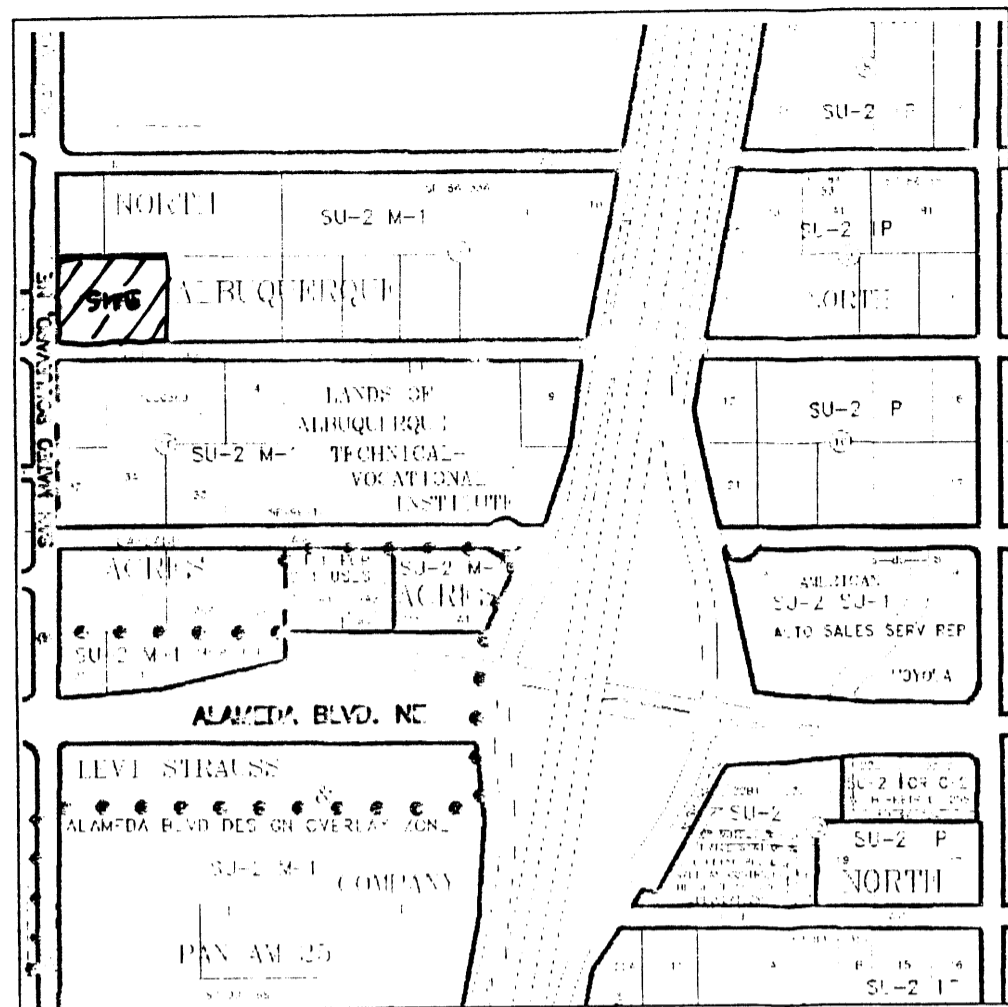


VICINITY MAP (C-18) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

PLAT OF LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

DESCRIPTION:

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, folio 130.

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1004300 SUBDIVISION CASE NO. 05DRB-01286
[Signature] 8-9-05
 City Surveyor, City of Albuquerque Date

Traffic Engineering, Transportation Division Date

Water Utility Department Date

Parks and Recreation Department Date

A.M.A.F.C.A. Date

City Engineer Date

DRB Chairperson, Planning Department Date

Environmental Health Date

[Signature] 7-10-06
 Date

[Signature] 5-18-06
 Date

[Signature] 5-18-06
 Date

[Signature] 5-18-06
 Date

[Signature] 5-18-06
 Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 8.9.05
 Thomas D. Johnston, N.M.P.S. No. 14269

SUBDIVISION DATA

1. DRB Proj. No. 1004300
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 M1
4. Gross acreage 1.9986
5. Existing number of parcels 2
 Replatted number of lots 1

LOG NO. 2005104333

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribe. plat.
4. This plat shows all easements of record. (there are no easements of record)
5. No easements have been granted by this plat.
6. Right-of-way is dedicated to the City of Albuquerque in fee simple by this plat as dimensioned and annotated hereon.
7. Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat as dimensioned and annotated hereon.
8. This survey is based on descriptions contained in the following documents:
 Plat of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936 in Volume D, folio 130.

FREE CONSENT

The platting of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres as shown and designated on the plat of said Addition, dedication of right of way in fee simple to the City of Albuquerque and dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

[Signature]
 Robert Navarrette

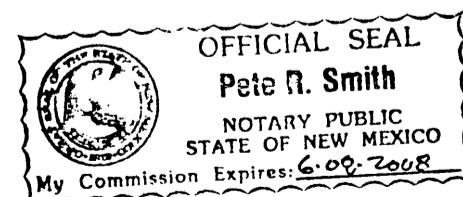
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires 6-08-2008

[Signature]
 Notary Public



	Date WAYJOHN SURVEYING INC		
	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE

PLAT OF LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

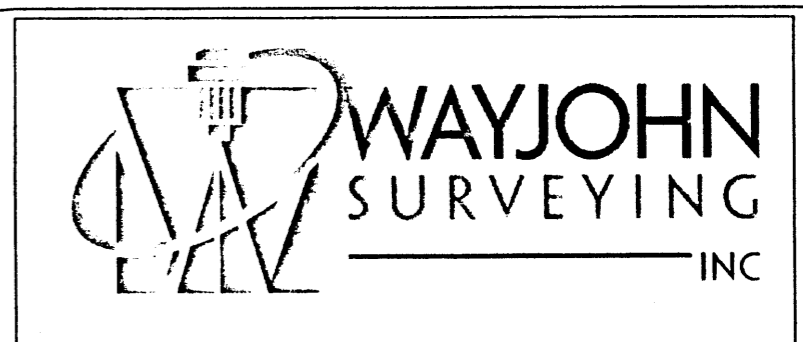
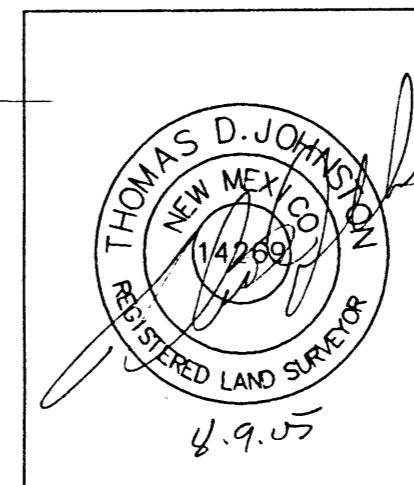
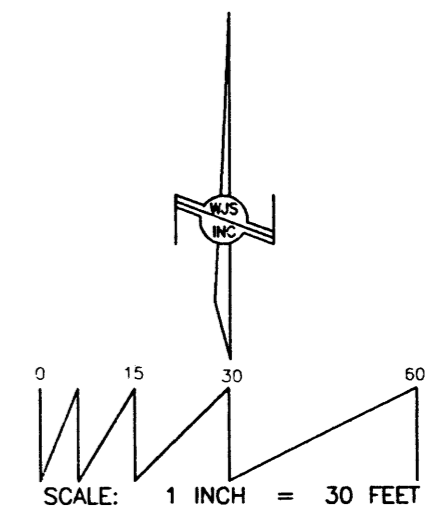
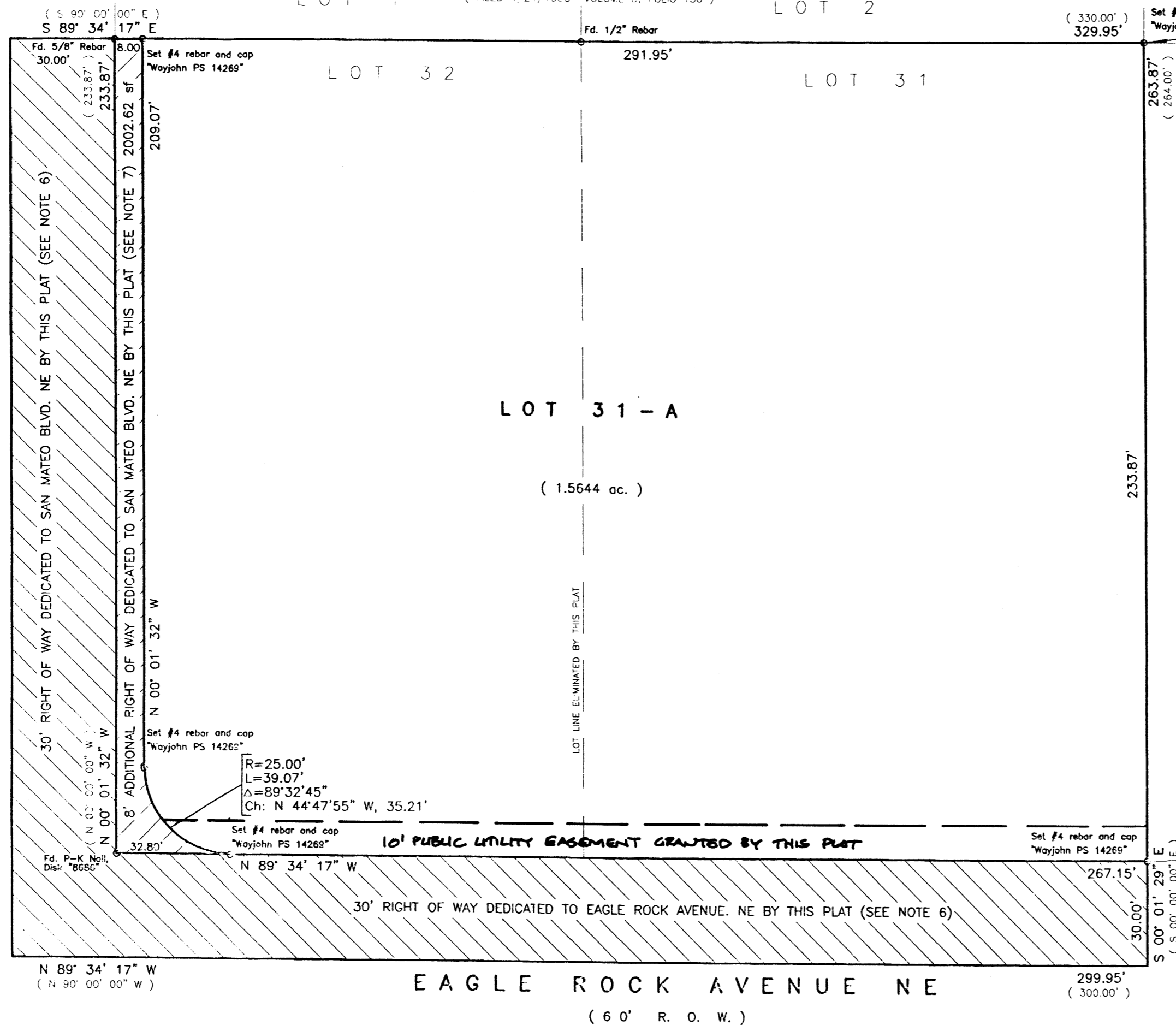
AUGUST 2005

COUNTY CLERK RECORDING LABEL HERE

BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

LOT 1 (FILED 4/24/1936 VOLUME D, FOLIO 130) LOT 2

SAN MATEO BOULEVARD NE
(64' R.O.W. EXISTING)
(72' R.O.W. PROPOSED)



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK
NAVARRETTE
LOCATION: SEC. 13
T.11 N., R.3 E., N.M.P.M.
TRACT A, UNIT B, N. ALBUQUERQUE ACRES

DRAWN: E W K
CHECKED: T D J
DRAWING NO.
SP80105.DWG

SCALE:
1" = 30'
05 AUG 2005

FILE NO.
SP-8-01-2005
SHEET 2 OF 2

DOCH 2010034715

04/23/2010 01:22 PM Page: 2 of 2
PLAT R: \$12.00 B: 2010C P: 0049 M. Tulous Oliveira, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

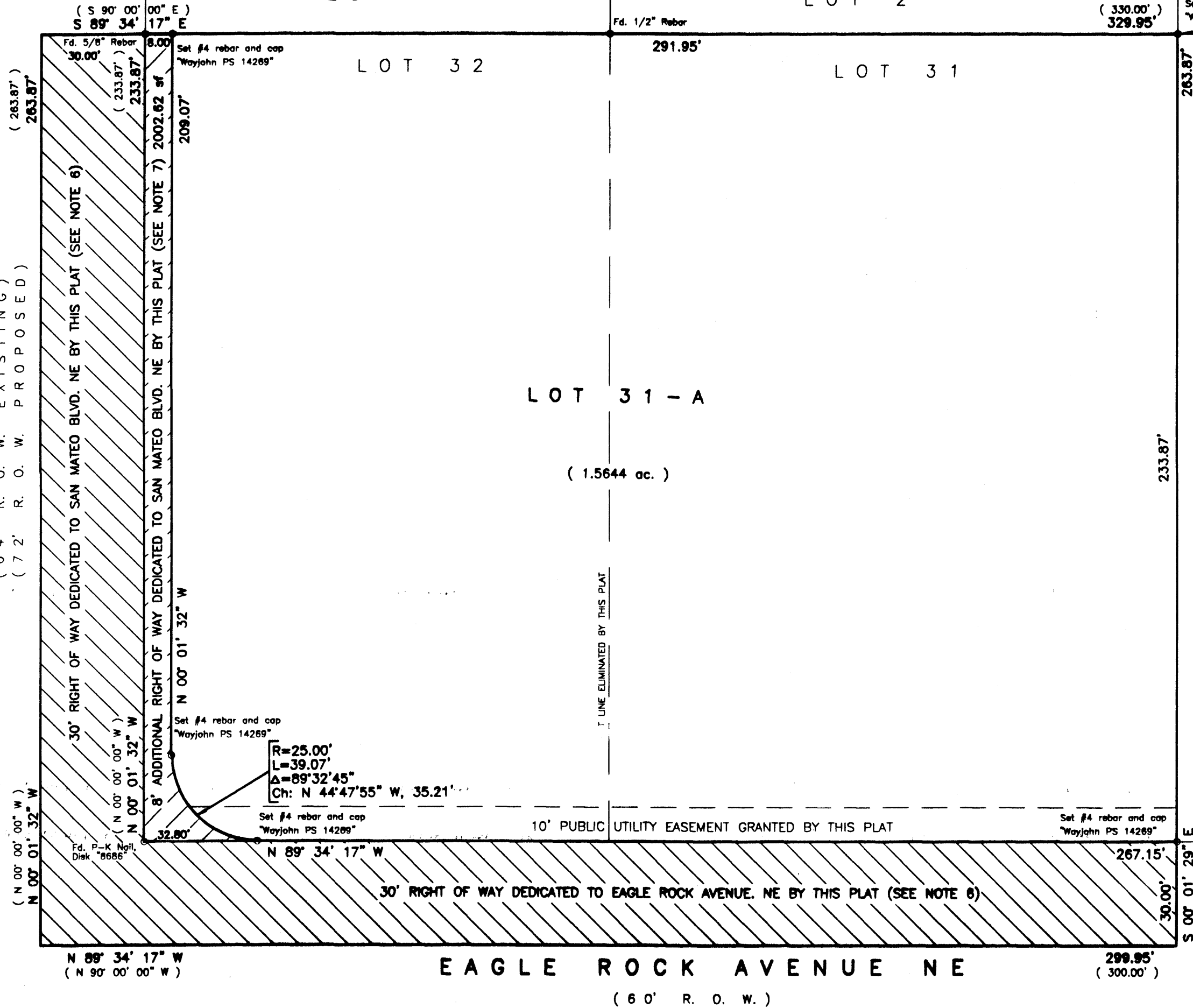
PLAT OF LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

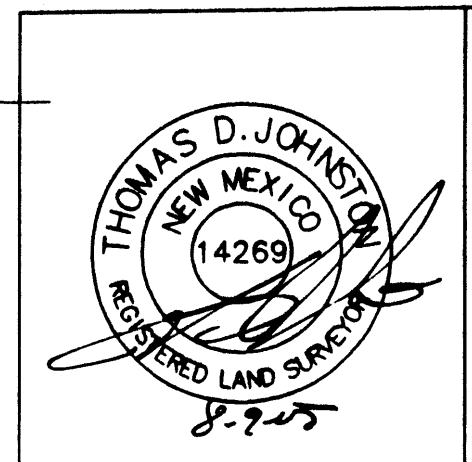
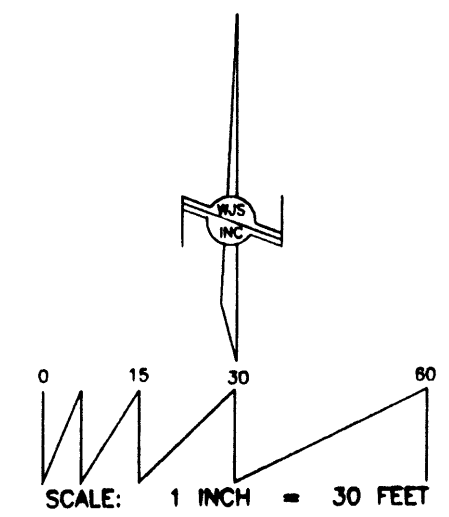
BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
LOT 1 (FILED 4/24/1936 VOLUME D, FOLIO 130) LOT 2

SAN MATEO BOULEVARD NE
(64' R.O.W. EXISTING)
(72' R.O.W. PROPOSED)



LOT 30, BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
(FILED 4/24/1936, VOLUME D, FOLIO 130)

ACS MONUMENT "10-C18"
x = 402,318.46
y = 1,224,081.42
Ground to grid:
0.9999813
Datum: Alaska - 00'11"18"
NAD 1927

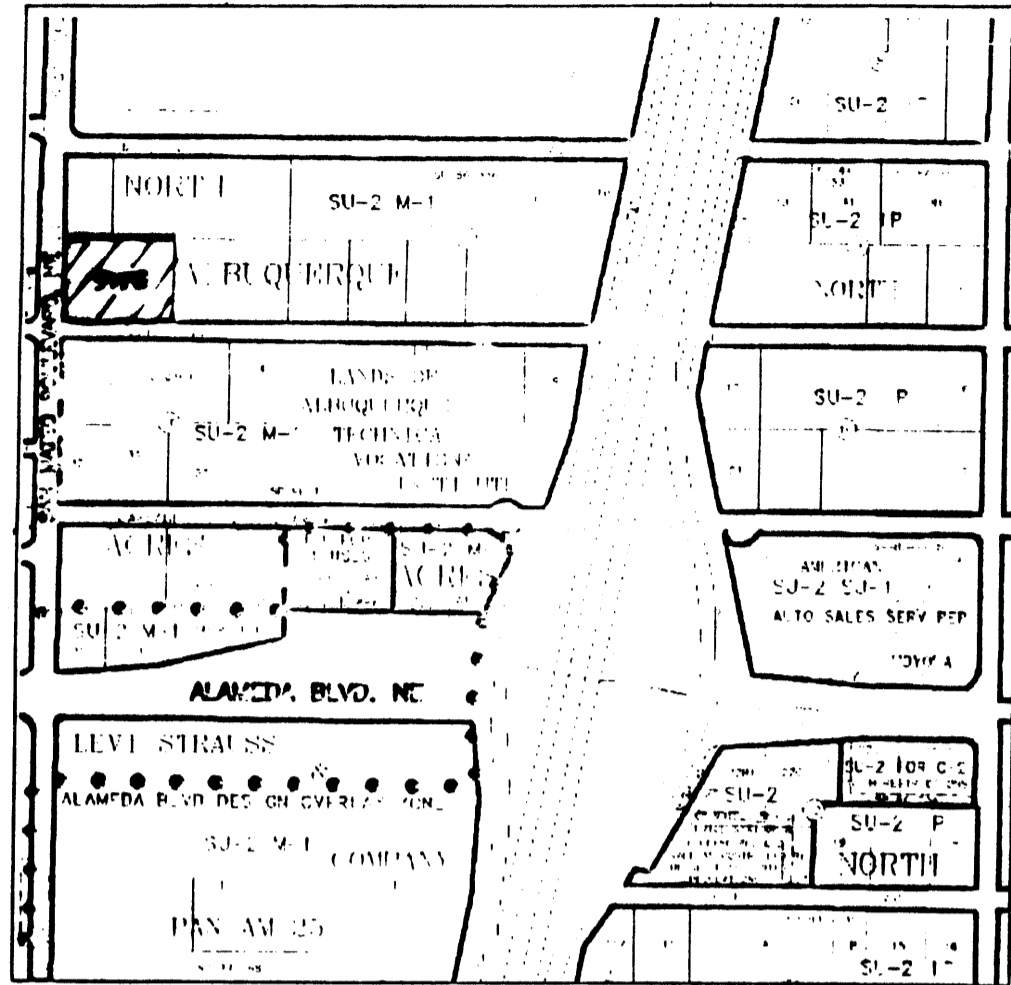


WAYJOHN SURVEYING INC

330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K	SCALE: 1" = 30'	FILE NO. SP-8-01-2005
	CHECKED: T D J	DRAWING NO. SP80105.DWG	05 AUG 2005 SHEET 2 OF 2

VICINITY MAP (C-18) NO SCALE



DOCH 2010034715
04/23/2010 01:22 PM Page: 1 of 2
CityPLAT R: \$12.00 B: 2010C P: 0049 M: Toulous Olivero, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION:

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, folio 130.

PLAT OF
LOT 31-A, BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1004300 SUBDIVISION CASE NO. OSDAB-01286

GBH 10-30-09

[Signature] 8-9-05
City Surveyor, City of Albuquerque Date

[Signature] 10-28-09
Traffic Engineering, Transportation Division Date

[Signature] 10-28-09
Water Utility Department Date

[Signature] 10/28/09
Parks and Recreation Department Date

[Signature] 10/23/09
A.M.A.F.C.A. Date

[Signature] 10/29/09
City Engineer Date

[Signature] 11-10-09
Chairperson, Planning Department Date

[Signature] 11-6-09
Environmental Health Date

[Signature] 7-10-06
PNM Electric Services Date

[Signature] 5-18-06
PNM Gas Services Date

[Signature] 5-18-06
Date

SUBDIVISION DATA

- DRB Proj. No. 1004300
- Zone Atlas Index No. C-18
- Current Zoning SU-2 M1
- Gross acreage 1.9986
- Existing number of parcels 2
Replatted number of lots 1

LOG NO. 2005104333

NOTES

- Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
- Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
- Monuments recovered and accepted or reset are noted on inscribe plat.
- This plat shows all easements of record. (there are no easements of record)
- No easements have been granted by this plat.
- Right-of-way is dedicated to the City of Albuquerque in fee simple by this plat as dimensioned and annotated hereon.
- Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat as dimensioned and annotated hereon.
- This survey is based on descriptions contained in the following documents:
Plat of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936 in Volume D, folio 130.
- No property within the area of requested plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.
- The subject property is located near a former landfill. Due to the subject property being near a former landfill, certain precautionary measures may need to be taken to ensure health and safety of the public. Recommendation made by a professional engineer with expertise in landfills and landfill gas issues (as required by the most current version of the Interim Guidelines for Development within City Designated Landfill Buffer Zones) shall be consulted prior to development of the site.

FREE CONSENT

The platting of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres as shown and designated on the plat of said Addition, dedication of right of way in fee simple to the City of Albuquerque and dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

[Signature]

Robert Navarrette, OWNER

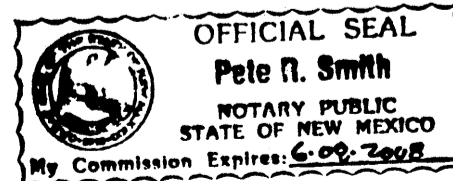
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires 6-08-2008

[Signature]
Notary Public



SURVEYOR'S CERTIFICATE
I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 11-05-09 8.9.05
Thomas D. Johnston, N.M.P.S. No. 14269

PURPOSE OF PLAT
This plat has been prepared for the purposes of Replatting two parcels into one lot and dedicating additional right-of-way to the City of Albuquerque.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 101806401049020901
101806424449020902

PROPERTY OWNER OF RECORD:
ELITE INTEREST LLC

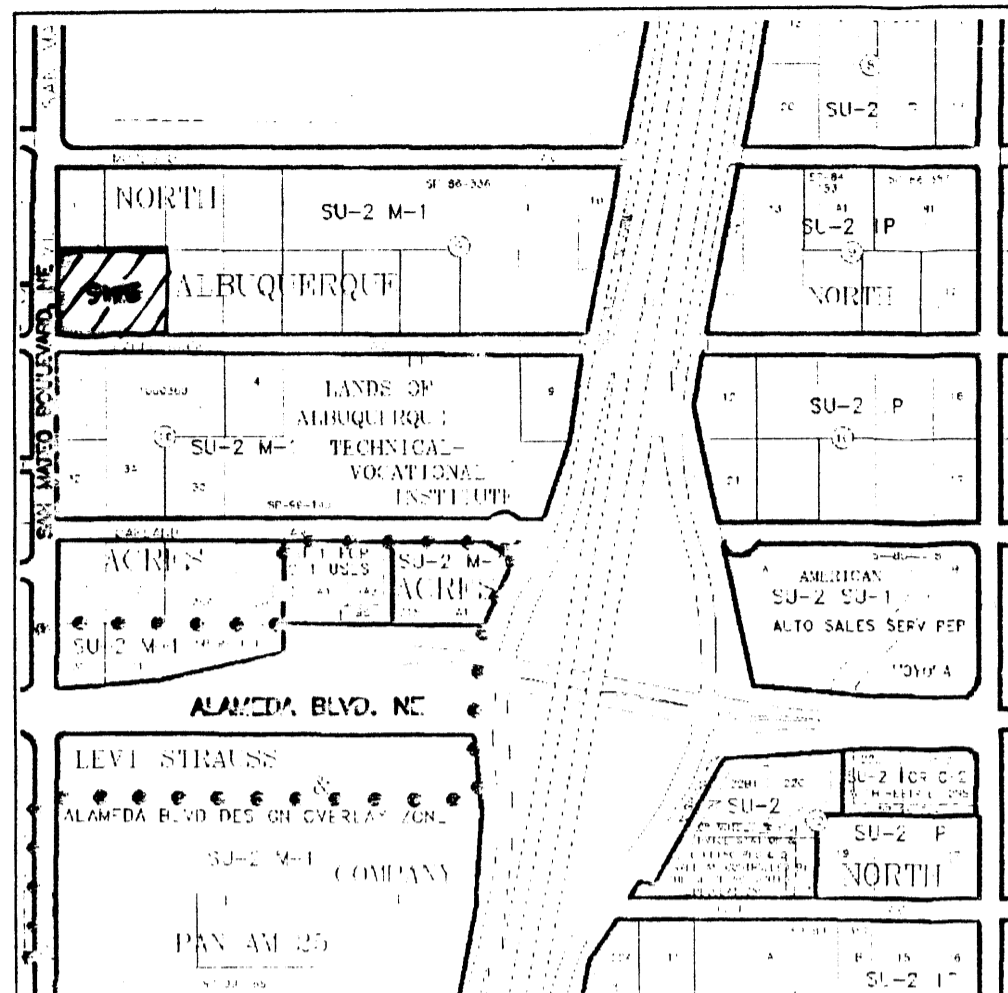
BERNALILLO COUNTY TREASURER'S OFFICE
[Signature] 4-23-2010

THOMAS D. JOHNSTON
NEW MEXICO
REGISTERED LAND SURVEYOR
14269

WayJOHN SURVEYING INC
330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2
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VICINITY MAP (C-18) NO SCALE



SUBDIVISION DATA

1. DRB Proj. No. 1004300
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 M1
4. Gross acreage 1.9986
5. Existing number of parcels 2
Replatted number of lots 1

LOG NO. 2005104333

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
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4. This plat shows all easements of record. (there are no easements of record)
5. No easements have been granted by this plat.
6. Right-of-way is dedicated to the City of Albuquerque in fee simple by this plat as dimensioned and annotated hereon.
7. Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat as dimensioned and annotated hereon.
8. This survey is based on descriptions contained in the following documents:
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This plat has been prepared for the purposes of Replatting two parcels into one lot and dedicating additional right-of-way to the City of Albuquerque.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE

COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION:

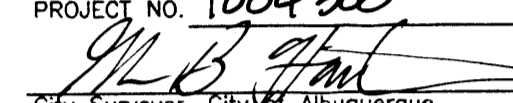
Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, folio 130.

