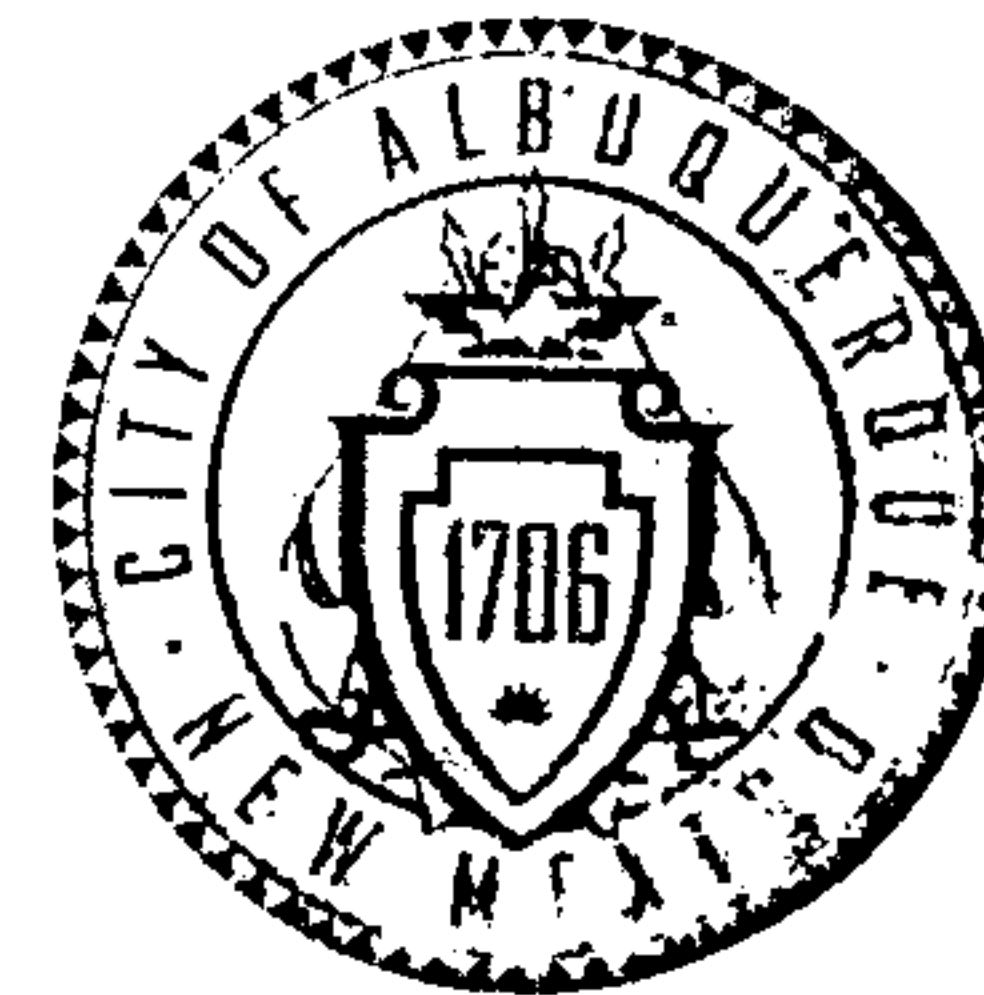
441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque
Treasury Division

7/22/2008 10:43AM LOC# ANNX
WS# 00/ TRANS# 0011
RECEIPT# 00101697-00101697
PERMIT# 2008070330 TRSLJS
Trans Amt \$70.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$70.00
CHANGE \$0.00

Thank You

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 11

SUBJECT:

Preliminary Plat Ext

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the extension request.

Albuquerque

NM 87103

RESOLUTION: 1 yr

APPROVED ; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: July 30, 2008

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 1, 2007
DRB Comments**

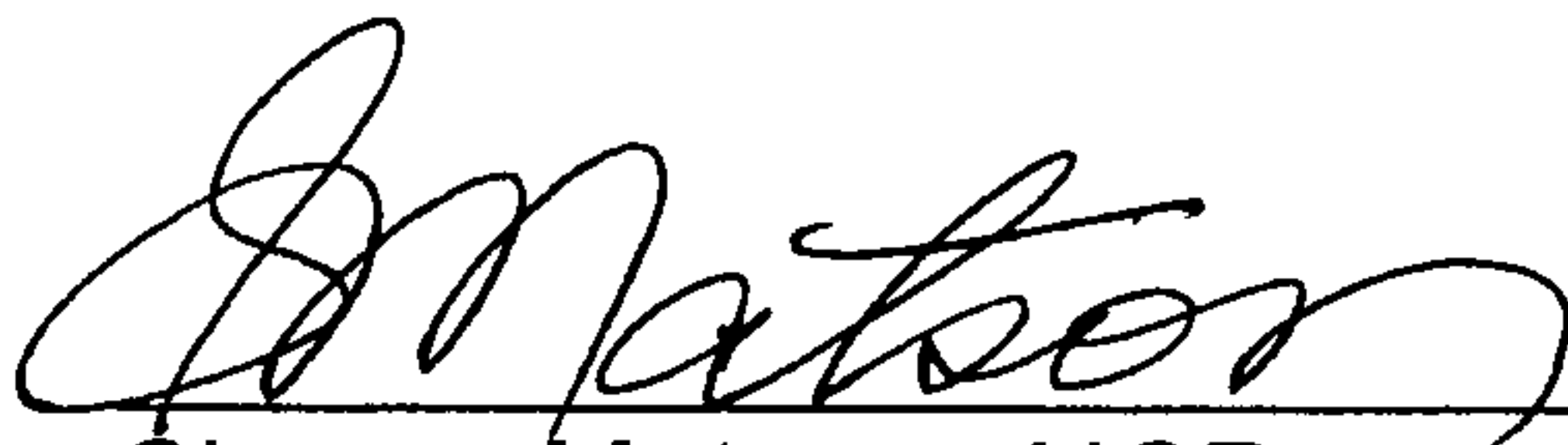
ITEM # 8

PROJECT #1004300

APPLICATION # 07-70158

RE: Lots 31 & 32, Block 9, Tract 9, N.A.A. Unit B/epp

No objection to the requested one year extension. The first extension was granted on August 9, 2006. So this request is within the required one year time period per the City Subdivision Ordinance.



Sheran Matson, AICP

DRB Chair

924-3880 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004300

AGENDA ITEM NO: 8

SUBJECT:

Preliminary Plat – Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee 505-924-3986

DATE: AUGUST 1, 2007

0




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 28, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Wayjohn Surveying Inc.

FROM: James Joseph, INTERA Inc. 

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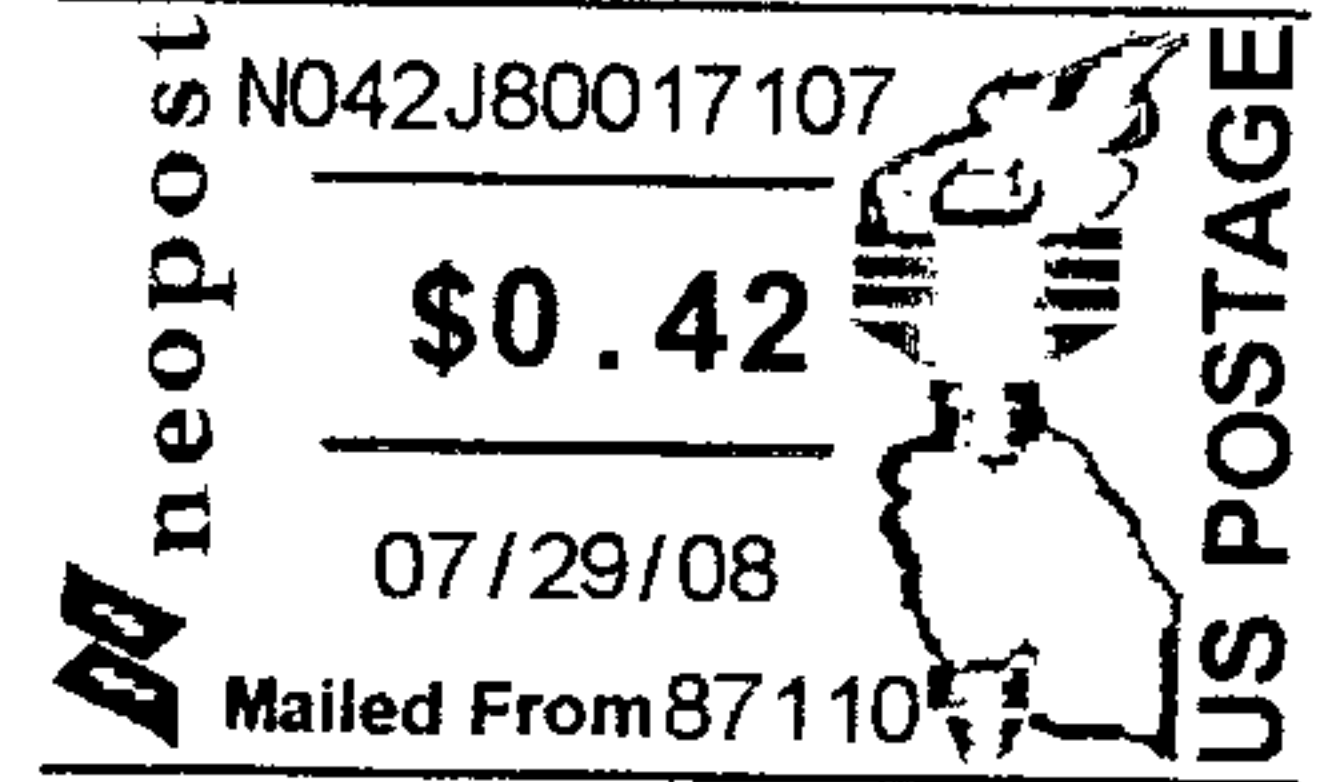
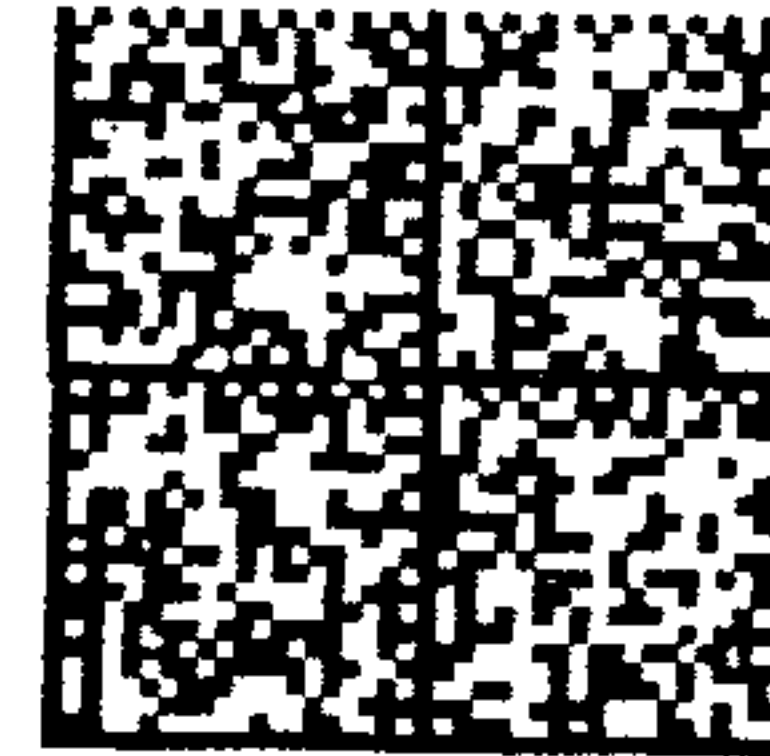
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Intera Incorporated
6000 Uptown Boulevard NE, Suite 100
Albuquerque, New Mexico 87110

Jack Cloud
Design Review Board
600 2nd Street NW
Suite 201
Albuquerque, NM 87102

87102+2265





Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): WAYSON SURVEYING INC. PHONE: 255-2052
 ADDRESS: 330 LOUISIANA BOULEVARD NE FAX: 255-2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYSONSURVE@AOL.COM

APPLICANT: ELITE DRI-WALL (ROBERT NAVARETTE) PHONE: 281-4144
 ADDRESS: 870 E. NWY 66 FAX: 286-4130
 CITY: ALBUQUERQUE STATE NM ZIP 87059 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: 3RD EXTENSION OF PRELIMINARY PLOT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31:32 Block: 9 Unit: B
 Subdiv/Addn/TBKA: TRACT A, NORTH ALBUQUERQUE ACRES
 Existing Zoning: SU-2/M1 Proposed zoning: SAME MRGCD Map No _____
 Zone Atlas page(s): C-18 UPC Code: 1018 064 024 490 20902

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1004300
06DRB-01088 07DRB-70158

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? YES
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 1.9986
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK AVENUE NE
 Between: SAV MATEO BLVD NE and INTERSTATE 25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 7.22.08

(Print) THOMAS D. JOHNSTON Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>08DRB - 70330</u>	<u>EPP</u>	<u>5(3)</u>	<u>\$ 50.00</u>
_____	<u>CME</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>07/30/08</u>			Total <u>\$ 70.00</u>

Sandy Handley 07/22/08

Project #

1004300

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

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- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHNSTON
Applicant name (print)

[Signature]
Applicant signature / date

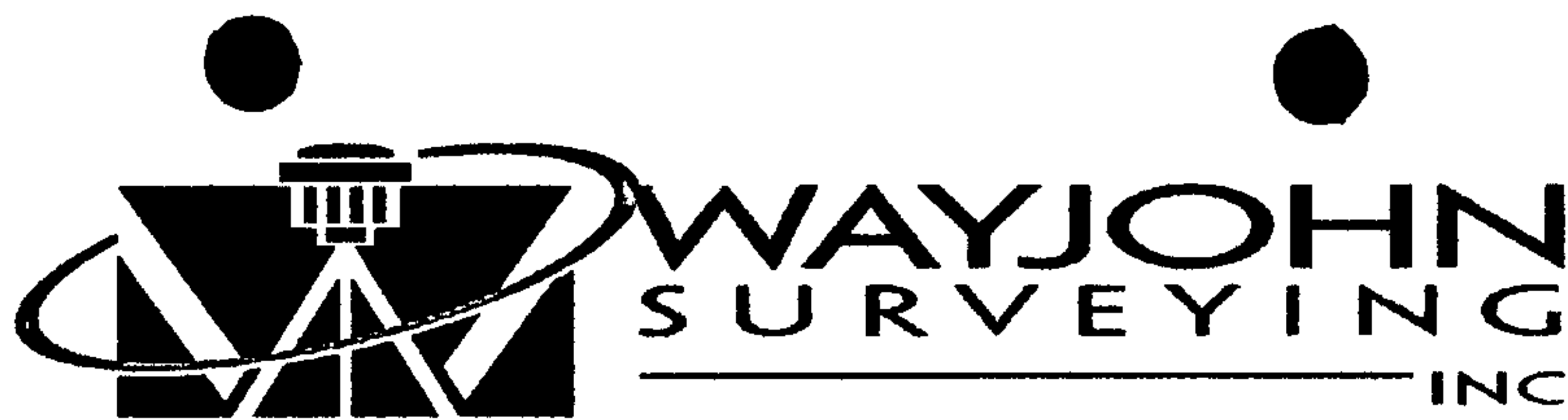


Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
08DRB - 70330
 _____ - _____
 _____ - _____

Sandy Handley 07/22/08
 Planner signature / date
 Project # 1004300



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

July 22, 2008

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Plat of Lot 31-A, Block 9, Tract A, Unit B, North Albuquerque Acres, Project No.
1004300

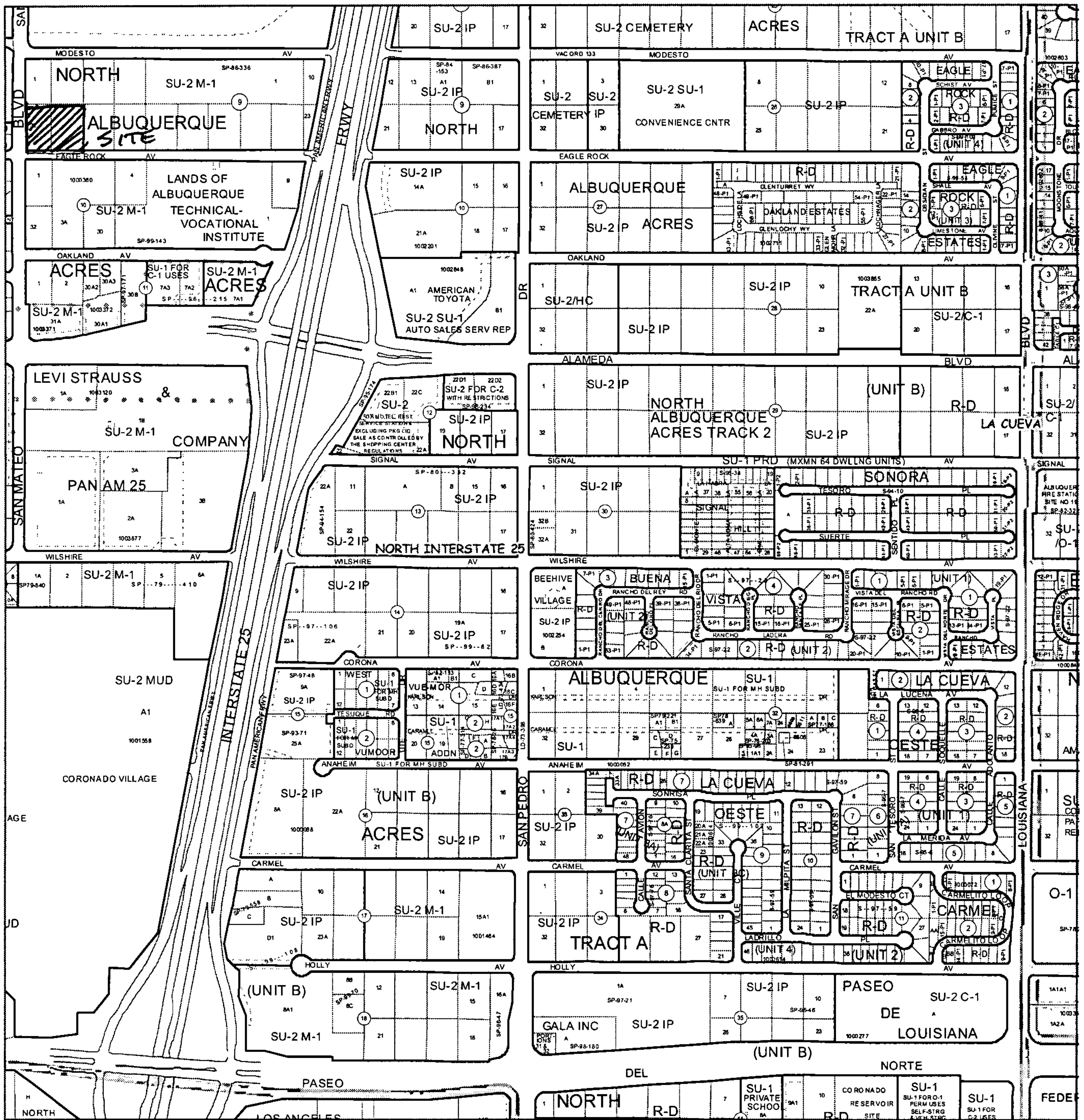
To Whom It May Concern:

I am submitting a request for a third extension of preliminary minor subdivision plat to create one lot from two existing parcels. We have requested a second extension of preliminary plat in August 2007. The proposed building and parking lot on the site have been constructed. Additionally, the public infrastructure (storm drain, paving, etc.) has been completed. The DRC closeout package is in the process of being completed. However, I do not believe that the closeout package will be complete prior to expiration of the preliminary plat extension. We would like to request an additional preliminary plat extension for three months in order for the owner to complete the public infrastructure closeout.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 3/14/2006

Note: Grey Shading Represents Area Outside of the City Limits

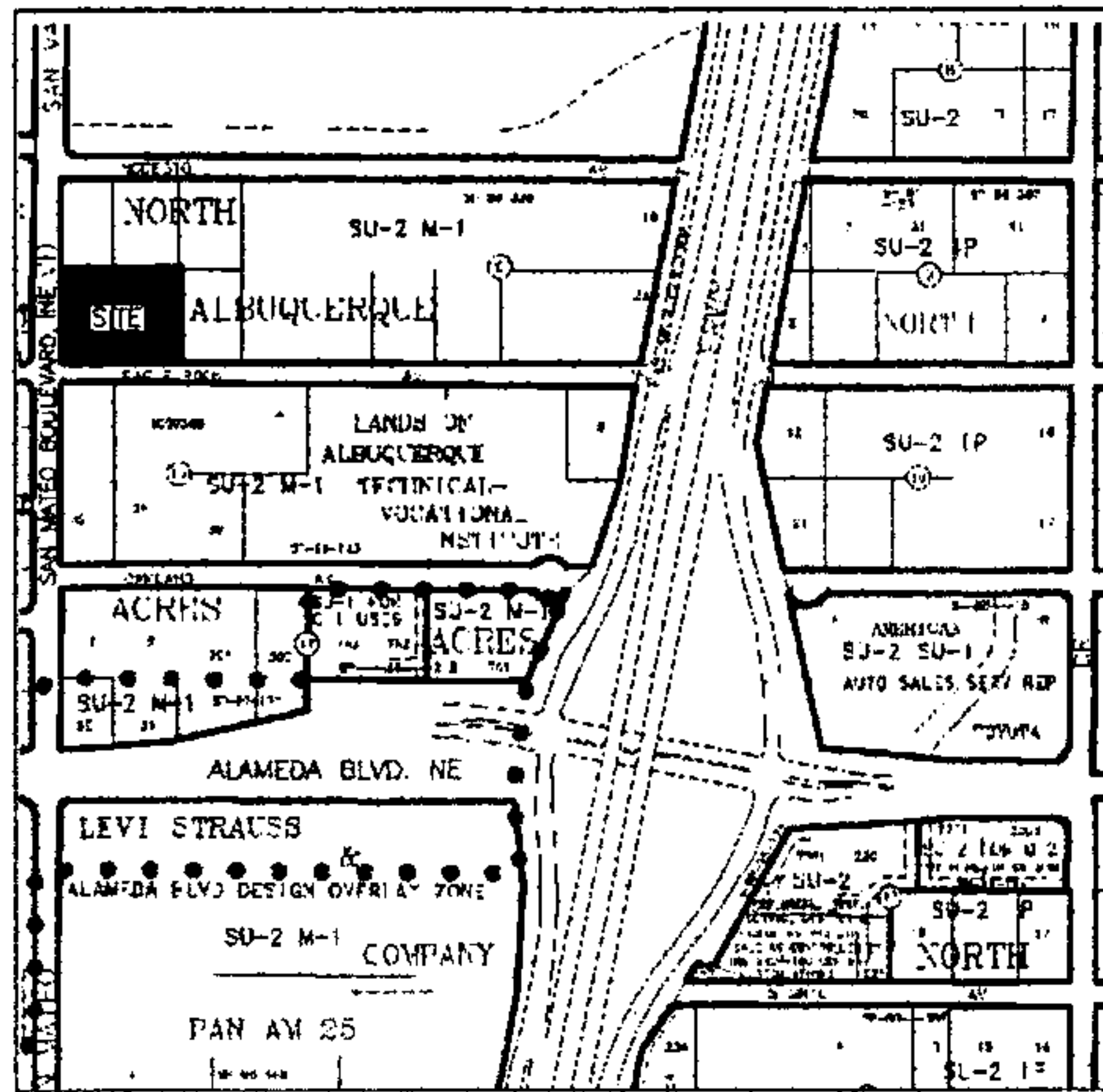
Zone Atlas Page:
C-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

VICINITY MAP (C-18) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PLAT OF
**LOT 31-A, BLOCK 9, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES**

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
 SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

DESCRIPTION:

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, folio 130.

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. _____ SUBMISSION CASE NO. _____

City Surveyor, City of Albuquerque _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Water Utility Department _____ Date _____

Parks and Recreation Department _____ Date _____

A.M.A.F.C.A. _____ Date _____

City Engineer _____ Date _____

DRB Chairperson, Planning Department _____ Date _____

Environmental Health _____ Date _____

SUBDIVISION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 M1
4. Gross acreage 1.9986
5. Existing number of parcels 2
 Replatted number of lots 1

LOG NO. 2005104333

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. This plat shows all easements of record. (there are no easements of record)
5. No easements have been granted by this plat.
6. Right-of-way is dedicated to the City of Albuquerque in fee simple by this plat as dimensioned and annotated hereon.
7. Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat as dimensioned and annotated hereon.
8. This survey is based on descriptions contained in the following documents:
 Plat of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936 in Volume D, folio 130.

FREE CONSENT

The platting of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres as shown and designated on the plat of said Addition, dedication of right of way in fee simple to the City of Albuquerque and dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

Robert Navarrette

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires _____

Notary Public

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269

	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# 1 018 084 010 490 20901, 1 018 084 024 490 20902

PROPERTY OWNER OF RECORD:
 NAVARRETTE, ROBERT

BERNALILLO COUNTY TREASURER'S OFFICE

PLAT OF
**LOT 31-A, BLOCK 9, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES**

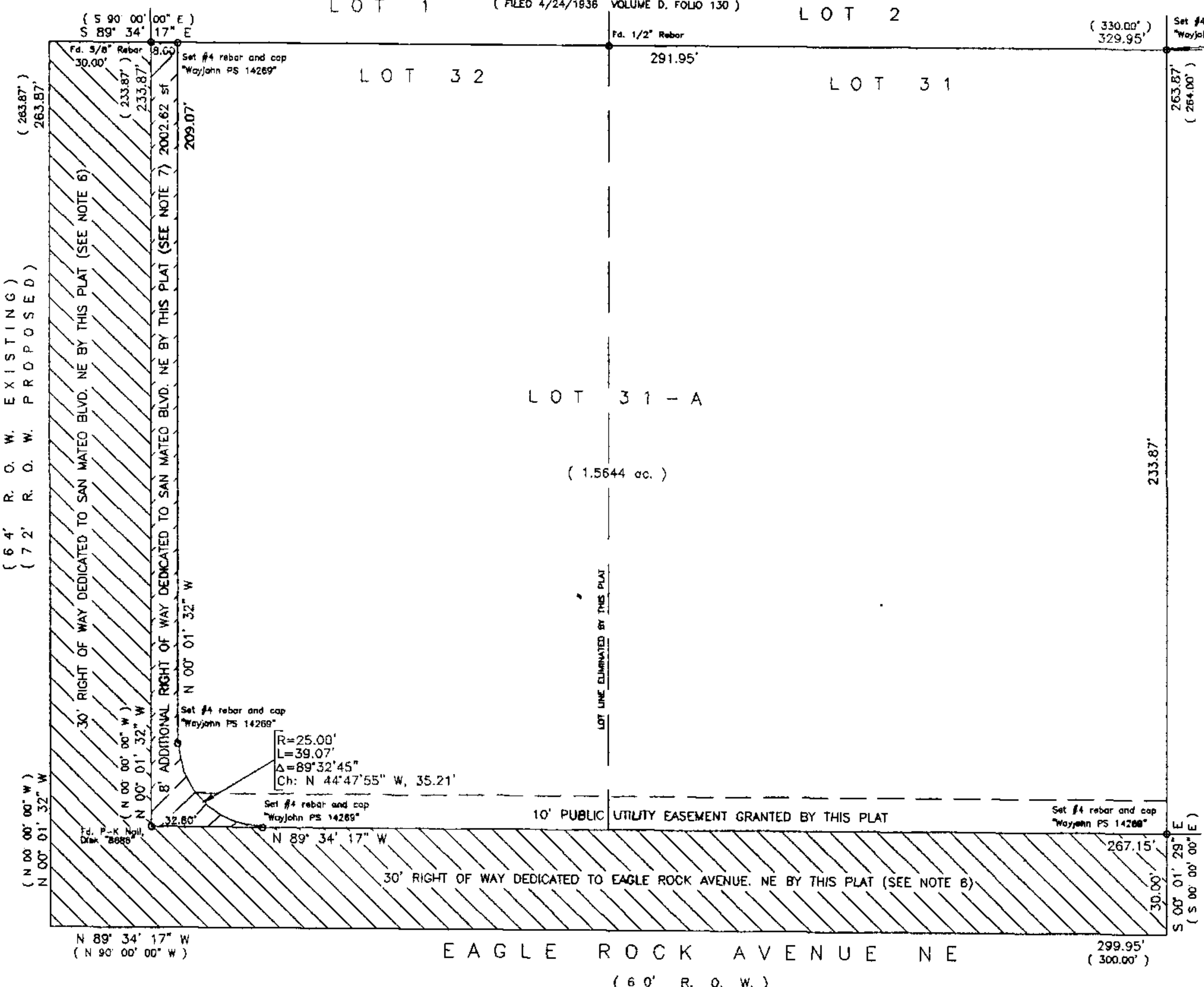
A REPLAT OF LOTS 31 AND 32, BLOCK 9,
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
 SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

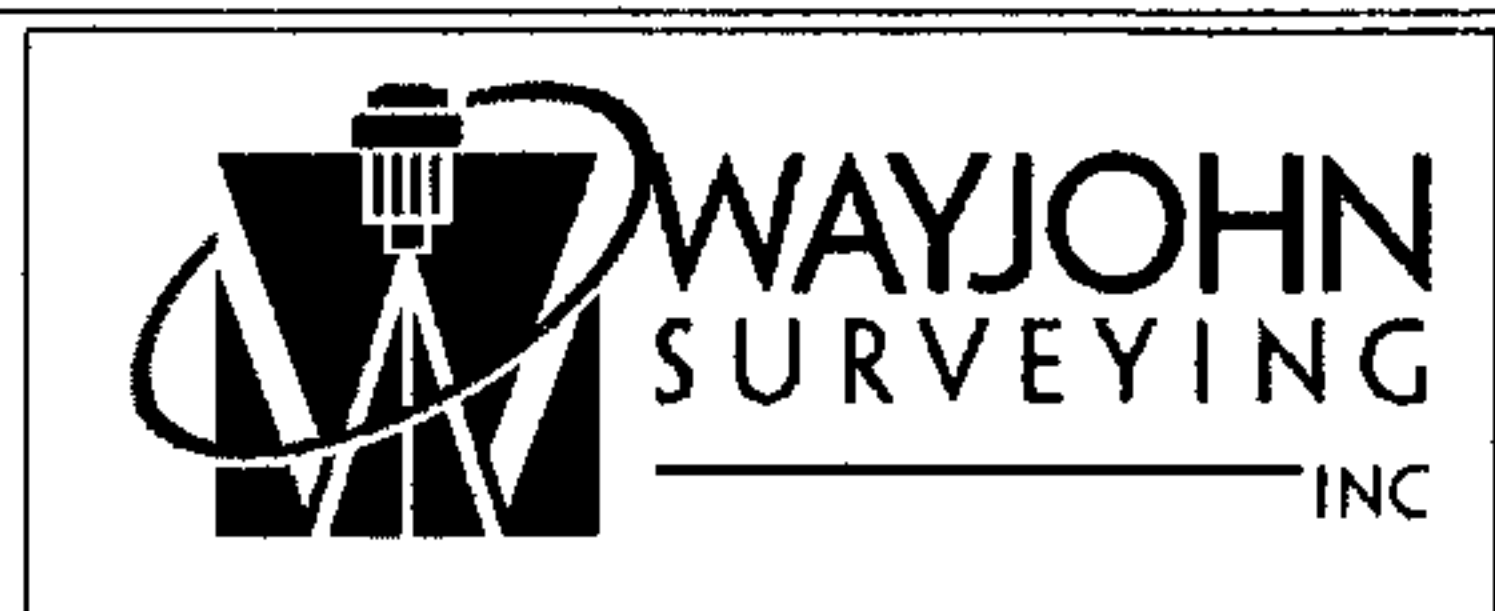
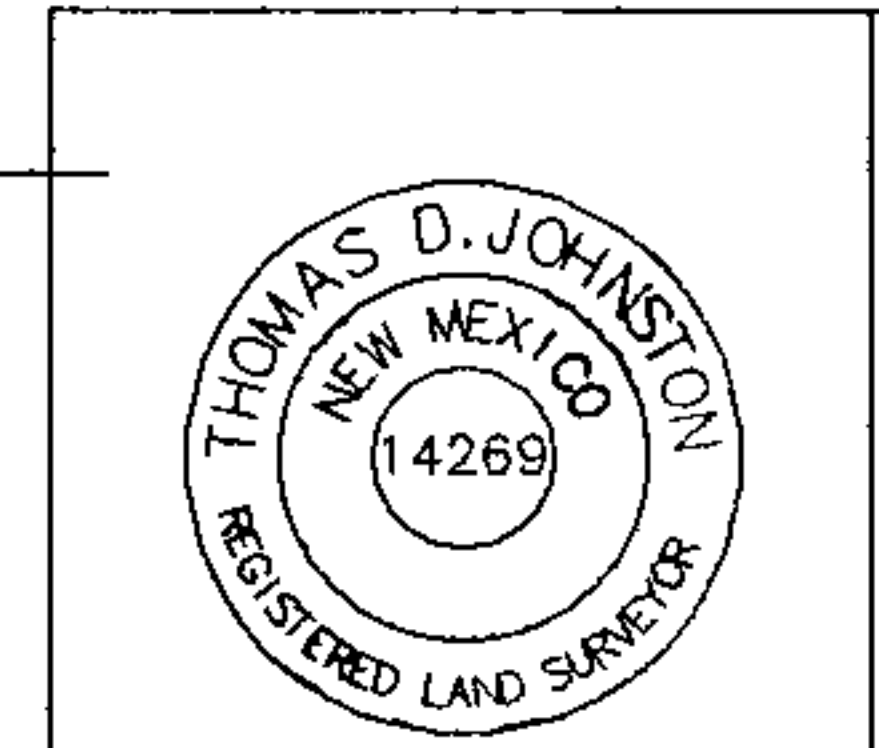
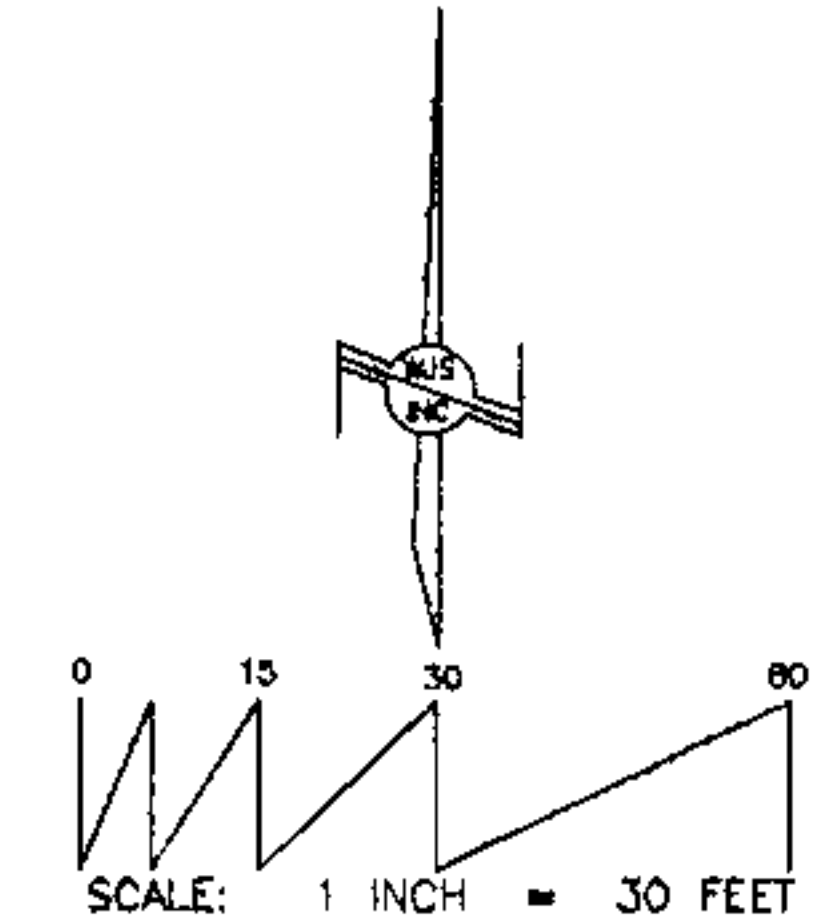
COUNTY CLERK RECORDING LABEL HERE

BLOCK 9, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES

SAN MATEO BOULEVARD NE
 (64' R.O.W. EXISTING)
 (72' R.O.W. PROPOSED)



ACS MONUMENT "10-C18"
 x = 402,319.45
 y = 1,524,061.42
 Ground-to-grid:
 0.9999613
 Delta Alpha: -00'11"18"
 NAD 1927



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K	SCALE: 1" = 30'	FILE NO. SP-8-01-2005
	CHECKED: T D J	DRAWING NO. SP80105.DWG	05 AUG 2005 SHEET 2 OF 2

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 8/24/05

Date Site Plan Approved: 8/24/05

Date Preliminary Plat Approved: 8/24/05

Date Preliminary Plat Expires: 8/24/06

1004300 DRB Project No.: 1000351

DRB Application No: 05-01309



6/2/08

LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 31 & 32, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			CURB AND GUTTER	SAN MATED	EAGLE ROCK	N. PROP. LINE	1	1	1
		6'	SIDEWALK	SAN MATED	EAGLE ROCK	N. PROP LINE	1	1	1
		2" / 24'	MILL AND OVERLAY PAVEMENT (COLLECTOR)	E. SIDE SAN MATED	EAGLE ROCK	N. PROP LINE	1	1	1
		6'	SIDEWALK	EAGLE ROCK	E. PROP LINE	SAN MATED	1	1	1
		48"	STORM DRAIN	SAN MATED	N. PROP LINE	EAGLE ROCK	1	1	1
			<div style="border: 2px solid black; border-radius: 50%; padding: 10px; display: inline-block;"> ⚠ built by CPN 622881 (EXISTING STORM DRAIN LOCATION) </div>				1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1

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LAND RESOURCES

9243862

P.5

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

- 1 THE REMEDIATION MEASURES FOR LANDFILL GAS ABATEMENT OUTLINED IN THE "STATE LANDFILL GAS ABATEMENT REPORT" ARE INCLUDED AS REQUIRED INFRASTRUCTURE ITEMS
CORONADO LANDFILL
- 2
- 3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

THOMAS D. JOHNSTON (AGENT)
NAME (print)

[Signature] 8/24/05
DRB CHAIR - date

Christina Sandoral 8/24/05
PARKS & GENERAL SERVICES - date

WAYJOWN SURVEYING Inc.
FIRM

[Signature] 8-24-05
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 8-9-05
SIGNATURE - date

[Signature] 8/24/05
UTILITY DEVELOPMENT - date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

[Signature] 8-24-05
CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
1	10/25/07	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
2	6/2/08		<i>[Signature]</i>	<i>[Signature]</i>

Sep 16 02 04:28p LAND RESOURCES 9243862 p.7



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 1, 2007

8. Project# 1004300
07DRB-70158 EXT OF MAJOR PRELIMINARY PLAT

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block 9, Tract A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-1/M-1, located on EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25 NE containing approximately 1.9986 acre(s). (C-18)

At the August 1, 2007, Development Review Board meeting, a one-year extension of the preliminary plat was approved.



