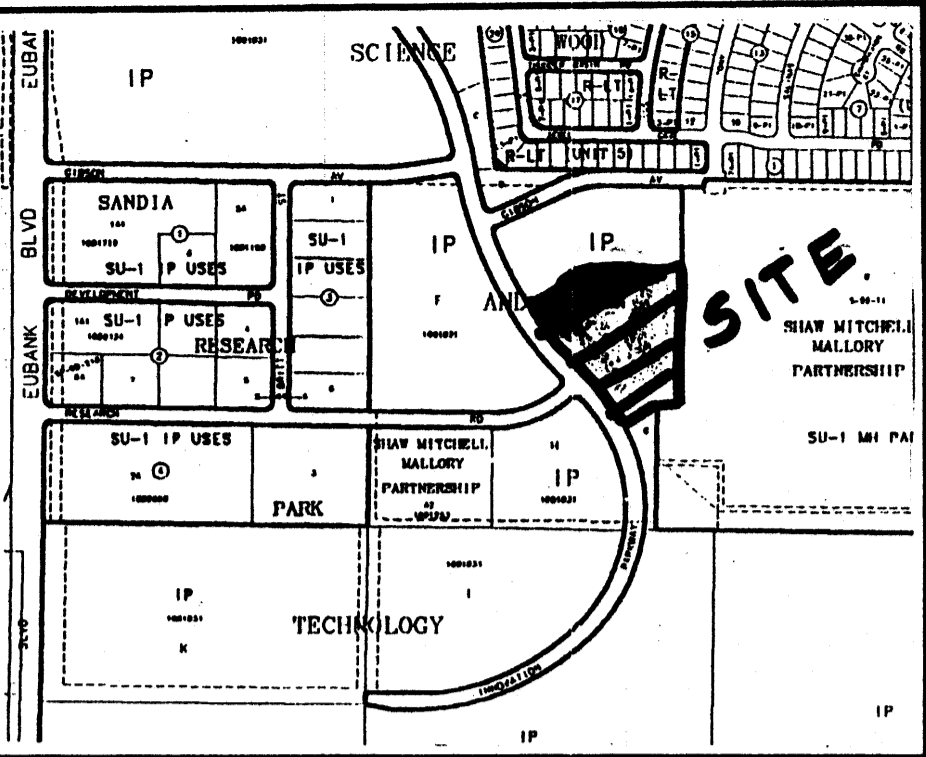
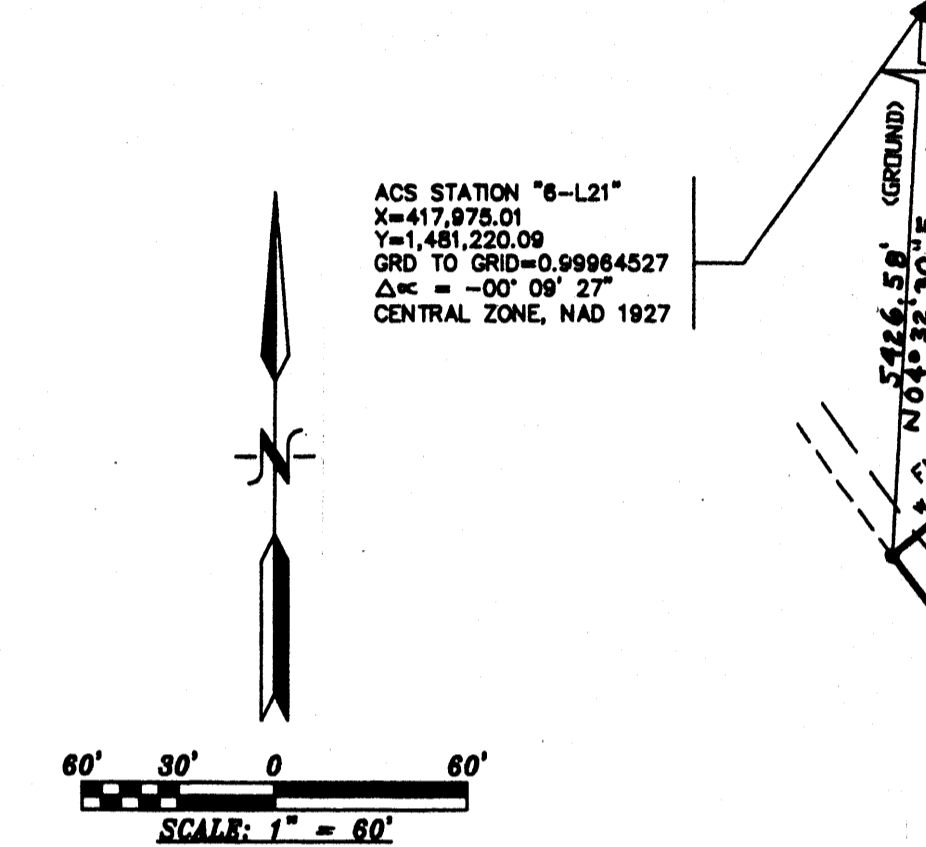


# PLAT OF TRACTS E-2-A AND E-2-B SANDIA SCIENCE AND TECHNOLOGY PARK

WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO APRIL, 2006

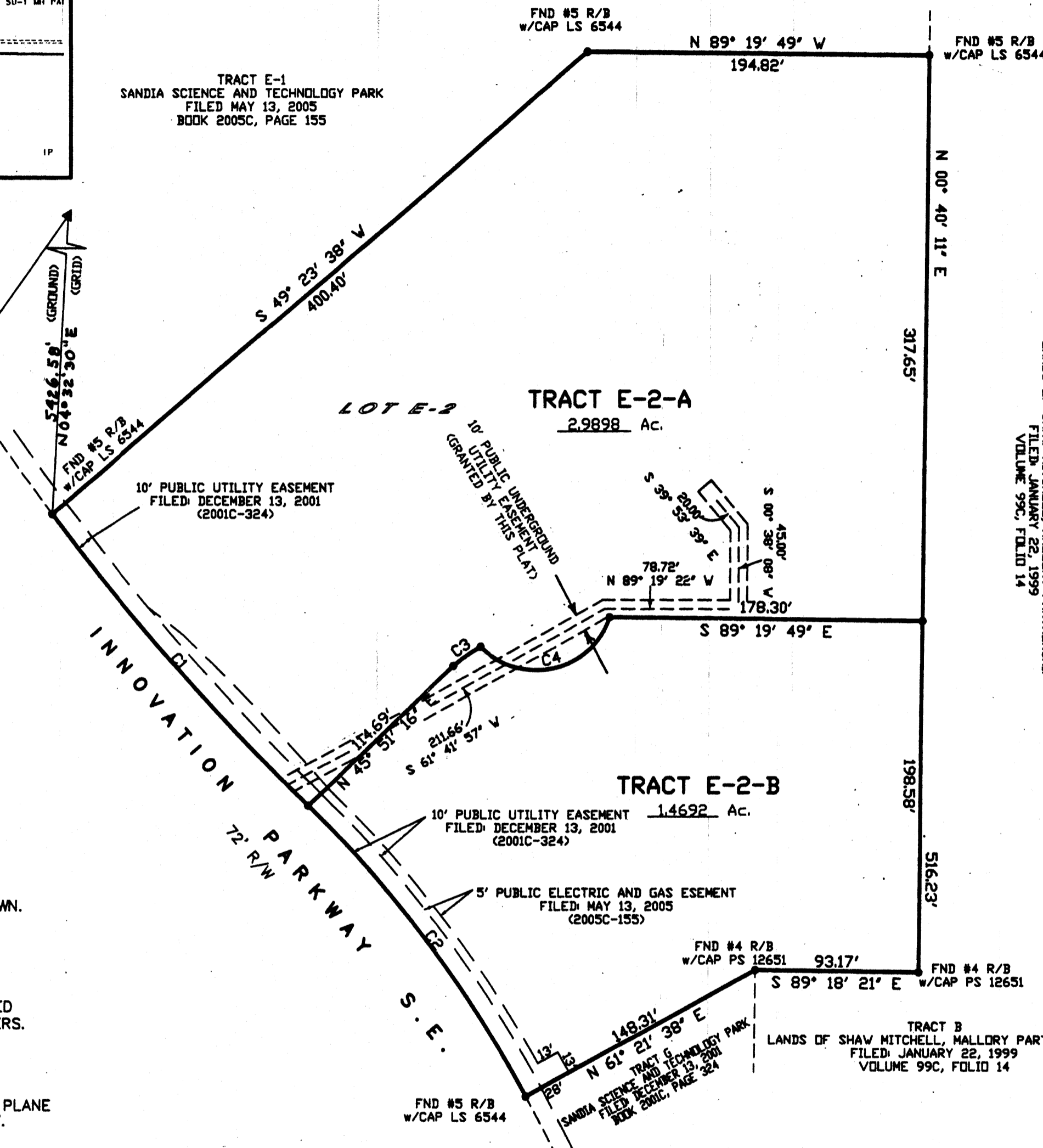


VICINITY MAP No. M-21



**LEGAL DESCRIPTION**  
TRACT LETTERED E-TWO (E-2) OF THE PLAT OF TRACTS E-1 AND E-2, SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY, NEW MEXICO ON MAY 13, 2005 IN BOOK 2005 C, PAGE 155

TRACT E-1 SANDIA SCIENCE AND TECHNOLOGY PARK FILED MAY 13, 2005 BOOK 2005C, PAGE 155



PROJECT NUMBER: 1004320  
APPLICATION NUMBER: 06-DRB-00682

**UTILITY APPROVALS:**

PNM ELECTRIC SERVICES	<u>Leah D. Melt</u>	<u>5-23-06</u>
PNM GAS SERVICES	<u>Leah D. Melt</u>	<u>5-23-06</u>
QWEST TELECOMMUNICATIONS	<u>Lois Crabtree</u>	<u>5-30-06</u>
COMCAST	<u>Rita Eicks</u>	<u>5-30-06</u>
NEW MEXICO UTILITIES	<u>N/A</u>	

**CITY APPROVALS:**

CITY SURVEYOR	<u>John B. Felt</u>	<u>4-25-06</u>
REAL PROPERTY DIVISION (CONDITIONAL)	<u>N/A</u>	
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	<u>N/A</u>	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>Shi Shi</u>	<u>6-7-06</u>
UTILITIES DEVELOPMENT	<u>Robert A. Shuman</u>	<u>6-7-06</u>
PARKS AND RECREATION DEPARTMENT	<u>Christina Dandora</u>	<u>6/7/06</u>
AMAFCA	<u>Bradley D. Bingham</u>	<u>6/7/06</u>
CITY ENGINEER	<u>Bradley D. Bingham</u>	<u>6/7/06</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>D. Matson</u>	<u>6/14/06</u>

**STATEMENT OF DECLARATION OF PURPOSE:**  
THE PURPOSE OF THIS PLAT IS TO DIVIDE LOT E-2 INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 4.4589 ACRES.
  - TALOS LOG NO. 2006413275
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: MARCH, 2006.
  - CURRENT ZONING: IP.
  - BY THE RECORDING OF THIS PLAT, A CROSS LOT ACCESS, PARKING, PEDESTRIAN AND DRAINAGE EASEMENT FOR THE BENEFIT OF TRACTS E-2-A AND E-2-B, TO BE MAINTAINED EQUALLY BY SAID TRACTS, TO BE GRANTED BY THIS PLAT.

**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

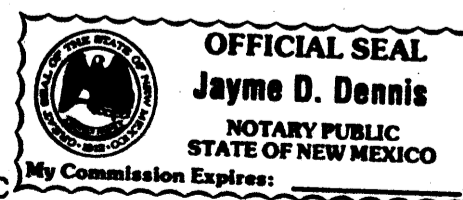
Scott Whittington, Managing Partner  
Avlon Investments

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 20 DAY OF April, 2006

BY: Scott Whittington  
OWNERS NAME

MY COMMISSION EXPIRES: March 27, 2010 BY: Jayme D. Dennis  
NOTARY PUBLIC



**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 18th DAY OF April, 2006.

Anthony L. Harris  
ANTHONY L. HARRIS, P.S. # 11463

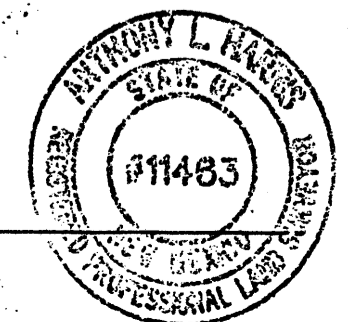
**HARRIS SURVEYING, INC.**  
8412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 889-8066 FAX: (505) 889-8045

**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	08°39'54"	N 41°27'38" W	1456.2400	220.2298	220.0200
C2	17°09'12"	N 37°12'59" W	686.0000	205.3761	204.6100
C3	13°51'02"	N 54°33'44" E	78.9968	19.0965	19.0500
C4	117°22'46"	N 77°08'14" E	43.9982	90.1373	75.1811



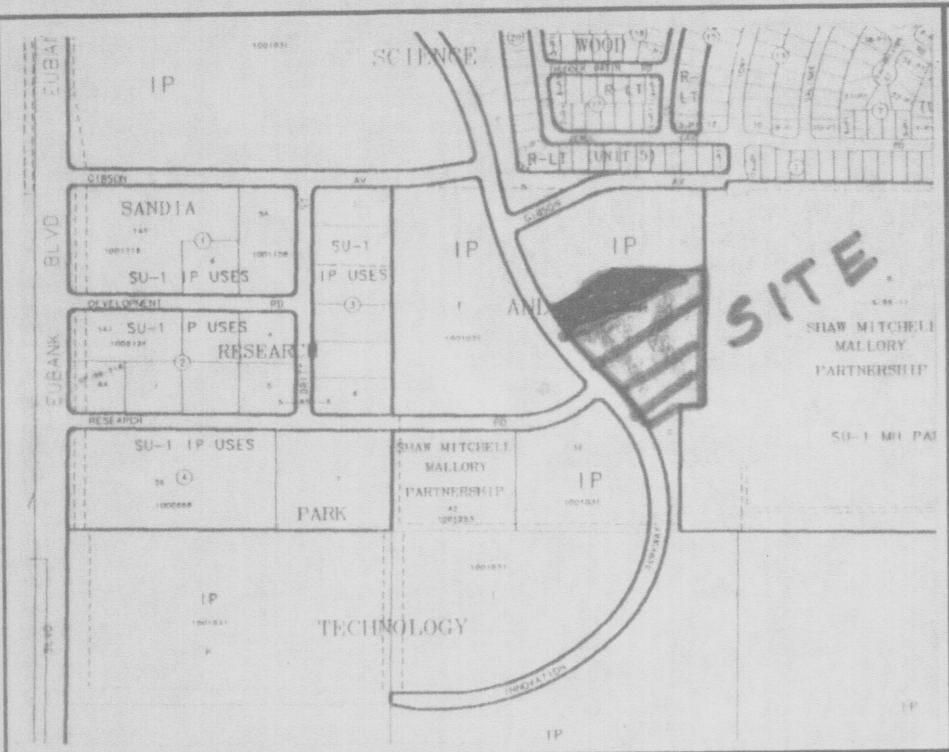
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Page: 1 of 1  
06/15/2006 02:15P  
Bk-2006C Pg-187



# PLAT OF TRACTS E-2-A AND E-2-B SANDIA SCIENCE AND TECHNOLOGY PARK

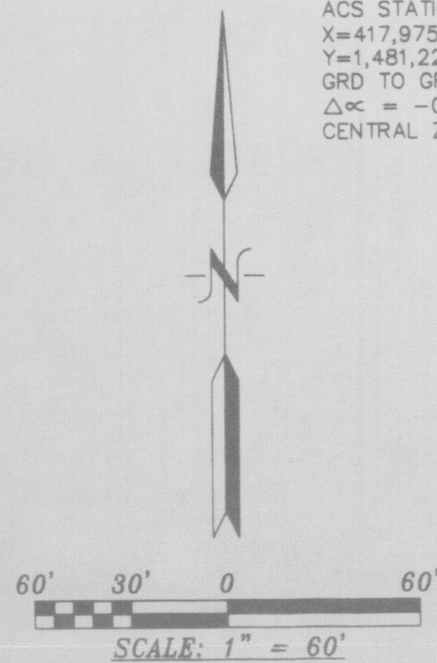
WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO APRIL, 2006

**LEGAL DESCRIPTION**  
TRACT LETTERED E-TWO (E-2) OF THE PLAT OF TRACTS E-1 AND E-2, SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY, NEW MEXICO ON MAY 13, 2005 IN BOOK 2005 C, PAGE 155