**PLAT OF
LOT 31-A, BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES**

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1004300 SUBDIVISION CASE NO. OSDAB-01286
 8-9-05
 City Surveyor, City of Albuquerque Date

Traffic Engineering, Transportation Division Date

Water Utility Department Date

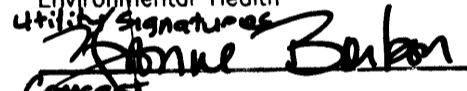
Parks and Recreation Department Date

A.M.A.F.C.A. Date

City Engineer Date

DRB Chairperson, Planning Department Date

Environmental Health Date

Utility Signatures
 7-10-06
 Date

Lead G. Marks 5-18-06
 PNM Electric Services Date

Lead G. Marks 5-18-06
 PNM Gas Services Date

 5-18-06
 SURVEYOR'S CERTIFICATE Date

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

 8-9-05
 Thomas D. Johnston, N.M.P.S. No. 14269

FREE CONSENT

The platting of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres as shown and designated on the plat of said Addition, dedication of right of way in fee simple to the City of Albuquerque and dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

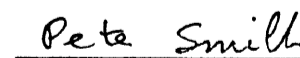
Robert Navarrette

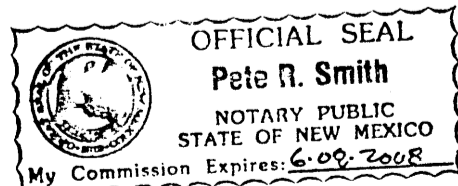
ACKNOWLEDGMENT


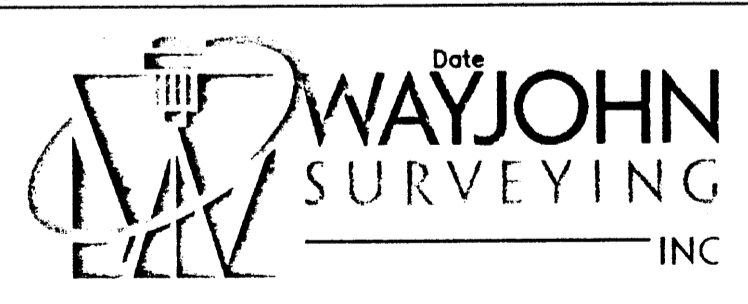
STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires 6-08-2008


 Notary Public



			
	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2

PLAT OF
 LOT 31-A, BLOCK 9, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
 SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

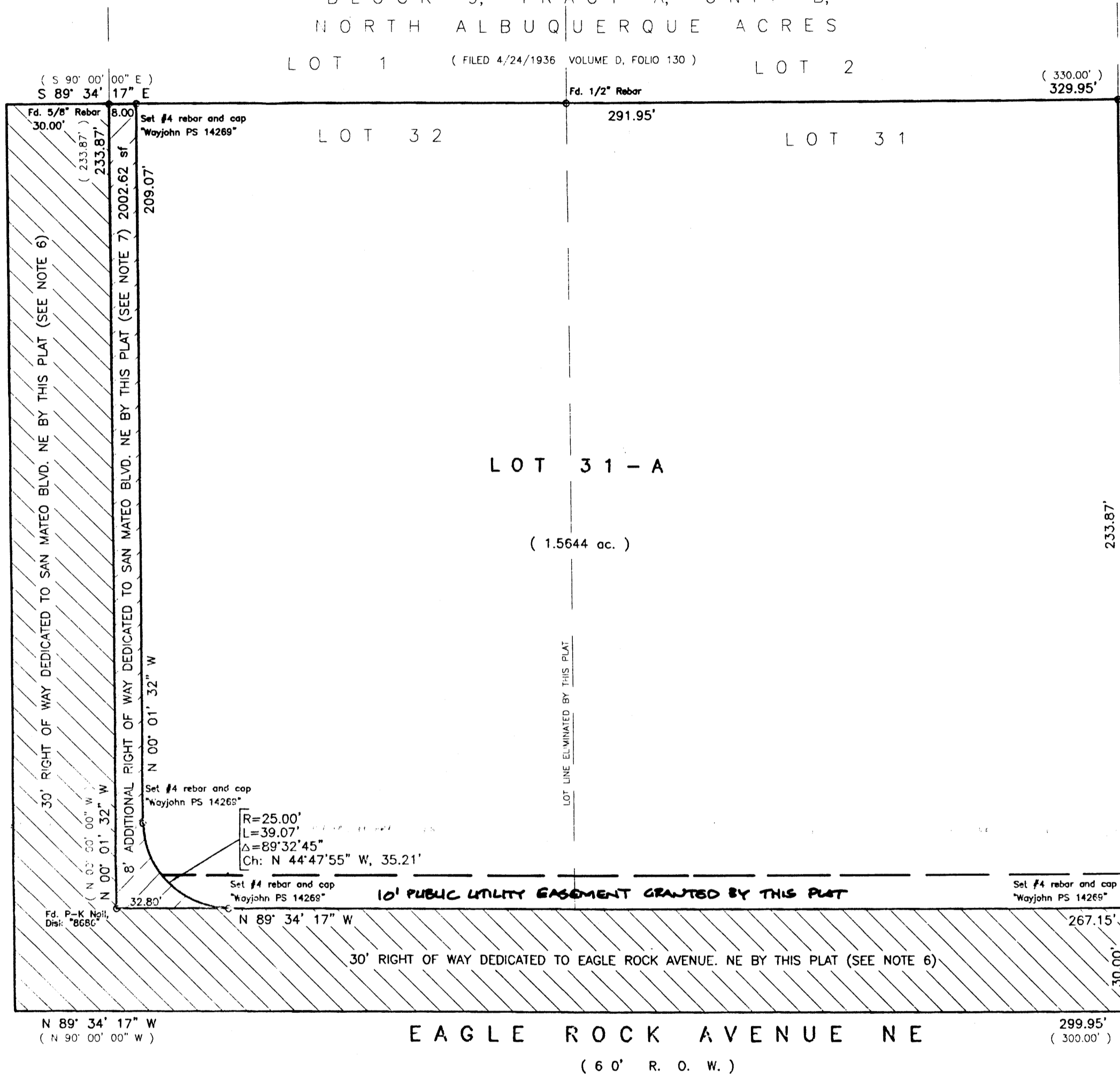
COUNTY CLERK RECORDING LABEL HERE

BLOCK 9, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES

LOT 1 (FILED 4/24/1936 VOLUME D, FOLIO 130) LOT 2

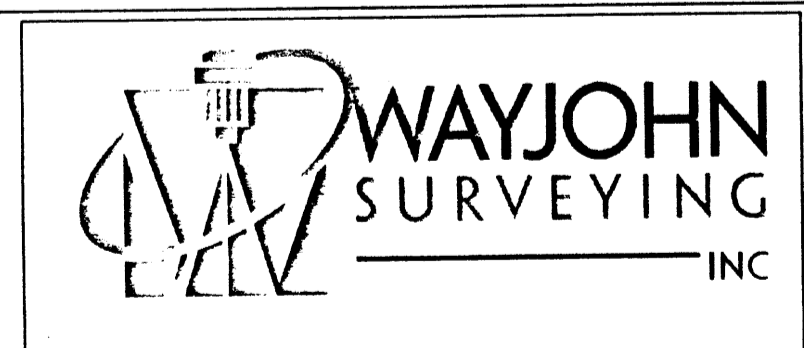
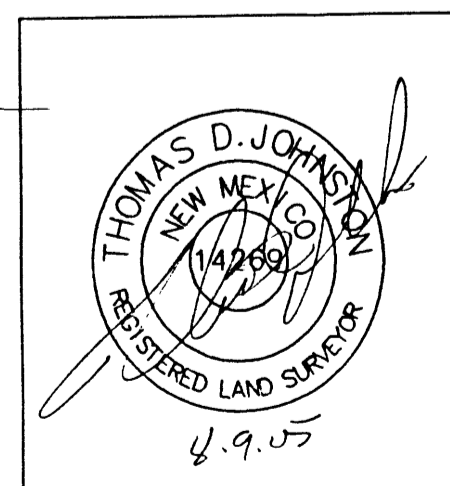
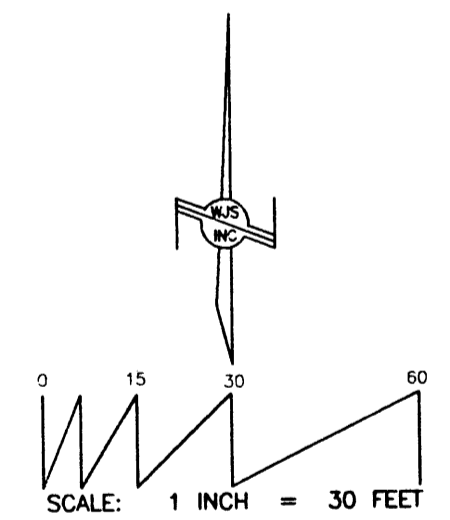
SAN MATEO BOULEVARD NE

(64' R.O.W. EXISTING)
 (72' R.O.W. PROPOSED)



ACS MONUMENT "10-C18"
 x = 402,319.45
 y = 1,524,061.42
 Ground-to-grid:
 0.9996613
 Delta Alpha: -00°11'18"
 NAD 1927

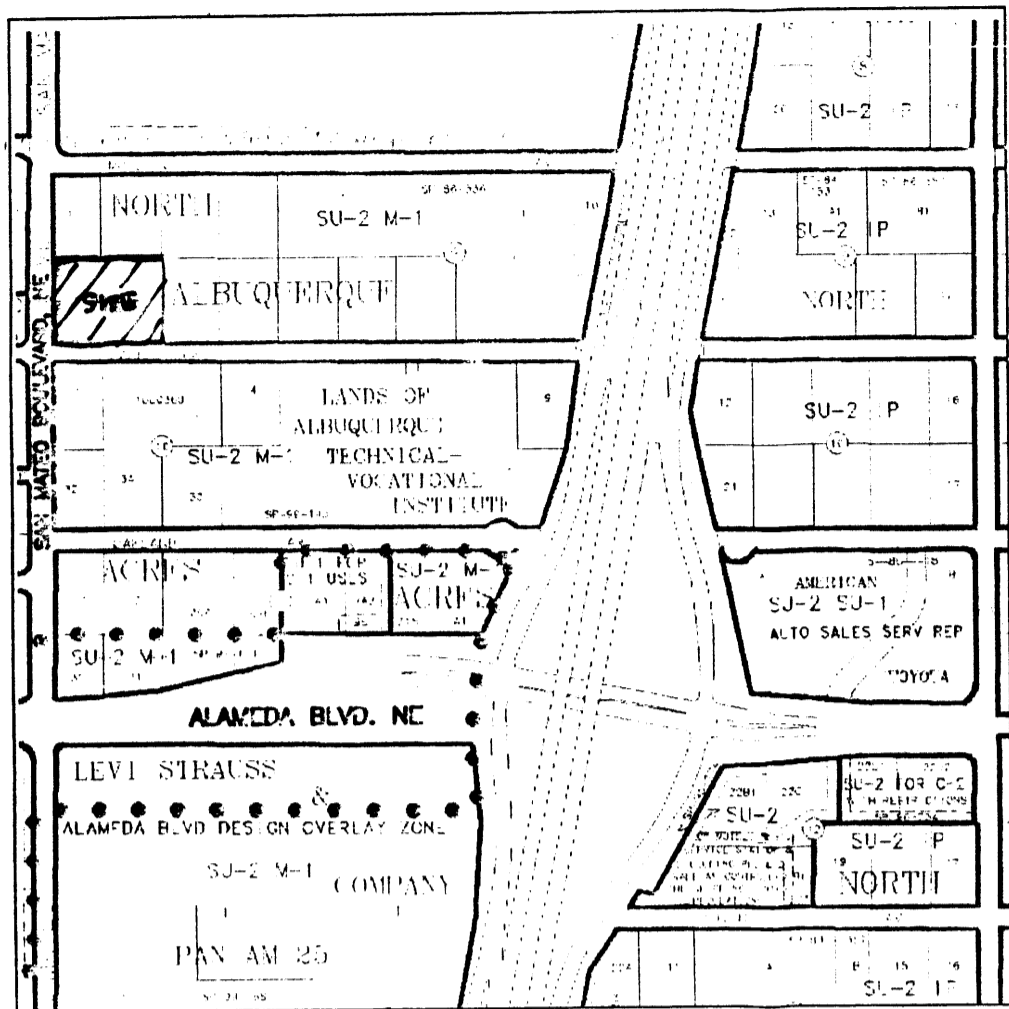
(FILED 4/24/1936, VOLUME D, FOLIO 130)



330 LOUISIANA BLVD., N.E.
 ALBUQUERQUE, N.M. 87108
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K	SCALE:	FILE NO.
	CHECKED: T D J	1" = 30'	SP-8-01-2005
	DRAWING NO. SP80105.DWG	05 AUG 2005	SHEET 2 OF 2

VICINITY MAP (C-18) NO SCALE



COUNTY CLERK RECORDING LABEL HERE

DESCRIPTION:

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Volume D, folio 130.

PLAT OF
LOT 31-A, BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

AUGUST 2005

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. 1004300 SUBDIVISION CASE NO. OSDRB-01286
[Signature] 8-9-05
City Surveyor, City of Albuquerque Date

Traffic Engineering, Transportation Division Date

Water Utility Department Date

Parks and Recreation Department Date

A.M.A.F.C.A. Date

City Engineer Date

DRB Chairperson, Planning Department Date

Environmental Health Date

Utility Signatures [Signature] 7-10-06
Date

[Signature] 5-18-06
Date

PNM Electric Services [Signature] 5-18-06
Date

PNM Gas Services [Signature] 5-18-06
Date

[Signature] 5-18-06
Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 8.9.05
Thomas D. Johnston, N.M.P.S. No. 14269

SUBDIVISION DATA

1. DRB Proj. No. 1004300
2. Zone Atlas Index No. C-18
3. Current Zoning SU-2 M1
4. Gross acreage 1.9986
5. Existing number of parcels 2
Replatted number of lots 1

LOG NO. 2005104333

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
2. Perimeter distances are field measurements made on the ground and agree with deed records except as noted.
3. Monuments recovered and accepted or reset are noted on inscribe. plat.
4. This plat shows all easements of record. (there are no easements of record)
5. No easements have been granted by this plat.
6. Right-of-way is dedicated to the City of Albuquerque in fee simple by this plat as dimensioned and annotated hereon.
7. Additional right-of-way is dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat as dimensioned and annotated hereon.
8. This survey is based on descriptions contained in the following documents:
Plat of Tract A, Unit B, NORTH ALBUQUERQUE ACRES, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936 in Volume D, folio 130.

PURPOSE OF PLAT

This plat has been prepared for the purposes of Replatting two parcels into one lot and dedicating additional right-of-way to the City of Albuquerque.

FREE CONSENT

The platting of Lots 31 and 32, Block 9, Tract A, Unit B, North Albuquerque Acres as shown and designated on the plat of said Addition, dedication of right of way in fee simple to the City of Albuquerque and dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

[Signature]
Robert Navarrette

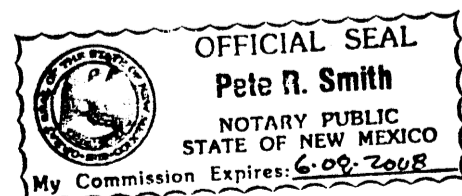
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires 6-08-2008

Pete Smith
Notary Public



	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2

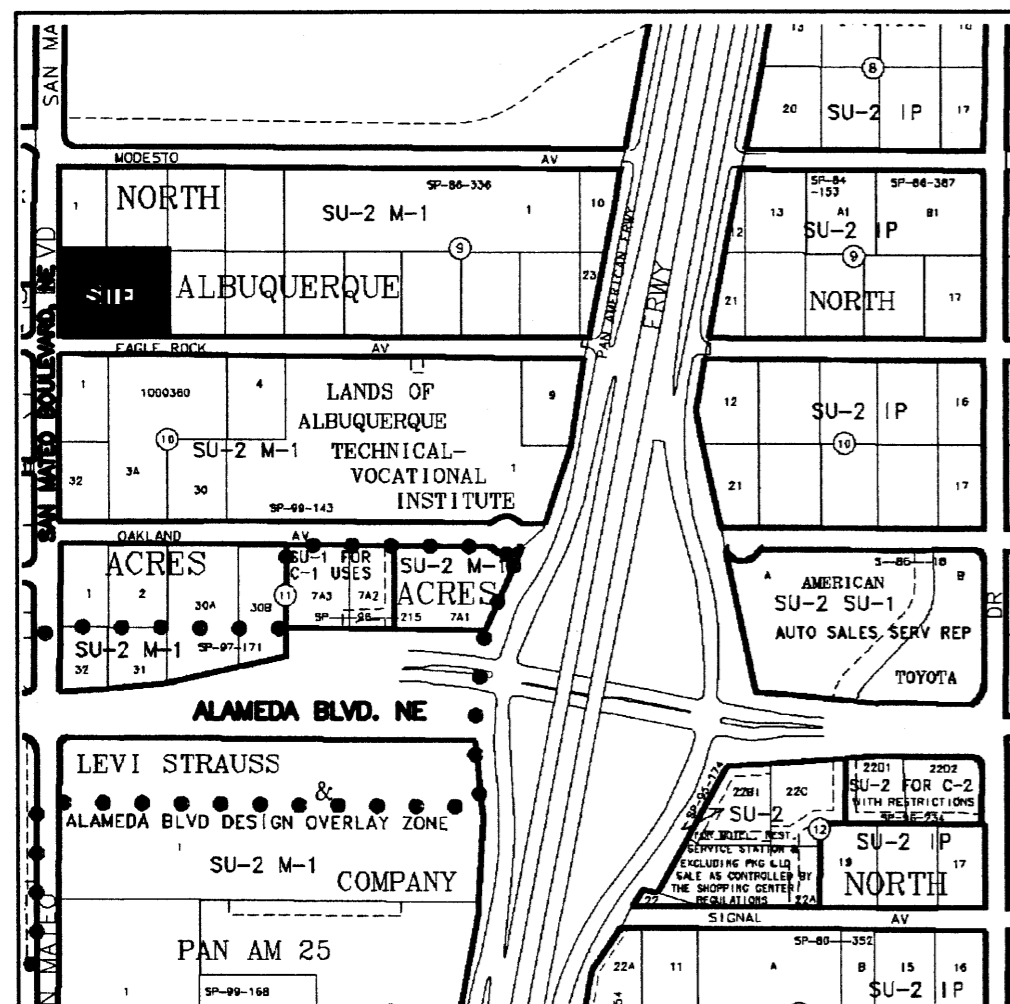
FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE

VICINITY MAP (C-18) NO SCALE



PLAT OF
**LOT 31-A, BLOCK 9, TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES**

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
 TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
 SECTION 13, T.11N., R.3E., N.M.P.M.

COUNTY CLERK RECORDING LABEL HERE

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AUGUST 2005 **PRELIMINARY PLAT**
APPROVED BY DRB

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance: **ON**

PROJECT NO. _____ SUBDIVISION CASE NO. _____
 City Surveyor, City of Albuquerque *[Signature]* 8/9/05
 Date

- Traffic Engineering, Transportation Division _____ Date _____
- Water Utility Department _____ Date _____
- Parks and Recreation Department _____ Date _____
- A.M.A.F.C.A. _____ Date _____
- City Engineer _____ Date _____
- DRB Chairperson, Planning Department _____ Date _____
- Environmental Health _____ Date _____

SUBDIVISION DATA

1. DRB Proj. No.
 2. Zone Atlas Index No. C-18
 3. Current Zoning SU-2 M1
 4. Gross acreage 1.9986
 5. Existing number of parcels 2
 Replatted number of lots 1
- LOG NO. 2005104333

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 1927. Record bearings are shown in parentheses ().
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[Signature]
 Robert Navarrette

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) ss

On this 9th day of August, 2005, the foregoing instrument was acknowledged before me by Robert Navarrette.

My Commission expires 6.08.2008
Pete Smith
 Notary Public

SURVEYOR'S CERTIFICATE

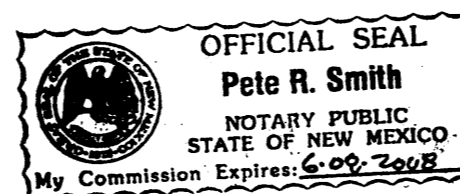
I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

[Signature] 8.9.05
 Thomas D. Johnston, N.M.P.S. No. 14269

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____

 PROPERTY OWNER OF RECORD:

 BERNALILLO COUNTY TREASURER'S OFFICE



	330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: (505) 255-2052 FAX: (505) 255-2887		
INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80105.DWG	SCALE: 1" = 30' 05 AUG 2005	FILE NO. SP-8-01-2005 SHEET 1 OF 2

PLAT OF LOT 31-A, BLOCK 9, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES

A REPLAT OF LOTS 31 AND 32, BLOCK 9,
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WITHIN THE ELENA GALLEGOS GRANT, NW 1/4, PROJECTED
SECTION 13, T.11N., R.3E., N.M.P.M.

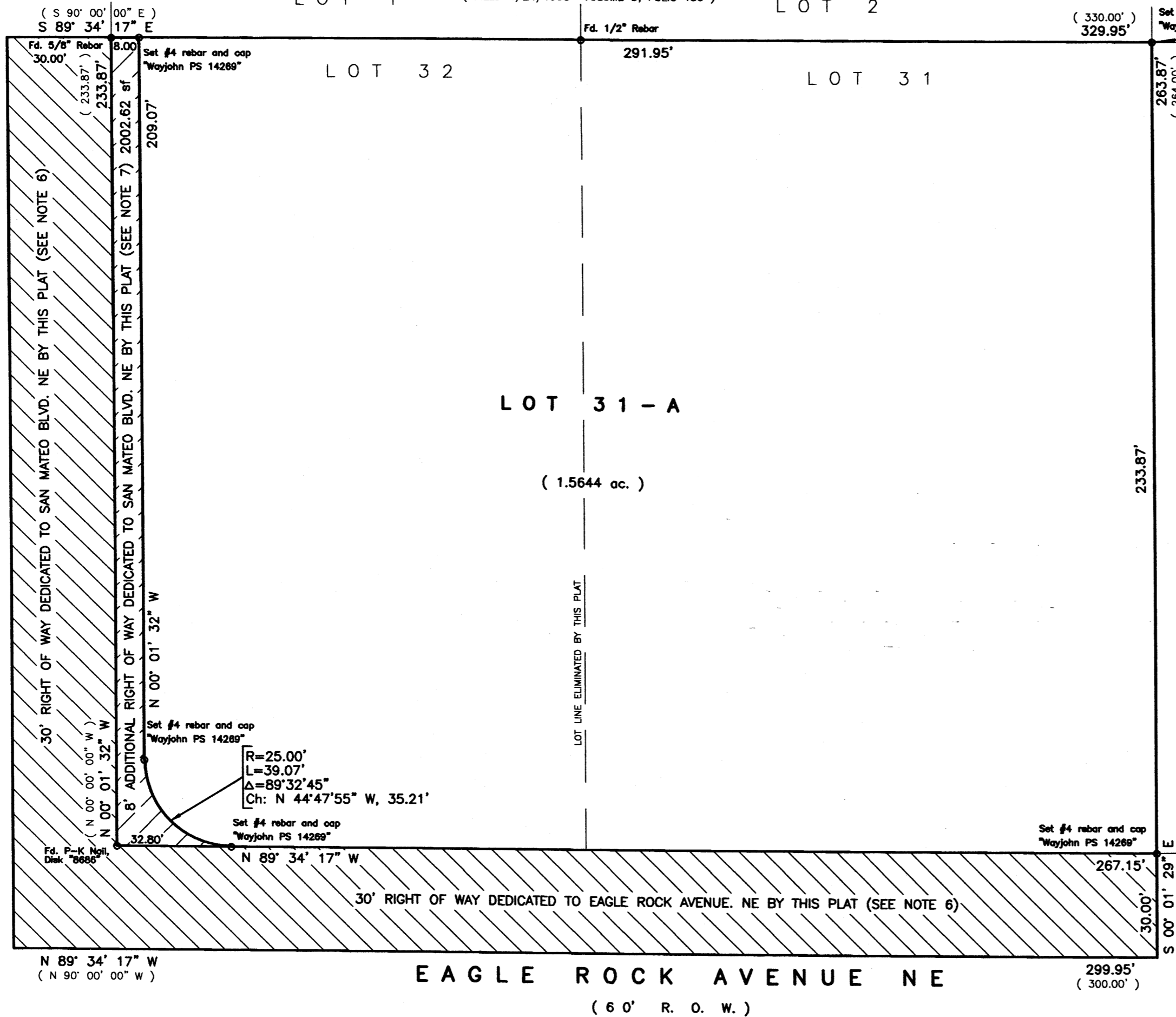
AUGUST 2005

COUNTY CLERK RECORDING LABEL HERE

BLOCK 9, TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES

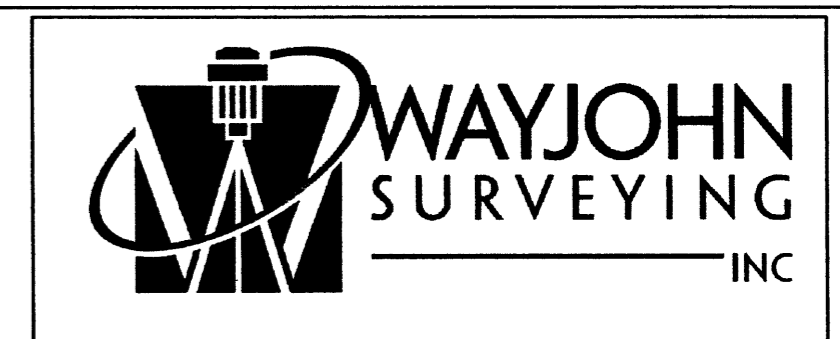
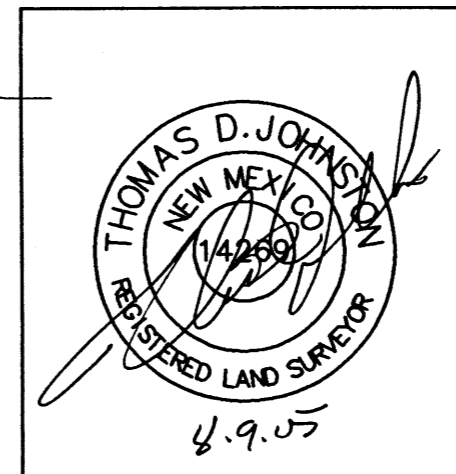
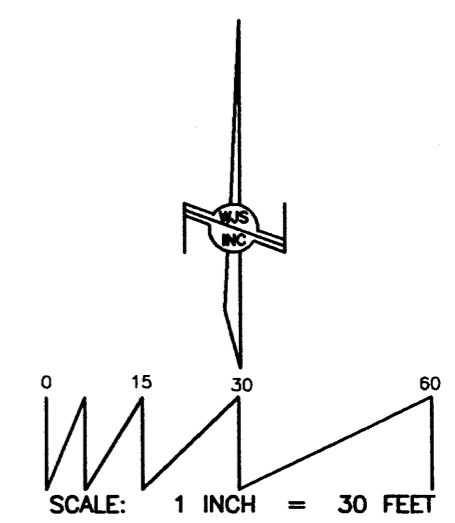
LOT 1 (FILED 4/24/1936 VOLUME D, FOLIO 130) LOT 2

SAN MATEO BOULEVARD NE
(64' R. O. W. EXISTING)
(72' R. O. W. PROPOSED)



ACS MONUMENT "10-C18"
x = 402,319.45
y = 1,524,061.42
Ground-to-grid:
0.9996613
Delta Alpha: -00°11'18"
NAD 1927

(FILED 4/24/1936, VOLUME D, FOLIO 130)



330 LOUISIANA BLVD., N.E.
ALBUQUERQUE, N.M. 87108
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK NAVARRETTE LOCATION: SEC. 13 T.11 N., R.3 E., N.M.P.M. TRACT A, UNIT B, N. ALBUQUERQUE ACRES	DRAWN: E W K	SCALE: 1" = 30'	FILE NO. SP-8-01-2005
	CHECKED: T D J		
	DRAWING NO. SP80105.DWG	05 AUG 2005	SHEET 2 OF 2

SAN MATEO BLVD. N.E.
(64' R.O.W.)

12 SPACES @ 3'-0" EACH = 108'

24' DRIVE

9'-4"

20'

24'

20'

6"

14'-11"

8"

20'

24'

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8"

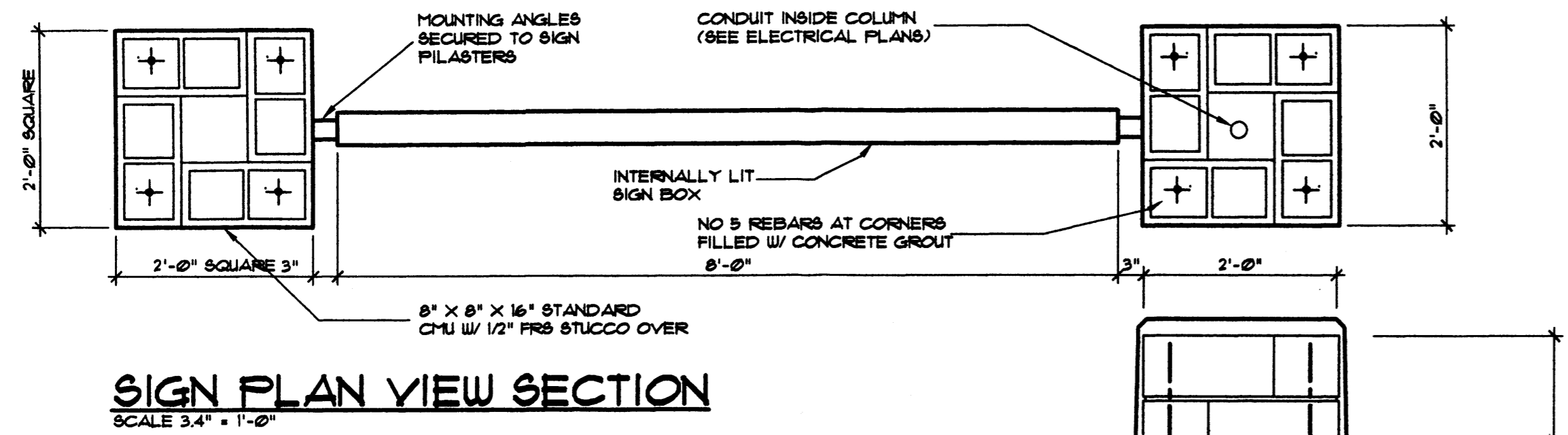
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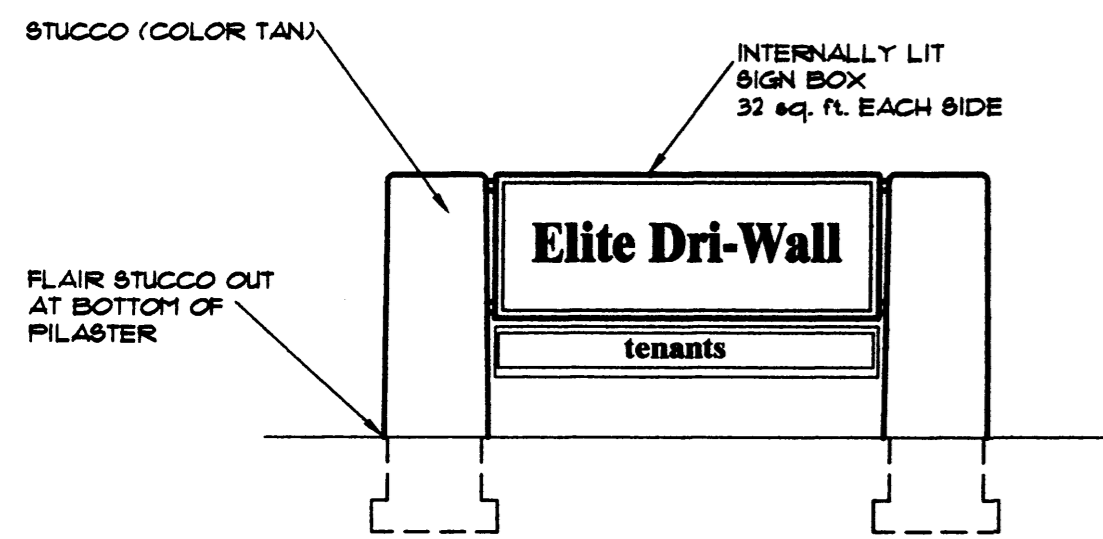
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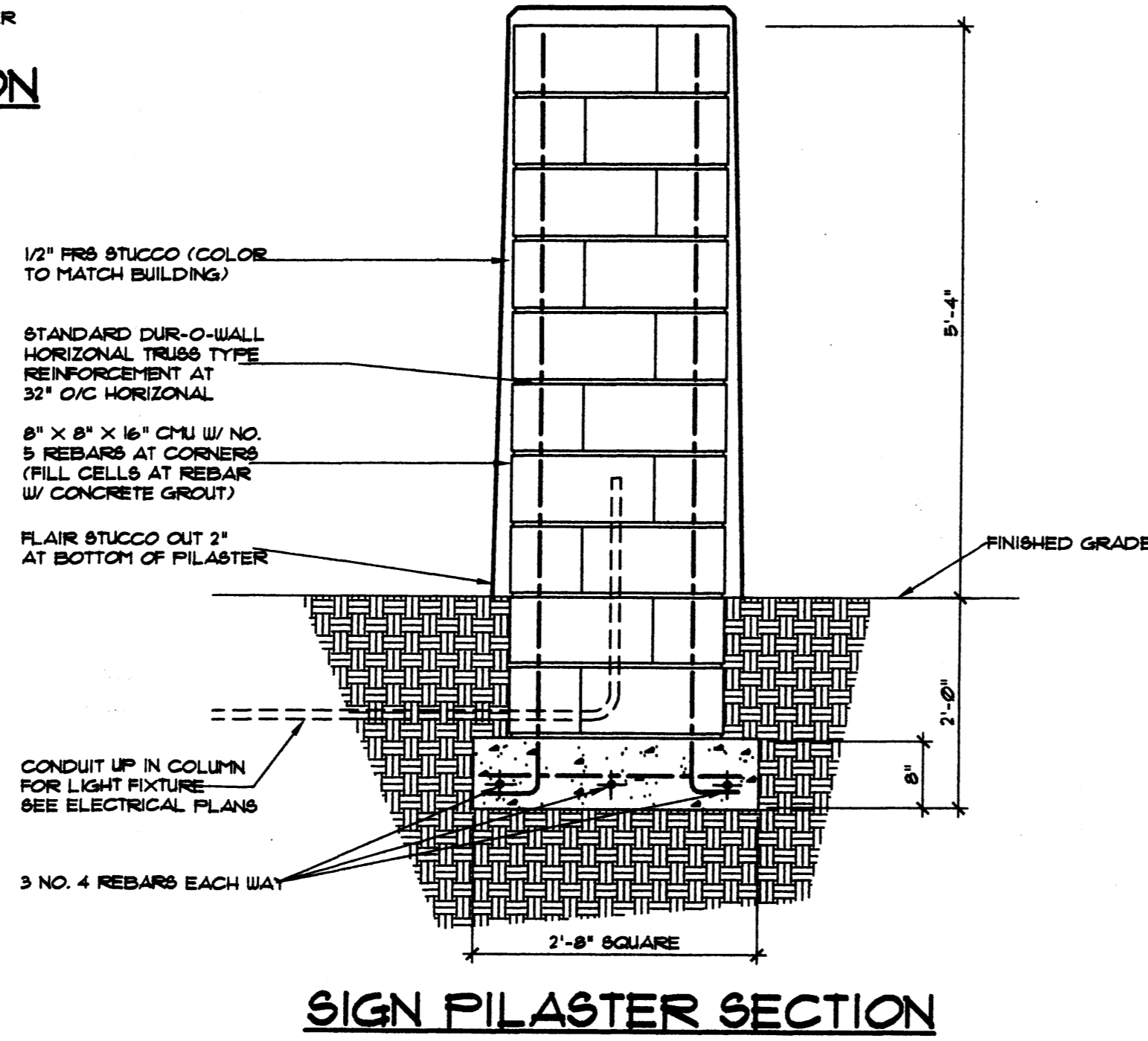
14'-11"