Sheran Matson, AICP, DRB Chair

Cc: Wayjohn Surveying Inc, 330 Louisiana Blvd NE, 87108
Elite Dri-Wall, Robert Navarette 870 E Highway 66, 87059
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 8/24/05
Date Site Plan Approved: 8/24/05
Date Preliminary Plat Approved: 8/24/05
Date Preliminary Plat Expires: 8/24/06
1004300 DRB Project No.: 1004300-1
DRB Application No.: 25-01309

LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 31 & 32, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			<u>CURB AND GUTTER</u>	<u>SAW MATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP. LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>6'</u>	<u>SIDEWALK</u>	<u>SAW MATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>24'</u>	<u>PAVEMENT (COLLECTOR)</u>	<u>E. SIDE SAW MATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>6'</u>	<u>SIDEWALK</u>	<u>EAGLE ROCK</u>	<u>E. PROP LINE</u>	<u>SAW MATED</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>48"</u>	<u>STORM DRAIN</u>	<u>SAW MATED</u>	<u>N. PROP. LINE (EXISTING STORM DRAIN)</u>	<u>EAGLE ROCK SUMP LOCATION</u>	<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>

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LAND RESOURCES
9243862
P.5

ORIGINAL

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>

Private Inspector	City Inspector	City Cnsl Engineer
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>

NOTES

1 THE REMEDIATION MEASURES FOR LANDFILL GAS ABATEMENT OBTAINED IN THE STATE LANDFILL GAS ABATEMENT REPORT ARE INCLUDED AS REQUIRED INFRASTRUCTURE ITEMS

2 COLOUADO LANDFILL

3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

THOMAS D. JOHNSTON (AGENT)
 NAME (prinl)
 WAYLAND SUBURBS INC.
 FIRM

[Signature]
 DRB CHAIR - date 8-24-05
 CHRISTINE SANDORAL 8/24/05
 PARKS & GENERAL SERVICES - date

[Signature]
 SIGNATURE - date 8-24-05

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION:

[Signature]
 TRANSPORTATION DEVELOPMENT - date 8-24-05
[Signature]
 UTILITY DEVELOPMENT - date 8-24-05
 CITY ENGINEER - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT / OWNER
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): WAYSON SURVEYING, INC. PHONE: 255-2052
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYSONSURV@AOL.COM

APPLICANT: ELITE DRI-WALL (ROBERT NAVARETTE) PHONE: 286-4144
 ADDRESS: 870 E. HWY 66 FAX: 286-4130
 CITY: ALBUQUERQUE STATE NM ZIP 87059 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PUD APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31 & 32 Block: 9 Unit: B
 Subdiv/Addn/TBKA: TRACT A, NORTH ALBUQUERQUE ACRES
 Existing Zoning: SU-2/M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-18 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1004300

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? YES
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 1.9986
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK AVENUE NE
 Between: SAN MATEO BLVD NE and INTERSTATE 25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 7.24.07
 (Print) THOMAS D. JOHNSTON Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 70158</u>	<u>EPP</u>	<u>6(3)</u>	<u>\$ 50.⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMP</u>	_____	<u>\$ 20.⁰⁰</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>August 1, 2007</u>	_____	_____	<u>\$ 70.⁰⁰</u>

Andrew Garcia 7/24/07 Project # 1004300

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined.
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

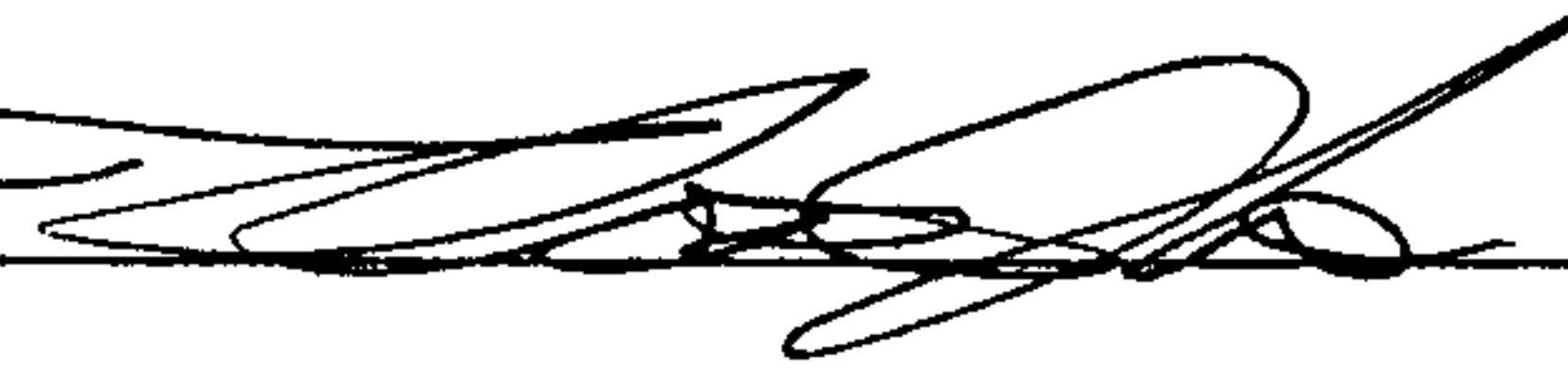
- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

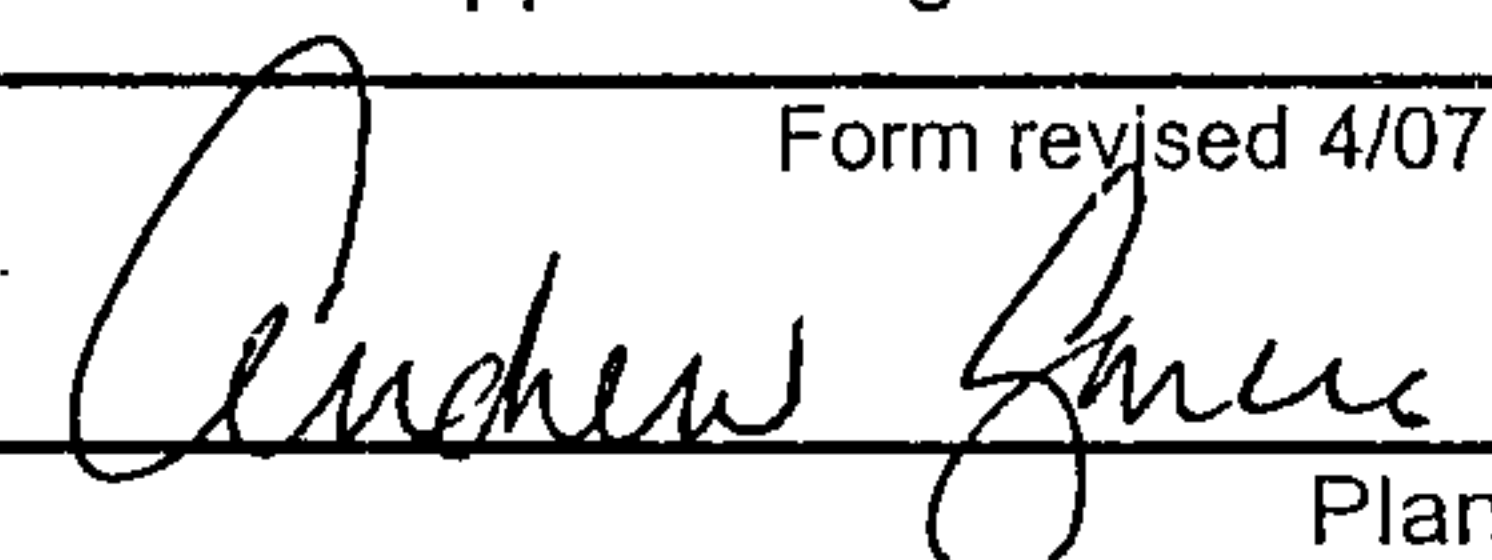
THOMAS D. JOHNSTON (AGENT)
 Applicant name (print)

 Applicant signature / date
 7-24-07



Form revised 4/07

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 07DRB - 70158
 - -
 - -

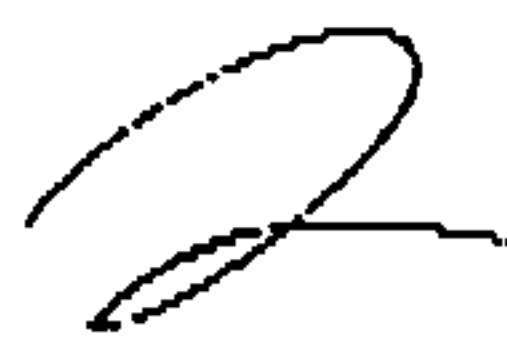

 Planner signature / date
 7/24/07
Project # 1004300

File**INTERA** **COPY****INTERA Incorporated**
6000 Uptown Boulevard NE
Suite 800
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600**MEMORANDUM**

DATE: July 30, 2007

TO: ~~Sheran~~ Sheran Matson, Planning Department – Design Review Board

COPY: Rhonda Methvin, Environmental Health Department
Kevin Curran, Legal Department
WayJohn Surveying, Inc.

FROM: Jim Joseph, P.E., INTERA Inc. 

SUBJECT: Project # 1004300; Lots 31 & 32, Block 9, Tract A, North Albuquerque Acres
(07DRB-70158 Ext. of Major Preliminary Plat)

There is the potential for above named project to be impacted by the presence of landfill gas generated by one former City owned/operated landfills (Coronado Landfill). The developers of this site are required to follow the most current version of the "Interim Guidelines for Development within City Designated Landfill Buffer Zones." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

Professional/Agent (if any): WAYSON SURVEYING INC. PHONE: 255.2052
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255.2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYSONSURV@AOL.COM

APPLICANT: ELITE DRI-WALL (ROBERT NAVARETTE) PHONE: 286.4144
 ADDRESS: 870 E. HWY 66 FAX: 286.4130
 CITY: ALBUQUERQUE STATE NM ZIP 87059 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PUD APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31 & 32 Block: 9 Unit: B
 Subdiv/Addn/TBKA: TRACT A, NORTH ALBUQUERQUE ACRES
 Existing Zoning: SU-2/M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-18 MRGCD Map No. _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1004300

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? YES
 No. of existing lots: 2 No. of proposed lots: 1 Total area of site (acres): 1.9986
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK AVENUE NE
 Between: SAN MATEO BLVD NE and INTERSTATE 25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 7.24.07
 (Print) THOMAS D. JOHNSTON Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>07DRB - 70158</u>	<u>EPP</u>	<u>6(3)</u>	<u>\$ 50.⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.⁰⁰</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 70.⁰⁰</u>

Hearing date August 1, 2007

Andrew Jimenez 7/24/07

Project # 1004300

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

SKETCH PLAT REVIEW AND COMMENT (DRB22) **Your attendance is required.**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- List any original and/or related file numbers on the cover application

EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08) **Your attendance is required.**

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application
- Extension of preliminary plat approval expires after one year.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12) **Your attendance is required.**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Copy of recorded SIA
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- List any original and/or related file numbers on the cover application
- DXF file and hard copy of final plat data for AGIS is required.

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16) **Your attendance is required.**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings
- Signed & recorded Final Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- Fee (see schedule)
- List any original and/or related file numbers on the cover application
- Infrastructure list if required (**verify with DRB Engineer**)
- DXF file and hard copy of final plat data for AGIS is required.

AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03) **Your attendance is required.**

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
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 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application
- Amended preliminary plat approval expires after one year**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHNSTON (AGENT)
Applicant name (print)

[Signature]
Applicant signature / date

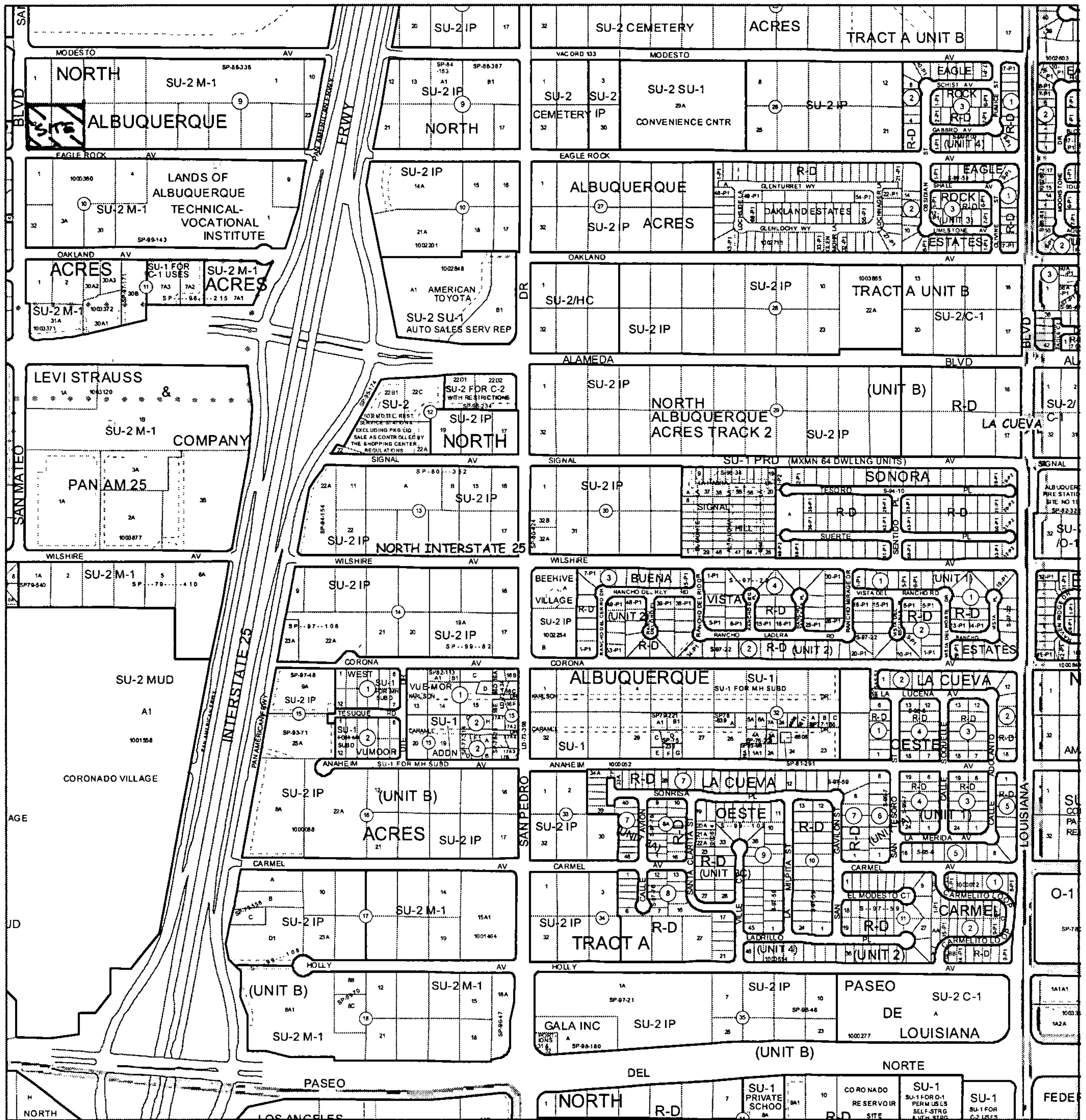


Form revised 4/07

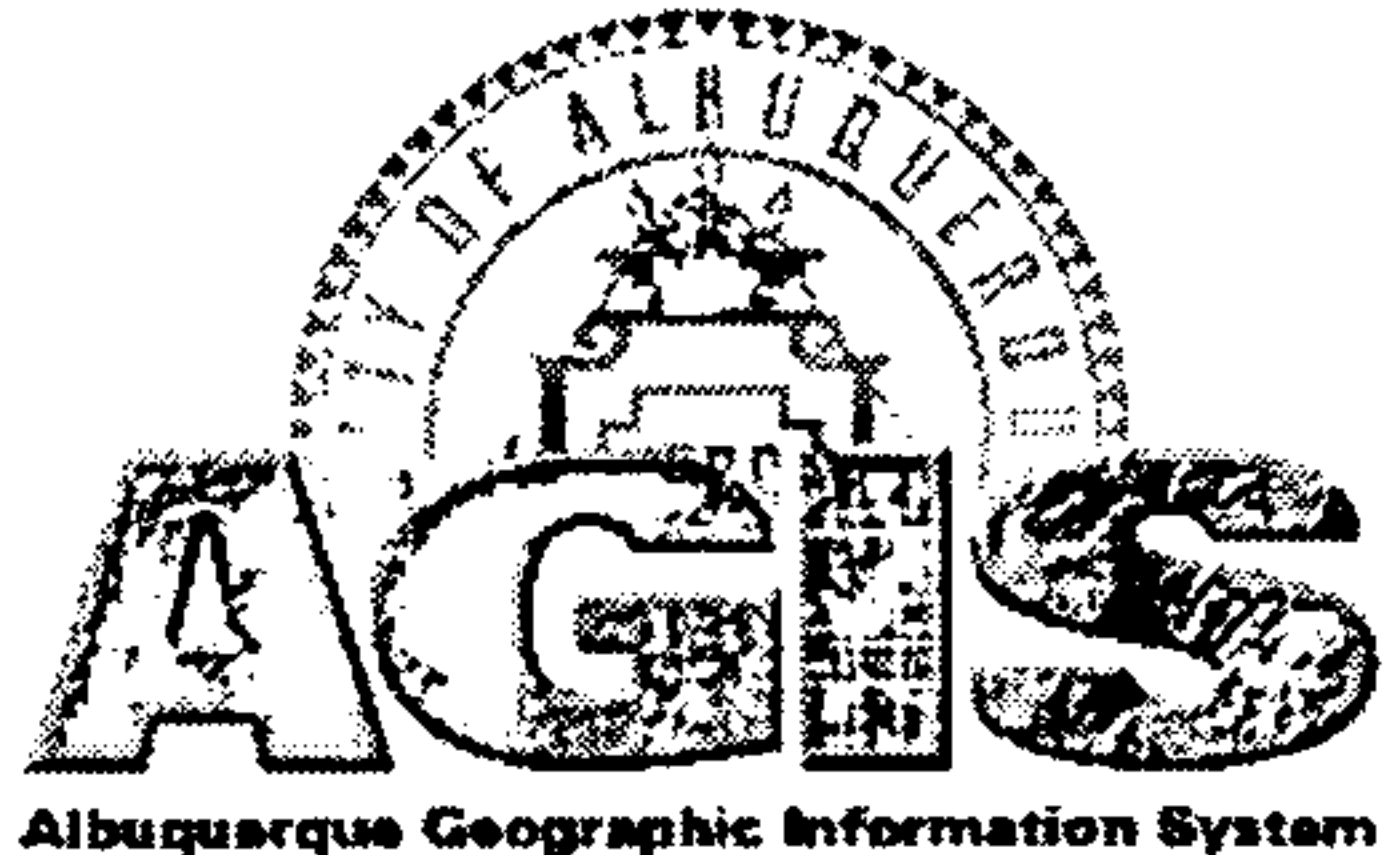
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
07DRB - 10158

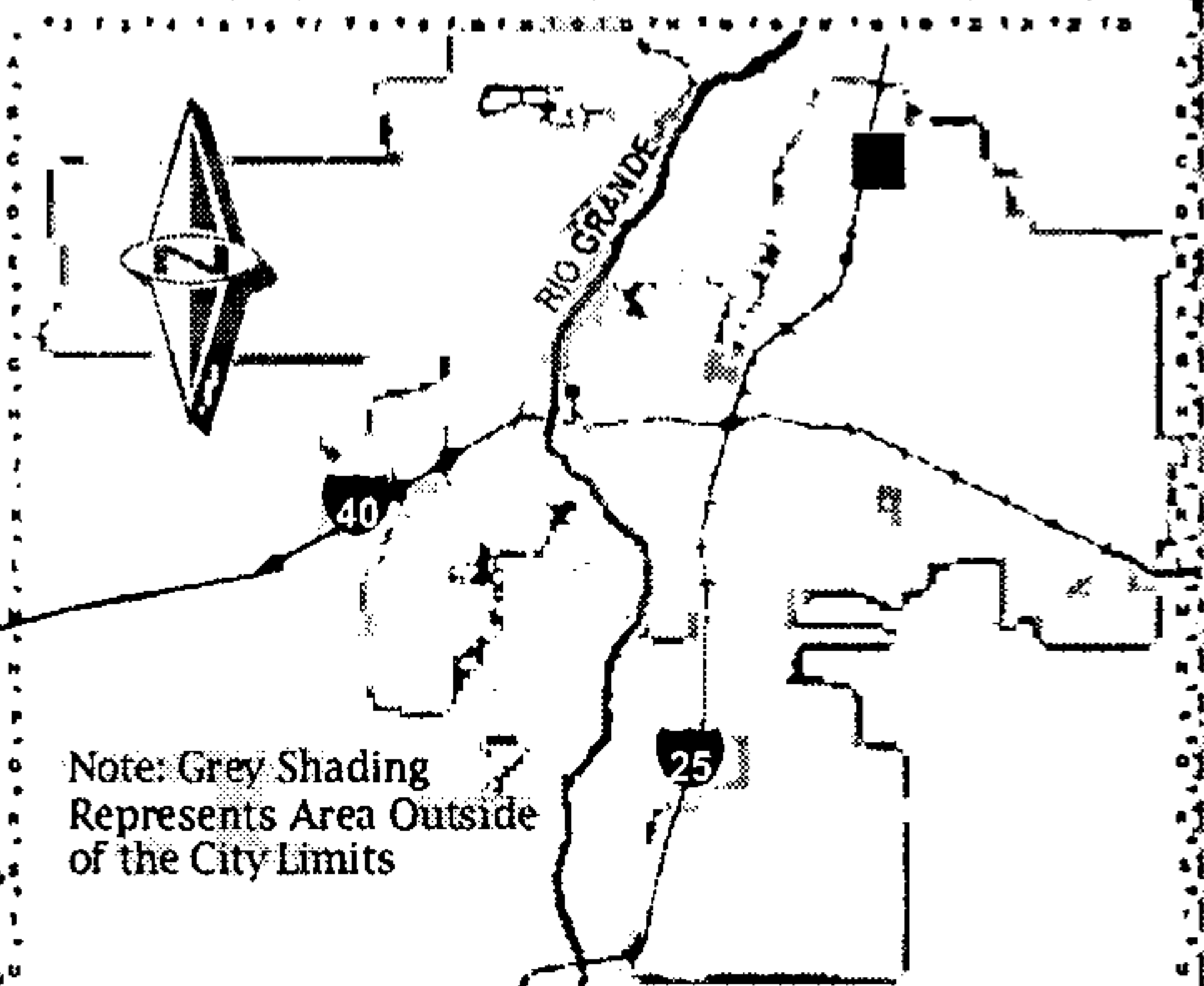
Andrew Gomez 7/24/07
 Planner signature / date
Project # 1004300



For more current information and more details visit: <http://www.cabq.gov/gis>




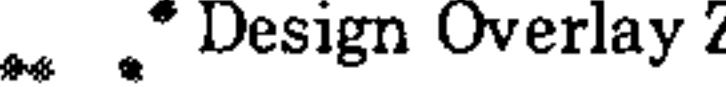
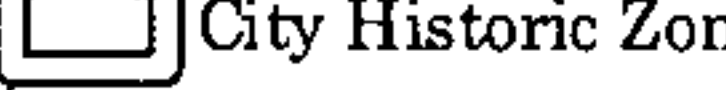

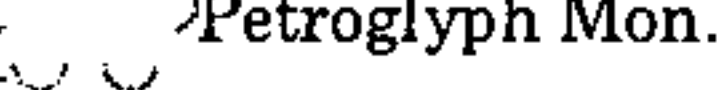
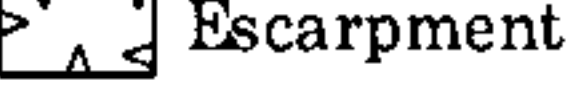

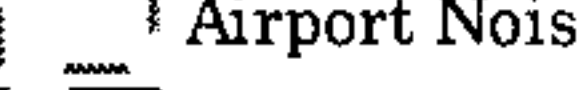
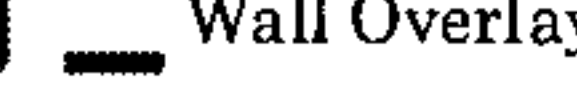
Map amended through: 3/14/2006



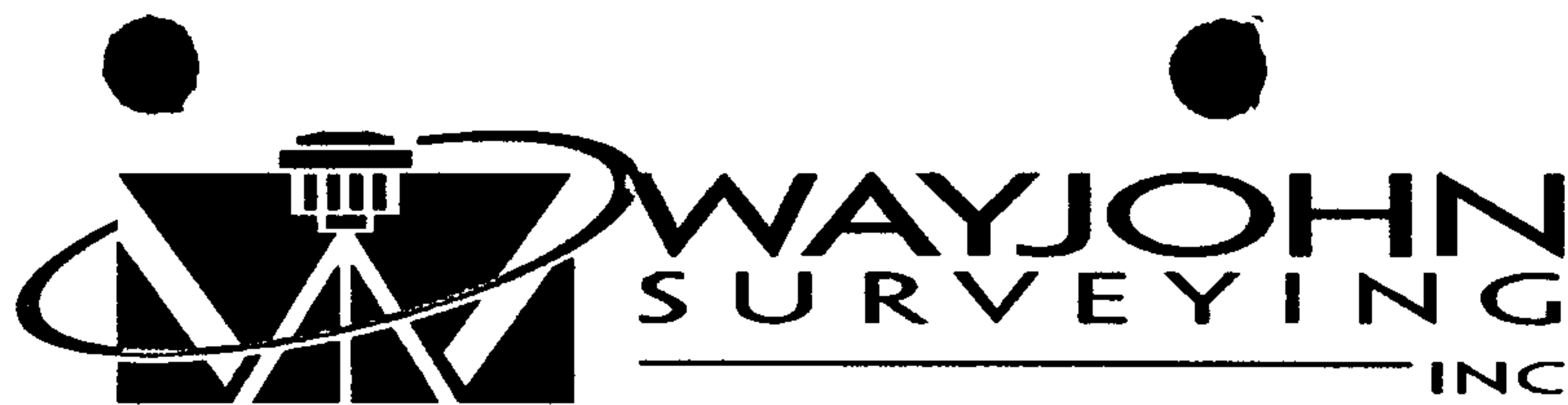
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

Selected Symbols

-  SECTOR PLANS
-  Design Overlay Zones
-  City Historic Zones
-  H-1 Buffer Zone
-  Petroglyph Mon.
-  Escarpment
-  2 Mile Airport Zone
-  Airport Noise Contours
-  Wall Overlay Zone

0 750 1,500 Feet



330 Louisiana Blvd., N.E. • Albuquerque, NM 87108 • Phone: (505) 255-2052 • Fax: (505) 255-2887

July 24, 2007

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Plat of Lot 31-A, Block 9, Tract A, Unit B, North Albuquerque Acres, Project No.
1004300

To Whom It May Concern:

I am submitting a request for a second extension of preliminary minor subdivision plat to create one lot from two existing parcels. We have requested one extension of preliminary plat in August 2006. The proposed building and parking lot on the site have been constructed. However, the public infrastructure (storm drain, paving, etc.) has not been completed. The DRC planset has been approved and a work order has been obtained. We would like to request an additional preliminary plat extension in order for the owner to complete the public infrastructure construction.

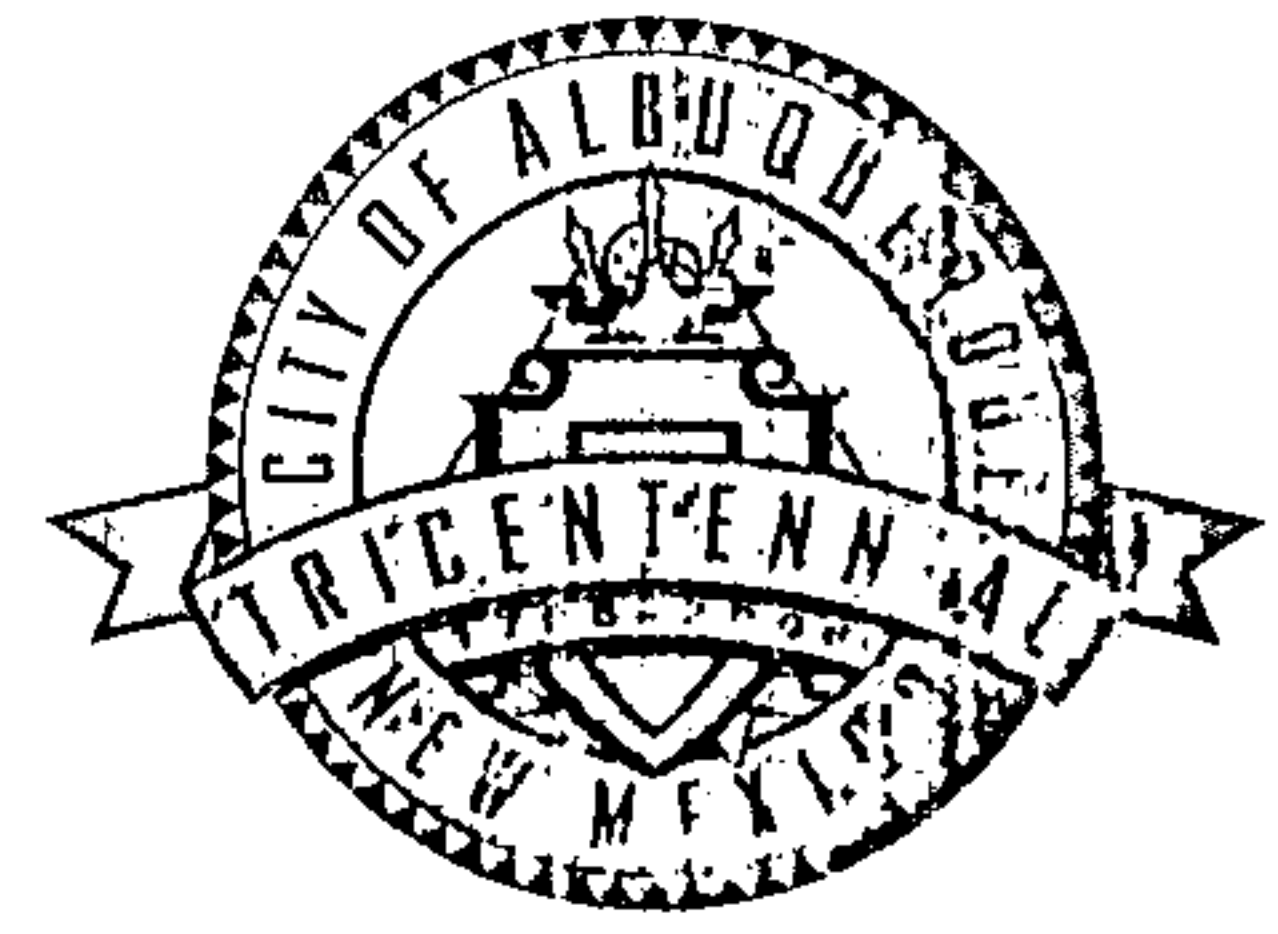
Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "Thomas D. Johnston". The signature is fluid and cursive, with a long horizontal stroke at the end.

Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.

CITY OF ALBUQUERQUE



July 11, 2007

Thomas Johnston, P.E.
TGC Engineering, Inc.
330 Louisiana Blvd. NE
Albuquerque, NM 87108

**Re: Elite Dri Wall, 5201 Eagle Rock Avenue NE, Certificate of Occupancy
(C18-D37E)**

Certification dated 7-11-07

Dear Mr. Johnston,

Based upon the information provided in your submittal received 7-11-07, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

11/10/07



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 9, 2006

9. Project # 1004300

06DRB-01088 Minor-Extension of Preliminary Plat

WAYJOHN SURVEYING INC agent(s) for ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31 & 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2/M-1, located on EAGLE ROCK AVE NE, between SAN MATEO BLVD NE and INTERSTATE 25 NE containing approximately 2 acre(s). (C-18)

At the August 9, 2006, Development Review Board meeting, a one-year extension of the preliminary plat was approved.