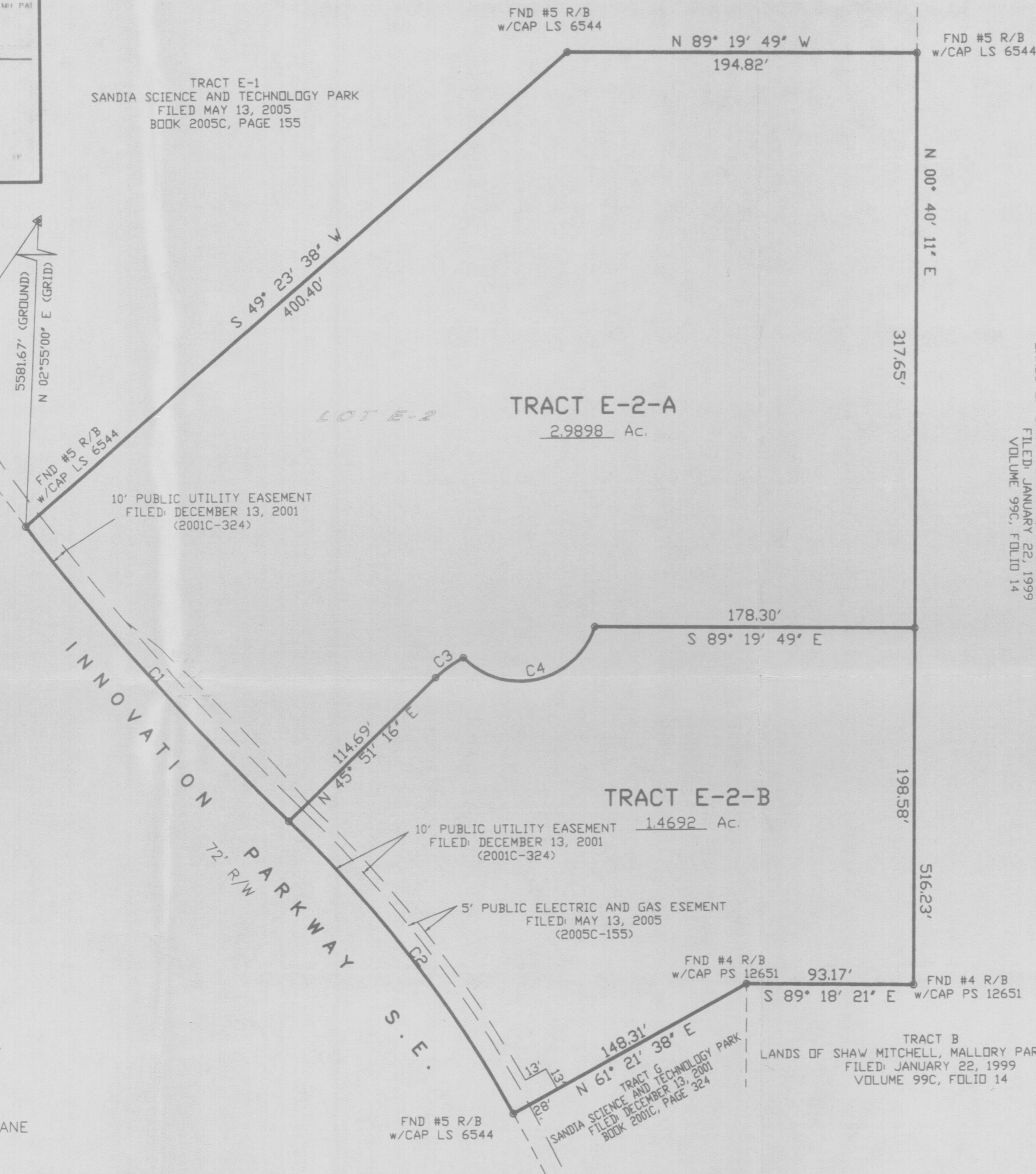


VICINITY MAP No. M-21

ACS STATION "6-L21"  
X=417,975.01  
Y=1,481,220.09  
GRD TO GRID=0.99964527  
Δα = -00° 09' 27"  
CENTRAL ZONE, NAD 1927



TRACT E-1  
SANDIA SCIENCE AND TECHNOLOGY PARK  
FILED MAY 13, 2005  
BOOK 2005C, PAGE 155



PROJECT NUMBER: \_\_\_\_\_  
APPLICATION NUMBER: \_\_\_\_\_  
UTILITY APPROVALS:  
PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_  
PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_  
QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_  
COMCAST \_\_\_\_\_ DATE \_\_\_\_\_  
NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_  
CITY APPROVALS:  
CITY SURVEYOR [Signature] 4-25-06 DATE \_\_\_\_\_  
\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_  
PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**STATEMENT OF DECLARATION OF PURPOSE:**  
THE PURPOSE OF THIS PLAT IS TO DIVIDE LOT E-2 INTO 2 LOTS AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 4.4589 ACRES.
  - TALOS LOG NO. 2006413275
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: MARCH, 2006.
  - CURRENT ZONING: I.P.

**FREE CONSENT**

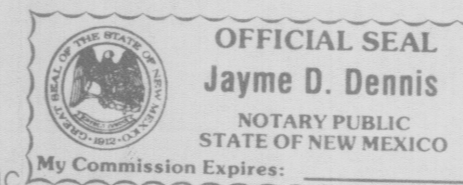
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) s.s.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 20 DAY OF April, 2006

BY: Scott Whittington  
OWNERS NAME

MY COMMISSION EXPIRES: March 27, 2010 BY: Jaime D. Dennis  
NOTARY PUBLIC



**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) s.s.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

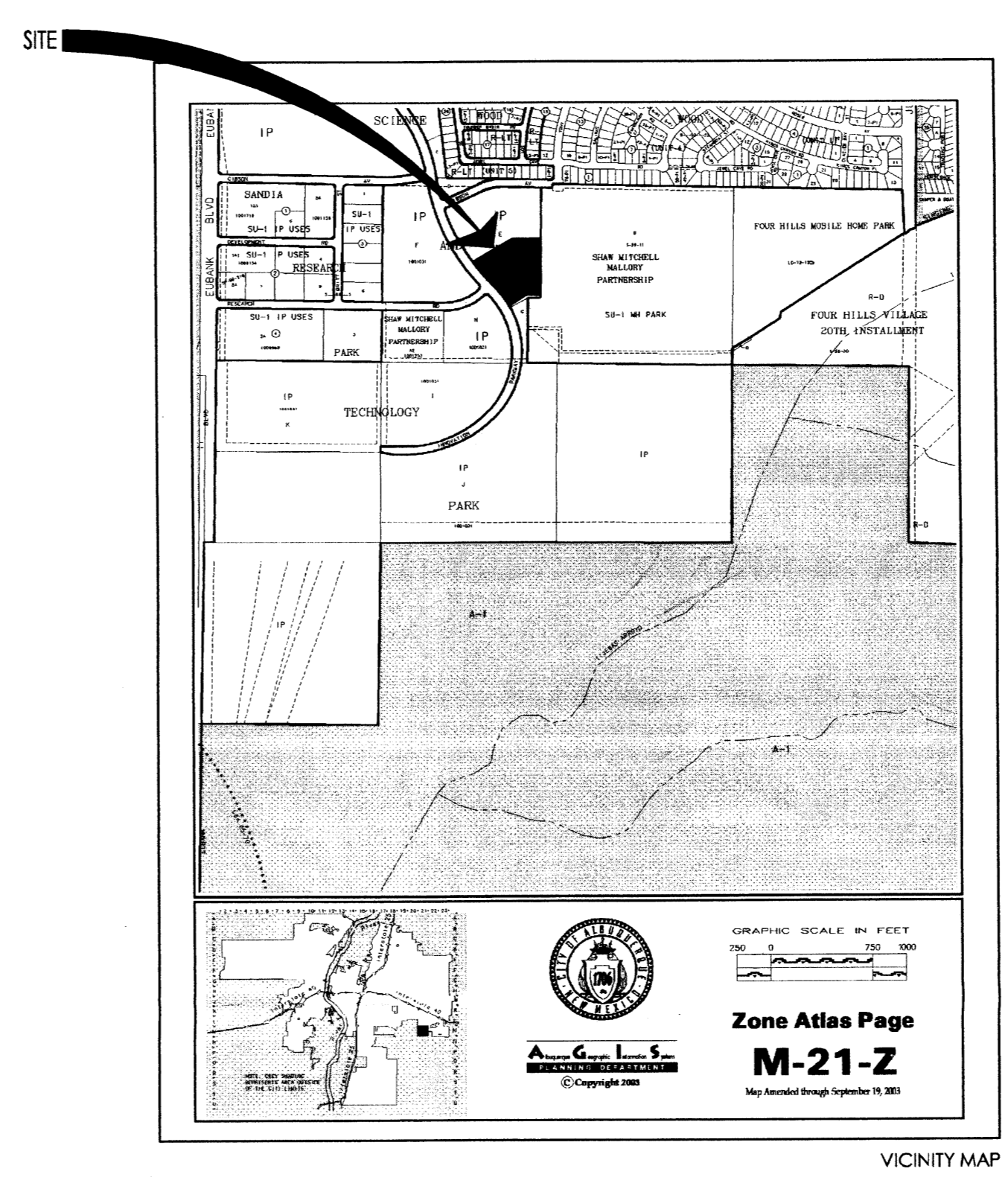
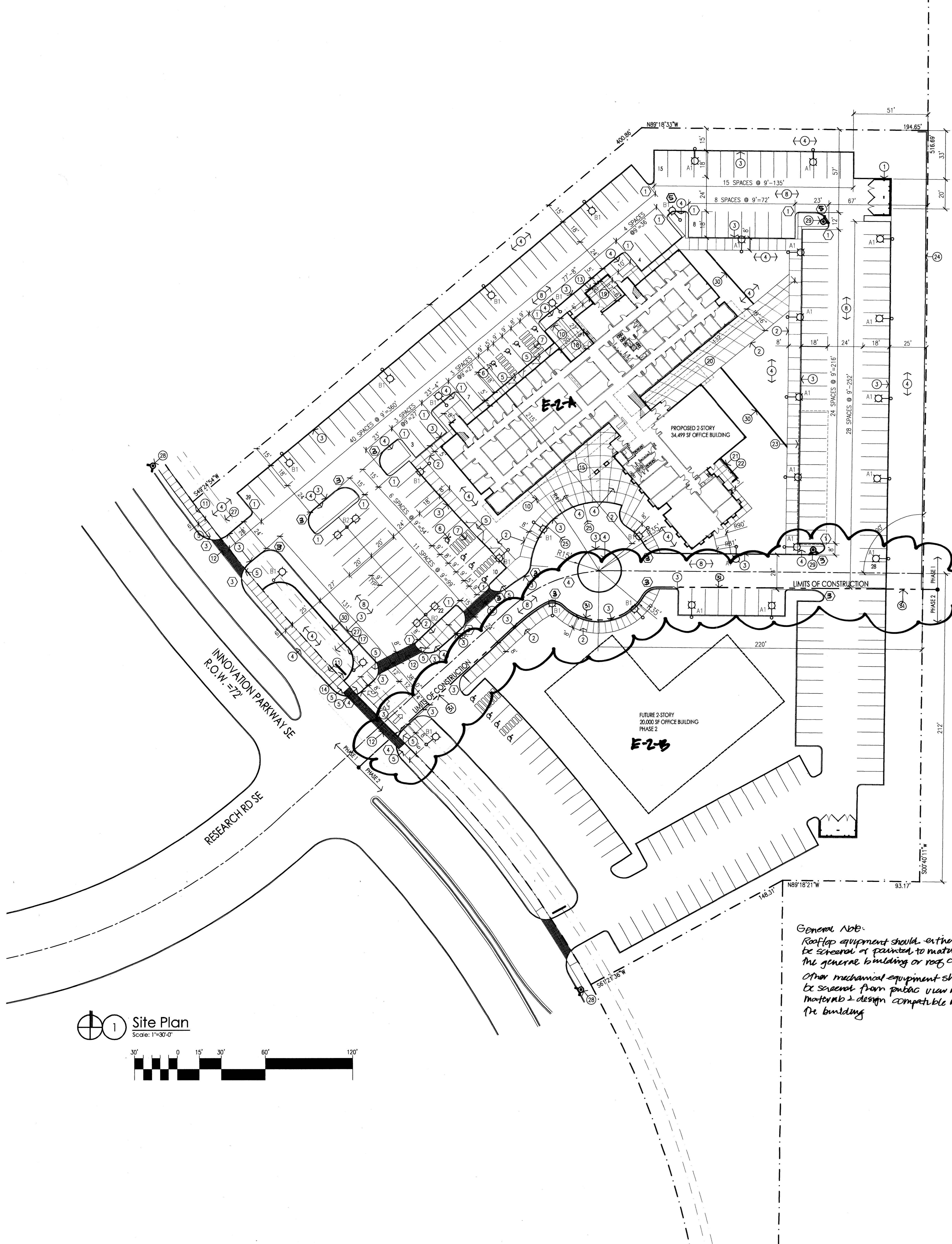
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 18th DAY OF April, 2006.

[Signature]  
ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC. PHONE: (505) 889-8056  
2412-D MONROE STREET, N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8645

**CURVE TABLE**

NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	08°39'54"	N 41°27'38" W	1456.2400	220.2298	220.0200
C2	17°09'12"	N 37°12'59" W	686.0000	205.3761	204.6100
C3	13°51'02"	N 54°33'44" E	78.9968	19.0965	19.0500
C4	117°22'46"	N 77°08'14" E	43.9982	90.1373	75.1811



**LEGAL DESCRIPTION**  
 A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT E OF THE BULK LAND PLAT OF SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001 IN BOOK 2001C, PAGE 324 AS DOCUMENT NO 2001148775. TRACT E-2 CONTAINS 4.4644 ACRES, MORE OR LESS.

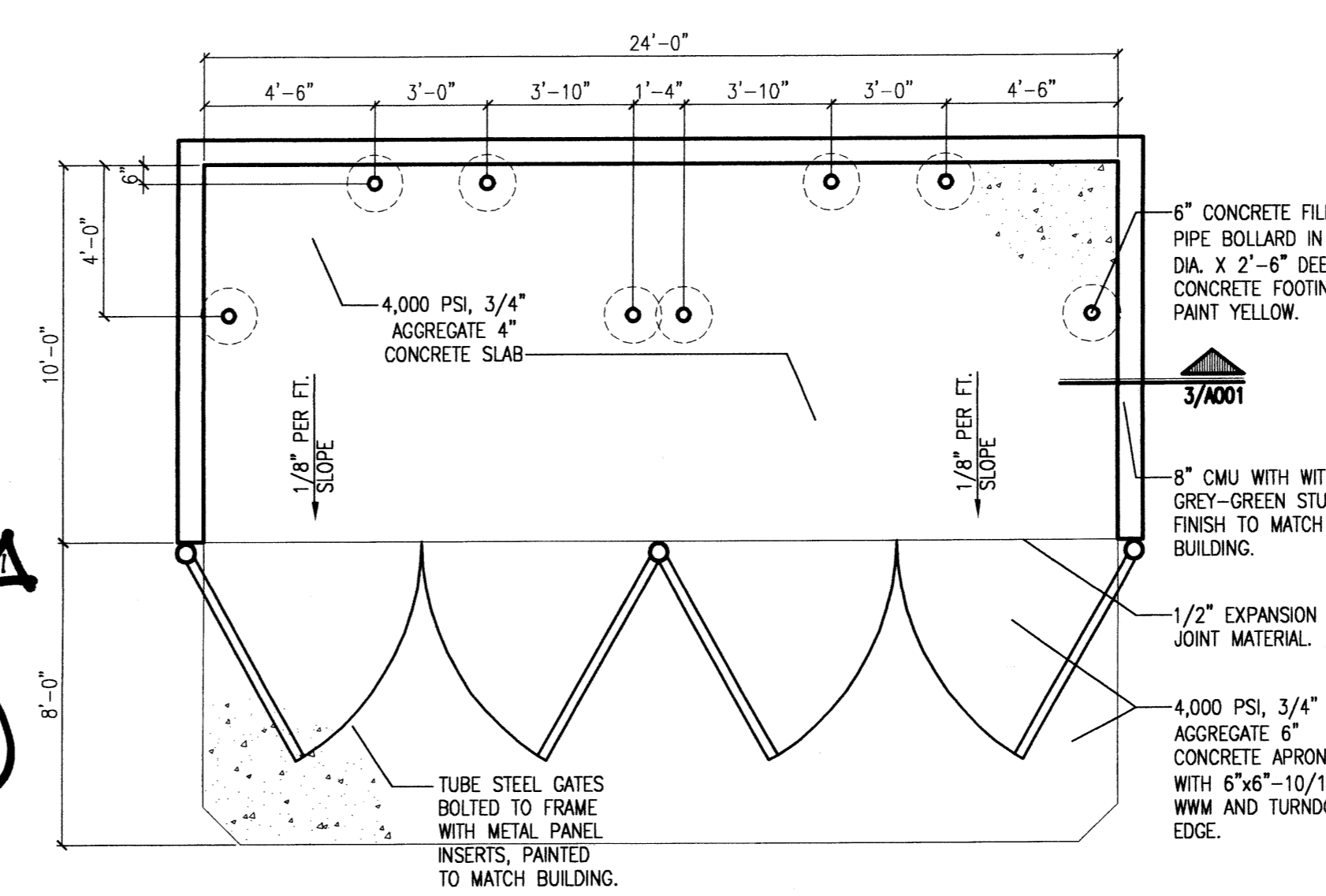
**PARKING REQUIRED (CSRI):**  
 TOTAL GROSS SF = 34,499 SF  
 FIRST FLOOR = 18,932/200=95 SPACES REQUIRED  
 SECOND FLOOR = 15,570/200=52 SPACES REQUIRED  
 TOTAL: 147 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

**PARKING REQUIRED (FUTURE CONSTRUCTION):**  
 TOTAL GROSS SF = 20,000 SF  
 FIRST FLOOR = 10,000/200=50 SPACES REQUIRED  
 SECOND FLOOR = 10,000/200=50 SPACES REQUIRED  
 TOTAL: 100 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