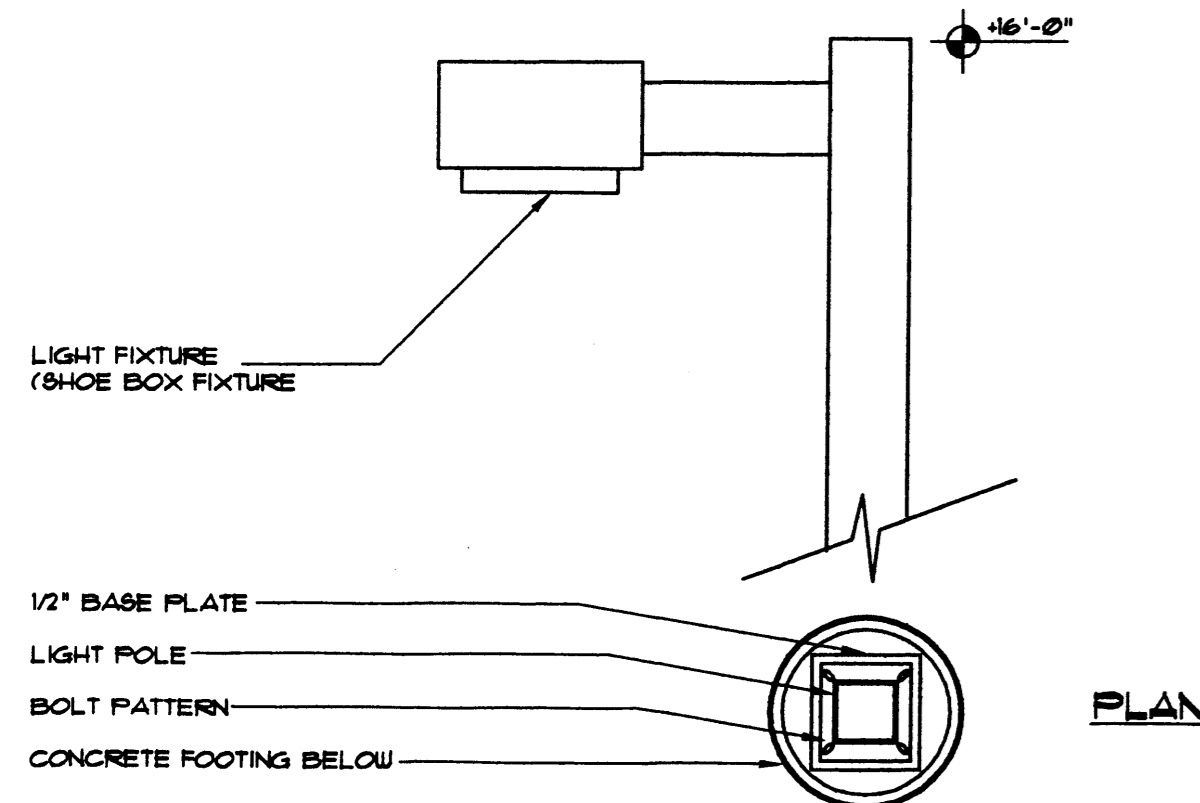
SIGN PLAN VIEW SECTION
SCALE 3/4" = 1'-0"



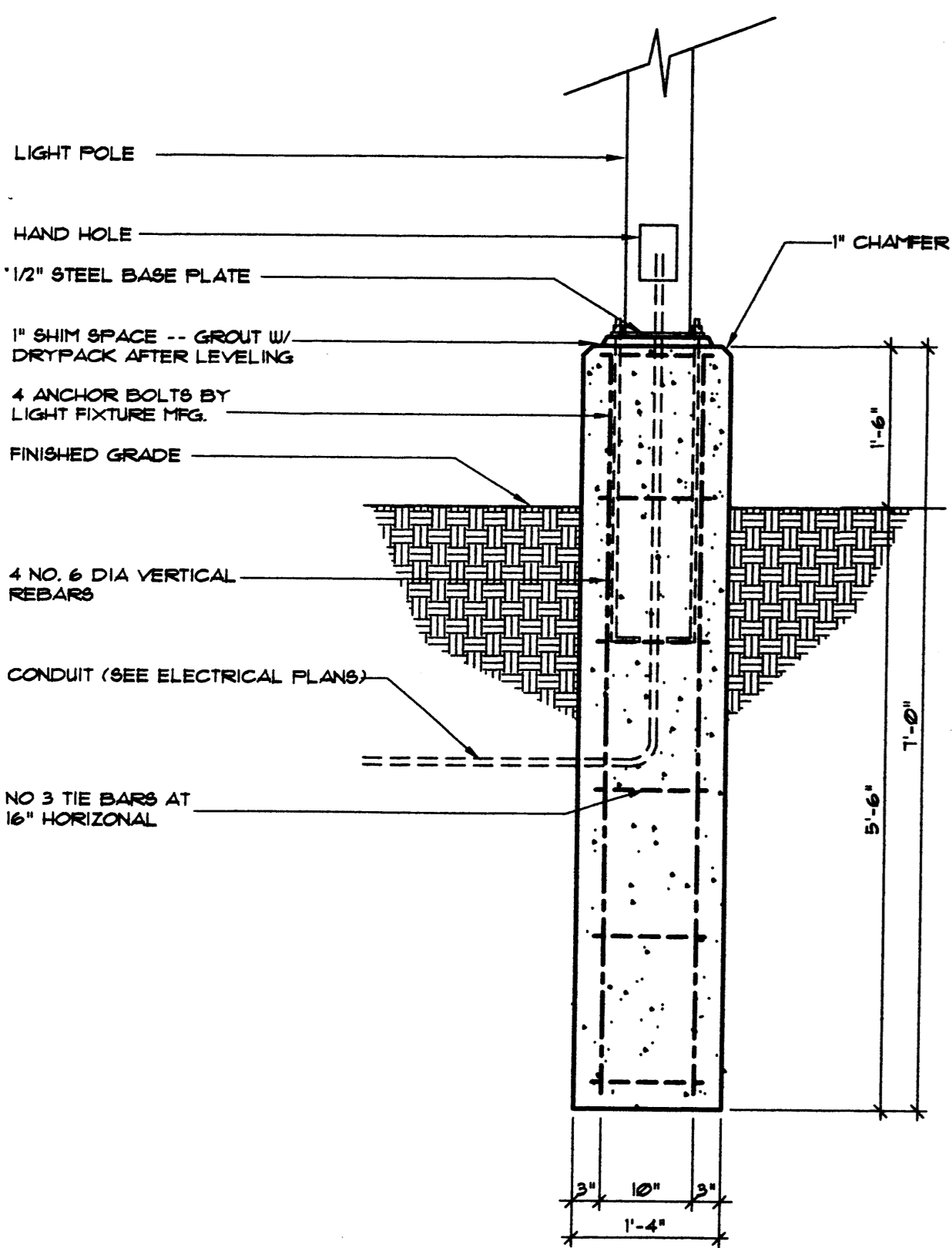
SIGN ELEVATION
SCALE 1/4" = 1'-0"



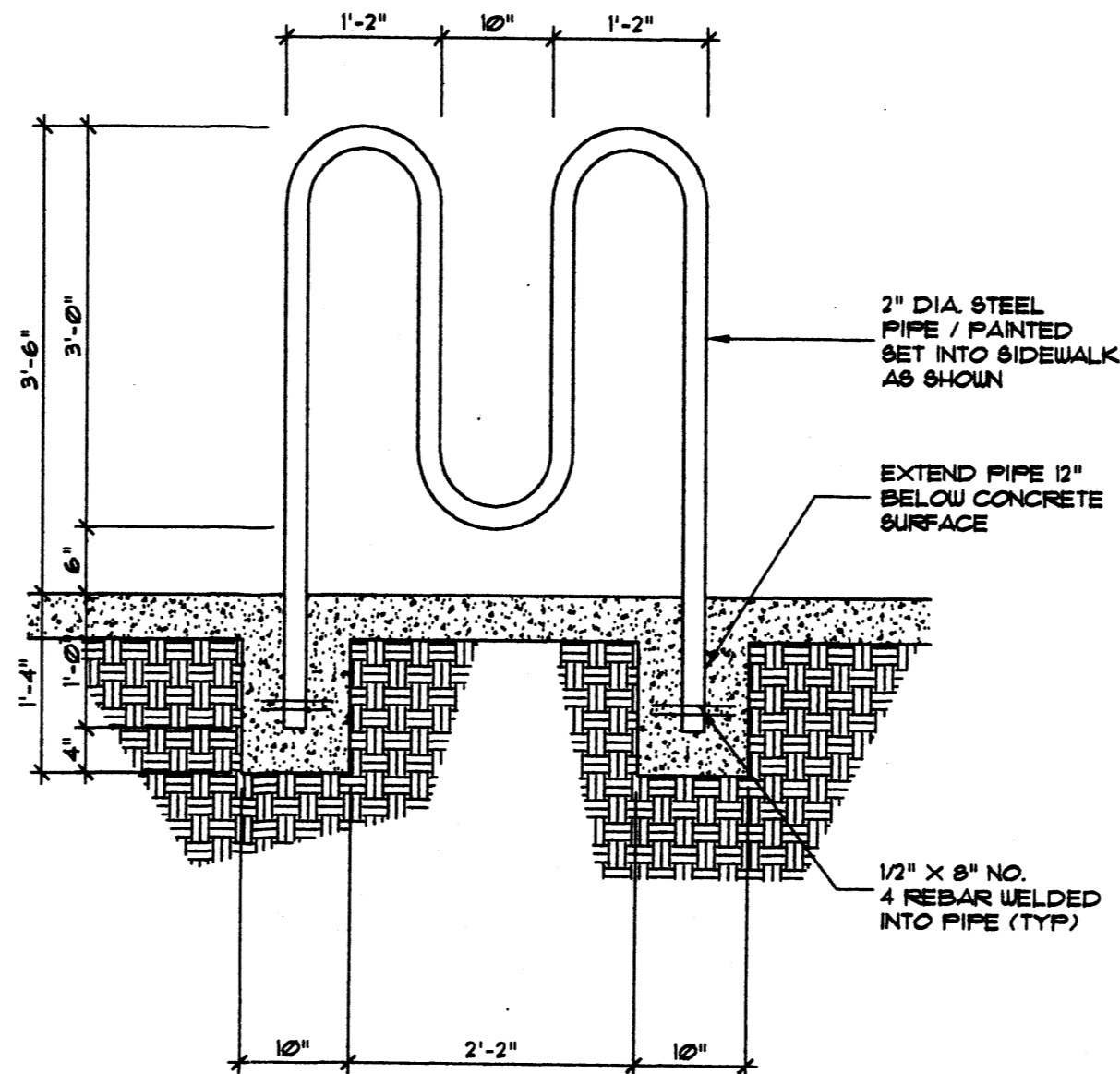
SIGN PILASTER SECTION



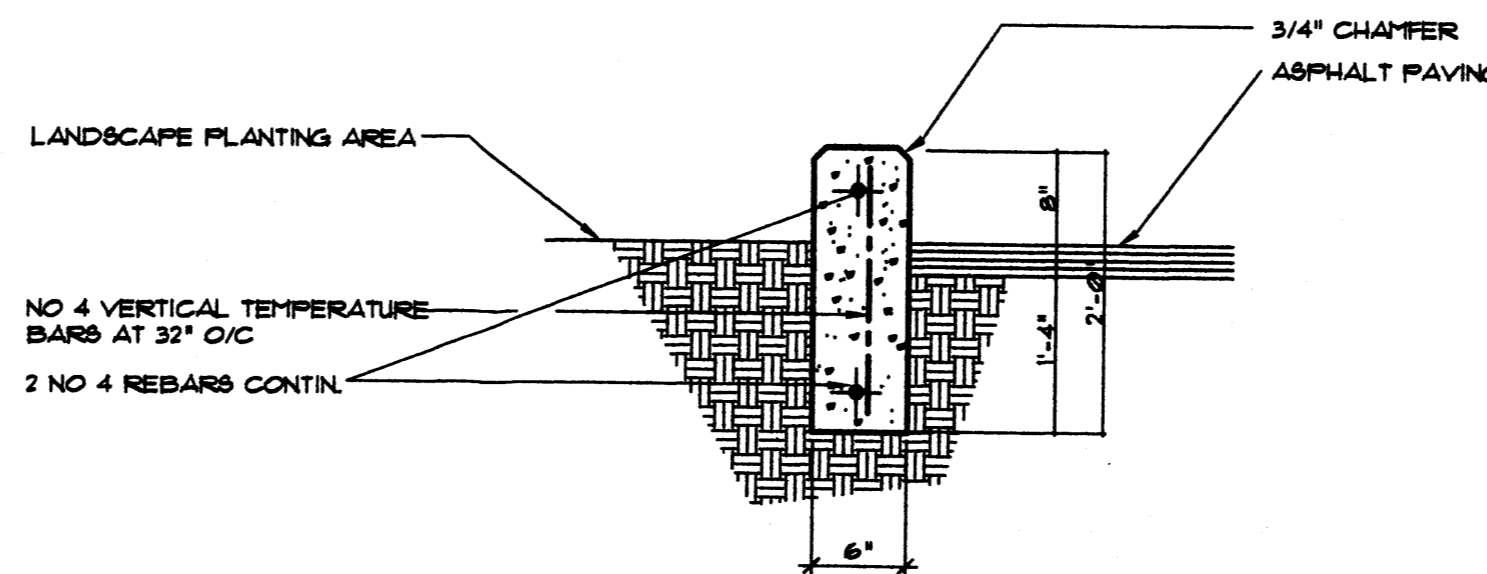
PLAN



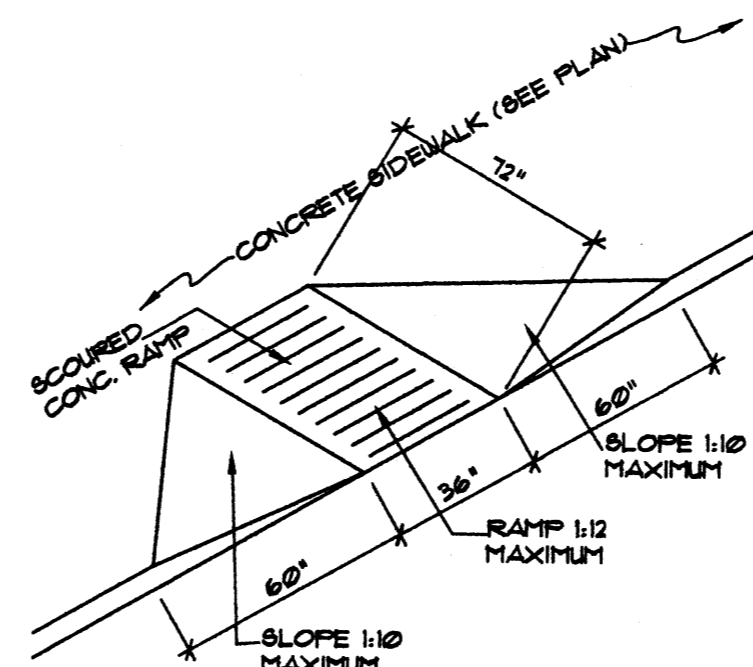
LIGHT FIXTURE COLUMN
SCALE 1/4" = 1'-0"



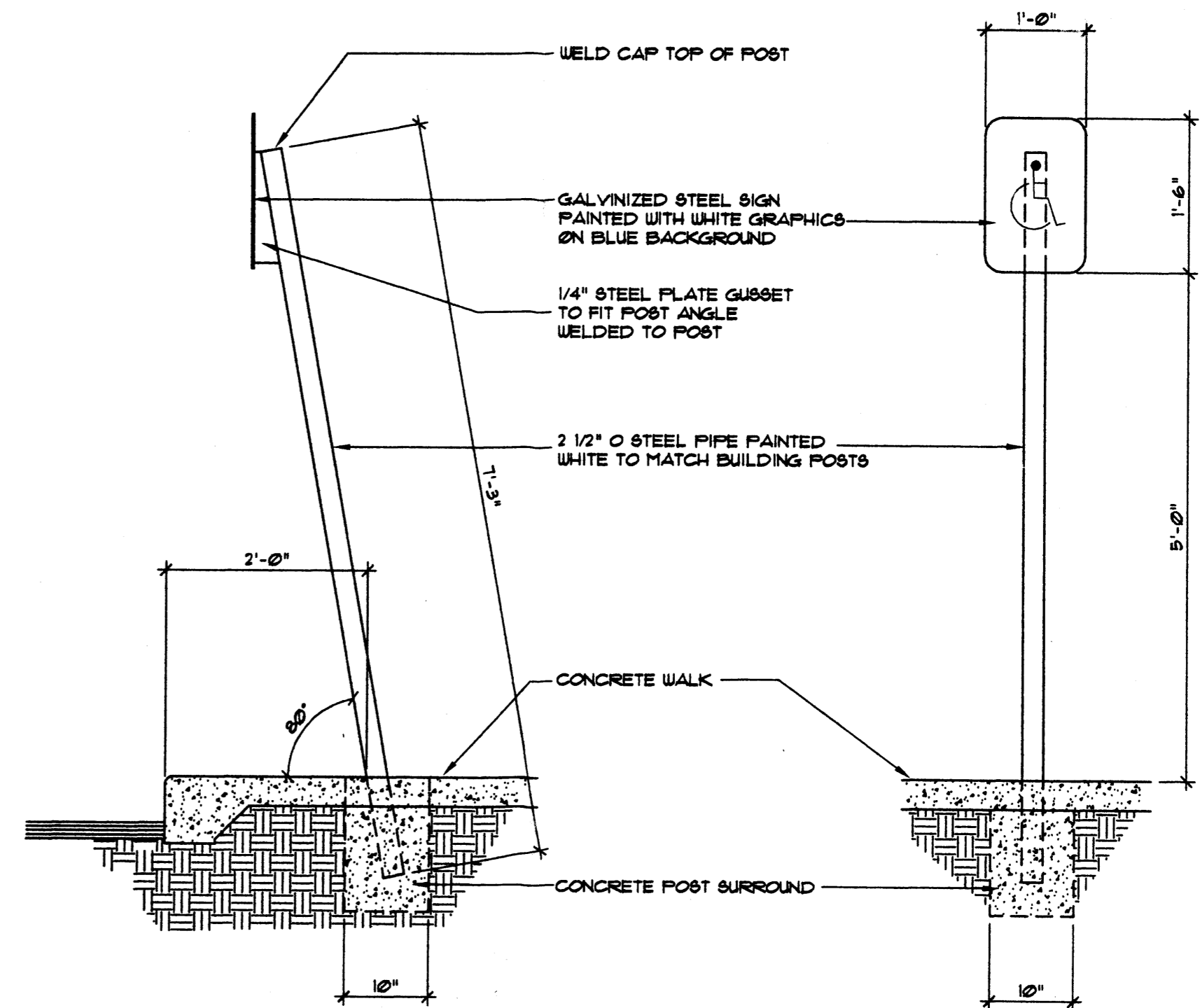
BIKE RACK DETAIL
SCALE 3/4" = 1'-0"



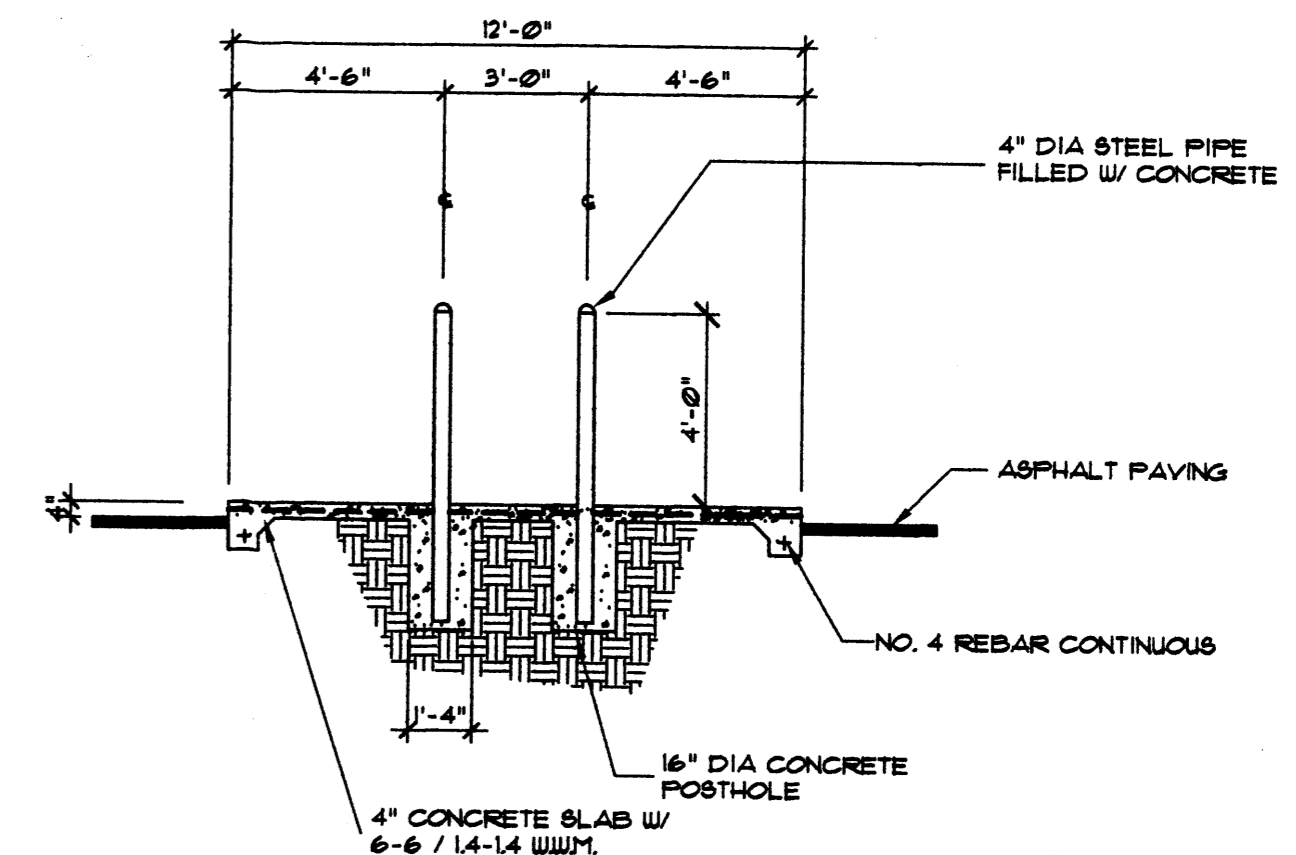
STAND-UP CURB DETAIL
SCALE 1" = 1'-0"



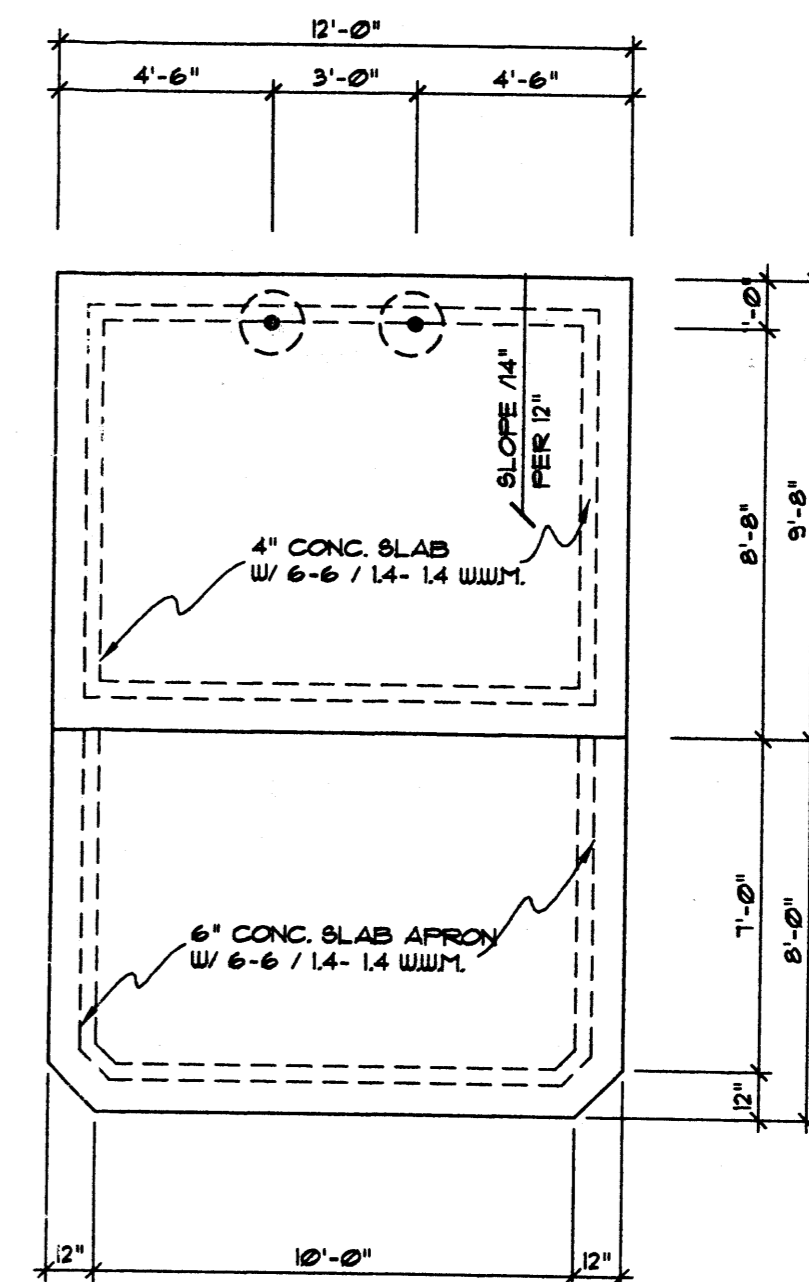
HANDICAP RAMP
NO SCALE



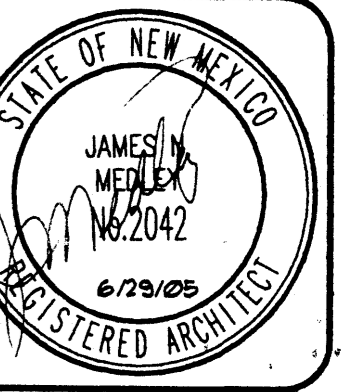
HANDICAP PARKING SIGN
SCALE 3/4" = 1'-0"



REFUSE CONC. PAD SECTION
SCALE 1/4" = 1'-0"



REFUSE CONCRETE PAD PLAN
SCALE 1/4" = 1'-0"



JIM MEDLEY, Architect
NCEARB Certificate No. 86,886
3100 Christine N. E. Albuquerque, NM 87111
Phone (505) 292-3514 Fax (505) 294-5593
email: jmedley@jim-medley-architect.com

Plan No: 04/05
Date: June '05
Drawn by: JMT
Checked by: JMT

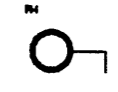
Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

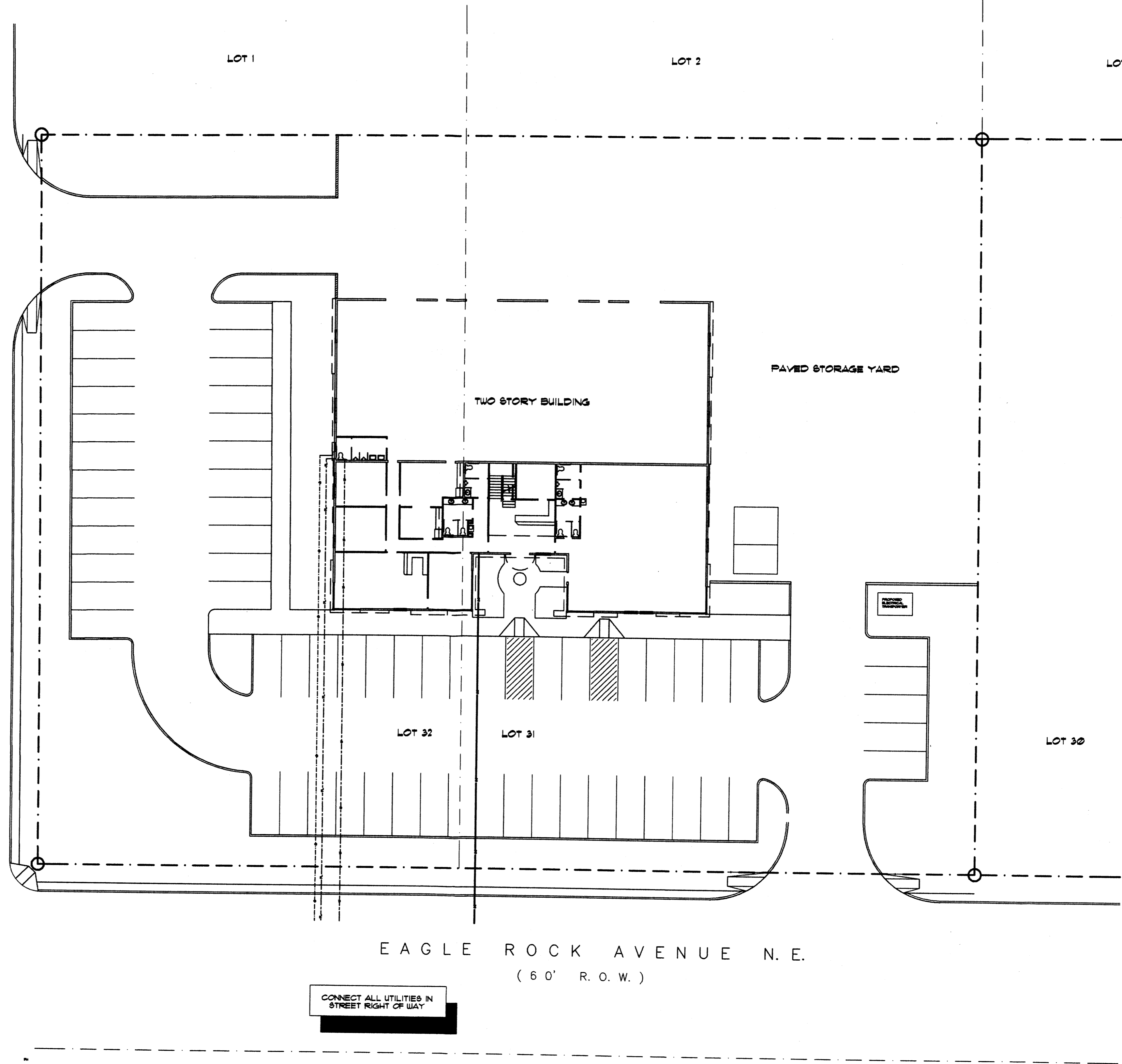
Sheet Description
DEVELOPMENT REVIEW BOARD SITE ELEMENTS

Sheet:
C2

D:\EliteDriWall_Site.dwg, 6/29/2005 9:21:16 AM



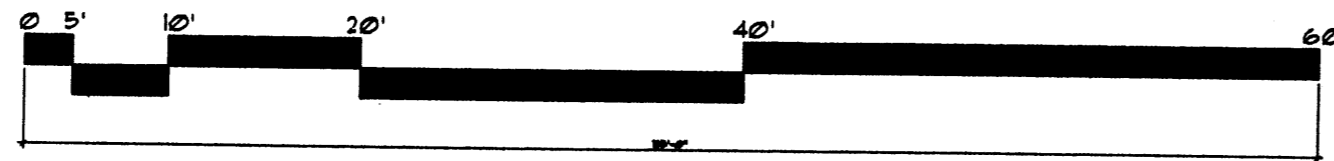
SAN MATEO BLVD. N. E.
(64' R. O. W.)