Sheran Matson, AICP, DRB Chair

Cc: Elite Dri-Wall, Attn: Robert Navarette, 870 Highway 66, 87059
Wayjohn Surveying Inc., 330 Louisiana Blvd NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

07/24/2007 Issued By: PLNABG

Permit Number: 2007 070 158 **Category Code 910**

Application Number: 07DRB-70158, Ext Of Major Preliminary Plat

Address:

Location Description: EAGLE ROCK AVE NE BETWEEN SAN MATEO BLVD NE AND INTERSTATE 25 NE

Project Number: 1004300

Applicant
Elite Dri-Wall

870 E. Highway 86
Tijeras, NM 87059
288-2052

Agent / Contact
Wayjohn Surveying Inc
Thomas Johnston
330 Louisiana Blvd Ne
Albuquerque, NM 87108

wayjohnsurv@aol.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441006/4983000	DRB Actions	\$50.00
TOTAL:		\$70.00

City Of Albuquerque
Treasury Division

7/24/2007 10:37AM LOC: ANNX
WS# 006 TRANSH 0005
RECEIPT# 00079993-00079993
PERMIT# 2007070158 TRSCCS
Trans Amt \$70.00
Conflict Manag. Fee \$20.00
DRB Actions \$50.00
CK \$70.00
CHANGE \$0.00

Thank You

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

ZONING Supplemental form **Z**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ELITE DRI-WALL (ROBERT NAVARETTE) PHONE: 206-4144

ADDRESS: 870 HWY. 66 FAX: 206-4130

CITY: ALBUQUERQUE STATE NM ZIP 87059 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): WAYJOHN SURVEYING, INC. PHONE: 255-2052

ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2887

CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYJOHN SURVEYING@AOL.COM

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 31 & 32 Block: 9 Unit: B

Subdiv. / Addn. TRACT A, NORTH ALBUQUERQUE ACRES

Current Zoning: SU-2 / M-1 Proposed zoning: SAME

Zone Atlas page(s): C-18 No. of existing lots: 2 No. of proposed lots: 1

Total area of site (acres): 1.9986 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES

UPC No. 101806402449020902 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK AVENUE NE

Between: SAN MATEO BLVD NE and INTERSTATE 25

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1004300

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 7-28-06

SIGNATURE Thomas D. Johnston DATE _____

(Print) THOMAS D. JOHNSTON Applicant Agent

Form revised September 2001

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>06DRB - 01088</u>	<u>EPP</u>		\$ <u>50.⁰⁰</u>
	<u>CMF</u>		\$ <u>20.⁰⁰</u>
			\$ _____
			\$ _____
			\$ _____
			\$ _____
Hearing date <u>August 9, 2006</u>			Total \$ <u>70.⁰⁰</u>

Andrew Garcia 7/28/06
Planner signature / date

Project # 1004300

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval *JIM MEDLEY HAS OFFICIAL NOTICE FEE. \$50 + \$20 CONFLICT.*
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Fee (see schedule)
- ___ Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- ___ Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHNSTON

Applicant name (print)

[Signature] 7-28-06

Applicant signature / date



Form revised MARCH 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
06DRB - 01088

[Signature] 7/28/06
Planner signature / date
Project # 1004300



330 Louisiana Blvd., N.E. ♦ Albuquerque, NM 87108 ♦ Phone: (505) 255-2052 ♦ Fax: (505) 255-2887

July 28, 2006

Ms. Sheran Matson
DRB Chair
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Plat of Lot 31-A, Block 9, Tract A, Unit B, North Albuquerque Acres
Proj. No. 100430, Subd. No. 05DRB-01286

Dear Ms. Matson:

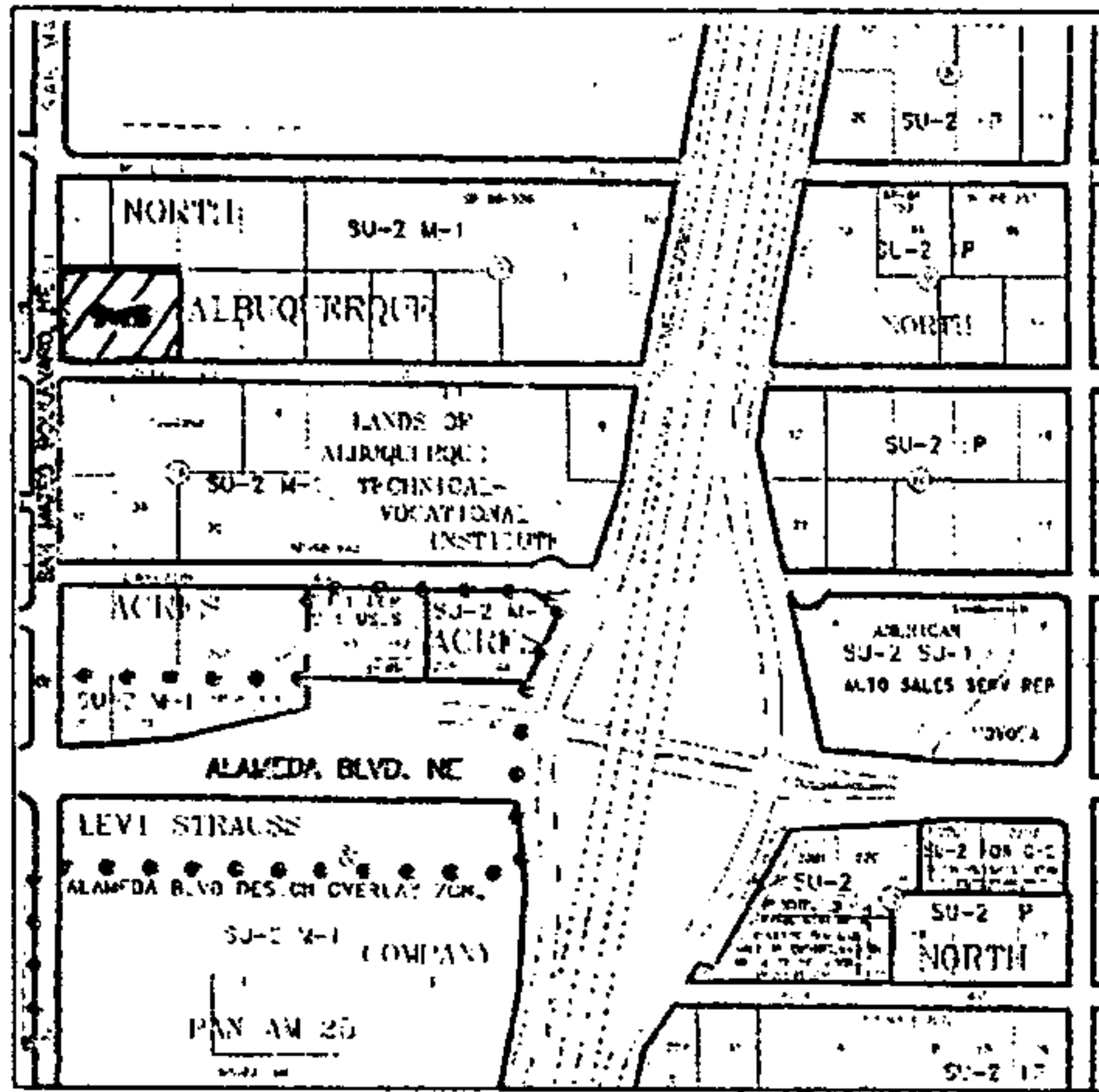
We are requesting an extension of the Preliminary Plat approval for the above project. The planset for the improvements in San Mateo Boulevard and Eagle Rock Avenue has not been finalized through the DRC yet. TGC Engineering is addressing the latest comments and expects to resubmit next week. Nevertheless, calendar time is short and it is our belief that we will more than likely need the extension.

Regards,

A handwritten signature in black ink, appearing to read 'E. W. Kiess', written over a light background.

E. W. Kiess
For Wayjohn Surveying, Inc.

VICINITY MAP (C-18) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION:

Lots numbered Thirty-one (31) and Thirty-two (32), in Block Numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, folio 130.

PLAT OF
LOT 31-A, BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1004300 SUBDIVISION CASE NO. OSDRB-01286
[Signature] 8-9-05
City Surveyor, City of Albuquerque Date

Traffic Engineering, Transportation Division Date

Water Utility Department Date

Parks and Recreation Department Date

A.M.A.F.C.A. Date

City Engineer Date

DRB Chairperson, Planning Department Date

Environmental Health 7-10-06
[Signature] Date

Print Graphic Services 5-18-06
[Signature] Date

Print Cos Services 5-18-06
[Signature] Date

[Signature] 5-18-06
Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 8-9-05
Thomas D. Johnston, N.M.E.S. No. 14269

SUBDIVISION DATA

1. DRB Proj. No. 1004300
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 M1
4. Gross acreage 1.9986
5. Existing number of parcels 2
Replatted number of lots 1

LOG NO. 2005104333

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribe plat.
4. This plat shows all easements of record. (there are no easements of record)
5. No easements have been granted by this plat.
6. Right-of-way is dedicated to the City of Albuquerque in fee simple by this plat as dimensioned and annotated hereon.
7. Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat as dimensioned and annotated hereon.
8. This survey is based on descriptions contained in the following documents:
Plat of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936 in Volume D, folio 130.

PURPOSE OF PLAT

This plat has been prepared for the purposes of Replating two parcels into one lot and dedicating additional right-of-way to the City of Albuquerque.

FREE CONSENT

The platting of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres as shown and designated on the plat of said Addition, dedication of right of way in fee simple to the City of Albuquerque and dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

[Signature]
Robert Navarrette

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires 6-08-2006

[Signature]
Notary Public



	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE

COUNTY CLERK RECORDING LABEL HERE

PLAT OF LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

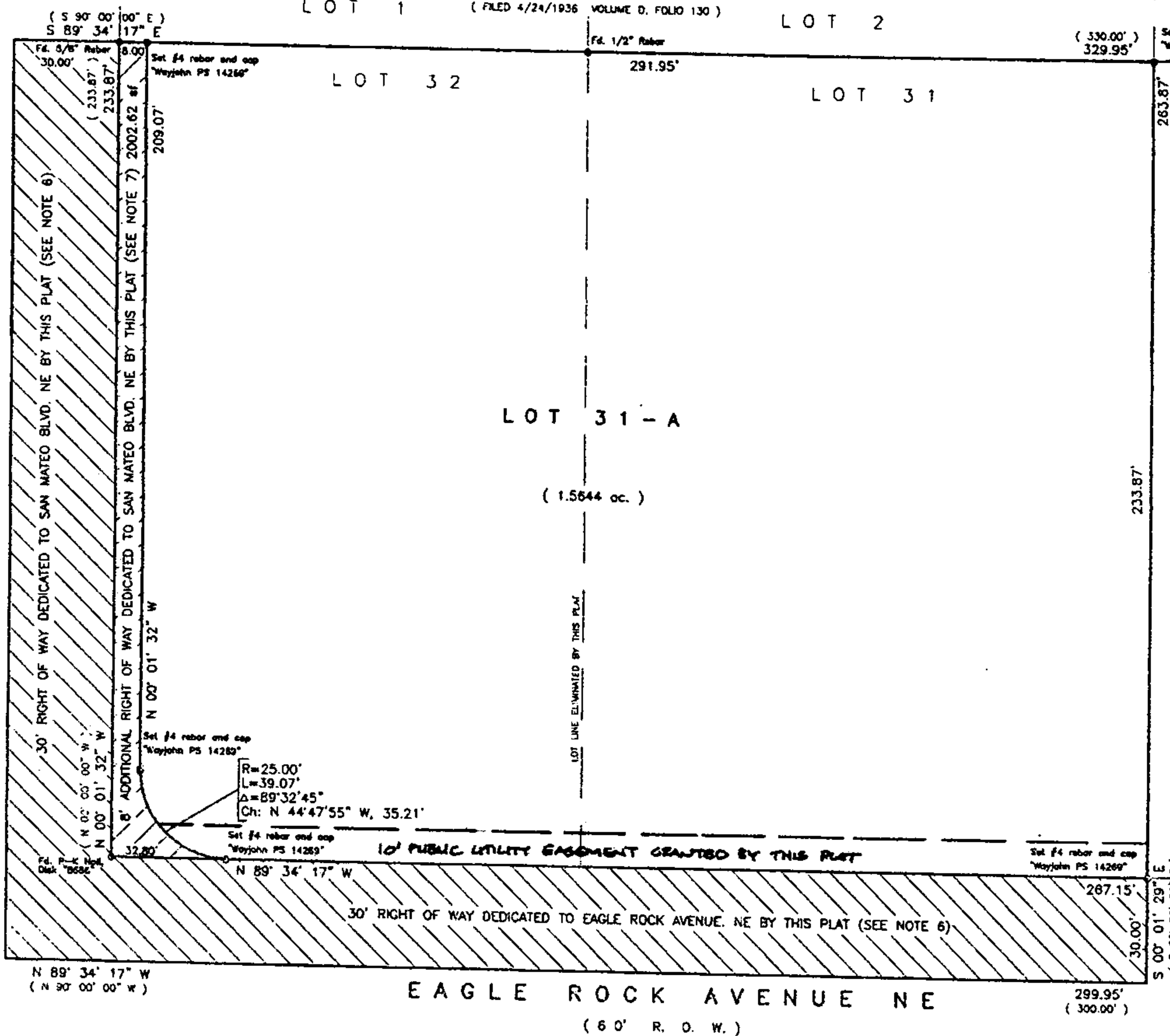
AUGUST 2005

BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

LOT 1 (FILED 4/24/1936 VOLUME D, FOLIO 130) LOT 2

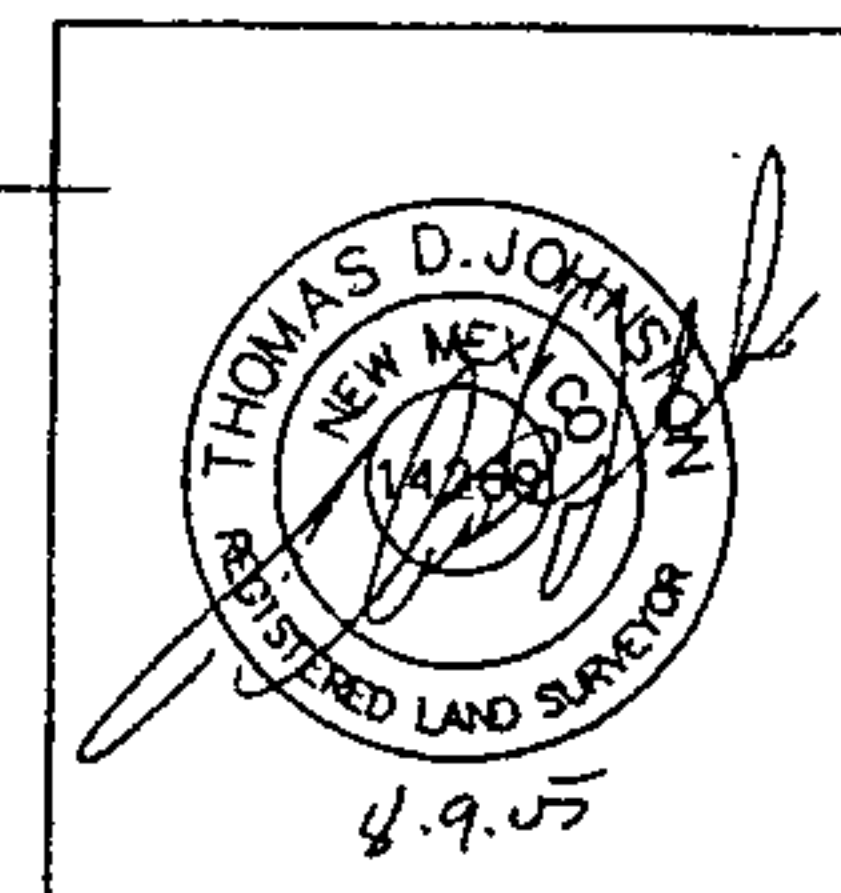
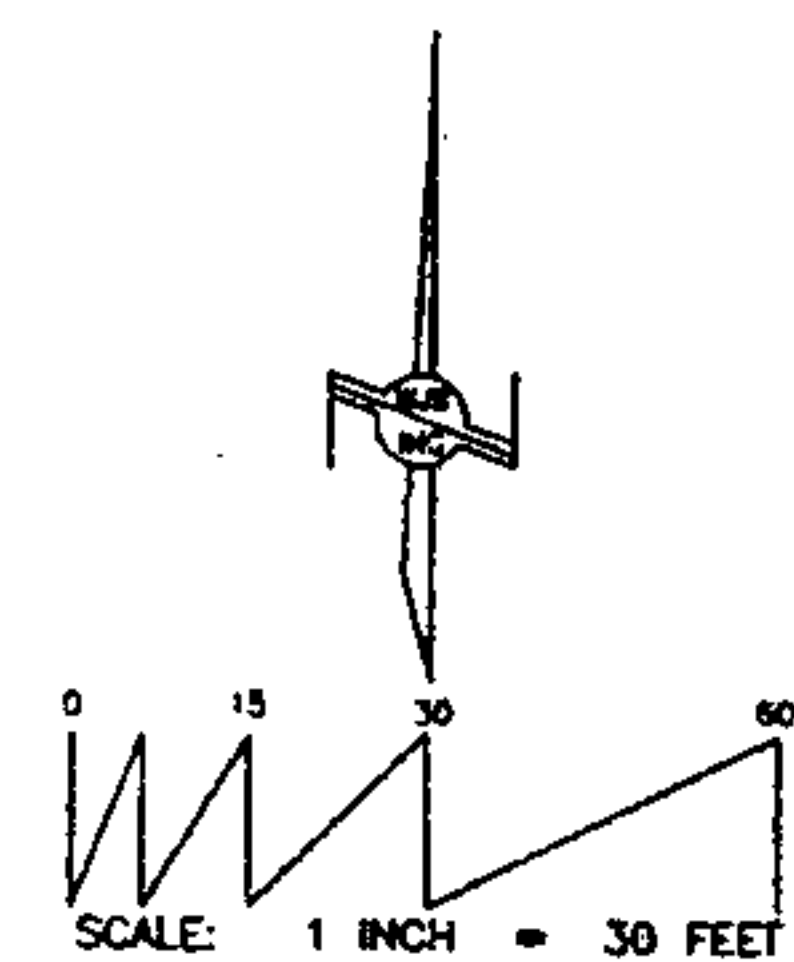
SAN MATEO BOULEVARD NE

(64' R.O.W. EXISTING)
(72' R.O.W. PROPOSED)



2190.18'
N 84° 38' 24\" E

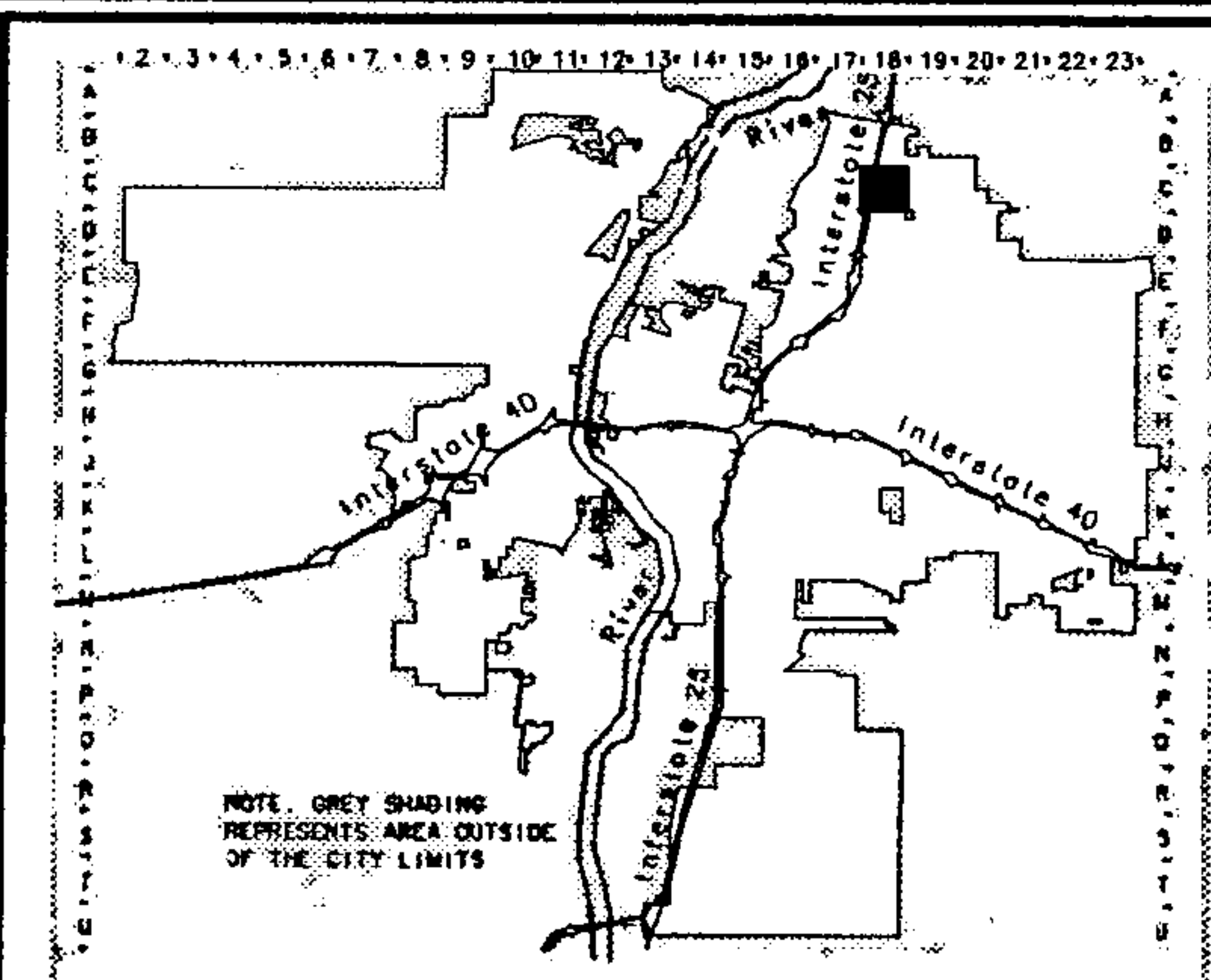
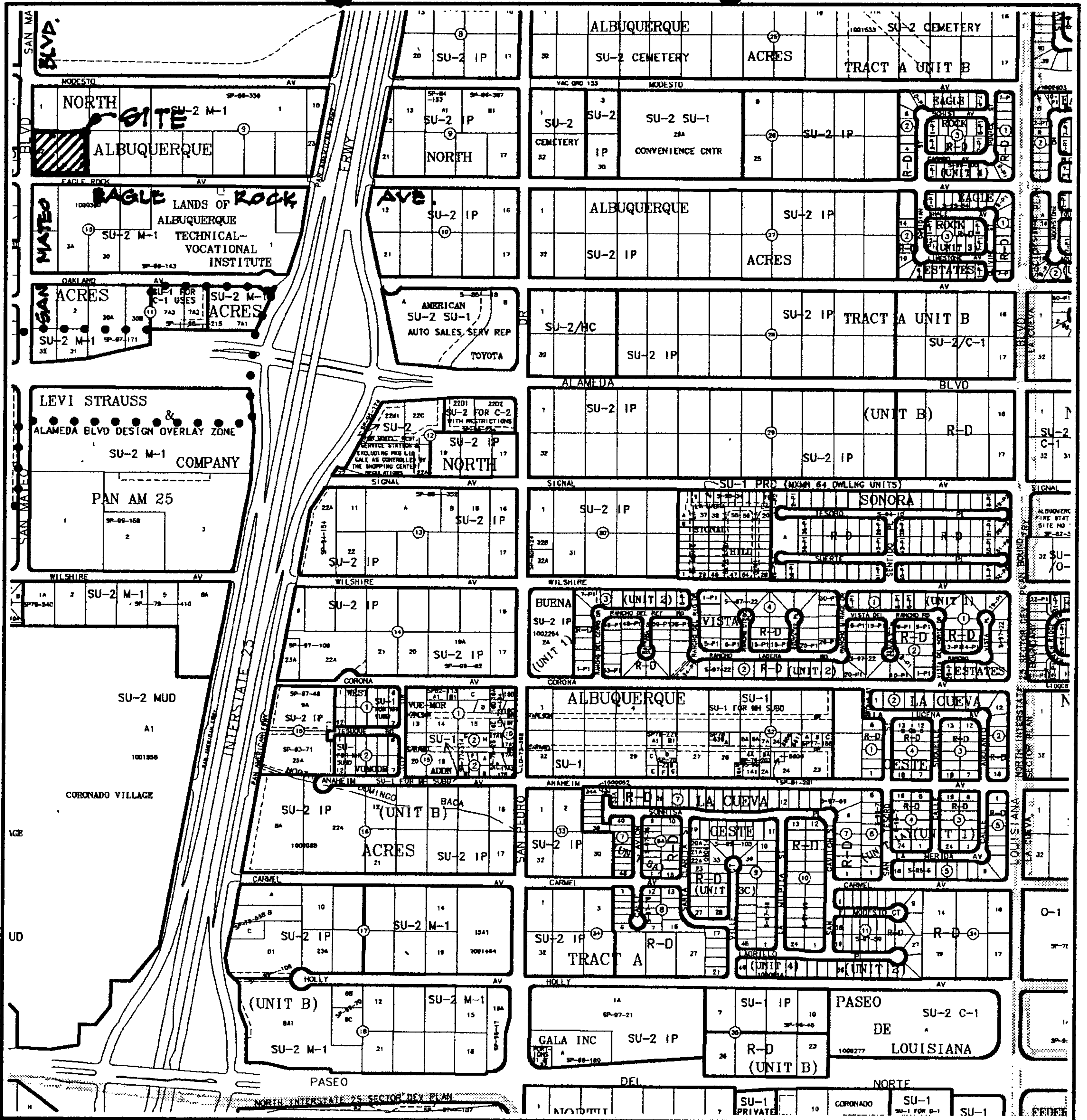
ACS MONUMENT "10-C18"
x = 402,319.45
y = 1,524,081.42
Ground-19-gnd:
0.9996813
Datum Alpha: -00°11'18"
NAD 1927



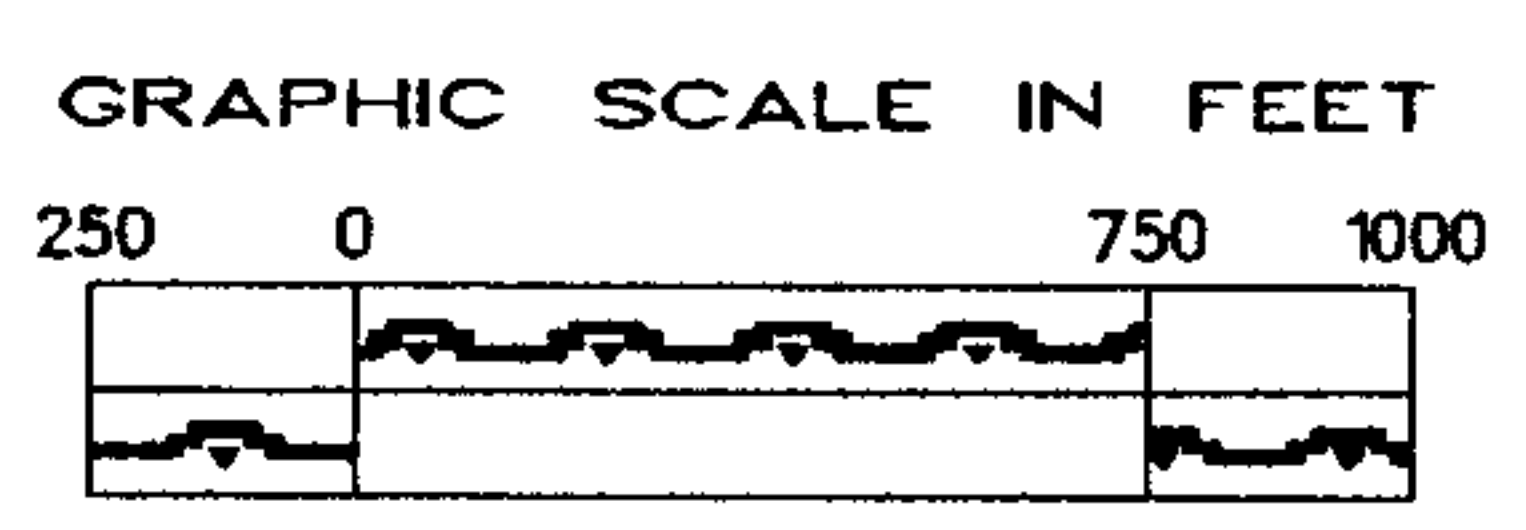
**WAYJOHN
SURVEYING
INC**

330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK NAVARRETT LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K	SCALE: 1" = 30'	FILE NO. SP-8-01-2005
	CHECKED: T D J	DRAWING NO. SP80105.DWG	05 AUG 2005 SHEET 2 OF 2



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
C-18-Z
Map Amended through July 31, 2003

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 8/24/05

Date Site Plan Approved: 8/24/05

Date Preliminary Plat Approved: 8/24/05

Date Preliminary Plat Expires: 8/24/06

DRB Project No.: 1000351

DRB Application No.: 25-01303

LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 31 & 32, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			<u>CURB AND GUTTER</u>	<u>SAWMATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP. LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>6'</u>	<u>SIDEWALK</u>	<u>SAWMATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>24'</u>	<u>PAVEMENT (COLLECTOR)</u>	<u>E. SIDE SAWMATED</u>	<u>EAGLE ROCK</u>	<u>N. PROP LINE</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>6'</u>	<u>SIDEWALK</u>	<u>EAGLE ROCK</u>	<u>E. PROP LINE</u>	<u>SAWMATED</u>	<u>1</u>	<u>1</u>	<u>1</u>
		<u>48"</u>	<u>STORM DRAIN</u>	<u>SAWMATED</u>	<u>N. PROP. LINE (EXISTING STORM DRAIN)</u>	<u>EAGLE ROCK SUMP LOCATION</u>	<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>
							<u>1</u>	<u>1</u>	<u>1</u>

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

To	From	Location	Type of Improvement	Size

SIA Sequence #	COA DRC Project #

NOTES

- 1 THE REMEDIATION MEASURES FOR LANDFILL GAS ABATEMENT OUTLINED IN THE "STATE LANDFILL GAS ABATEMENT REPORT" ARE INCORPORATED AS REQUIRED INFRASTRUCTURE ITEMS
CORONADO LANDFILL
- 2
- 3

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

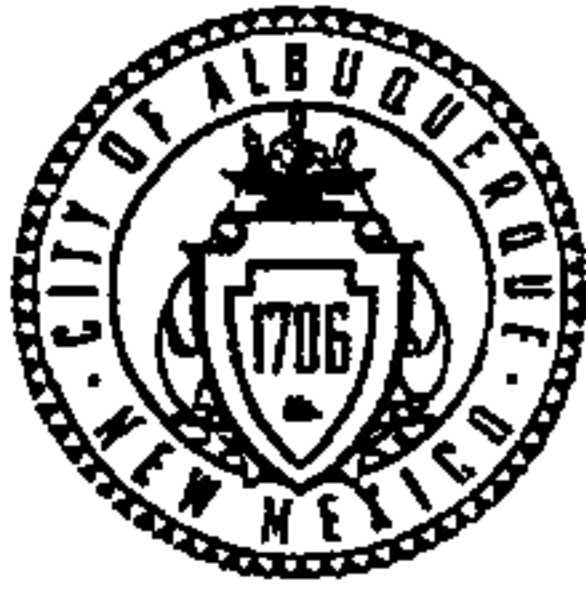
AGENT / OWNER: THOMAS D. JOHNSTON (AGENT)
 NAME (print): THOMAS D. JOHNSTON
 DRB CHAIR - date: 8/24/05
 PARKS & GENERAL SERVICES - date: 8/24/05

AGENT / OWNER: WAYJOHN SURGEONING INC.
 NAME (print): WAYJOHN SURGEONING INC.
 FIRM: WAYJOHN SURGEONING INC.
 SIGNATURE - date: [Signature] 8-9-05
 TRANSPORTATION DEVELOPMENT - date: 8-24-05
 UTILITY DEVELOPMENT - date: 8-24-05
 CITY ENGINEER - date: 8-24-05

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT / OWNER



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 24, 2005

11. Project # 1004300
05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [*Deferred from 7/27/05 and 8/10/05 & 8/17/05*] (C-18)

At the August 24, 2005, Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Planning for Environmental Health signature and 3 copies of the site plan.

05DRB-01286 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] [*Deferred from 8/17/05*] (C-18)

With the signing of the infrastructure list dated 8/24/05 and approval of the grading plan engineer stamp dated 8/22/05 the preliminary and final plat was approved with the following condition of final plat:

Environmental Health's signature must appear on the final plat.

The final plat was indefinitely deferred for the SIA.

If you wish to appeal this decision, you must do so by September 8, 2005, in the manner described below.


Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



OFFICIAL NOTICE OF DECISION
PAGE 2

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: Robert Navarrette, 870 Highway 333 East, 87059
Jim Medley Architect, 3100 Christine St NE, 87111
Wayjohn Surveying Inc., 330 Louisiana Blvd NE, 87108
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Elite Dri-Wall
AGENT Way John Surveying Inc.
ADDRESS 330 Louisiana Blvd. NE.
PROJECT & APP # 1004306 / 06 DRB-01088
PROJECT NAME Lots 31 & 32 N.A.A.

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 50.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 70.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

12547

WAYJOHN SURVEYING, INC.
11108 HUME AVE. NE. 505-255-2052
ALBUQUERQUE, NM 87112

95-32-1070

DATE 7/26/08

PAY TO THE ORDER OF CITY OF ALBUQUERQUE \$ 70.00
SEVENTY AND 00/100
DOLLARS

Bank of America.
ACH R/T 107000327

FOR EXTENSION PRELIM PAST 1004300

MP

⑈012547⑈ ⑆107000327⑆ 000123386377⑈

City Of Albuquerque
Treasury Division

7/28/2006 1:53PM LOC: ANNX
RECEIPT# 00066325 WSH 007 TRANS# 0011
Account 441006 Fund 0110
Activity 4983000 TRSKAL
Trans Amt \$70.00
J24 Misc \$50.00
CK \$70.00
CHANGE \$0.00
Thank You

City Of Albuquerque
Treasury Division

7/28/2006 1:53PM LOC: ANNX
RECEIPT# 00066324 WSH 007 TRANS# 0011
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$70.00
J24 Misc \$20.00
Thank You

FILE



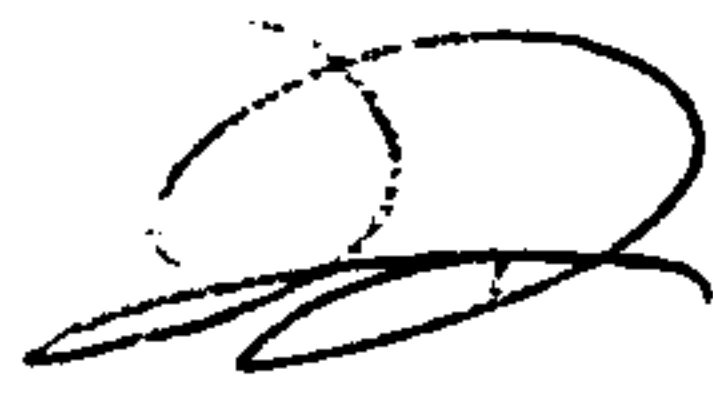
Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: September 6, 2005

TO: Sheran Matson, DRB Chair, Planning Department

COPY: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Jim Medley, Architect, AIA
Martin Vinyard, P.E., Vinyard & Associates, Inc.
Jane Rael, Design Review Committee Chair, Planning Department

FROM: Jim Joseph P.E., INTERA Inc. 