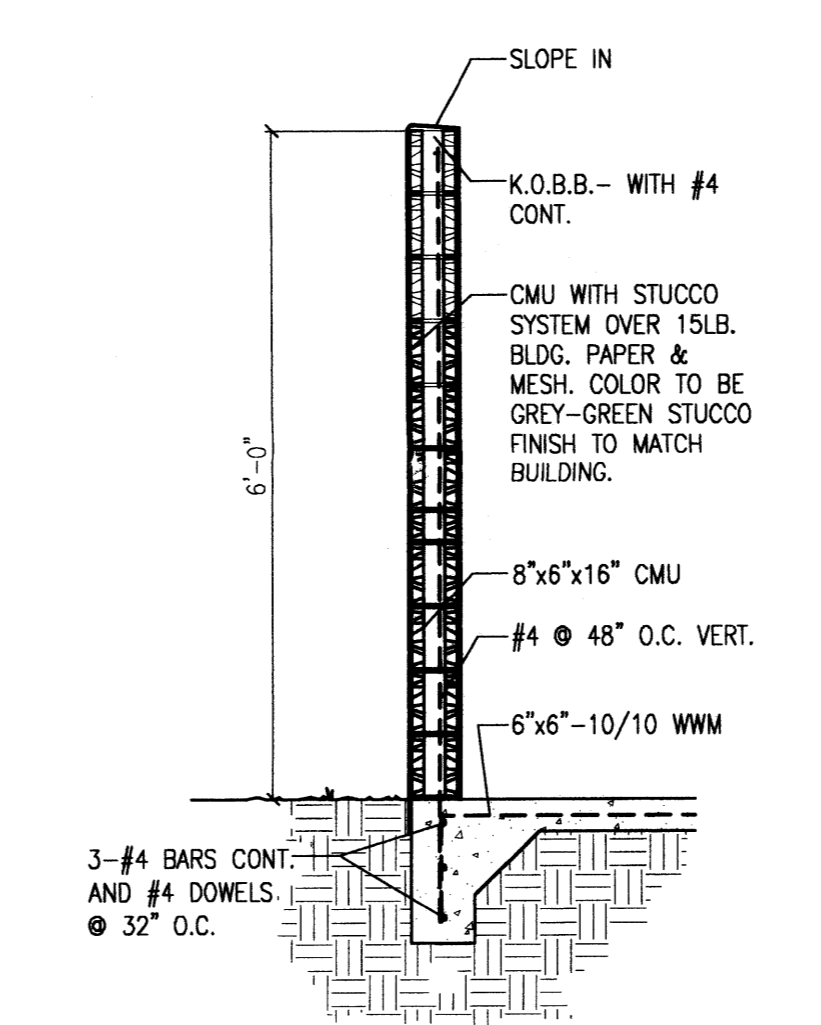
**PARKING PROVIDED:**  
 TOTAL SITE PARKING = 242 SPACES INCLUDING 12 ACCESSIBLE SPACES  
 CSRI BUILDING = 151 SPACES INCLUDING 8 ACCESSIBLE SPACES  
 FUTURE 20,000 SF BUILDING (10,000 SF PER FLOOR) = 91 SPACES INCLUDING 4 ACCESSIBLE SPACES

**BICYCLE PARKING:**  
 151 SPACES/20 = 8 SPACES REQUIRED  
 = 9 SPACES PROVIDED

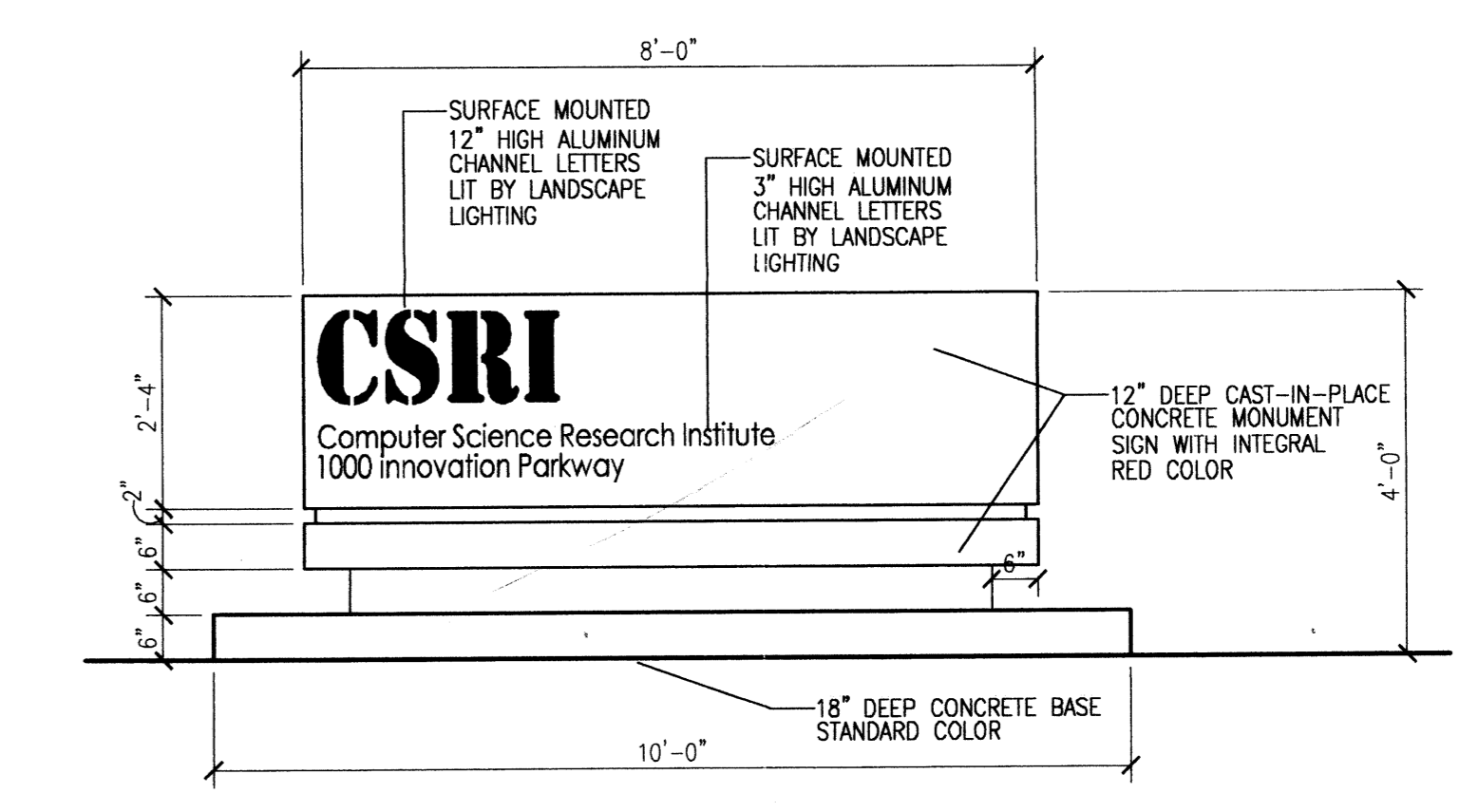
- KEYED NOTES:**
- CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH, REFER TO 2.3/401.
  - CONCRETE SIDEWALK.
  - NEW CONCRETE CURB, CUT 24" WIDE PER COA DETAIL 2426.
  - LANDSCAPING WITH DRIP IRRIGATION.
  - HC RAMP.
  - HC PAVEMENT SIGN.
  - HC AISLE STRIPING.
  - ASPHALT CONCRETE PAVING.
  - SITE LIGHT.
  - BIKE RACK.
  - NEW 6" WIDE CITY SIDEWALK PER COA DETAIL 2430.
  - COLORLED CONCRETE PEDESTRIAN WALKWAY.
  - 6" HIGH CMU WALL WITH STUCCO FINISH.
  - MONUMENT SIGN LIT BY LANDSCAPE LIGHTING, REFER TO 4/4001.
  - 2000 SF, COLORLED CONCRETE PLAZA.
  - NOT USED.
  - EXISTING 5' PUBLIC ELECTRIC AND GAS EASEMENT.
  - 550 SF PLAZA SPACE.
  - 2500 SF PLAZA SPACE.
  - 8" HIGH CMU SCREEN WALL WITH STUCCO FINISH.
  - ELECTRICAL METERS AND EQUIPMENT, SEE ELECTRICAL.
  - GOVERNMENT PARKING SPACES, PAINT CURB BLUE.
  - 6" HIGH CMU SCREEN WALL, COLOR RED TO MATCH BUILDING.
  - PAVEMENT STRIPING FOR PARALLEL PARKING, SIGN AS 2-HOUR.
  - NOT USED.
  - EXISTING 10' PUBLIC UTILITY EASEMENT.
  - EXISTING FIRE HYDRANT.
  - NEW FIRE HYDRANT.
  - CONCRETE LANDSCAPE HEADER.
  - NEW PROPOSED PROPERTY LINE.



**2 Dumpster Enclosure Plan**  
 Scale: 1"=20'-0"



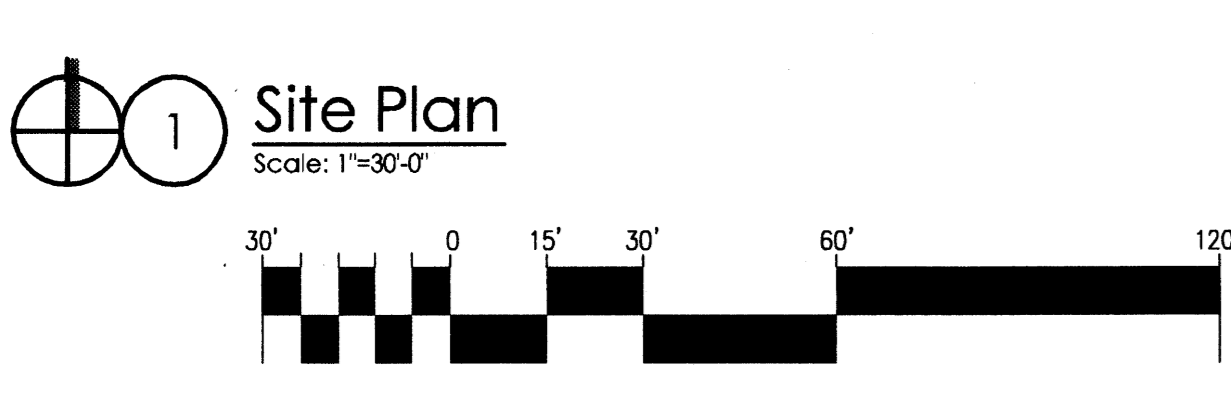
**3 Enclosure Wall Section**  
 Scale: 1/4"=1'-0"



**4 Monument Sign Elevation Detail**  
 Scale: 1/2"=1'-0"

**General Note:**  
 Rooftop equipment should either be screened or painted to match the general building or roof color.  
 Other mechanical equipment should be screened from public view with materials & design compatible with the building.

WITH THE RECORDING OF THIS PLAT, A RECIPROCAL DRIVEWAY, PEDESTRIAN ACCESS, PARKING AND DRAINAGE EASEMENT WILL BE GRANTED BY THIS PLAT FOR THE BENEFIT OF THE OWNERS OF TRACT E-2-A AND TRACT E-2-B WITH THE MAINTENANCE OF SUCH TO BE THE INDIVIDUAL TRACT OWNERS.



PROJECT NUMBER: 1004320	APPLICATION NUMBER: 05-01137
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
<i>[Signature]</i> TRANSPORTATION ENGINEER, TRANSPORTATION DIVISION	7-28-05 Date
<i>[Signature]</i> UTILITIES DEPARTMENT	7-28-05 Date
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	7/20/05 Date
<i>[Signature]</i> CITY ENGINEER	7/20/05 Date
N/A *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>[Signature]</i> SOLID WASTE MANAGEMENT	7/28/05 Date
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	7/20/05 Date

revision \_\_\_\_\_  
 by \_\_\_\_\_  
 date \_\_\_\_\_  
 rev

04-18  
 MAG  
 JPH  
 07/20/05

job number  
 drawn by  
 project manager  
 date

project title  
**CSRI Building**  
 1450 Innovation Parkway  
 Albuquerque, New Mexico

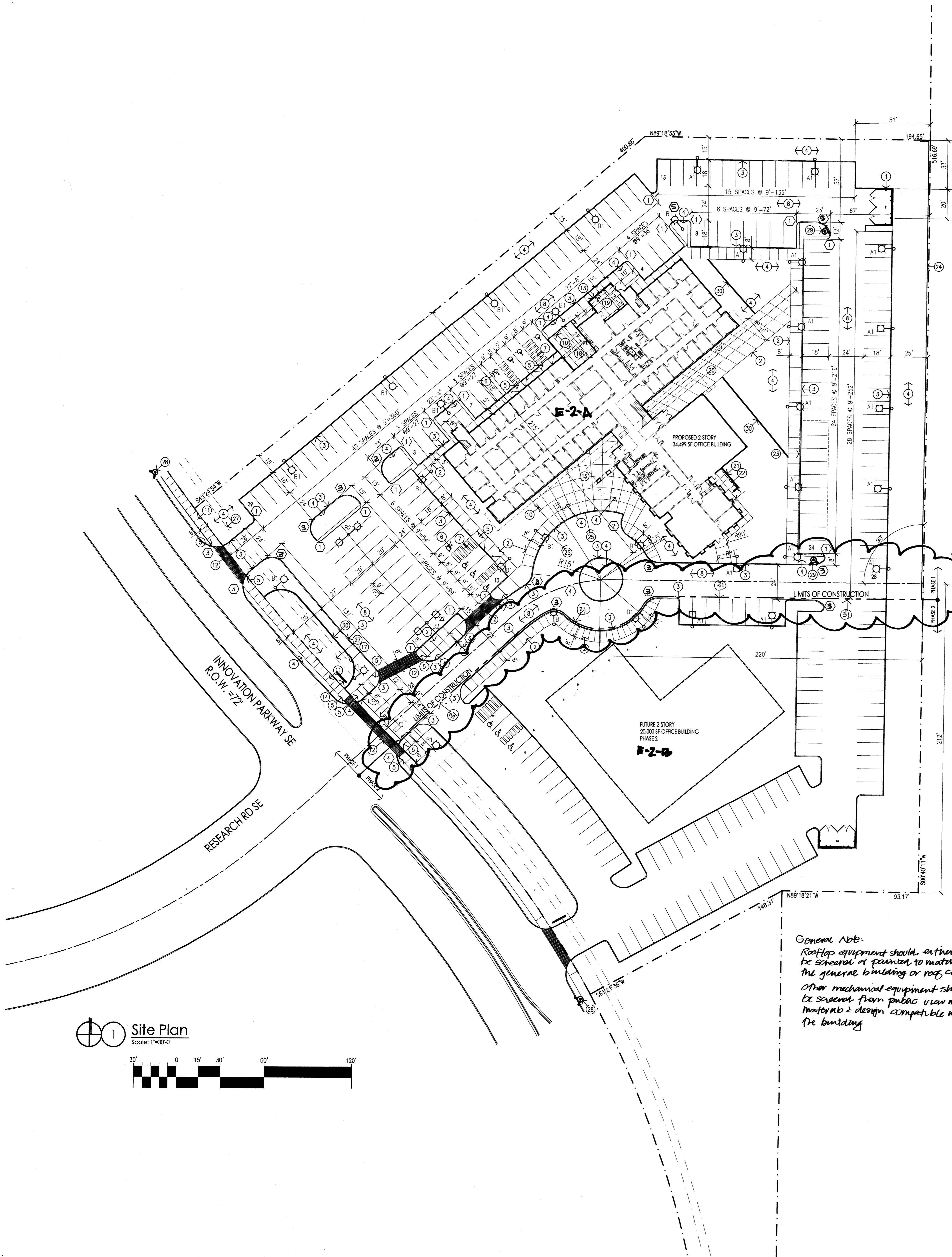
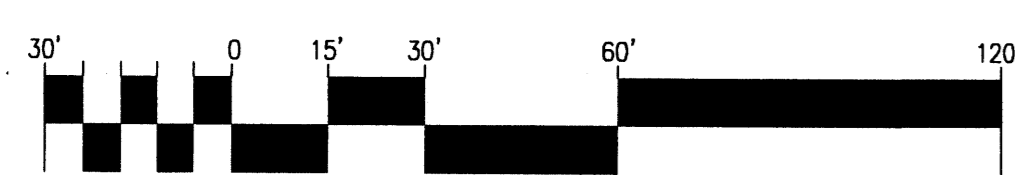
sheet title  
**Site Development Plan for Building Permit**