CONNECT ALL UTILITIES IN
STREET RIGHT OF WAY

PROPOSED UTILITY SITE PLAN

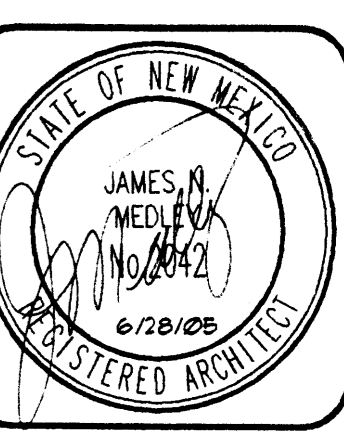
SCALE 1" = 20'



SCALE 1" = 20'

LEGEND

- PROPOSED GAS LINE ——— G ——— G ——— G ——— G ——— G
- PROPOSED FIRE LINE ——— FL ——— FL ——— FL ——— FL ——— FL
- PROPOSED WATER ——— W ——— W ——— W ——— W ——— W
- PROPOSED SANITARY SEWER ——— SS ——— SS ——— SS ——— SS ——— SS



JIM MEDLEY, Architect
 NCARB Certificate No. 86,896
 3100 Christine N. E. Albuquerque, NM 87111
 Phone (505) 292-3514 Fax (505) 294-5593
 email: jmedley@jim-medley-architect.com

Plan No. 04125
 Date: June 05
 Drawn by: JNF
 Checked by: JNF

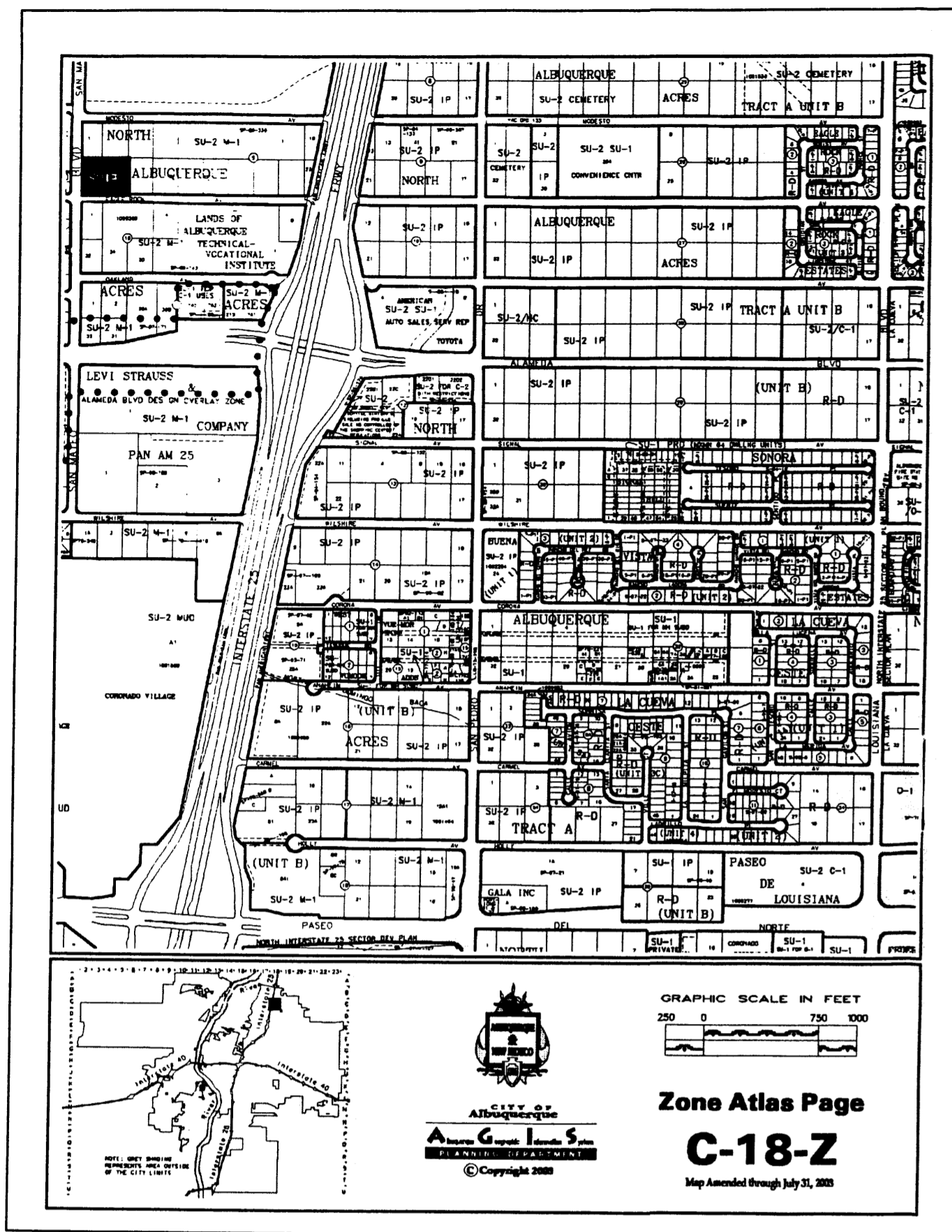
Project: OFFICE/WAREHOUSE
Robert Navarrete
Elite Dri-Wall
 Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
PROPOSED UTILITY SITE PLAN

Sheet:
U1

VICINITY MAP (C-18-Z)



BENCH MARK

BENCH MARK IS ACS STA. "10-C17" ACS Aluminum disk epoxied to top of drop inlet, ENE quadrant of Alameda Blvd. & Jefferson Street, NE ELEV. 5179.24 (NAVD 88)
 TBM
 P-K Nail & disk "8686" set in asphalt curbing at SE corner of site ELEV. 5157.89

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

LEGAL DESCRIPTION / FLOOD NOTE

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

The above described p. X
 Panel No. 350002 0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only. Rights-of-way of adjoining Lomas Boulevard and Dallas Street lie within Zone A0, subject to 1-ft. flood depths.

DRAINAGE CONCEPT:

THIS SITE CURRENTLY FREE DISCHARGES TO THE CULVERT THAT DRAINS INTO THE SOUTH LA CUEVA CHANNEL. THE PROPOSED DRAINAGE CONCEPT IS TO CONTINUE TO FREE DISCHARGE DRAIN TO THE SOUTH LA CUEVA CHANNEL VIA EXISTING STORM DRAINS LOCATED WITHIN SAN MATEO BOULEVARD, NE. OFFSITE FLOWS WILL BE ACCOMMODATED VIA A SWALE THROUGH THE PARKING LOT. THE ULTIMATE BUILDOUT ON THE OFFSITE CONTRIBUTORY FLOWS WILL CONTRIBUTE A TOTAL OF 27.9 CFS TO THE SUBJECT SITE. THESE FLOWS WILL BE CONTAINED IN A TRIANGULAR CHANNEL WITH 6:1 SIDE SLOPES. DEPTH OF THE CHANNEL WILL BE 0.5 FEET AND TOP WIDTH OF THE CHANNEL AT 100 YEAR FLOOD CONDITIONS WILL BE 10.3 FEET. BOTH THE ONSITE AND OFFSITE FLOWS WILL BE DIRECTED ONTO SAN MATEO BOULEVARD, NE, TO BE CAPTURED BY EXISTING STORM DRAINS.

ONSITE HYDROLOGY

DRAINAGE DATA - Elite Dri-Wall
 THIS SITE LIES WITHIN PRECIPITATION ZONE 3

Condition	Storm Return Period, Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	0	0.66	1.87	0.0	0.00
		B	70,198	0.92	2.60	5,381.8	4.19
		C	0	1.29	3.45	0.0	0.00
		D	0	2.36	5.02	0.0	0.00
EXISTING	10	A	0	0.19	0.58	0.0	0.00
		B	70,198	0.36	1.19	2,105.9	1.92
		C	0	0.62	2.00	0.0	0.00
		D	0	1.50	3.39	0.0	0.00
DEVELOPED	100	A	0	0.66	1.87	0.0	0.00
		B	10,771	0.92	2.60	825.8	0.64
		C	0	1.29	3.45	0.0	0.00
		D	59,427	2.36	5.02	11,687.4	6.85
DEVELOPED	10	A	0	0.19	0.58	0.0	0.00
		B	10,771	0.36	1.19	323.1	0.29
		C	0	0.62	2.00	0.0	0.00
		D	59,427	1.50	3.39	7,428.4	4.62
TOTAL (EXT)	100					5,381.8	4.2
	10					2,105.9	1.9
TOTAL (DEV)	100					12,513.2	7.5
	10					7,751.6	4.9

FLOW RATE WILL INCREASE BY 2.6 CFS AND 3.0 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 7131 CUBIC FEET FOR THE 100-YEAR STORM & 5646 CUBIC FEET FOR THE 10-YEAR STORM.

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS A BASIN OF APPROXIMATELY 6 ACRES. OFFSITE FLOWS ARE BASED UPON FULLY DEVELOPED CONDITIONS WITH A MAXIMUM 85% IMPERMEABLE SURFACE AND 15% LANDSCAPING. A FLOW INCREASE OF 12.3 CFS IS EXPECTED AT FULLY DEVELOPED CONDITIONS. DRAINAGE SWALE AND DROP INLETS ARE DESIGNED TO FULLY DEVELOPED CONDITIONS OF 27.9 CFS.

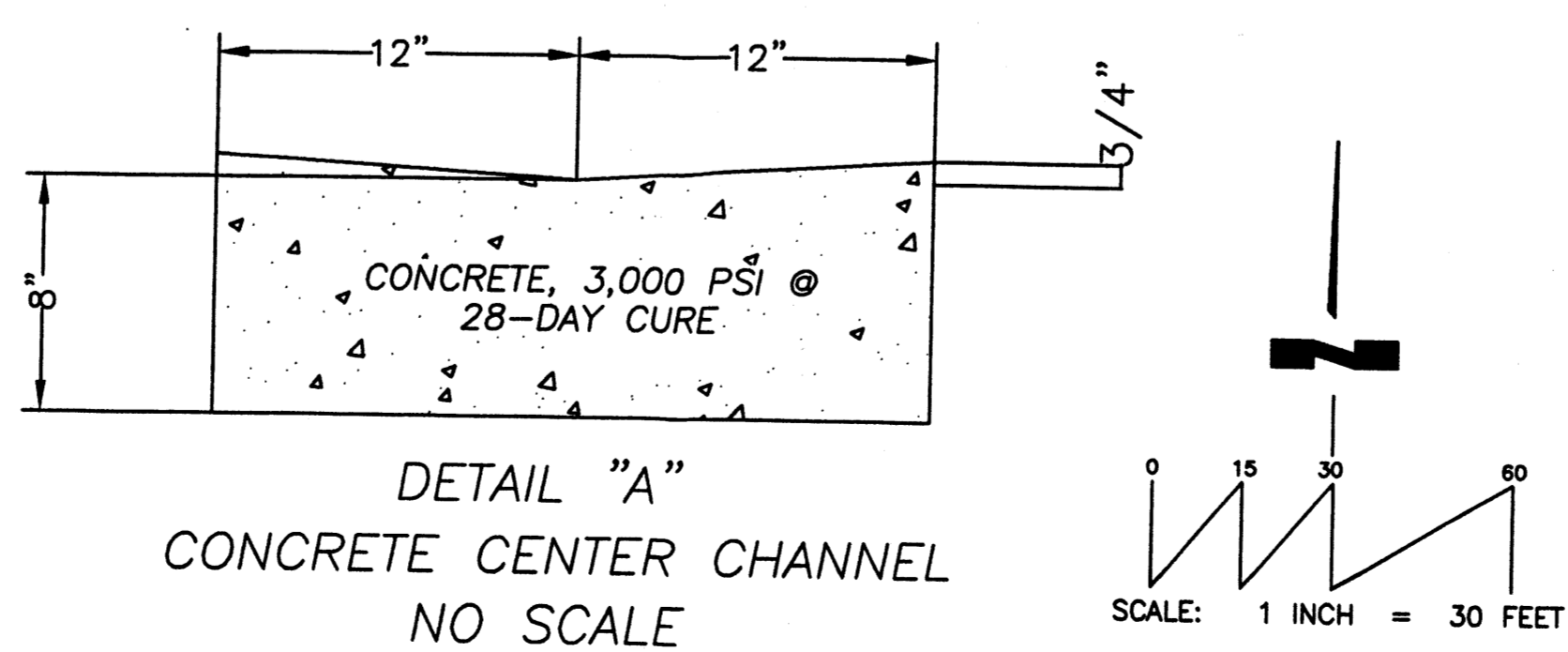
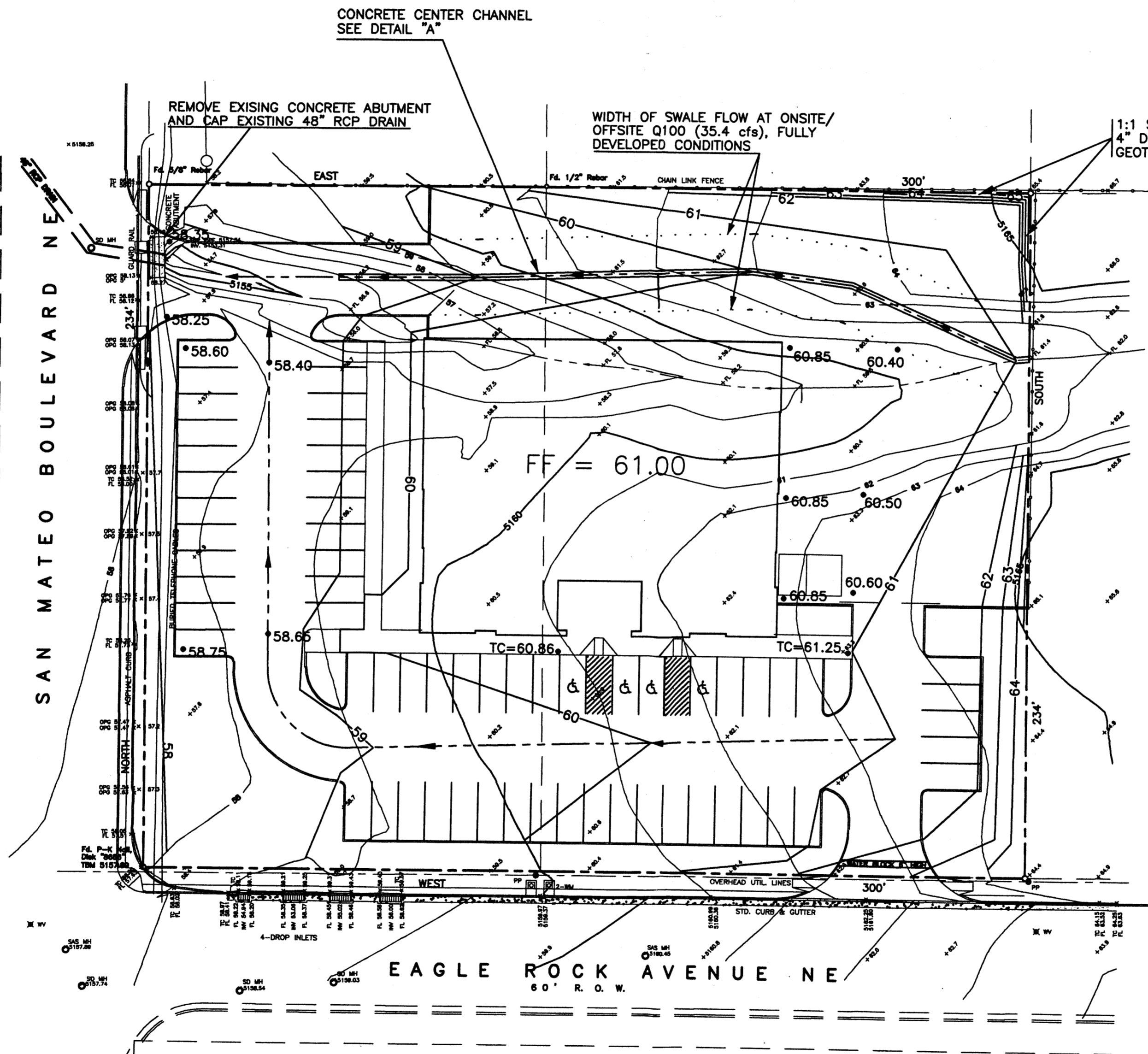
DRAINAGE DATA - Offsite flows, Elite Dri-Wall
 THIS SITE LIES WITHIN PRECIPITATION ZONE 3

Condition	Storm Return Period, Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	0	0.66	1.87	0.0	0.00
		B	261,360	0.92	2.60	20,037.6	15.60
		C	0	1.29	3.45	0.0	0.00
		D	0	2.36	5.02	0.0	0.00
EXISTING	10	A	0	0.19	0.58	0.0	0.00
		B	261,360	0.36	1.19	7,840.8	7.14
		C	0	0.62	2.00	0.0	0.00
		D	0	1.50	3.39	0.0	0.00
DEVELOPED	100	A	0	0.66	1.87	0.0	0.00
		B	39,204	0.92	2.60	3,005.6	2.34
		C	0	1.29	3.45	0.0	0.00
		D	222,156	2.36	5.02	43,690.7	25.60
DEVELOPED	10	A	0	0.19	0.58	0.0	0.00
		B	39,204	0.36	1.19	1,176.1	1.07
		C	0	0.62	2.00	0.0	0.00
		D	222,156	1.50	3.39	27,769.5	17.29
TOTAL (EXT)	100					20,037.6	15.6
	10					7,840.8	7.1
TOTAL (DEV)	100					46,696.3	27.9
	10					28,945.6	18.4

FLOW RATE WILL INCREASE BY 12.3 CFS AND 11.3 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 26659 CUBIC FEET FOR THE 100-YEAR STORM & 21105 CUBIC FEET FOR THE 10-YEAR STORM.

LEGEND

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- SAS SANITARY SEWER DROP
- W WATER TAP
- IRR IRRIGATION CONTROL VALVE
- TS TRAFFIC SIGNAL / BOX
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TREE, CALIPER NOTED
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
- EA EDGE OF ASPHALT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BSW BACK OF SIDEWALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- RR TIE LANDSC. RETAINER
- OVERHEAD POWER LINE
- 4958 EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 4958 EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE
- FL FLOW LINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- BURIED TELEPHONE LINE



NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.
 CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.
 CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.
 SITE IS SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

I, DAVID GATTERMAN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 14920, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

DAVID GATTERMAN, NMPE NO. 14920



DRAINAGE AND GRADING PLAN
 ELITE DRI-WALL

TCO ENGINEERING, INC. (505)266-7256 Fax: (505) 255-2887
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108

STATE OF NEW MEXICO
 JIM MEDLEY, Architect
 3100 Christie N. E. Albuquerque, NM 87111
 Phone (505) 262-3514 Fax (505) 264-5565

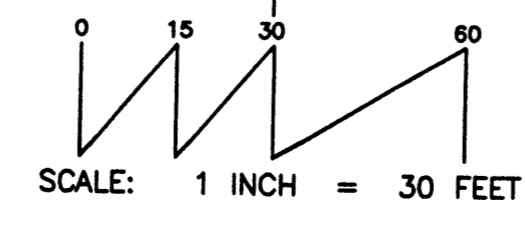
Proj. No. 04103
 Date: June '05
 Drawn By: JMK
 Checked By: JMK

OFFICE/WAREHOUSE
 Robert Navarrete
 Elite Dri-Wall
 Albuquerque, New Mexico

No.	Revision / Issue	Date

Sheet Description

Sheet



6-19-05

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
3		Crataegus phaenopyrum Washington Hawthorn	2" B&B	Medium+
12		Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
6		Gleditsia triacanthos Honeylocust	2" B&B	Medium
Shrubs/Groundcovers				
16		Cotoneaster Parneyi Clusterberry	5-Gal	Medium
13		Buddleia davidii Butterfly Bush	5-Gal	Medium
6		Caesalpinia gilliesii Yellow Bird of Paradise	5-Gal	Low
14		Cercocarpus ledifolios Curl-leaf Mtn. Mahogany	5-Gal	Low +
20		Cytisus scoparius Scotch Broom	5-Gal	Medium
22		Ericameria nauseosus Chamisa	1-Gal	Low
17		Hesperaloe parviflora Red Yucca	5-Gal	Low+
24		Rosmarinus off. pro. Creeping Rosemary	5-Gal	Low +
26		Prunus besseyi Western Sand Cherry	5-Gal	Medium
20		Rhaphiolepis indica India Hawthorn	5-Gal	Medium
8		Rhus trilobata Three-leaf Sumac	1-Gal	Low+
25		Rosmarinus officinalis Rosemary	5-Gal	Low +
Ornamental Grasses				
21		Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium

SITE DATA

GROSS LOT AREA	70,313	SF
LESS BUILDING(S)	11,727	SF
NET LOT AREA	58,586	SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	8,787	SF
PROPOSED LANDSCAPE	14,695	SF
PERCENT OF NET LOT AREA	25	%

REQUIRED STREET TREES PROVIDED AT 30' O.C. SPACING ALONG STREET	14
REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (62 SPACES/10)	7

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE/IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

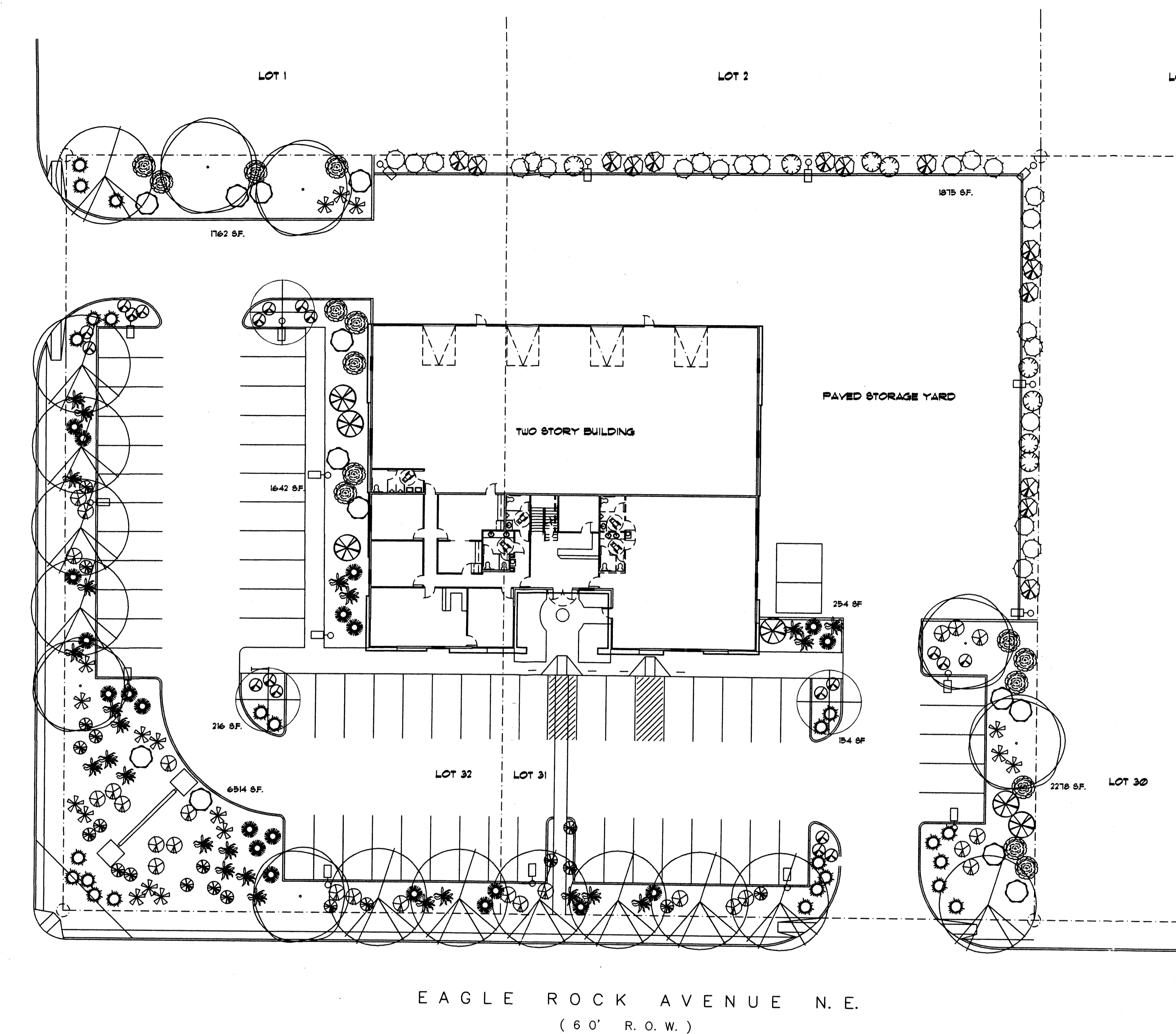
IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

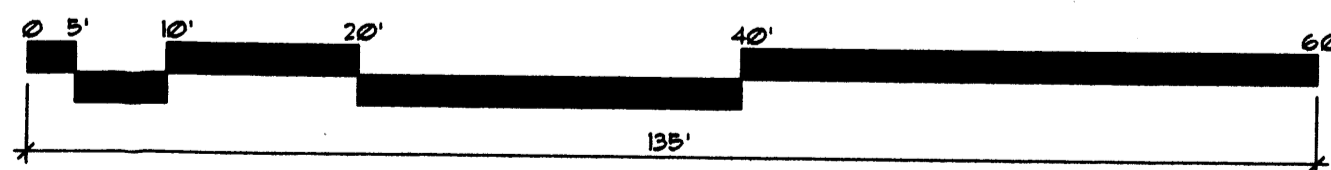
TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 50' FROM A TREE.