SUBJECT: Project #1004300; Approval of Landfill Gas Assessment for the development of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres, Albuquerque, New Mexico

INTERA Incorporated (INTERA), in its role as the Albuquerque Environmental Health Department (AEHD) landfill gas contractor, has reviewed reports and documents associated with the Landfill Gas Assessment completed for the above-referenced development. INTERA has found that the recommendations made by Vinyard & Associates, Inc. (V&A) in their report entitled *Landfill Gas Survey, 1.614-Acre Tract, Lots 31 and 32 of Block 9, Tract A, Unit B, North Albuquerque Acres, Albuquerque, New Mexico*, dated July 7, 2005 and the August 25, 2005 correspondence received from V&A satisfy AEHD's concern that associated potential risk, both present and future, from landfill gases has been addressed.

Because the issues related to landfill gas have been addressed in accordance with the *Interim Guideline*, ~~the AEHD supports the "no risk" determination, with regard to landfill gas, for development on the subject property.~~ The AEHD, however, reserves the right to review and comment on any plans related to City Infrastructure outside of the property boundary. The ~~AEHD requires that the disclosure statement from the Interim Guidelines and a signature block for AEHD be included on the site plan for development.~~ Provided these conditions are met, the development may proceed through the Planning Department's Design Review Board process assuming all other Planning Department requirements have been met.



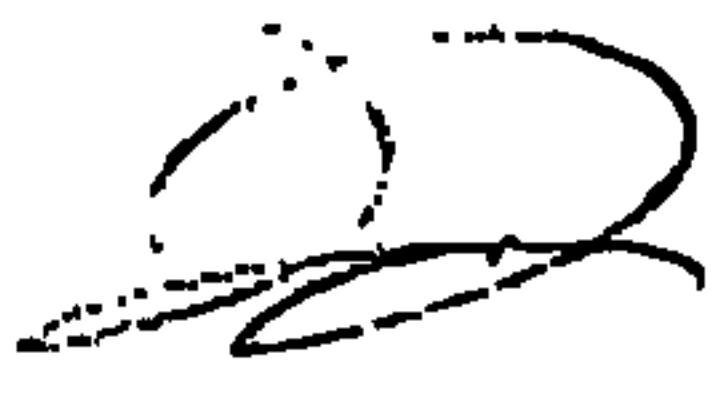
Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: September 6, 2005

TO: Sheran Matson, DRB Chair, Planning Department

COPY: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Jim Medley, Architect, AIA
Martin Vinyard, P.E., Vinyard & Associates, Inc.
Jane Rael, Design Review Committee Chair, Planning Department

FROM: Jim Joseph P.E., INTERA Inc. 

SUBJECT: ~~Project #1004300~~; Approval of Landfill Gas Assessment for the development of
Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres,
Albuquerque, New Mexico

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One Park Square
6501 Americas Parkway NE, Suite 820
Albuquerque, NM 87110
Phone: (505) 246-1600
Fax: (505) 246-2600

FACSIMILE COVER SHEET

TO: <u>SHERAN MAUD</u>	FROM: <u>J. Joseph</u>
COMPANY: <u>PAB</u>	NO. OF PAGES: <u>2</u> (Including cover page)
FAX #: _____	
PHONE #: _____	DATE: <u>09-06-05</u>

PLEASE MAKE COPIES FOR:

SUBJECT:

I SIGNED THE SITE PLAN TODAY FOR MR. MEDLEY. AN

ORIGINAL IS BEING SENT STANDARD POST.



If there are any problems with this transmission, please call (505) 246-1600

Thank You



Intera Incorporated
One Park Square
6501 Americas Parkway NE
Suite 820
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: July 26, 2005

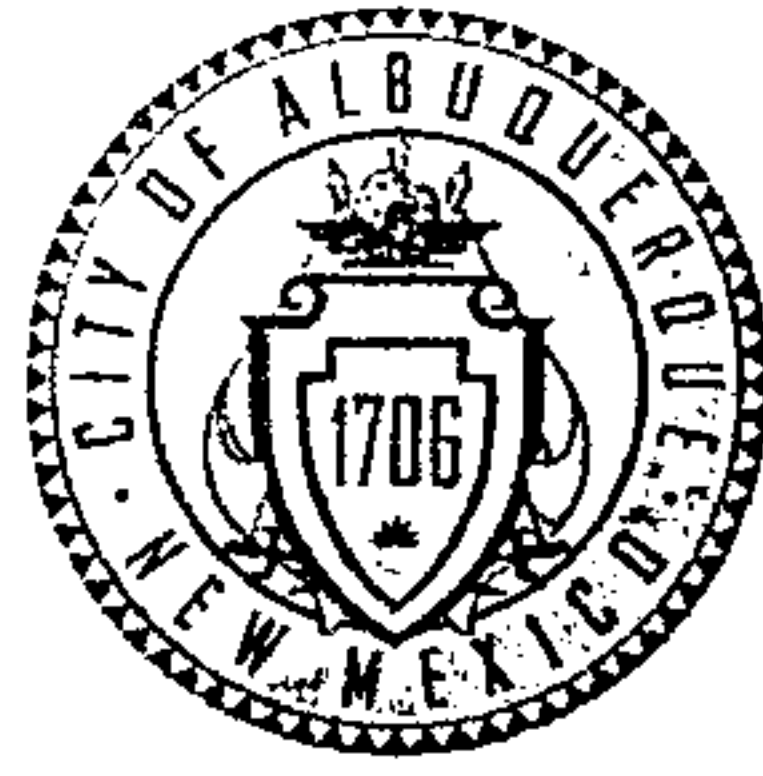
TO: Sheran Matson, Planning Department (DRB)

COPY: Marcia A. Pincus, Environmental Health Department
Kevin Curran, Legal Department
Jim Medley, Architect AIA

FROM: Jim Joseph, P.E., INTERA Inc.

SUBJECT: Project # 1004300; Lots 31 & 32, Block 9, Tract A, North Albuquerque Acres
(July 27, 2005 DRB Agenda Item – 05DRB-01080 Minor-SiteDev Plan
BldPermit)

There is the potential for above named project to be impacted by the presence of landfill gas generated by one former City owned/operated landfills (Coronado Landfill). The developers of this site are required to follow the most current version of the "Interim Guidelines for Development within City Designated Landfill Buffer Zones." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, July 27, 2005 9:00 a.m., beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1004244
05DRB-01085 Major-Vacation of Public Easements

~~WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, MESA VILLAGE ADDITION, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20)~~

~~No objection. Defer to the Traffic Engineer.~~

~~Applicant has one year to file the plat completing the vacation action.~~

Project # 1004300
05DRB-01080 Minor-SiteDev Plan BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, NORTH ALBUQUERQUE ACRES, UNIT B, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). (C-18)

The letters sent to the neighborhood association representatives stated that an administrative amendment to an existing site plan was the submittal. Normally, this misinformation would require re-sending the letters. However, since the site plan for building permit was mentioned later in the letter, it is not necessary to re-send corrected letters.

The site plan sheet should have "Site Development Plan for Building Permit" as the title.

The height of the refuse enclosure is not shown nor building materials details.

The North I25 Sector Plan requires a 6 foot landscape buffer along the side & rear property lines, 10 foot along collectors and arterials. See page 54. The site plan does not meet this requirement along the north & east property lines.

- ✓ Please remove the buffalo junipers and substitute another low water shrub. The North I25 Sector Plan states that no parking space will be more than 50 feet from a tree. Please correct the note. Please revise this statement: "Maintenance of landscape and irrigation system provided by owner."
- ✓ A patterned pedestrian pathway is needed from the front entrance of the building to Eagle Rock sidewalk.
- ✓ The loading dock on the north should be identified on the Site Plan sheet.
- ✗ Existing or proposed easements should be shown on the Site Plan & Landscape Plan sheets.
- ✓ Planning can take delegation until the replat is approved by DRB and recorded.
- ✓ Bar scale is missing from the Landscape Plan.
- ✓ Are any building mounted signs planned? *No*

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JULY 11, 2005.

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 3786
CONNECTION TEL 92945593
SUBADDRESS
CONNECTION ID
ST. TIME 07/20 12:51
USAGE T 01'14
PGS. 3
RESULT OK



FRONT COUNTER ROUTING FAX FORM

TO: Jim Medley

FAX NUMBER: 294-5593

SENT BY: Andrew Garcia
Initial

DATE: 7/20/05

PROJECT NO: 1004300 APPLICATION NO: 05 DRB 01080



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Robert Navarrette
AGENT Jim Medley
ADDRESS _____
PROJECT & APP # 1004300 / 05DRB 01080
PROJECT NAME North Albuq Acres

\$ _____ 441032/3424000 Conflict Management Fee
\$ 220⁰⁰ 441006/4983000 DRB Actions deferral fees
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 220⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

8/4/2005 2:55PM LOC: ANNX
RECEIPT# 00047257 WSH 007 TRANSH 0041
Account 441006 Fund 0000
Activity 4983000 TRSLJS
Trans Amt \$220.00
J24 Misc \$220.00
CK \$220.00
CHANGE \$0.00

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

August 5, 2005

By FAX: 924-3864

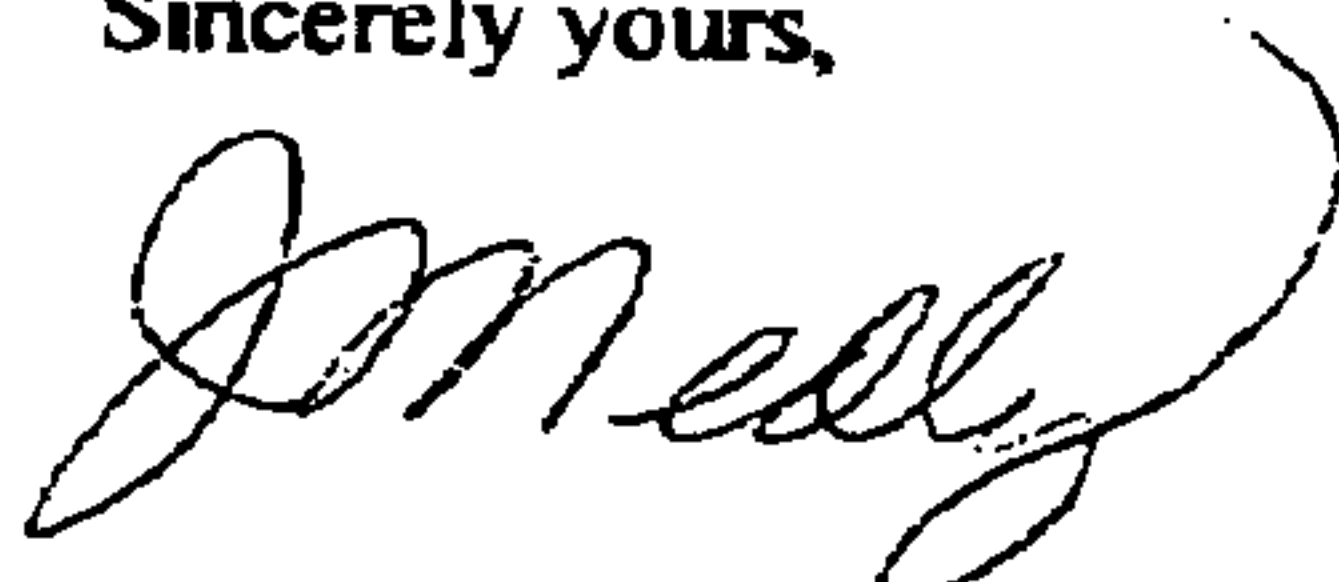
City of Albuquerque
Planning Department
Plaza Del Sol Building
Albuquerque, New MexicoRe: Project # 10044300
OSDRB-01080 Minor-SiteDev Plan
BidPermit

Claire:

Please defer this action for an additional week to August 17, 2005. Our engineer has requested this so that he might have time to finish replat work and infrastructure list.

If you have any questions, please call at the number above. Thank you for your assistance in this matter.

Sincerely yours,



Jim Medley, Architect AIA

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ROBERT NAVARRETE PHONE: 286-4144
 ADDRESS: 870 HIGHWAY 333 EAST FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87059 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): JIM MEDLEY, ARCHITECT AIA PHONE: 292-3514
 ADDRESS: 3100 CHRISTINE ST. NE FAX: 294-5593
 CITY: ALBUQ STATE NM ZIP 87111 E-MAIL: jmedley@jim-medley-

DESCRIPTION OF REQUEST: SITE DEVELOPMENT PLAN SUBMITAL FOR ARCHITECT.COM BUILDING PERMIT. CONSTRUCT OFFICE/WAREHOUSE WITH STOR YARD & PARKING LOT.
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 31 & 32, TRACT A Block: 9 Unit: UNIT B
 Subdiv. / Adn. NORTH ALBUQUERQUE ACRES
 Current Zoning: SU-2 M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-18-2 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 1.614 Density if applicable: dwellings per gross acre: NA dwellings per net acre: NA
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? YES
 UPC No. _____ MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK & SAN MATEO NE
 Between: NE CORNER and _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE J. Medley DATE 6/29/05
 (Print) JIM MEDLEY, ARCHITECT AIA Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill. THIS IS BEING TAKEN CARE OF
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers:

05DRB-01080

Action

SBP

CFM

ADV

S.F.

P(2)

Fees

\$385.00

\$20.00

\$75.00

\$

\$

Total

\$455.00

Hearing date 07/27/05

Sandy Handley 06/29/05
 Planner signature / date

Project # 1004300

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - NA** Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24** copies for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - NA** Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - NA** 6 copies of the Infrastructure List, if relevant to the site plan
 - NA** TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24** copies for DRB public hearings
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24** copies for DRB public hearings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- D. R. B. hearings are approximately ONE MONTH after the filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JAMES N. MEDLEY
Applicant name (print)

J. Medley
Applicant signature / date



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05 DRB - - 01080
 - - -
 - - -

Sandy Handley 06/29/05
Planner signature / date

Project # 1004300

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

June 29, 2005

City of Albuquerque Planning Department
600 2nd St. N. W.
Albuquerque, New Mexico 87102

Re: 5201 Eagle Rock N. E.
Lots 31 & 32 Tract A, Unit B, Block 9, North Albuquerque Acres

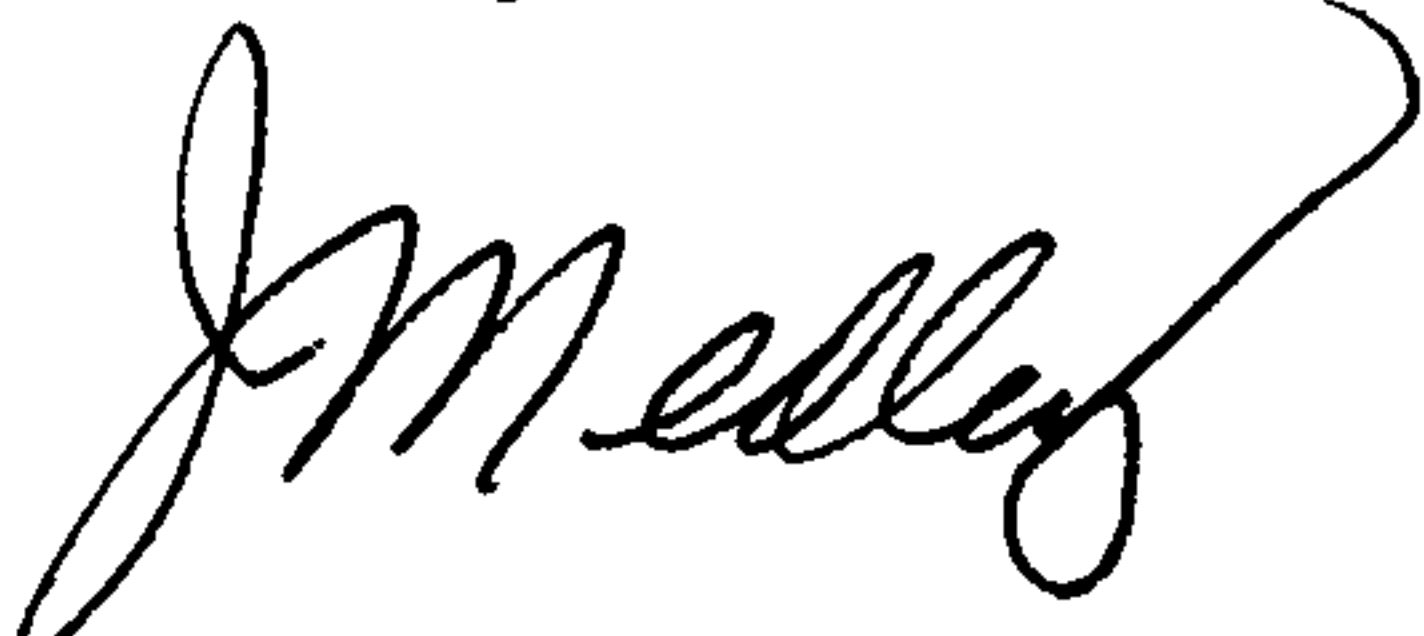
Gentlemen:

We are submitting plans for a Site Development Plan for Building Permit for the above referenced tract of land. We are requesting approval so that our client might obtain a building permit for the construction of a new office/warehouse building on this vacant tract of land.

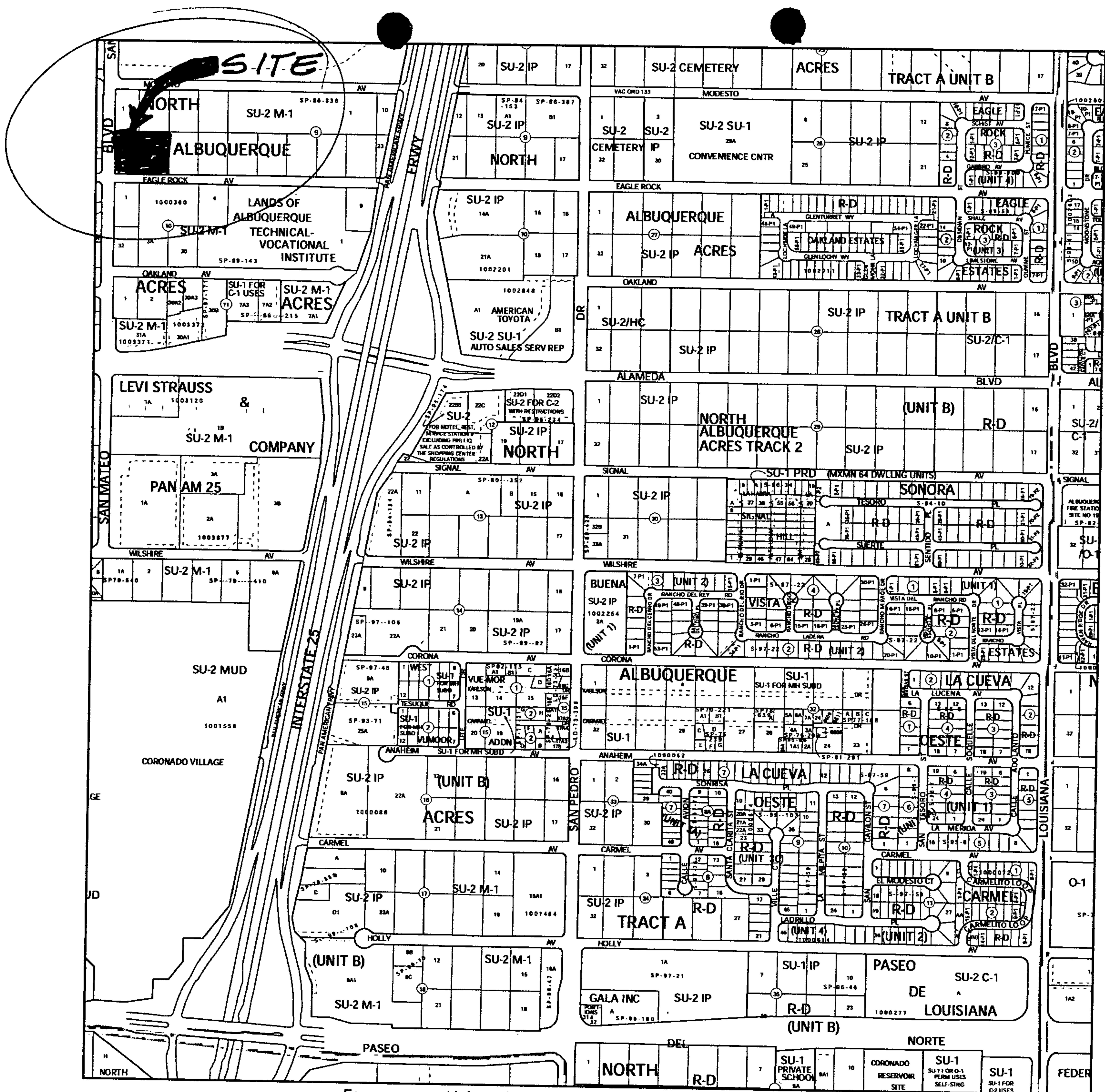
Our client will occupy approximately 25% of the offices and the entire warehouse of this project. He is going to construct this project as an above average project. He has great pride of ownership in this project.

Should you have questions or if we can provide additional information, please do not hesitate to call us.

Sincerely,



Jim Medley, Architect AIA



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-18-Z

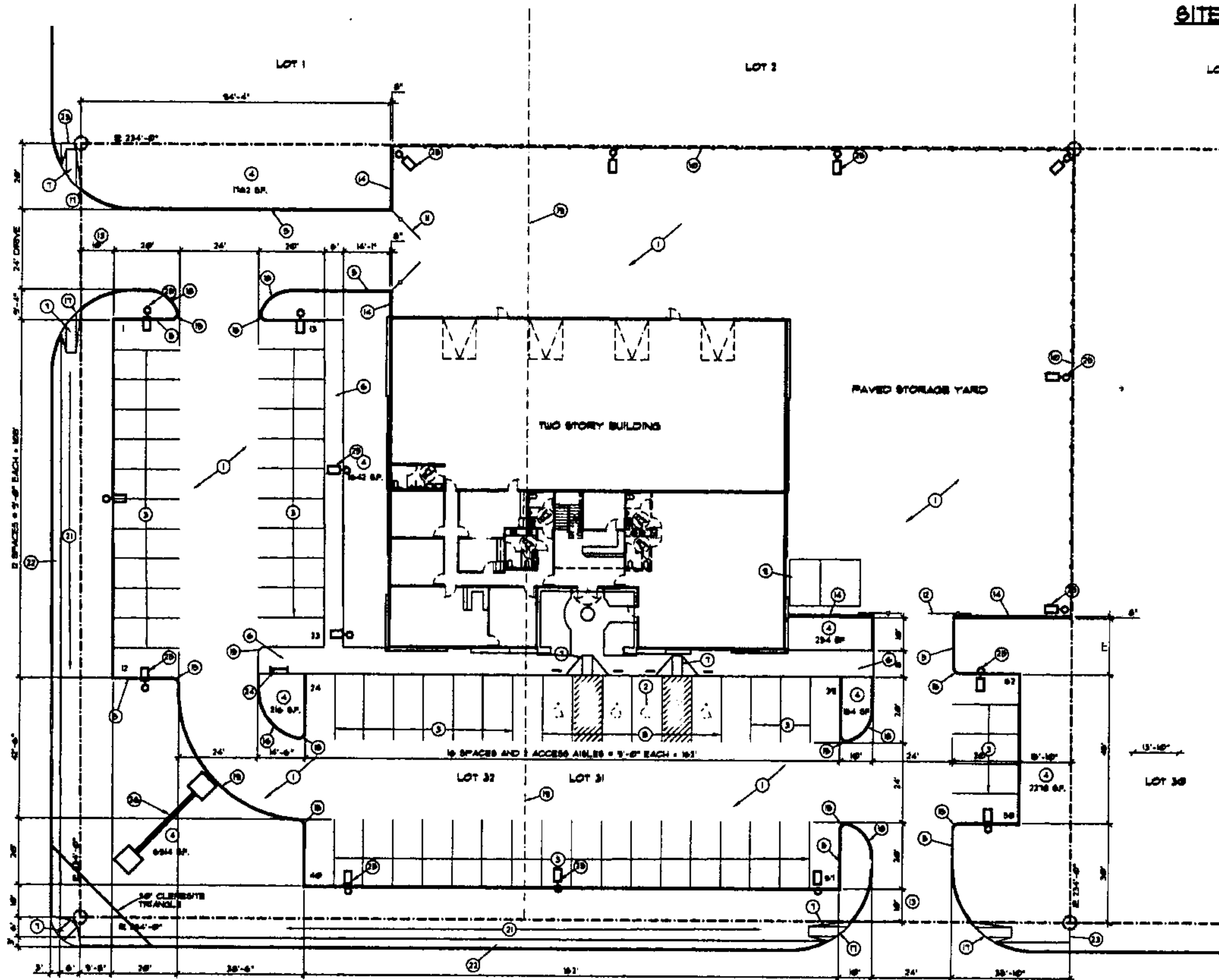
Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKKH-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

Map amended through: Apr 22, 2005

SAN MATEO BLVD. N.E.
(64' R.O.W.)



EAGLE ROCK AVENUE N.E.
(60' R.O.W.)

SITE PLAN
SCALE 1" = 20'



LEGAL DESCRIPTION

NORTH ALBUQUERQUE ACRES
LOTS 31 & 32, TRACT A, UNIT B, BLOCK 1
ALBUQUERQUE, NEW MEXICO
ZONE ATLAS PAGE: C-18-Z

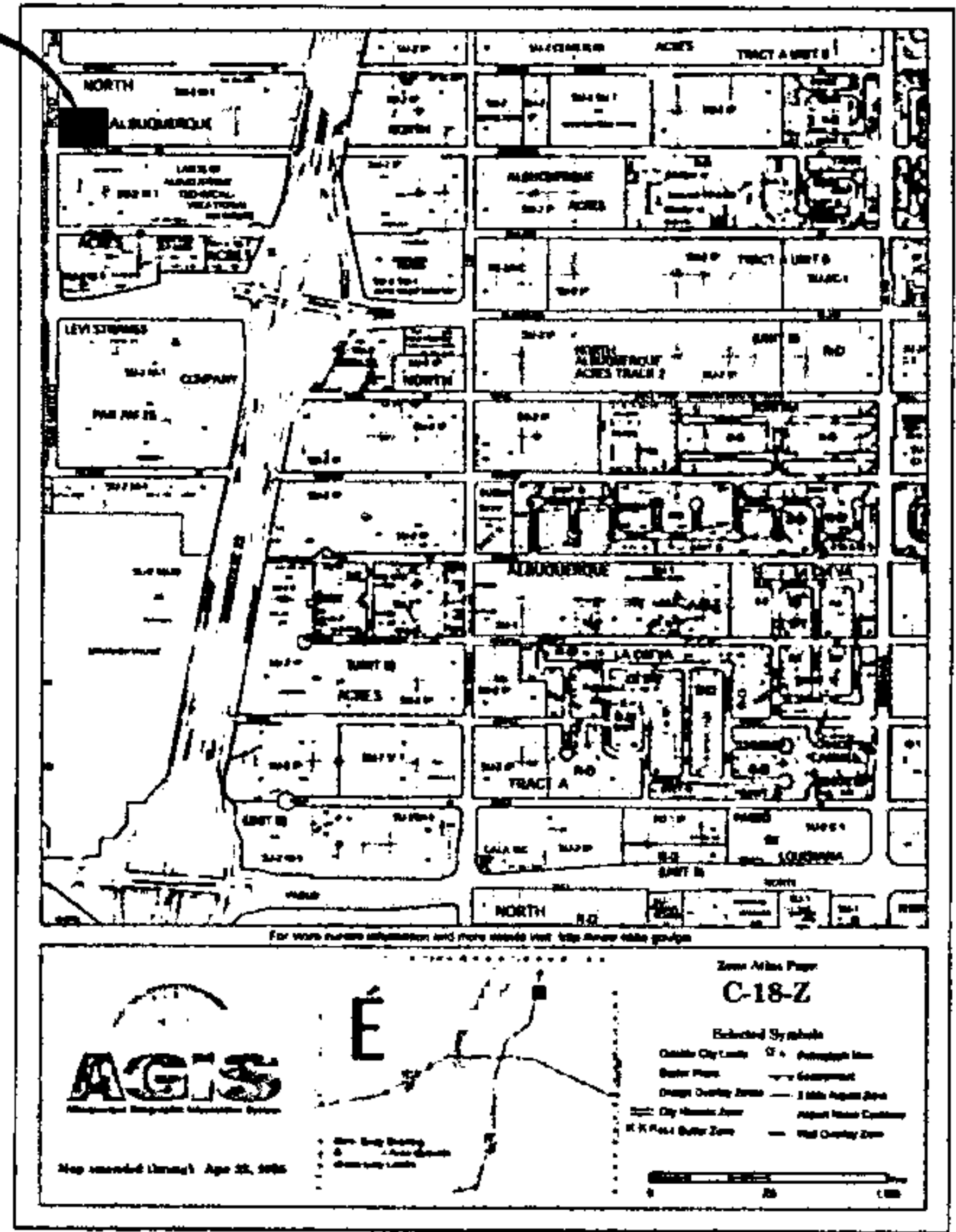
SITE DATA

GROSS LOT AREA: 16313 SF. (1614 ACRES)
BUILDING FOOTPRINT: 11,721 SF.
NET LOT AREA: 50866 SF.
LANDSCAPE AREA: 14341 SF. (24% OF NET LOT)
BUILDING AREA SUMMARY:
WAREHOUSE AREA: 6246 SQ. FT.
FIRST LEVEL LEASABLE: 5388 SQ. FT.
SECOND LEVEL LEASABLE: 4333 SQ. FT.
TOTAL LEASABLE: 9721 SQ. FT.
PARKING CALCULATIONS:
WAREHOUSE: 888 - 4
OFFICES LEASABLE: 38 LOTS SPACES
PARKING REQUIRED: 53 INCLUDING 4 HANDICAP
PARKING PROVIDED: 63 INCLUDING 4 HANDICAP

Notes Specific to Sheet

- 1 ASPHALT PAVING, 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
- 2 BLUE PAINTED HANDICAP SYMBOL, TYP. OF 4.
- 3 3" WIDE YELLOW STRIPING (TYPICAL)
- 4 LANDSCAPE AREA, SQUARE FOOTAGE AS NOTED.
- 5 6" STANDUP CONCRETE CURBS.
- 6 CONCRETE SIDEWALK PER DIMENSION SHOWN.
- 7 HANDICAP RAMP WITH 1:2 MAXIMUM SLOPE.
- 8 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
- 9 CONCRETE DUMPSTER PAD.
- 10 6'-0" HIGH CHAIN LINK FENCE BY CONCRETE TUBE ABOVE, TYPICAL AROUND STORAGE YARD.
- 11 TWO 0'-6" WIDE WROUGHT IRON BINDING GATES.
- 12 TWO 0'-6" WIDE WROUGHT IRON ROLLING GATES.
- 13 NEW CONCRETE CURBS CUT PER CITY OF ALBUQUERQUE STANDARDS.
- 14 6" HIGH SPLIT-FACE CMU WALL FROM NEW BUILDING TO PROPERTY LINE, COLOR TO COMPLEMENT BUILDING COLORS.
- 15 2' RADIUS.
- 16 8' RADIUS.
- 17 20' RADIUS.
- 18 10' RADIUS.
- 19 20' RADIUS.
- 20 EXISTING PROPERTY LINE BETWEEN LOTS 31 & 32 TO BE REMOVED BY REPLAT.
- 21 NEW 6" WIDE CONCRETE WALK STARTING AT PROPERTY LINE AND EXTENDING TOWARDS STREET.
- 22 PLANTING STRIP BETWEEN NEW SIDEWALK AND CURB.
- 23 NEW WALK CONSTRUCTION TO END AT PROPERTY LINE.
- 24 BIKE RACK FOR 3 BIKES, SEE DETAIL.
- 25 SITE LIGHTING FIXTURE, SEE DETAIL.
- 26 MONUMENT SIGN, SEE DETAIL.