sheet  
**A001**

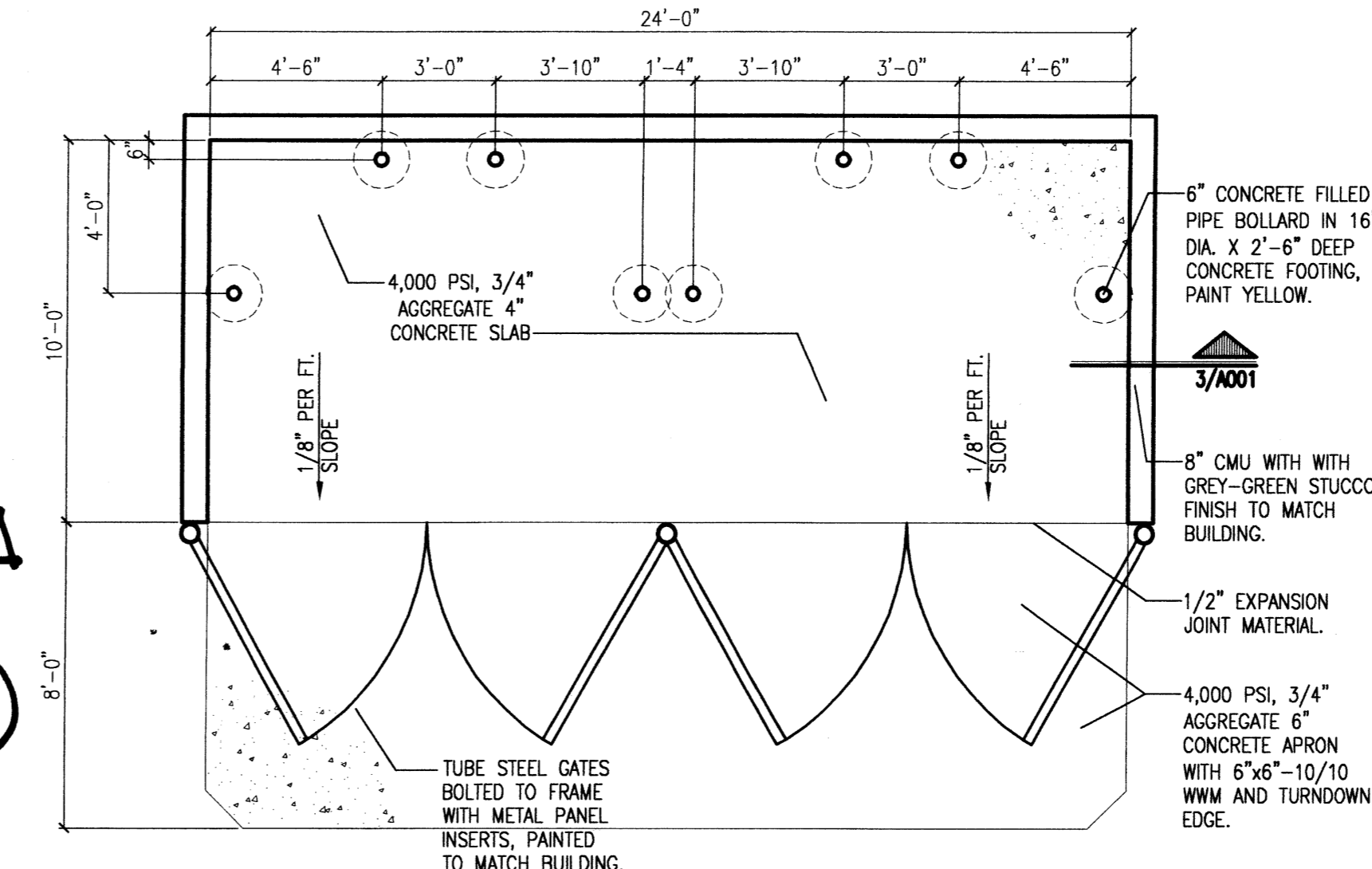
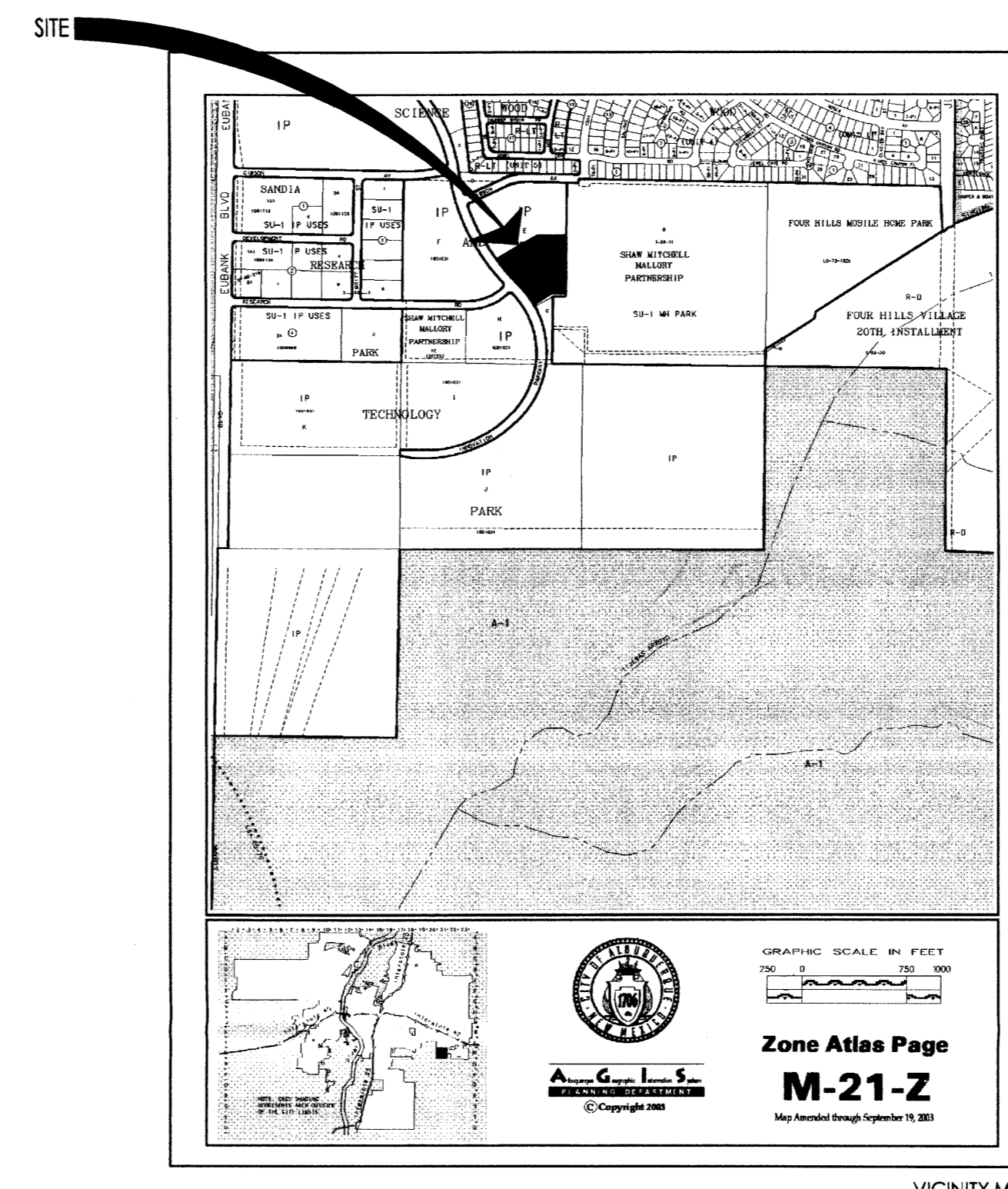
Mullen Heller Architecture P.C.  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]

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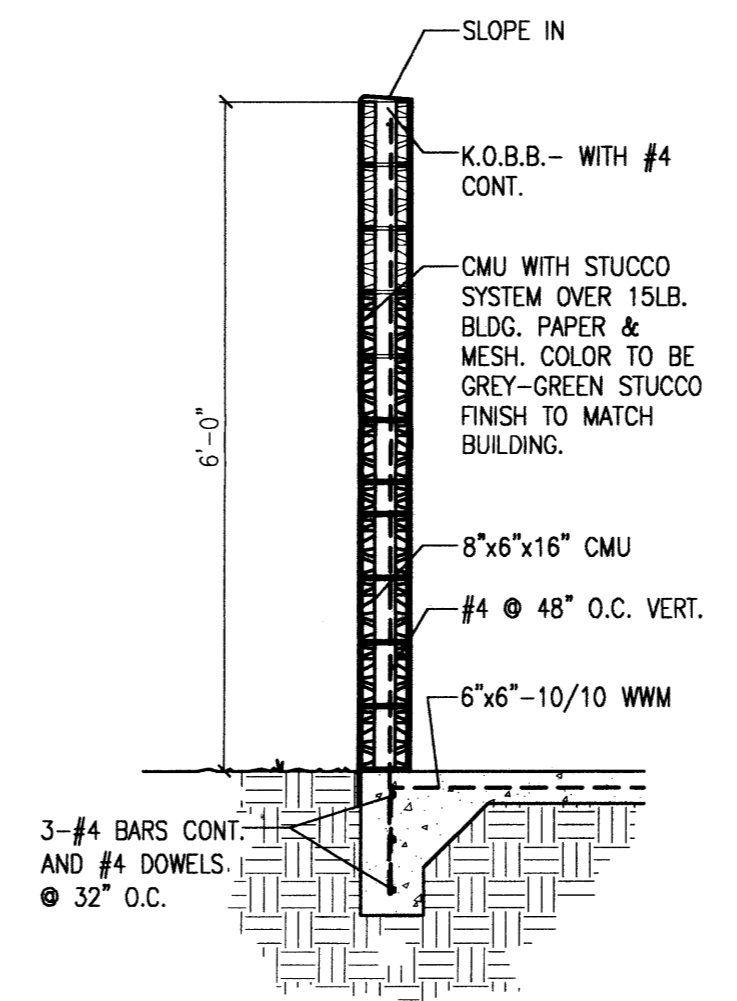
**1 Site Plan**  
Scale: 1"=30'-0"



General Note:  
Roof-top equipment should either be screened or painted to match the general building or roof color.  
Other mechanical equipment should be screened from public view with materials & design compatible with the building.

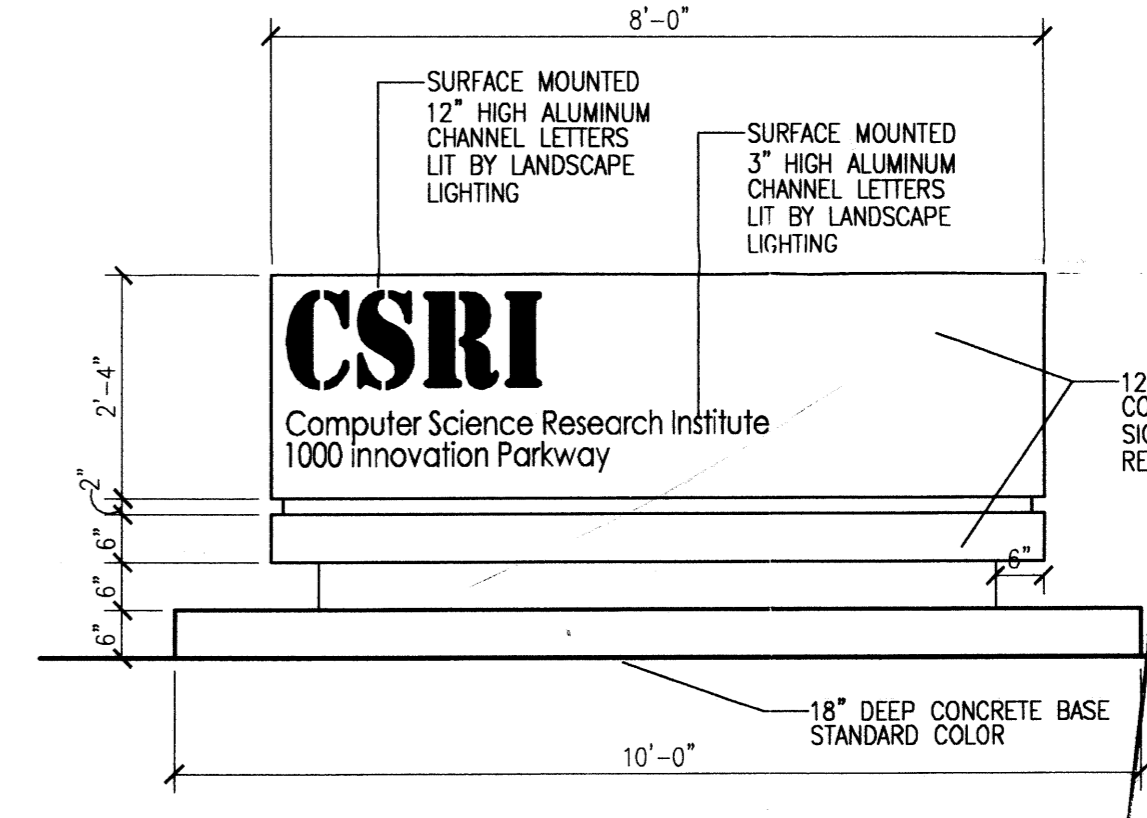


**2 Dumpster Enclosure Plan**  
Scale: 1"=20'-0"



**3 Enclosure Wall Section**  
Scale: 1/4"=1'-0"

WITH THE RECORDING OF THIS PLAN, A REPARCEL DEVENUE, PEDESTRIAN ACCESS, PARKING AND DRAINAGE EASEMENT WILL BE GRANTED BY THIS PLAN FOR THE BENEFIT OF THE OWNERS OF TRACT E-2-A AND TRACT E-2-B WITH THE MAINTENANCE OF SUCH TO BE THE INDIVIDUAL TRACT OWNERS.



**4 Monument Sign Elevation Detail**  
Scale: 1/2"=1'-0"

**LEGAL DESCRIPTION**  
A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT E OF THE BULK LAND PLAT OF SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001 IN BOOK 20015, PAGE 324 AS DOCUMENT NO 2001148775. TRACT E-2 CONTAINS 4.4644 ACRES, MORE OR LESS.

**PARKING REQUIRED (CSRI):**  
TOTAL GROSS SF = 34,499 SF  
FIRST FLOOR = 18,929/200-95 SPACES REQUIRED  
SECOND FLOOR = 15,570/300-52 SPACES REQUIRED  
TOTAL = 147 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

**PARKING REQUIRED (FUTURE CONSTRUCTION):**  
TOTAL GROSS SF = 20,000 SF  
FIRST FLOOR = 10,000/200-50 SPACES REQUIRED  
SECOND FLOOR = 10,000/300-34 SPACES REQUIRED  
TOTAL = 84 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

**PARKING PROVIDED:**  
TOTAL SITE PARKING = 242 SPACES INCLUDING 12 ACCESSIBLE SPACES  
CSRI BUILDING = 151 SPACES INCLUDING 8 ACCESSIBLE SPACES  
FUTURE 20,000 SF BUILDING (10,000 SF PER FLOOR) = 91 SPACES INCLUDING 4 ACCESSIBLE SPACES

**BICYCLE PARKING:**  
151 SPACES/20 = 8 SPACES REQUIRED  
= 9 SPACES PROVIDED

- KEYED NOTES:**
- [1] CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH, REFER TO 2.3/A01.
  - [2] CONCRETE SIDEWALK.
  - [3] NEW CONCRETE CURB, CUT 24" WIDE PER COA DETAIL 2426.
  - [4] LANDSCAPING WITH DRIP IRRIGATION.
  - [5] HC RAMP.
  - [6] HC PAVEMENT SIGN.
  - [7] HC AISLE STRIPING.
  - [8] ASPHALT CONCRETE PAVING.
  - [9] SITE LIGHT.
  - [10] BIKE RACK.
  - [11] NEW 6" WIDE CITY SIDEWALK PER COA DETAIL 3030.
  - [12] COLORED CONCRETE PEDESTRIAN WALKWAY.
  - [13] 6" HIGH CMU WALL WITH STUCCO FINISH.
  - [14] MONUMENT SIGN LIT BY LANDSCAPE LIGHTING, REFER TO 4/A01.
  - [15] 2000 SF. COLORED CONCRETE PLAZA.
  - [16] NOT USED.
  - [17] EXISTING 5" PUBLIC ELECTRIC AND GAS EASEMENT.
  - [18] 500 SF PLAZA SPACE.
  - [19] 350 SF PLAZA SPACE.
  - [20] 2500 SF PLAZA SPACE.
  - [21] 8" HIGH CMU SCREEN WALL WITH STUCCO FINISH.
  - [22] ELECTRICAL METERS AND EQUIPMENT, SEE ELECTRICAL.
  - [23] GOVERNMENT PARKING SPACES, PAINT CURB BLUE.
  - [24] 6" HIGH CMU SCREEN WALL COLOR RED TO MATCH BUILDING.
  - [25] PAVEMENT STRIPING FOR PARALLEL PARKING, SIGN AS 2-HOUR.
  - [26] NOT USED.
  - [27] EXISTING 10" PUBLIC UTILITY EASEMENT.
  - [28] EXISTING FIRE HYDRANT.
  - [29] NEW FIRE HYDRANT.
  - [30] CONCRETE LANDSCAPE HEADER.
  - [31] NEW PROPOSED PROPERTY LINE.

- RADIUS INFORMATION**
- ① RADIUS = 3'-0"
  - ② RADIUS = 10'-0"
  - ③ RADIUS = 15'-0"
  - ④ RADIUS = 100'-0"
  - ⑤ RADIUS = 25'-0"

- SITE LIGHTING LEGEND**
- A1 15' HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE.
  - B1 20' HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE.
  - B2 20' HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE.

