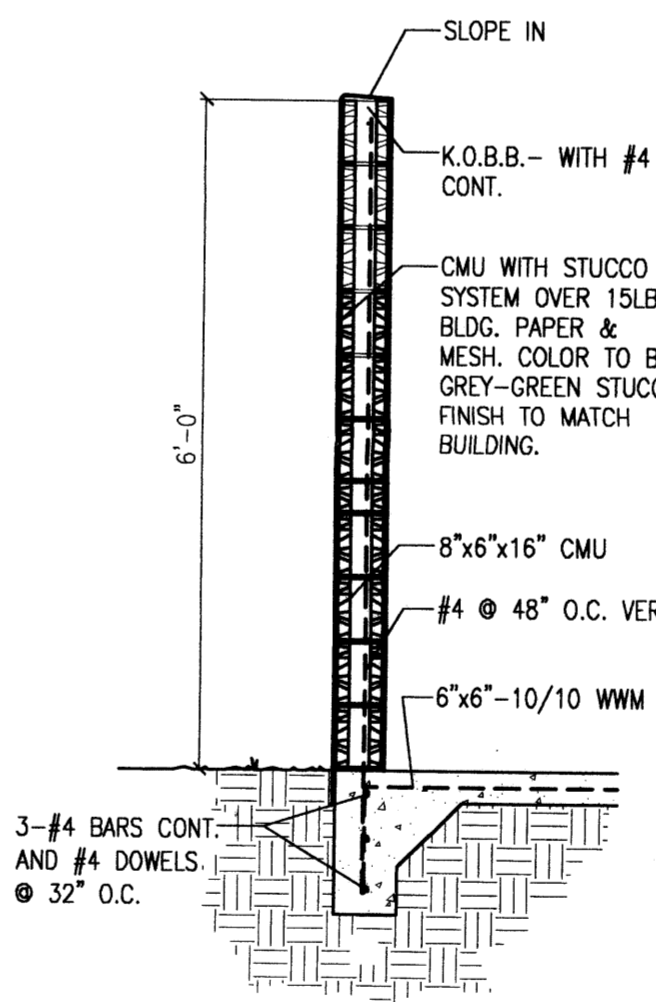
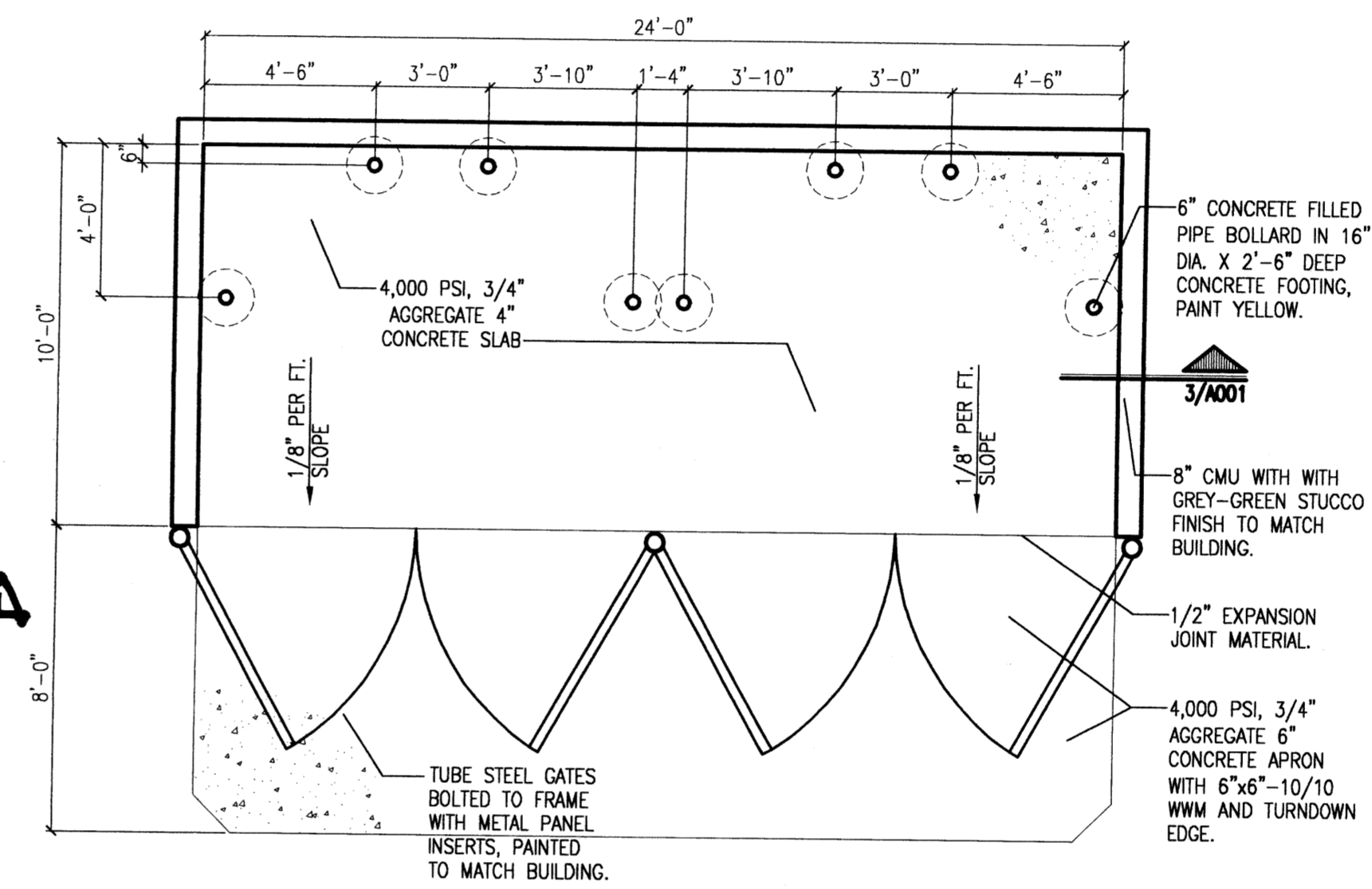
