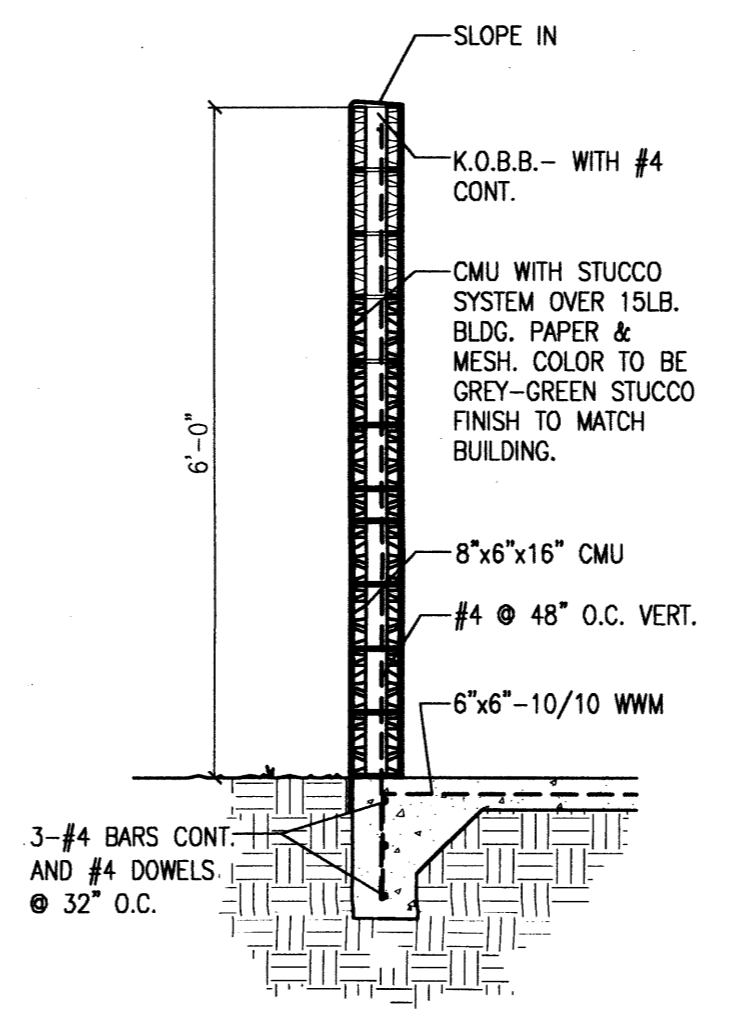


2 Dumpster Enclosure Plan
Scale: 1/4"=1'-0"



3 Enclosure Wall Section
Scale: 1/4"=1'-0"

LEGAL DESCRIPTION
A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT E OF THE BULK LAND PLAT OF SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001 IN BOOK 20010- PAGE 324 AS DOCUMENT NO 2001148775. TRACT E-2 CONTAINS 4.4644 ACRES, MORE OR LESS.

PARKING REQUIRED (CSRI):
TOTAL GROSS SF = 34,499 SF
FIRST FLOOR = 18,929/200=95 SPACES REQUIRED
SECOND FLOOR = 15,570/300=52 SPACES REQUIRED
TOTAL = 147 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

PARKING REQUIRED (FUTURE CONSTRUCTION):
TOTAL GROSS SF = 20,000 SF
FIRST FLOOR = 10,000/200=50 SPACES REQUIRED
SECOND FLOOR = 10,000/300=34 SPACES REQUIRED
TOTAL = 84 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

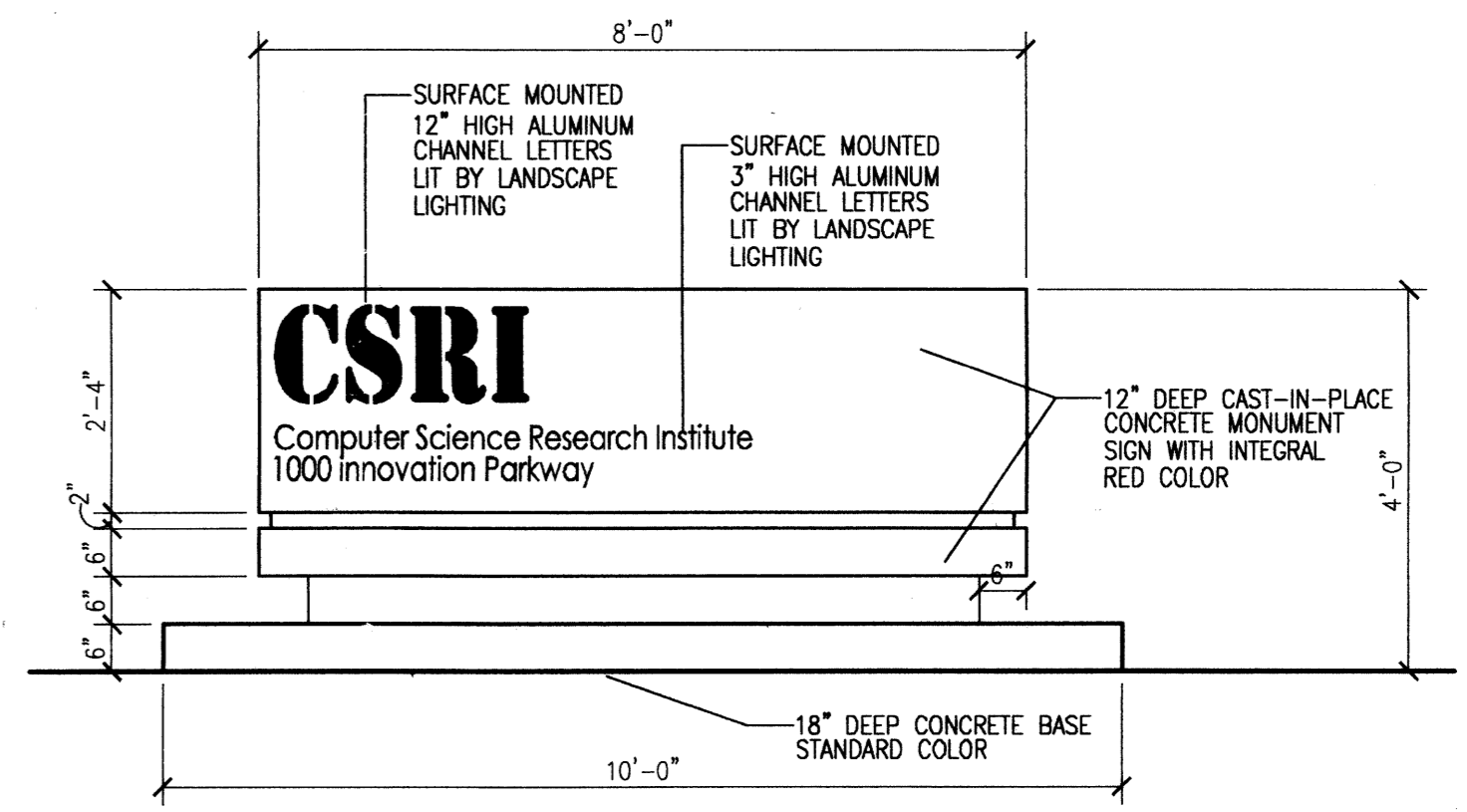
PARKING PROVIDED:
TOTAL SITE PARKING = 242 SPACES INCLUDING 12 ACCESSIBLE SPACES
CSRI BUILDING = 151 SPACES INCLUDING 8 ACCESSIBLE SPACES
FUTURE 20,000 SF BUILDING (10,000 SF PER FLOOR) = 91 SPACES INCLUDING 4 ACCESSIBLE SPACES