PROJECT NUMBER: 1004320	APPLICATION NUMBER: 06-01137
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRG SITE DEVELOPMENT PLAN APPROVAL:</b>	
<i>[Signature]</i>	7-28-05
TRANSPORTATION DIVISION	Date
<i>[Signature]</i>	7-28-05
UTILITIES DEPARTMENT	Date
<i>[Signature]</i>	7/20/05
PARKS AND RECREATION DEPARTMENT	Date
<i>[Signature]</i>	7/20/05
CITY ENGINEER	Date
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>[Signature]</i>	7/28/05
SOLID WASTE MANAGEMENT	Date
<i>[Signature]</i>	7/20/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

revision by date  
 10/20/05  
 MHC AMENDMENT TO SITE DEVELOPMENT PLAN

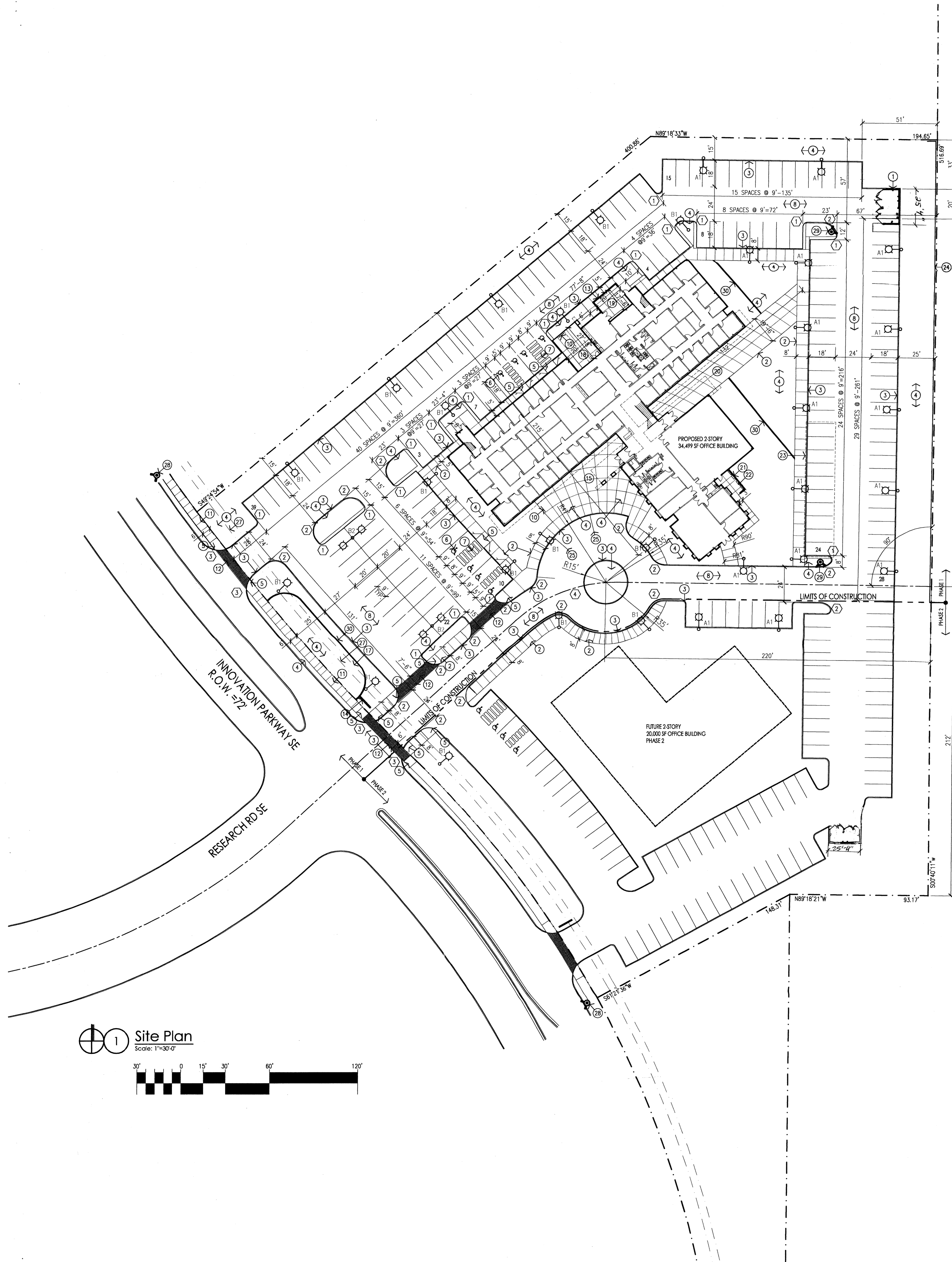
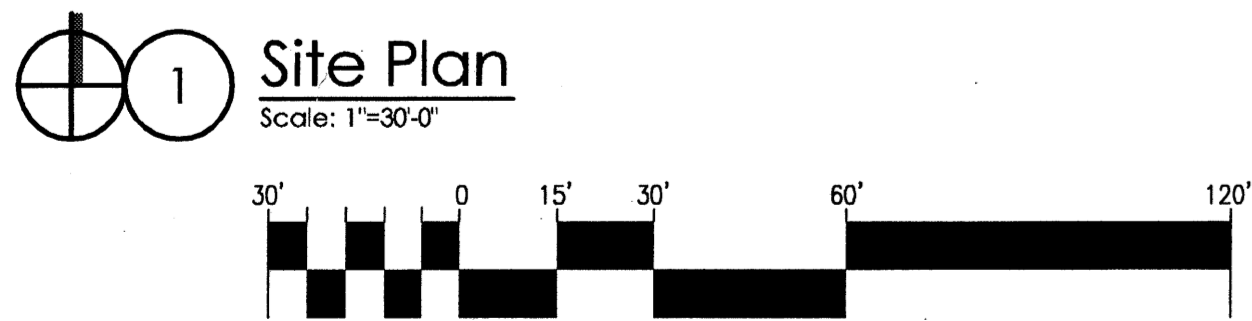
**Mullen Heller Architecture P.C.**  
 1015 Tijeras Avenue NW  
 Suite 220  
 Albuquerque 87102  
 505 268 4144 (p)  
 505 268 4244 (f)

project number	04-18
drawn by	MAC
project manager	JDH
date	07/20/05

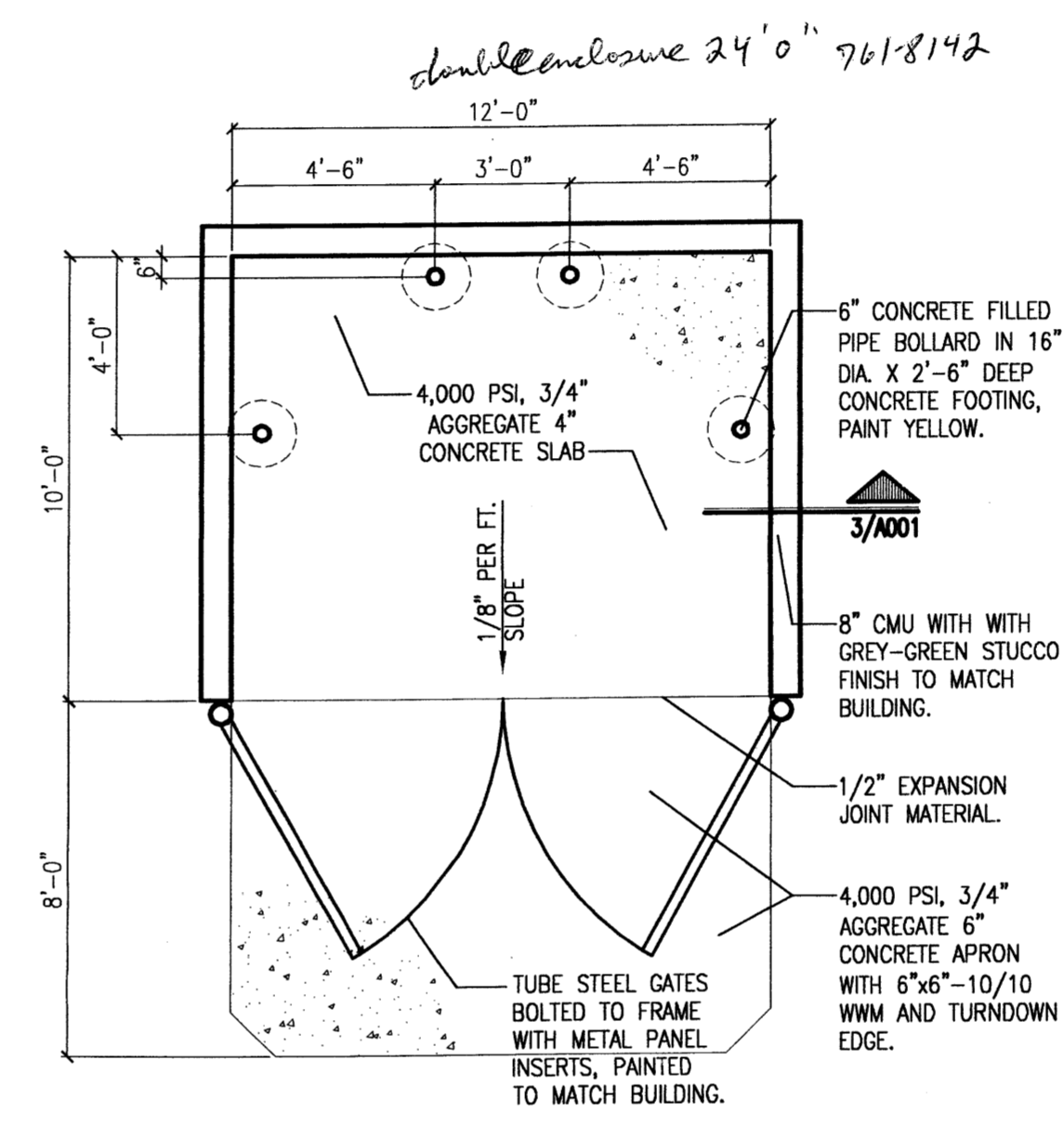
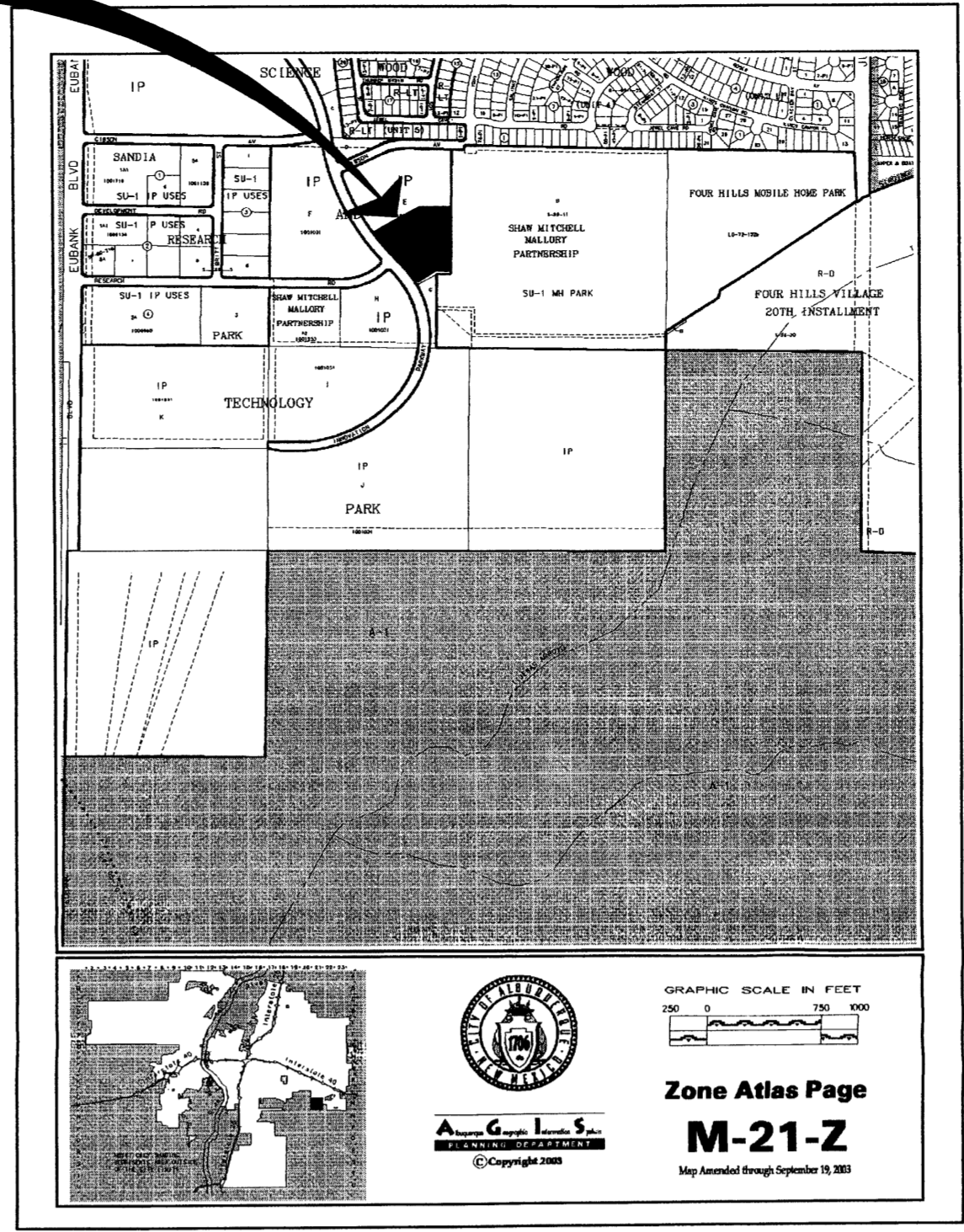
sheet: **A001**

project file: **CSRI Building**  
 1450 Innovation Parkway  
 Albuquerque, New Mexico

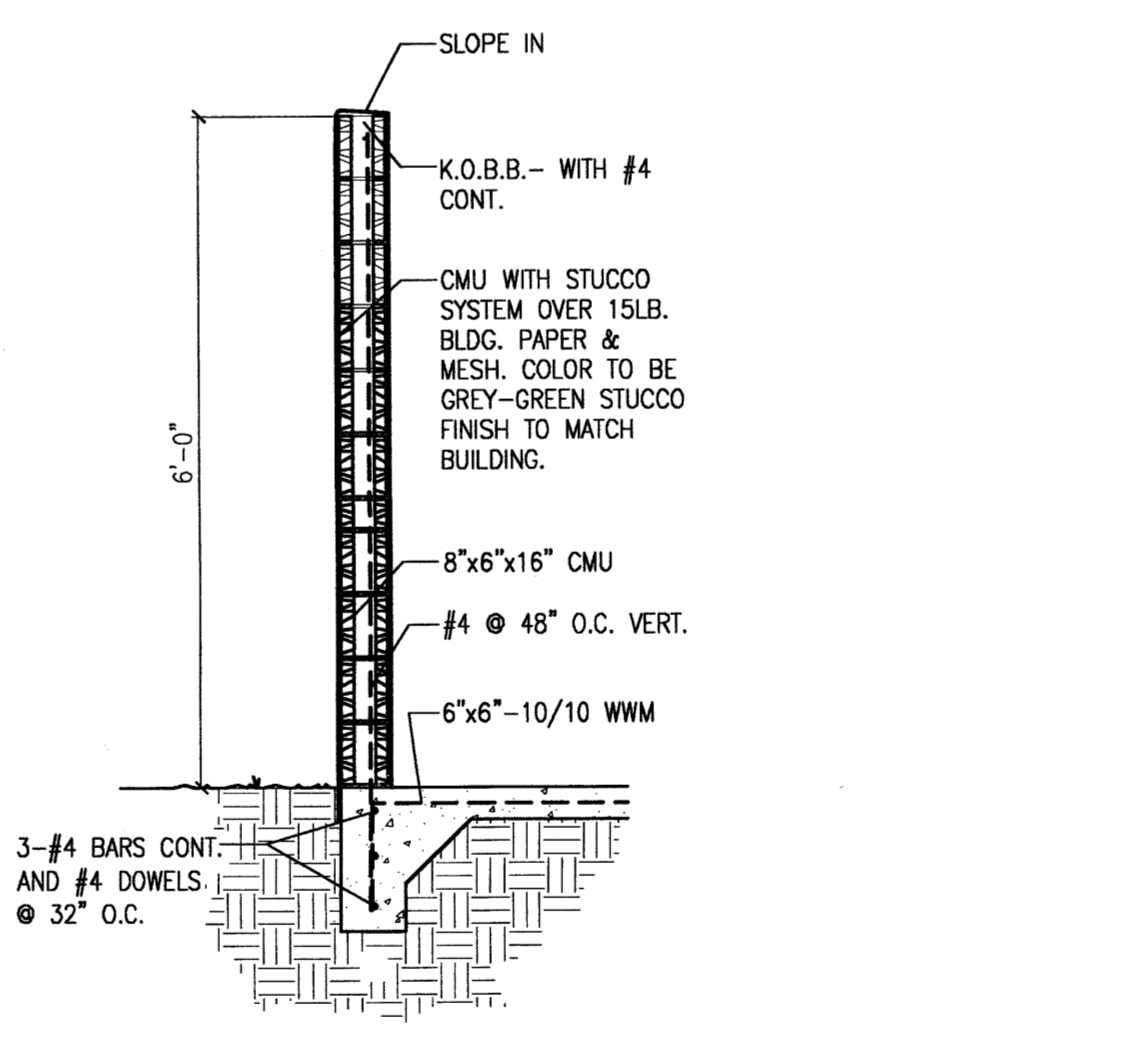
permit file: **Site Development Plan for Building Permit**