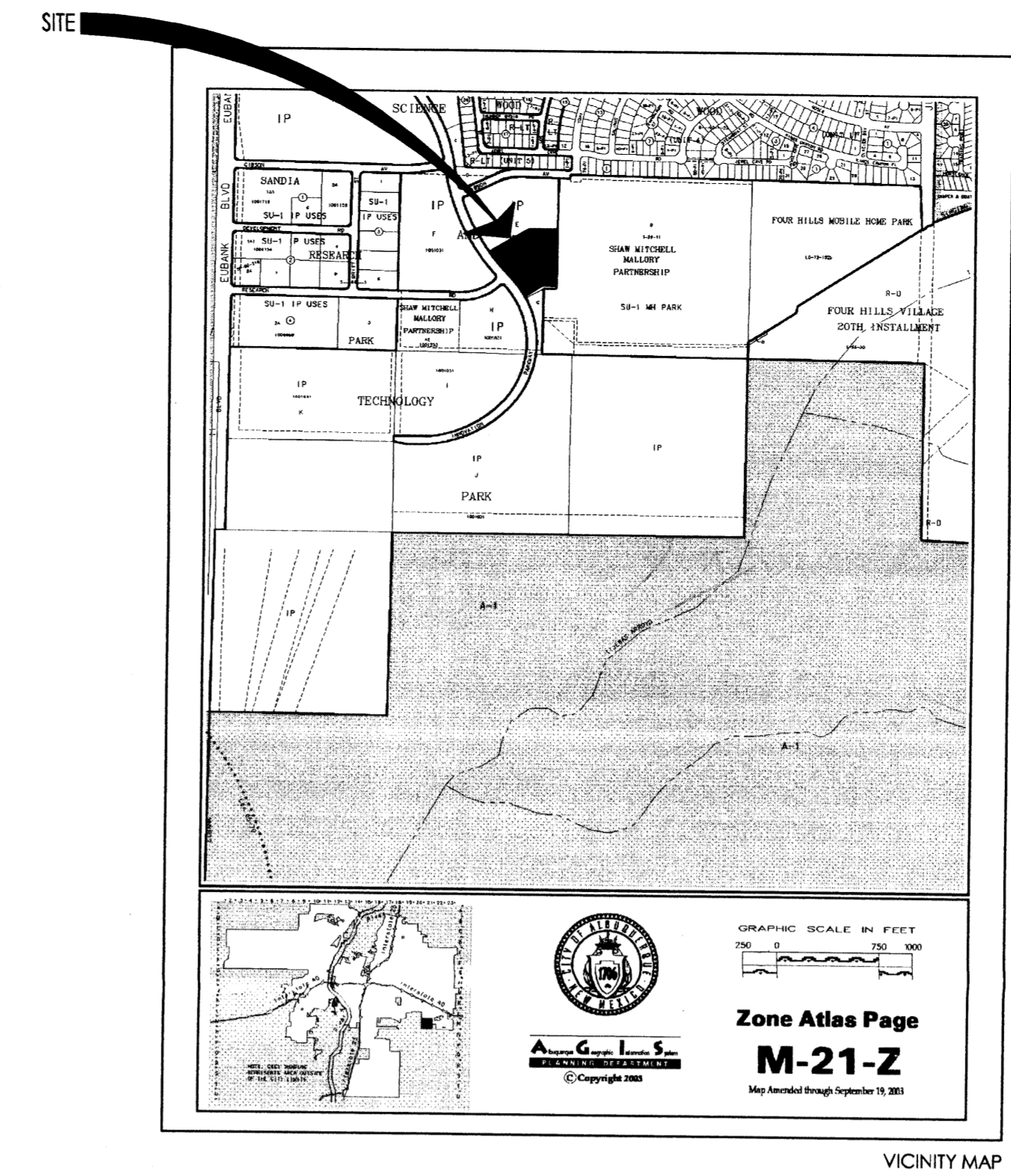