BICYCLE PARKING:
151 SPACES/20 = 8 SPACES REQUIRED
= 9 SPACES PROVIDED

- KEYED NOTES:**
- (1) CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH, REFER TO 2.3/A001.
 - (2) CONCRETE SIDEWALK.
 - (3) NEW CONCRETE CURB, CUT 24" WIDE PER COA DETAL 2426.
 - (4) LANDSCAPING WITH DRIP IRRIGATION.
 - (5) HC RAMP.
 - (6) HC PAVEMENT SIGN.
 - (7) HC AISLE STRIPING.
 - (8) ASPHALT CONCRETE PAWING.
 - (9) SITE LIGHT.
 - (10) BIKE RACK.
 - (11) NEW 6" WIDE CITY SIDEWALK PER COA DETAL 2430.
 - (12) COLORED CONCRETE PEDESTRIAN WALKWAY.
 - (13) 6" HIGH CMU WALL WITH STUCCO FINISH.
 - (14) MONUMENT SIGN LIT BY LANDSCAPE LIGHTING, REFER TO 4/A001.
 - (15) 2000 SF. COLORED CONCRETE PLAZA.
 - (16) NOT USED.
 - (17) EXISTING 5' PUBLIC ELECTRIC AND GAS EASEMENT.
 - (18) 550 SF PLAZA SPACE.
 - (19) 350 SF PLAZA SPACE.
 - (20) 2500 SF PLAZA SPACE.
 - (21) 8" HIGH CMU SCREEN WALL WITH STUCCO FINISH.
 - (22) ELECTRICAL METERS AND EQUIPMENT, SEE ELECTRICAL.
 - (23) GOVERNMENT PARKING SPACES, PAINT CURB BLUE.
 - (24) 6" HIGH CMU SCREEN WALL, COLOR RED TO MATCH BUILDING.
 - (25) PAVEMENT STRIPING FOR PARALLEL PARKING, SIGN AS 2-HOUR.
 - (26) NOT USED.
 - (27) EXISTING 10' PUBLIC UTILITY EASEMENT.
 - (28) EXISTING FIRE HYDRANT.
 - (29) NEW FIRE HYDRANT.
 - (30) CONCRETE LANDSCAPE HEADER.

- RADIUS INFORMATION**
- (1) RADIUS = 3'-0"
 - (2) RADIUS = 10'-0"
 - (3) RADIUS = 15'-0"
 - (4) RADIUS = 100'-0"
 - (5) RADIUS = 15'-0"

- SITE LIGHTING LEGEND**
- A1 16" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE
 - B1 20" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE
 - B2 20" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE



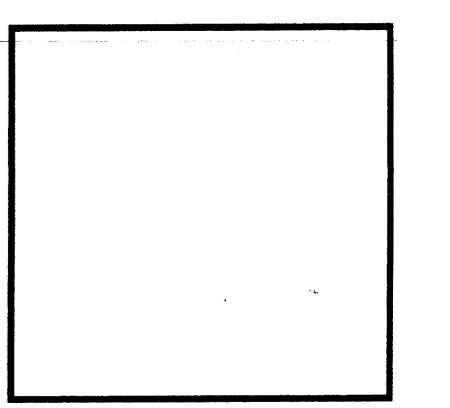
4 Monument Sign Elevation Detail
Scale: 1/2"=1'-0"

General Note:
Roof-top equipment should either be screened or painted to match the general building or roof color.
Other mechanical equipment should be screened from public view with materials & design compatible with the building.

PROJECT NUMBER: 1004320	APPLICATION NUMBER: 05-01137
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>Robyn A. Green</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION	7/28/05 Date
<i>Christine Sandoval</i> UTILITIES DEPARTMENT	7/28/05 Date
<i>Bradley D. Bingham</i> PARKS AND RECREATION DEPARTMENT	7/20/05 Date
<i>N/A</i> CITY ENGINEER	7/20/05 Date
<i>Michael Holton</i> ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Michael Holton</i> SOLID WASTE MANAGEMENT	7/28/05 Date
<i>Smaton</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	7/20/05 Date

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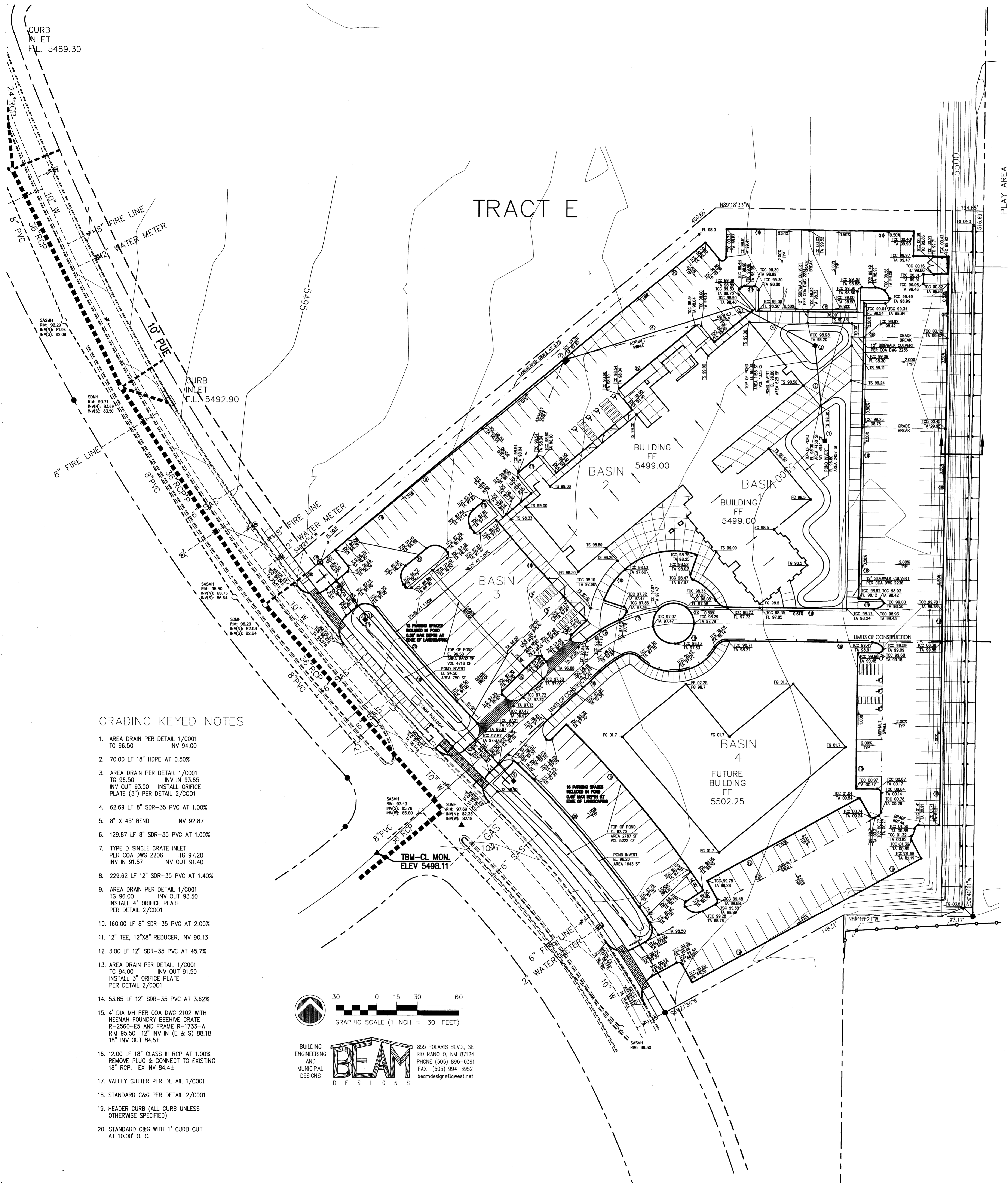
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file number	04-18
drawn by	MAC
project manager	JDH
date	07/20/05