SITE



PROJECT NUMBER: _____

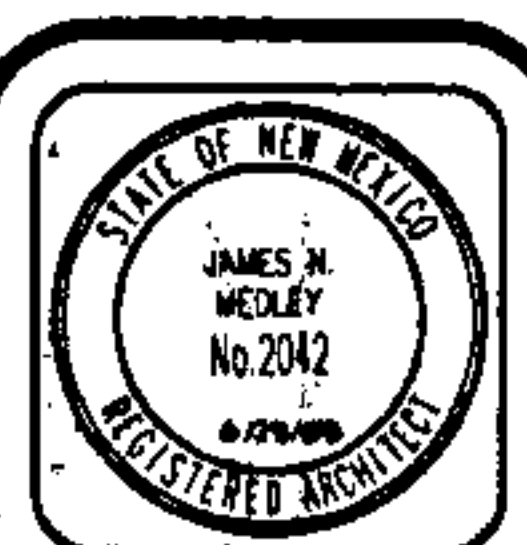
Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary



JIM MEDLEY, Architect
3100 Christine N.E.
Albuquerque, NM 87111
Phone (505) 262-2614 Fax (505) 264-5563

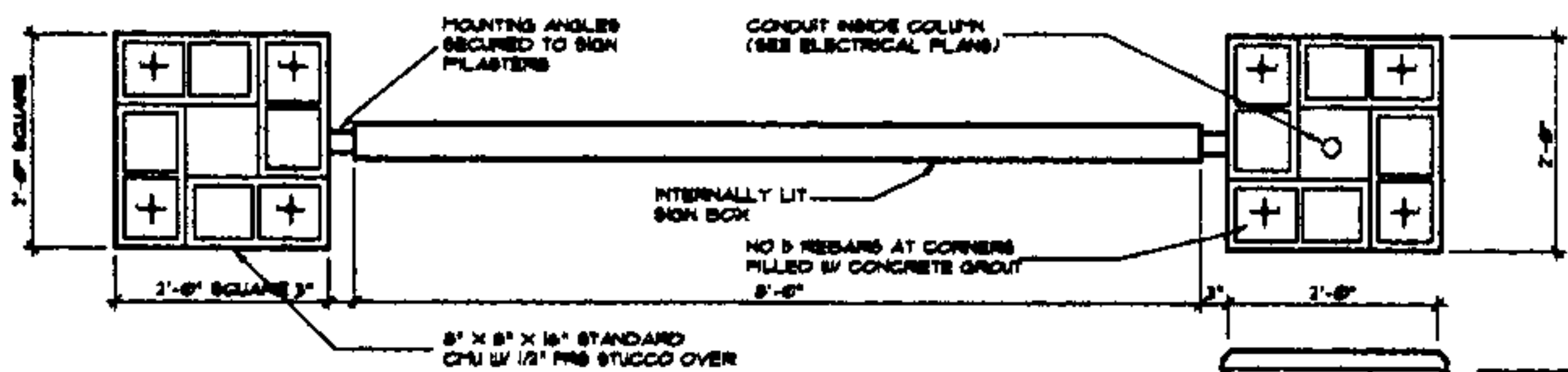
Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date

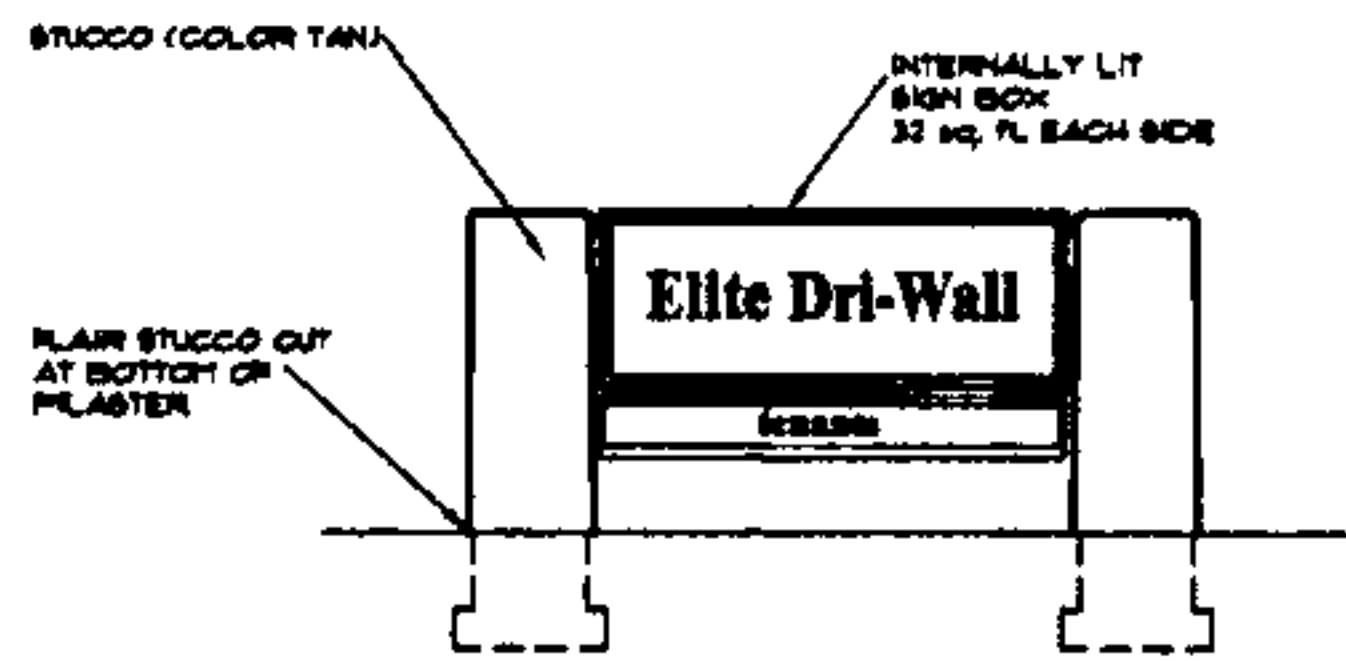
Sheet Description
PROPOSED SITE PLAN



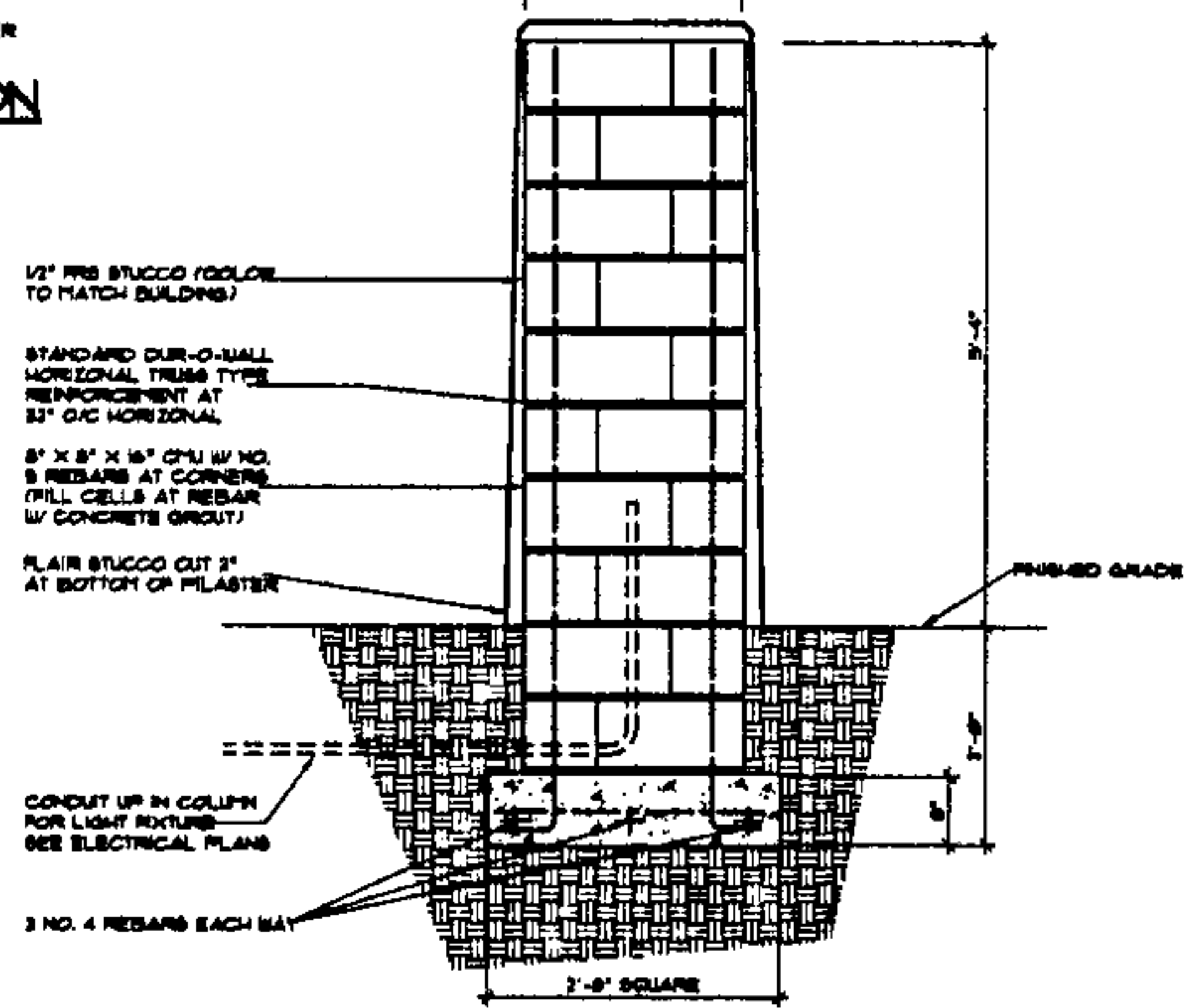
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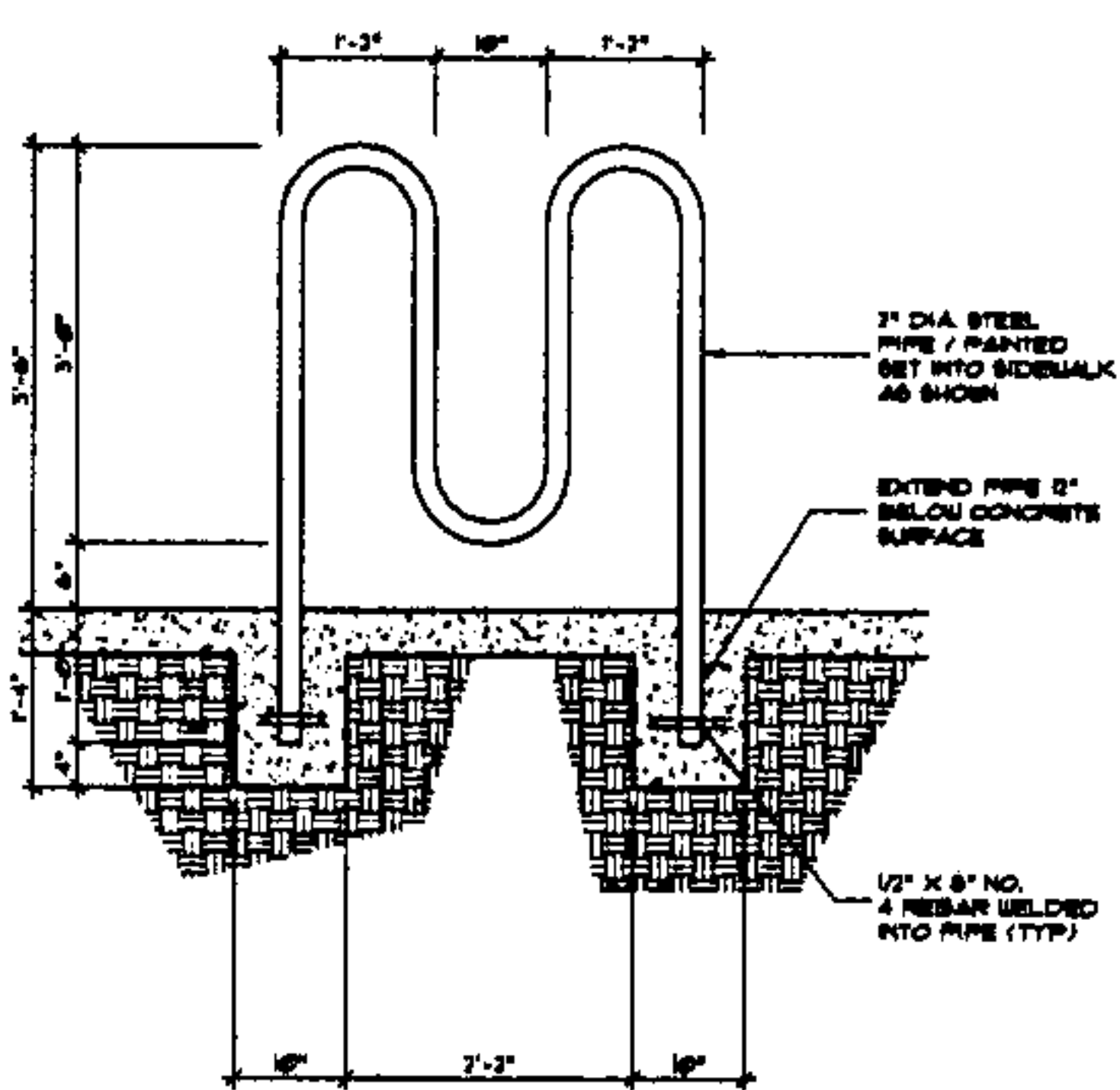
SIGN PLAN VIEW SECTION
SCALE 3/4" = 1'-0"



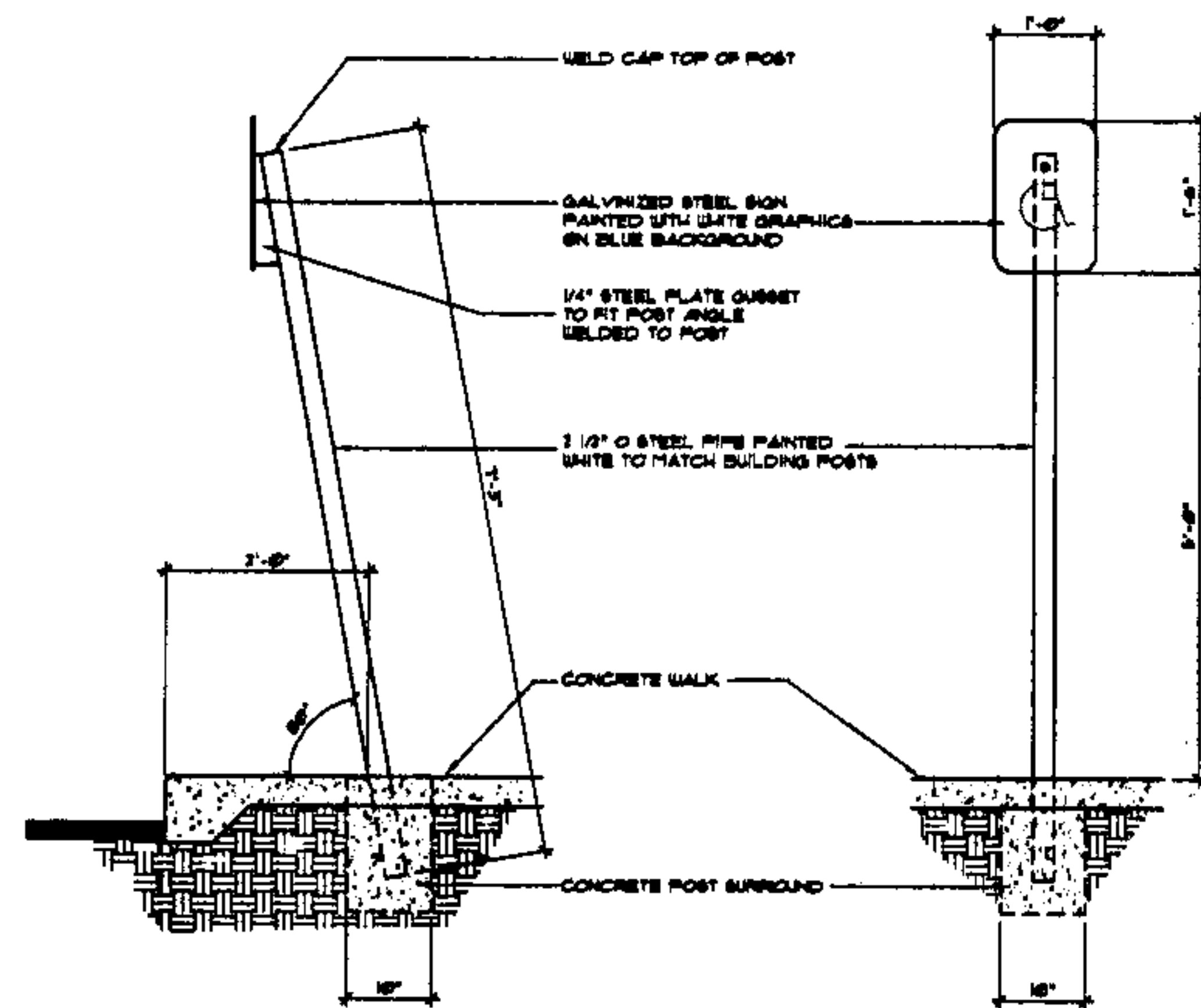
SIGN ELEVATION
SCALE 1/4" = 1'-0"



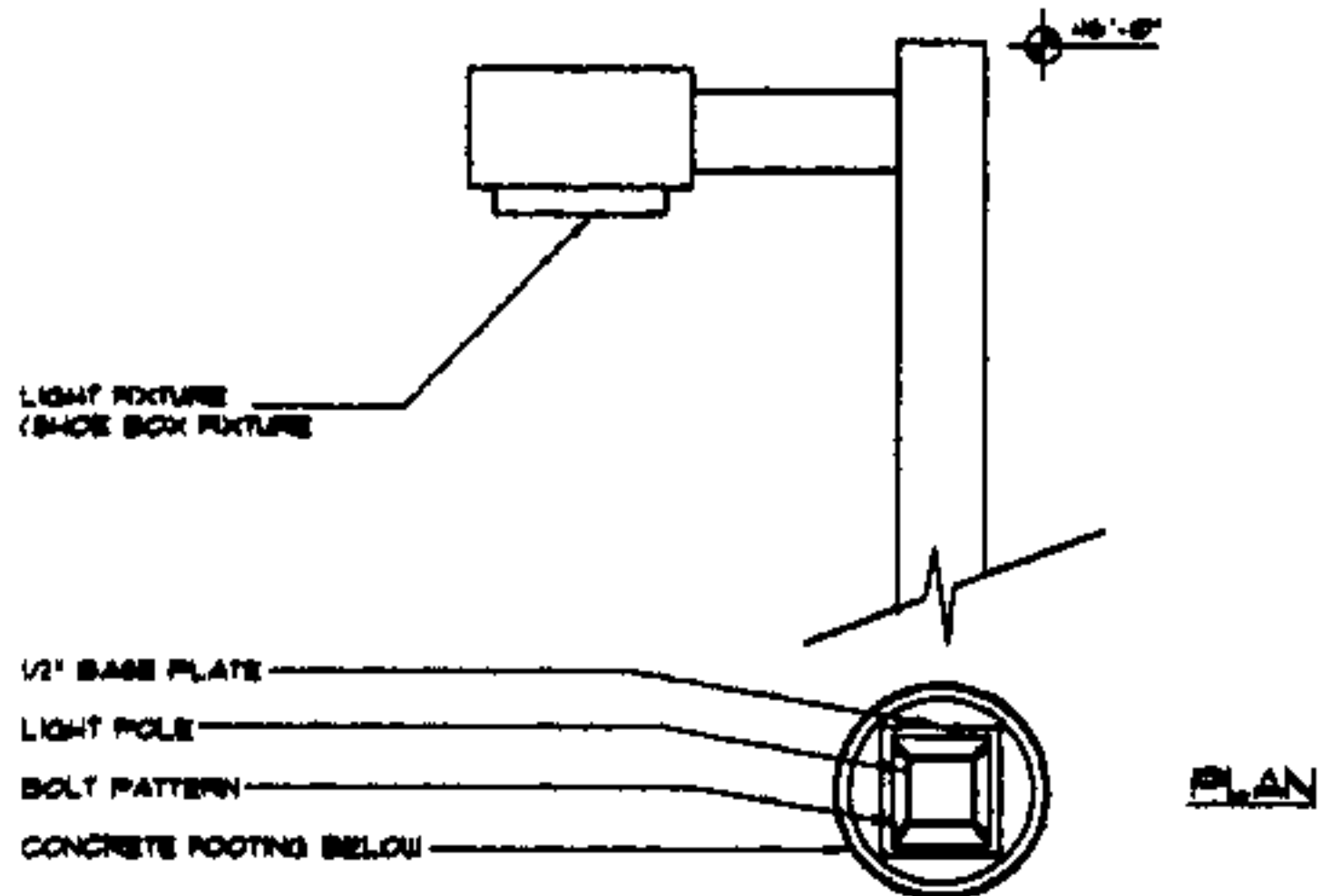
SIGN PLASTER SECTION



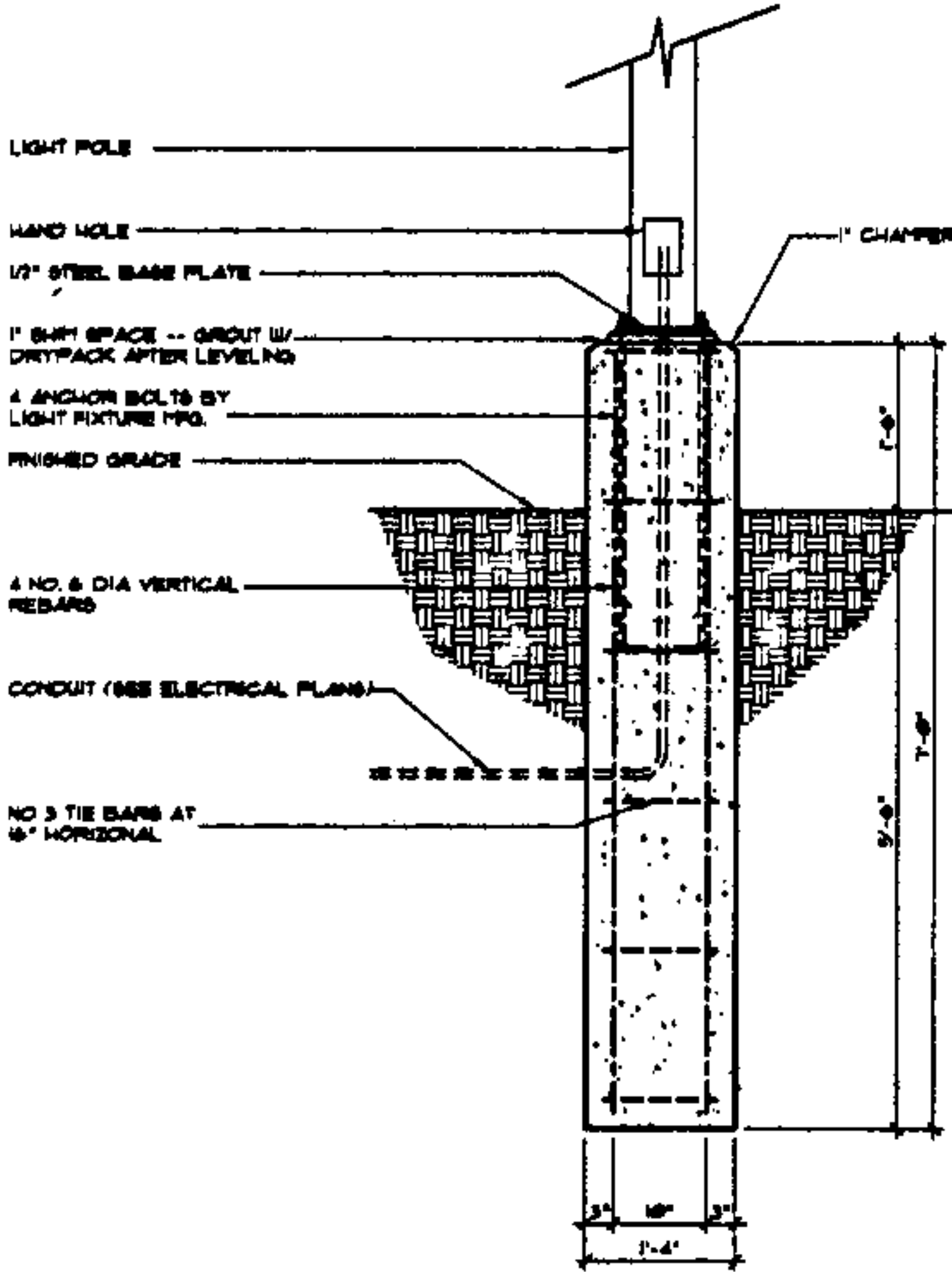
BIKE RACK DETAIL
SCALE 3/4" = 1'-0"



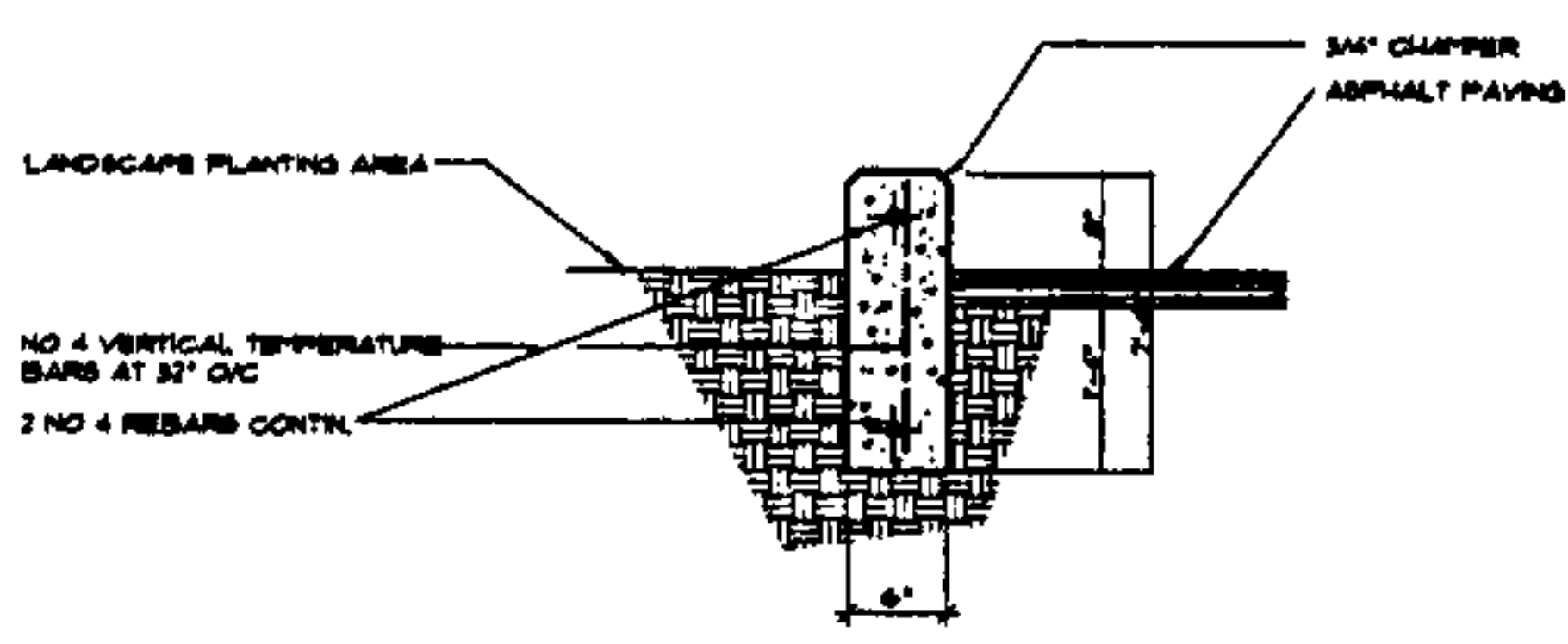
HANDICAP PARKING SIGN
SCALE 1/4" = 1'-0"



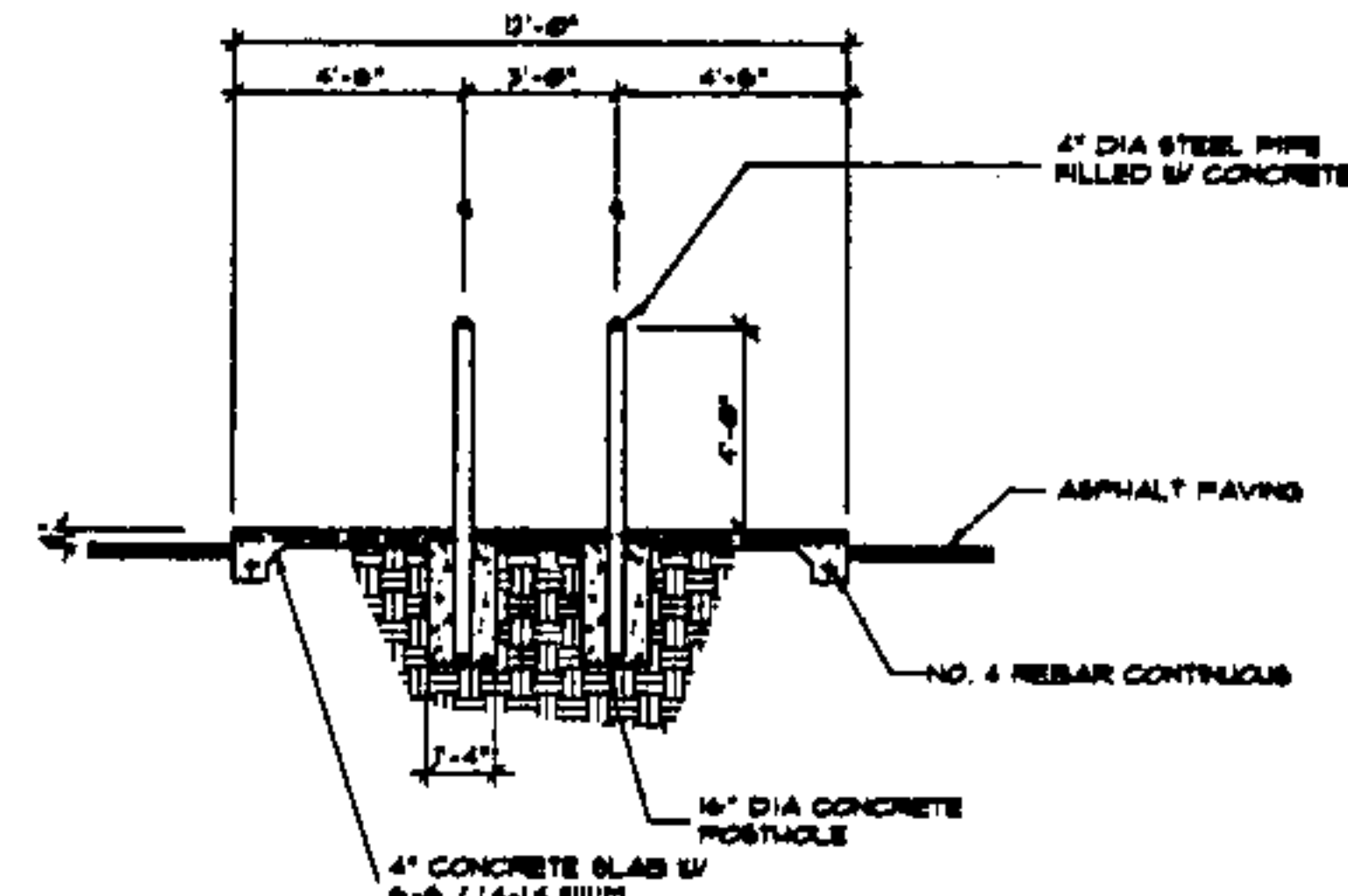
PLAN



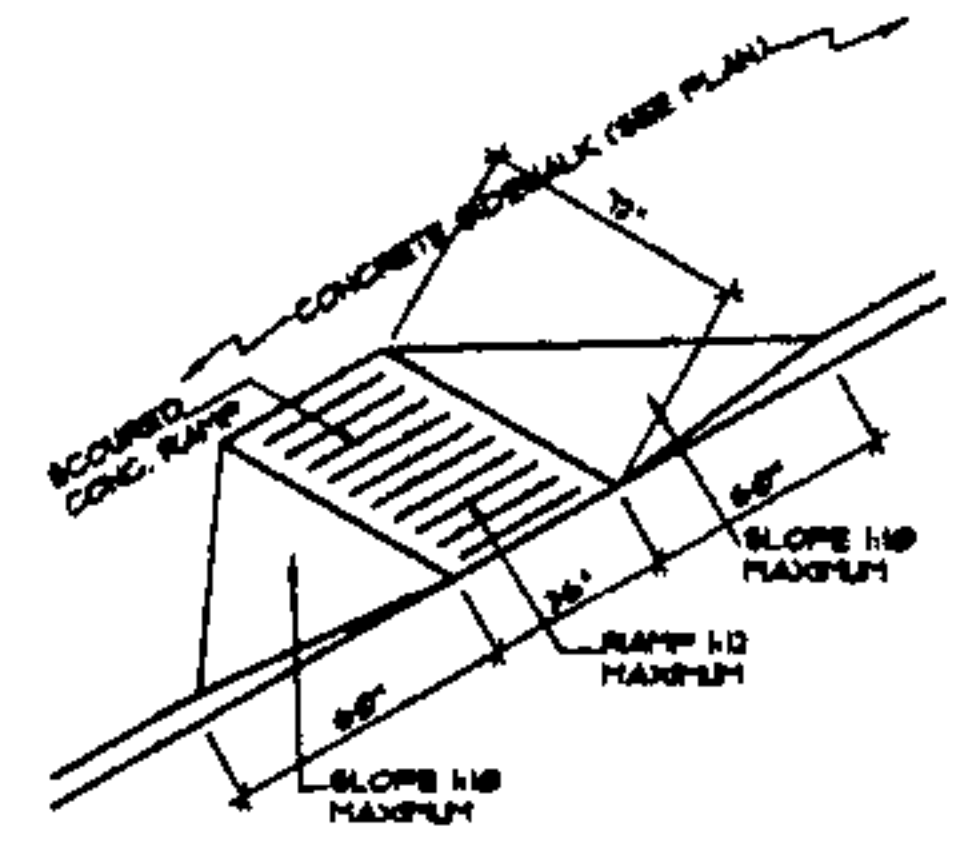
LIGHT FIXTURE COLUMN
SCALE 1/4" = 1'-0"



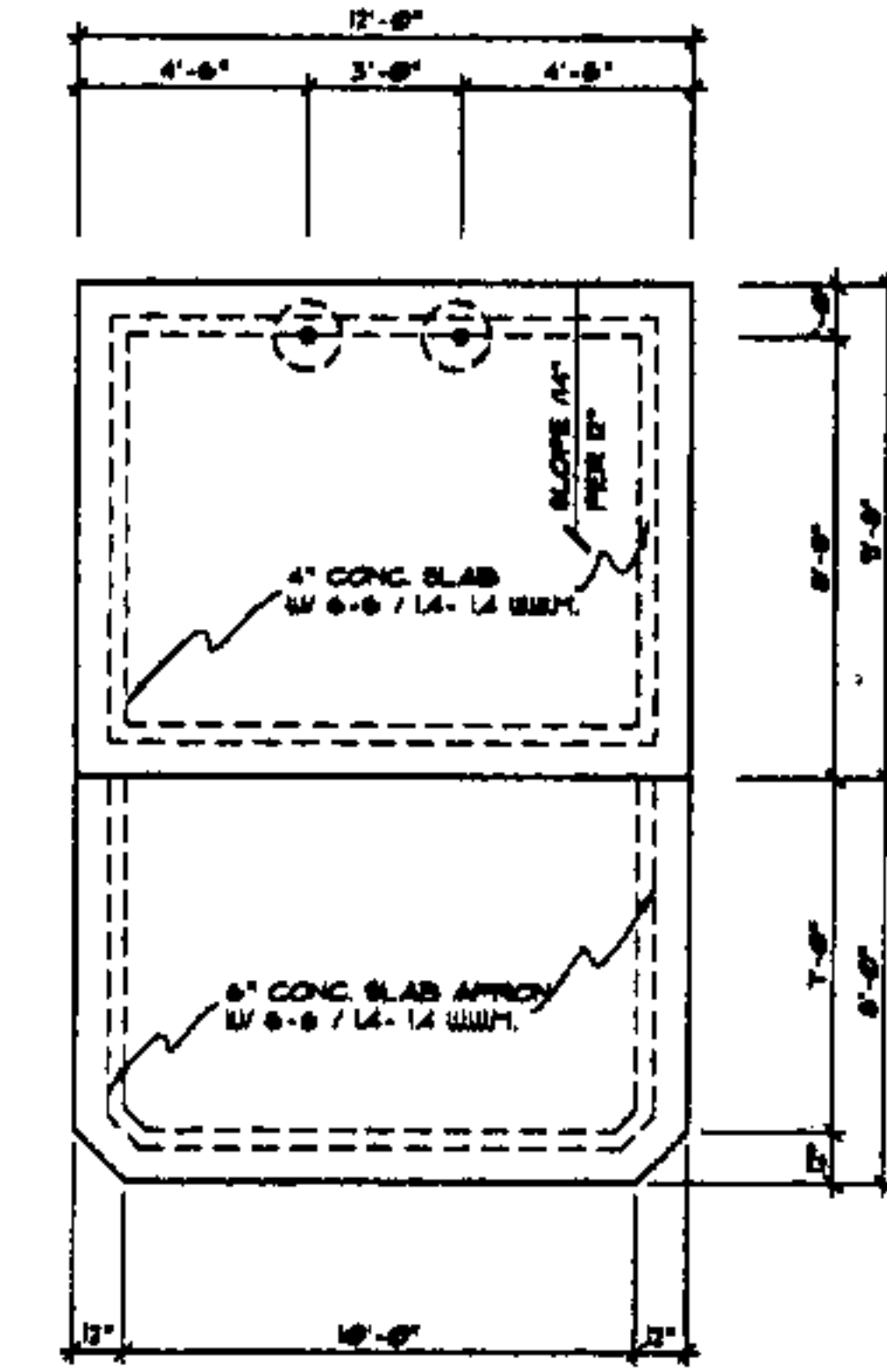
STAND-UP CURB DETAIL
SCALE 1/4" = 1'-0"



REFUSE CONC. PAD SECTION
SCALE 1/4" = 1'-0"



HANDICAP RAMP
NO SCALE



REFUSE CONCRETE PAD PLAN
SCALE 1/4" = 1'-0"



J.H. MEDLEY, Architect
3100 Christine N.E. Albuquerque, NM 87111
Phone (505) 262-3814 Fax (505) 264-0583

Project: OFFICEWAREHOUSE
Date: June 98
Drawn by: JHM
Checked by: JHM


Project: OFFICEWAREHOUSE
Robert Navarrete
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
DEVELOPMENT REVIEW BOARD SITE ELEMENTS

Sheet:
C2

DRAWN: JHM DATE: 6/27/98 6/27/98 6:20:45 AM





JIM MEDLEY, Architect
 3100 DIVISION N.E. ALBUQUERQUE, NM 87111
 Phone (505) 294-2014 Fax (505) 294-5553