LANDSCAPE PLAN

SCALE 1" = 20'



D:\EIR\ORBE\landscape.dwg, 7/21/2005 9:28:35 AM

JIM MEDLEY, Architect
NCARB Certificate No. 35,895
3100 Christine N. E. Albuquerque, NM 87111
Phone (505) 292-3514 Fax (505) 294-5593
email: jmedley@jim-medley-architect.com

Plan No. 04/05
 Date: July 05
 Drawn by: JNM
 Checked by: JNM

Project: OFFICE/WAREHOUSE

Robert Navarrete
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

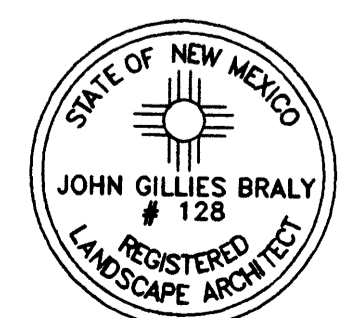
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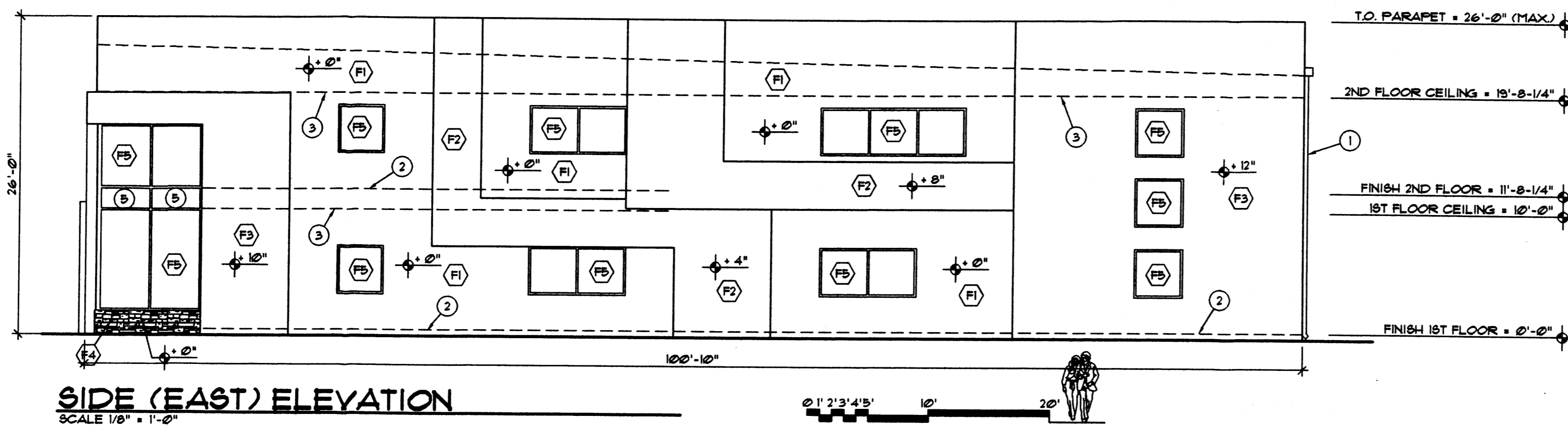
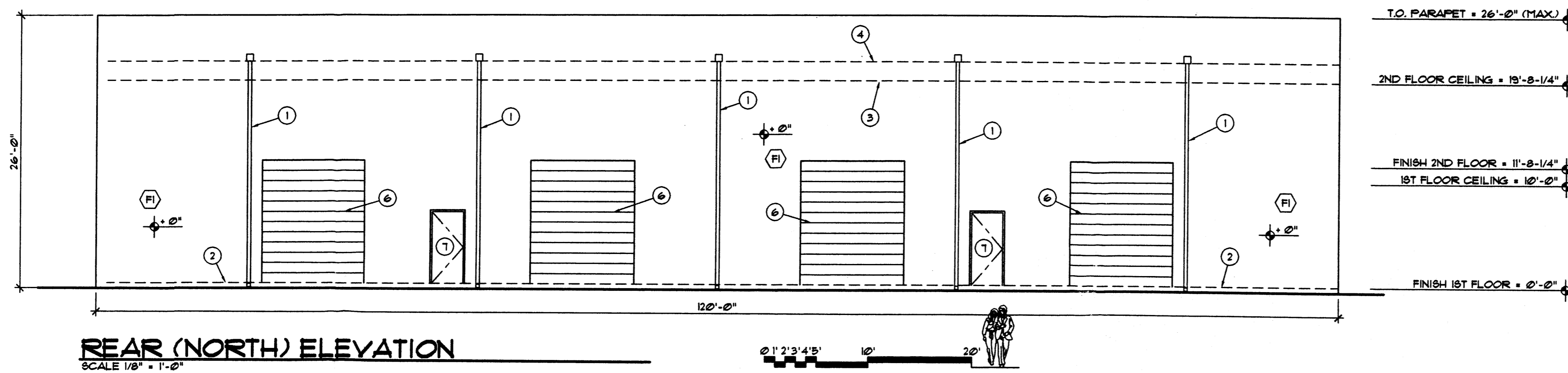
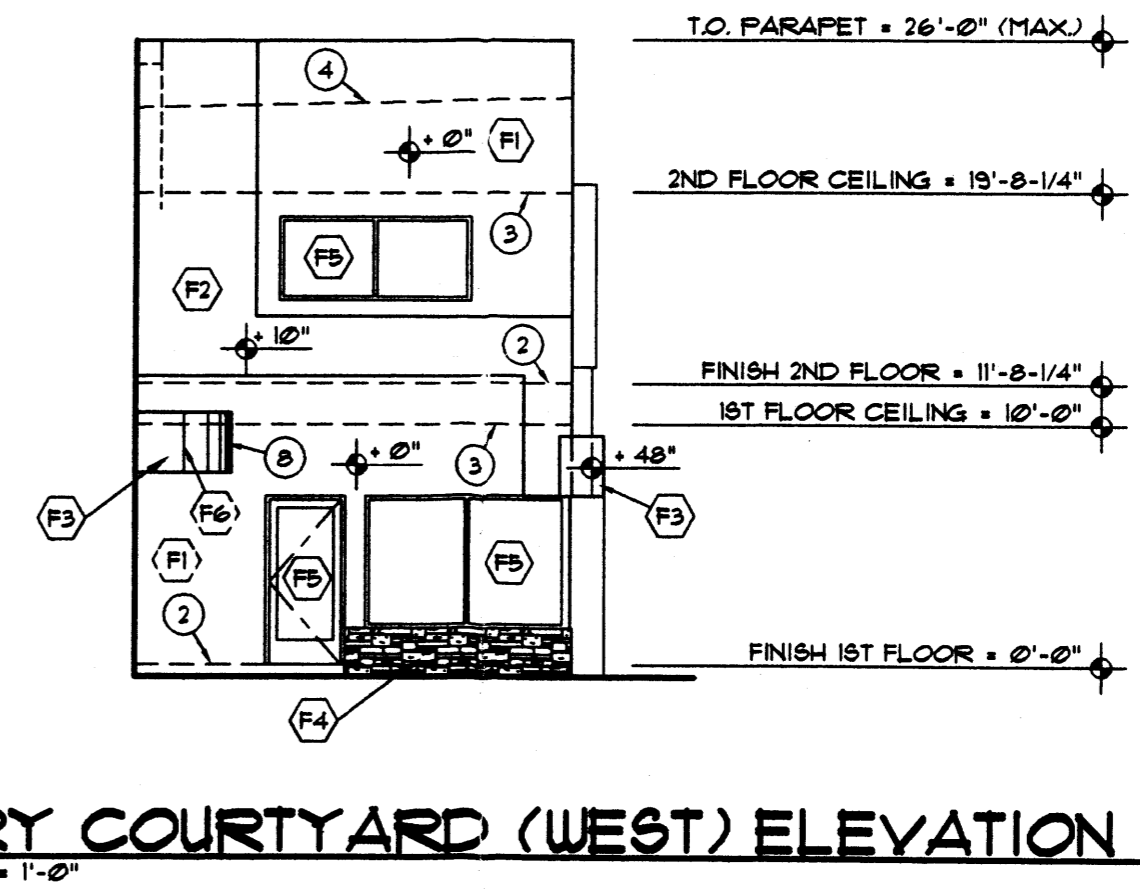
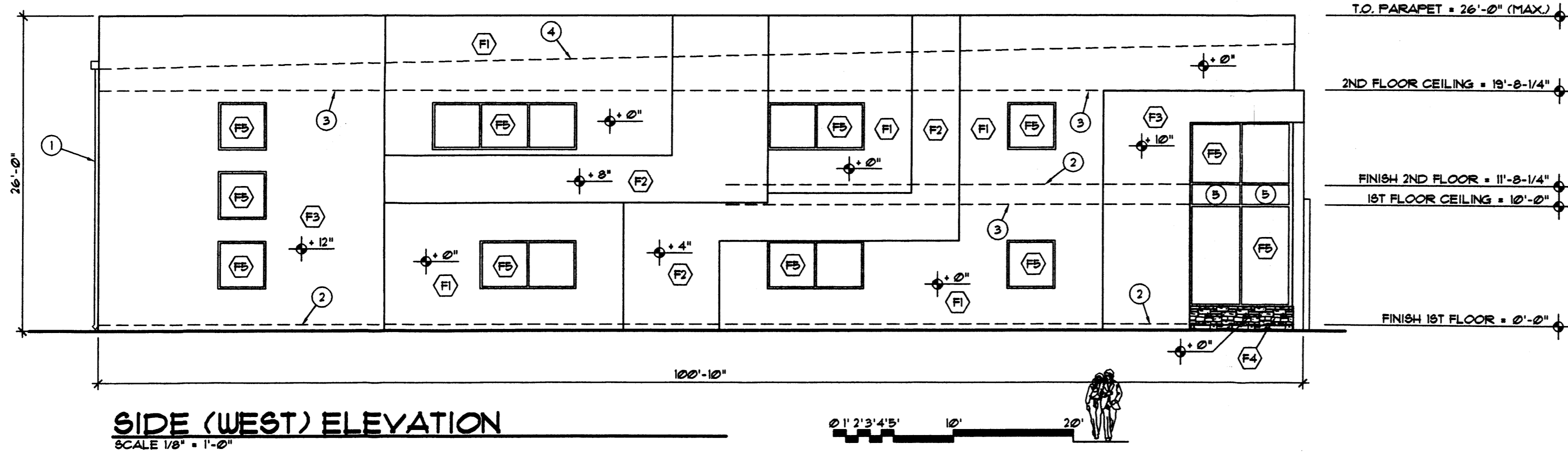
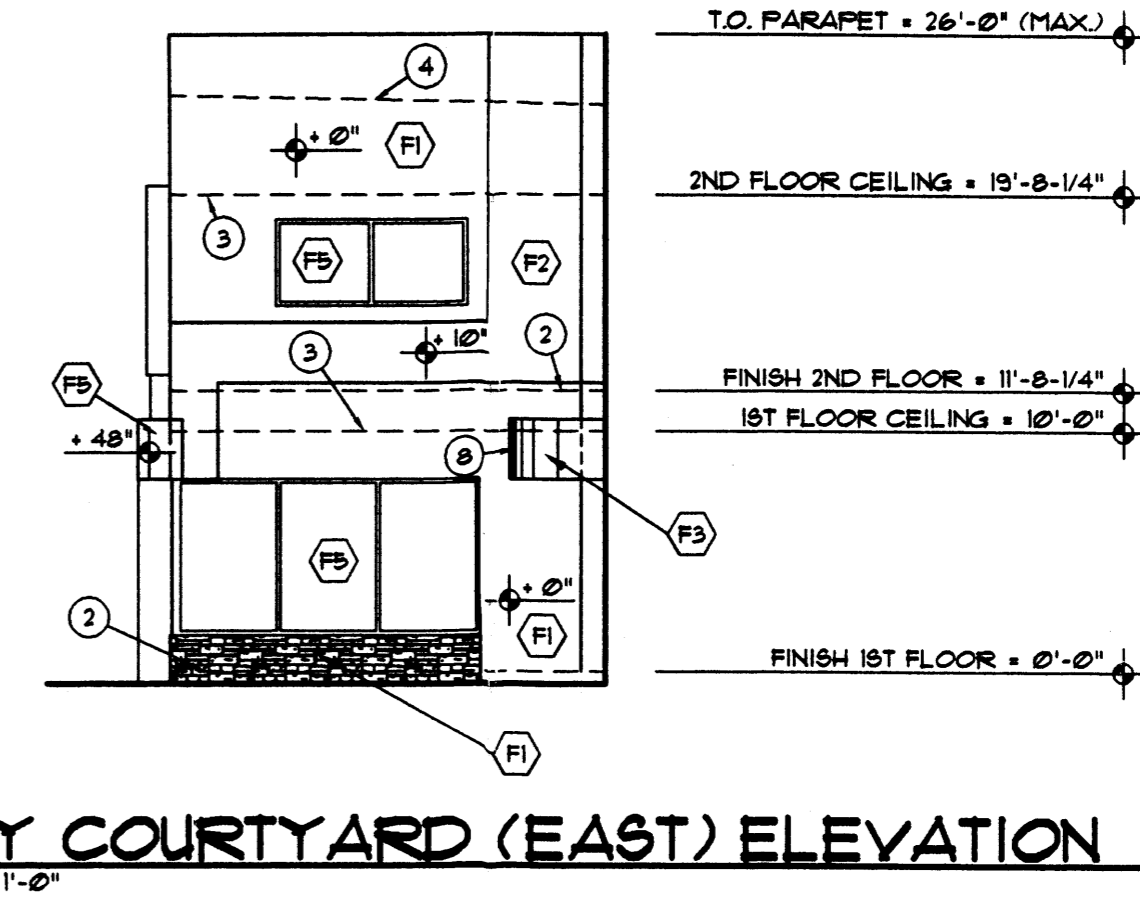
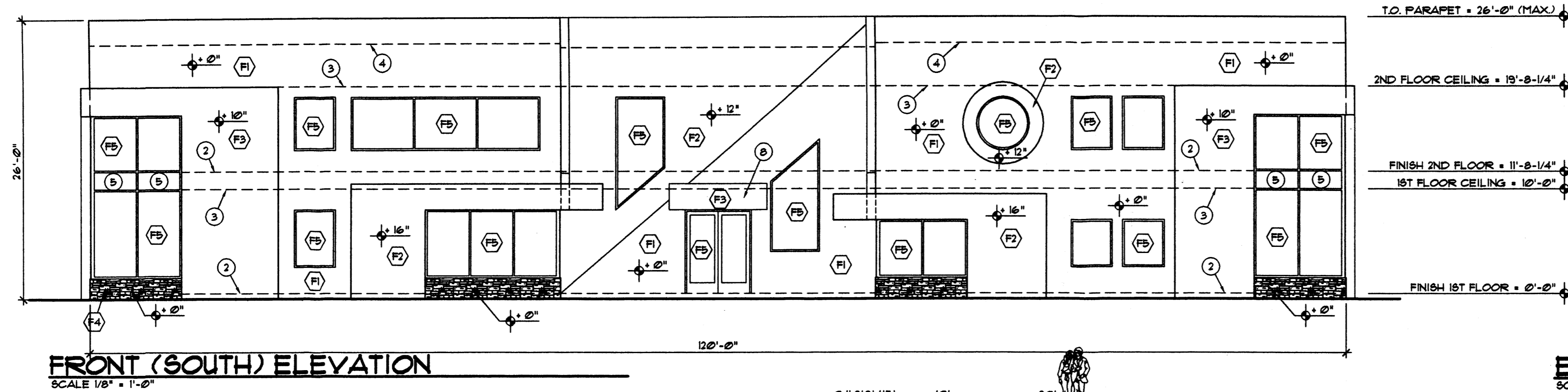
PROPOSED LANDSCAPE PLAN

Sheet:

1

Growing Better
Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscape.com
P.O. BOX 10597
Albuquerque, NM 87184
505.898.9818
505.898.2105 (fax)
design@hulc.com





Exterior Finishes

- (F1) MAIN STUCCO COLOR: (PALE BEIGE)
(RALPH LAUREN-FAIRVIEW DOME)
- (F2) ACCENT STUCCO COLOR #1: (MEDIUM BEIGE)
(RALPH LAUREN-LYNHURST MUSHROOM)
- (F3) ACCENT STUCCO COLOR #2: (DARK BROWN)
(RALPH LAUREN-DRIED THISTLE)
- (F4) CULTURED STONE VENEER (BROWN TONES)
- (F5) ALUMINUM STOREFRONT GLAZING: BRONZE ANODIZED FINISH

Notes Specific to Sheet

- 1) SCUPPER AND DOWNSPOUT, PAINT TO MATCH ADJACENT WALL COLOR.
- 2) FLOOR LINE BEYOND.
- 3) CEILING LINE BEYOND.
- 4) ROOF LINE BEYOND.
- 5) SPANDREL GLASS TO HIDE FLOOR STRUCTURE.
- 6) METAL OVERHEAD DOOR, PAINT TO MATCH ADJACENT WALL COLOR.
- 7) HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR.
- 8) CURVED ENTRY COVER.

1/2" MARK INDICATES SURFACE PROJECTION FROM STRUCTURAL WALL.

D:\elite\prelim elevations.dwg, 6/24/2009 10:19:09 AM



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Plan No. 04405
Date: June 05
Drawn by: JMT
Checked by: JMT

Project: OFFICE/WAREHOUSE
Robert Navarrete
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

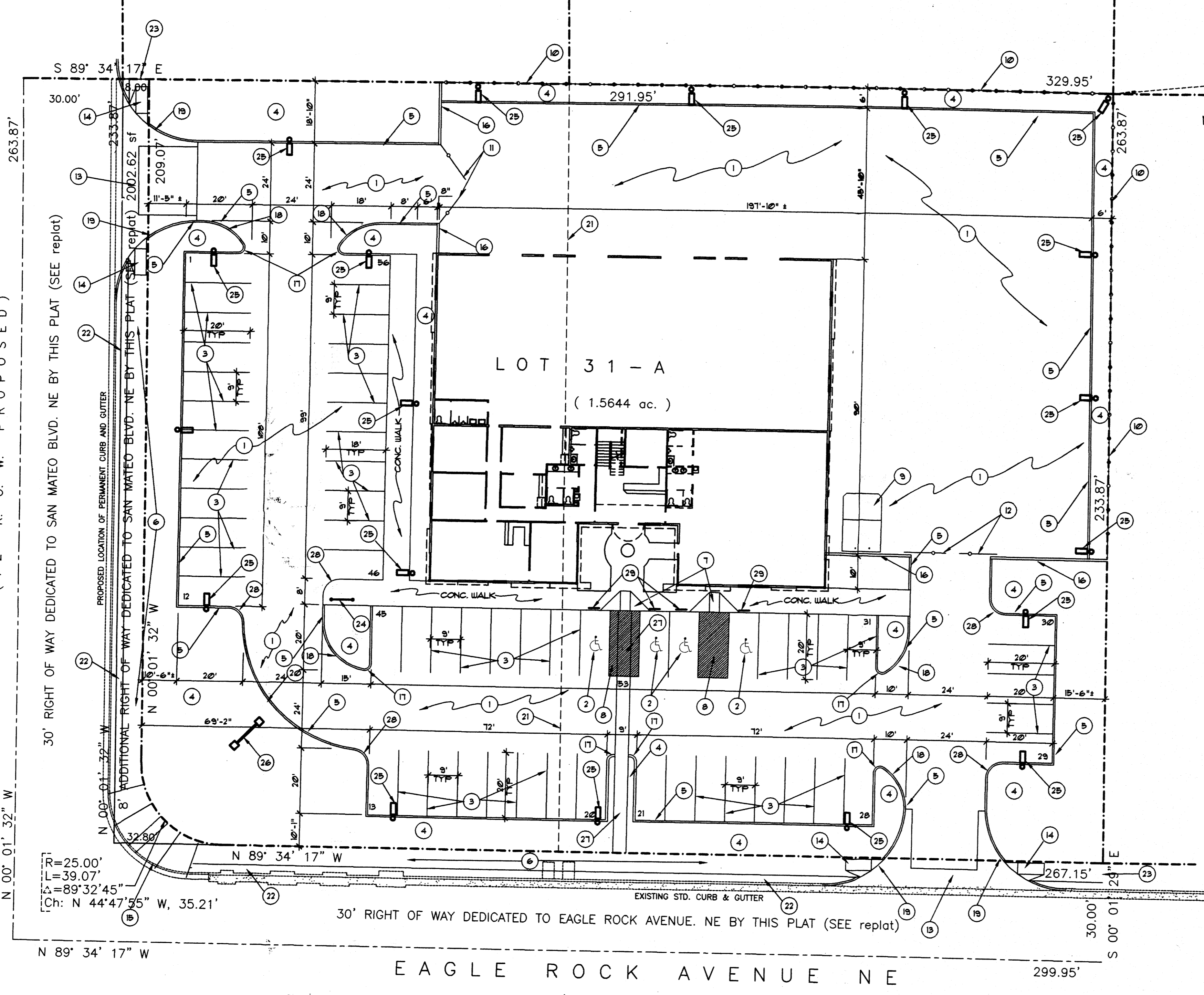
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PRELIMINARY EXTERIOR ELEVATIONS

Sheet:
A1

Revised Plan

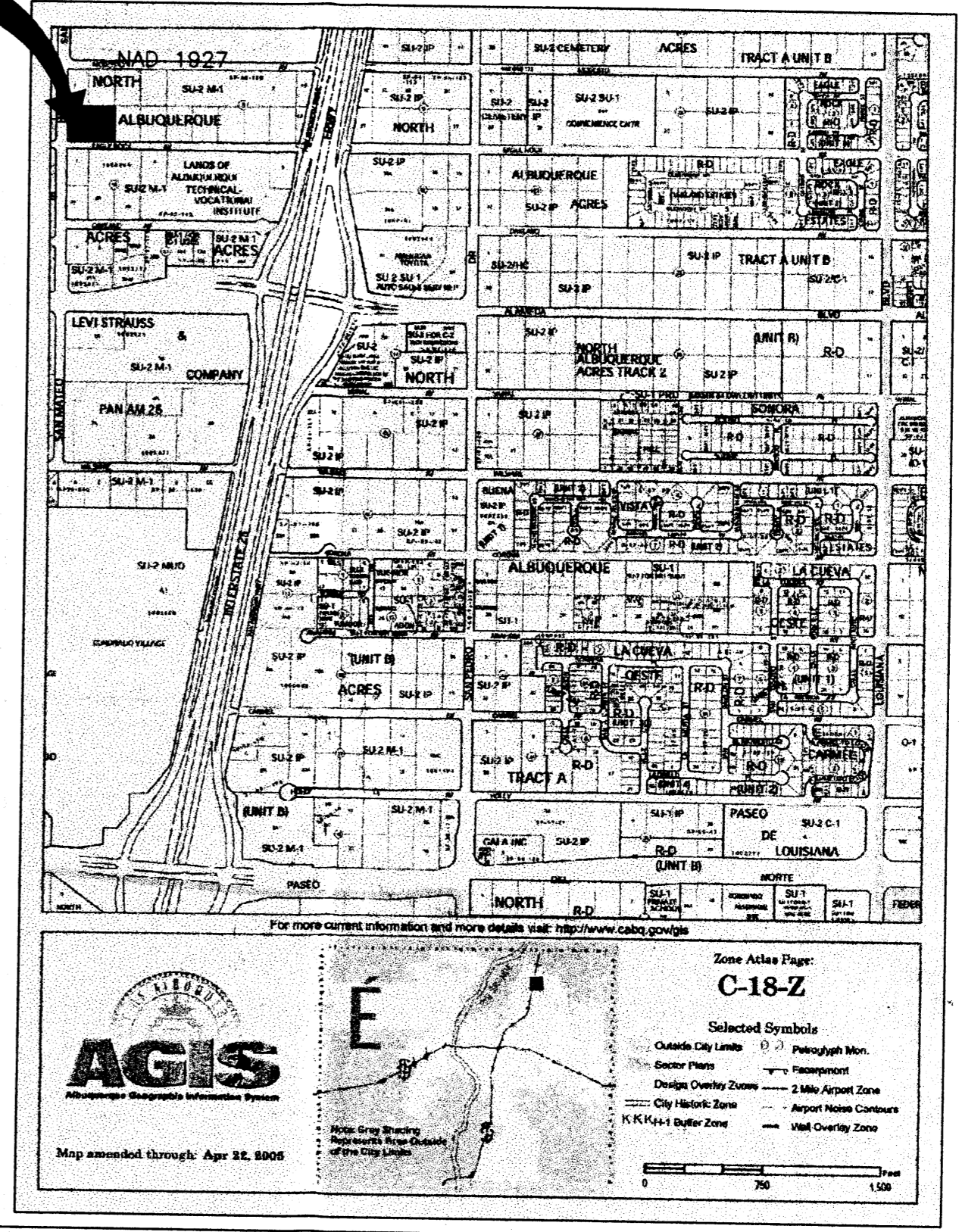
PH

SAN MATEO BOULEVARD NE
(64' R. O. W. EXISTING)
(72' R. O. W. PROPOSED)



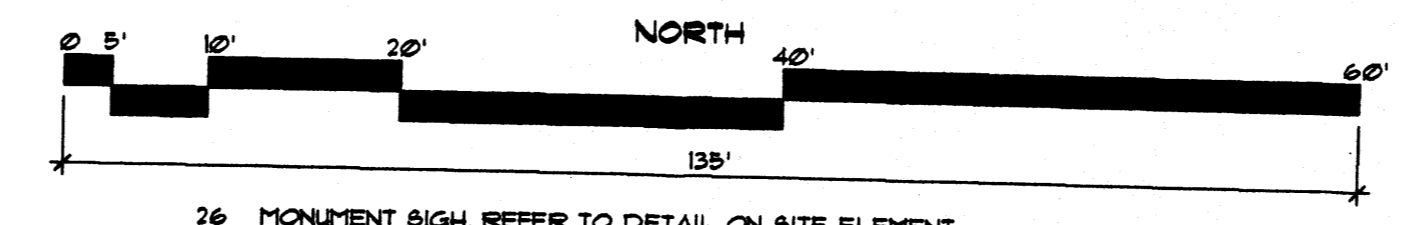
R=25.00'
L=39.07'
Δ=89°32'45"
Ch: N 44°47'55" W, 35.21'

ACS MONUMENT "10-C18"
x = 402,319.45
y = 1,524,061.42
Ground-to-grid:
0.9996613
Delta Alpha: -00°11'18"
NMSP CENTRAL ZONE



NOTES SPECIFIC TO SHEET

- 1 ASPHALT PAVING... ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY OF ALBUQUERQUE STANDARDS.
- 2 BLUE PAINTED HANDICAP SYMBOLS, TYPICAL OF 4.
- 3 3" WIDE YELLOW STRIPING, (TYPICAL)
- 4 LANDSCAPE AREA, REFER TO LANDSCAPE PLANS FOR DETAILS AND SIZES.
- 5 6" STANDUP CONCRETE CURB, REFER TO SITE ELEMENT DETAILS.
- 6 6" NEW CONCRETE PUBLIC WALK, HOLD TO PROPERTY LINE.
- 7 HANDICAP RAMP WITH MAXIMUM SLOPE OF 1:12, REFER TO DETAIL ON SITE ELEMENT SHEET.
- 8 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
- 9 CONCRETE DUMPSTER SLAB, REFER TO DETAIL ON SITE ELEMENT SHEET.
- 10 6'-0" HIGH CHAIN LINK FENCE WITH CONCERTINA WIRE ABOVE, TYPICAL AROUND STORAGE YARD.
- 11 TWO 12'-0" WIDE WROUGHT IRON SWINGING GATES.
- 12 TWO 12'-0" WIDE WROUGHT IRON GATES ON ROLLERS.
- 13 NEW CONCRETE PAVING PRIVATE ENTRANCES PER CITY OF ALBUQUERQUE DETAIL NO. 2426.
- 14 CONSTRUCT CONCRETE CURB ACCESS RAMP AS PER CITY OF ALBUQUERQUE STD. DTL. NO. 2418 & 2441.
- 15 PUBLIC WALK CURB ACCESS RAMP PER CITY OF ALBUQUERQUE STD. DTL. NO. 2440.
- 16 6'-0" HIGH 8" THICK SPLIT-FACED CMU WALL FROM NEW BUILDING TO PROPERTY LINE, COLOR TO COMPLEMENT BUILDING COLORS.
- 17 2' RADIUS.
- 18 15' RADIUS
- 19 25' RADIUS
- 20 35' RADIUS
- 21 EXISTING PROPERTY LINE BETWEEN LOTS 31 & 32 TO BE REMOVED, REFER TO REPLAT.
- 22 PLANTING STRIP BETWEEN SIDEWALK AND BACK OF CURB.
- 23 NEW CONCRETE WALK TO END AT PROPERTY LINE.
- 24 BIKE RACK FOR 3 BIKES, REFER TO DETAIL ON SITE ELEMENT SHEET.
- 25 SITE LIGHTING FIXTURE, SEE DETAIL ON SITE ELEMENT SHEET.



26 MONUMENT SIGN, REFER TO DETAIL ON SITE ELEMENT SHEET.

27 48" WIDE CONCRETE SIDEWALK WITH BRICK PATTERN FROM BUILDING TO PUBLIC WALK.

28 5'-0" RADIUS

29 BLUE AND WHITE HANDICAP PARKING SIGN, REFER TO SITE ELEMENT DETAILS.

SITE DATA

GROSS LOT AREA 136.44 ACRES (60,145 SQ. FT.)
BUILDING FOOTPRINT 11,721 SQ. FT.
NET LOT AREA 56,418 SQ. FT.

BUILDING AREA SUMMARY

WAREHOUSE AREA 6,240 SQ. FT.
FIRST LEVEL LEASABLE 5,208 SQ. FT.
SECOND LEVEL LEASABLE 4,533 SQ. FT.
TOTAL LEASABLE 15,981 SQ. FT.