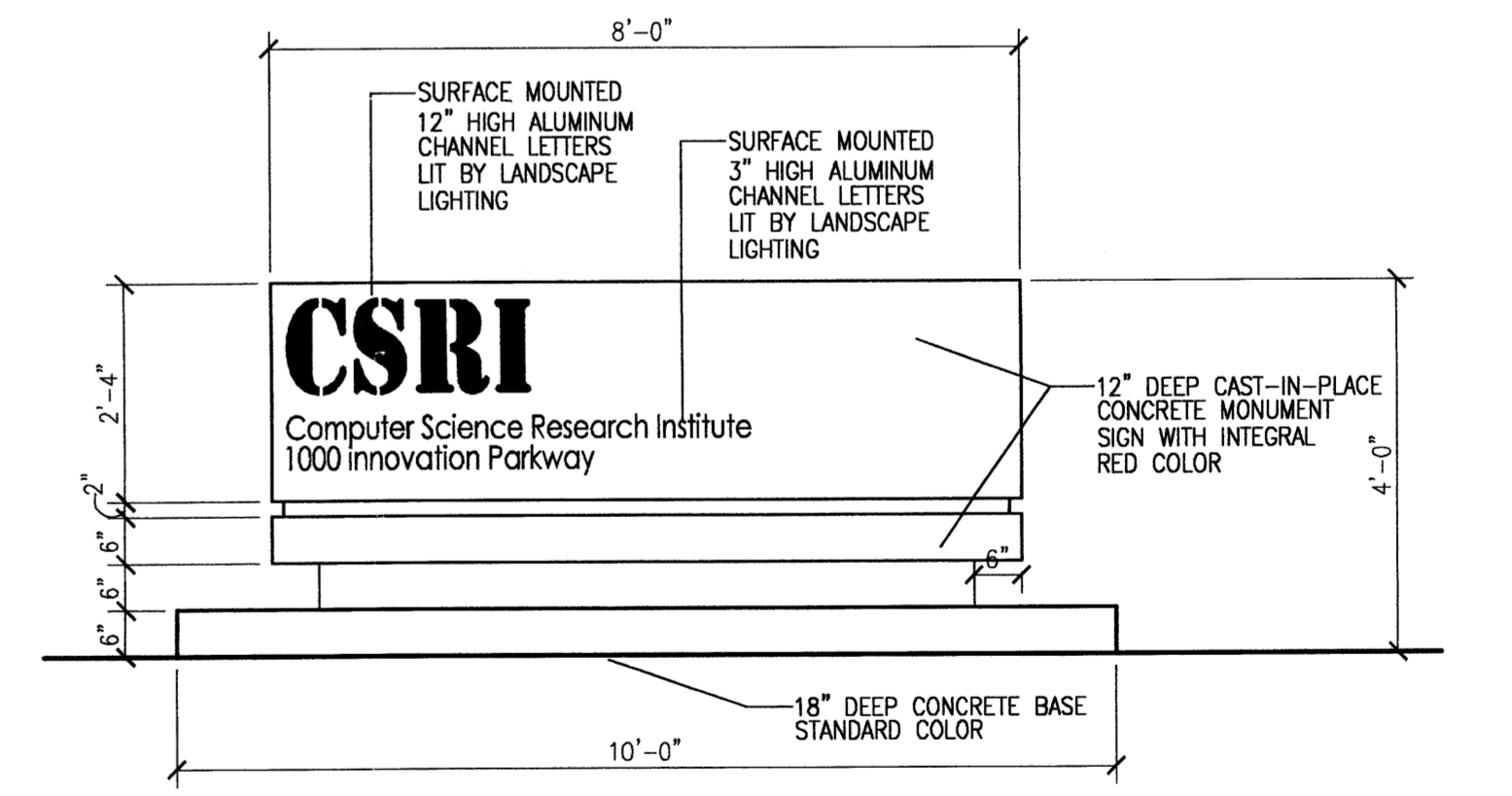
SITE



2 Dumpster Enclosure Plan  
Scale: 1/4"=1'-0"



3 Enclosure Wall Section  
Scale: 1/4"=1'-0"



4 Monument Sign Elevation Detail  
Scale: 1/2"=1'-0"

**LEGAL DESCRIPTION**  
A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 33, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, BEING AND COMPRISING ALL OF TRACT E OF THE BULK LAND PLAN OF SANDIA SCIENCE AND TECHNOLOGY PARK, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAN THEREOF, RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 13, 2001 IN BOOK 2001C, PAGE 324 AS DOCUMENT NO 2001148775. TRACT E-2 CONTAINS 4.4644 ACRES, MORE OR LESS.

**PARKING REQUIRED (CSRI):**  
TOTAL GROSS SF = 34,499 SF  
FIRST FLOOR = 18,929/200-95 SPACES REQUIRED  
SECOND FLOOR = 15,570/300-52 SPACES REQUIRED  
TOTAL = 147 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

**PARKING REQUIRED (FUTURE CONSTRUCTION):**  
TOTAL GROSS SF = 20,000 SF  
FIRST FLOOR = 10,000/200-50 SPACES REQUIRED  
SECOND FLOOR = 10,000/300-34 SPACES REQUIRED  
TOTAL = 84 SPACES REQUIRED INCLUDING 8 ACCESSIBLE SPACES

**PARKING PROVIDED:**  
TOTAL SITE PARKING = 242 SPACES INCLUDING 12 ACCESSIBLE SPACES  
CSRI BUILDING = 151 SPACES INCLUDING 8 ACCESSIBLE SPACES  
FUTURE 20,000 SF BUILDING (10,000 SF PER FLOOR) = 91 SPACES INCLUDING 4 ACCESSIBLE SPACES

**BICYCLE PARKING:**  
151 SPACES/20 = 8 SPACES REQUIRED  
= 9 SPACES PROVIDED

**KEYED NOTES:**  
(1) CMU DUMPSTER ENCLOSURE WITH STUCCO FINISH, REFER TO 2.3/A001  
(2) CONCRETE SIDEWALK.  
(3) NEW CONCRETE CURB, CUT 24" WIDE PER COA DETAIL 2426.  
(4) LANDSCAPING WITH DRIP IRRIGATION.  
(5) HC RAMP.  
(6) HC PAVEMENT SIGN.  
(7) HC ASLE STRIPING.  
(8) ASPHALT CONCRETE PAVING.  
(9) SITE LIGHT.  
(10) BIKE RACK.  
(11) NEW 6" WIDE CITY SIDEWALK PER COA DETAIL 2426.  
(12) COLORED CONCRETE PEDESTRIAN WALKWAY.  
(13) 6" HIGH CMU WALL WITH STUCCO FINISH.  
(14) MONUMENT SIGN LIT BY LANDSCAPE LIGHTING, REFER TO 4/A001.  
(15) 2000 SF. COLORED CONCRETE PLAZA.  
(16) NOT USED.  
(17) EXISTING 5" PUBLIC ELECTRIC AND GAS EASEMENT.  
(18) 550 SF PLAZA SPACE.  
(19) 350 SF PLAZA SPACE.  
(20) 2500 SF PLAZA SPACE.  
(21) 6" HIGH CMU SCREEN WALL WITH STUCCO FINISH.  
(22) ELECTRICAL METERS AND EQUIPMENT, SEE ELECTRICAL.  
(23) GOVERNMENT PARKING SPACES, PAINT CURB BLUE.  
(24) 6" HIGH WOOD CEDAR PICKET SCREEN FENCE, SEALED.  
(25) PAVEMENT STRIPING FOR PARALLEL PARKING, SIGN AS 2-HOUR.  
(26) NOT USED.  
(27) EXISTING 10' PUBLIC UTILITY EASEMENT.  
(28) EXISTING FIRE HYDRANT.  
(29) NEW FIRE HYDRANT.  
(30) CONCRETE LANDSCAPE HEADER.

**RADIUS INFORMATION**  
(1) RADIUS = 3'-0"  
(2) RADIUS = 10'-0"  
(3) RADIUS = 15'-0"  
(4) RADIUS = 100'-0"

**SITE LIGHTING LEGEND**  
A1 16" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE.  
B1 20" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE.  
B2 20" HIGH DARK BRONZE LITE POLE WITH 100 WATT HPS SHIELDED SHOEBOX FIXTURE.

SPBP  
**PRELIMINARY PLAT**  
APPROVED BY DRB  
ON 7/20/05

revision  
by  
date

**MH**  
Mullen Heller  
Architecture P.C.  
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505 268 4244 [f]

job number 04-18  
drawn by MAG  
project manager JDN  
date 07/11/05

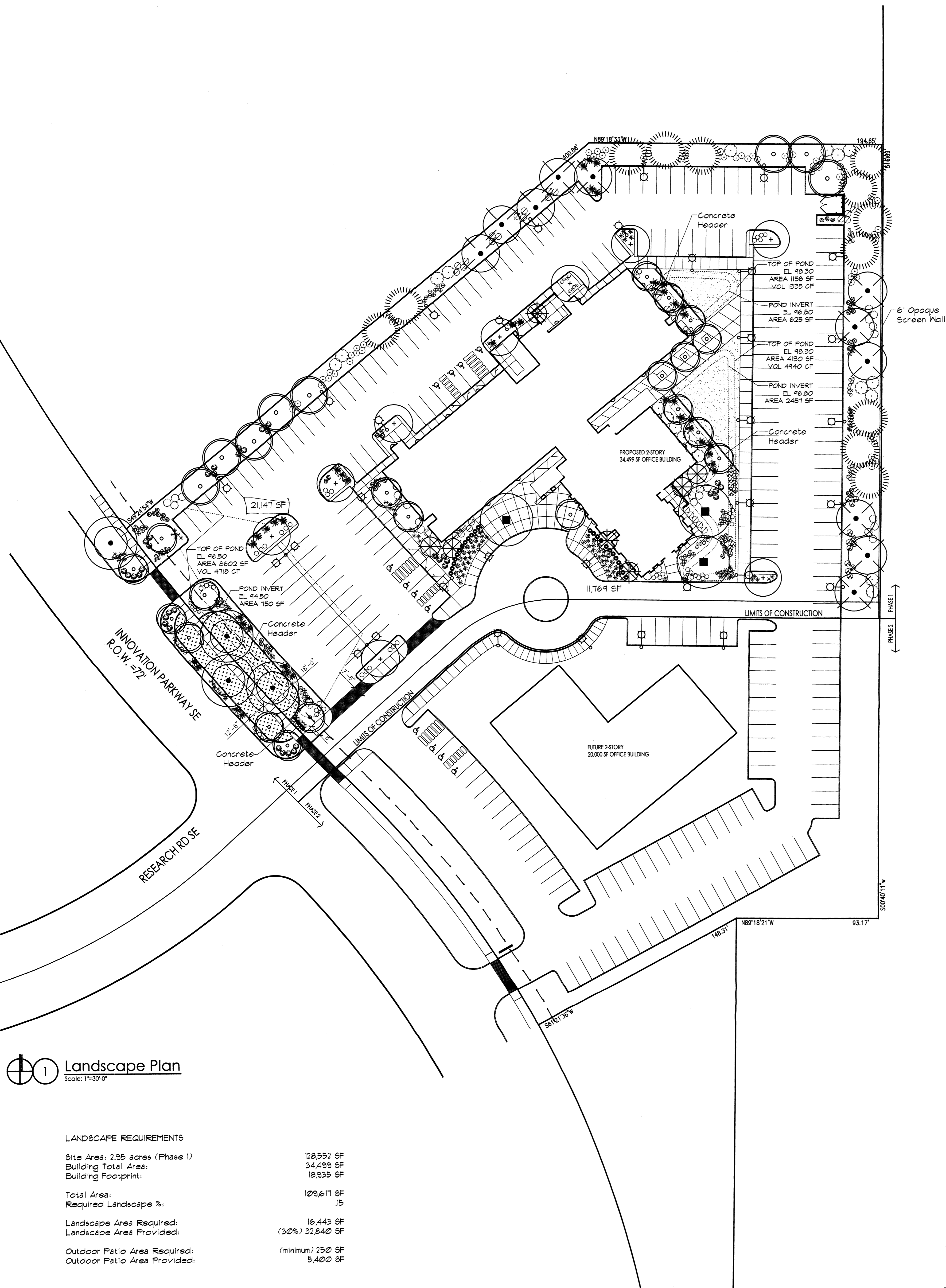
project title CSRI Building  
1450 Innovation Parkway  
Albuquerque, New Mexico  
sheet title Site Development Plan for Building Permit

PROJECT NUMBER:	APPLICATION NUMBER:
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DDC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
UTILITIES DEVELOPMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
Michael Hutton (requires double enclosure)	7/6/05
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

**1 Landscape Plan**  
Scale: 1"=30'-0"

**LANDSCAPE REQUIREMENTS**

Site Area: 2.95 acres (Phase I)	128,552 SF
Building Total Area:	34,493 SF
Building Footprint:	18,935 SF
Total Area:	109,617 SF
Required Landscape %:	.15
Landscape Area Required:	16,443 SF
Landscape Area Provided:	(30%) 32,840 SF
Outdoor Patio Area Required:	(minimum) 250 SF
Outdoor Patio Area Provided:	5,400 SF



**PLANT LEGEND**

Qty.	Symbol	Scientific Name Common Name	Size	Installed Size Mature Size	Water Use
<b>Trees</b>					
8	○	<i>Chitalpa tashkentensis</i> Chitalpa	2" B4B	8' ht. x 4' spr. 30' ht. x 30' spr.	Medium
4	+	<i>Fraxinus oxycarpa</i> 'Raywood' Raywood Ash	2" B4B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
4	○	<i>Fraxinus velutina</i> 'Modesto' Modesto Ash	2" B4B	14' ht. x 6' spr. 40' ht. x 35' spr.	Medium+
19	○	<i>Koeleria paniculata</i> Goldenrain Tree	2" B4B	14' ht. x 6' spr. 25' ht. x 25' spr.	Medium
7	⊗	<i>Lagerstroemia indica</i> Crape Myrtle	15-Gal.	8' ht. x 4' spr. 15' ht. x 15' spr.	Medium +
12	⊗	<i>Pinus nigra</i> Austrian Pine	B4B	8' min. ht. 35' ht. x 25' spr.	Medium
3	⊕	<i>Pistacia chinensis</i> Chinese Pistache	2" B4B	14' ht. x 6' spr. 60' ht. x 60' spr.	Medium +
11	⊕	<i>Tilia cordata</i> Little-leaf Linden	2" B4B	14' ht. x 5' spr. 40' ht. x 30' spr.	Low
<b>Shrubs/Groundcovers</b>					
22	⊗	<i>Baccharis 'Starr'</i> Thompson Baccharis	5-Gal.	4' o.c. 2' ht. x 4' spr.	Low +
26	⊗	<i>Buddleia davidii</i> 'Black Knight' Butterfly Bush	5-Gal.	5' o.c. 5' ht. x 5' spr.	Medium
45	⊗	<i>Caryopteris clandonensis</i> Blue Mist	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
19	○	<i>Caesalpinia gilliesii</i> Yellow Bird of Paradise	5-Gal.	8' o.c. 8' ht. x 8' spr.	Low
34	○	<i>Chrysanthemum nouseucus</i> Chamisa	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
33	⊗	<i>Cotoneaster apiculatus</i> Cranberry Cotoneaster	5-Gal.	4' o.c. 3' ht. x 4' spr.	Medium
70	○	<i>Ericameria laricifolia</i> 'Aguirre' Turpentine Bush	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
33	⊗	<i>Hesperaloe parviflora</i> Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
42	⊗	<i>Juniperus sibirica</i> 'Buffalo' Buffalo Juniper (female)	5-Gal.	6' o.c. 2' ht. x 6' spr.	Low +
17	⊗	<i>Penstemon ambiguus</i> Sand Penstemon	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low
33	⊗	<i>Perovskia atriplicifolia</i> Russian Sage	1-Gal.	5' o.c. 4' ht. x 5' spr.	Medium
32	○	<i>Potentilla fruticosa</i> Shrubby Cinquefoil	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
27	○	<i>Rhus trilobata</i> Three-leaf Sumac	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low+
45	⊕	<i>Salvia greggii</i> Cherry Sage	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
33	○	<i>Santolina sp.</i> Santolina	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
<b>Ornamental Grasses</b>					
24	⊗	<i>Muhlenbergia cap.</i> 'Regal Mist' Muhly Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
46	⊗	<i>Nassella tenuissima</i> Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +

**Native Turf Grass Mix**  
1,445 SF (5%)  
Bouteloua gracilis / Blue Grama  
Buchloe dactyloides / Buffalograss  
Low+  
Low+

**Park Blend Turf Grass Mix**  
3,361 SF (10%)  
Festuca elatior / Tall Fescue  
Lolium perenne / Ryegrass  
Poa pratensis / Kentucky Bluegrass  
High  
High  
High

26 ⊗ Moss Rock Boulder (2' min. dia.)

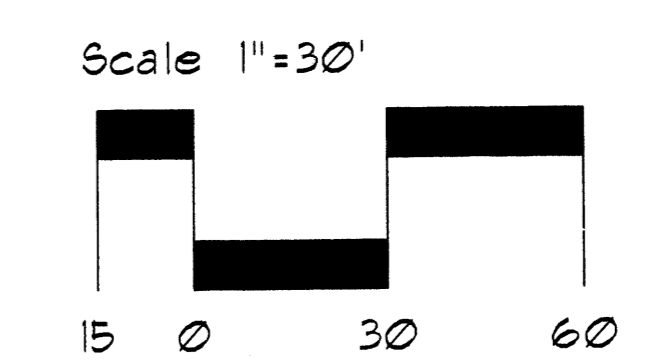
⊗ Site Lighting (See Site Plan, sheet A001)

**MULCHES**  
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

**IRRIGATION SYSTEM**  
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

**MAINTENANCE RESPONSIBILITY**  
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

**STATEMENT OF WATER WASTE**  
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.



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revision  
by  
date

**MH**  
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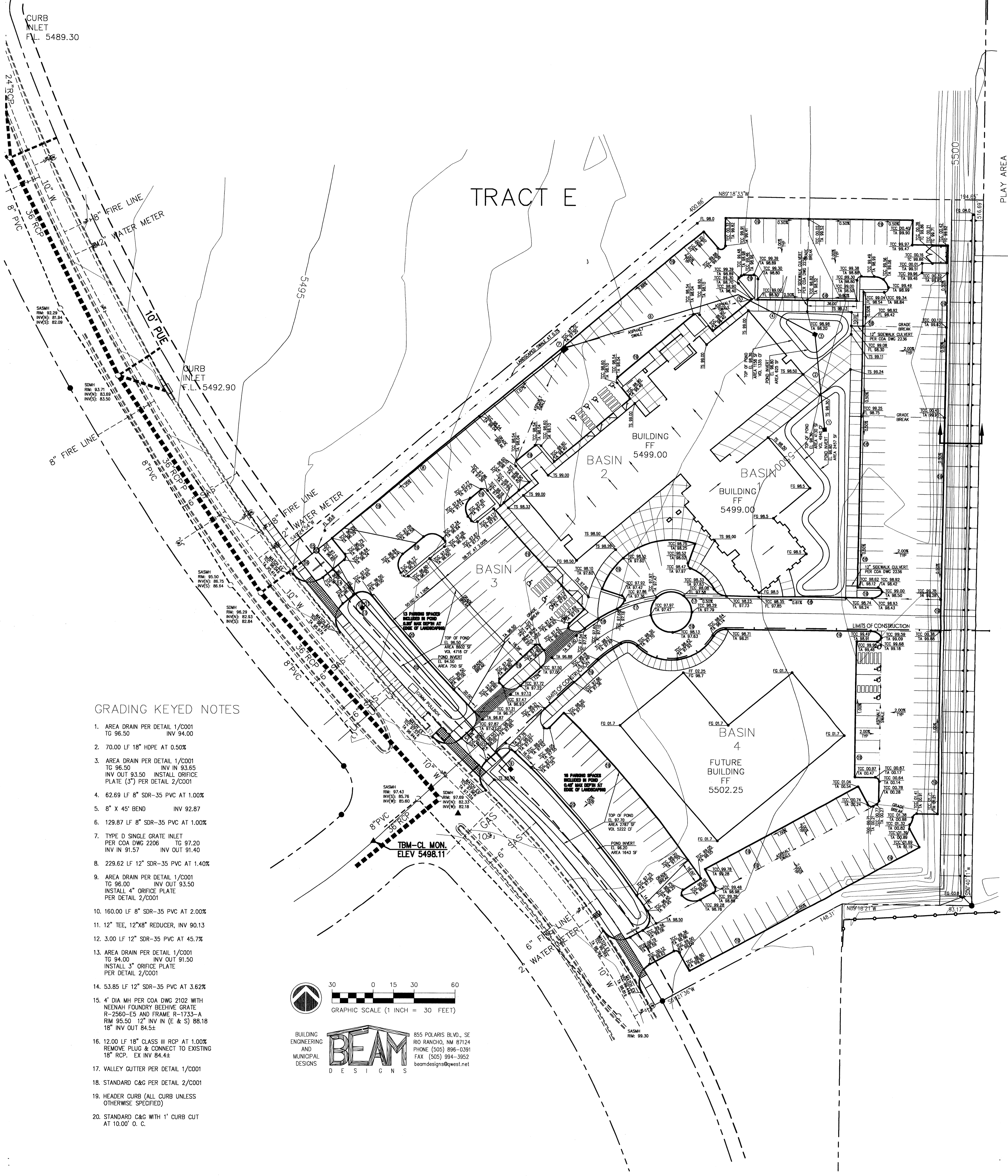
NEW MEXICO  
CHRISTOPHER L. GREEN  
#234  
REGISTERED  
LANDSCAPE ARCHITECT  
6-30-05

job number  
drawn by  
project manager  
date

project title  
CCIM Building  
Albuquerque, New Mexico  
sheet title  
Landscape Plan

Not For Construction

sheet  
L001



### DRAINAGE INFORMATION

**METHODOLOGY**  
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE 1997 RELEASE OF THE AHYMO COMPUTER MODELING PROGRAM AS DEVELOPED BY AMAFCA. ALL PROCEDURES ARE IN ACCORDANCE WITH THOSE SHOWN IN THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

**PRECIPITATION**  
 THE 100-YR, 6-HOUR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 1-HOUR, 6-HOUR PRECIPITATION, AND 24-HOUR PRECIPITATION.

**EXISTING DRAINAGE**  
 THE SITE IS UNDEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." THERE IS AN OFFSITE DRAINAGE BASIN DRAINING TO THE EAST SIDE OF THIS PROPERTY. THE MASTER DRAINAGE PLAN IDENTIFIES 125-CFS FROM THE EXISTING MOBILE HOME PARK. THIS RUNOFF IS TO BE COLLECTED ALONG THIS SITE'S EAST BOUNDARY AND DIVERTED SOUTH TO A STORM DRAIN TO THE TIJERAS ARROYO. A TRENCH WITH BERMS ON EACH SIDE HAS BEEN CONSTRUCTED ALONG THIS EAST BOUNDARY. ALTHOUGH BEAM DESIGN'S HAS NOT BEEN ABLE TO VERIFY THE PURPOSE OF THIS TRENCH/BERM, IT APPEARS THAT IT WAS INTENDED AS THE DRAINAGE DIVERSION. THE TRENCH/BERM WILL BE REPLACED WITH A 2' HIGH BERM WITHIN THE LANDSCAPE AREA ALONG THE EAST BOUNDARY OF THE DEVELOPMENT. A CROSS SECTION OF THIS BERM AND DRAINAGE CALCULATIONS DEMONSTRATING THE FLOW ALONG THE BERM ARE INCLUDED ON THIS SHEET.

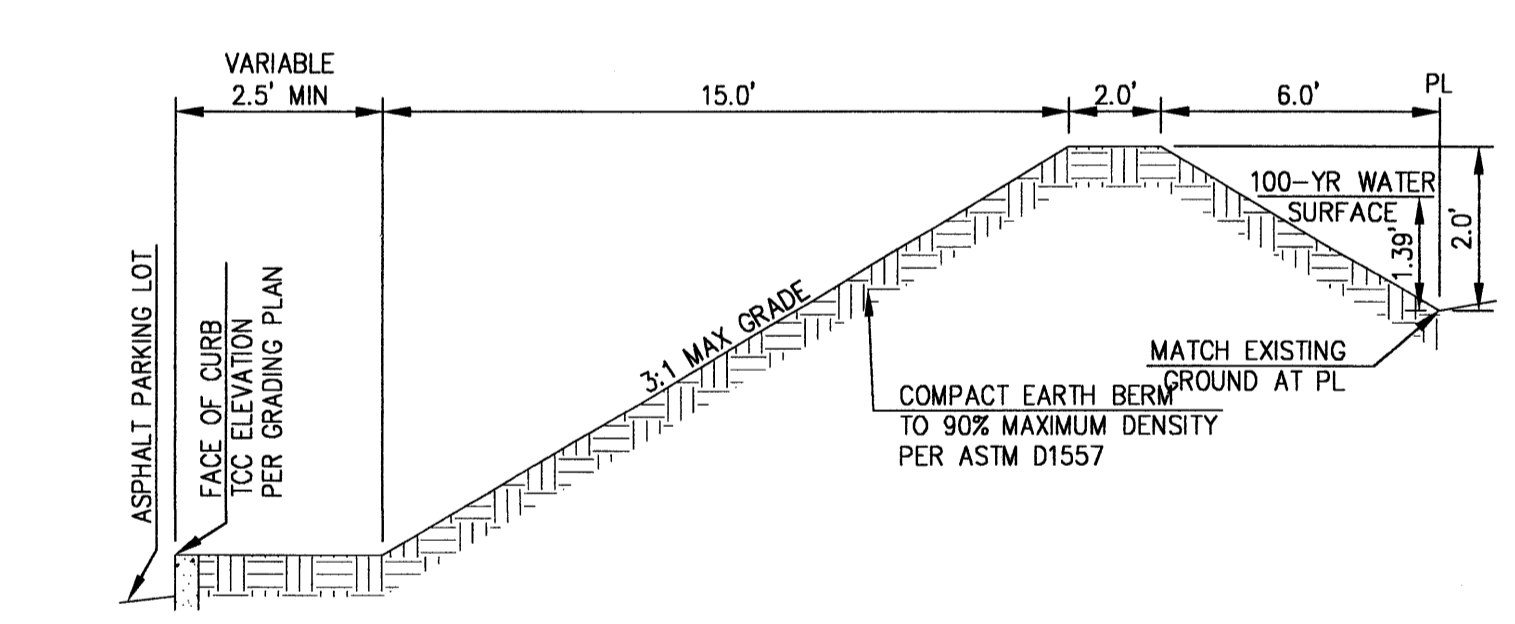
THE SITE DRAINS WEST TO INNOVATION PARKWAY WHERE THE RUNOFF IS INTERCEPTED BY A STORM DRAIN IN THE STREET. THERE IS AN 18" STORM STUBBED TO THE SITE AT THE NORTHWEST CORNER OF THIS DEVELOPMENT. THE NORTHERN HALF OF TRACT E WILL NOT BE DEVELOPED AT THIS TIME. IT WILL CONTINUE TO DISCHARGE TO THE STREET. UNDER DEVELOPED CONDITIONS, THE SITE DISCHARGES 1.87-CFS PER ACRE WHICH EXCEEDS THE ALLOWABLE DISCHARGE OF 1.57-CFS PER ACRE. THEREFORE, THIS DEVELOPMENT WILL DECREASE THE RUNOFF TO THE STREET AND STORM DRAIN.

**DEVELOPED DRAINAGE**  
 OFFSITE RUNOFF WILL BE DIVERTED AROUND THE SITE AS DESCRIBED ABOVE IN "EXISTING DRAINAGE". THE SOUTHERN HALF OF TRACT E (WHICH IS BEING DEVELOPED AT THIS TIME) WILL BE DIVIDED INTO FOUR (4) DRAINAGE BASINS. TWO (2) PHASES OF DEVELOPMENT ARE SHOWN ON THIS GRADING PLAN. THE FIRST PHASE OF DEVELOPMENT WILL EXTEND FROM THE MAIN DRIVEWAY AT RESEARCH ROAD TO THE NORTH BOUNDARY OF THIS DEVELOPMENT. THE SMALLER AREA SOUTH OF THE MAIN ENTRANCE WILL BE DEVELOPED AT A LATER TIME. HOWEVER, THE ENTIRE SITE IS ANALYZED TO ENSURE THE SITE WILL DRAIN ACCORDING TO THE MASTER PLAN CRITERIA. "BASIN 1" IS THE NORTHEAST CORNER OF THIS DEVELOPMENT. IT INCLUDES THE PARKING LOT IN THE CORNER AND THE SOUTHERN WING OF THE BUILDING. THIS AREA WILL DRAIN TO A POND LOCATED AT THE EAST SIDE OF THE BUILDING. A STORM DRAIN WILL DRAIN THIS POND TO THE STORM DRAIN IN INNOVATION PARKWAY. "BASIN 2" CONTAINS THE MAIN WING OF THE BUILDING AND THE PARKING LOT TO THE NORTH OF IT. THIS BASIN WILL DRAIN TO AN INLET IN THE STORM DRAIN FOR "BASIN 1" AND WILL HAVE FREE DISCHARGE TO THE INNOVATION ROAD STORM DRAIN. "BASIN 3" INCLUDES THE FUTURE PARKING LOT ON THE EAST END OF THE FUTURE BUILDING, THE MAIN DRIVEWAY, AND THE WEST PARKING LOT FOR THE CURRENT BUILDING. THIS BASIN DRAINS TO A POND ADJACENT TO INNOVATION PARKWAY. "BASIN 4" IS THE SOUTHERNMOST PORTION OF THE SITE. IT IS ENTIRELY WITHIN THE FUTURE DEVELOPMENT AREA AND DRAINS TO THE SOUTHERN POND ADJACENT TO INNOVATION PARKWAY. THE COMBINED DISCHARGE FROM THE FOUR (4) BASINS IS 6.74-CFS (1.50-CFS PER ACRE), WHICH IS UNDER THE ALLOWABLE DISCHARGE OF 1.57-CFS PER ACRE. THE NORTHERN HALF OF TRACT E WILL CONTINUE TO DISCHARGE IN ITS HISTORIC PATTERN UNTIL IT IS DEVELOPED. ADDITIONAL PONDING WILL BE REQUIRED WHEN IT IS DEVELOPED. THIS 4.49-ACRE SITE CAN BE DEVELOPED ACCORDING TO THIS PLAN AND MEET THE DRAINAGE CRITERIA SET BY THE MASTER DRAINAGE PLAN FOR THIS AREA.

### ABBREVIATIONS

AD = AREA DRAIN	FH = FIRE HYDRANT	STD = STANDARD
AIP = ABANDONED IN PLACE	FL = FLOW LINE	SW = SIDEWALK
BLDG = BUILDING	GM = GAS METER	T = TELEPHONE
BM = BENCHMARK	GV = GATE VALVE	TA = TOP OF ASPHALT PAVEMENT
CATV = CABLE TELEVISION LINE	HI PT = HIGH POINT	TAC = TOP OF ASPHALT CURB
CMP = CORRUGATED METAL PIPE	INV = INVERT ELEVATION	TC = TOP OF CONCRETE SLAB (PAVEMENT)
CO = CLEANOUT	LF = LINEAL FEET	TCC =
COA = CITY OF ALBUQUERQUE	MH = MANHOLE	TG = TOP OF GRATE
CONC = CONCRETE	NG = NATURAL GROUND	TS = TOP OF SIDEWALK
CL = CENTERLINE	OE = OVERHEAD ELECTRIC LINE	TW = TOP OF WALL
DIA = DIAMETER	PCC = PORTLAND CEMENT CONCRETE	TYP = TYPICAL
DTL = DETAIL	PP = POWER POLE	TB = TELEPHONE BOX
DWG = DRAWING	PROP = PROPOSED	UE =
E = ELECTRIC LINE	PVC = POLYVINYL CHLORIDE PIPE	UT =
ELEC. = ELECTRIC	RCP = REINFORCED CONCRETE PIPE	W = WATER
ELEV. = ELEVATION	R/W = RIGHT-OF-WAY	WM = WATER METER
EX = EXISTING	SAS = SANITARY SEWER	WV = WATER VALVE
FF = FINISHED FLOOR ELEVATION	SD = STORM DRAIN	
FG = FINISHED GRADE	STA = STATION	

### TRAILER PARK DIVERSION BERM



**TRAILER PARK DIVERSION BERM**

MANNING'S EQUATION FOR UNIFORM FLOW IN TRAPEZOIDAL CHANNELS

\*INPUT\*

DEPTH (FT):	1.39
MANNING'S "n" VALUE:	0.030
BED SLOPE (FT/FT):	0.0020
BOTTOM WIDTH (FT):	2.00
SIDE SLOPE #1 (HORZ:VERT):	2.00
SIDE SLOPE #2 (HORZ:VERT):	72.00
CROWN-NEG. FOR INVERTED (FT):	0.00

\*OUTPUT\*

FLOW RATE (CFS):	125.00
CROSS SECT. AREA (SF):	71.78
TOP WIDTH (FT):	103.07
WETTED PERIMETER (FT):	103.41
HYDRAULIC RADIUS (FT):	0.69
VELOCITY (FPS):	1.74
FROUDE NUMBER:	0.37
ENERGY GRADE:	1.44

### BASIN AND POND VOLUME AND OUTLET STRUCTURE CALCULATIONS

**BASIN 1 POND VOLUME AND OUTLET STRUCTURE CALCULATIONS**

ELEV. (eq. ft.)	AREA (sq. ft.)	INC VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	H (ft.)	Q/PPIPE (cfs.)	
93.50	4	0	0.0000	0.00	0.00	
96.50	8	18	0.0004	2.88	0.40	
98.80	3,082	463	481	0.0111	3.17	0.42
97.30	3,790	1,718	2,199	0.0028	3.67	0.45
97.80	4,525	2,079	4,278	0.0082	4.17	0.48
98.30	5,289	2,454	6,732	0.0145	4.67	0.51

PIPE DIAMETER (") 3  
 NUMBER OF PIPES 1  
 C 0.60  
 Q=CA(2gh)<sup>0.5</sup>  
 AREA(R.) 0.05

**BASIN 4 POND VOLUME AND OUTLET STRUCTURE CALCULATIONS**

ELEV. (eq. ft.)	AREA (sq. ft.)	INC VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	H (ft.)	Q/PPIPE (cfs.)	
93.50	4	0	0.0000	0.00	0.00	
96.00	4	10	0.0002	2.33	0.84	
98.20	1,443	185	179	0.0040	2.33	0.87
96.70	2,124	1,116	1,116	0.0029	3.15	0.78
97.25	2,673	1,319	2,438	0.0059	3.58	0.79
97.70	9,712	2,787	5,222	0.0199	4.03	0.84

PIPE DIAMETER (") 4  
 NUMBER OF PIPES 1  
 C 0.60  
 Q=CA(2gh)<sup>0.5</sup>  
 AREA(R.) 0.08

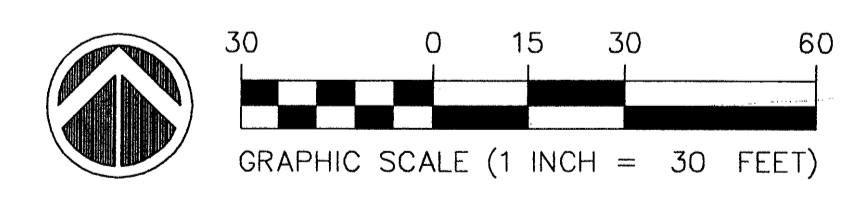
**BASIN 3 POND VOLUME AND OUTLET STRUCTURE CALCULATIONS**

ELEV. (eq. ft.)	AREA (sq. ft.)	INC VOL. (cu. ft.)	TOTAL VOL. (cu. ft.)	H (ft.)	Q/PPIPE (cfs.)	
91.50	4	0	0.0000	0.00	0.00	
94.00	4	10	0.0002	2.25	1.42	
94.50	750	189	199	0.0048	2.75	1.27
95.00	1,082	461	699	0.0191	3.25	1.70
95.50	1,450	636	1,295	0.0297	3.75	1.83
96.00	1,821	818	2,112	0.0485	4.25	1.95
96.50	8,602	2,606	4,718	0.1083	4.75	2.06

PIPE DIAMETER (") 6  
 NUMBER OF PIPES 1  
 C 0.60  
 Q=CA(2gh)<sup>0.5</sup>  
 AREA(R.) 0.20

### GRADING KEYED NOTES

- AREA DRAIN PER DETAIL 1/C001 TO 96.50 INV 94.00
- 70.00 LF 18" HDPE AT 0.50%
- AREA DRAIN PER DETAIL 1/C001 TO 96.50 INV IN 93.65 INV OUT 93.50 INSTALL ORIFICE PLATE (3") PER DETAIL 2/C001
- 62.69 LF 8" SDR-35 PVC AT 1.00%
- 8" X 45' BEND INV 92.87
- 129.87 LF 8" SDR-35 PVC AT 1.00%
- TYPE D SINGLE GRATE INLET PER COA DWG 2206 TG 97.20 INV IN 91.57 INV OUT 91.40
- 229.62 LF 12" SDR-35 PVC AT 1.40%
- AREA DRAIN PER DETAIL 1/C001 TO 96.00 INV OUT 93.50 INSTALL 4" ORIFICE PLATE PER DETAIL 2/C001
- 160.00 LF 8" SDR-35 PVC AT 2.00%
- 12" TEE, 12"X8" REDUCER, INV 90.13
- 3.00 LF 12" SDR-35 PVC AT 45.7%
- AREA DRAIN PER DETAIL 1/C001 TO 94.00 INV OUT 91.50 INSTALL 3" ORIFICE PLATE PER DETAIL 2/C001
- 53.85 LF 12" SDR-35 PVC AT 3.62%
- 4" DIA MH PER COA DWG 2102 WITH NEENAH FOUNDRY BEEHIVE GRATE R-2500-ES AND FRAME R-1713-A RIM 95.50 12" INV IN (E & S) 88.18 18" INV OUT 84.5±
- 12.00 LF 18" CLASS III RCP AT 1.00% REMOVE PLUG & CONNECT TO EXISTING 18" RCP. EX INV 84.4±
- VALLEY CUTTER PER DETAIL 1/C001
- STANDARD C&G PER DETAIL 2/C001
- HEADER CURB (ALL CURB UNLESS OTHERWISE SPECIFIED)
- STANDARD C&G WITH 1" CURB CUT AT 10.00' O. C.



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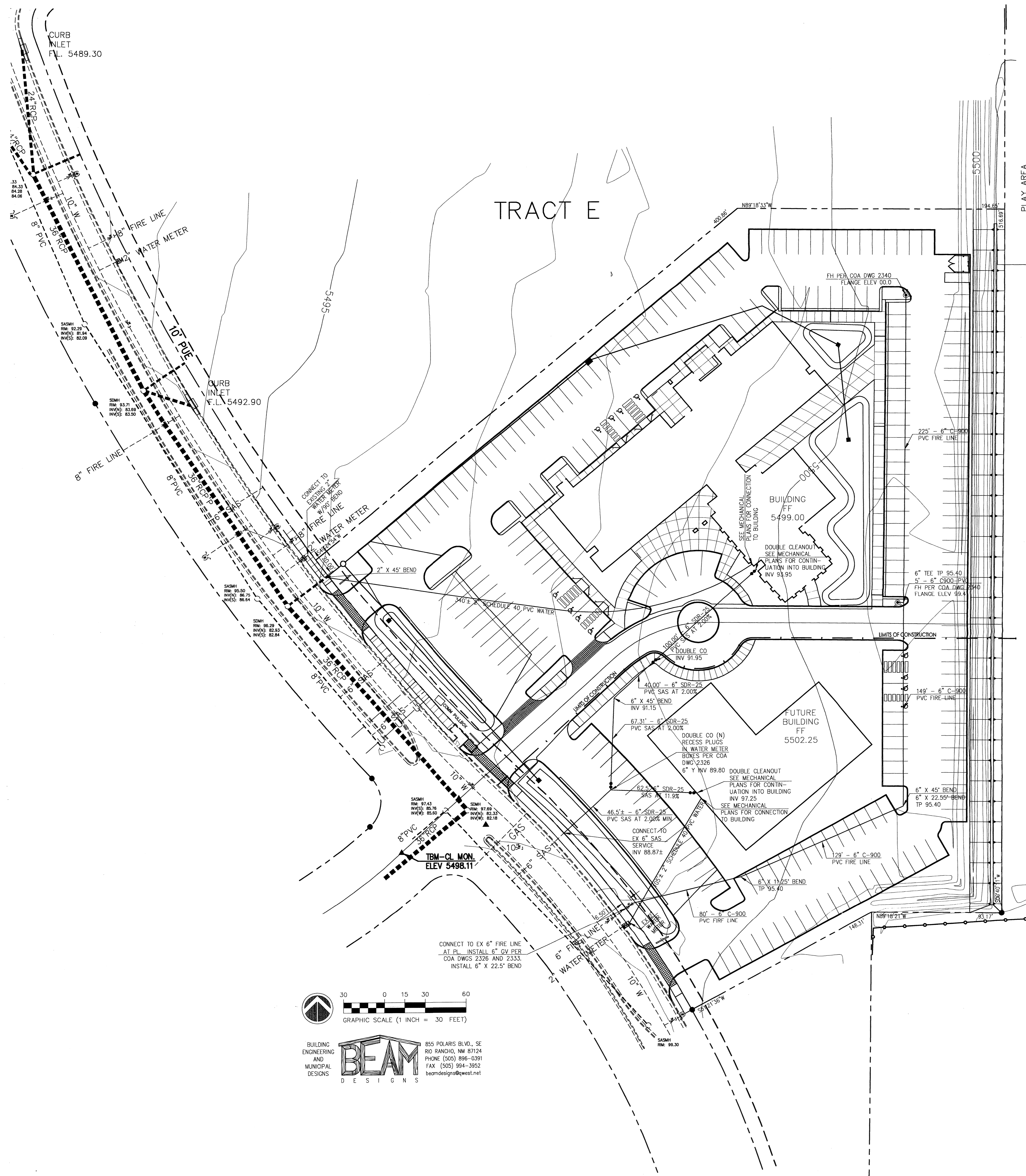
revision by date rev

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04/18 BOM JDH project manager 07/1/05

project file CSRI Building 1450 Innovation Parkway Albuquerque, New Mexico sheet file Grading Plan

C001

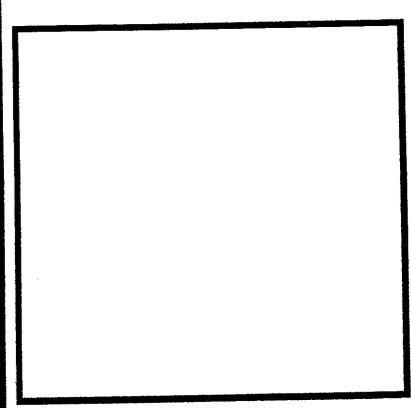


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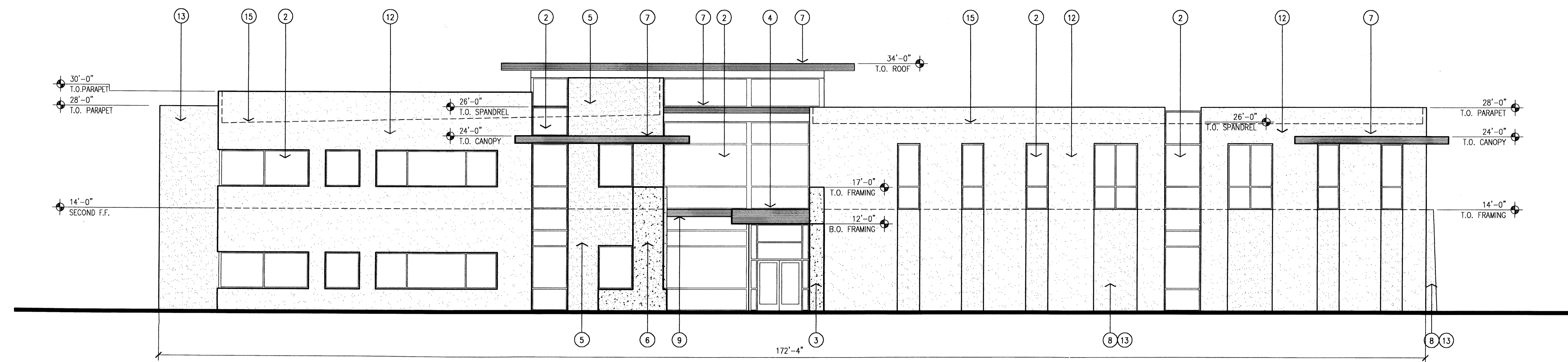


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drawn by	BCW
project manager	JDH
date	07/11/05

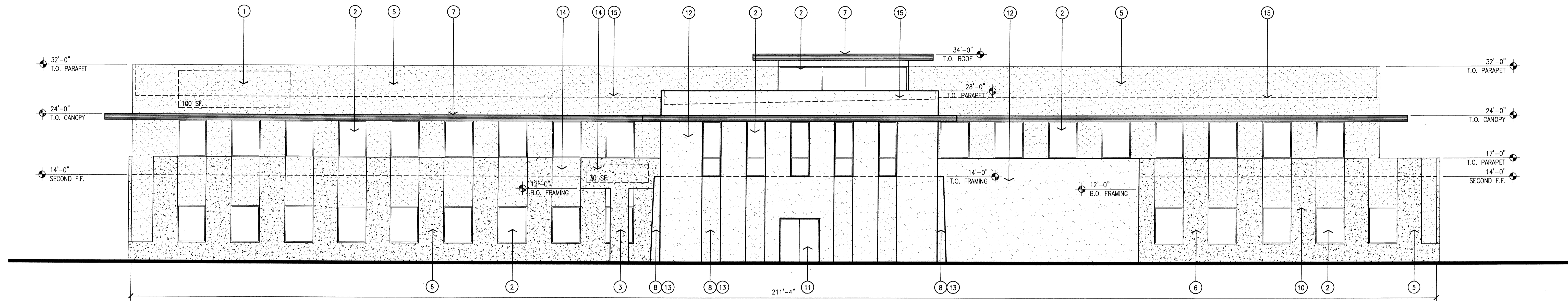
project file  
**CSRI Building**  
 1450 Innovation Parkway  
 Albuquerque, New Mexico  
 sheet title  
**Site Utility Plan**

sheet-  
**C002**

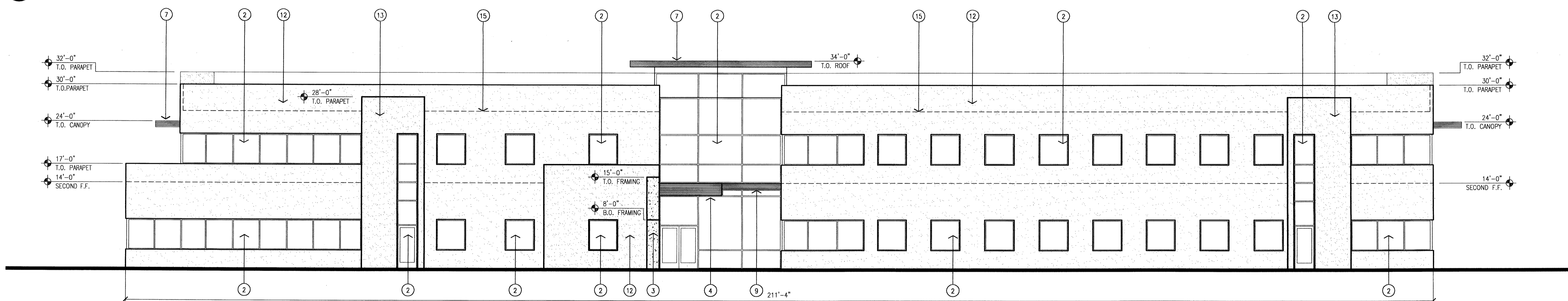




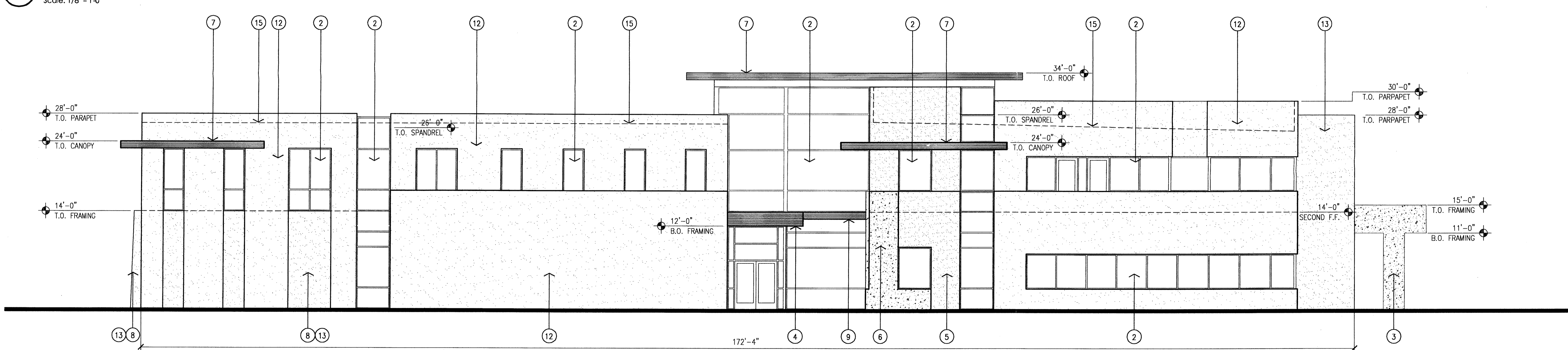
1 West Elevation  
Scale: 1/8" = 1'-0"



2 South Elevation  
Scale: 1/8" = 1'-0"



3 North Elevation  
Scale: 1/8" = 1'-0"



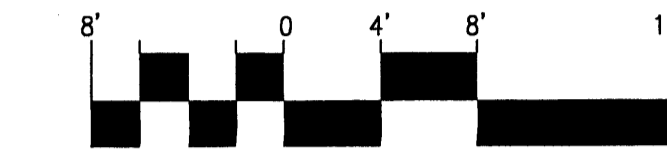
3 East Elevation  
Scale: 1/8" = 1'-0"

GENERAL NOTES:

A

KEYED NOTES:

- [1] PRIMARY SIGNAGE LOCATION. 48" HIGH INTERNALLY LIT INDIVIDUAL CHANNEL LETTERS.
- [2] CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM WITH GREEN TINTED 1" INSULATED GLAZING.
- [3] CAST-IN-PLACE SCREEN WALL WITH INTEGRAL RED COLOR.
- [4] METAL CANOPY PAINTED TO MATCH STOREFRONT.
- [5] DEEP RED STUCCO SYSTEM OVER METAL STUD FRAMING.
- [6] PRE-CAST CONCRETE PANEL WITH INTEGRAL RED COLOR.
- [7] METAL FASCIA PAINTED TO MATCH STOREFRONT.
- [8] 12" DEEP STUCCO BUTTRESS.
- [9] TUBE STEEL TRELLIS PAINTED TO MATCH STOREFRONT.
- [10] MEDIUM GREEN STUCCO CANOPY.
- [11] HOLLOW METAL DOOR, PAINTED MEDIUM GREEN TO MATCH STUCCO.
- [12] LIGHT TAN STUCCO SYSTEM OVER METAL STUD FRAMING.
- [13] MEDIUM GREEN STUCCO SYSTEM OVER METAL STUD FRAMING.
- [14] SIGNAGE AND ADDRESS LOCATION. 24" SURFACE MOUNTED ALUMINUM CHANNEL LETTERS.
- [15] ROOF STRUCTURE BEYOND.



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by

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CSR Building  
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Albuquerque, New Mexico  
sheet title  
Exterior Elevations

sheet-  
A401