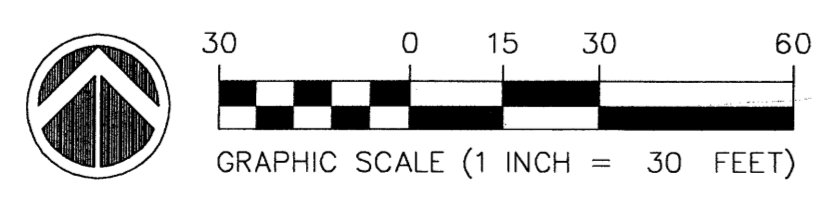
PROJECT # 1004320
sheet file
CSRI Building
1450 Innovation Parkway
Albuquerque, New Mexico
Site Development Plan for Building Permit

sheet: A001



GRADING KEYED NOTES

- AREA DRAIN PER DETAIL 1/C001 TO 96.50 INV 94.00
- 70.00 LF 18" HDPE AT 0.50%
- AREA DRAIN PER DETAIL 1/C001 TO 96.50 INV IN 93.65 INV OUT 93.50 INSTALL ORIFICE PLATE (3") PER DETAIL 2/C001
- 62.69 LF 8" SDR-35 PVC AT 1.00%
- 8" X 45" BEND INV 92.87
- 129.87 LF 8" SDR-35 PVC AT 1.00%
- TYPE D SINGLE GRATE INLET PER COA DWG 2206 TO 92.20 INV IN 91.57 INV OUT 91.40
- 229.62 LF 12" SDR-35 PVC AT 1.40%
- AREA DRAIN PER DETAIL 1/C001 TO 96.00 INV OUT 93.50 INSTALL 4" ORIFICE PLATE PER DETAIL 2/C001
- 160.00 LF 8" SDR-35 PVC AT 2.00%
- 12" TEE, 12"X8" REDUCER, INV 90.13
- 3.00 LF 12" SDR-35 PVC AT 45.7%
- AREA DRAIN PER DETAIL 1/C001 TO 94.00 INV OUT 91.50 INSTALL 3" ORIFICE PLATE PER DETAIL 2/C001
- 53.85 LF 12" SDR-35 PVC AT 3.62%
- 4" DIA MH PER COA DWG 2102 WITH NEENAH FOUNDRY BEEHIVE GRATE R-2560-ES AND FRAME R-1733-A RM 95.50 12" INV IN (E & S) 88.18 18" INV OUT 84.5±
- 12.00 LF 18" CLASS III ROP AT 1.00% REMOVE PLUG & CONNECT TO EXISTING 18" RCP. EX INV 84.4±
- VALLEY CUTTER PER DETAIL 1/C001
- STANDARD C&G PER DETAIL 2/C001
- HEADER CURB (ALL CURB UNLESS OTHERWISE SPECIFIED)
- STANDARD C&G WITH 1" CURB CUT AT 10.00' O. C.



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RIO RICHDO, NM 87124
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beamdesigns@qwest.net

DRAINAGE INFORMATION

METHODOLOGY
THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE 1997 RELEASE OF THE AHYMO COMPUTER MODELING PROGRAM AS DEVELOPED BY AMAFCA. ALL PROCEDURES ARE IN ACCORDANCE WITH THOSE SHOWN IN THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION
THE 100-YR. 6-HOUR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 1-HOUR, 6-HOUR PRECIPITATION, AND 24-HOUR PRECIPITATION.

EXISTING DRAINAGE
THE SITE IS UNDEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." THERE IS AN OFFSITE DRAINAGE BASIN DRAINING TO THE EAST SIDE OF THIS PROPERTY. THE WATER DRAINAGE PLAN IDENTIFIES 125-CFS FROM THE EXISTING MOBILE HOME PARK. THIS RUNOFF IS TO BE COLLECTED ALONG THIS SITE'S EAST BOUNDARY AND DIVERTED SOUTH TO A STORM DRAIN TO THE TIJERAS ARROYO. A TRENCH WITH BERMS ON EACH SIDE HAS BEEN CONSTRUCTED ALONG THIS EAST BOUNDARY. ALTHOUGH BEAM DESIGN'S HAS NOT BEEN ABLE TO VERIFY THE PURPOSE OF THIS TRENCH/BERM, IT APPEARS THAT IT WAS INTENDED AS THE DRAINAGE DIVERSION. THE TRENCH/BERM WILL BE REPLACED WITH A 2' HIGH BERM WITHIN THE LANDSCAPE AREA ALONG THE EAST BOUNDARY OF THE DEVELOPMENT. A CROSS SECTION OF THIS BERM AND DRAINAGE CALCULATIONS DEMONSTRATING THE FLOW ALONG THE BERM ARE INCLUDED ON THIS SHEET.