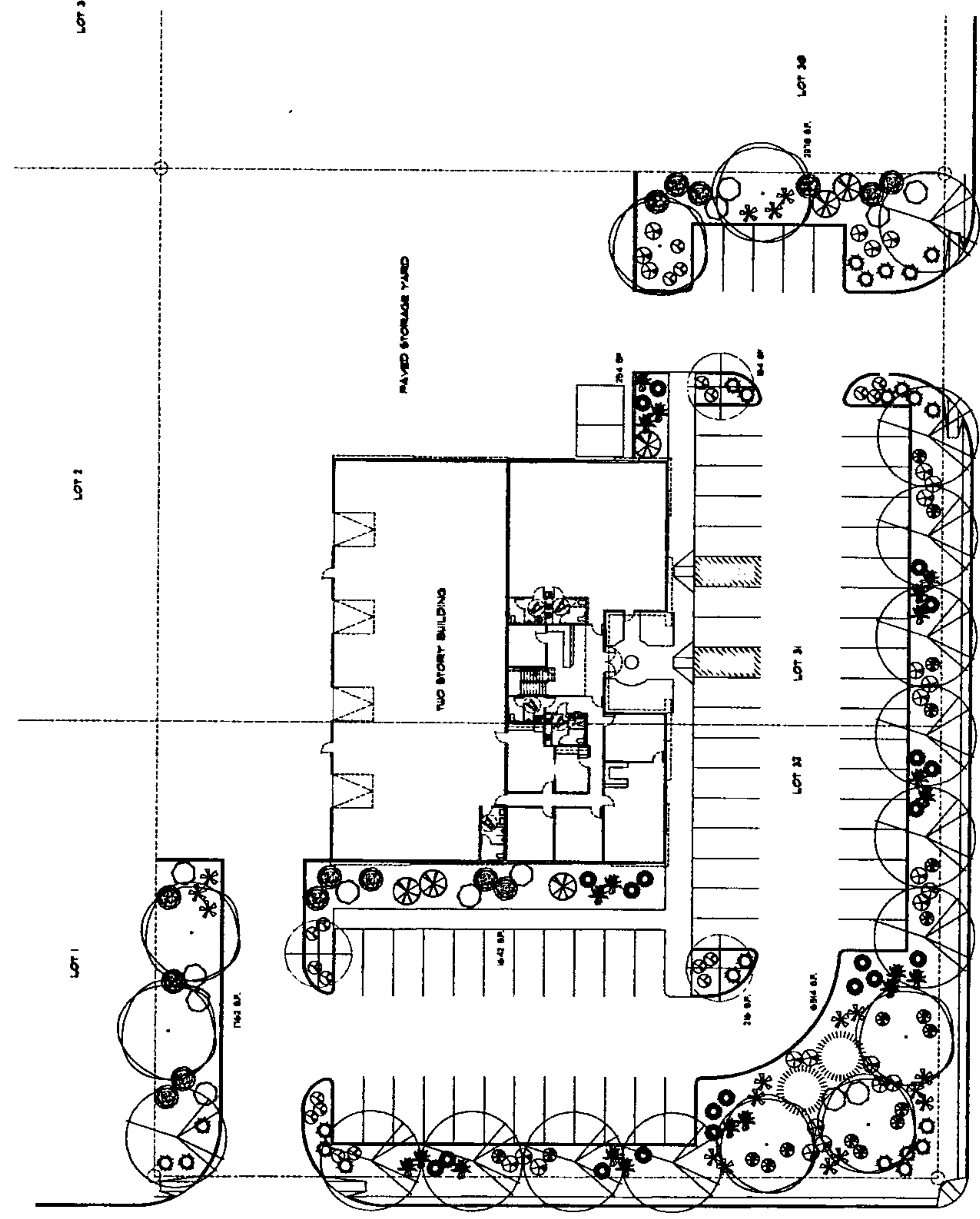
Project: **OFFICE/WAREHOUSE**
Elite Dr.-Wall
 Albuquerque, New Mexico

Plan No.	
Date	
Drawn By	
Checked By	

Sheet Description: **PRELIMINARY LANDSCAPE PLAN**

Sheet: **L1**



LANDSCAPE PLAN
SCALE 1" = 10'

PLANT LEGEND

Qty.	Symbol	Scientific Name	Common Name	Size	Water Use
3	⊕	<i>Crataegus phaeopyrum</i>	Wild Apple	2" B&B	Medium
12	⊕	<i>Washingtonia filifera</i>	Washingtonia	2" B&B	Medium +
7	⊕	<i>Fraxinus velutina</i>	White Ash	2" B&B	Medium
2	⊕	<i>Quercus laevis</i>	White Oak	5" ♂	Medium
15	⊕	<i>Artemisia tridentata</i>	Sagebrush	5 GAL	Medium
CLUSTERBERRY					
13	⊕	<i>Buddleia davidii</i>	Buddleia	5-0ft	Medium
6	⊕	<i>Ceanothus glaberrimus</i>	Ceanothus	5-0ft	Low
16	⊕	<i>Cytisus scoparius</i>	Black Locust	5-0ft	Medium
17	⊕	<i>Hesperaloe parviflora</i>	Cholla	1-0ft	Low +
24	⊕	<i>Juncus roemerianus</i>	Juncus	5-0ft	Low +
28	⊕	<i>Prunus laurocerasus</i>	Laurel	5-0ft	Medium
20	⊕	<i>Prunus pennsylvanica</i>	Black Cherry	5-0ft	Medium
20	⊕	<i>Rosa rugosa</i>	Rose	5-0ft	Low +
Overmatured Ornamentals					
21	⊕	<i>Microstichus albertus</i>	Shrub	5-0ft	Medium

SITE DATA


GROSS LOT AREA (LESS BUILDINGS)	70,315 SF
NET LOT AREA	53,774 SF
REQUIRED LANDSCAPE PERCENT OF NET LOT AREA	13.72%
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	31.26%

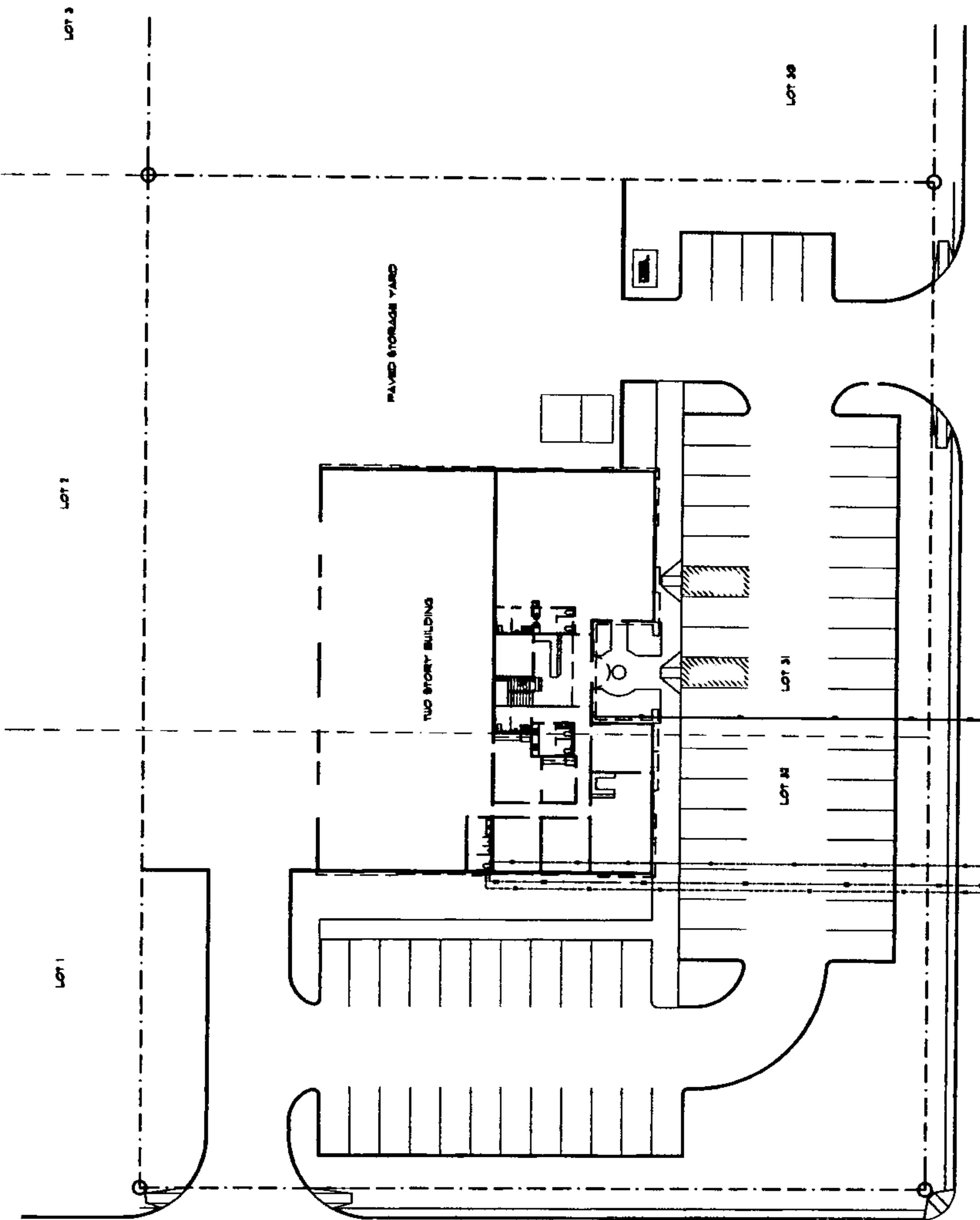
REQUIRED STREET TREES:
 PROVIDED 1 PER 10 SPACES ALONG STREET 15
 PROVIDED 1 PER 10 SPACES (R2 SPACES)(1) 7

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE PROVIDED SHALL BE WATER USE PLANTS A MINIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE PLANTS

NOTE
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 7% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY BASEMENTS
 NO PARKING SPACE SHALL BE MORE THAN 10' FROM A TREE.


	JIM MEDLEY, Architect 3100 CANTON N.E., Albuquerque, NM 87111 Phone (505) 294-3593 Fax (505) 294-3593 e-mail: jimmedley-architect@earthlink.net	Plan No. _____ Date: _____ Drawn by: _____ Checked by: _____	Robert Navarrete Elite Dri-Wall Albuquerque, New Mexico Project: OFFICE/WAREHOUSE	No. _____ Revision / Issue _____ Date: _____	PROPOSED UTILITY SITE PLAN	Sheet Description U1 Sheets:
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CORRECT ALL UTILITIES IN STREET RIGHT OF WAY.

PROPOSED UTILITY SITE PLAN

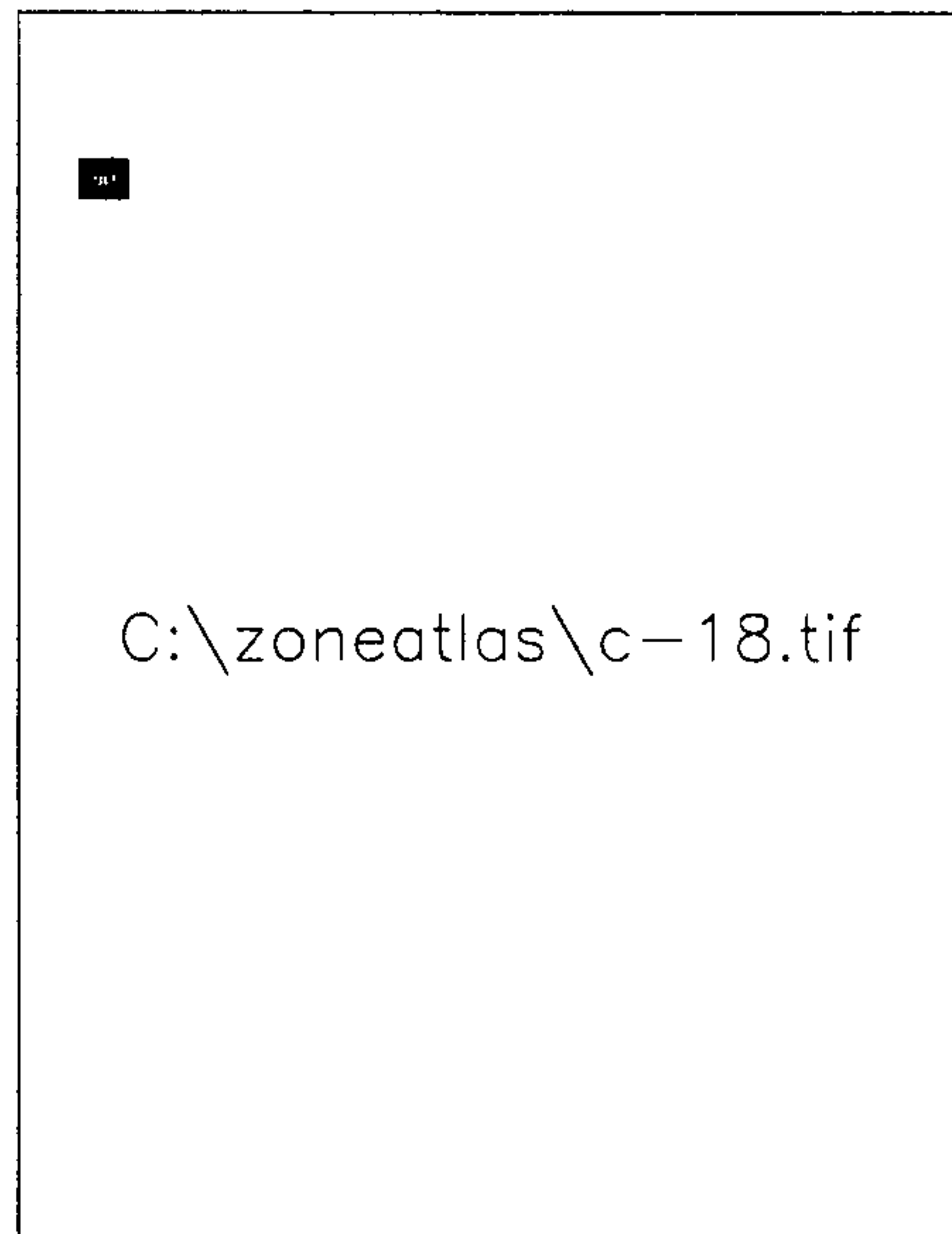
SCALE 1" = 10'



LEGEND

- PROPOSED GAS LINE
- PROPOSED FIRE LINE
- PROPOSED WATER
- PROPOSED SANITARY

VICINITY MAP (C-18-Z)



BENCH MARK

BENCH MARK IS ACS STA. "10-C17" ACS Aluminum disk epoxied to top of drop inlet, ENE quadrant of Alameda Blvd. & Jefferson Street, NE ELEV. 5179.24 (NAVD 88)
 TBM
 P=K Nail & disk "8688" set in asphalt curbing at SE corner of site ELEV. 5157.89

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

LEGAL DESCRIPTION / FLOOD NOTE

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1938.

The above described property is located within Zone X, Community Panel No. 350002 0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only. Rights-of-way of adjoining Lomas Boulevard and Dallas Street lie within Zone A0, subject to 1-ft. flood depths.

DRAINAGE CONCEPT:

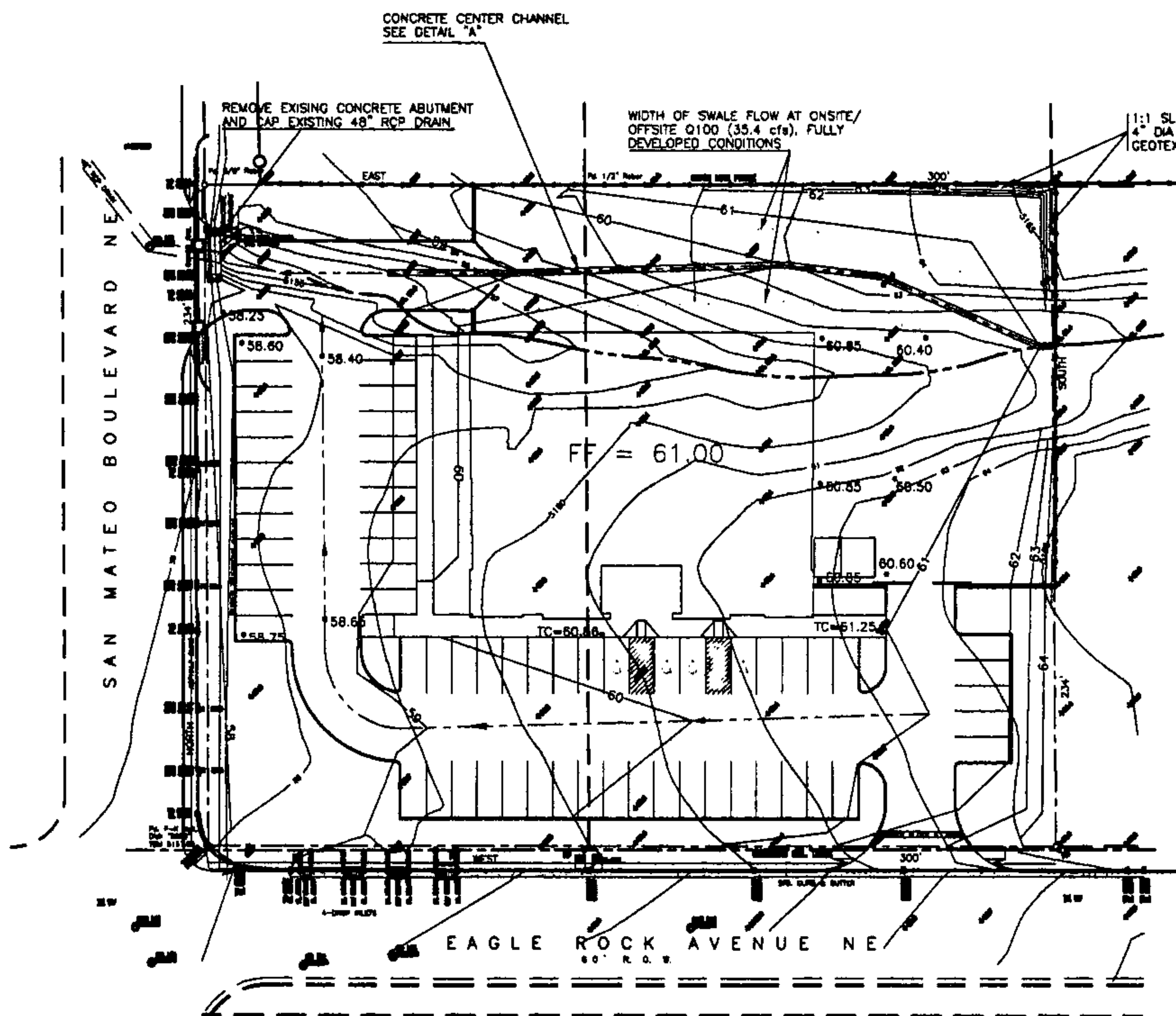
THIS SITE CURRENTLY FREE DISCHARGES TO THE CULVERT THAT DRAINS INTO THE SOUTH LA CUEVA CHANNEL. THE PROPOSED DRAINAGE CONCEPT IS TO CONTINUE TO FREE DISCHARGE DRAIN TO THE SOUTH LA CUEVA CHANNEL VIA EXISTING STORM DRAINS LOCATED WITHIN SAN MATEO BOULEVARD, NE. OFFSITE FLOWS WILL BE ACCOMMODATED VIA A SWALE THROUGH THE PARKING LOT. THE ULTIMATE BUILDOUT ON THE OFFSITE CONTRIBUTORY FLOWS WILL CONTRIBUTE A TOTAL OF 27.9 CFS TO THE SUBJECT SITE. THESE FLOWS WILL BE CONTAINED IN A TRIANGULAR CHANNEL WITH 6:1 SIDE SLOPES. DEPTH OF THE CHANNEL WILL BE 0.5 FEET AND TOP WIDTH OF THE CHANNEL AT 100 YEAR FLOOD CONDITIONS WILL BE 10.3 FEET. BOTH THE ONSITE AND OFFSITE FLOWS WILL BE DIRECTED ONTO SAN MATEO BOULEVARD, NE, TO BE CAPTURED BY EXISTING STORM DRAINS.

ONSITE HYDROLOGY

C:\zoneatlas\c-18.tif

LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> WV WATER VALVE WM WATER METER SM SANITARY SEWER MANHOLE SAD SANITARY SEWER DROP WT WATER TAP IRV IRRIGATION CONTROL VALVE TSB TRAFFIC SIGNAL / BOX PP POWER POLE ANCH ANCHOR LP LIGHT POLE THREE CALIPER NOTED | <ul style="list-style-type: none"> SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE EA EDGE OF ASPHALT EB EDGE OF ASPHALT TC TOP OF CURB / CONCRETE FL FLOWLINE BS BACK OF SIDEWALK CLAN LINK FIDUCIAL CBW CONCRETE BLOCK WALL RL THE LANDSC. RETAINER OP OVERHEAD POWER LINE |
|--|--|
-
- | |
|--|
| <ul style="list-style-type: none"> 4000 EXISTING INDEX CONTOURS @ 5 FT. INTERVALS 5000 EXISTING CONTOURS @ 1 FT. INTERVALS 56 PROPOSED CONTOURS @ 1.0' INTERVALS 56.0 PROPOSED SPOT ELEVATION FLOW LINE PROPOSED RETAINER TO TOP OF CONCRETE FL FLOW LINE TSW TOP OF SIDEWALK RM RIM OF MANHOLE BURIED TELEPHONE LINE |
|--|

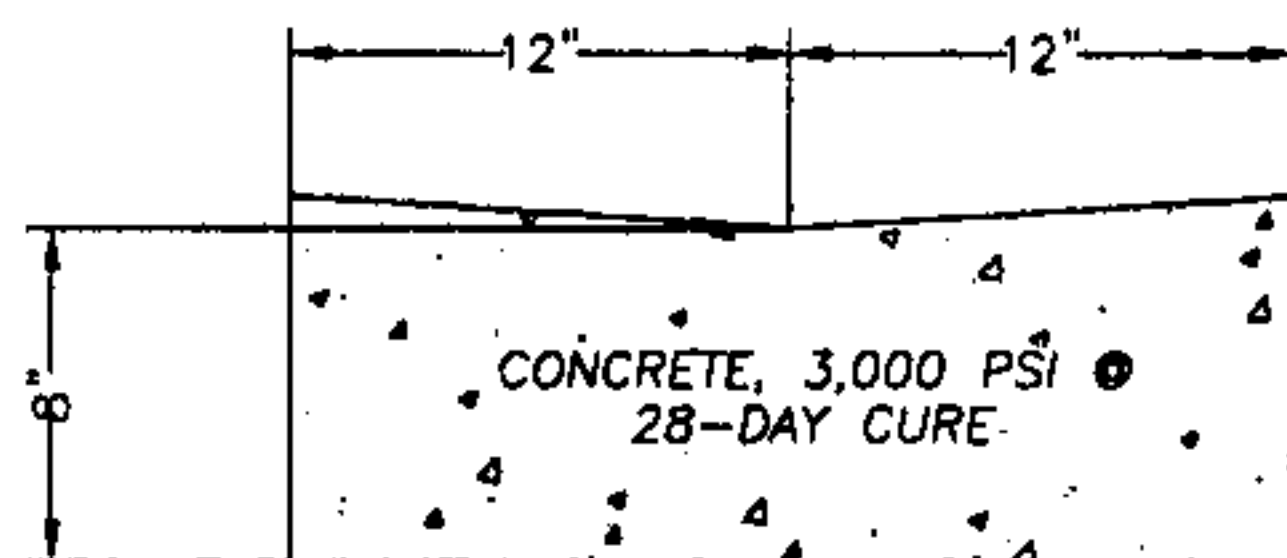


OFFSITE FLOW INFORMATION

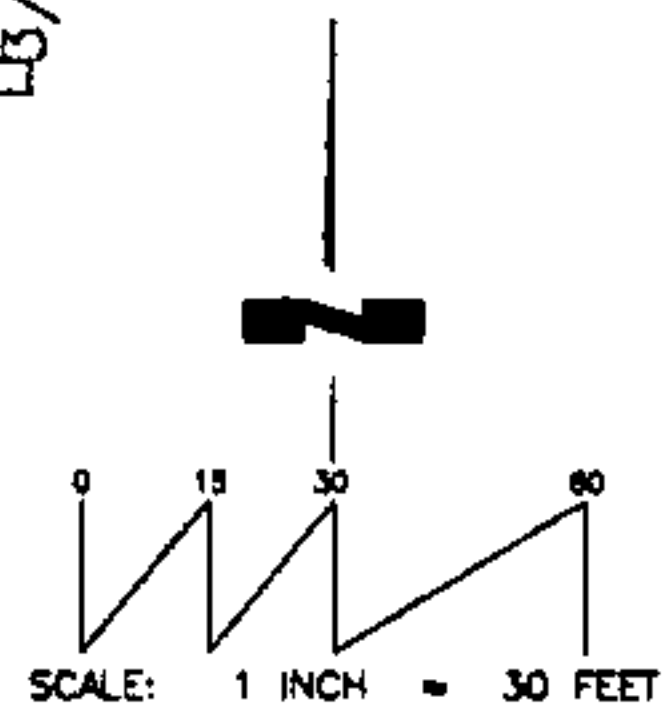
OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS A BASIN OF APPROXIMATELY 8 ACRES. OFFSITE FLOWS ARE BASED UPON FULLY DEVELOPED CONDITIONS WITH A MAXIMUM 85% IMPERMEABLE SURFACE AND 15% LANDSCAPING. A FLOW INCREASE OF 12.3 CFS IS EXPECTED AT FULLY DEVELOPED CONDITIONS. DRAINAGE SWALE AND DROP INLETS ARE DESIGNED TO FULLY DEVELOPED CONDITIONS OF 27.9 CFS.

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.
 CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.
 CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.
 SITE IS SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.



DETAIL "A"
 CONCRETE CENTER CHANNEL
 NO SCALE



I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920



6-19-05

DRAINAGE AND GRADING PLAN
 ELITE DRI-WALL

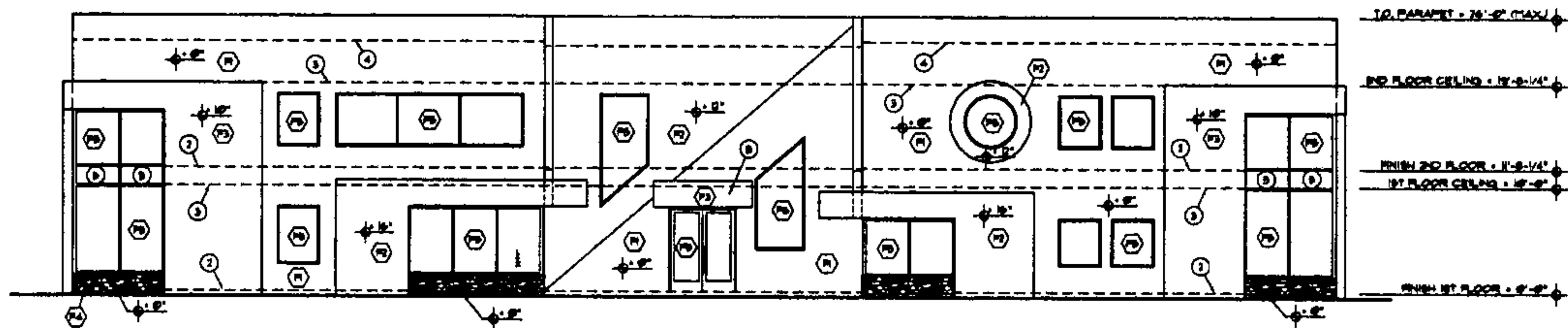


ENGINEERING INC. (505)266-7256
 Fax: (505) 255-2887
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108

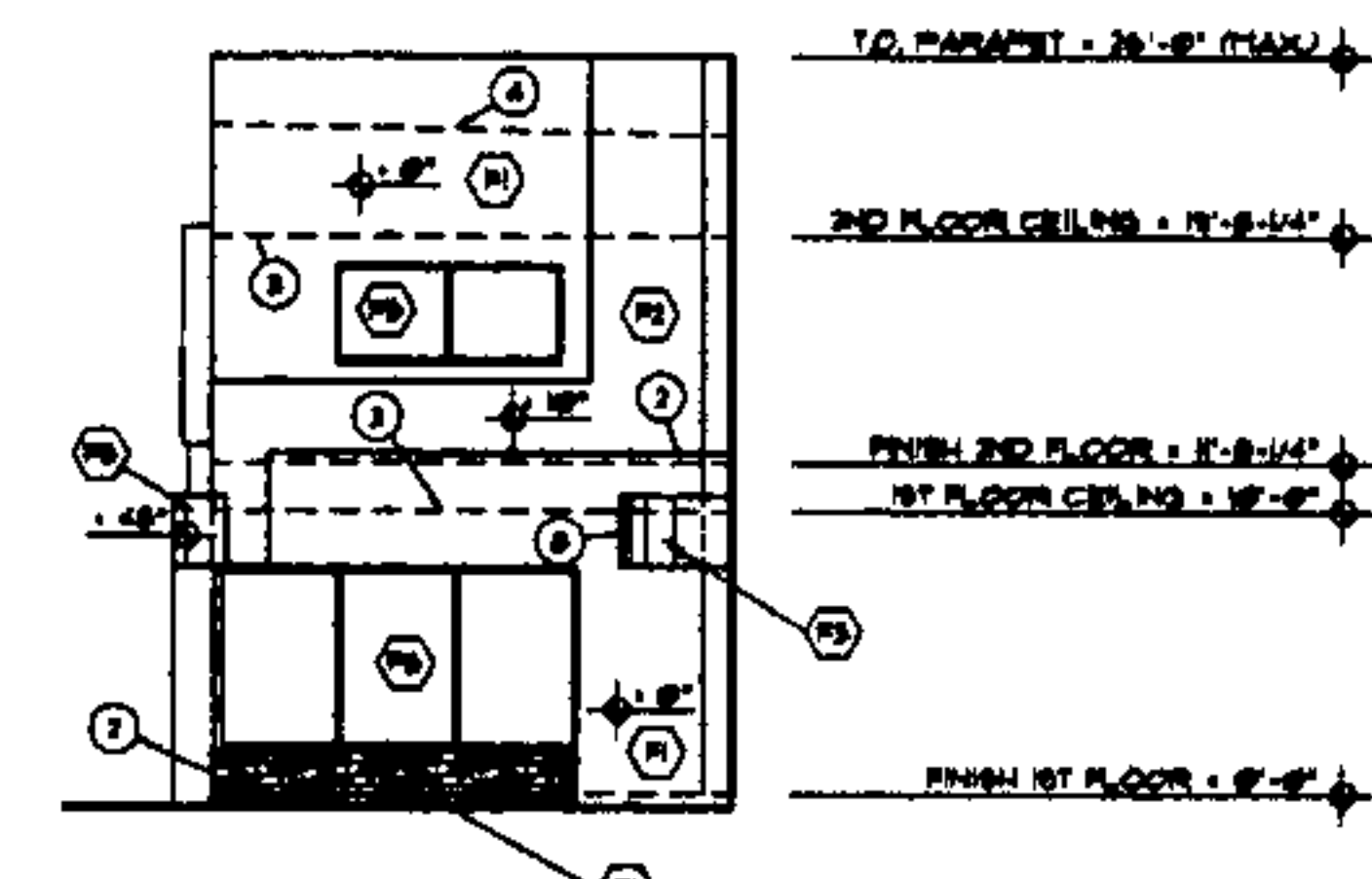
STATE OF NEW MEXICO
 JAMES H. WELBY
 GOVERNOR

JIM WELBY, Architect
 2100 California N.E., Albuquerque, NM 87111
 Phone: (505) 242-2888 Fax: (505) 242-2883

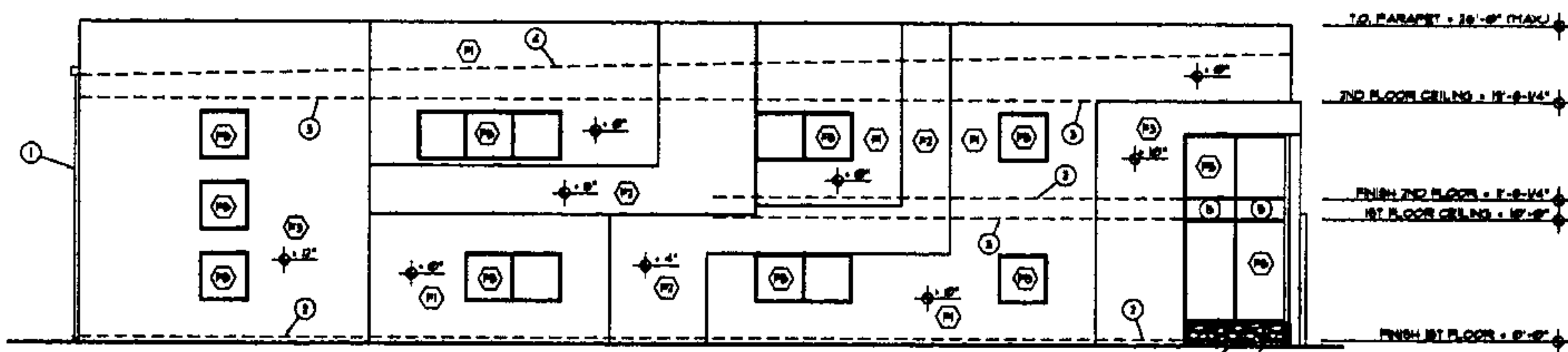
OFFICE/WAREHOUSE
 Robert Navarrette
 Elite Dri-Wall
 Albuquerque, New Mexico



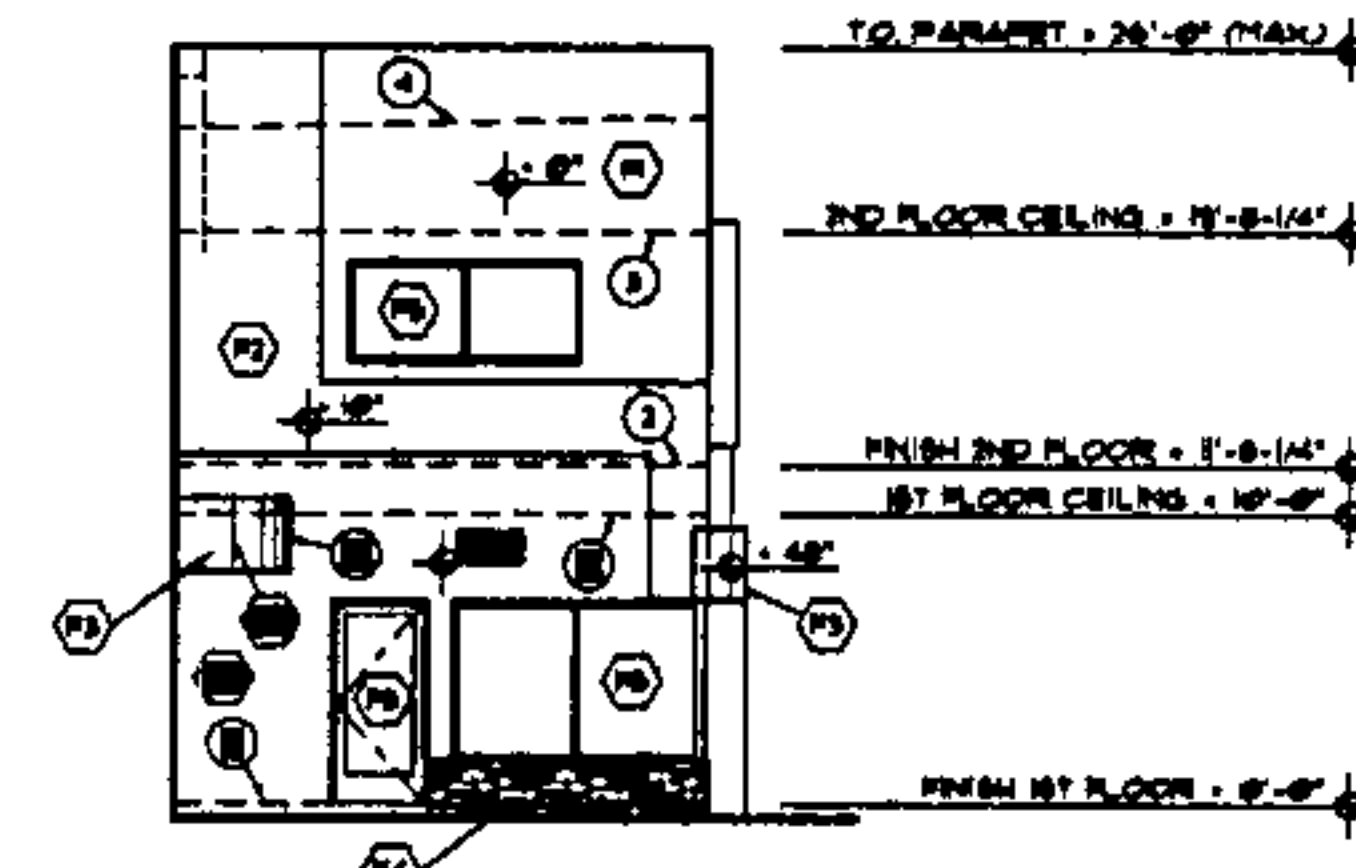
FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