PARKING CALCULATIONS

WAREHOUSE 6,240/2000 = 4
OFFICES LEASABLE 9141/200 = 49 SPACES

PARKING REQUIRED 53 SPACES INCLUDING 4 HANDICAP
PARKING PROVIDED 56 SPACES INCLUDING 4 HANDICAP

PROJECT NUMBER: 1004300

Application Number: 05 DRB- -01080

Is an Infrastructure List required? Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

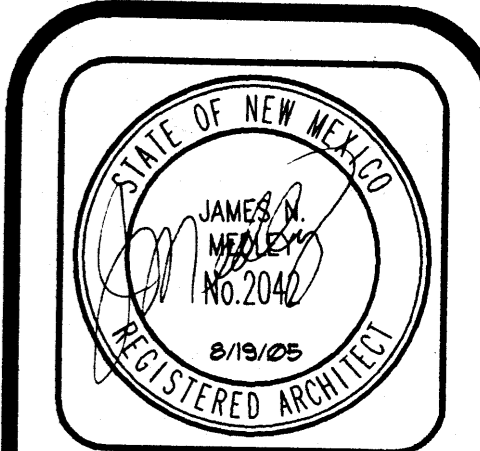
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

*Environmental Health, if necessary
5-13-06

Revised
SDBP

PLANETS DRAWING(S) Site Planning, 8/19/2005 1:24:28 PM



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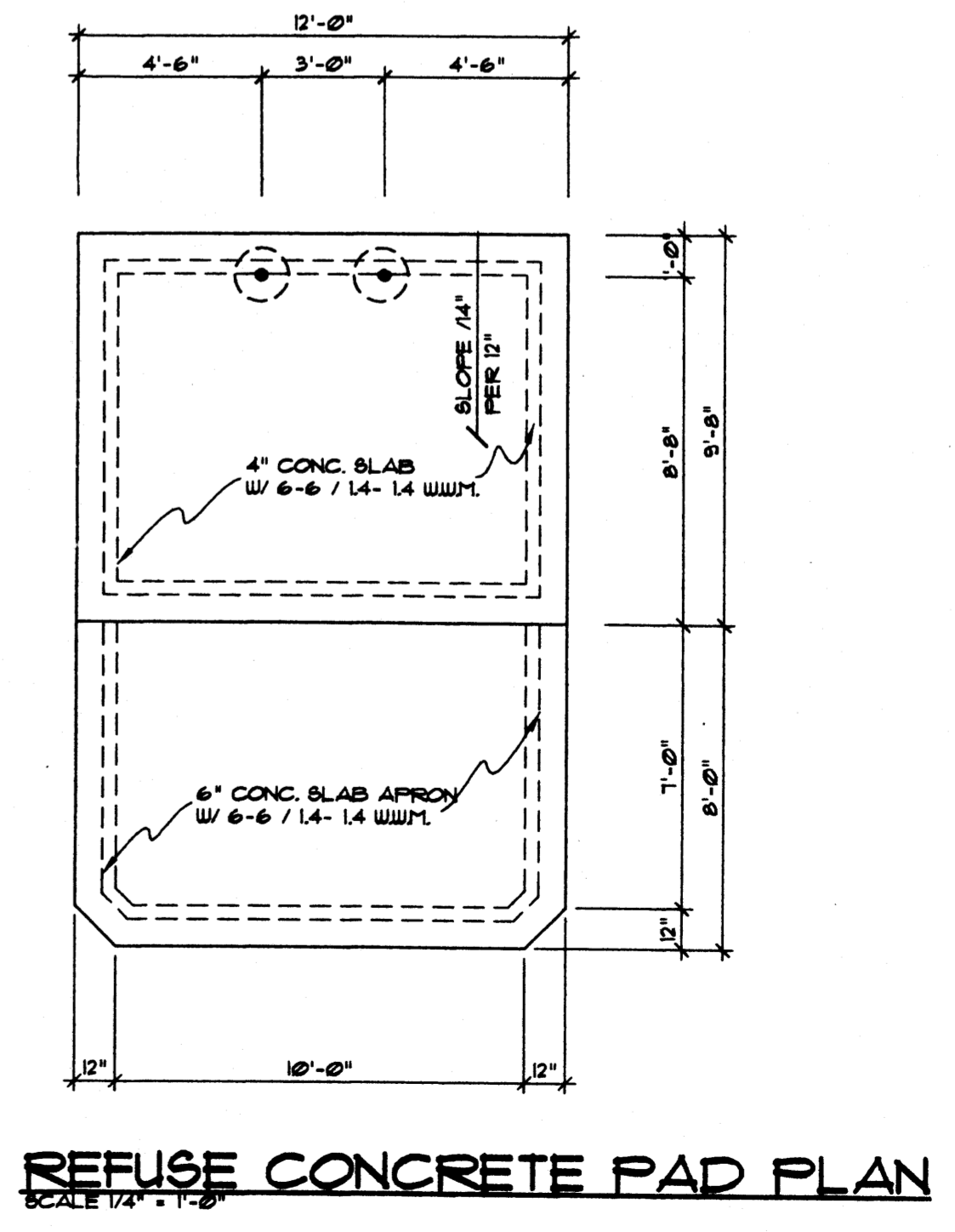
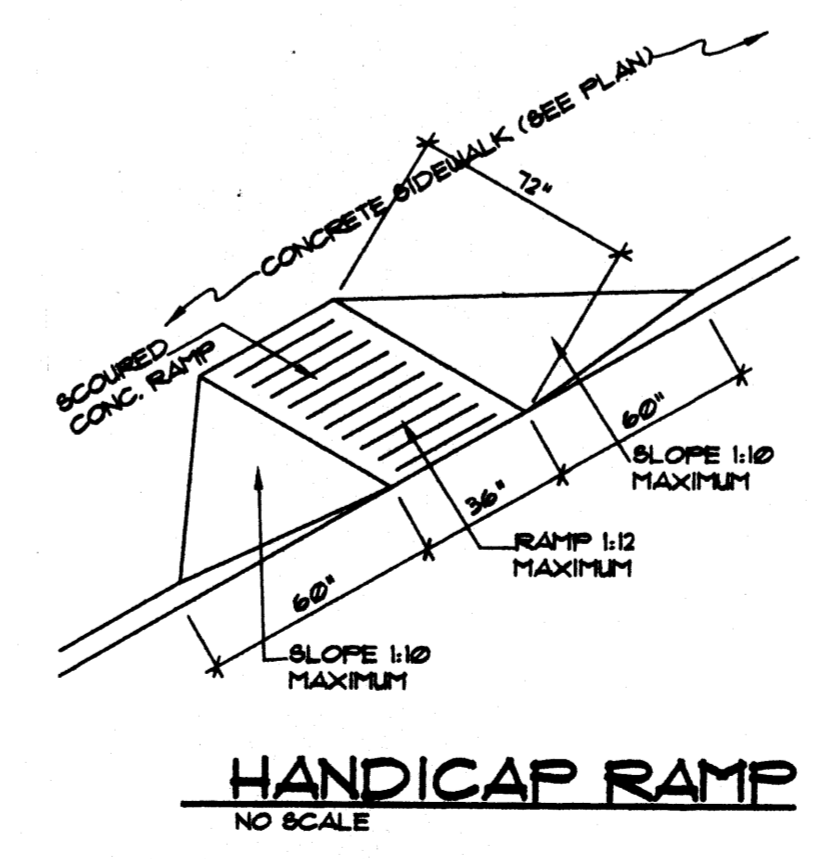
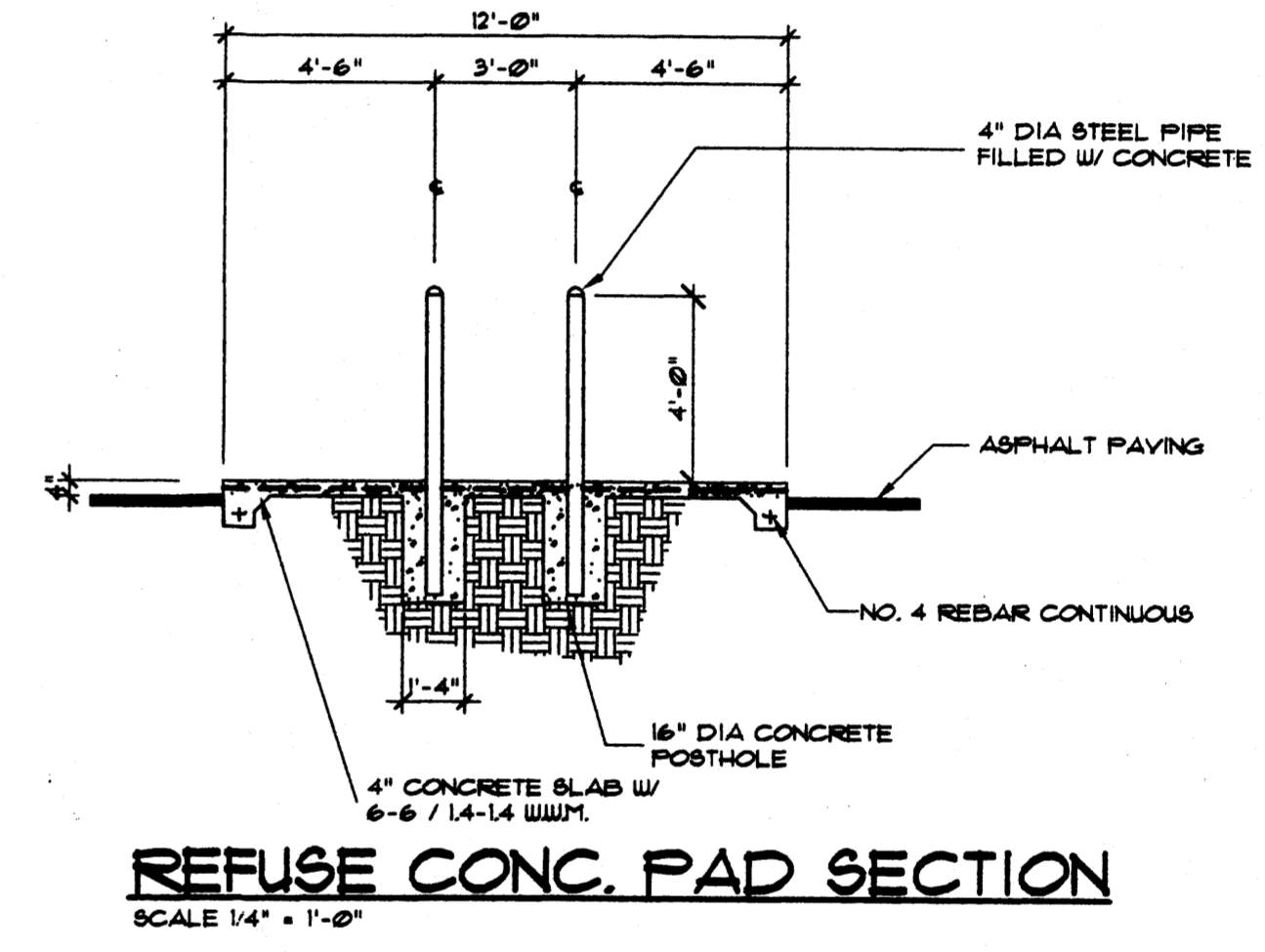
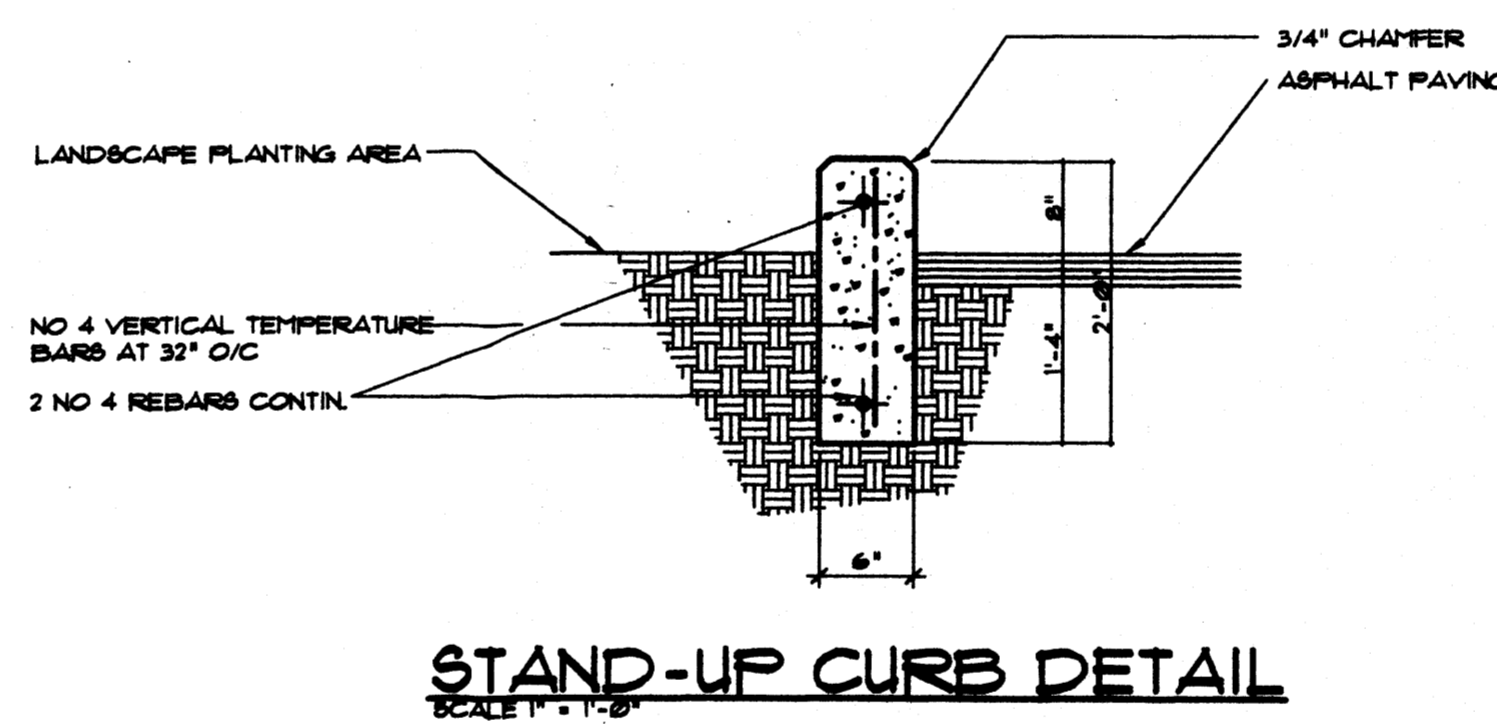
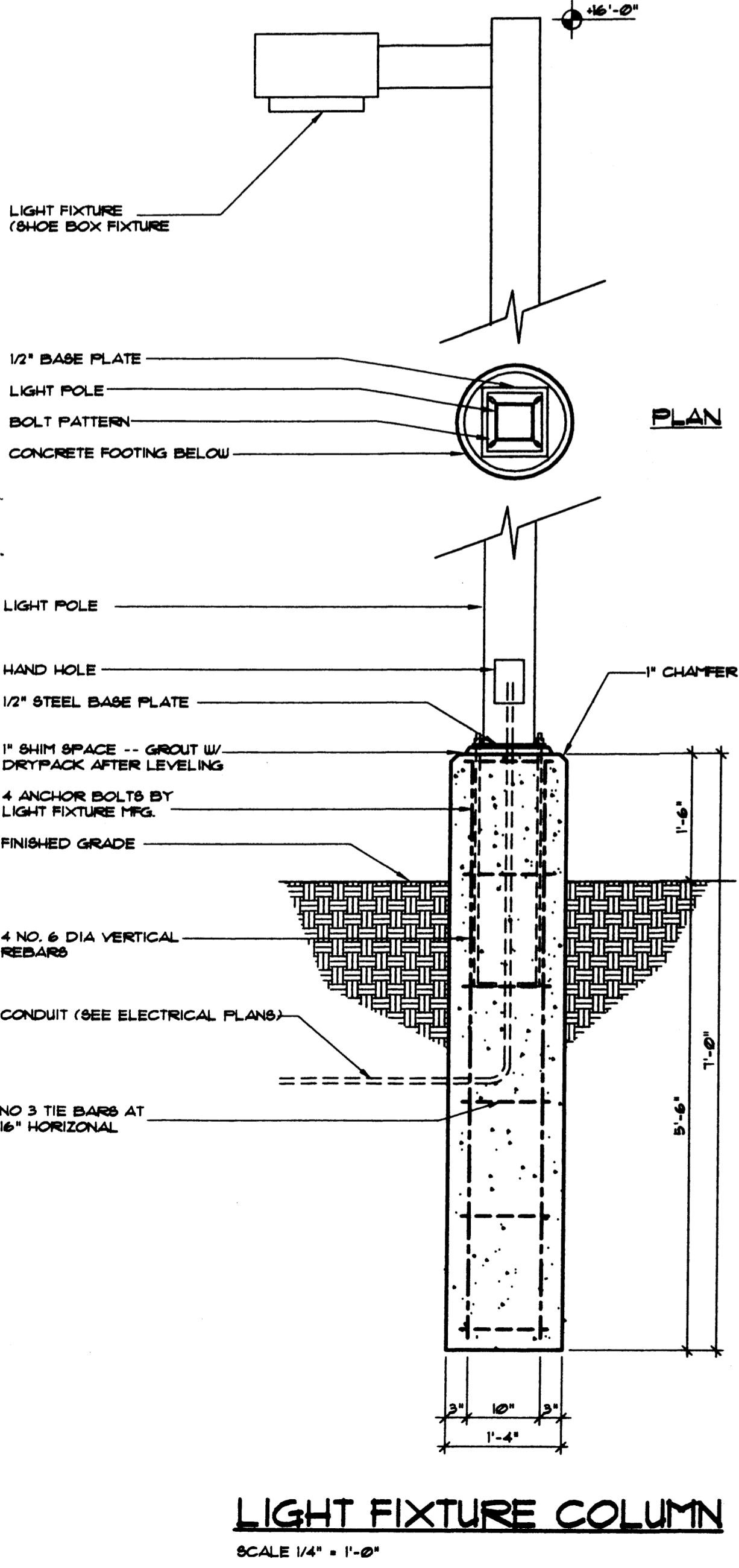
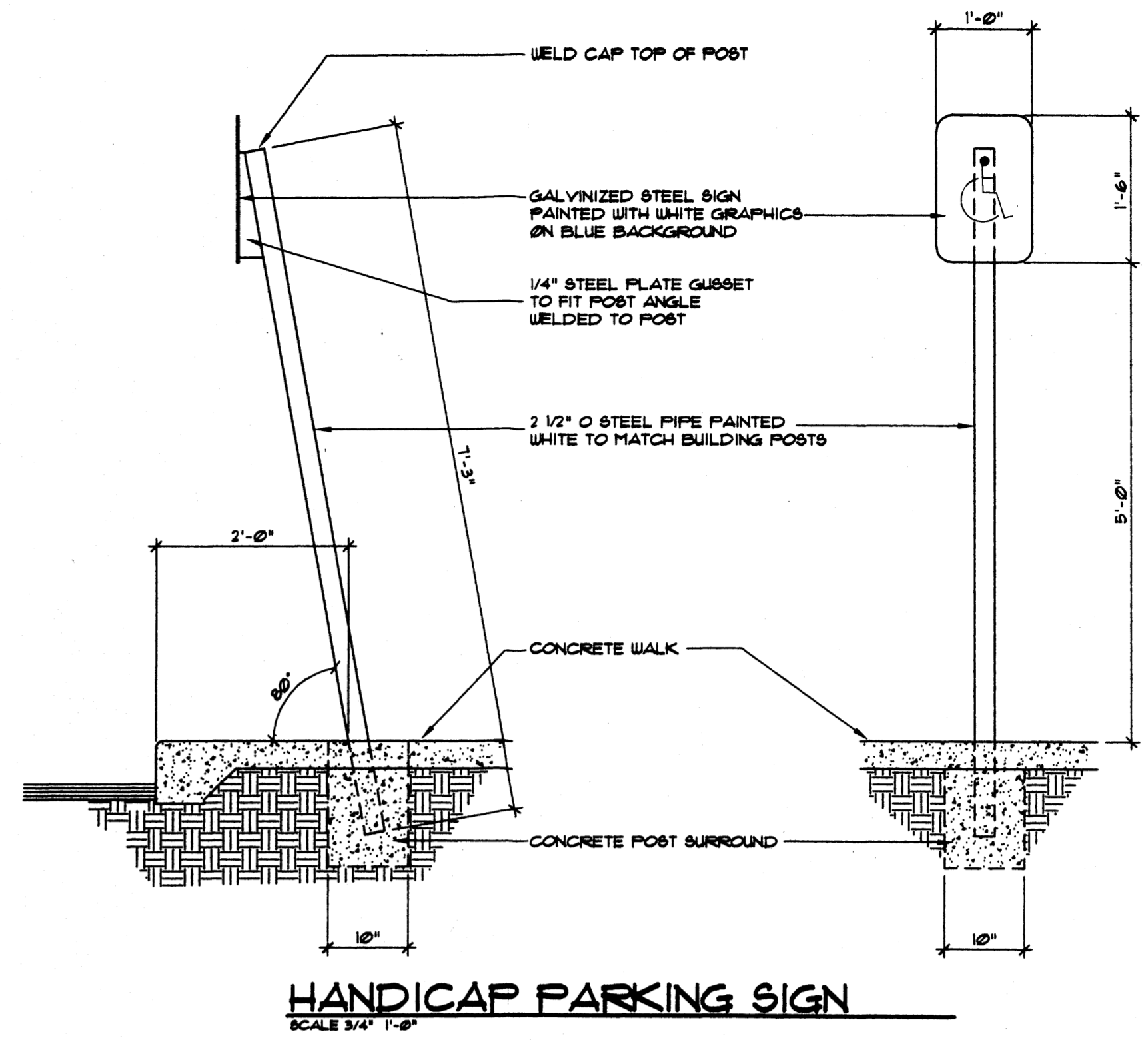
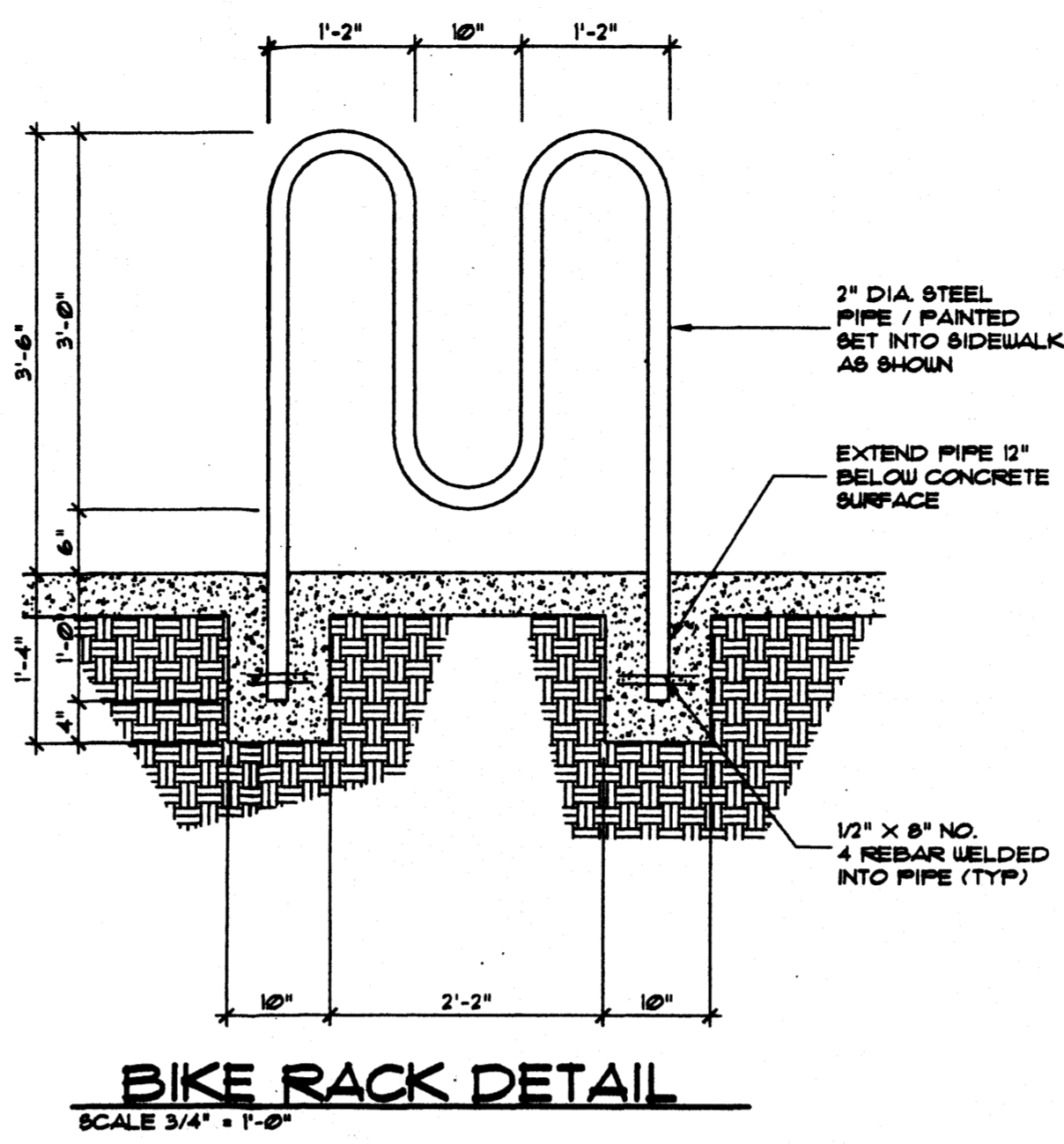
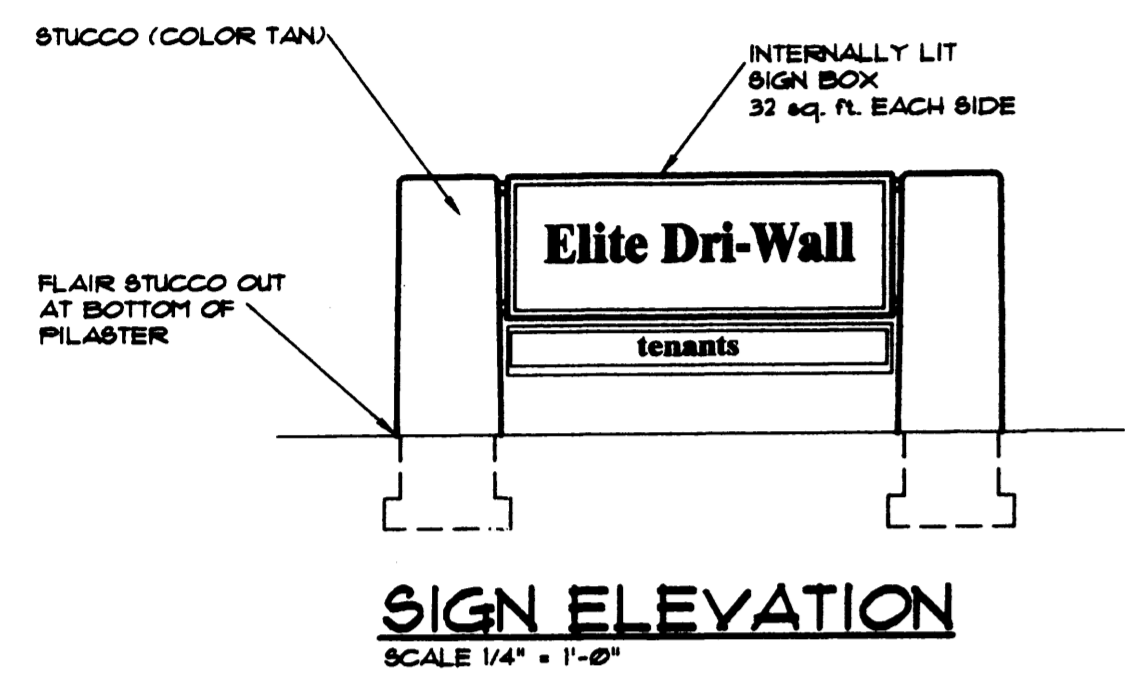
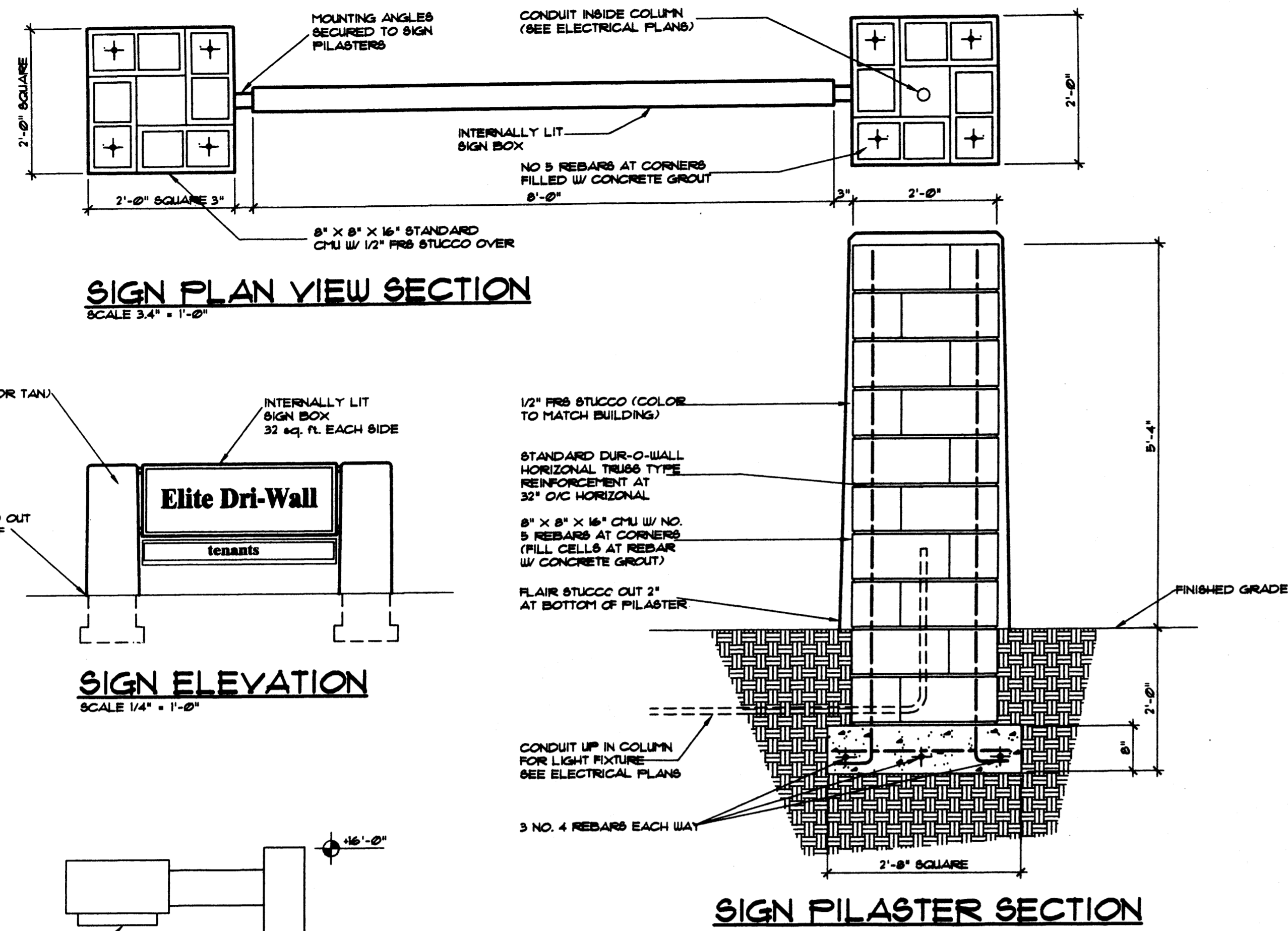
Plan No. 04105
Date: August 05
Drawn by: J.M.
Checked by: J.M.