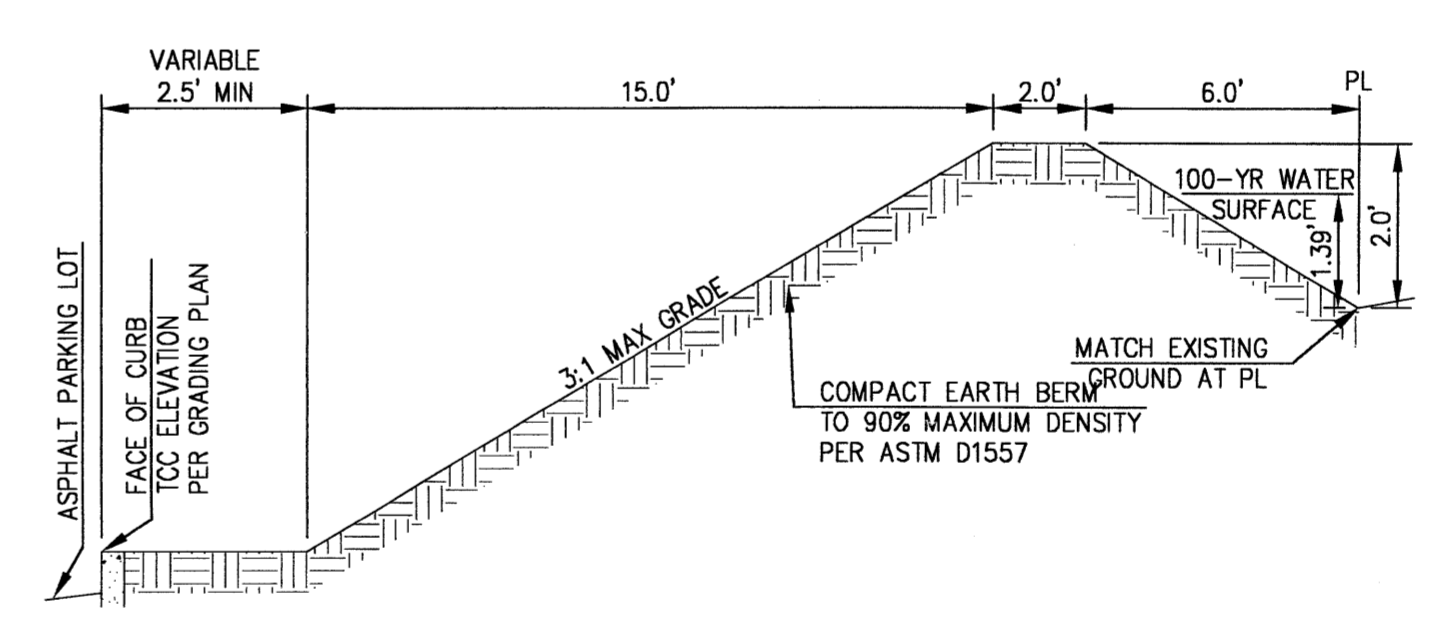
THE SITE DRAINS WEST TO INNOVATION PARKWAY WHERE THE RUNOFF IS INTERCEPTED BY A STORM DRAIN IN THE STREET. THERE IS AN 18" STORM STUBBED TO THE SITE AT THE NORTHWEST CORNER OF THIS DEVELOPMENT. THE NORTHERN HALF OF TRACT E WILL NOT BE DEVELOPED AT THIS TIME. IT WILL CONTINUE TO DISCHARGE TO THE STREET. UNDER UNDEVELOPED CONDITIONS, THE SITE DISCHARGES 1.87-CFS PER ACRE WHICH EXCEEDS THE ALLOWABLE DISCHARGE OF 1.57-CFS PER ACRE. THEREFORE, THIS DEVELOPMENT WILL DECREASE THE RUNOFF TO THE STREET AND STORM DRAIN.

DEVELOPED DRAINAGE
OFFSITE RUNOFF WILL BE DIVERTED AROUND THE SITE AS DESCRIBED ABOVE IN "EXISTING DRAINAGE". THE SOUTHERN HALF OF TRACT E (WHICH IS BEING DEVELOPED AT THIS TIME) WILL BE DIVIDED INTO FOUR (4) DRAINAGE BASINS. TWO (2) PHASES OF DEVELOPMENT ARE SHOWN ON THIS GRADING PLAN. THE FIRST PHASE OF DEVELOPMENT WILL EXTEND FROM THE MAIN DRIVEWAY AT RESEARCH ROAD TO THE NORTH BOUNDARY OF THIS DEVELOPMENT. THE SMALLER AREA SOUTH OF THE MAIN ENTRANCE WILL BE DEVELOPED AT A LATER TIME. HOWEVER, THE ENTIRE SITE IS ANALYZED TO ENSURE THE SITE WILL DRAIN ACCORDING TO THE MASTER PLAN CRITERIA. "BASIN 1" IS THE NORTHEAST CORNER OF THIS DEVELOPMENT. IT INCLUDES THE PARKING LOT IN THE CORNER AND THE SOUTHERN WING OF THE BUILDING. THIS AREA WILL DRAIN TO A POND LOCATED AT THE EAST SIDE OF THE BUILDING. A STORM DRAIN WILL DRAIN THIS POND TO THE STORM DRAIN IN INNOVATION PARKWAY. "BASIN 2" CONTAINS THE MAIN WING OF THE BUILDING AND THE PARKING LOT TO THE NORTH OF IT. THIS BASIN WILL DRAIN TO AN INLET IN THE STORM DRAIN FOR "BASIN 1" AND WILL HAVE FREE DISCHARGE TO THE INNOVATION ROAD STORM DRAIN. "BASIN 3" INCLUDES THE FUTURE PARKING LOT ON THE EAST END OF THE FUTURE BUILDING, THE MAIN DRIVEWAY, AND THE WEST PARKING LOT FOR THE CURRENT BUILDING. THIS BASIN DRAINS TO A POND ADJACENT TO INNOVATION PARKWAY. "BASIN 4" IS THE SOUTHERNMOST PORTION OF THE SITE. IT IS ENTIRELY WITHIN THE FUTURE DEVELOPMENT AREA AND DRAINS TO THE SOUTHERN POND ADJACENT TO INNOVATION PARKWAY. THE COMBINED DISCHARGE FROM THE FOUR (4) BASINS IS 6.74-CFS (1.50-CFS PER ACRE), WHICH IS UNDER THE ALLOWABLE DISCHARGE OF 1.57-CFS PER ACRE. THE NORTHERN HALF OF TRACT E WILL CONTINUE TO DISCHARGE IN ITS HISTORIC PATTERN UNTIL IT IS DEVELOPED. ADDITIONAL PONDING WILL BE REQUIRED WHEN IT IS DEVELOPED. THIS 4.49-ACRE SITE CAN BE DEVELOPED ACCORDING TO THIS PLAN AND MEET THE DRAINAGE CRITERIA SET BY THE MASTER DRAINAGE PLAN FOR THIS AREA.