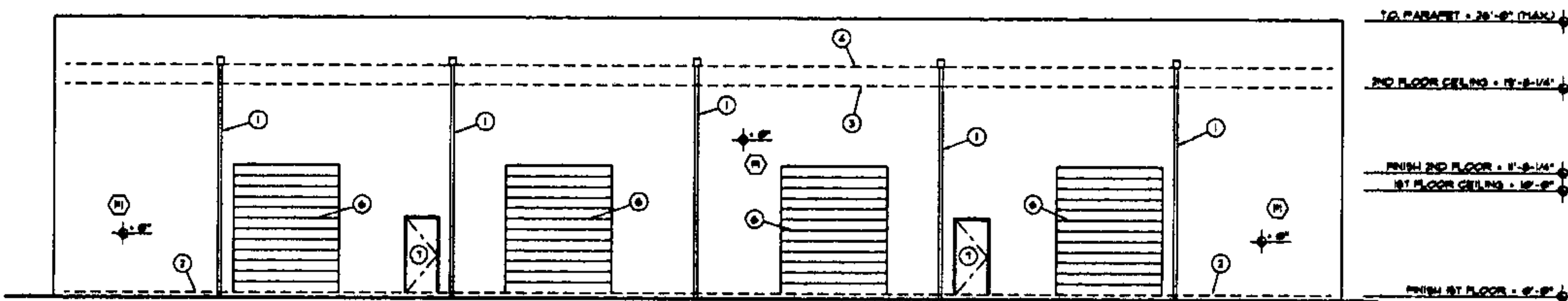
ENTRY COURTYARD (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



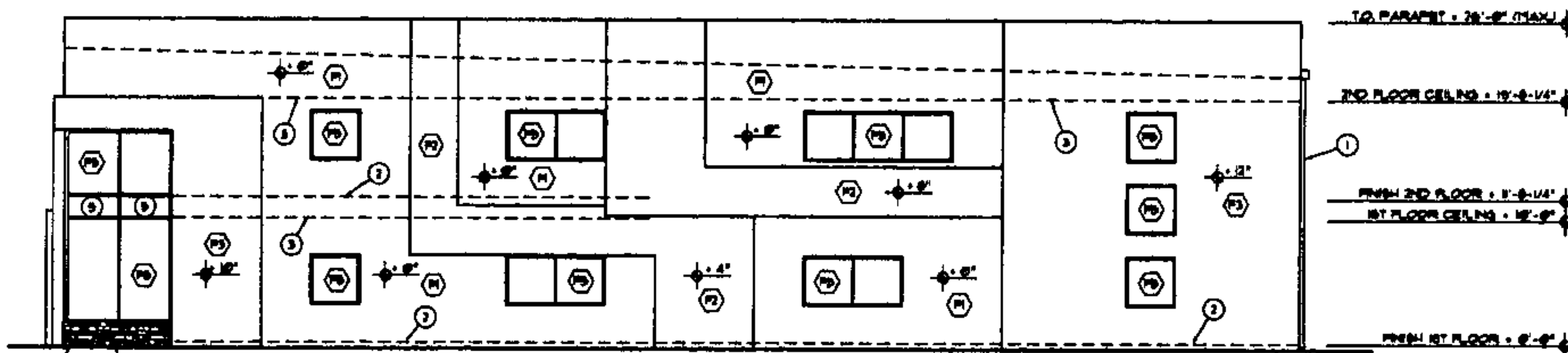
SIDE (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



ENTRY COURTYARD (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



REAR (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



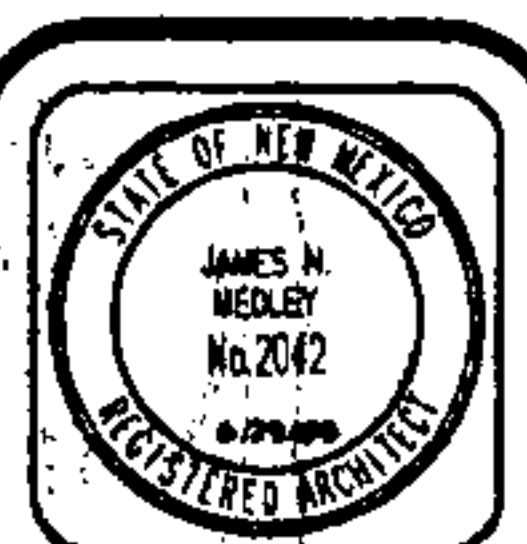
Exterior Finishes

- 1 MAIN STUCCO COLOR (PALE BEIGE)
(RALPH LAUREN-FAIRVIEW COVE)
- 2 ACCENT STUCCO COLOR 1 (MEDIUM BEIGE)
(RALPH LAUREN-LYNCHBURST PUSHROOM)
- 3 ACCENT STUCCO COLOR 2 (DARK BROWN)
(RALPH LAUREN-CORRED THISTLE)
- 4 CULTURED STONE VENEER (BROWN TONES)
- 5 ALUMINUM STOREFRONT GLAZING: BRONZE ANODIZED FINISH

Notes Specific to Sheet

- 1 SCUPPER AND DOWNPOUT, PAINT TO MATCH ADJACENT WALL COLOR
- 2 FLOOR LINE BEYOND
- 3 CEILING LINE BEYOND
- 4 ROOF LINE BEYOND
- 5 SPANDREL GLASS TO HIDE FLOOR STRUCTURE
- 6 METAL OVERHEAD DOOR, PAINT TO MATCH ADJACENT WALL COLOR
- 7 HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR
- 8 CURVED ENTRY COVER

▲ L.E. MARK INDICATES SURFACE PROJECTION FROM STRUCTURAL WALL.



JIM MEDLEY, Architect
 JAMES N. MEDLEY
 No. 2042
 3100 Charlotte N.E. Albuquerque, NM 87111
 Phone (505) 264-2814 Fax (505) 264-5503

Plot No.	DATE
0000	June 1995
Drawn By	JAM
Checked By	

Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
 Albuquerque, New Mexico

No.	Revision / Issue	DATE

Sheet Description
PRELIMINARY EXTERIOR ELEVATIONS

Sheet:
A1

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 6/29/05
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 53 - provided: 62
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3
provided: 3
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- N/A* E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

1. Property lines
2. Building Footprint
3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
4. Fire hydrant locations, existing and proposed.
5. Distribution lines
6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

1. Scale - must be same as scale on sheet #1 - Site plan
2. Bar Scale
3. North Arrow
4. Property Lines
5. Existing and proposed easements
6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
8. Describe irrigation system
9. Planting Beds, indicating square footage of each bed
10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
11. Responsibility for Maintenance (statement)
12. Method for meeting Water Conservation... Ordinance, see article 6-1-1-1.
13. Landscaped area requirement; square footage and percent (specify clearly on plan)
14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

1. Scale - must be same as Sheet #1 - Site Plan
2. Bar Scale
3. North Arrow
4. Property Lines

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

June 28, 2005

Rick Treadwell
5004 Watercress NE
Albuquerque, NM 87113

Dear Mr. Treadwell:

This letter is to inform you that application for an Administrative Amendment to an approved Site Development Plan will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about 06/29/05. The City's review process will take a minimum of 15 days, whereupon a final decision will be rendered. A copy of the Planning Department's Administrative Amendment Information Sheet is enclosed to help you better understand this process.

The specifics of the project are as follows:

- Project consists of an office/warehouse building on the northeast corner of Eagle Rock and San Mateo NE containing approximately 58,586 sq. ft. (1.34 acres).
- The legal description for the site is Lots 31 & 32, Tract A, Unit B of Block 9, North Albuquerque Acres. Zone atlas page C-18-Z.

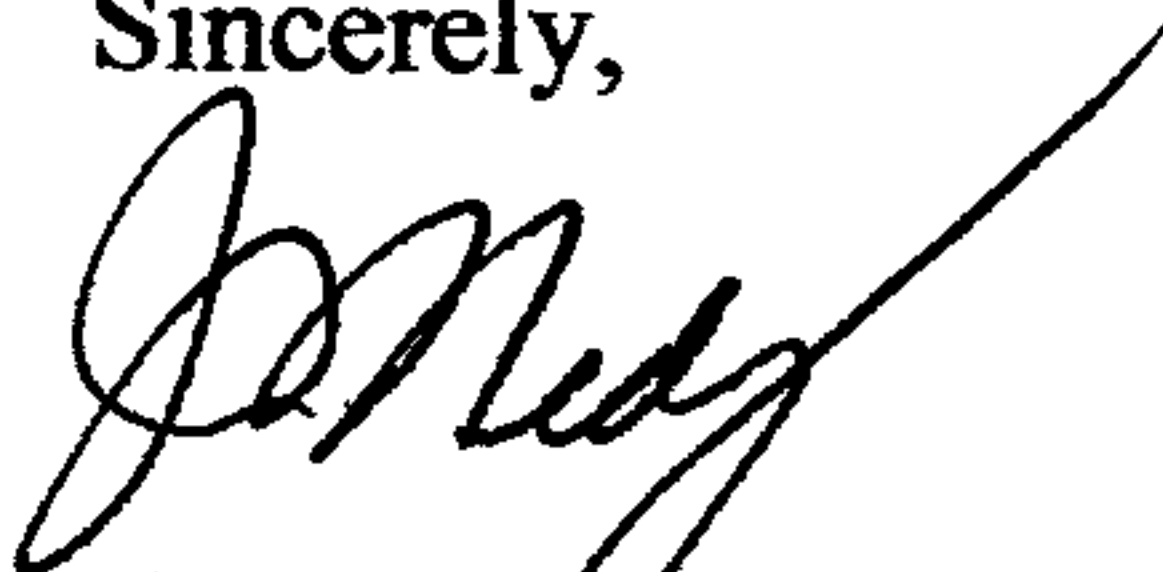
• We are asking for site development plan for building permit approval for an office/warehouse building containing approximately 15,871 sq. ft. of leasable space.

- This will be a quality project above the normal. Project will be owner/occupied by large drywall sub-contractor plus additional office space for rent/lease.

If you have questions about this project/proposal please call us at number on this letterhead.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the Administrative Amendment process and your opportunity for input.

Sincerely,



Jim Medley, Architect AIA

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993
3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

June 28, 2005

Larry T. Caudill
4915 Watercress NE
Albuquerque, NM 87113

Dear Mr. Caudill:

This letter is to inform you that application for an Administrative Amendment to an approved Site Development Plan will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about 06/29/05. The City's review process will take a minimum of 15 days, whereupon a final decision will be rendered. A copy of the Planning Department's Administrative Amendment Information Sheet is enclosed to help you better understand this process.

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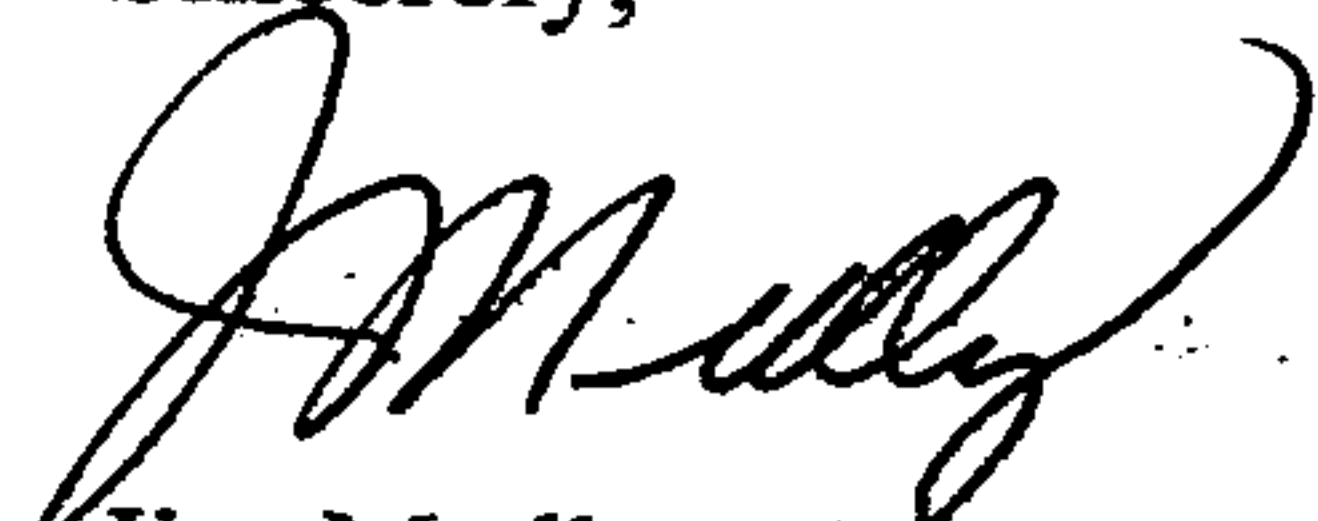
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Sincerely,



Jim Medley, Architect AIA

JIM MEDLEY, Architect AIA

3100 Christine NE / Albuquerque, NM 87111-4824 / Phone (505) 292-3514 Fax (505) 294-5593 email: jmedley@jim-medley-architect.com

TO: MR. GARCIA

TRANSMITTAL LETTER

BY FEDEX BY FAX

BY MAIL OTHER

FAX NUMBER: 924-3864

Reference: PROJECT No. 1004300

LOTS 31, 32, BLOCK 9 TRACT A

NORTH ALBUQUERQUE ACRES

UNIT B

Gentlemen:

Enclosed are the following:

- | | | | |
|---|------------------------------------|---|---------------------------------------|
| <input type="checkbox"/> PRINTS | <input type="checkbox"/> CONTRACT | <input type="checkbox"/> SAMPLES | <input type="checkbox"/> CHANGE ORDER |
| <input type="checkbox"/> SHOP DRAWINGS | <input type="checkbox"/> CATALOGS | <input type="checkbox"/> SPECIFICATIONS | <input type="checkbox"/> CHECK |
| <input type="checkbox"/> COPY OF LETTER | <input type="checkbox"/> SCHEDULES | <input type="checkbox"/> _____ | |

COPIES	DATE	DESCRIPTION
<u>1 ea</u>		<u>NEIGHBORHOOD INFORMATION SHEETS</u>
		<u>w/ LETTER AND CERTIFICATIONS</u>

Transmitted:

- | | |
|--|--|
| <input type="checkbox"/> FOR CORRECTION ONLY | <input type="checkbox"/> APPROVED |
| <input type="checkbox"/> FOR INFORMATION ONLY | <input type="checkbox"/> APPROVED AS CORRECTED |
| <input type="checkbox"/> RETURN TO THIS OFFICE | <input type="checkbox"/> AS PER YOUR REQUEST |
| <input type="checkbox"/> RETURNED FOR CORRECTION AND RESUBMITTAL | <input checked="" type="checkbox"/> FOR YOUR USE |
| <input type="checkbox"/> RETURNED FOR CORRECTION AND APPROVAL | <input type="checkbox"/> _____ |

REMARKS: IF YOU NEED ADDITIONAL INFORMATION, PLEASE

CALL.

- 8 TOTAL SHEETS -

Jim Medley
 Jim Medley, Architect

7/18/05
 Date

"Attachment A"

Date of Request: June 21, 2005
Name: Jim Medley
Address/Zip: 3100 Christine NE/87111
Phone: 292-3514/Fax: 294-5593
Zone Map: C-18

WILDFLOWER AREA N.A. (WFA) "R"

***Larry T. Caudill**

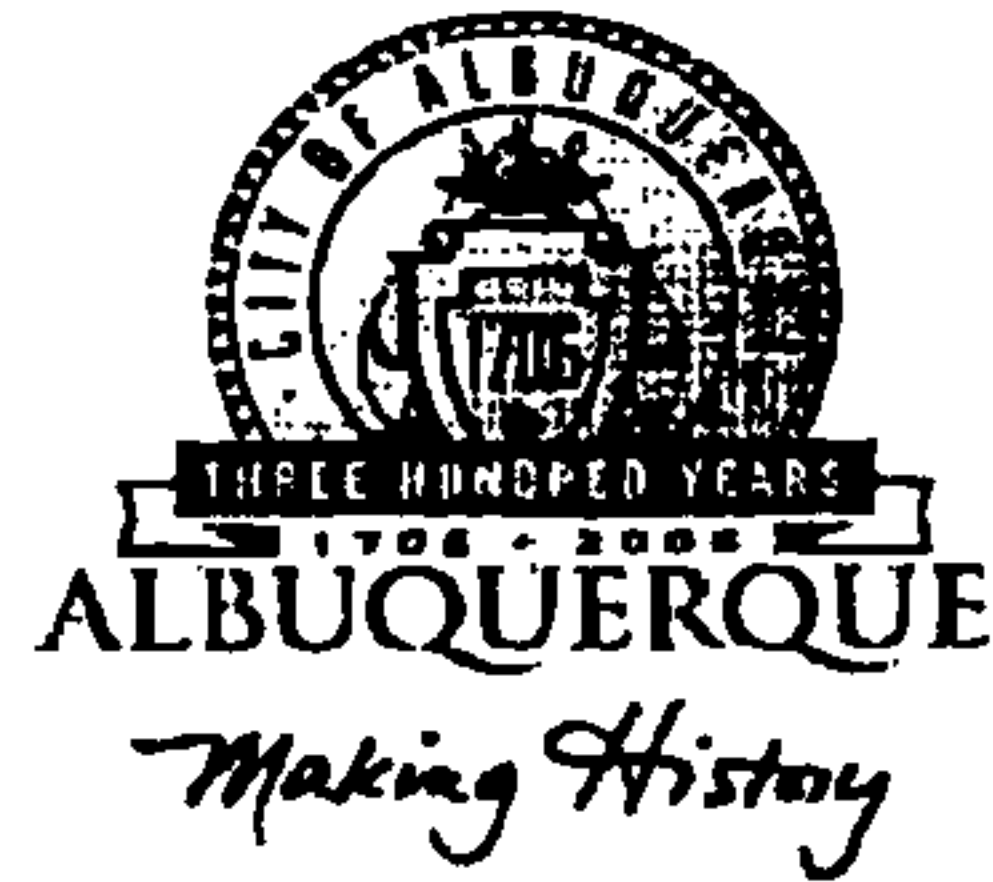
4915 Watercress NE/87113 857-0596 (h)

Rick Treadwell

5004 Watercress NE/87113 821-6369 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92, you are most welcomed to notify the following "Unrecognized" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

June 22, 2005

Jim Medley
Jim Medley Architect
3100 Christine NE/87111
Phone: 292-3514/Fax: 294-5593

Dear Jim:

Thank you for your inquiry of June 22, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **LOTS 31 AND 32, TRACT A, NORTH ALBUQUERQUE ACRES, LOCATED ON EAGLE ROCK AND SAN MATEO NE BETWEEN CORN OF ABQUE NE AND 5301 EAGLE ROCK NE** zone map **C-18**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(10/08/04)

7005 1160 0002 1550 0911 5002

U.S. Postal Service™
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ALBUQUERQUE, NM 87113

Postage	\$ 0.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42

Postmark: JUN 28 2005
 Clerk: KP677N
 06/28/05
 USPS

Sent To: **RICK TREADWELL**
 Street, Apt. No., or PO Box No.: **5004 WATERCRESS NE**
 City, State, ZIP+4: **ALBUQ 1 NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

9612 0551 2000 0911 5002

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Postmark: JUN 28 2005
 Clerk: KP677N
 06/28/05
 USPS

Sent To: **LARRY T. CAUDILL**
 Street, Apt. No., or PO Box No.: **4915 WATERCRESS NE**
 City, State, ZIP+4: **ALBUQUERQUE NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions

*** RX REPORT ***

RECEPTION OK

TX/RX NO	8880
CONNECTION TEL	505 294 5593
SUBADDRESS	
CONNECTION ID	
ST. TIME	07/18 12:24
USAGE T	04'33
PGS.	7
RESULT	OK

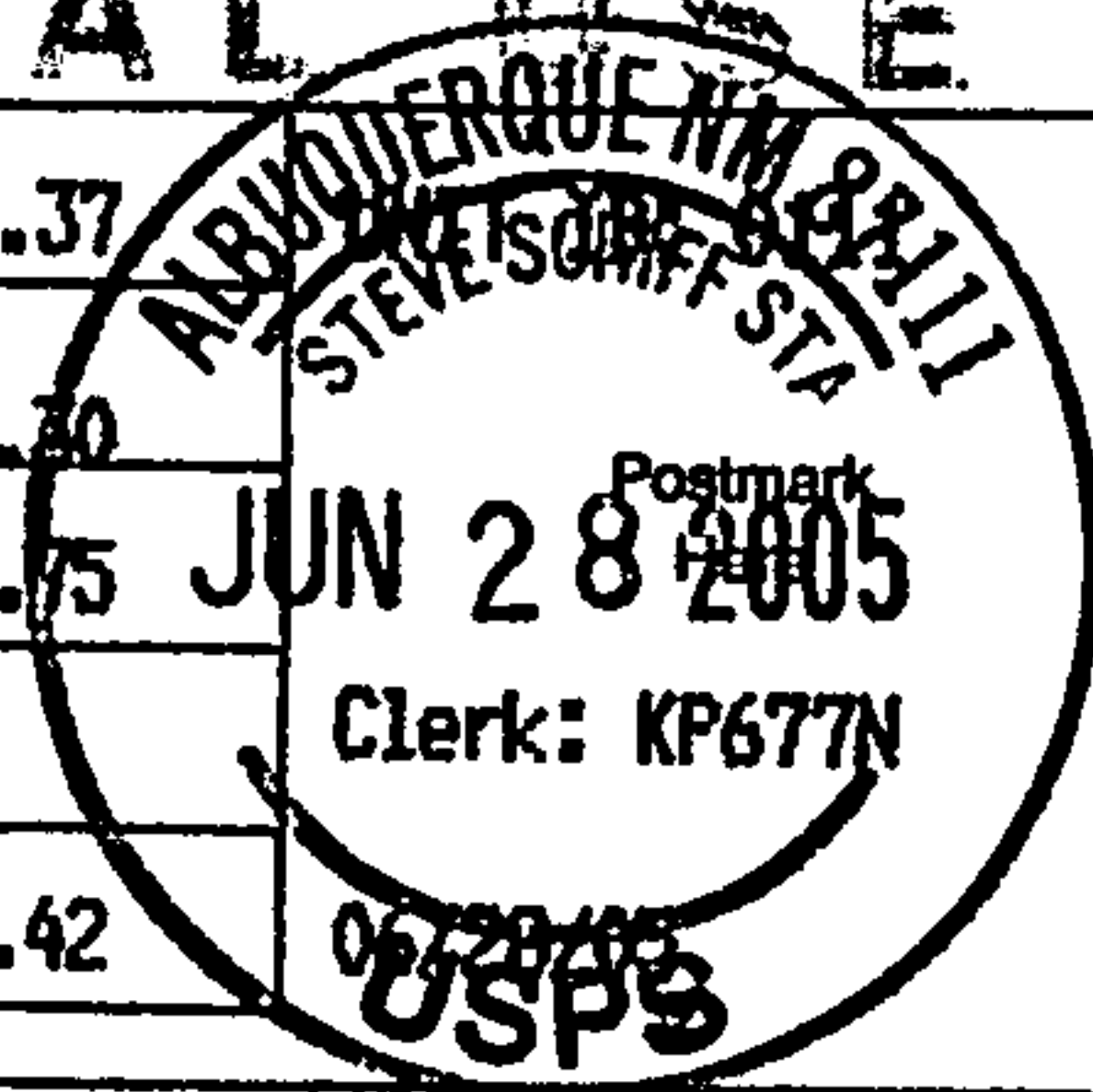
7005 1160 0002 1550 0912 5002

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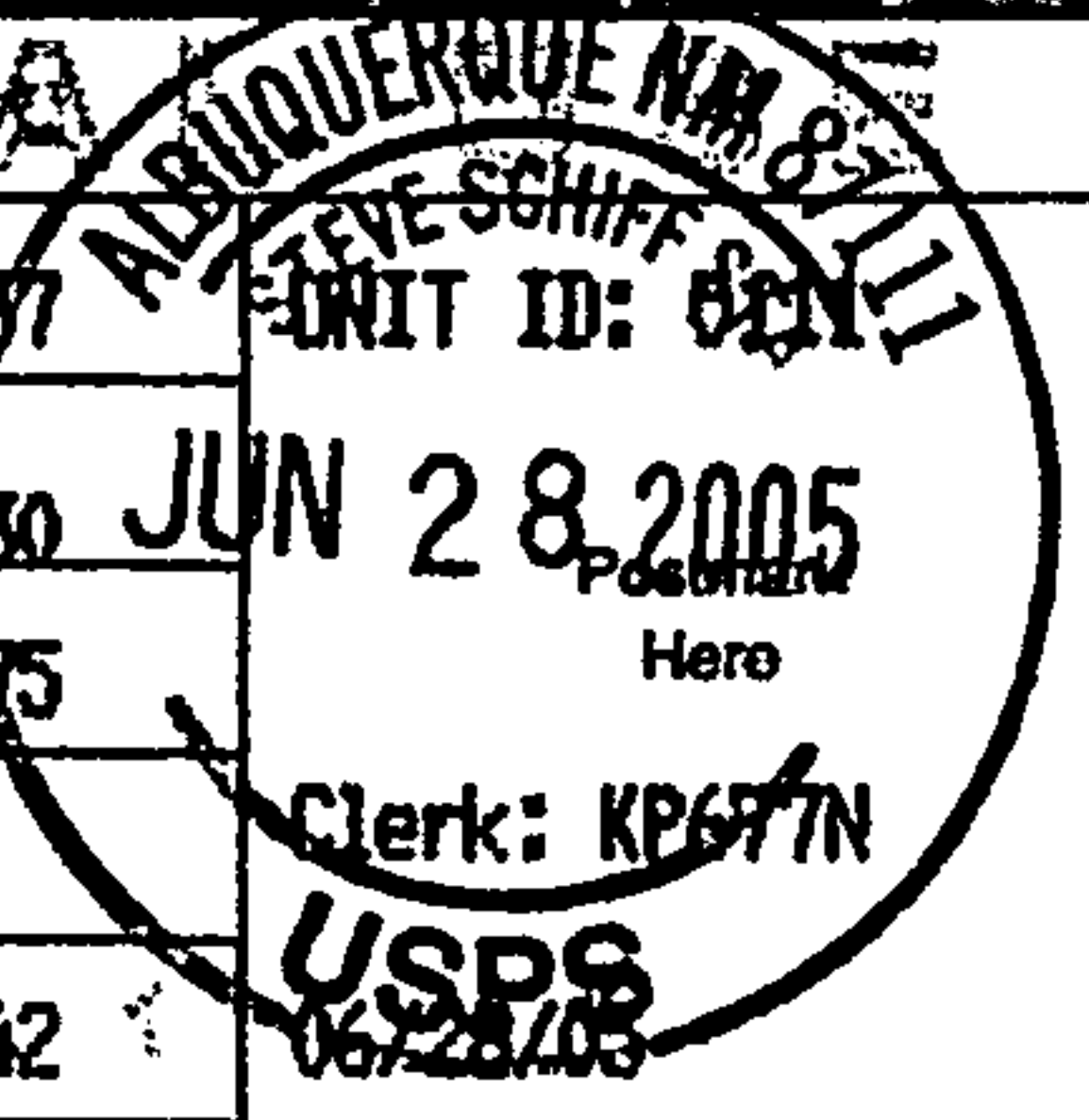
7005 1160 0002 1550 0912 5002

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Sent To **LARRY T. CAWILL**
 Street, Apt. No., or PO Box No. **4915 WATERCRESS NE**
 City, State, ZIP+4 **ALBUQUERQUE NM 87113**

PS Form 3800, June 2002 See Reverse for Instructions



June 28, 2005

City of Albuquerque
Planning Department

Re: Authorization Notice pertaining to 5201 Eagle Rock Ave. NE
LOT 31 & 32 Block 9 NAA

To Whom It May Concern:

I, Robert Navarrette, hereby authorize Jim Medley, our Architect, to act as our representative through the DRB process.

If you have any questions or need any more information please feel free to call me at 505-286-4144. Thank you!

A handwritten signature in black ink, appearing to be "R. Navarrette", written over a horizontal line.

Robert Navarrette - President

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from JULY 12, To JULY 27, 2005

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

[Signature]
(Applicant or Agent)

6/30/05
(Date)

I issued 1 signs for this application,

06/30/05
(Date)

Sandy Landley
(Staff Member)

DRB PROJECT NUMBER: 1004300

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME ROBERT NAVARRETTE
AGENT JIM MEDLEY
ADDRESS 3100 CHRISTINE ST. NE
PROJECT & APP # 1004300/05 DRB 01080
PROJECT NAME OFFICE / WAREHOUSE

6/30/2005 10:16AM LOC: ANMX
RECEIPT# 00043161 MSH 006 TRASH 0025
Account 441018 Fund 0110
Activity 4971000 TRSASR
TRANS AMT \$480.00
J24 Misc \$75.00
CK \$480.00
CHANGE \$0.00
Thank You

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 385.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 75.00 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 480.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Jim Medley, Architect AIA
3100 Christine St. NE
Albuquerque, NM 87111-4824
(505) 292-3514

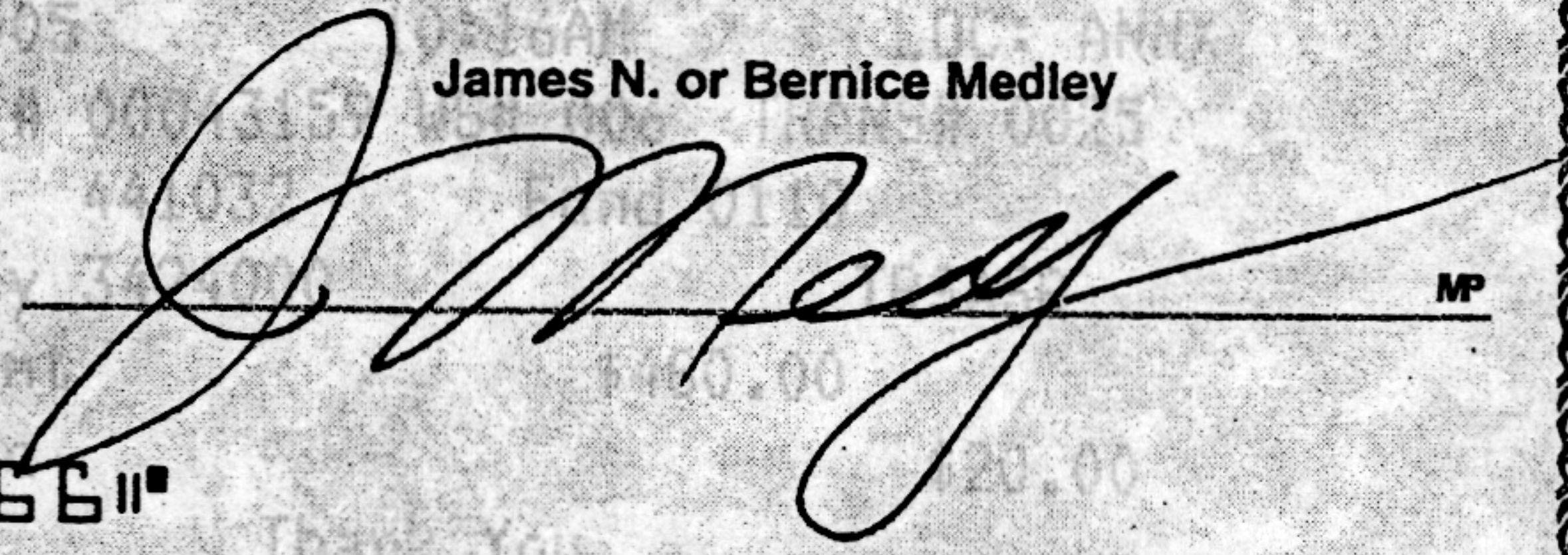
WELLS FARGO BANK, NA
1800 Eubank NE
Albuquerque, NM 87112
95-219/1070

8488

6/30/05

Pay to the Order of CITY OF ALBUQUERQUE \$ 480.00
Four Hundred Eighty \$⁰⁰/₁₀₀ Dollars

NAVARRETTE

James N. or Bernice Medley

MP

⑈008488⑈ ⑆107002192⑆ 1352418166⑈

© 2005 INTUIT INC. # 164 1-800-433-8810



Marcia A. Pincus
07/04/2005 11:25 AM

To: Sheran A. Matson/PLN/CABQ@COA, jjoseph@intera.com
cc: Kevin J. Curran/LEGAL/CABQ@COA
Subject: Infrastructure List

Sheran, Jim:

I talked to Kevin about the wording on the infrastructure list for developments that have landfill gas issues/remediation. The following note should be on the infrastructure list when there are projects within the landfill buffers zones and that have remediation measures:

"The remediation measures for landfill gas abatement outlined in the "STATE LANDFILL GAS ABATEMENT REPORT NAME AND DATE" are included as required infrastructure items".

Jim: You will have to give Sheran the name of the report. Please provide her with the above sentences and the name of the report and/or letter from the LFG engineer.

Thanks and have a great day!