General Note:
Roof-top equipment should either be screened or painted to match the general building or roof color.
Other mechanical equipment should be screened from public view with materials & design compatible with the building.



WITH THE RECORDING OF THE PLAT, A DEED OF CONVEYANCE, PEDESTRIAN ACCESS, PARKING AND DRAINAGE EASEMENT WILL BE GRANTED BY THIS PLAT FOR THE BENEFIT OF THE OWNERS OF TRACT E-2-A AND TRACT E-2-B WITH THE MAINTENANCE OF SUCH TO BE THE INDIVIDUAL TRACT OWNERS.

LEGAL DESCRIPTION
A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT E OF THE BULK LAND PLAT OF SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001 IN BOOK 2201C, PAGE 324 AS DOCUMENT NO 2001148775. TRACT E-2 CONTAINS 4.4644 ACRES, MORE OR LESS.

PARKING REQUIRED (CSRI):
TOTAL GROSS SF = 34,499 SF
FIRST FLOOR = 18,929/200=95 SPACES REQUIRED
SECOND FLOOR = 15,570/300=52 SPACES REQUIRED
TOTAL = 147 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

PARKING REQUIRED (FUTURE CONSTRUCTION):
TOTAL GROSS SF = 20,000 SF
FIRST FLOOR = 10,000/200=50 SPACES REQUIRED
SECOND FLOOR = 10,000/300=34 SPACES REQUIRED
TOTAL = 84 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

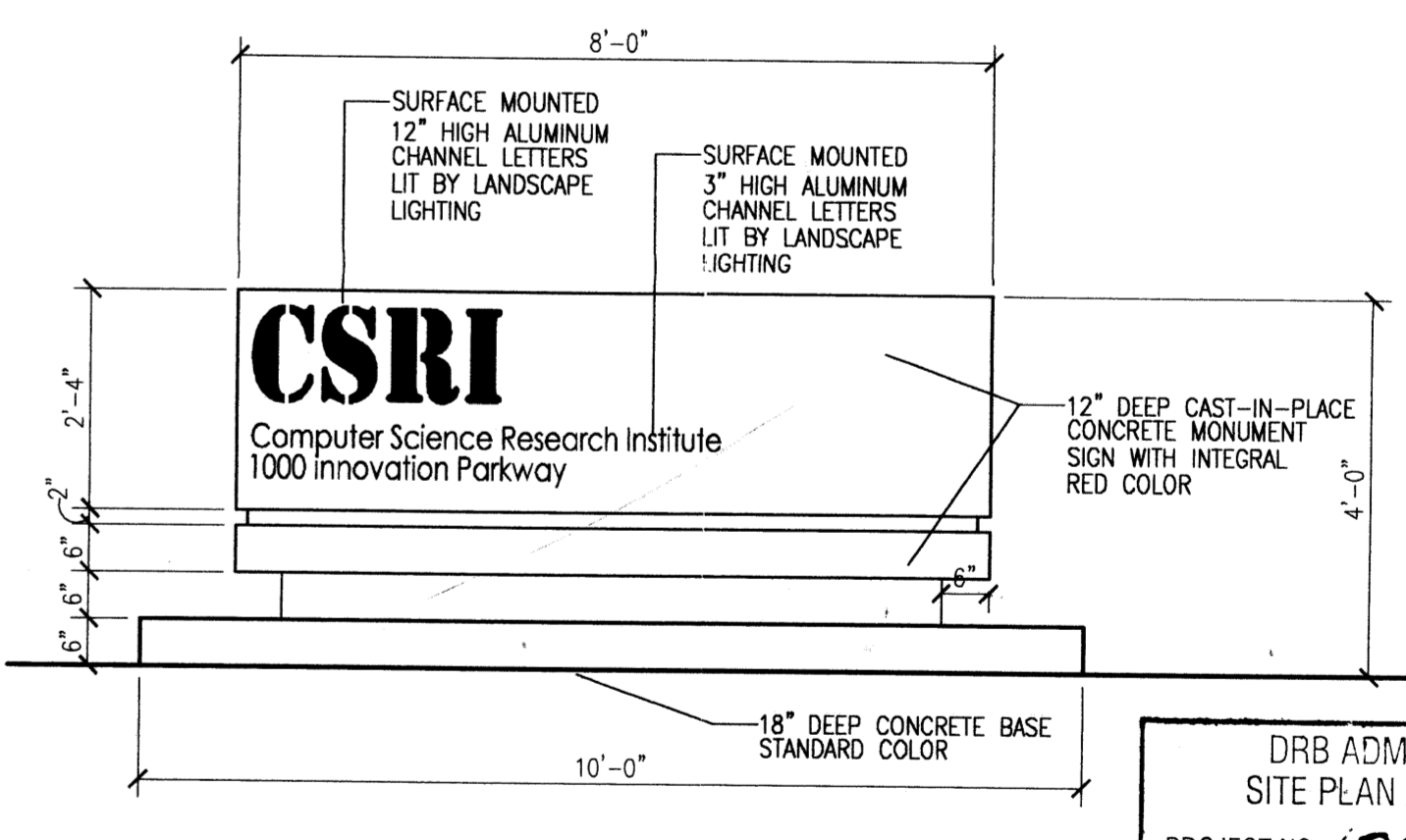
PARKING PROVIDED:
TOTAL SITE PARKING = 242 SPACES INCLUDING 12 ACCESSIBLE SPACES
CSRI BUILDING = 151 SPACES INCLUDING 8 ACCESSIBLE SPACES
FUTURE 20,000 SF BUILDING (10,000 SF PER FLOOR) = 91 SPACES INCLUDING 4 ACCESSIBLE SPACES