ABBREVIATIONS

- | | | |
|-------------------------------|--------------------------------|--------------------------------------|
| AD = AREA DRAIN | FH = FIRE HYDRANT | STD = STANDARD |
| AIP = ABANDONED IN PLACE | FL = FLOW LINE | SW = SIDEWALK |
| BLDG = BUILDING | GM = GAS METER | T = TELEPHONE |
| BM = BENCHMARK | GV = GATE VALVE | TA = TOP OF ASPHALT PAVEMENT |
| CATV = CABLE TELEVISION LINE | HI PT = HIGH POINT | TAC = TOP OF ASPHALT CURB |
| CMP = CORRUGATED METAL PIPE | INV = INVERT ELEVATION | TC = TOP OF CONCRETE SLAB (PAVEMENT) |
| CO = CLEANOUT | LF = LINEAL FEET | TCC = |
| COA = CITY OF ALBUQUERQUE | MH = MANHOLE | TG = TOP OF GRATE |
| CONC = CONCRETE | NG = NATURAL GROUND | TS = TOP OF SIDEWALK |
| CL = CENTERLINE | OE = OVERHEAD ELECTRIC LINE | TW = TOP OF WALL |
| DIA = DIAMETER | PCC = PORTLAND CEMENT CONCRETE | TYP = TYPICAL |
| DTL = DETAIL | PP = POWER POLE | TB = TELEPHONE BOX |
| DWG = DRAWING | PROP = PROPOSED | UE = |
| E = ELECTRIC LINE | PVC = POLYVINYL CHLORIDE PIPE | UT = |
| ELEC. = ELECTRIC | RCP = REINFORCED CONCRETE PIPE | W = WATER |
| ELEV = ELEVATION | R/W = RIGHT-OF-WAY | WM = WATER METER |
| EX = EXISTING | SAS = SANITARY SEWER | WV = WATER VALVE |
| FF = FINISHED FLOOR ELEVATION | SD = STORM DRAIN | |
| FG = FINISHED GRADE | STA = STATION | |

TRAILER PARK DIVERSION BERM



TRAILER PARK DIVERSION BERM

MANNING'S EQUATION FOR UNIFORM FLOW IN TRAPEZOIDAL CHANNELS

INPUT

DEPTH (FT):	1.39
MANNING'S "n" VALUE:	0.030
BED SLOPE (FT/FT):	0.0020
BOTTOM WIDTH (FT):	0.00
SIDE SLOPE #1 (HORZ:VERT):	2.00
SIDE SLOPE #2 (HORZ:VERT):	72.00
CROWN-NEG. FOR INVERTED (FT):	0.00

OUTPUT

FLOW RATE (CFS):	125.00
CROSS SECT. AREA (SF):	71.78
TOP WIDTH (FT):	103.07
WETTED PERIMETER (FT):	103.41
HYDRAULIC RADIUS (FT):	0.69
VELOCITY (FPS):	1.74
FROUDE NUMBER:	0.37
ENERGY GRADE:	1.44

BASIN AND POND VOLUME AND OUTLET STRUCTURE CALCULATIONS

BASIN 1 POND VOLUME AND OUTLET STRUCTURE CALCULATIONS

ELEV.	AREA (sq. ft.)	INC VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	H (ft.)	Q/PIPE (cfs)
93.50	0	0	0.0000	0.00	0.00
96.50	8	16	0.0004	2.88	0.40
96.50	3,082	463	0.0111	3.17	0.42
97.40	3,790	1,718	0.0505	3.67	0.45
97.80	4,525	2,079	0.0822	4.17	0.48
98.20	5,289	2,454	0.1146	4.67	0.51

PIPE DIAMETER (") 3
NUMBER OF PIPES 1
C 0.60
Q=CA(2gh)^{0.5}
AREA(ft.) 0.05

BASIN 4 POND VOLUME AND OUTLET STRUCTURE CALCULATIONS

ELEV.	AREA (sq. ft.)	INC VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	H (ft.)	Q/PIPE (cfs)
93.50	0	0	0.0000	0.00	0.00
96.00	4	10	0.0002	2.33	0.64
96.20	1,643	165	0.0046	2.53	0.67
96.70	2,124	442	0.0118	2.87	0.77
97.25	2,873	1,318	0.0559	3.58	0.79
97.70	3,712	2,787	0.1189	4.03	0.84

PIPE DIAMETER (") 4
NUMBER OF PIPES 1
C 0.60
Q=CA(2gh)^{0.5}
AREA(ft.) 0.09

BASIN 3 POND VOLUME AND OUTLET STRUCTURE CALCULATIONS

ELEV.	AREA (sq. ft.)	INC VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	H (ft.)	Q/PIPE (cfs)
91.50	0	0	0.0000	0.00	0.00
94.00	4	10	0.0002	2.25	1.42
94.50	750	189	0.0046	2.75	1.57
95.00	1,092	461	0.0151	3.25	1.70
95.50	1,450	638	0.0297	3.75	1.83
96.00	1,821	818	0.0485	4.25	1.95
96.50	2,602	2,608	0.1083	4.75	2.08