Project: OFFICEWAREHOUSE
Robert Navarrete
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Sheet: C1



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Plan No.	0425
Date:	June 05
Drawn by:	JMT
Checked by:	JMT

Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
DEVELOPMENT REVIEW BOARD SITE ELEMENTS

Sheet:
C2

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PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Water Use
Trees				
3		Crataegus phaenopyrum Washington Hawthorn	2" B&B	Medium+
12		Fraxinus velutina 'Modesto' Modesto Ash	2" B&B	Medium +
6		Gleditsia triacanthos Honeylocust	2" B&B	Medium
Shrubs/Groundcovers				
16		Cotoneaster Pameyi Clusterberry	5-Gal	Medium
13		Buddleia davidii Butterfly Bush	5-Gal	Medium
6		Caesalpinia gilliesii Yellow Bird of Paradise	5-Gal	Low
14		Cercocarpus ledifolios Curl-leaf Mtn. Mahogany	5-Gal	Low +
20		Cytisus scoparius Scotch Broom	5-Gal	Medium
22		Ericameria nauseosus Chamisa	1-Gal	Low
17		Hesperaloe parviflora Red Yucca	5-Gal	Low+
24		Rosmarinus off. pro. Creeping Rosemary	5-Gal	Low +
26		Prunus besseyi Western Sand Cherry	5-Gal	Medium
20		Rhaphiolepis indica India Hawthorn	5-Gal	Medium
8		Rhus trilobata Three-leaf Sumac	1-Gal	Low+
25		Rosmarinus officinalis Rosemary	5-Gal	Low +
Ornamental Grasses				
21		Miscanthus sinensis 'Gracillimus' Maiden Grass	5-Gal	Medium

SITE DATA

GROSS LOT AREA	70,313 SF
LESS BUILDING(S)	11,727 SF
NET LOT AREA	58,586 SF
REQUIRED LANDSCAPE	8,787 SF
15% OF NET LOT AREA	8,787 SF
PROPOSED LANDSCAPE	14,695 SF
PERCENT OF NET LOT AREA	25 %

REQUIRED STREET TREES
PROVIDED AT 30' O.C. SPACING ALONG STREET 14
REQUIRED PARKING LOT TREES
PROVIDED AT 1 PER 10 SPACES (62 SPACES/10) 7

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE/IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP
IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
AND WATER WASTE ORDINANCE
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

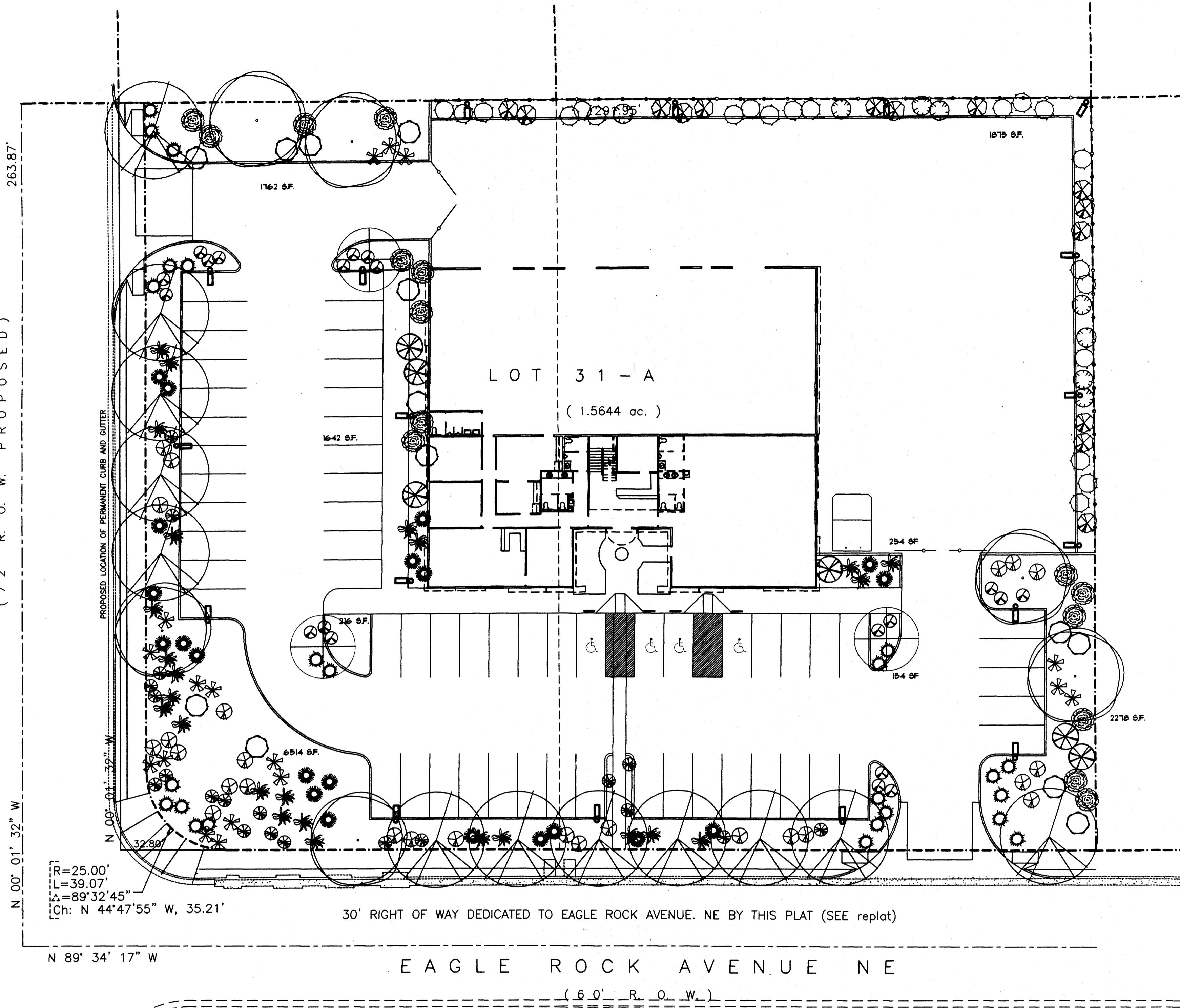
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 50'
FROM A TREE.

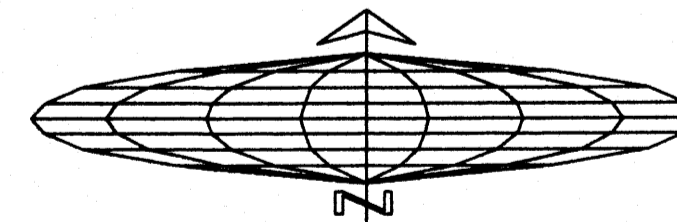
SAN MATEO BOULEVARD NE

(64' R.O.W. EXISTING)
(72' R.O.W. PROPOSED)

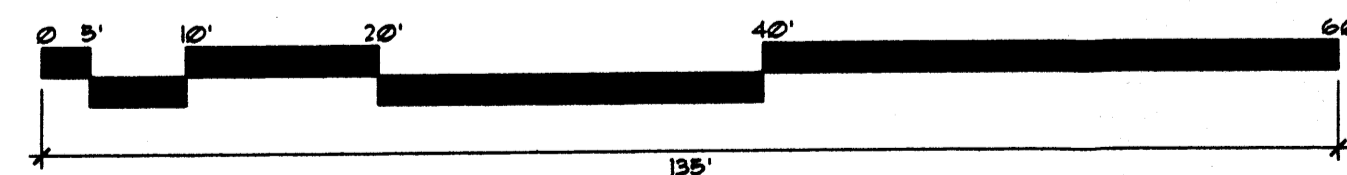


LANDSCAPE PLAN

scale 1" = 20'

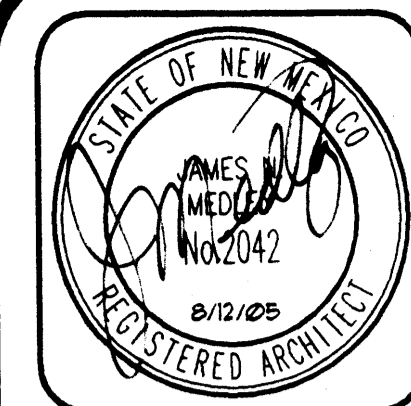
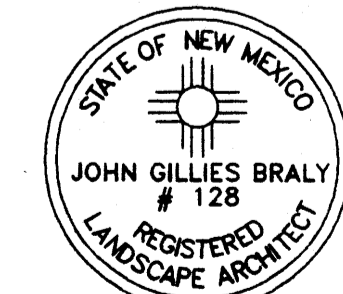


NORTH



**Greening
Better
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Heads**
LANDSCAPE CONTRACTORS
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P.O. BOX 10597
Albuquerque, NM 87184
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505.898.2105 (fax)
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email: jmedley@jim-medley-architect.com
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Plan No.	0405
Date:	August 05
Drawn by:	JNT
Checked by:	JNT

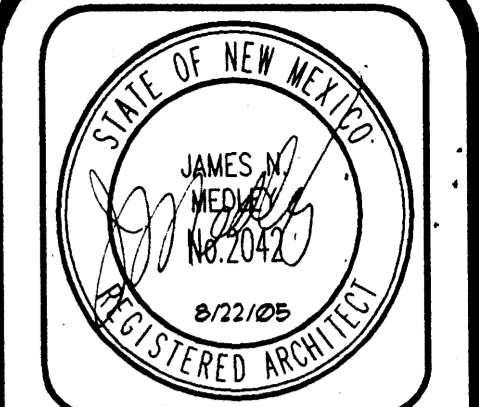
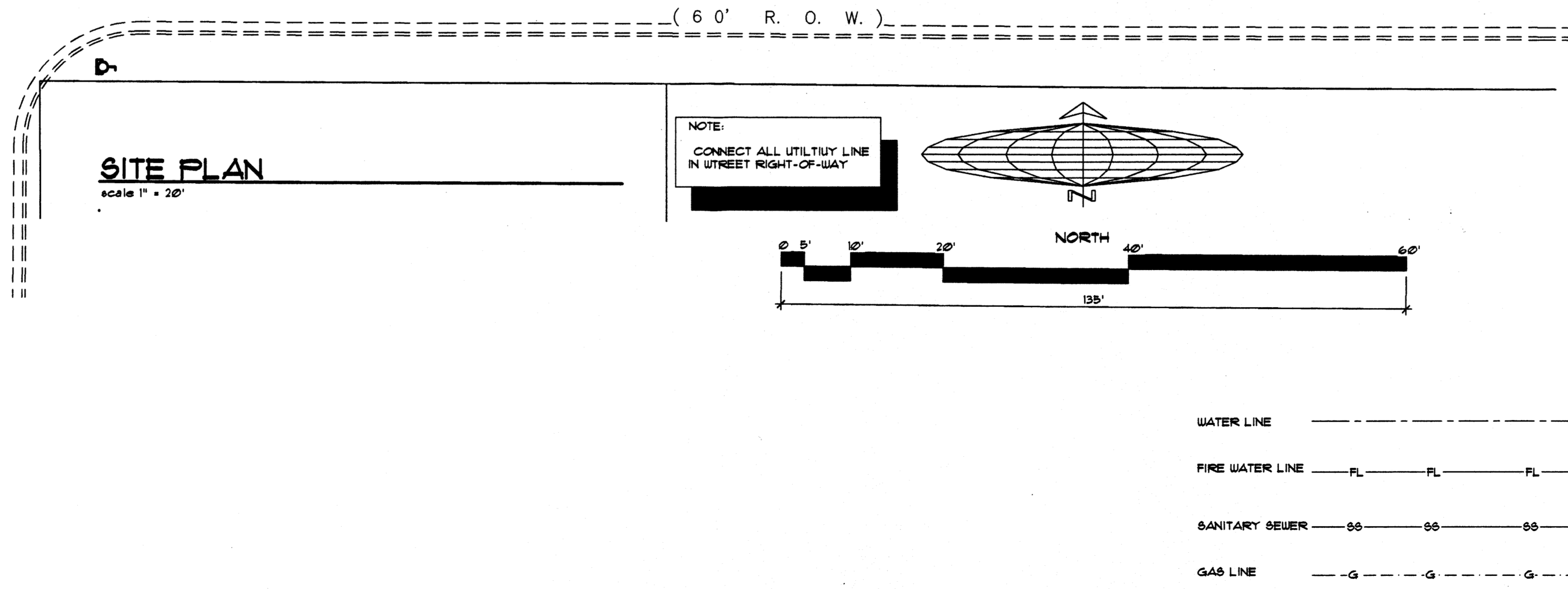
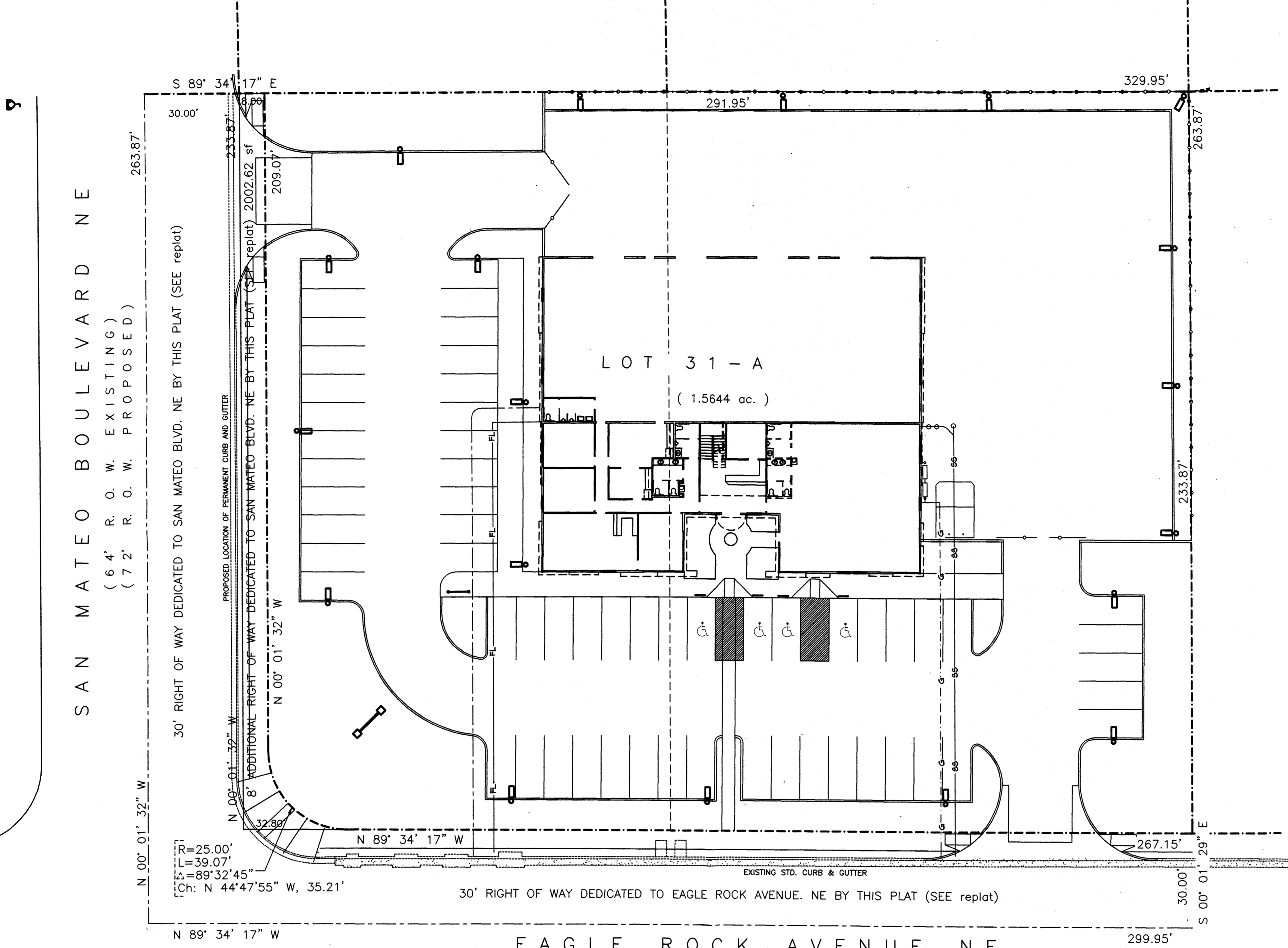
Project: OFFICE/WAREHOUSE
**Robert Navarrette
Elite Dri-Wall**
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
LANDSCAPE PLAN

Sheet:
1

D:\Elite Dri-Wall\1 Landscape plan.dwg, 8/12/2005 9:02:30 PM



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 NCARB Certificate No. 35,695

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Plan No.	0405
Date:	August 05
Drawn by:	JMT
Checked by:	JMT

Project: OFFICE/WAREHOUSE

Robert Navarrette
Elite Dri-Wall
 Albuquerque, New Mexico

No.	Revision / Issue	Date:

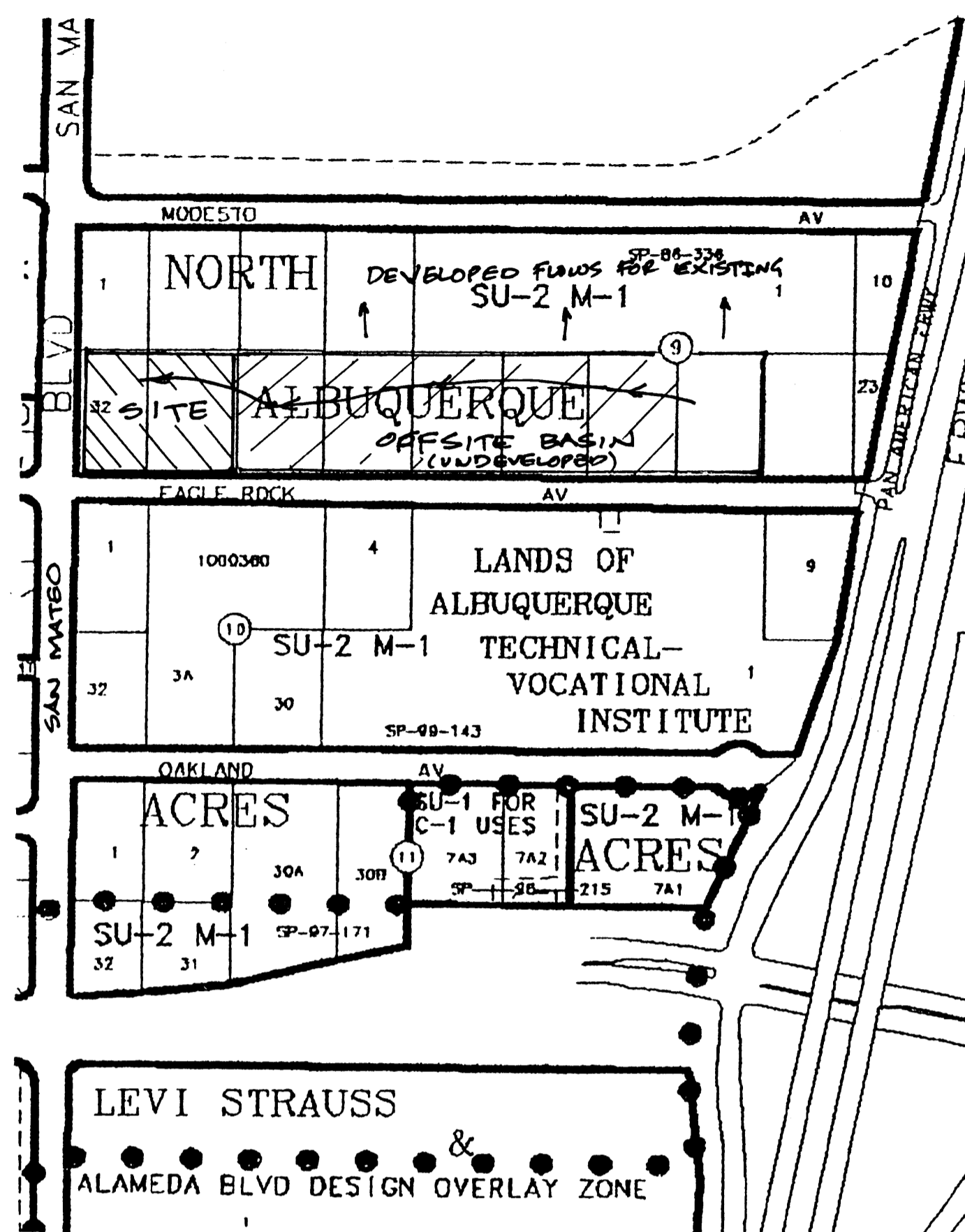
Sheet Description

**PROPOSED
 UTILITY SITE PLAN**

Sheet:

U1

VICINITY MAP (C-18-Z) AND OFFSITE BASIN



- LEGEND**
- WV WATER VALVE
 - WM WATER METER
 - MH SANITARY SEWER MANHOLE
 - SAS SANITARY SEWER DROP
 - W WATER TAP
 - IRR IRRIGATION CONTROL VALVE
 - TS TRAFFIC SIGNAL / BOX
 - PP POWER POLE
 - ANCH ANCHOR
 - LP LIGHT POLE
 - TREE CALIPER NOTED
 - SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
 - EA EDGE OF ASPHALT
 - EA EDGE OF ASPHALT
 - TC TOP OF CURB / CONCRETE
 - FL FLOWLINE
 - BSW BACK OF SIDEWALK
 - CHAIN LINK FENCE
 - CONCRETE BLOCK WALL
 - RR TIE LANDSC. RETAINER
 - OVERHEAD POWER LINE
 - 4958 EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
 - 4958 EXISTING CONTOURS @ 1 FT. INTERVALS
 - 56 PROPOSED CONTOURS @ 1.0' INTERVALS
 - 58.0 PROPOSED SPOT ELEVATION
 - FLOW LINE
 - PROPOSED RETAINER
 - TC TOP OF CONCRETE
 - FL FLOW LINE
 - TSW TOP OF SIDEWALK
 - RIM RIM OF MANHOLE
 - BURIED TELEPHONE LINE

BENCH MARK

BENCH MARK IS ACS STA. "10-C17" ACS Aluminum disk epoxied to top of drop inlet, ENE quadrant of Alameda Blvd. & Jefferson Street, NE ELEV. 5179.24 (NAVD 88)
 TBM
 P-K Nail & disk "8686" set in asphalt curbing at SE corner of site ELEV. 5157.89

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE
- ALL IMPROVEMENTS IN SAN MATEO BOULEVARD, NE MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

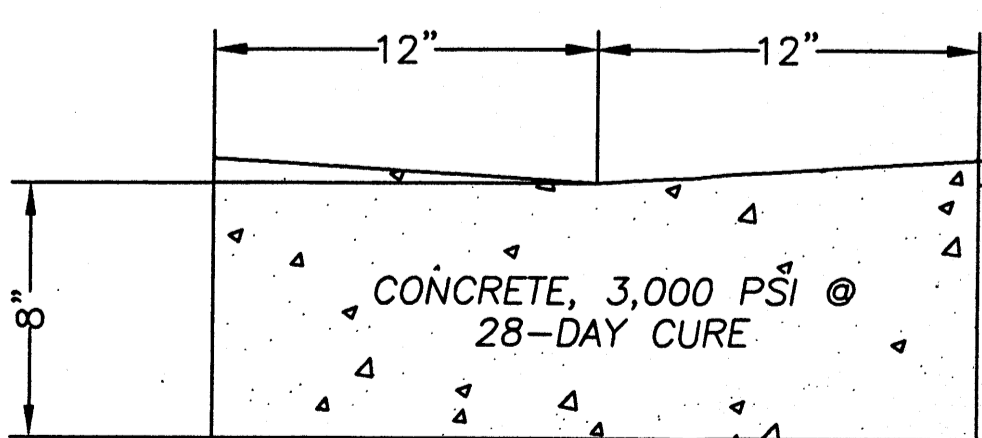
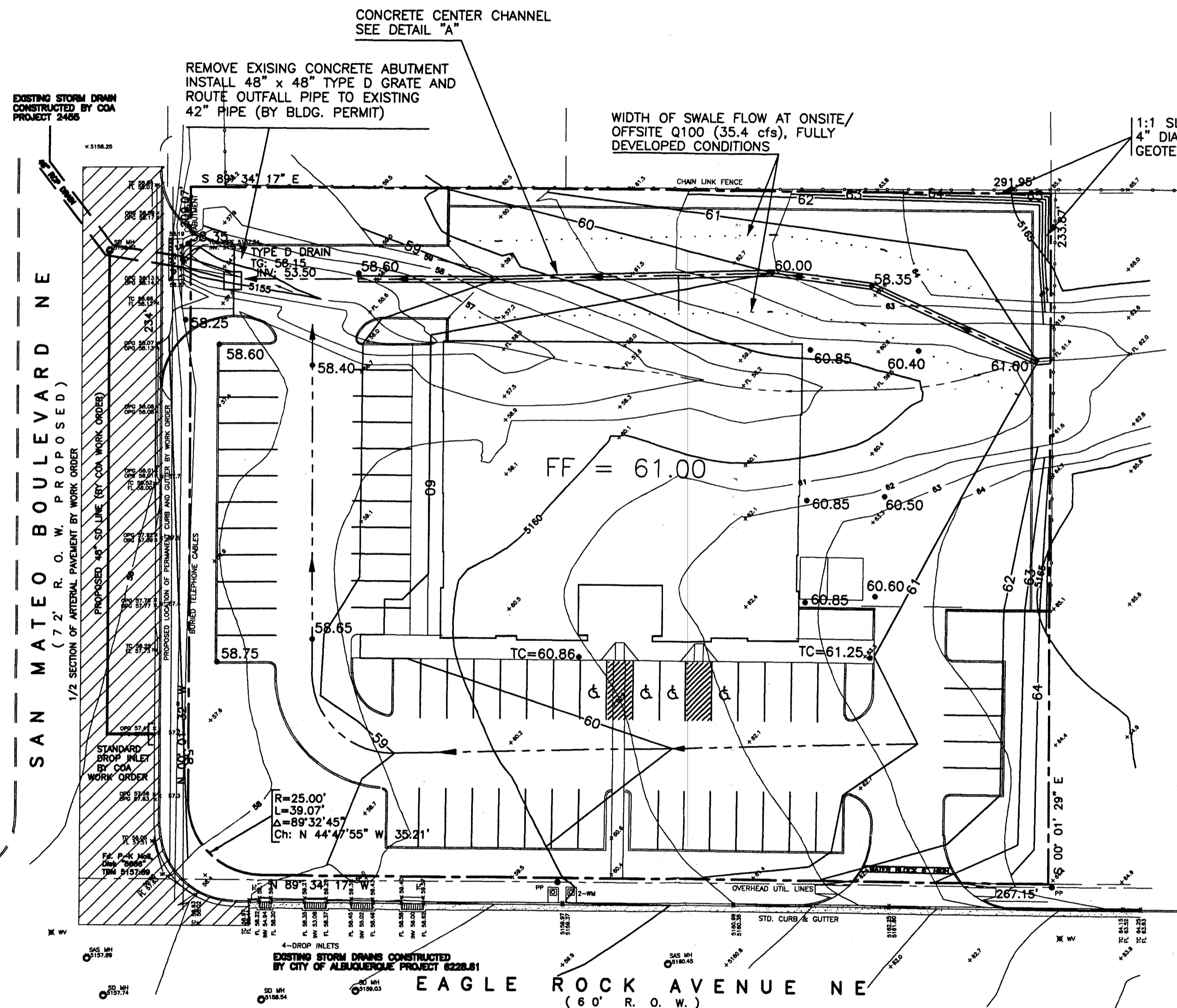
LEGAL DESCRIPTION / FLOOD NOTE

Lots numbered Thirty-one (31) and Thirty-two (32), in Block numbered Nine (9), Tract A, Unit B, NORTH ALBUQUERQUE ACRES, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936.

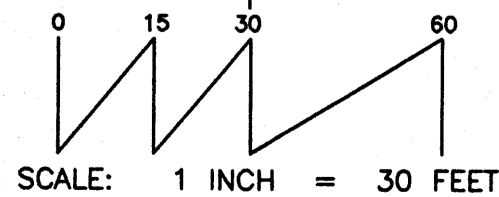
The above described property is located within Zone X, Community Panel No. 350002 0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

DRAINAGE CONCEPT:

THIS SITE CURRENTLY FREE DISCHARGES TO THE CULVERT THAT DRAINS INTO THE SOUTH LA CUEVA CHANNEL. THE PROPOSED DRAINAGE CONCEPT IS TO CONTINUE TO FREE DISCHARGE DRAIN TO THE SOUTH LA CUEVA CHANNEL VIA EXISTING STORM DRAINS LOCATED WITHIN SAN MATEO BOULEVARD, NE. OFFSITE FLOWS WILL BE ACCOMMODATED VIA A SWALE THROUGH THE PARKING LOT. THE ULTIMATE BUILDOUT ON THE OFFSITE CONTRIBUTORY FLOWS WILL CONTRIBUTE A TOTAL OF 27.9 CFS TO THE SUBJECT SITE. THESE FLOWS WILL BE CONTAINED IN A TRIANGULAR CHANNEL WITH 6:1 SIDE SLOPES. DEPTH OF THE CHANNEL WILL BE 0.5 FEET AND TOP WIDTH OF THE CHANNEL AT 100 YEAR FLOOD CONDITIONS WILL BE 10.3 FEET. BOTH THE ONSITE AND OFFSITE FLOWS WILL BE DIRECTED INTO A TYPE D INLET LOCATED AT THE NW CORNER OF THE PROPERTY THAT WILL DRAIN INTO THE EXISTING 42" PIPE IN PLACE.



DETAIL "A"
 CONCRETE CENTER CHANNEL
 NO SCALE



ONSITE HYDROLOGY

DRAINAGE DATA - Elite Dri-Wall
 THIS SITE LIES WITHIN PRECIPITATION ZONE 3

Condition	Storm Return Period, Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	0	0.66	1.87	0.0	0.00
		B	70,198	0.92	2.60	5,381.8	4.19
		C	0	1.29	3.45	0.0	0.00
		D	0	2.36	5.02	0.0	0.00
EXISTING	10	A	0	0.19	0.58	0.0	0.00
		B	70,198	0.36	1.19	2,105.9	1.92
		C	0	0.62	2.00	0.0	0.00
		D	0	1.50	3.39	0.0	0.00
DEVELOPED	100	A	0	0.66	1.87	0.0	0.00
		B	10,771	0.92	2.60	825.8	0.64
		C	0	1.29	3.45	0.0	0.00
		D	59,427	2.36	5.02	11,687.4	6.85
DEVELOPED	10	A	0	0.19	0.58	0.0	0.00
		B	10,771	0.36	1.19	323.1	0.29
		C	0	0.62	2.00	0.0	0.00
		D	59,427	1.50	3.39	7,428.4	4.62
TOTAL (EXT)	100					5,381.8	4.2
	10					2,105.9	1.9
TOTAL (DEV)	100					12,513.2	7.5
	10					7,751.6	4.9

FLOW RATE WILL INCREASE BY 2.6 CFS AND 3.0 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 7131 CUBIC FEET FOR THE 100-YEAR STORM & 5646 CUBIC FEET FOR THE 10-YEAR STORM.

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW TO THE PROPERTY IS A BASIN OF APPROXIMATELY 6 ACRES. OFFSITE FLOWS ARE BASED UPON FULLY DEVELOPED CONDITIONS WITH A MAXIMUM 85% IMPERMEABLE SURFACE AND 15% LANDSCAPING. A FLOW INCREASE OF 12.3 CFS IS EXPECTED AT FULLY DEVELOPED CONDITIONS. DRAINAGE SWALE AND DROP INLETS ARE DESIGNED TO FULLY DEVELOPED CONDITIONS OF 27.9 CFS.

DRAINAGE DATA - Offsite flows, Elite Dri-Wall
 THIS SITE LIES WITHIN PRECIPITATION ZONE 3

Condition	Storm Return Period, Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	0	0.66	1.87	0.0	0.00
		B	261,360	0.92	2.60	20,037.6	15.60
		C	0	1.29	3.45	0.0	0.00
		D	0	2.36	5.02	0.0	0.00
EXISTING	10	A	0	0.19	0.58	0.0	0.00
		B	261,360	0.36	1.19	7,840.8	7.14
		C	0	0.62	2.00	0.0	0.00
		D	0	1.50	3.39	0.0	0.00
DEVELOPED	100	A	0	0.66	1.87	0.0	0.00
		B	39,204	0.92	2.60	3,005.6	2.34
		C	0	1.29	3.45	0.0	0.00
		D	222,156	2.36	5.02	43,690.7	25.60
DEVELOPED	10	A	0	0.19	0.58	0.0	0.00
		B	39,204	0.36	1.19	1,176.1	1.07
		C	0	0.62	2.00	0.0	0.00
		D	222,156	1.50	3.39	27,769.5	17.29
TOTAL (EXT)	100					20,037.6	15.6
	10					7,840.8	7.1
TOTAL (DEV)	100					46,696.3	27.9
	10					28,945.6	18.4

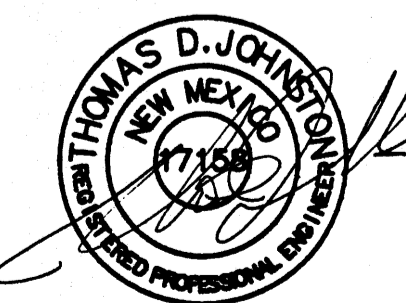
FLOW RATE WILL INCREASE BY 12.3 CFS AND 11.3 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 26659 CUBIC FEET FOR THE 100-YEAR STORM & 21105 CUBIC FEET FOR THE 10-YEAR STORM.