BICYCLE PARKING:
151 SPACES/20 = 8 SPACES REQUIRED
= 9 SPACES PROVIDED

KEYED NOTES:
[1] CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH, REFER TO 2.3/A001.
[2] CONCRETE SIDEWALK.
[3] NEW CONCRETE CURB, CUT 24" WIDE PER COA DETAIL 2426.
[4] LANDSCAPING WITH XRP IRRIGATION.
[5] HC RAMP.
[6] HC PAVEMENT SIGN.
[7] HC ASLE STRIPING.
[8] ASPHALT CONCRETE PAVING.
[9] SITE LIGHT.
[10] BIKE RACK.
[11] NEW 6" WIDE CITY SIDEWALK PER COA DETAIL 2430.
[12] COLORED CONCRETE PEDESTRIAN WALKWAY.
[13] 6" HIGH CMU WALL WITH STUCCO FINISH.
[14] MONUMENT SIGN LIT BY LANDSCAPE LIGHTING, REFER TO 4/A001.
[15] 2000 SF. COLORED CONCRETE PLAZA.
[16] NOT USED.
[17] EXISTING 5' PUBLIC ELECTRIC AND GAS EASEMENT.
[18] 550 SF PLAZA SPACE.
[19] 350 SF PLAZA SPACE.
[20] 2500 SF PLAZA SPACE.
[21] 8" HIGH CMU SCREEN WALL WITH STUCCO FINISH.
[22] ELECTRICAL METERS AND EQUIPMENT. SEE ELECTRICAL.
[23] GOVERNMENT PARKING SPACES, PAINT CURB BLUE.
[24] 8" HIGH CMU SCREEN WALL, COLOR RED TO MATCH BUILDING.
[25] PAVEMENT STRIPING FOR PARALLEL PARKING. SIGN AS 2-HOUR.
[26] NOT USED.
[27] EXISTING 10" PUBLIC UTILITY EASEMENT.
[28] EXISTING FIRE HYDRANT.
[29] NEW FIRE HYDRANT.
[30] CONCRETE LANDSCAPE HEADER.
[31] NEW PROPOSED PROPERTY LINE.

RADIUS INFORMATION
① RADIUS = 3'-0"
② RADIUS = 10'-0"
③ RADIUS = 15'-0"
④ RADIUS = 100'-0"
⑤ RADIUS = 25'-0"

SITE LIGHTING LEGEND
A1 16" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE
B1 20" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE
B2 20" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE



DRB ADMINISTRATIVE SITE PLAN AMENDMENT
PROJECT NO. 1004320 APPLICATION NUMBER 06AA-00714
APPLICATOR: *Wesley Tract*
John B. Loh
Michael Helton

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRANSPORTATION DIVISION	7-28-05
UTILITIES DEPARTMENT	7-28-05
PARKS AND RECREATION DEPARTMENT	7/20/05
CITY ENGINEER	7/20/05
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
SOLID WASTE MANAGEMENT	7/28/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	7/20/05

project file: CSRI Building 1450 Innovation Parkway Albuquerque, New Mexico
sheet file: 1004320 AA
Site Development Plan for Building Permit

project number: 04-18
drawn by: MAG
project manager: JKH
date: 07/20/05

revised by: *MS/20/05*
date: *05/20/05*

Mullen Heller Architecture P.C.
1015 Tijeras Avenue NW Suite 220 Albuquerque 87102 505 268 4144(p) 505 268 4244 (f)

sheet: A001