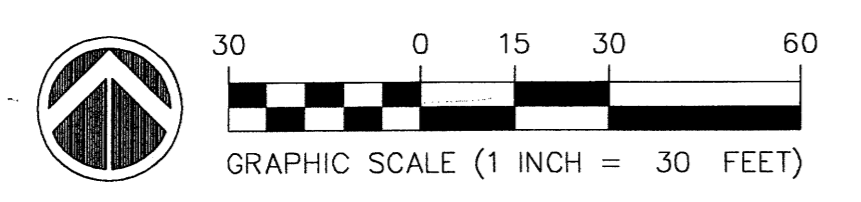
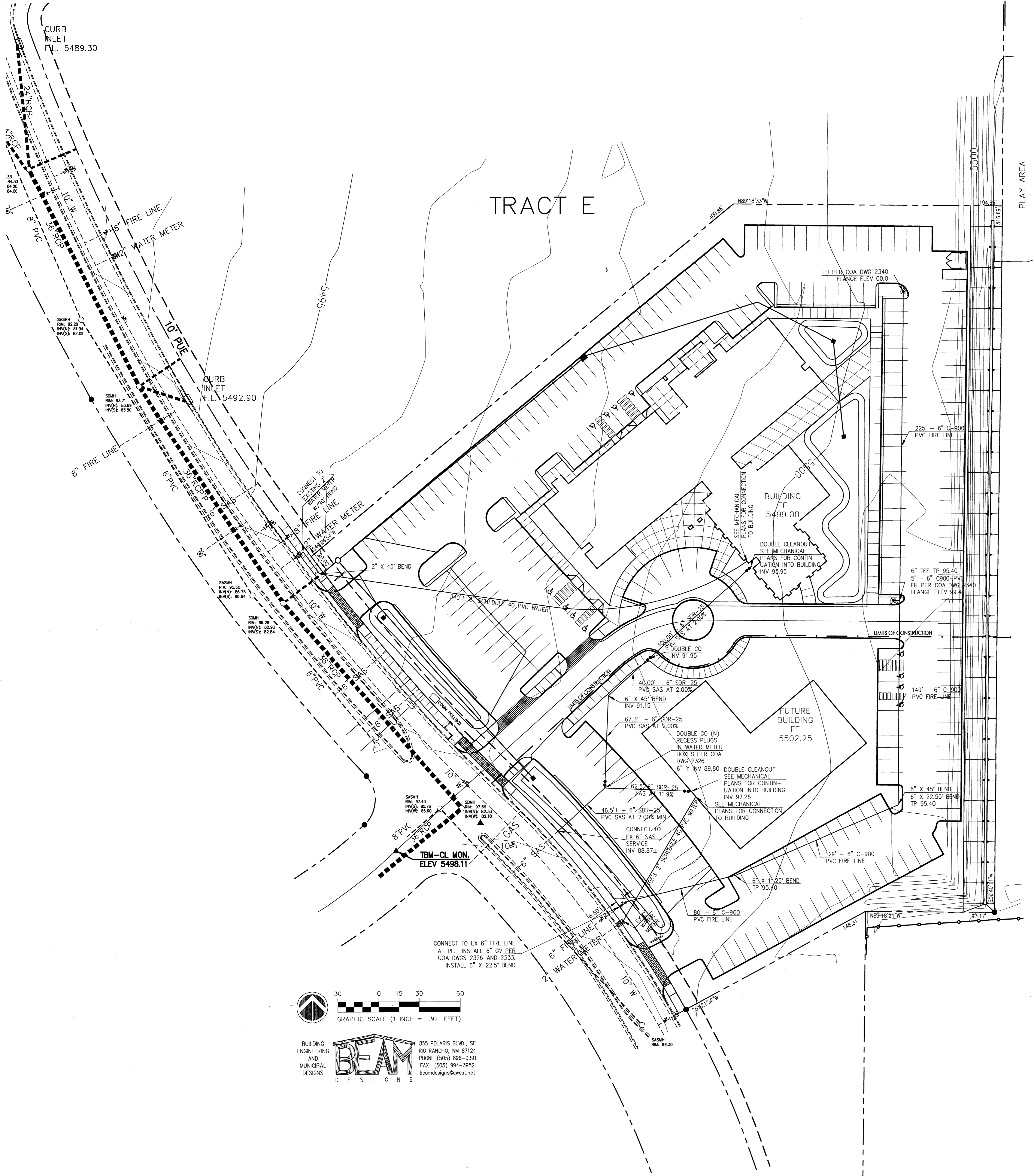
PIPE DIAMETER (") 6
NUMBER OF PIPES 1
C 0.60
Q=CA(2gh)^{0.5}
AREA(ft.) 0.20

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04-18	BOM	JDH	07/11/05
job number	drawn by	project manager	date

project file
sheet file
CSI Building
1450 Innovation Parkway
Albuquerque, New Mexico
Grading Plan

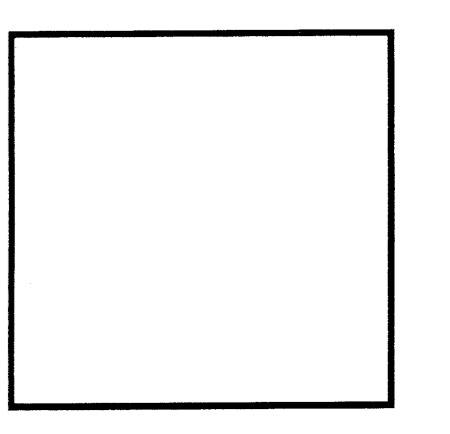


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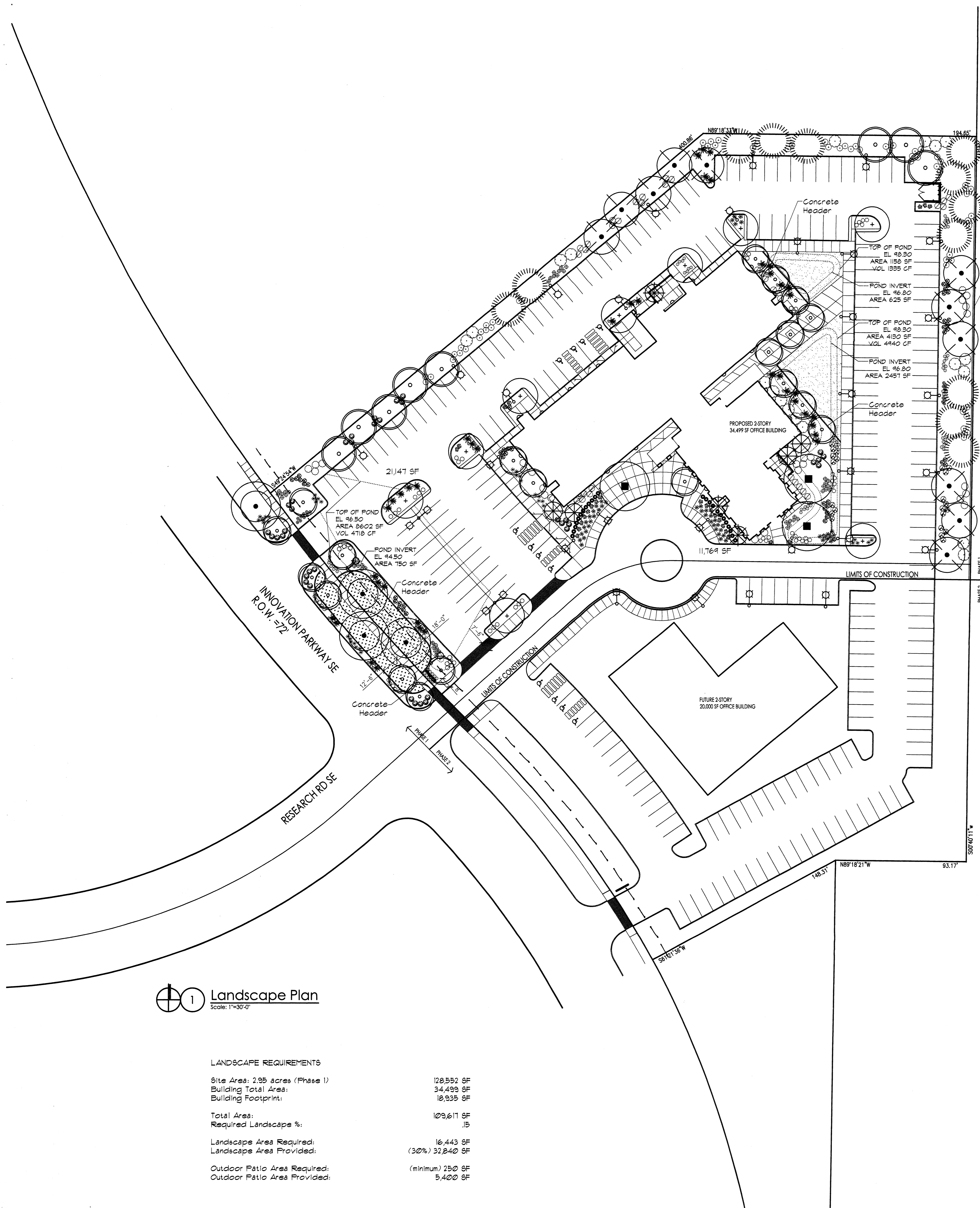
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job number	04-18
drawn by	BOM
project manager	JDH
date	07/1/05

project file
CSRI Building
 1450 Innovation Parkway
 Albuquerque, New Mexico
 sheet file
Site Utility Plan

sheet-**C002**



PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
Trees					
8		<i>Chitalpa taohkentensis</i> Chitalpa	2" B4B	8' ht. x 4' spr. 30' ht. x 30' spr.	Medium
9		<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2" B4B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
4		<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2" B4B	14' ht. x 6' spr. 40' ht. x 35' spr.	Medium+
19		<i>Koeleria paniculata</i> Goldenrain Tree	2" B4B	14' ht. x 6' spr. 25' ht. x 25' spr.	Medium
7		<i>Lagerstroemia indica</i> Crape Myrtle	15-Gal.	8' ht. x 4' spr. 15' ht. x 15' spr.	Medium +
12		<i>Pinus nigra</i> Austrian Pine	B4B	8' min. ht. 35' ht. x 25' spr.	Medium
3		<i>Pistachia chinensis</i> Chinese Pistache	2" B4B	14' ht. x 6' spr. 60' ht. x 60' spr.	Medium +
11		<i>Tilia cordata</i> Little-leaf Linden	2" B4B	14' ht. x 5' spr. 40' ht. x 30' spr.	Low
Shrubs/Groundcovers					
22		<i>Baccharis</i> 'Starr' Thompson Baccharis	5-Gal.	4' o.c. 2' ht. x 4' spr.	Low +
26		<i>Buddleia davidii</i> 'Black Knight' Butterfly Bush	5-Gal.	5' o.c. 5' ht. x 5' spr.	Medium
45		<i>Caryopteris clandonensis</i> Blue Mist	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
19		<i>Caesalpinia gilliesii</i> Yellow Bird of Paradise	5-Gal.	8' o.c. 8' ht. x 8' spr.	Low
34		<i>Chrysothamnus nauseosus</i> Chamisa	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
38		<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	5-Gal.	4' o.c. 3' ht. x 4' spr.	Medium
10		<i>Ericameria laricina</i> 'Aguirre' Turpentine Bush	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
33		<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
42		<i>Juniperus sabinus</i> 'Buffalo' Buffalo Juniper (female)	5-Gal.	6' o.c. 2' ht. x 6' spr.	Low +
17		<i>Penstemon ambiguus</i> Sand Penstemon	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
35		<i>Perovskia atriplicifolia</i> Russian Sage	1-Gal.	5' o.c. 4' ht. x 5' spr.	Medium
32		<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
27		<i>Rhus trilobata</i> Three-leaf Sumac	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low+
45		<i>Salvia greggii</i> Cherry Sage	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
33		<i>Santolina</i> sp. Santolina	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
Ornamental Grasses					
24		<i>Muhlenbergia cap.</i> 'Regal Mist' Muhly Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
46		<i>Nassella tenuissima</i> Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +

1,445 SF (5%)		Native Turf Grass Mix <i>Bouteloua gracilis</i> / Blue Grama <i>Buchloe dactyloides</i> / Buffalograss	Low+ Low+
3,361 SF (10%)		Park Blend Turf Grass Mix <i>Festuca elatior</i> / Tall Fescue <i>Lolium perenne</i> / Ryegrass <i>Poa pratensis</i> / Kentucky Bluegrass	High High High
26		Moss Rock Boulder (2' min. dia.)	

Site Lighting (See Site Plan, sheet A201)

MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

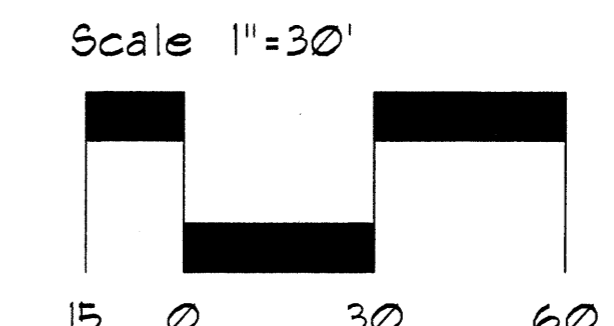
MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public ROW, shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

Landscape Plan
Scale: 1"=30'

LANDSCAPE REQUIREMENTS

Site Area: 2.95 acres (Phase 1)	128,552 SF
Building Total Area:	34,499 SF
Building Footprint:	18,935 SF
Total Area:	109,617 SF
Required Landscaps %:	15
Landscape Area Required:	16,443 SF
Landscape Area Provided:	(30%) 32,840 SF
Outdoor Patio Area Required:	(minimum) 250 SF
Outdoor Patio Area Provided:	5,400 SF



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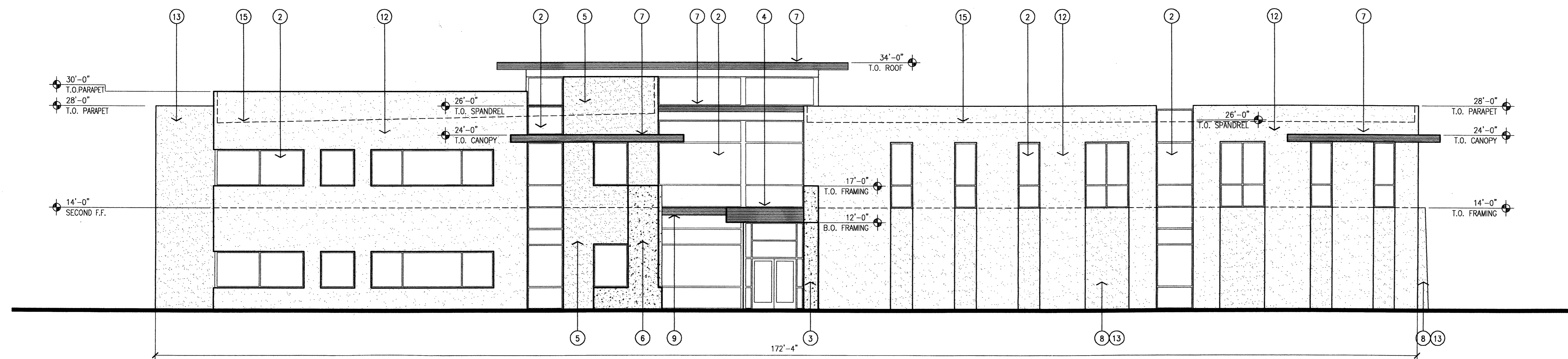


job number 04-18
drawn by LF
project manager C/JG
date 06/30/05

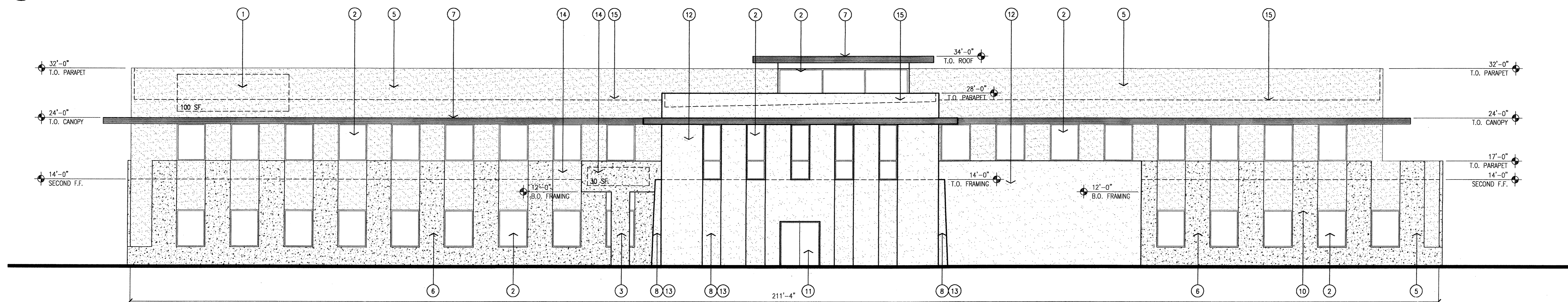
project title
CCIM Building
Albuquerque, New Mexico
sheet title
Landscape Plan

Not For Construction

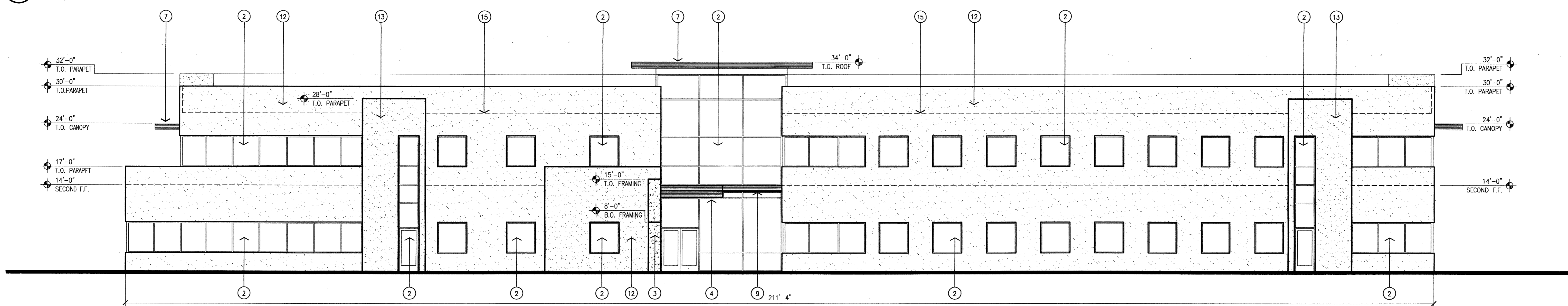
sheet
L001



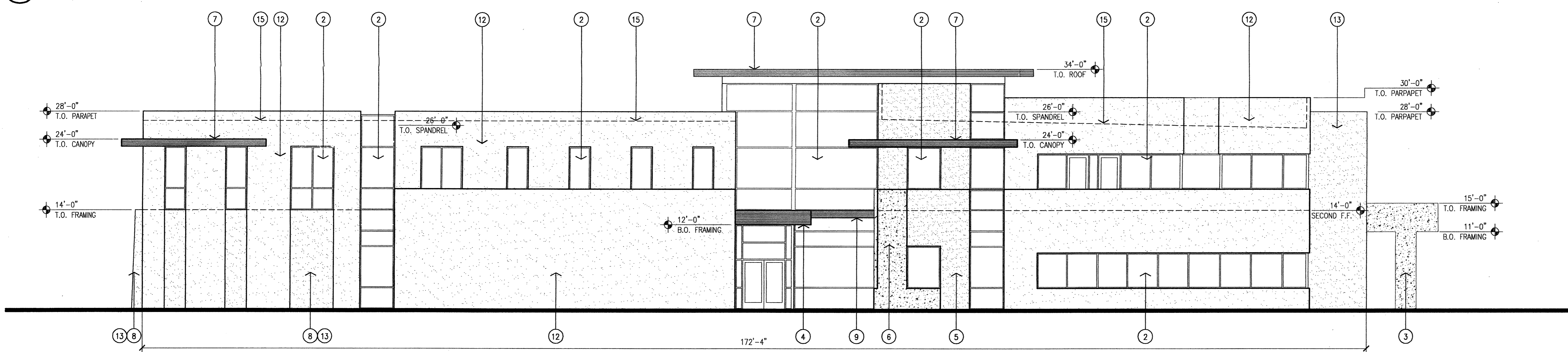
1 West Elevation
Scale: 1/8" = 1'-0"



2 South Elevation
Scale: 1/8" = 1'-0"



3 North Elevation
Scale: 1/8" = 1'-0"



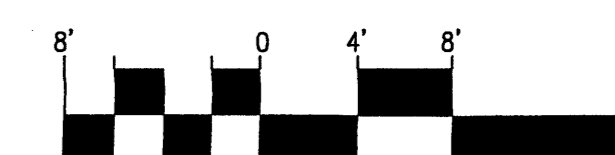
3 East Elevation
Scale: 1/8" = 1'-0"

GENERAL NOTES:

A.

KEYED NOTES:

- [1] PRIMARY SIGNAGE LOCATION. 48" HIGH INTERNALLY LIT INDIVIDUAL CHANNEL LETTERS.
- [2] CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH GREEN TINTED 1" INSULATED GLAZING.
- [3] CAST-IN-PLACE SCREEN WALL WITH INTEGRAL RED COLOR.
- [4] METAL CANOPY PAINTED TO MATCH STOREFRONT.
- [5] DEEP RED STUCCO SYSTEM OVER METAL STUD FRAMING.
- [6] PRE-CAST CONCRETE PANEL WITH INTEGRAL RED COLOR.
- [7] METAL FASCIA PAINTED TO MATCH STOREFRONT.
- [8] 12" DEEP STUCCO BUTTRESS.
- [9] TUBE STEEL TRELLIS PAINTED TO MATCH STOREFRONT.
- [10] MEDIUM GREEN STUCCO CANOPY.
- [11] HOLLOW METAL DOOR, PAINTED MEDIUM GREEN TO MATCH STUCCO.
- [12] LIGHT TAN STUCCO SYSTEM OVER METAL STUD FRAMING.
- [13] MEDIUM GREEN STUCCO SYSTEM OVER METAL STUD FRAMING.
- [14] SIGNAGE AND ADDRESS LOCATION. 24" SURFACE MOUNTED ALUMINUM CHANNEL LETTERS.
- [15] ROOF STRUCTURE BEYOND.



rev.	date	by	revision
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