NOTICE TO CONTRACTOR

- PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.
- CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.
- SITE IS SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.
- ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158



DRAINAGE AND GRADING PLAN
 ELITE DRI-WALL

TDC ENGINEERING, INC. (505)266-7256
 330 LOUISIANA BLVD. NE ALBUQUERQUE, NM 87108
 Fax: (505) 255-2887

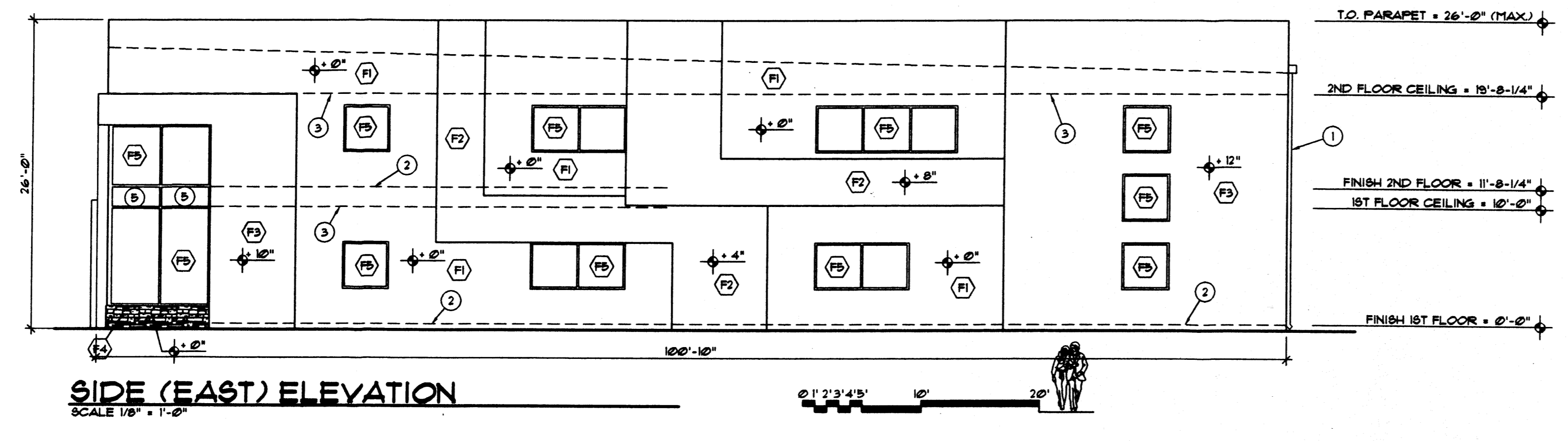
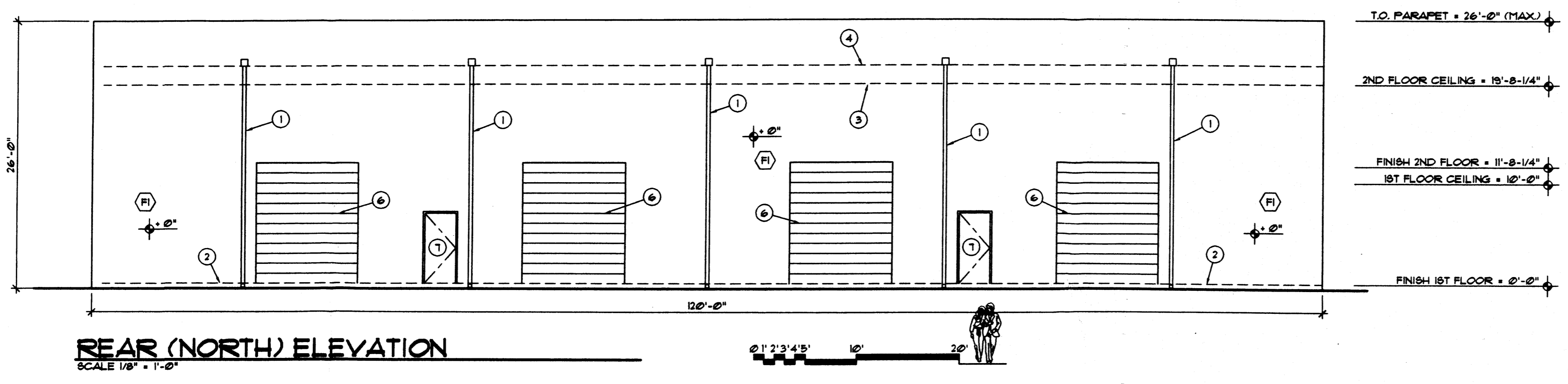
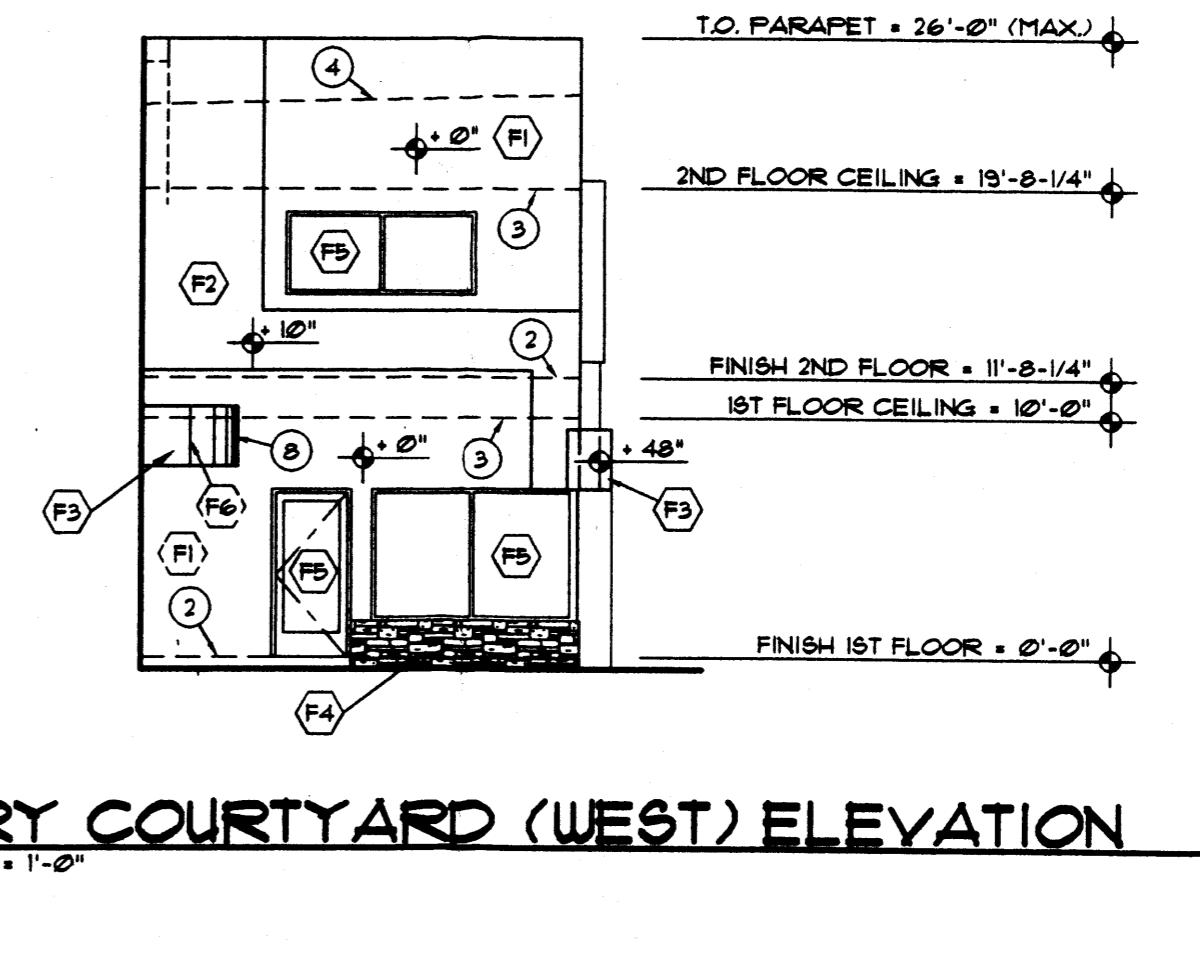
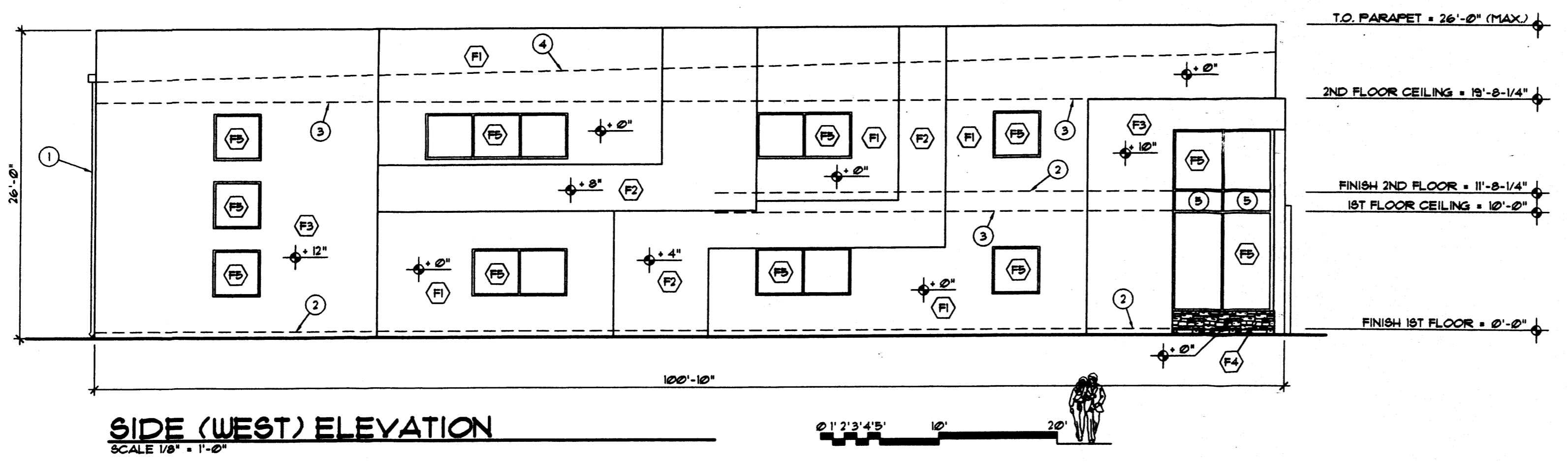
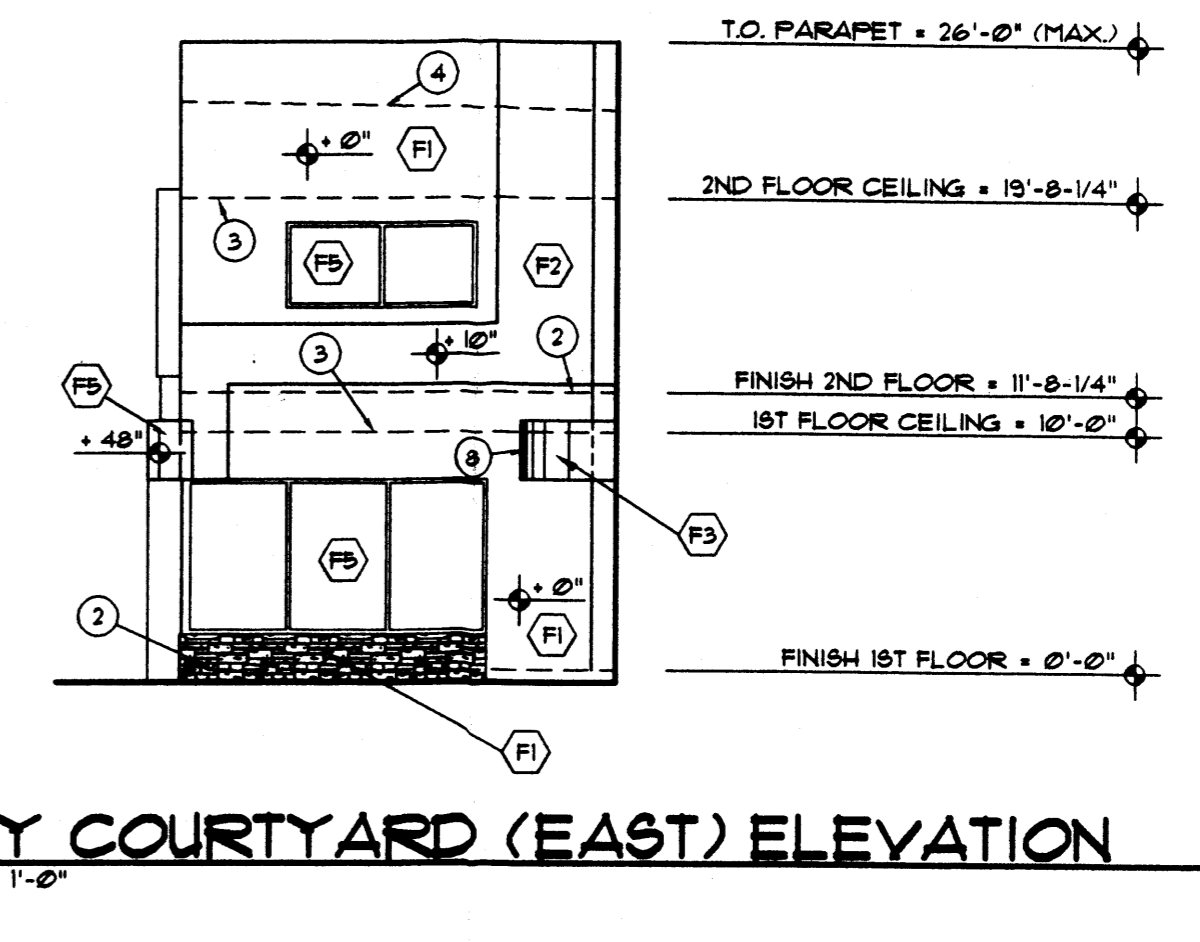
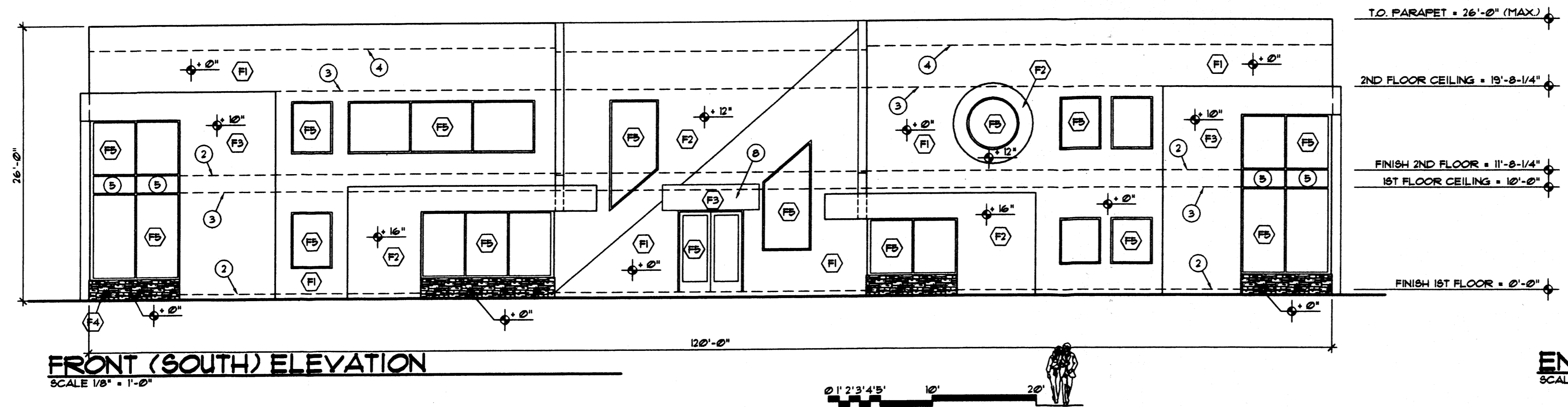
STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 8/22/05

JIM MEDLEY, Architect
 3100 Christine N.E. Albuquerque, NM 87111
 Phone (505) 266-3814 Fax (505) 264-5693

OFFICEWAREHOUSE
Robert Navarrette
Elite Dri-Wall
 Albuquerque, New Mexico

Sheet Description

Sheet:



Exterior Finishes

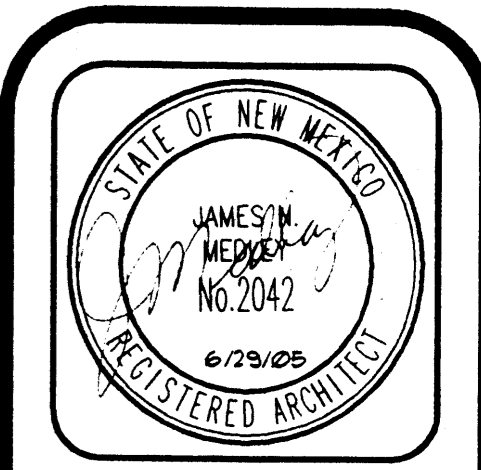
- (F1) MAIN STUCCO COLOR (PALE BEIGE) (RALPH LAUREN-FAIRVIEW DOME)
- (F2) ACCENT STUCCO COLOR #1 (MEDIUM BEIGE) (RALPH LAUREN-LYNHURST MUSHROOM)
- (F3) ACCENT STUCCO COLOR #2 (DARK BROWN) (RALPH LAUREN-DRIED THISTLE)
- (F4) CULTURED STONE VENEER (BROWN TONES)
- (F5) ALUMINUM STOREFRONT GLAZING: BRONZE ANODIZED FINISH

Notes Specific to Sheet

- 1 SCUPPER AND DOWNSPOUT, PAINT TO MATCH ADJACENT WALL COLOR.
- 2 FLOOR LINE BEYOND.
- 3 CEILING LINE BEYOND.
- 4 ROOF LINE BEYOND.
- 5 SPANDREL GLASS TO HIDE FLOOR STRUCTURE.
- 6 METAL OVERHEAD DOOR, PAINT TO MATCH ADJACENT WALL COLOR.
- 7 HOLLOW METAL DOOR AND FRAME, PAINT TO MATCH ADJACENT WALL COLOR.
- 8 CURVED ENTRY COVER.

± 12" MARK INDICATES SURFACE PROJECTION FROM STRUCTURAL WALL.

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Plot No.	0425
Date:	June 05
Drawn by:	JMT
Checked by:	JMT

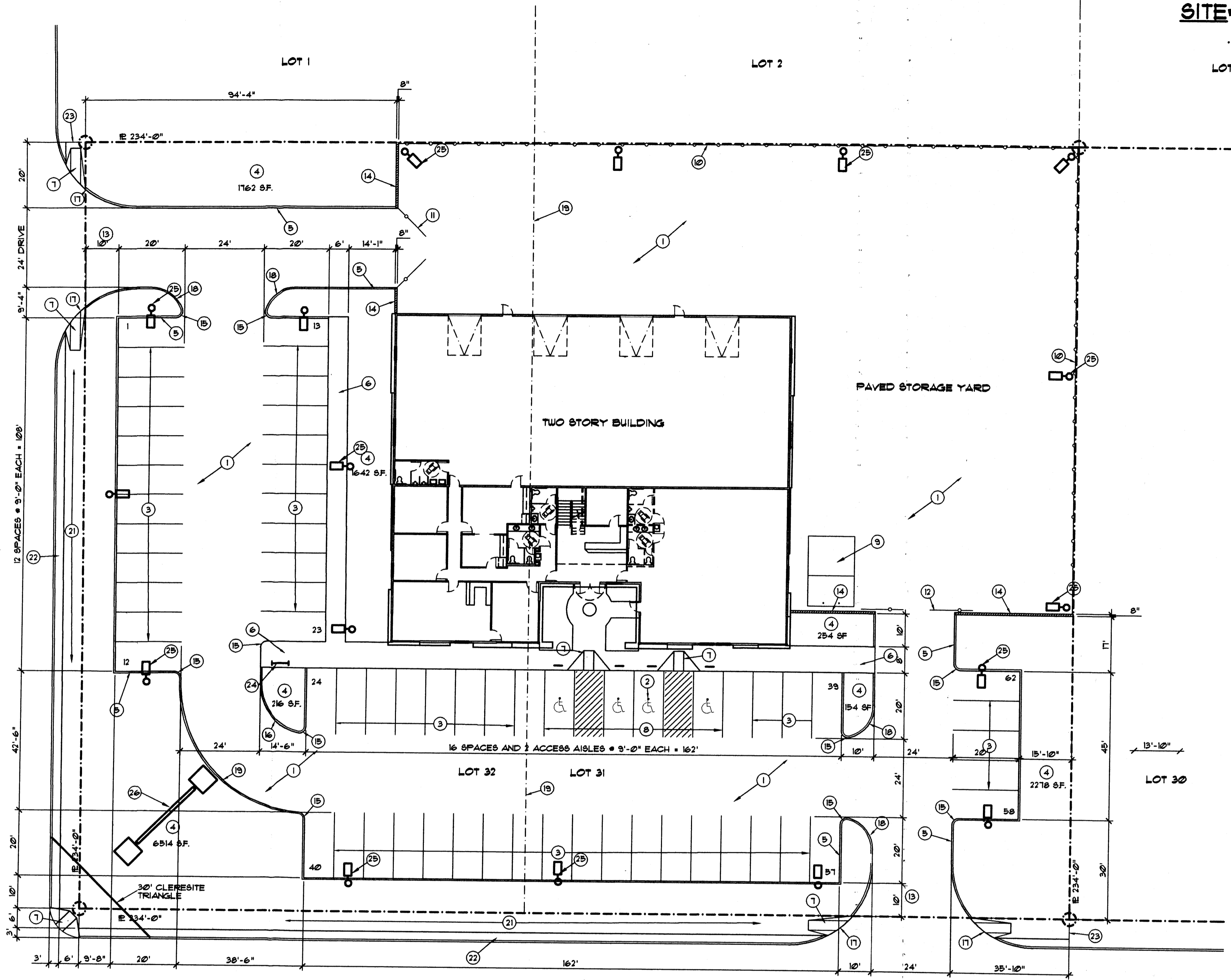
Project: OFFICE/WAREHOUSE
Robert Navarrette
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description:
PRELIMINARY EXTERIOR ELEVATIONS

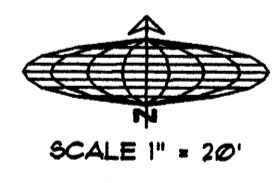
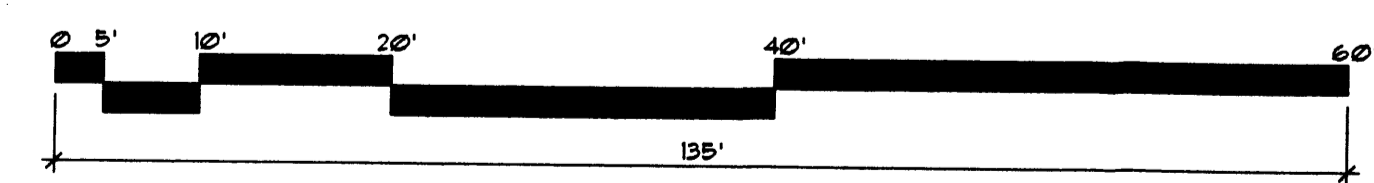
Sheet:
A1

SAN MATEO BLVD. N.E.
(64' R.O.W.)



EAGLE ROCK AVENUE N.E.
(60' R.O.W.)

SITE PLAN
SCALE 1" = 20'



LEGAL DESCRIPTION:
NORTH ALBUQUERQUE ACRES
LOTS 31 & 32, TRACT A, UNIT B, BLOCK 9
ALBUQUERQUE, NEW MEXICO
ZONE ATLAS PAGE: C-18-Z

SITE DATA:
GROSS LOT AREA: 10,313 SF. (1.614 ACRES)
BUILDING FOOTPRINT: 11,121 SF.
NET LOT AREA: 50,586 SF.
LANDSCAPE AREA: 14,167 SF. (24% OF NET LOT)

BUILDING AREA SUMMARY:

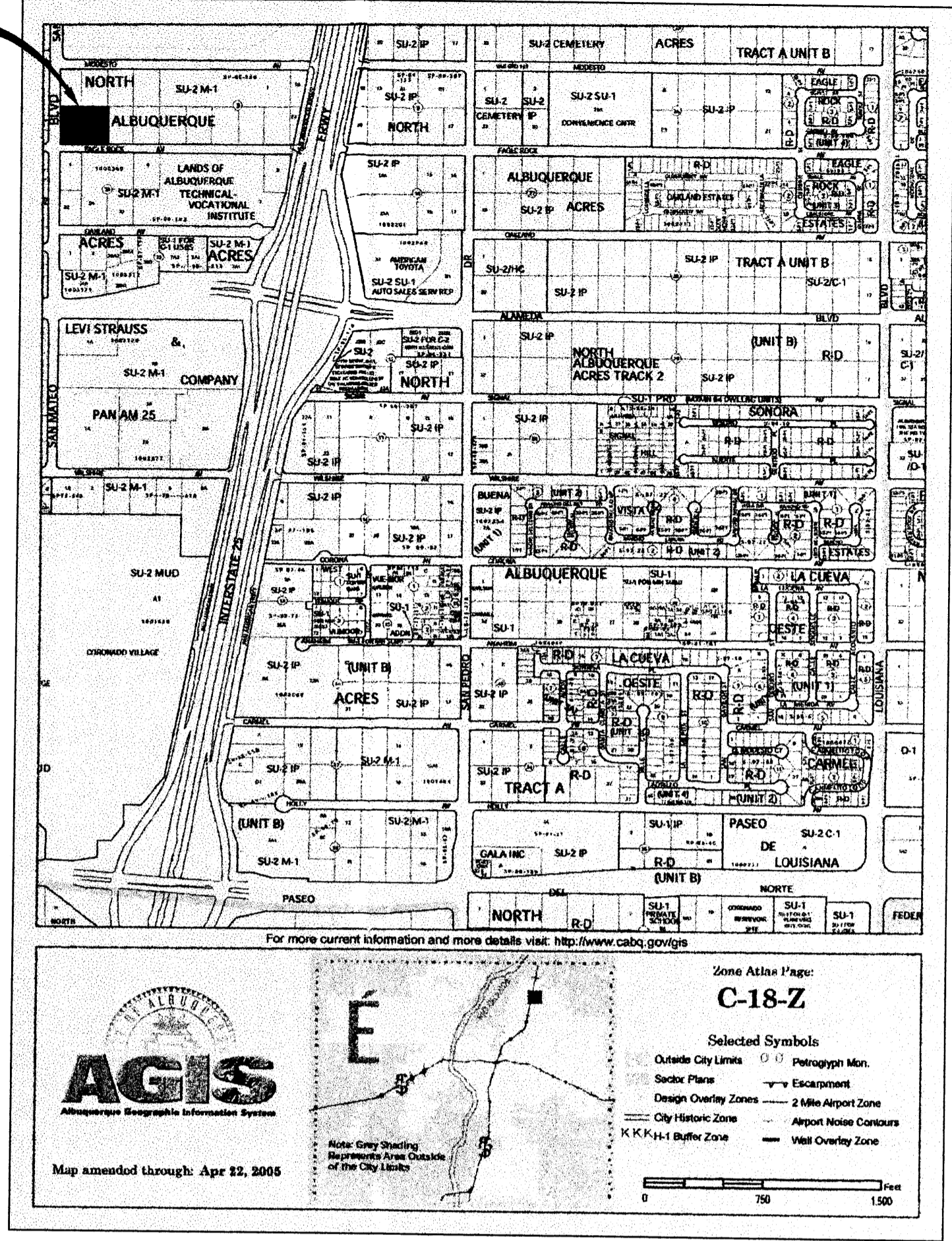
WAREHOUSE AREA	6,240	SQ. FT.
FIRST LEVEL LEASABLE	5,208	SQ. FT.
SECOND LEVEL LEASABLE	4,933	SQ. FT.
TOTAL LEASABLE	10,141	SQ. FT.

PARKING CALCULATIONS:
WAREHOUSE: 1/100 = 4
OFFICES LEASABLE: 1/100 = 43 SPACES
PARKING REQUIRED: 53 INCLUDING 4 HANDICAP
PARKING PROVIDED: 62 INCLUDING 4 HANDICAP

Notes Specific to Sheet

- ① ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
- ② BLUE PAINTED HANDICAP SYMBOL, TYP. OF 4.
- ③ 3" WIDE YELLOW STRIPING. (TYPICAL)
- ④ LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- ⑤ 6" STANDUP CONCRETE CURB.
- ⑥ CONCRETE SIDEWALK PER DIMENSION SHOWN.
- ⑦ HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE.
- ⑧ 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
- ⑨ CONCRETE DUMPSTER PAD.
- ⑩ 6'-0" HIGH CHAIN LINK FENCE W/ CONCERTINA WIRE ABOVE. TYPICAL AROUND STORAGE YARD.
- ⑪ TWO 12'-0" WIDE WROUGHT IRON SWINGING GATES.
- ⑫ TWO 12'-0" WIDE WROUGHT IRON ROLLING GATES.
- ⑬ NEW CONCRETE CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
- ⑭ 6" HIGH SPLIT-FACE CMU WALL FROM NEW BUILDING TO PROPERTY LINE. COLOR TO COMPLEMENT BUILDING COLORS.
- ⑮ 2' RADIUS.
- ⑯ 15' RADIUS.
- ⑰ 25' RADIUS.
- ⑱ 10' RADIUS.
- ⑲ 33' RADIUS.
- ⑳ EXISTING PROPERTY LINE BETWEEN LOTS 31 & 32 TO BE REMOVED BY REPLAT.
- ㉑ NEW 6" WIDE CONCRETE WALK STARTING AT PROPERTY LINE AND EXTENDING TOWARDS STREET.
- ㉒ PLANTING STRIP BETWEEN NEW SIDEWALK AND CURB.
- ㉓ NEW WALK CONSTRUCTION TO END AT PROPERTY LINE.
- ㉔ BIKE RACK FOR 3 BIKES. SEE DETAIL.
- ㉕ SITE LIGHTING FIXTURE. SEE DETAIL.
- ㉖ MONUMENT SIGN. SEE DETAIL.

SITE



PROJECT NUMBER: _____

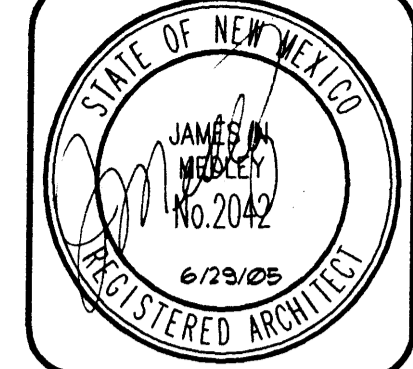
Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	_____
<i>Michael Holton</i> Solid Waste Management	_____	Date	6-30-05
DRB Chairperson, Planning Department	_____	Date	_____

*Environmental Health, if necessary



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Plan No. 0405
Date: June 05
Drawn by: JMT
Checked by: JMT

Project: OFFICE/WAREHOUSE
Robert Navarrete
Elite Dri-Wall
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
PROPOSED SITE PLAN

Sheet:
C1