If you have any questions, please call.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 24, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:30 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000400**
05DRB-01233 Major-One Year SIA

LEROY ORTIZ agent(s) for SOCIETY OF ST. PIUS X OUR LADY OF THE ROSARY, request(s) the above action(s) for all or a portion of Tract(s) 336, **TOWN OF ATRISCO GRANT UNIT 8**, zoned SU-1 CHURCH, located on OURAY NW, between COORS NW and LADERA NW containing approximately 5 acre(s). [REF: 03DRB-01033] (H-11) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003280**
05DRB-01230 Major-Six-Month SIA

TIERRA WEST LLC agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for **VISTA PACIFICA UNIT 2**, zoned R-1 residential zone, located on GONZALES RD SW, between OASIS DR SW and CORREGIDOR DR SW containing approximately 5 acre(s). [REF: 04DRB00568, 04DRB01309] (K-11) **A 6-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1004354**
05DRB-01229 Major-Vacation of Pub
Right-of-Way

TIERRA WEST LLC agent(s) for ACRE PARTNERS request(s) the above action(s) for all or a portion of Block(s) 9 Lot(s) 22-26 and a portion of 27, **ORIGINAL TOWNSITE OF WESTLAND**, zoned SU-2,C-2, located on 98TH ST NW, between CENTRAL AVE NW and VOLCANO RD NW containing approximately 9 acre(s). [REF: ZA-88-3701, ZA-90-276, ZA-96-227, ZA-87-308] (K-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1001081**
05DRB-01173 Major-Vacation of Pub
Right-of-Way

TIERRA WEST agent(s) for HOME DEPOT U.S.A. INC request(s) the above action(s) for all or a portion of Lot(s) 23, **SNOW HEIGHTS ADDITION**, zoned C-2 (SC) community commercial zone, located on SNOW HEIGHTS CIRCLE NE, between MENAUL BLVD NE and SNOW HEIGHTS BLVD NE. [*Deferred from 8/10/05 & 8/24/05*] (H-20) **DEFERRED AT THE AGENT'S REQUEST TO 9/14/05.**

5. **Project # 1004075**
05DRB-01227 Major-Bulk Land
Variance
05DRB-01228 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for REGENTS OF UNM & COMMISSIONER OF PUBLIC LANDS OF THE STATE OF NEW MEXICO, TRUSTEE request(s) the above action(s) for **MESA DEL SOL**, zoned SU-2 planned communities, located on I-25, between BROADWAY BLVD SW and LOS PICAROS RD SW and containing approximately 12,917.928 acre(s). [REF: 05DRB000525] (Q-15 thru Q-18, R-14 thru R-18, S-14 thru S-18, T-13 thru T-18, U-13 thru U-18) **BULK LAND VARIANCE WAS APPROVED. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ACCESS EASEMENTS AND PLANNING FOR AGIS DXF FILE AND TO RECORD.**

6. **Project # 1001770**
05DRB-01231 Major-Vacation of
Public Easements
05DRB-01232 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for JPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 5-A1-B & 5-A2-A, LANDS OF JOEL P. TAYLOR (to be known as **MONTANO RETAIL**), zoned C-2, (SC) located on COORS BLVD NW, between MONTANO NW and MONTANO PLAZA NW containing approximately 7 acre(s). [REF: 05-DRB-00320] (E-12) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/24/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/26/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: THE UTILITY PLAN WILL BE INSERTED INTO THE SITE PLAN AND BUILDING PERMIT SET. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

05DRB-00320 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART ARCHITECTS & ASSOCIATES. agent(s) for PETE DASKALOS request(s) the above action(s) for all or a portion of Tract(s) 5-A1-B & 5A2-A, **LANDS OF JOEL TAYLOR**, zoned C-2 community commercial zone, located on MONTANO NW, between WINTERHAVEN RD NW and COORS BLVD NW containing approximately 5

acre(s). [REF: 04EPC01722, 04EPC01721] [Elvira Lopez, EPC Case Planner] [*Indef Deferred from 3/2/05*] (E-12) THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS SECTIONS OF STREET AND SEWER EASEMENTS AND PLANNING FOR 3 COPIES OF SITE PLAN AND ADDITION OF UTILITY PLAN TO SITE PLAN FOR BUILDING PERMIT.

7. **Project # 1003585**
05DRB-01191 Major-Vacation of Pub
Right-of-Way
05DRB-01190 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for 3900 SILVER AVENUE LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-20, **SILVER STREET TOWNHOMES**, zoned O-R, located on SILVER AVE SE, between ALISO AVE SE and MORNINGSIDE AVE SE containing approximately 2 acre(s). [REF: 05DRB00737] [*Deferred from 8/17/05*] (K-17) THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/4/05 THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15-DAY APPEAL PERIOD, REAL PROPERTY SIGNATURE AND TO RECORD.

8. **Project # 1004355**
05DRB-01235 Major-Preliminary Plat
Approval
05DRB-01236 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for SCOTT SCHIABOR, SPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB00825, 04DRB01460] [*Deferred from 8/24/05*] (D-9) DEFERRED AT THE AGENT'S REQUEST TO 8/31/05.

Project #1003470
05DRB-01289 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for SCOTT SCHIABOR request(s) the above action(s) for all or a portion of Tract(s) 1, **VISTA VIEJA SUBDIVISION, UNIT 1**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB00825, 04DRB01460] (D-9) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1002861**
05DRB-01202 Major-Preliminary Plat
Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS DEVELOPMENT request(s) the above action(s) for all or a portion of Block(s) 46, Lots(s) 17 through 24, NEW MEXICO TOWN COMPANY TOWNSITE (to be known as **SOUTHERN UNION GAS LOFTS UNIT II**) zoned SU-3 special center zone, located on 9TH ST SW, between SILVER AVE SW and 8TH ST SW [REF: 03DRB01299, 04DRB00002, 04DRB01137, 05DRB00718] [*Deferred from 8/17/05*] (K-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/24/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/22/05 THE PRELIMINARY PLAT WAS APPROVED.**

10. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). [*Deferred from 8/3/05, 8/17/05, 8/24/05*](L-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/31/05.**

11. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [Deferred from 7/27/05 and 8/10/05 & 8/17/05] (C-18) **THE SITE PLAN FOR BUILDING PERMIT WS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR ENVIRONMENTAL HEALTH SIGNATURE AND 3 COPIES OF THE SITE PLAN.**

05DRB-01286 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] [Deferred from 8/17/05] (C-18) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/24/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/22/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: ENVIRONMENTAL HEALTH'S SIGNATURE MUST APPEAR ON THE FINAL PLAT. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

12. **Project # 1004100**
05DRB-01290 Minor-SiteDev Plan
BldPermit/EPC

QUIK DRAW ENGINEERING LLC agent(s) for SPRINGSTONE CHILDRENS LEARNING CENTER request(s) the above action(s) for all or a portion of Tract(s) F, **LA CUEVA VILLAGE - UNIT 1**, zoned C-2 (SC), located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW NE containing

approximately 1 acre(s). [REF: 05EPC00582] [Carmen Marrone for Elvira Lopez, EPC Case Planner] (*Deferred from 8/24/05*) (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 8/31/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 13. Project # 1000511**
05DRB-01102 Minor-Vacation of Private Easements (withdrawn)
05DRB-01101 Minor-Prelim&Final Plat Approval
- MIKE MONTOYA request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **HERITAGE EAST, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on DE VARGAS LOOP NE, between VENTURA ST NE and GREENWOOD ST NE containing approximately 1 acre(s). [REF: DRB-94-551] (*Deferred from 7/27/05 & 8/24/05*) (D-20) **DEFERRED AT THE BOARD'S REQUEST TO 9/21/05.**
- 14. Project # 1000351**
05DRB-01303 Minor-Prelim&Final Plat Approval
- CARTESIAN SURVEYS agent(s) for BOB KITTS request(s) the above action(s) for all or a portion of Tract(s) 3, 7 & 8, **LANDS OF ZIA TRADING COMPANY**, zoned SU-1 FOR IP, located on OSUNA BLVD NE, between BNSF RR TRACKS and EDITH BLVD NE containing approximately 4 acre(s). [REF: Z-99-99, AX-99-10] (*Deferred from 8/24/05*) (E-15) **DEFERRED AT THE BOARD'S REQUEST TO 8/31/05.**

15. **Project # 1002420**
05DRB-01295 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP agent(s) for 1420 CARLISLE LLC request(s) the above action(s) for all or a portion of Lot(s) A-1 & A-2, Block(s) 10, **ALTURA ADDITION**, zoned C-1 neighborhood commercial zone, located on CARLISLE BLVD NE and ASPEN AVE NE and containing approximately 2 acre(s). [REF: 03DRB00051] (J-17) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1002779**
05DRB-01308 Major-Final Plat
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SANHIL DEVELOPMENT LTD CO request(s) the above action(s) for all or a portion of Tract(s) C, LANDS OF POLO CHAVEZ and Tract(s) A-1 & A-2, SAN JOSE TRACTS (to be known as **CIELO LINDO SUBDIVISION**) zoned R-1 residential zone, located on AIRPORT DR SW, between DONA BARBARA AVE SW and EDUARDO RD SW containing approximately 9 acre(s). [REF: 03EPC02049, 03EPC01061, 04DRB00959, 04DRB01730, 04DRB01731, 04DRB01732] (M-11) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR DISPOSITION OF TRACT A AND PRIVATE DRAINAGE EASEMENT ON LOT 27 AND TO PLANNING FOR AGIS DXF FILE, TRACT A – PUBLIC SAS AND WATER EASEMENTS TO ABCWUD AND TO RECORD THE PLAT.**

17. **Project # 1003285**
05DRB-01296 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) B-24 through B-28, TOWN OF ATRISCO GRANT (to be known as **SUNDORO SOUTH, UNIT 6**) zoned SU-2 FOR RLT, located on ENDEE ROAD NW, between

94TH ST NW and 90TH ST NW containing approximately 14 acre(s). [REF: 05DRB-00105, 05DRB-00106, 05DRB-00112, 05DRB-00107, 05DRB-00113] (J-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

18. **Project # 1004315**
05DRB-01305 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for ALTURA WEST DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 33-A & 35-A, **OXBOW BLUFF SUBDIVISION**, zoned SU-3 special center zone, located on SILVERY MINOW LN NW, between WATERWILLOW LN NW and GREY HAWK LN NW containing approximately 2 acre(s). [REF: 05DRB01121] (F-11) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR SIGNED OFF ENCROACHMENT AGREEMENT READY TO RECORD AND THE PLANNING TO RECORD.**

19. **Project # 1004375**
05DRB-01306 Minor-Prelim&Final Plat
Approval

LAND DEVELOPMENT CONSULTANTS agent(s) for INELDA JARAMILLO request(s) the above action(s) for all or a portion of Tract(s) 1, **P & J SUBDIVISION**, zoned SU-1 PRD, located on SAN ANTONIO DR NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 7 acre(s). [REF: DRB-92-241, SP-92-85](E-18) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR DEDICATION ALONG SAN ANTONIO TO HAVE CURB FACE 13-FEET FROM PROPERTY LINE AND TO CITY ENGINEER FOR REMOVAL OF PUBLIC DRAINAGE EASEMENT AND AGIS DXF FILE.**

20. **Project # 1004377**
05DRB-01309 Minor-Prelim&Final Plat
Approval

BRITT HARVILLE request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, **PAWIDOL SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on VIZCAYA PLAZA NW, between RIO GRANDE BLVD NW and GABALDON RD NW containing approximately 1 acre(s). (H-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

21. **Project # 1004378**
05DRB-01310 Minor-Sketch Plat or
Plan

LAURIE BALMER agent(s) for LUCILE LANSING request(s) the above action(s) for all or a portion of Lot(s) 8, Block(s) 5, **ALTURA ADDITION**, zoned R-1, located on AVENIDA MANANA NE, between CONSTITUTION NE and ASPEN NE containing approximately 1 acre(s). (J-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. Approval of the Development Review Board Minutes for August 10, 2005. **THE DRB MINUTES FOR AUGUST 10, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:30 A.M.

#10

4300

DXF Electronic Approval Form

DRB Project Case #: 1004300

Subdivision Name: N ALBUQ ACRES UNIT B TRACT A BLOCK 9 LOT 31A

Surveyor: THOMAS D JOHNSTON

Contact Person: THOMAS D JOHNSTON

Contact Information: 255-2052

DXF Received: 8/9/2005

Hard Copy Received: 8/9/2005

Coordinate System: NMSP Grid (NAD 27)


Approved

08.09.2005
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **4300** to agiscov on **8/9/2005** Contact person notified on **8/9/2005**

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 31 & 32, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			CURB AND GUTTER	SAWMATED	EAGLE ROCK	N. PROP. LINE	1	1	1
		6'	SIDEWALK	SAWMATED	EAGLE ROCK	N. PROP. LINE	1	1	1
		24'	PAVEMENT	E. SIDE SAWMATED	EAGLE ROCK	N. PROP. LINE	1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1

SIA Sequence #	COA DRC Project #

Size

Type of Improvement

Location

From

To

Private
Inspector

City
Inspector

City Cnst
Engineer

/	/	/
/	/	/
/	/	/
/	/	/

NOTES

1 THE REMEDIATION MEASURES FOR LANDFILL GAS ABATEMENT OUTLINED IN THE "STATE LANDFILL GAS ABATEMENT REPORT" ARE INCLUDED AS REQUIRED INFRASTRUCTURE ITEMS.

2

3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

THOMAS D. JOHNSTON (AGENT)
NAME (print)

DRB CHAIR - date

PARKS & GENERAL SERVICES - date

WAYJONN SURVEYING Inc.
FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

 8.9.05
SIGNATURE - date

UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

SUBDIVISION <input checked="" type="checkbox"/> Major Subdivision action <input checked="" type="checkbox"/> Minor Subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)	Supplemental form S V P	ZONING <input type="checkbox"/> Annexation & Zone Establishment <input type="checkbox"/> Sector Plan <input type="checkbox"/> Zone Change <input type="checkbox"/> Text Amendment	Supplemental form Z A
SITE DEVELOPMENT PLAN <input type="checkbox"/> ...for Subdivision Purposes <input type="checkbox"/> ...for Building Permit <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC) L	P L	APPEAL / PROTEST of... <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	A

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ELITE DRI-WALL (ROBERT NAVARRETTE) PHONE: 286-4144
 ADDRESS: 870 HWY 66 FAX: 286-4130
 CITY: ALBUQUERQUE STATE NM ZIP 87059 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): WAYJOHN SURVEYING, INC. PHONE: 255-2052
 ADDRESS: 330 LOUISIANA BLVD NE FAX: 255-2887
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: WAYJOHN SURV@aol.com

DESCRIPTION OF REQUEST: MINOR PRELIMINARY/PLAT AND INFRASTRUCTURE LIST
FINAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 31 + 32 Block: 9 Unit: B
 Subdiv. / Addn. TRACT A, NORTH ALBUQUERQUE ACRES
 Current Zoning: SU-2 M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-18 No. of existing lots: 2 No. of proposed lots: 1
 Total area of site (acres): 1.9984 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES
 UPC No. 101806402449020902, 101806401049020901 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: EAGLE ROCK AVENUE NE
 Between: SAN MATEO BLVD NE and INTERSTATE 25

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 1004300

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____
 DATE 8-09-05

SIGNATURE [Signature] DATE _____
 (Print) THOMAS D. JOHNSTON _____
 Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05 DRB</u>	<u>P & F</u>	<u>5(3)</u>	\$ <u>215.⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ <u>20.⁰⁰</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>235.⁰⁰</u>

Hearing date 8/17/05

Project # 1004300

[Signature] 8/9/05
 Planner signature / date

PTF

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**

Pend. **DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

THOMAS D. JOHNSTON AGENT

Applicant name (print)

[Signature] 8.9.05
Applicant signature / date

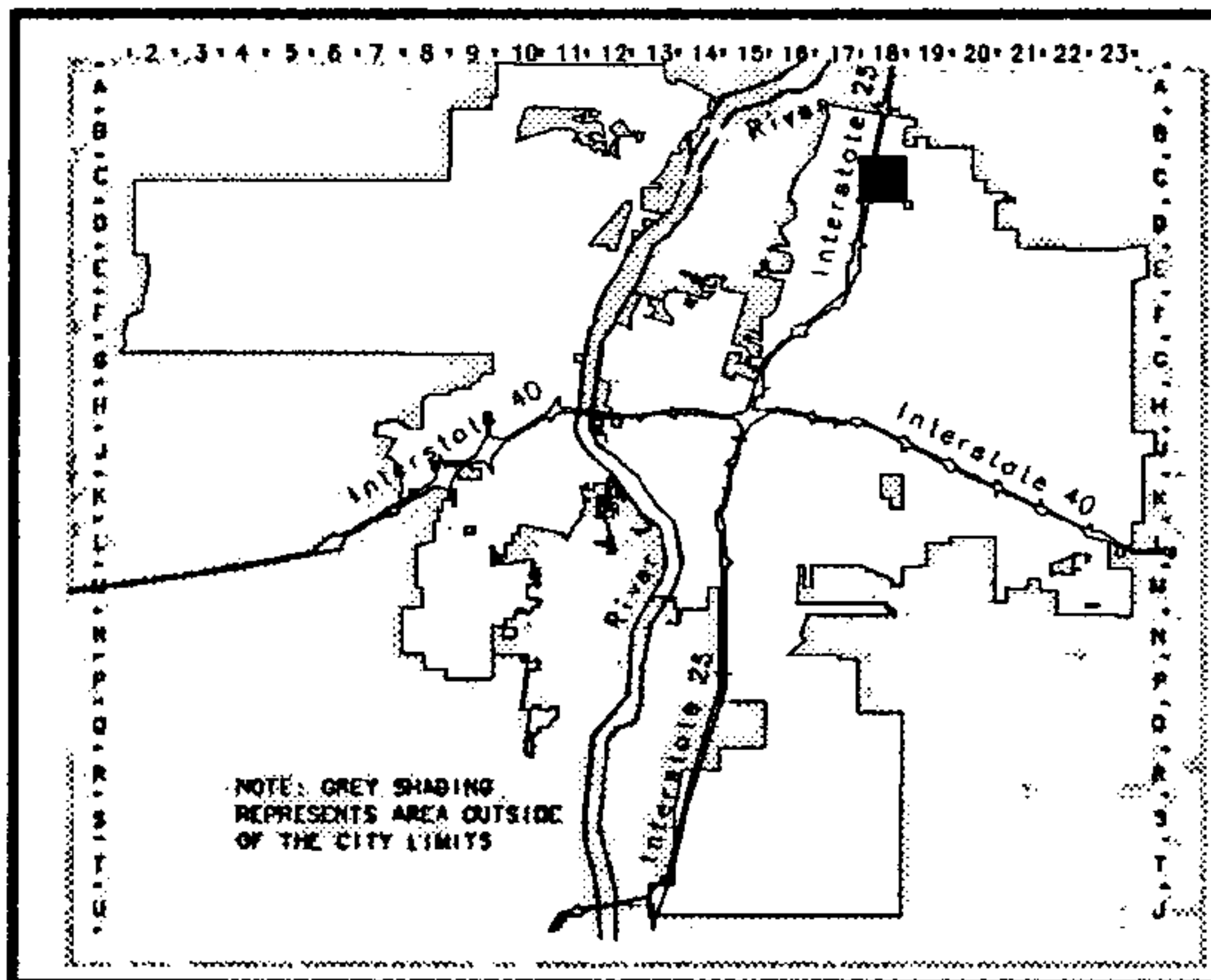
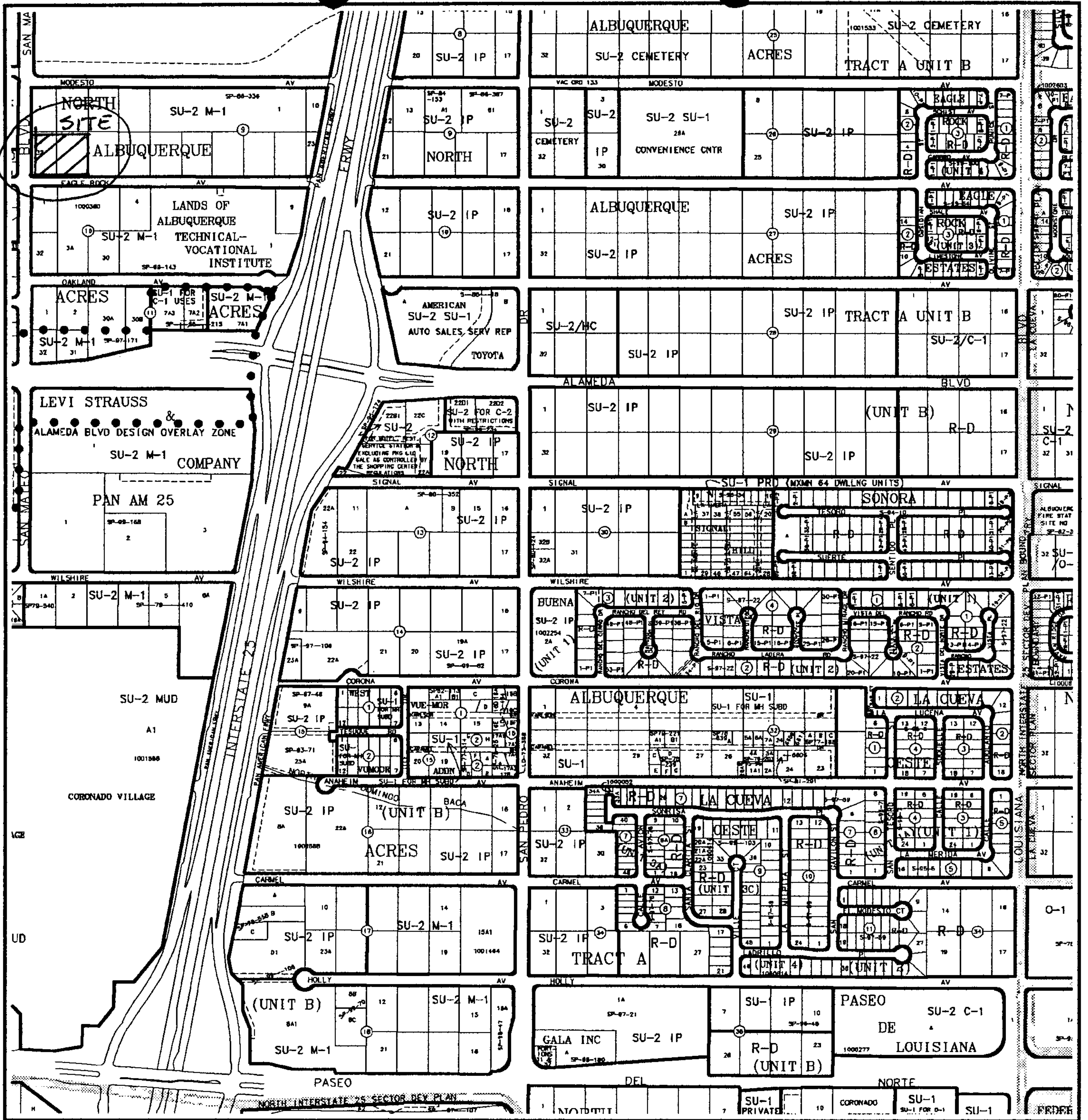


Form revised MARCH 2003

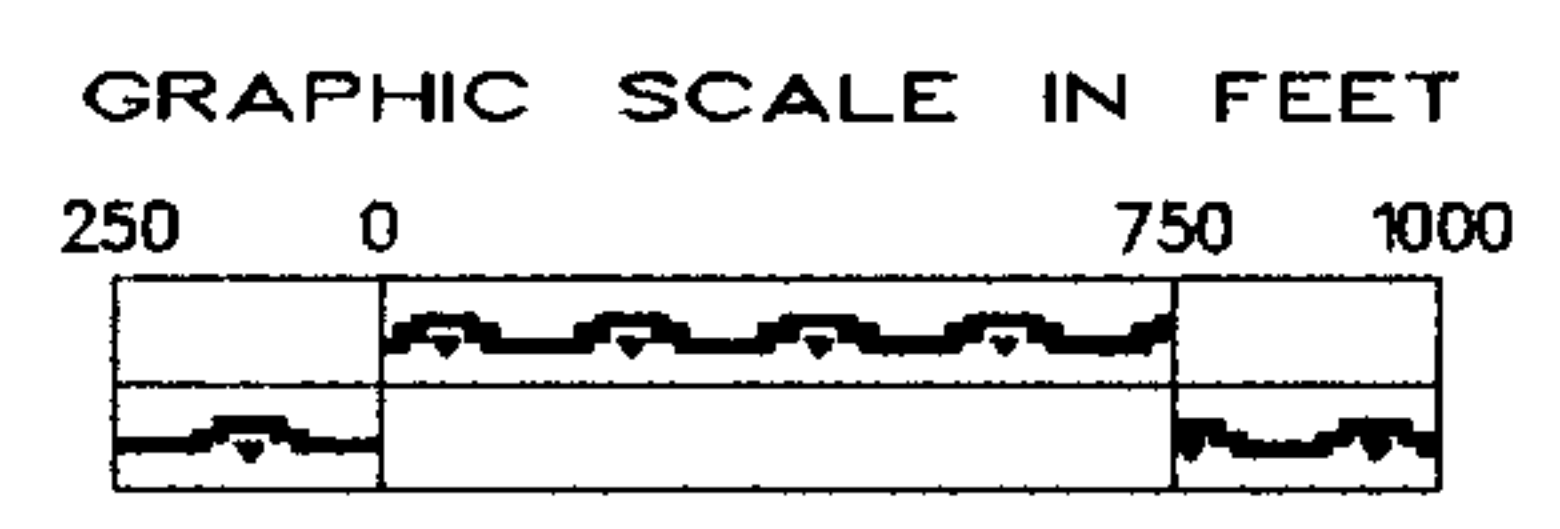
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
05DRB - - 01286

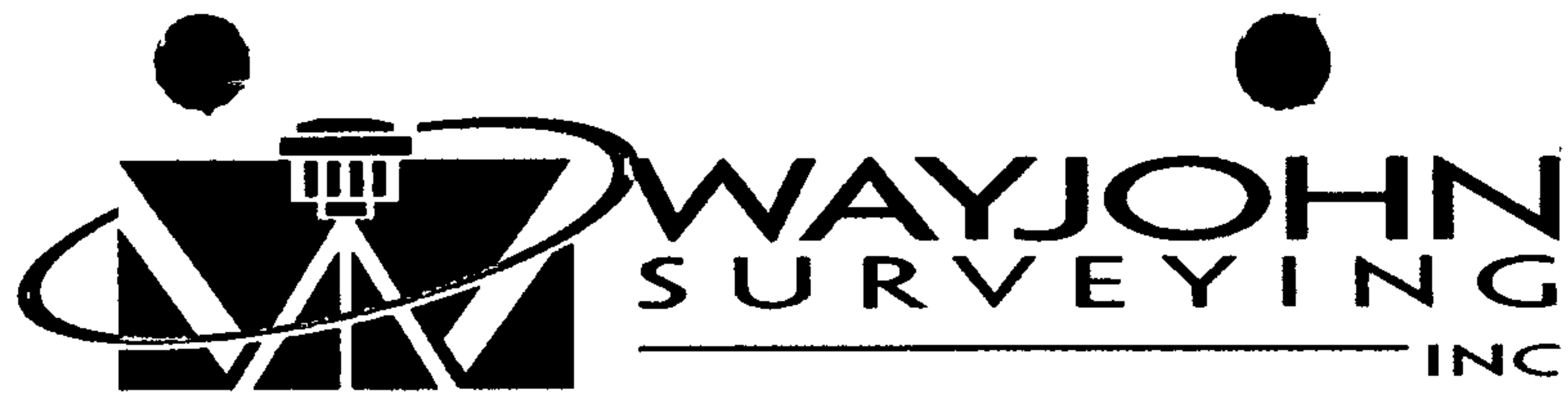
[Signature] 8/9/05
Planner signature / date
Project # 1004300



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
C-18-Z
Map Amended through July 31, 2003



330 Louisiana Blvd., N.E. ♦ Albuquerque, NM 87108 ♦ Phone: (505) 255-2052 ♦ Fax: (505) 255-2887

August 9, 2005

Ms. Sheran Matson
DRB Chair
Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: Plat of Lot 31-A, Block 9, Tract A, Unit B, North Albuquerque Acres

Dear Ms. Matson:

I am submitting a preliminary minor subdivision plat to create one lot from two existing parcels. This parcel is currently vacant. This plat is being submitted in conjunction with a DRB site plan submittal. An infrastructure list for curb, gutter and a six foot sidewalk along the westerly portion of San Mateo Boulevard, NE is also included.

Thank you for your time in considering this matter. If you have any questions, please give me a call at the above number.

Regards,

A handwritten signature in black ink, appearing to read "Thomas D. Johnston".

Thomas D. Johnston, PS, PE
President, Wayjohn Surveying Inc.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Elite Dri-Wall
AGENT Wayjohn Surveying Inc
ADDRESS 330 Louisiana Blvd NE
PROJECT & APP # 1004300/05 DRB 01286
PROJECT NAME _____

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 215.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 235.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

11908

WAYJOHN SURVEYING, INC.
11108 HUME AVE. NE. 505-255-2052
ALBUQUERQUE, NM 87112

DATE 8/9/15 95-32-1070

PAY TO THE ORDER OF CITY OF ALBUQUERQUE \$ 235.00

Two Hundred Thirty Five and no/100 DOLLARS

Bank of America

ACH R/T 107000327

FOR PST SUBMITTAL

MP

⑈011908⑈ ⑆107000327⑆ 00012338637⑈

DUPLICATE
City Of Albuquerque
Treasury Division

3/9/2005 11:49AM LOC: ANIX
RECEIPT# 00044364 LSH 008 TRANS# 0023
Account 441032 Fund 0110
Activity 3424000 TRSKAL
Trans Amt \$235.00
J24 Misc

\$20.00
Thank You

DUPLICATE
City Of Albuquerque
Treasury Division

8/9/2005 11:40AM LOC: ANNX
RECEIPT# 00044365 LSH 008 TRANS# 0023
Account 441006 Fund 0110
Activity 4983000 TRSKAL
Trans Amt \$235.00
J24 Misc

\$215.00
CK \$235.00
CHANGE \$0.00
Thank You

EXISTING STORM DRAIN
CONSTRUCTED BY COA
PROJECT 2455

INSTALL STANDARD TYPE A GRATE (DWG.
2201) AND ROUTE OUTFALL PIPE TO EXISTING
42" PIPE (BY BLDG. PERMIT)

SITE PLAN OF
EXISTING CONDITIONS
1004300

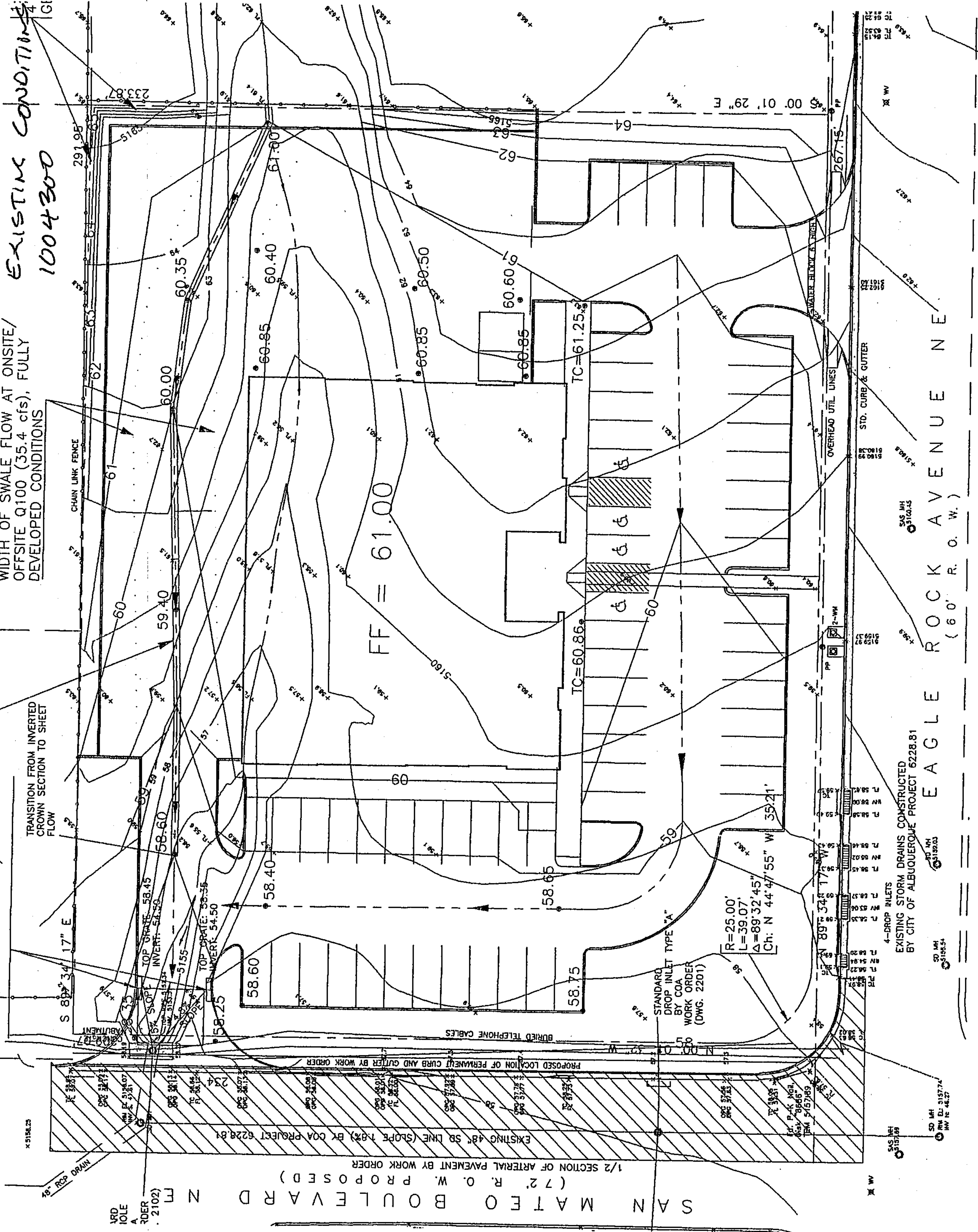
WIDTH OF SWALE FLOW AT ONSITE/
OFFSITE Q100 (35.4 cfs), FULLY
DEVELOPED CONDITIONS

TRANSITION FROM INVERTED
CROWN SECTION TO SHEET
FLOW

ARD
HOLE
ORDER
30R
(2102)
N
L
T

SAN MATEO BOULEVARD
(72' R. O. W. PROPOSED)

1/2 SECTION OF ARTERIAL PAVEMENT BY WORK ORDER
EXISTING 48" SD LINE (SLOPE 1.8%) BY COA PROJECT 6228.81



4-DROP INLETS
EXISTING STORM DRAINS CONSTRUCTED
BY CITY OF ALBUQUERQUE PROJECT 6228.81

EAGLE ROCK AVENUE NE
(60' R. O. W.)

SD MH
REV. 11. 48.27
S145.54

SD MH
REV. 01. 12.03
S142.03

SAS MH
REV. 01. 10.15
S160.35

SAS MH
REV. 01. 10.15
S160.35

SD MH
REV. 01. 12.03
S142.03

SD MH
REV. 01. 12.03
S142.03

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 8/24/05

Date Site Plan Approved: 8/24/05

Date Preliminary Plat Approved: 8/24/05

Date Preliminary Plat Expires: 8/24/06

DRB Project No.: 1000351

DRB Application No.: 25-01303

LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 31 & 32, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			CURB AND GUTTER	SAN MATEO	EAGLE ROCK	N. PROP. LINE	1	1	1
		6'	SIDEWALK	SAN MATEO	EAGLE ROCK	N. PROP LINE	1	1	1
		24'	PAVEMENT (COLLECTOR)	E. SIDE SAN MATEO	EAGLE ROCK	N. PROP LINE	1	1	1
		6'	SIDEWALK	EAGLE ROCK	E. PROP LINE	SAN MATEO	1	1	1
		48"	STORM DRAIN	SAN MATEO	N. PROP. LINE (EXISTING STORM DRAIN)	EAGLE ROCK SUMP LOCATION	1	1	1
							1	1	1
							1	1	1
							1	1	1
							1	1	1

Sep 16 02 04:28p

LAND RESOURCES

9243862

P.5

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnsl Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- THE REMEDIATION MEASURES FOR LANDFILL GAS ABATEMENT OUTLINED IN THE "STATE LANDFILL GAS ABATEMENT REPORT" ARE INCLUDED AS REQUIRED INFRASTRUCTURE ITEMS.
- CORONADO LANDFILL
-

AGENT/OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

THOMAS D. JOHNSTON (AGENT)
NAME (print)

[Signature] 8/24/05
DRB CHAIR - date

Christina Sandora 8/24/05
PARKS & GENERAL SERVICES - date

WAYJOWN SURVEYS Inc.
FIRM

[Signature] 8-24-05
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 8-24-05
SIGNATURE - date

[Signature] 8/24/05
UTILITY DEVELOPMENT - date

_____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

[Signature] 8-24-05
CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER