

DRB CASE ACTION LOG (SITE PLAN B.P.)

Comp. 7/27/05 X5.

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01147 (SBP)	Project # 1004326
Project Name: LOOP INDUSTRIAL DIST. UNIT 5	
Agent: Insite Works	Phone No.: 858-0100

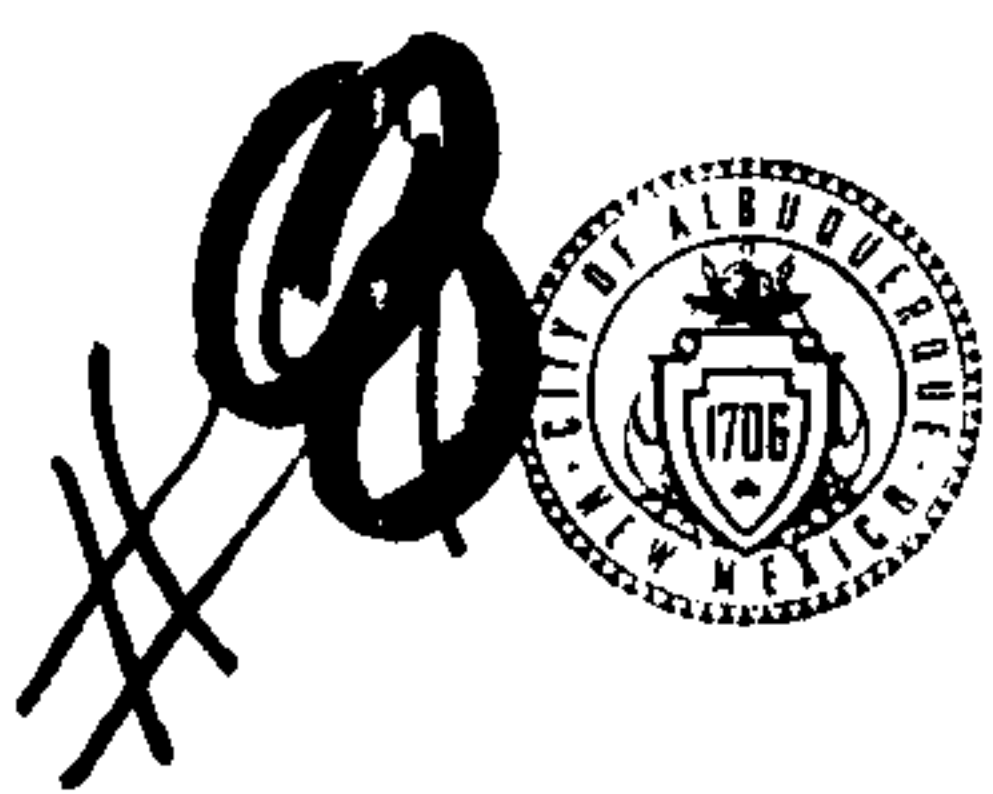
Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/27/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number

1004326



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REVISED 2/5/04

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Project Name: <u>LOOP INDUSTRIAL DIST. UNIT 5</u>	
Agent: <u>Insite Works</u>	Phone No.: <u>858-0100</u>

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Project Number 1004326



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 27, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

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A. Call to Order: 9:00 a.m.

Adjourned: 10:50 a.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [Deferred from 7/27/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

2. **Project # 1004244**
05DRB-01085 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01176 Minor-Prelim&Final Plat Approval

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, 1-11, Block(s) 18, 19, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITY DEVELOPMENT FOR ADJUSTMENT OF EASEMENT TO INCLUDE ALL EXISTING METERS, ADD LANGUAGE FROM ORIGINAL VACATION ORDINANCE FOR RETAINED EASEMENTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD.**

3. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [REF:04DRB-00204] [Deferred from 6/29/05 & 7/20/05 & 7/27/05] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

4. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). [Deferred from 7/20/05 & 7/27/05](K-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/11/2006.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003801**
05DRB-01180 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01179 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] (J-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS ON COMMENT SHEET AND PARKING CALCS NOTE FROM DAVID STALLWORTH AND DAVID STALLWORTH'S INITIALS ON THE PLAN AND TO UTILITIES DEVELOPMENT TO REVISE UTILITY PLAN (WATER METER LOCATION & SIZE, FIRE HYDRANT LOCATION). WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

6. **Project # 1001043**
05DRB-01182 Minor-SiteDev Plan
BldPermit/EPC

HUITT-ZOLLARS, INC agent(s) for KITTS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) A, STONEBRIDGE POINTE SUBDIVISION (to be known as **WEST BANDELIER**) zoned SU-1 FOR R-2, located on MCMAHON NW and BANDELIER DRIVE NW containing approximately 8 acre(s). [REF: 04EPC00850] [Russell Brito, EPC Case Planner] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A CHANGE ON SHEET 8 - CHANGE TITLE TO WEST BANDELIER AND 3 COPIES OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, NEED PLAT, GATE QUEUING, ADA STALLS AND RADII AND TO CITY ENGINEER FOR SIA.**

7. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05] (D-18) **DEFERRED AT AGENT'S REQUEST TO 8/3/05.**

8. ~~Project # 1004326~~
05DRB-01147 Minor-SiteDev Plan
BldPermit

INSITEWORKS agent(s) for JLM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-A, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1, located on JEFFERSON ST NE, between PASEO DEL NORTE NE and WILSHIRE AVE NE containing approximately 2 acre(s). [Deferred from 7/20/05] (C-17) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003865**
05DRB-00521 Minor- Final Plat Approval
- FORSTBAUER SURVEYING, LLC agent(s) for PARKS CUSTOM BUILDERS INC request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 21 & 22, Block(s) 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on ALAMEDA BLVD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 4 acre(s). [REF: 05DRB00006, DRB-99-187, Z-87-42-1] [*Final Plat was Indef Deferred for SIA 4/6/05*] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**
10. **Project # 1002176**
05DRB-01178 Minor-Extension of Preliminary Plat
- SURVEYS SOUTHWEST, LTD. agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-113, Z-98-54, 02DRB01306, 04DRB00526, 00960, 00961, 04DRB00962, 00963] (L-23) **WITH THE REINITIALING OF THE INFRASTRUCTURE LIST DATED 7/27/05 A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
11. **Project # 1004325**
05DRB-01146 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD, agent(s) for BILL ROBERTS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) F, **HOLIDAY PARK, UNIT 11**, zoned C-1 neighborhood commercial zone, located on JUAN TABO BLVD NE, between COMANCHE RD NE and containing approximately 1 acre(s). [REF: Z-1761] [*Deferred from 7/20/05*] (G-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COMPLETE WATER/SEWER TAPPING PERMITS AND OPEN NEW ACCOUNTS FOR TRACT F-2.**

12. **Project # 1002529**
05DRB-01175 Major-Final Plat
Approval

BORDENAVE DESIGNS agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, **CAS ADDITION, BLACK RANCH**, zoned SU-1 special use zone, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO NW containing approximately 6 acre(s). [REF: 04DRB01374, 04DRB01059, 04DRB02060, 04EPC01840, 04EPC01841, 04EPC01843, 03EPC02058, 03EPC02059, 03EPC02060, Z-93-115] [Deferred from 7/27/05] (B-13/B-14) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

13. **Project # 1004337**
05DRB-01177 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING agent(s) for PALM HARBOR HOMES request(s) the above action(s) for all or a portion of Lot(s) A, **BELLAMAH'S CENTRAL ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between EUBANK BLVD NE and MORRIS NE containing approximately 3 acre(s). (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

14. **Project # 1000511**
05DRB-01102 Minor-Vacation of
Private Easements
05DRB-01101 Minor-Prelim&Final Plat
Approval

MIKE MONTOYA request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **HERITAGE EAST, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on DE VARGAS LOOP NE, between VENTURA ST NE and GREENWOOD ST NE containing approximately 1 acre(s). [REF: DRB-94-551] (D-20) **THE VACATION OF PRIVATE EASEMENTS WILL BE WITHDRAWN BY AGENT. THE REQUEST WAS DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

15. **Project # 1002739**
05DRB-01174 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOMES NEW MEXICO, INC request(s) the above action(s) for all or a portion of Tract(s) PARCEL 2-D LANDS OF RIO BRAVO PARTNERS, (to be known as **ANDERSON HEIGHTS, UNIT 1-A**) zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 119 acre(s). **(N-8/P-8) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE CALCULATIONS AND PLANNING TO RECORD.**

16. **Project # 1004179**
05DRB-01181 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for JOHN PRICE request(s) the above action(s) for all or a portion of Tract(s) 82, (to be known as **ALVARADO GARDENS REPLAT, UNIT #3**) zoned RA-2 residential and agricultural zone, located on CANDELARIA RD NW, between TRELIS DR NW and GLENWOOD DR NW. [REF: DRB-94-102, 05DRB00796] **(G-12) PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

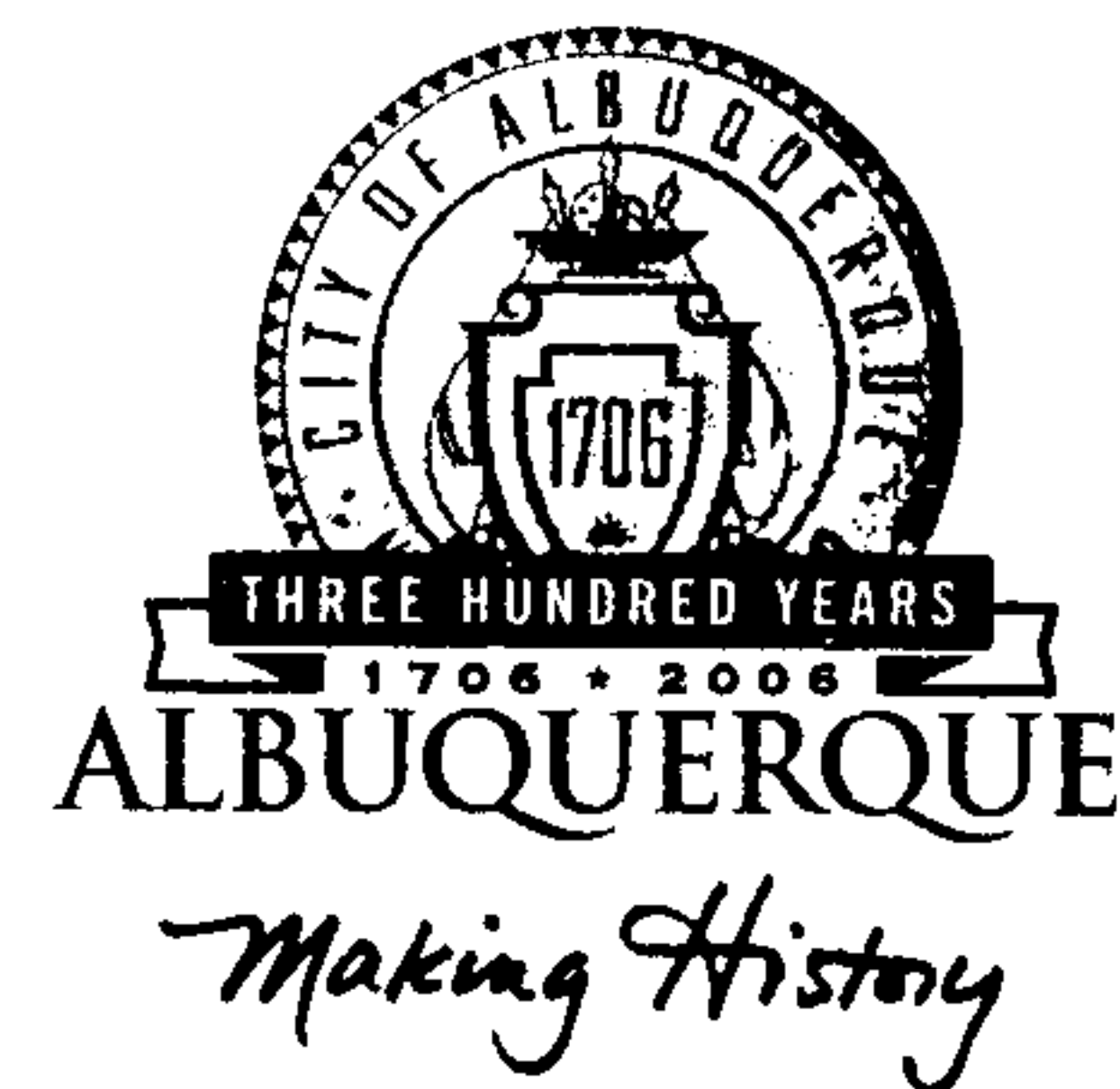
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

17. Approval of the Development Review Board Minutes for June 29, 2005. **THE DRB MINUTES FOR JUNE 29, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004326

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

Albuquerque

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 27, 2005

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 20, 2005
DRB Comments**

ITEM # 9

PROJECT # 1004326

APPLICATION # 05-01147

RE: Lot 14-A—2-A, Loop Industrial District, Unit 5/spbp

The Site Development Plan Approval Note is not needed. Please remove.

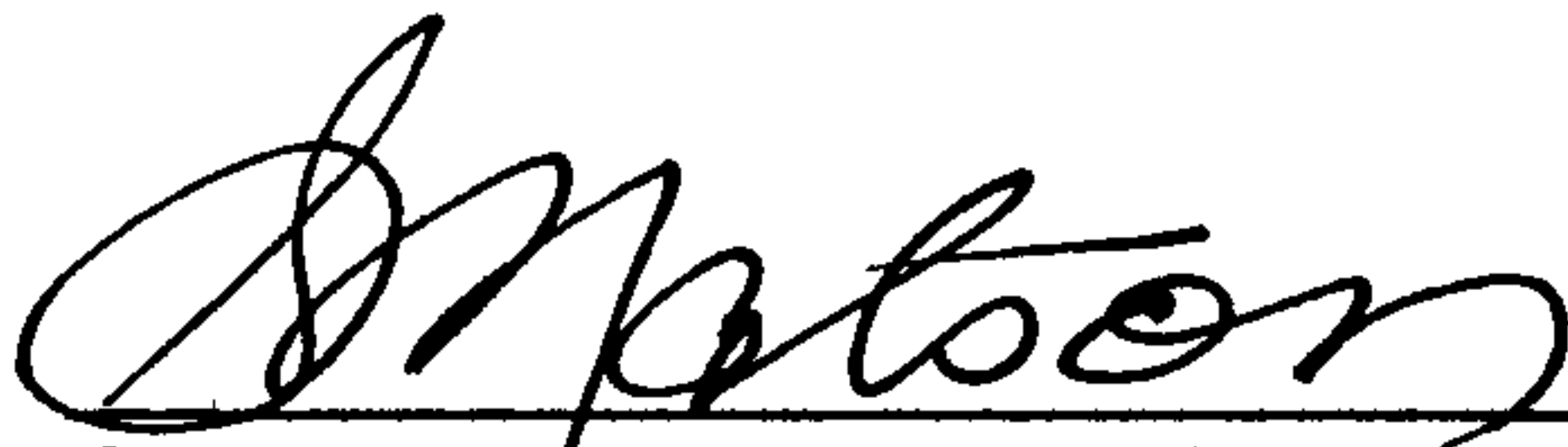
The North I25 Sector Plan requires a six foot landscaping strip on the east & north sides as well of trees, shrubs & ground cover. A design variance is needed to drop this requirement. Agent was notified on 7/18/05.

A statement of who will maintain the irrigation system is needed on the Landscape Plan sheet.

No parking space can be more than 50 feet from a tree, also a requirement of the North I25 Sector Plan.

Street trees are required every 30 feet along Jefferson. They must be 2 inch caliper at six inches above grade. Evergreen trees are not allowed. Honey locust is one lower water use deciduous that is acceptable.

The building mounted signs can not exceed 15% for the north, south & east elevations or 20% of the total west elevation following Zone Code IP requirements. The length of each elevation is missing.



Sheran Matson, AICP

DRB Chair 924-3880

Fax 924-3864 smatson@cabq.gov

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 3771
CONNECTION TEL 9p8581098
SUBADDRESS
CONNECTION ID
ST. TIME 07/18 12:15
USAGE T 00'47
PGS. 2
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: Jud

FAX NUMBER: 858-1098 # PAGES 2

SENT BY: Sheran Matson, DRB Chair DATE: 7/18/05

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1004326 APPLICATION NO: 05-01147

My comments. Call me if you have questions.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 20, 2005
DRB Comments**

ITEM # 9

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APPLICATION # 05-01147

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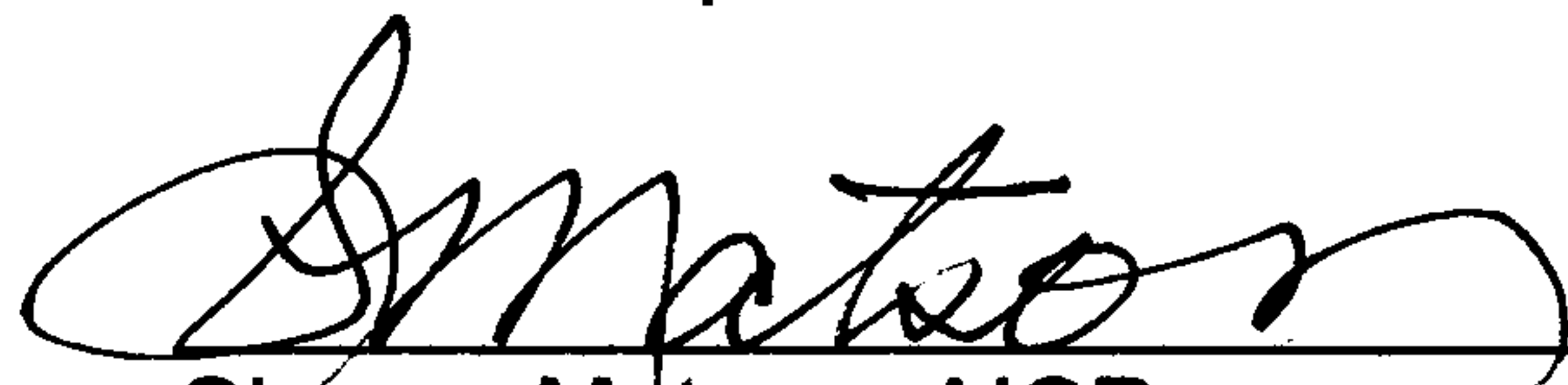
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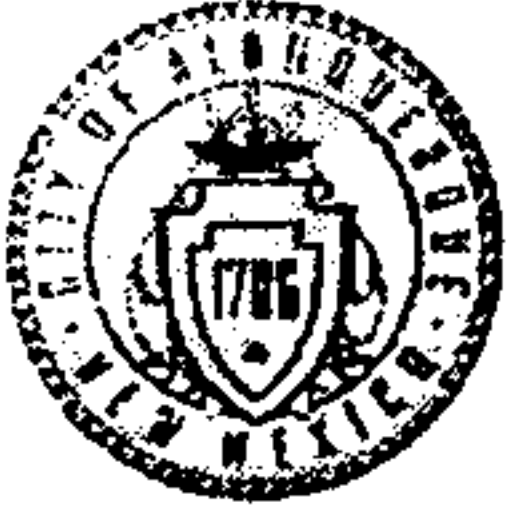
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Sheran Matson, AICP

DRB Chair 924-3880

Fax 924-3864 smatson@cabq.gov



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 20, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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- A. Call to Order: 9:00 a.m. Adjourned: 10:45 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLAN

1. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

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2. **Project # 1000650**
05DRB-01067 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP request(s) the above action(s) for all or a portion of Tract(s) 1A2, **LANDS OF LAMONICA**, zoned SU-1/C-1 permissive use, located on COORS BLVD SW, between LAMONICA RD SW and RIO BRAVO BLVD SW containing approximately 2 acre(s). *[Deferred from 7/20/05]* (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

3. **Project # 1004232**
05DRB-00896 Major-Vacation of Public
Easements

A. MIGUEL TRUJILLO agent(s) for WILLIAM K. WILSON request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) A, **CLAYTON HEIGHTS SUBDIVISION**, zoned C-2 community commercial zone, located on GIBSON BLVD SE, between BUENA VISTA SE and WILMOORE DR SE containing approximately 2 acre(s). (L-15) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1004281**
05DRB-01057 Major-SiteDev Plan Subd
05DRB-01058 Major-SiteDev Plan
BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for VENTURA PACIFIC CAPITAL CO request(s) the above action(s) for all or a portion of Tract(s) H-6A7A1, **RIVERVIEW SUBDIVISION**, zoned SU-1 IP, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLY ROSE RD NW containing approximately 2 acre(s). [REF: SP-97-193; DRB-97-245] (C-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILDING NOTES, PARKING CALCS AND THE RIGHT TO USE SOUTH ACCESS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILDING NOTES, PARKING CALCS AND THE RIGHT TO USE SOUTH ACCESS.**

5. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). *[Deferred from 7/20/05]* (K-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] *[Deferred from 6/29/05 & 7/13/05 & 7/20/05]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

7. **Project # 1004236**
05DRB-00499 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for CONNIE & ZACK LOVELADY, CZ ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 25, **ALVARADO GARDENS, UNIT 1**, zoned RA-2, located on MATTHEW AVE NW and MEADOW VIEW DR NW and containing approximately 1 acre(s). *[Deferred from 3/30/05 & 4/13/05 & 4/20/05]* (G-13) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

8. **Project # 1004320**
05DRB-01137 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for AVALON INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) E-2, **SANDIA SCIENCE AND TECHNOLOGY PARK, PHASE 1**, zoned IP industrial park zone, located on INNOVATION PARKWAY SE, between RESEARCH RD SE and GIBSON AVE SE containing approximately 5 acre(s). (M-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCS AND TRANSPORTATION DEVELOPMENT FOR WIDENED ENTRANCE, 15-FOOT RADII, CHECK OFFSITE IMPROVEMENTS AND 3 COPIES OF THE SITE PLAN.**

9. ~~**Project # 1004326**~~
~~05DRB-01147 Minor-SiteDev Plan~~
~~BldPermit~~

INSITEWORKS agent(s) for JLM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-A, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1, located on JEFFERSON ST NE, between PASEO DEL NORTE NE and WILSHIRE AVE NE containing approximately 2 acre(s). *[Deferred from 7/20/05]* (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1000508**
05DRB-01126 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) B1A1A, **TOWNE PARK PLAZA**, zoned SU-1/C-1, located on EUBANK BLVD NE, between INTERSTATE 40 EAST and CHICO RD NE containing approximately 18 acre(s). [REF: Z-98-114, DRB-90-289, 02DRB-01528, 02DRB-01529, 02AA-01605, 05DRB-00093, 05AA-00325] (K-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATER LINE RELOCATION OR ELSE A TEMPORARY PAPER EASEMENT FOR EXISTING LINE LOCATION BEING VACATED.**

11. **Project # 1002591**
05DRB-01128 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for KPS GROUP request(s) the above action(s) for all or a portion of Tract(s) C & G, **FOUR HILLS VILLAGE SHOPPING CENTER & APT COMPLEX**, zoned SU-1/PDA RES & COMM, located on CENTRAL AVE SE, between TRAMWAY BLVD SE and DORADO PL SE containing approximately 6 acre(s). [REF: Z-84-124, 03AA-00608] (L-22) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1004162**
05DRB-01139 Minor-Vacation of Private
Easements
05DRB-01140 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) L-2, **VISTA DEL NORTE**, zoned SU-1 FOR PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 05EPC-00742] (E-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1004281**
05DRB-01133 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for CARL'S JR. GOLF COURSE request(s) the above action(s) for TRACTS H6A7A1-A & H6A7A1-B, **RIVERVIEW**, zoned SU-1/IP, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLY ROSE RD NW containing approximately 2 acre(s). [Heard under Project #1004317 in error] (C-12) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RIGHT TO USE ACCESS POINTS AND UTILITIES DEVELOPMENT FOR SIGNATURES OF NMUI, A BETTER DESCRIPTION OF 10-FOOT UTILITY EASEMENT AND PROVIDE BENEFICIARY AND MAINTENANCE STATEMENT FOR EASEMENT.**

14. **Project # 1004323**
05DRB-01144 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD agent(s) for DAVID DONOHUE & SHIRLEY SAVARESE request(s) the above action(s) for all or a portion of Lot(s) 4, 5, 6, **JOHN BARON BURG PARK**, zoned SR, located on 20th ST NW, between 21st ST NW and ASPEN AVE NW containing approximately 1 acre(s). (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR LOT LINE ADJUSTMENT.**

15. **Project # 1004325**
05DRB-01146 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD, agent(s) for BILL ROBERTS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) F, **HOLIDAY PARK, UNIT 11**, zoned C-1 neighborhood commercial zone, located on JUAN TABO BLVD NE, between COMANCHE RD NE and containing approximately 1 acre(s). [REF: Z-1761] *[Deferred from 7/20/05]* (G-21) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1001638**
05DRB-01110 Minor-Sketch Plat or Plan

ALBUQUERQUE SURVEYING CO., INC., agent(s) for KEVIN GEORGES & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) A-1-A-1-A, **LOVELACE HOSPITAL**, zoned SU-1 special use zone, located on SAN MATEO BLVD SE, between GIBSON BLVD SE and RIDGECREST DR SE containing approximately 17 acre(s). (M-18) **INDEFINITELY DEFERRED ON A NO SHOW.**

17. **Project # 1004319**
05DRB-01136 Minor-Sketch Plat or Plan

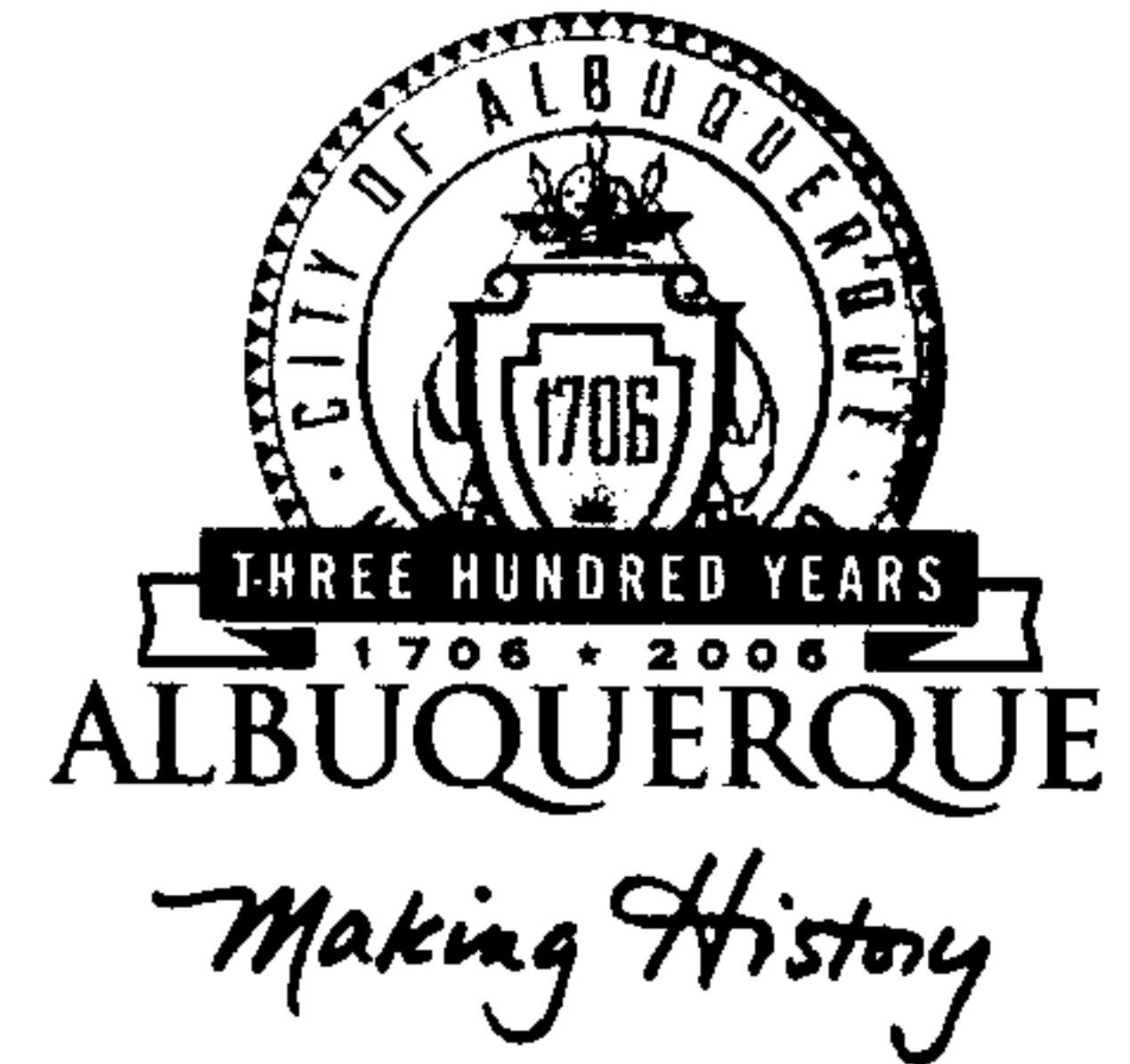
JAMES AND LORINDA LYNCH request(s) the above action(s) for all or a portion of Lot(s) 33, Block(s) 2, **SIERRA AZUL**, zoned R-1, located on COMANCHE NE, between WYOMING NE and PENNSYLVANIA NE containing approximately 1 acre(s). (G-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1004322**
05DRB-01143 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for AL CARABAJAL & MICHELLE LESICKA request(s) the above action(s) for all or a portion of Lot(s) 24, 21, **LOS HERMANOS ADDITION**, zoned R-1 residential zone, located on LOS HERMANAS ST NW, between CARLTON ST NW and BELLROSE AVE NW containing approximately 2 acre(s). (G-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **ADJOURNED: 10:45 A.M.**

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004236

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan must be on file prior to approval.

P.O. Box 1293

RESOLUTION:

7/27/05

Albuquerque

APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN ___

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 20, 2005

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1004326 Item No. 9 Zone Atlas C-17
DATE ON AGENDA 7-20-05
INFRASTRUCTURE REQUIRED (X) YES () NO
CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
() SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
(X) SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
1)	What are the parking stall widths?
2)	Where are the build notes for work within City Public Right-of-Way?
3)	Is there a letter from the property owner to the north for placing the radius on the corner?
4)	Why isn't the ADA aisle striped to prevent parking?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME JLM INVESTMENTS
AGENT INSITEWORKS
ADDRESS 57 ROCK POINT PL NE
PROJECT & APP # 1004326 / 05DRB 01147
PROJECT NAME 14-A-2-A LOOP INDUSTRIAL DISTRICT

\$ _____ 441032/3424000 Conflict Management Fee

\$ 50.⁰⁰ 441006/4983000 DRB Actions DEFERRAL FEE

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

7/21/2005 2:00PM LOC: ANNX
RECEIPT# 00043510 WS# 008 TRANS# 0030
Account 441006 Fund 0110
Activity 4983000 TRSCCS
Trans Amt \$50.00
J24 Misc \$50.00
VI \$50.00
CHANGE \$0.00

Thank You

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

7/12/05

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 69 provided: 69
Handicapped spaces required: 3 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3
provided: 3
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- ~~N/A~~ 2. Pedestrian trails and linkages
- ~~N/A~~ 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- ~~X~~ 1. Fire hydrant locations, existing and proposed.
- ~~X~~ 2. Distribution lines - **ON SITE UTILITY PLAN**
- ~~X~~ 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ~~X~~ 4. Existing water, sewer, storm drainage facilities (public and/or private).
- ~~X~~ 5. Proposed water, sewer, storm drainage facilities (public and/or private) **ON SITE UTILITY PLAN**

5. Phasing

- ~~N/A~~ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- ~~X~~ 1. Scale - must be same as scale on sheet #1 - Site plan
- ~~X~~ 2. Bar Scale
- ~~X~~ 3. North Arrow
- ~~X~~ 4. Property Lines
- ~~X~~ 5. Existing and proposed easements
- ~~X~~ 6. Identify nature of ground cover materials
 - ~~X~~ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ~~X~~ B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - ~~N/A~~ C. Ponding areas either for drainage or landscaping/recreational use
- ~~X~~ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ~~X~~ A. Existing, indicating whether it is to preserved or removed.
 - ~~X~~ B. Proposed, to be established for general landscaping.
 - ~~N/A~~ C. Proposed, to be established for screening/buffering.
- ~~X~~ 8. Describe irrigation system
- ~~X~~ 9. Planting Beds, indicating square footage of each bed
- ~~N/A~~ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ~~X~~ 11. Responsibility for Maintenance (statement)
- ~~X~~ 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- ~~X~~ 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ~~X~~ 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- N/A. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- N/A 5. Lighting
- N/A 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

- | | | |
|----------------------------|----------------------------|---|
| <input type="checkbox"/> S | <input type="checkbox"/> Z | ZONING & PLANNING |
| <input type="checkbox"/> | <input type="checkbox"/> | Annexation |
| <input type="checkbox"/> | <input type="checkbox"/> | County Submittal |
| <input type="checkbox"/> | <input type="checkbox"/> | EPC Submittal |
| <input type="checkbox"/> | <input type="checkbox"/> | Zone Map Amendment (Establish or Change Zoning) |
| <input type="checkbox"/> | <input type="checkbox"/> | Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> | <input type="checkbox"/> | Amendment to Sector, Area, Facility or Comprehensive Plan |
| <input type="checkbox"/> | <input type="checkbox"/> | Text Amendment (Zoning Code/Sub Regs) |
| <input type="checkbox"/> | <input type="checkbox"/> | Street Name Change (Local & Collector) |
| <input type="checkbox"/> | <input type="checkbox"/> | APPEAL / PROTEST of... |
| <input type="checkbox"/> | <input type="checkbox"/> | Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JLM INVESTMENTS PHONE: 856-5700
 ADDRESS: 8414-D JEFFERSON ST, NE FAX: 856-7900
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: LARRY@PRESURY.COM
 Proprietary interest in site: OWNER List all owners: JLM INVESTMENTS ONLY
 AGENT (if any): INSITEWORKS PHONE: 858-0100
 ADDRESS: 57 ROCK POINT PL, NE FAX: 858-1098
 CITY: ALBUQUERQUE STATE NM ZIP 87122 E-MAIL: JUDE@INSITEWORKS.COM

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 14-A-2-A Block: _____ Unit: 5
 Subdiv. / Addn. LOOP INDUSTRIAL DISTRICT
 Current Zoning: SU-2 FOR M-1 Proposed zoning: SAME
 Zone Atlas page(s): C-17 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 1.24 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 1-017-06A-367-234-40256 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: JEFFERSON ST, NE
 Between: PASEO DEL NORTE and WILSHIRE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE JUD CERVENAK (FOR INSITEWORKS) DATE 7.5.05
 (Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>050RB-01147</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date <u>07/20/05</u>			Total <u>\$ 405.00</u>

Sandy Handley
 Planner signature / date

Project # 1004326

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - N/A Copy of the document delegating approval authority to the DRB N/A
 - N/A Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - ___ Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

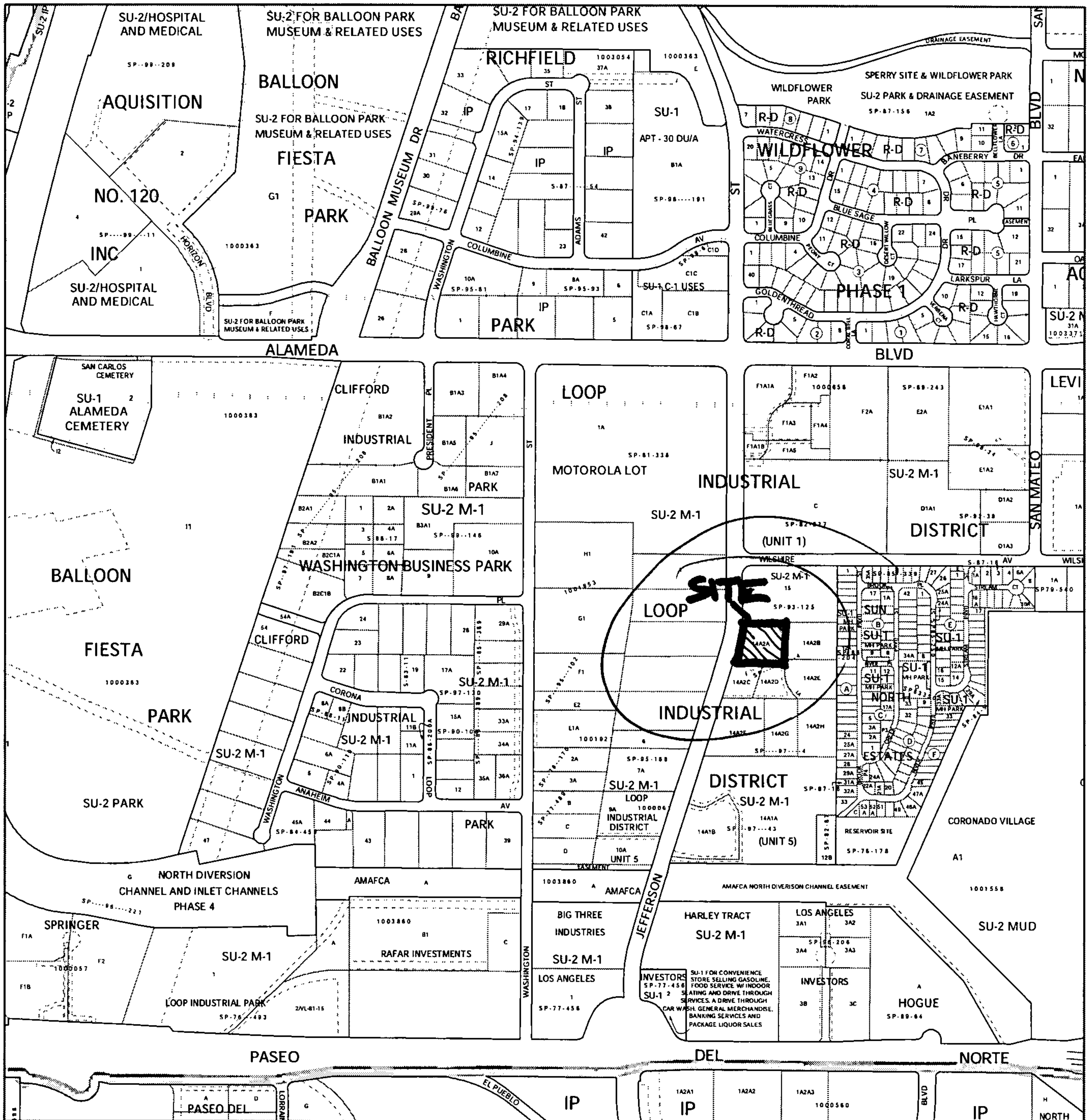
JUD CERVENAK
 Applicant name (print)
[Signature] 7/12/05
 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
OSDRB - 01147

Sandy Sandley 07/12/05
 Planner signature / date
Project # 1004326



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: Apr 22, 2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
C-17-Z

Selected Symbols

	Outside City Limits		Petroglyph Mon.
	Sector Plans		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zone		Airport Noise Contours
	KKKH-1 Buffer Zone		Wall Overlay Zone

0 750 1,500 Feet

date | July 12, 2005
project | JLM Investments – 8500 Jefferson St., NE
regarding | Site Development Plan for Building Permit Submittal
distribution | CABQ

Attached please find submission materials for approval of a Site Development Plan for Building Permit for the JLM Investments office building located at 8500 Jefferson St. NE.

The owner seeks approval for development of a 13,704 sf, single story office building with associated parking and site improvements. This property is zoned SU-2 for M-1 uses and as such we are making submittal directly to DRB for approval.

The design of this building is compatible with surrounding buildings which are a mixture of similar sized facilities and larger ones. The exterior of the building will be a synthetic stucco finish with a combination of operable, clad wood windows and storefront windows. The main architectural feature will be a decorative trellis/sunshade assembly, which will be of tubesteel construction, painted in the building accent color. Rooftop mechanical units will be screened with natural weathering (rusty finish), corrugated steel panels. The height of this mechanical screen will obscure all mechanical units from the street view. Finish material colors are indicated in samples, attached to this application.

Landscaping will done in a xeric palette with the goal of minimizing water usage. This is accomplished with a variety of stone groundcovers and variety of xeric or low water use plantings. No high water use turf will be used on this project. Planting areas are distributed around the building and in intermediate islands in the main parking areas.

We seek your approval for the purpose of obtaining a building permit.

Please do not hesitate to contact me if you have any questions.

Respectfully Submitted,



Jud Cervenak, AIA
Project Architect

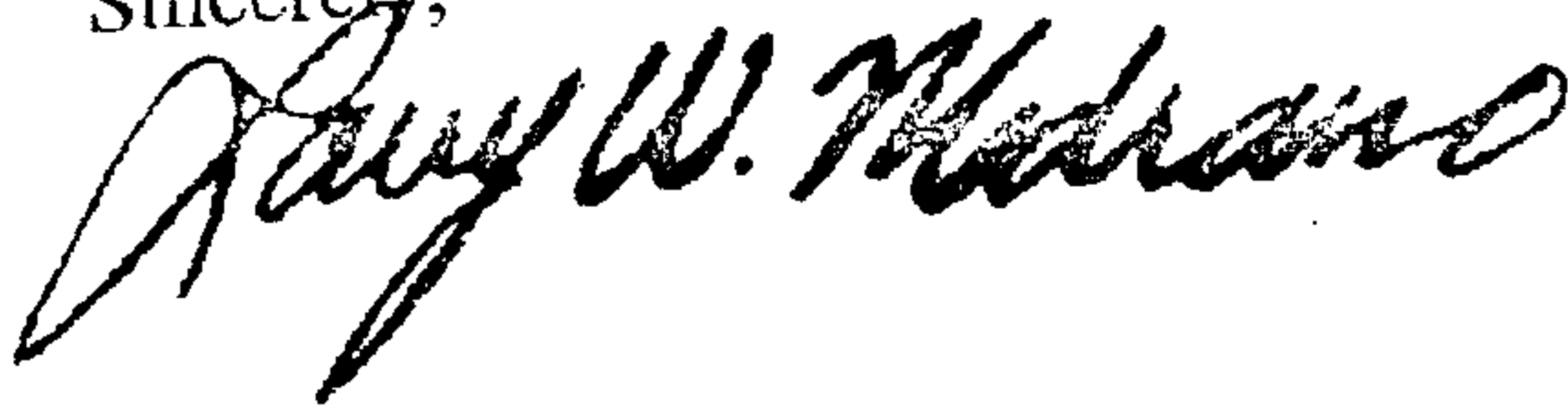
JLM Investments, LLC

July 11, 2005

To Whom It May Concern:

This letter will authorize Insiteworks, Knight Seavey, AIA, AICP and Jud Cervenak, AIA to act as agents for JLM Investments, LLC for the purpose of obtaining Building Permit and related approvals from the City of Albuquerque for the project located at 8500 Jefferson, St. NE.

Sincerely,



Larry Medrano- Partner
JLM Investments, LLC

LEGEND

	NEW 14' TALL POLE LIGHT W/ 50 WATT CERAMIC METAL HALIDE LAMPING (FULL CUT OFF, SHOE BOX TYPE)
	EXISTING FIRE HYDRANT

CURB RADIUS DATA

R1 = 1'-0"
R2 = 2'-0"
R3 = 3'-0"
R5 = 5'-0"
R8 = 8'-0"
R10 = 10'-0"
R15 = 15'-0"
R20 = 20'-0"
R25 = 25'-0"
R50 = 50'-0"

RADIUS MEASURED TO
OUTSIDE FACE OF CURB

ADDRESS:
8500 JEFFERSON ST., NE
ALBUQUERQUE, NM 87113

LEGAL DESCRIPTION:
LOT 14-A-2-A OF UNIT V, LOOP INDUSTRIAL DISTRICT, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN
AND DESCRIBED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO
COUNTY, NEW MEXICO ON JANUARY 3, 1992, IN PLAT BOOK NO. 118, PAGE 2.

ZONING:
C1.0-DRB

ZONE ADOPTED:
5-17

LEGAL NOTES:
1. CITY OF ALBUQUERQUE UPC NO. 1-017-04-87-24-006

2. SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE X, DESIGNATING AREA(S) DETERMINED TO BE
OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO
COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 6001201177, EFFECTIVE DATE,
NOVEMBER 11, 2003.

GENERAL NOTES:
(01) ALL STANDARD PARKING SPACES SHALL BE 8'10" X 22'00"

(02) ALL HANDICAP PARKING SPACES SHALL BE 8'10" X 22'00" WITH ADJACENT 5'0" STRIPED ACCESS
ABLE (1) VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE. ALL SPACES
SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAINTED MARKINGS.

(03) ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED
ON ASPHALT WITH WHITE ALYD STRIPING PAINT, TYP.

(04) ALL PARKING SPACES ADJACENT TO A SIDEWALK SHALL BE PROVIDED WITH A PRECAST CONCRETE
PARKING BUMPER LOCATED 2'00" FROM THE SIDEWALK.

KEY PLAN:
(1) ASPHALT PAVED SURFACE - SEE DETAIL 1001.1
(2) CONCRETE CURB & GUTTER - SEE DETAILS 2001.1
(3) CONCRETE SIDEWALK - SEE DETAIL 1001.1 - TYPICAL SIDEWALK WIDTH SHALL BE 4'0" UNLESS NOTED
OTHERWISE.
(4) SIDEWALK RAMP - SEE DETAIL 1001.1
(5) SIDEWALK RAMP W/ PLANK - SEE DETAIL 1001.1
(6) PUBLIC SIDEWALK PER CITY OF ALBUQUERQUE STANDARDS
(7) PUBLIC SIDEWALK ADA ACCESS RAMP PER CITY OF ALBUQUERQUE STANDARDS
(8) CAST IN PLACE CONCRETE (RAMPS) ENCLOSURE W/ GATE - SEE DETAIL 1001.1
(9) PRECAST CONCRETE BUMPERS SET IN SIDEWALK - SEE DETAIL 1001.1
(10) HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 1001.1
(11) EXISTING CONCRETE PAVEMENT TO REMAIN
(12) 14' TALL POLE LIGHT WITH FULL CUT OFF SHOE BOX TYPE CANOPY
(13) CONCRETE SIGN WITH HAND PAINT - SEE DETAIL 7001.1
(14) TRANSFORMATION CONCRETE FAD PER PERM REQUIREMENTS
(15) CONCRETE ELEC. METER HANDBOXER SCREEN WALL - SEE DETAIL 1001.1 (WITH CONCRETE FINISH
ON METER MOUNTING FACE OF WALL)
(16) CONCRETE PAVEMENT CURB - SEE DETAIL 1001.1
(17) PRECAST CONCRETE PARKING BUMPERS - SET 2'00" OFF FACE OF SIDEWALK
(18) PAVEMENT SIGN - SEE DETAIL 1001.1

SITE CALCULATIONS

USE: OFFICE

PROPERTY AREA: 54,073 SF (12413 AC)
GROSS BLDG AREA: 13,704 SF (2514)
NET LEASABLE AREA: 9,736 SF
LANDSCAPE AREA: 7,859 SF (154)
R.O.W. LANDSCAPE: 553 SF
PARKING & SIDEWALK AREA: 32,510 SF (604)

PARKING SPACES REQUIRED: 13,704/200 = 69
HANDICAP PARKING SPACES REQUIRED: 3
PARKING SPACES PROVIDED: 65 + 4 HC (VAN ACCESSIBLE) = 69
BIKE RACK SPACES PROVIDED: 3

SITE DEVELOPMENT PLAN APPROVAL NOTE

THIS PLAN IS CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT
REVIEW BOARD ON _____ AS REFLECTED IN _____

DRB CASE # _____ UNDER _____

APPLICATION # _____

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

IS AND INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF
APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION
WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CIVIL/ENR)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

VICINITY MAP/AERIAL PG. C-17 1"=1000'



INSITE WORKS

ADD. BSS. | 57 ROCK POINT PL. NE
ALBUQUERQUE, NM 87122
TELE | 505.938.8999
FAX | 505.931.9554
WEBSITE | insite-works.com
EMAIL | k.nguyen@insite-works.com

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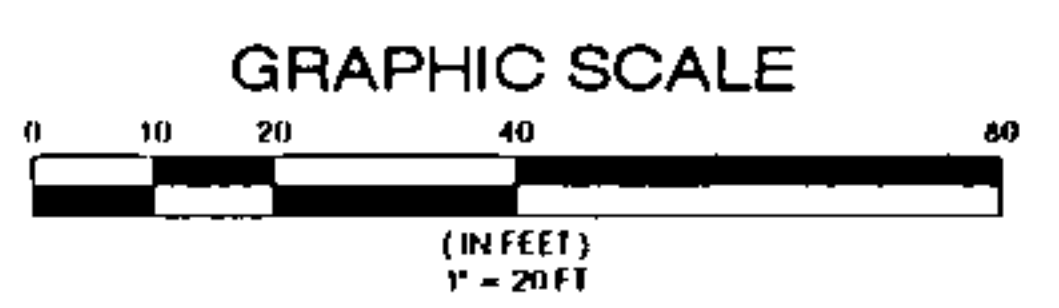
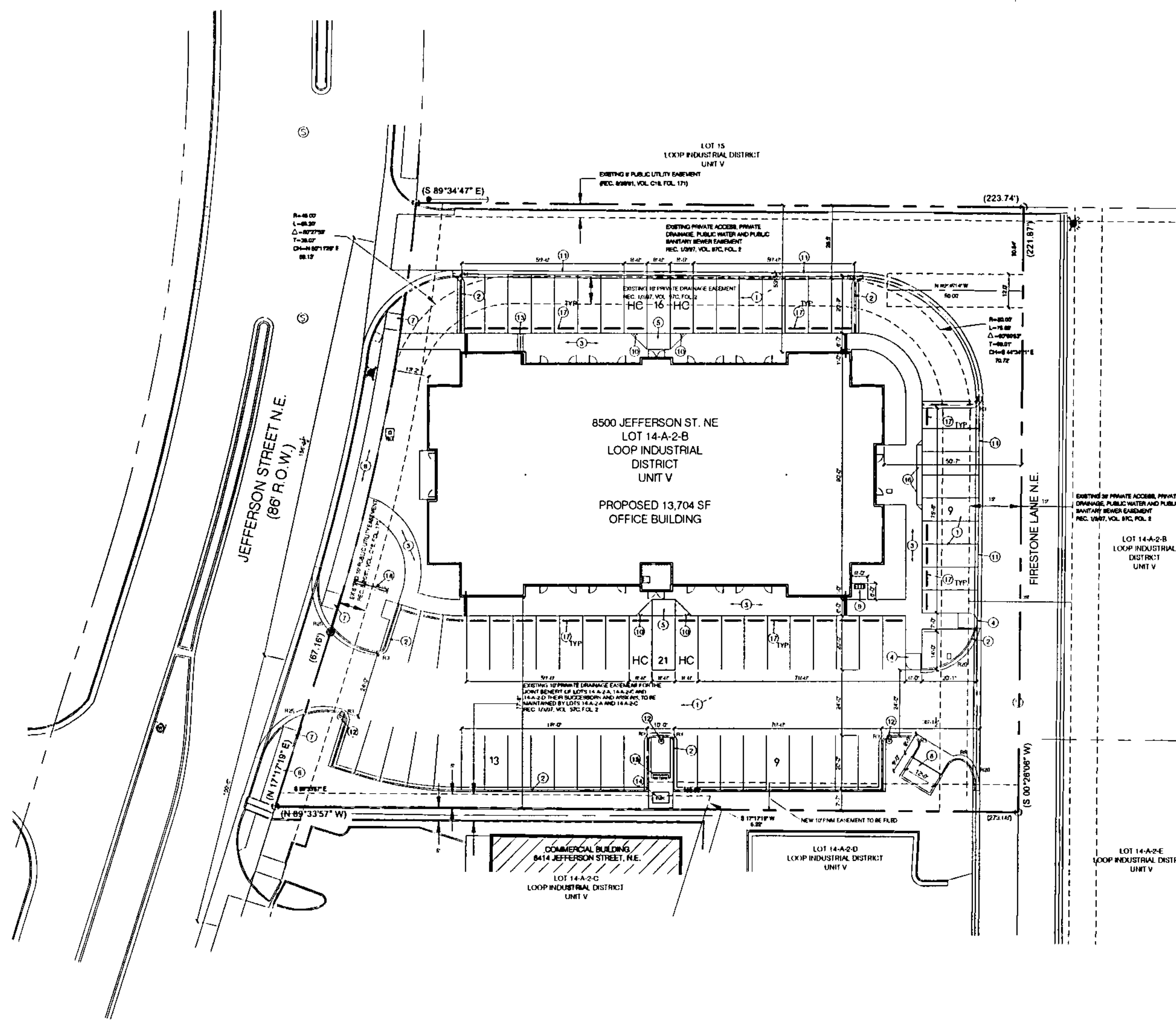
**Lot 14-A-2-A
Loop Industrial District
Unit 5**

ISSUED | 7.13.09
PROJECT ID | JLM

**JLM Investments
8500 Jefferson St. NE**

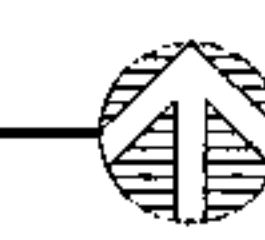
C1.0DRB

KNIGHT L. SEAVEY
NO. 1470
REGISTERED ARCHITECT

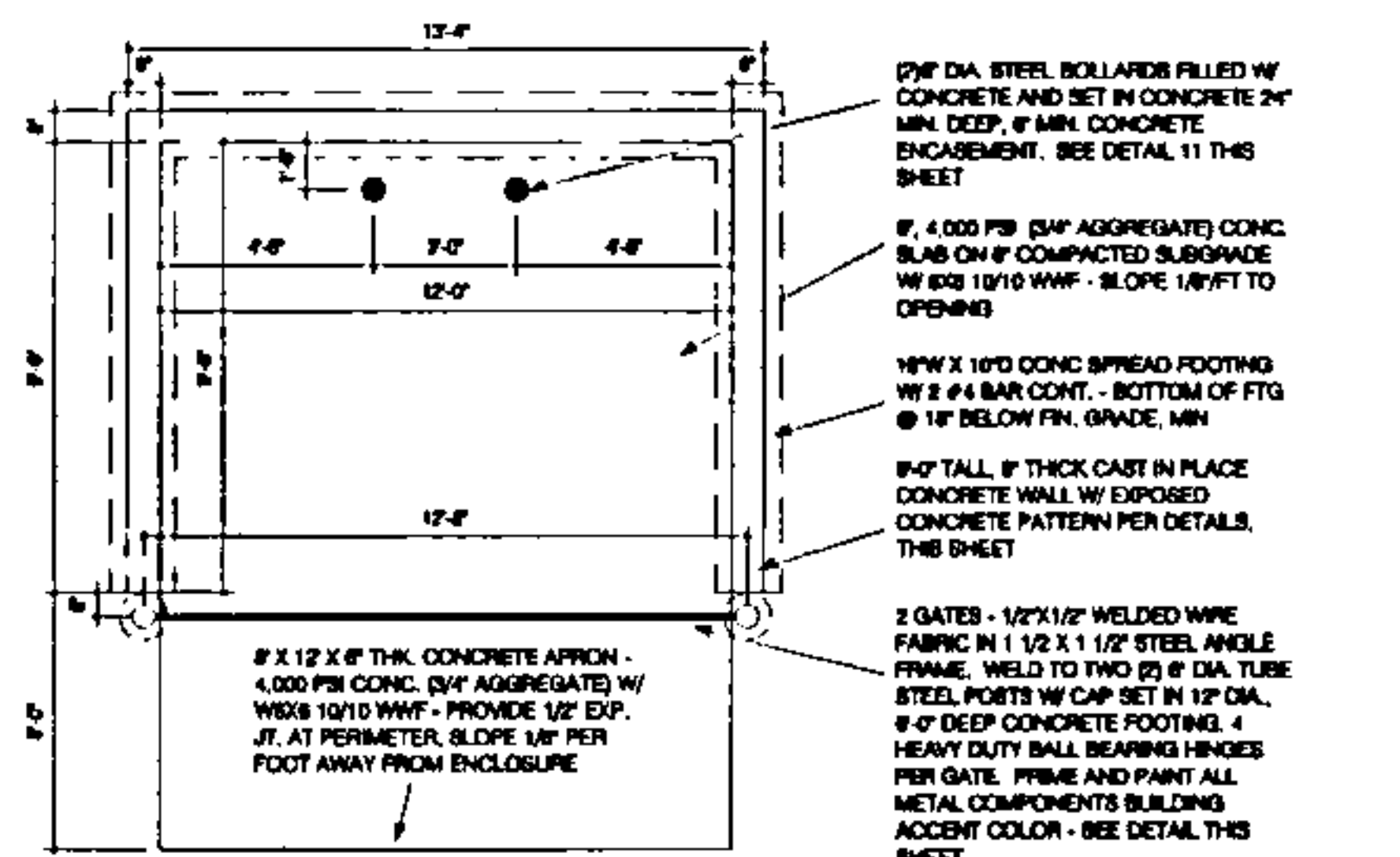


SITE PLAN

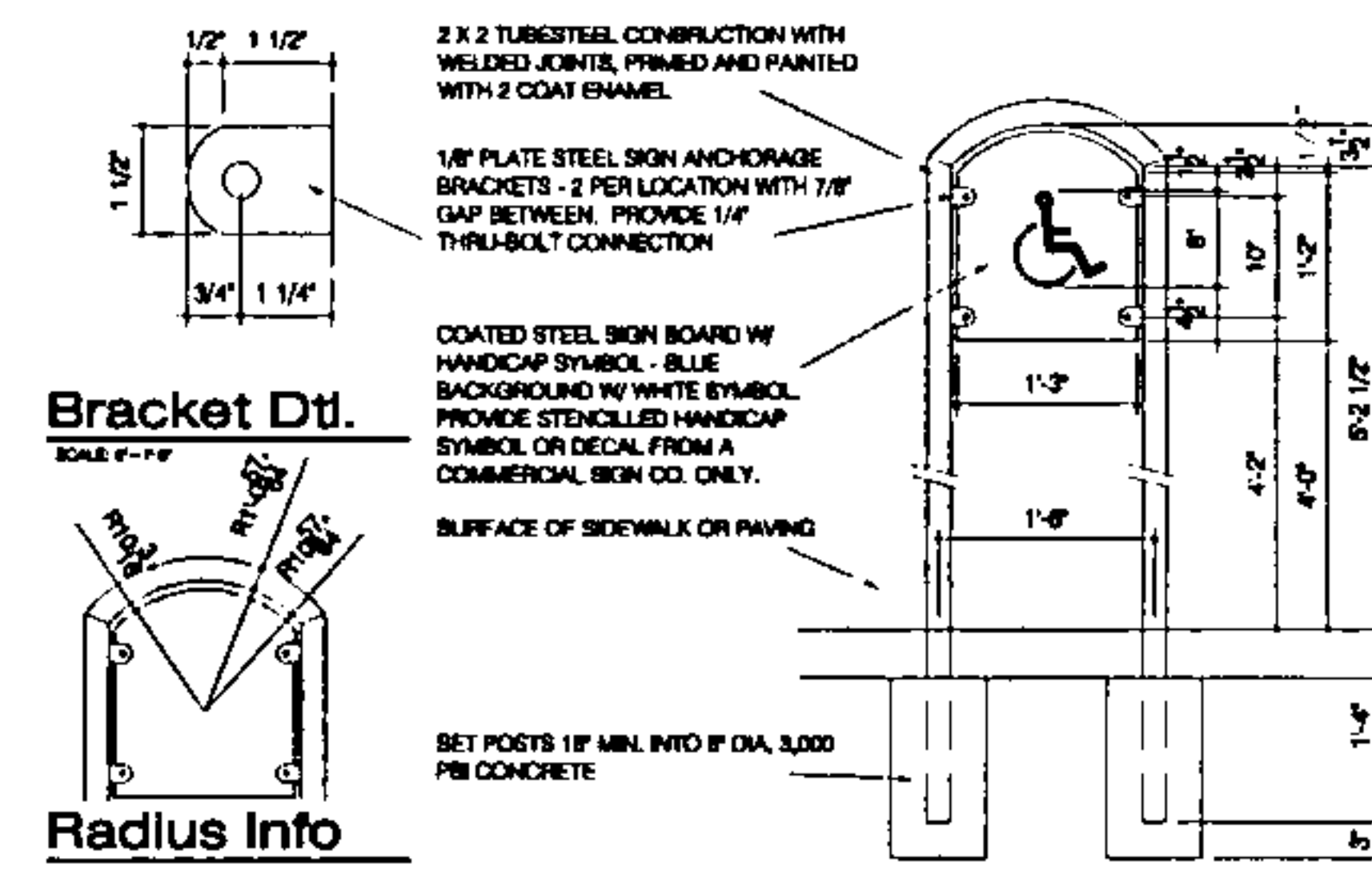
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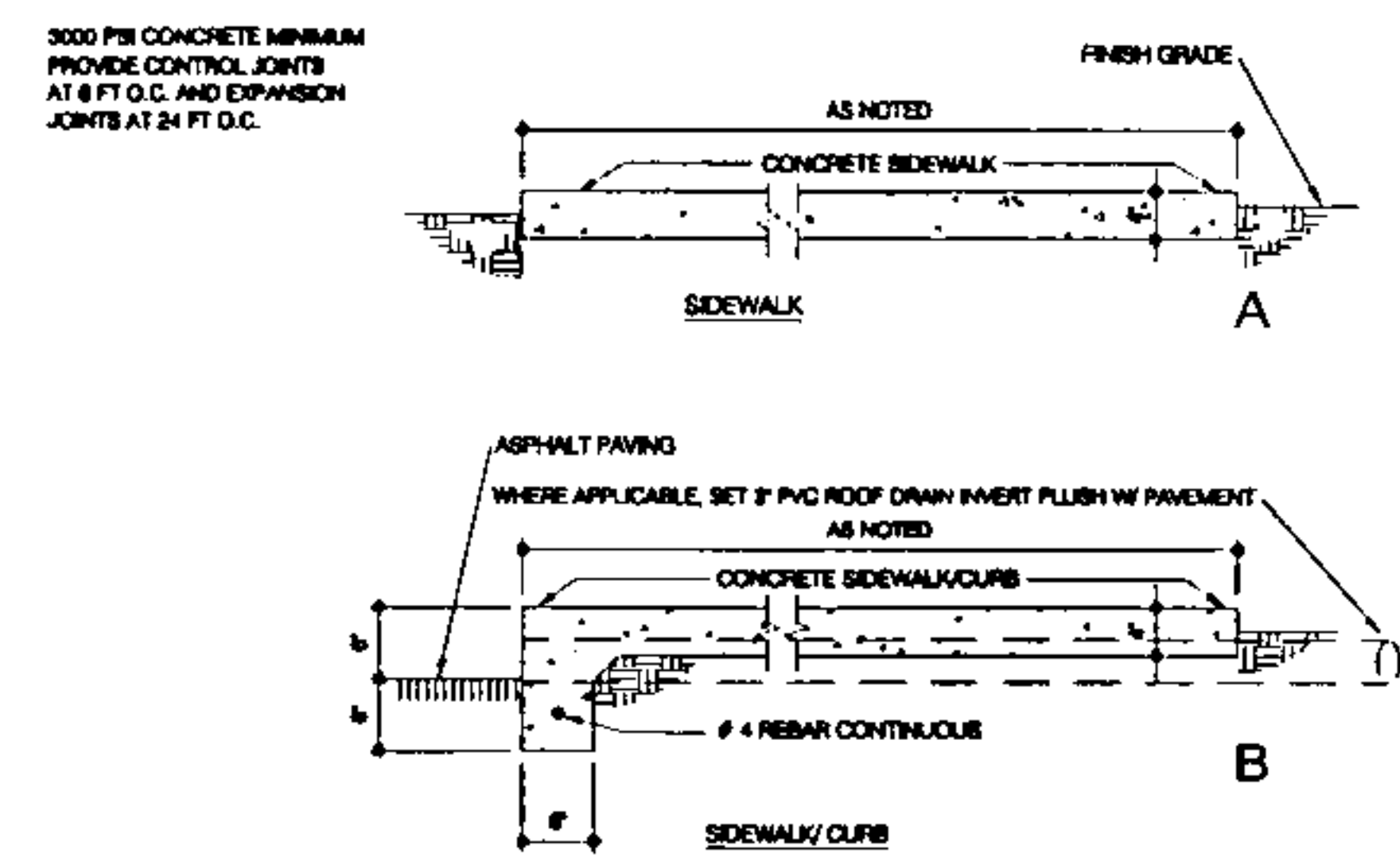
FIRE MARSHAL _____ DATE _____



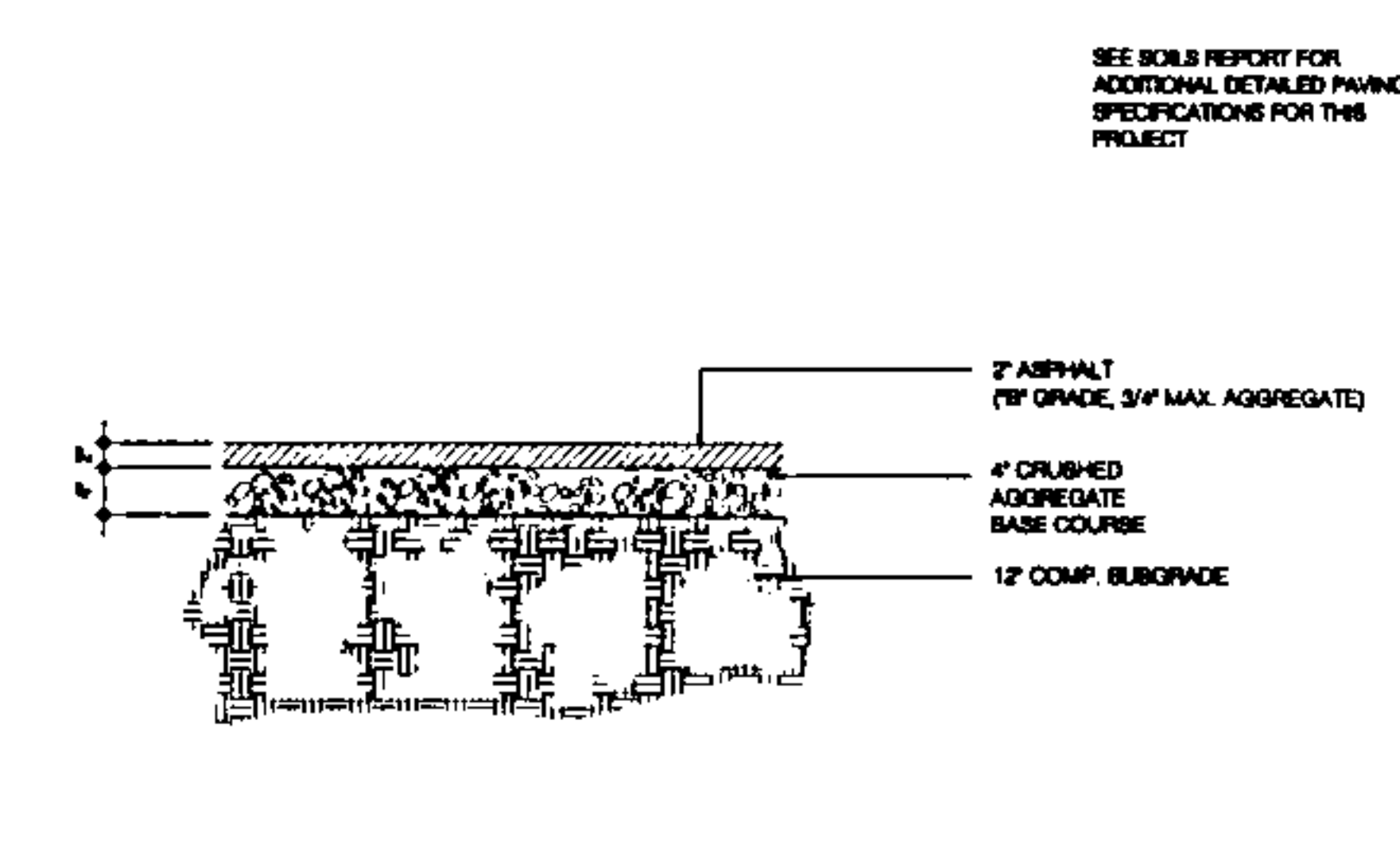
12 DUMPSTER ENCLOSURE-CONC
SCALE: 1/4"=1'-0"



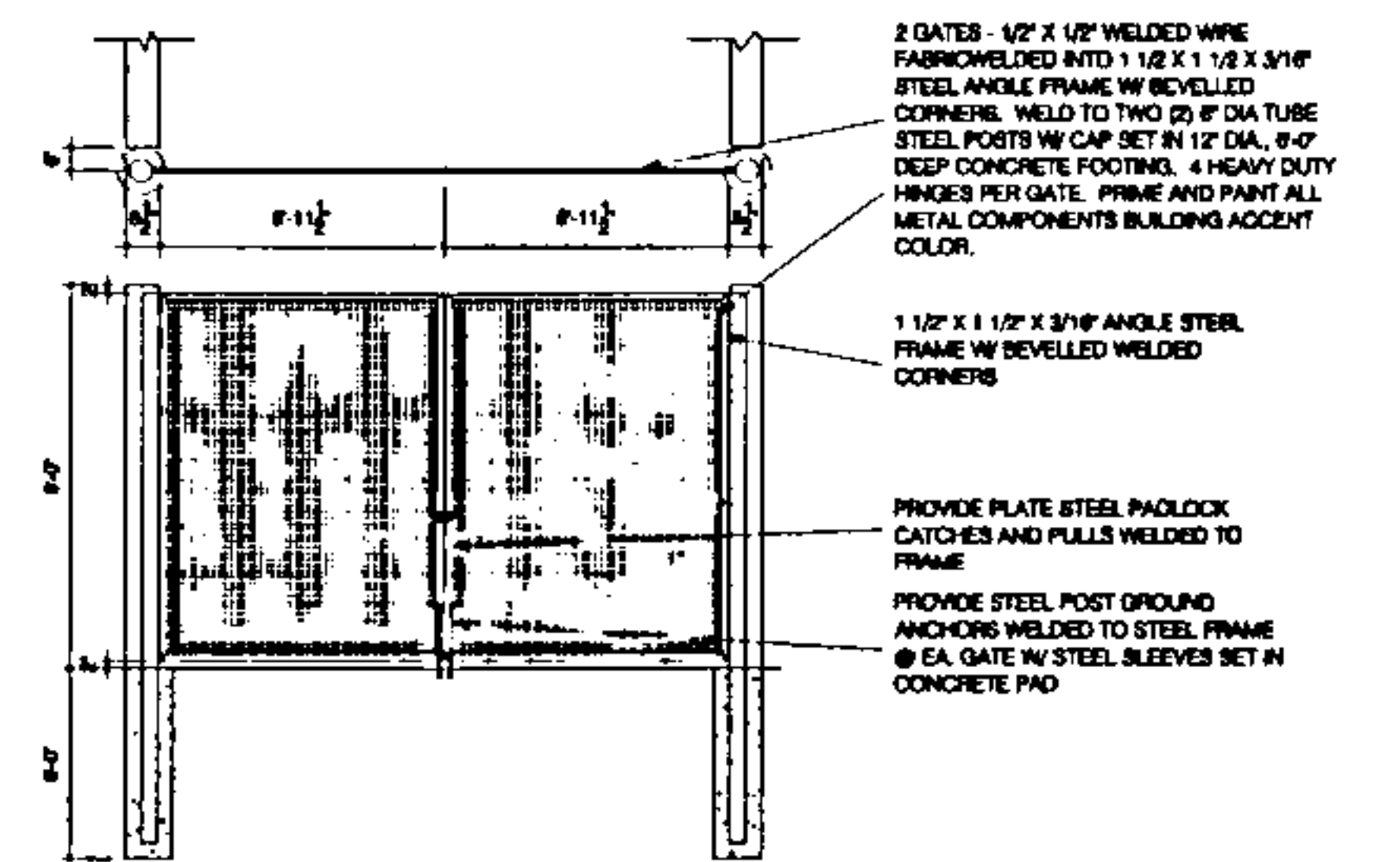
8 HANDICAP PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"



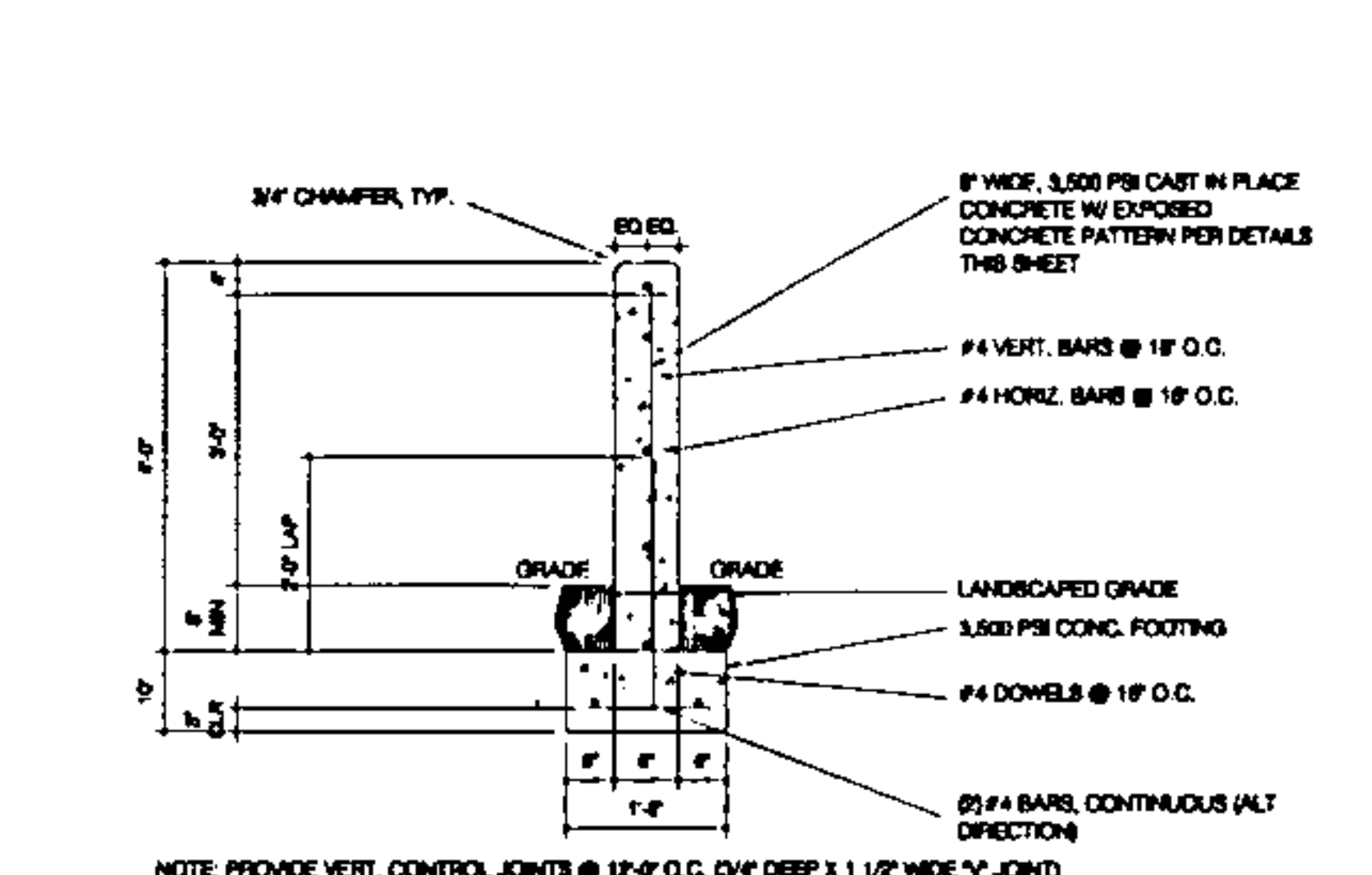
4 SIDEWALK SECTION
SCALE: 3/4"=1'-0"



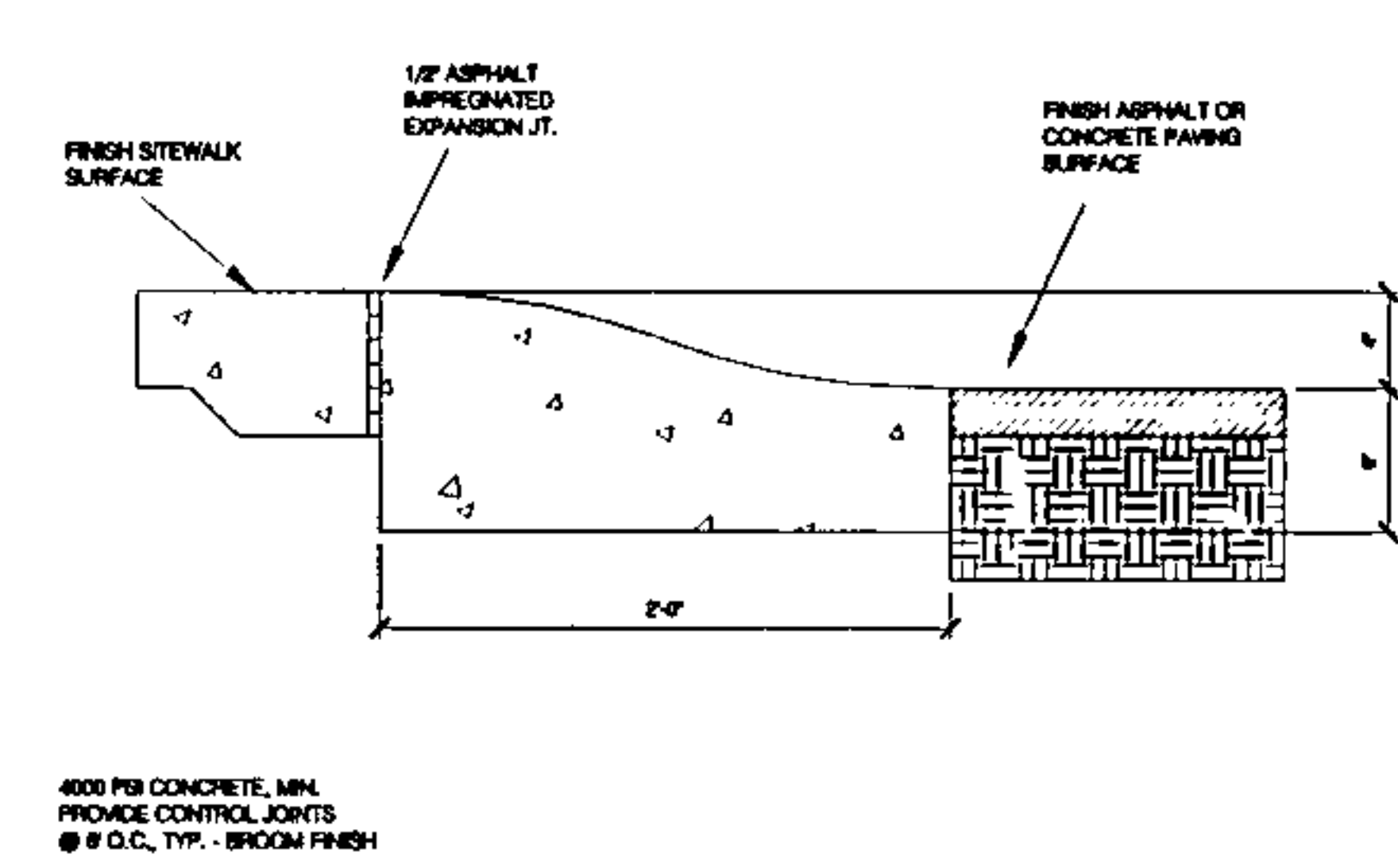
1 ASPHALT PAVING - MEDIUM
SCALE: 3/4"=1'-0"



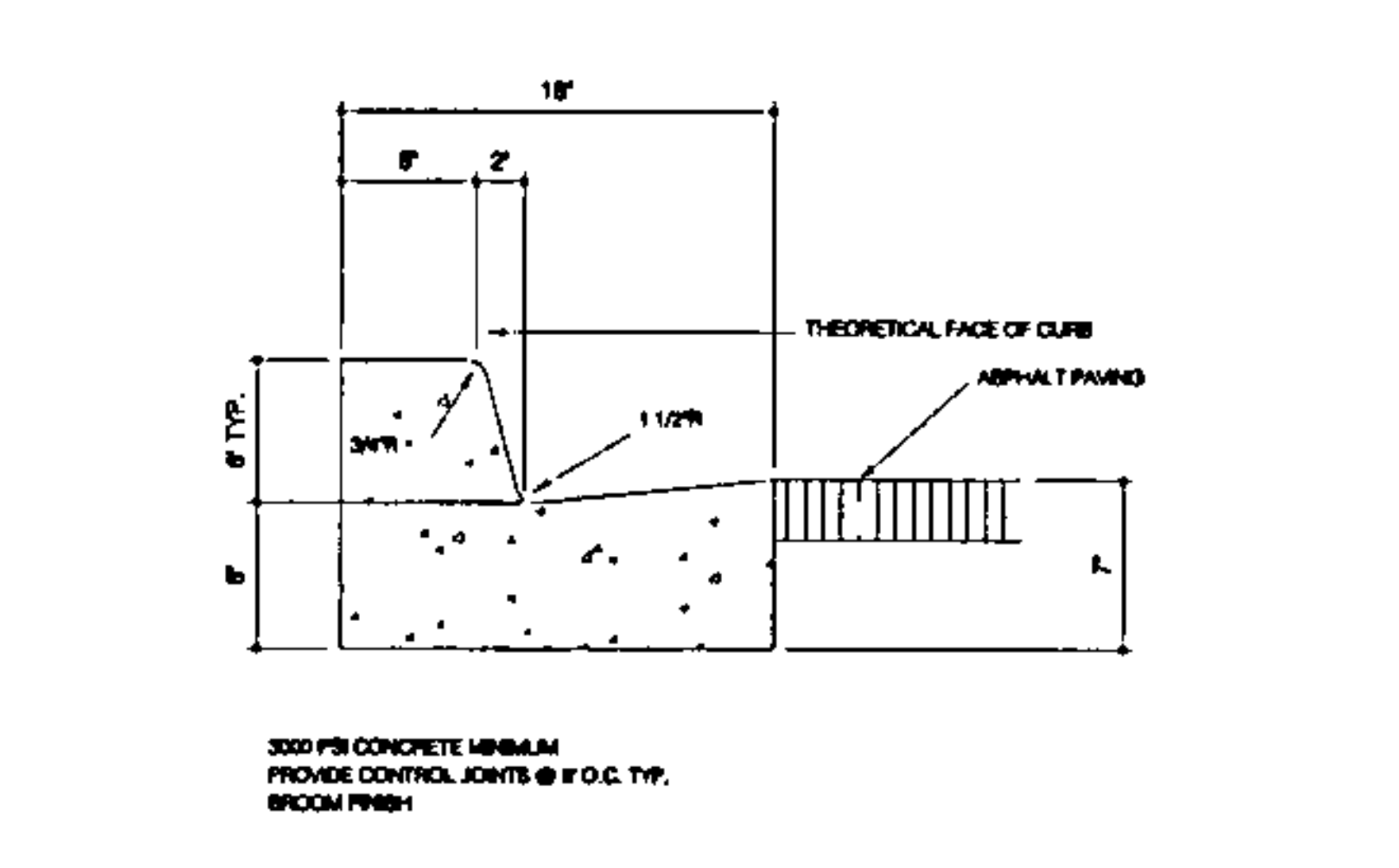
13 DUMPSTER ENCLOSURE GATE
SCALE: 1/4"=1'-0"



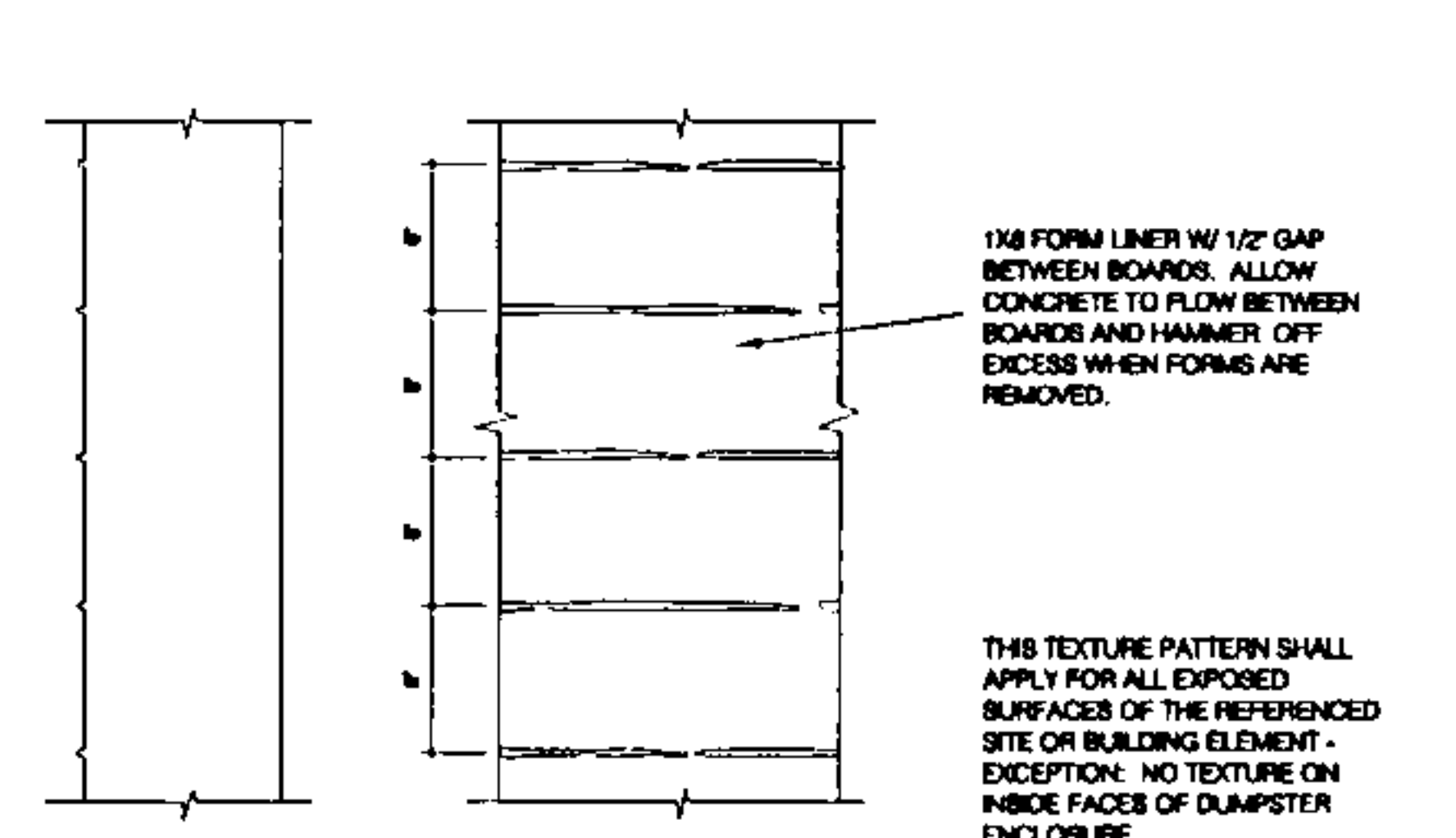
9 SITE WALL SECTION
SCALE: 1/2"=1'-0"



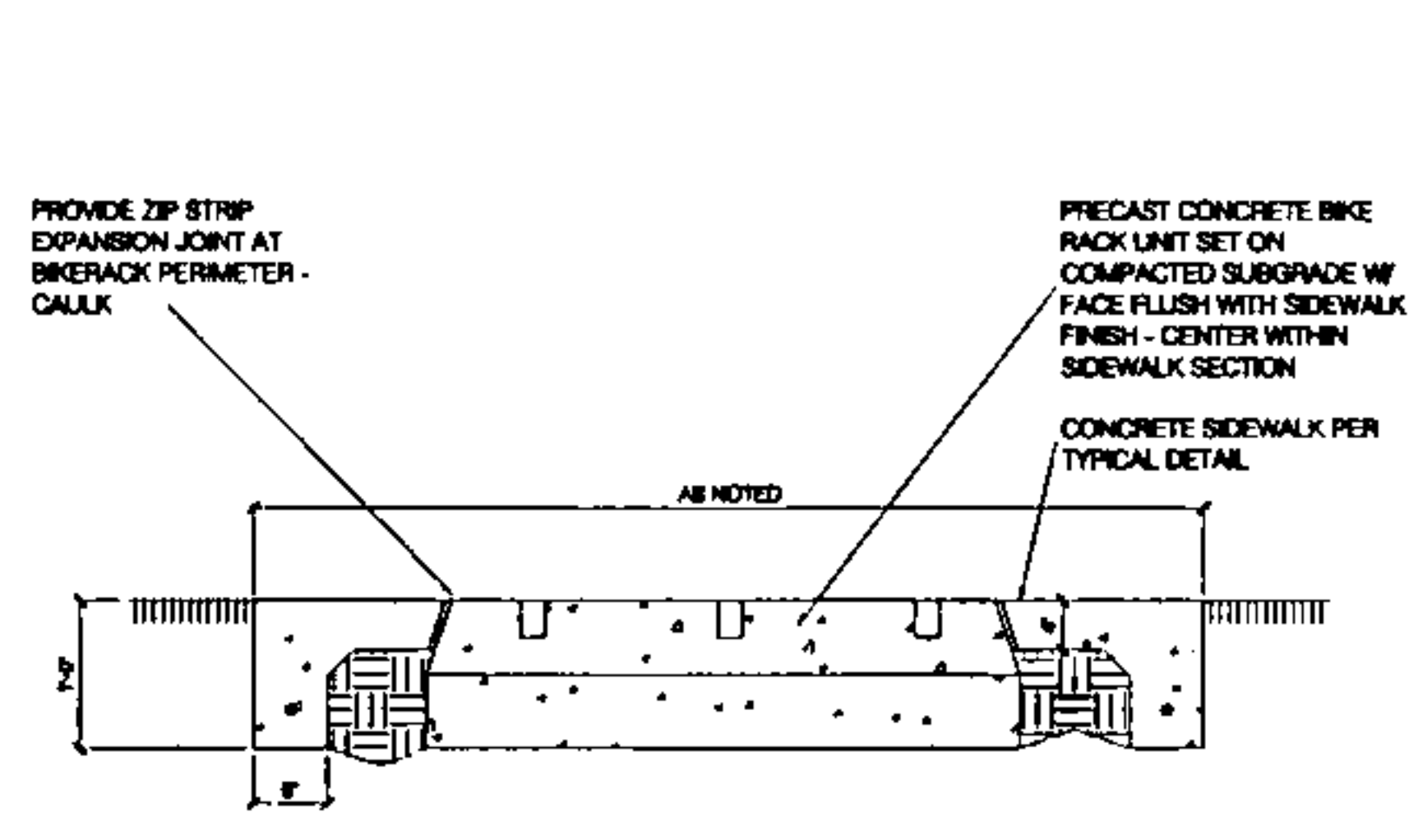
5 ROLL CURB DETAIL
SCALE: 1 1/2"=1'-0"



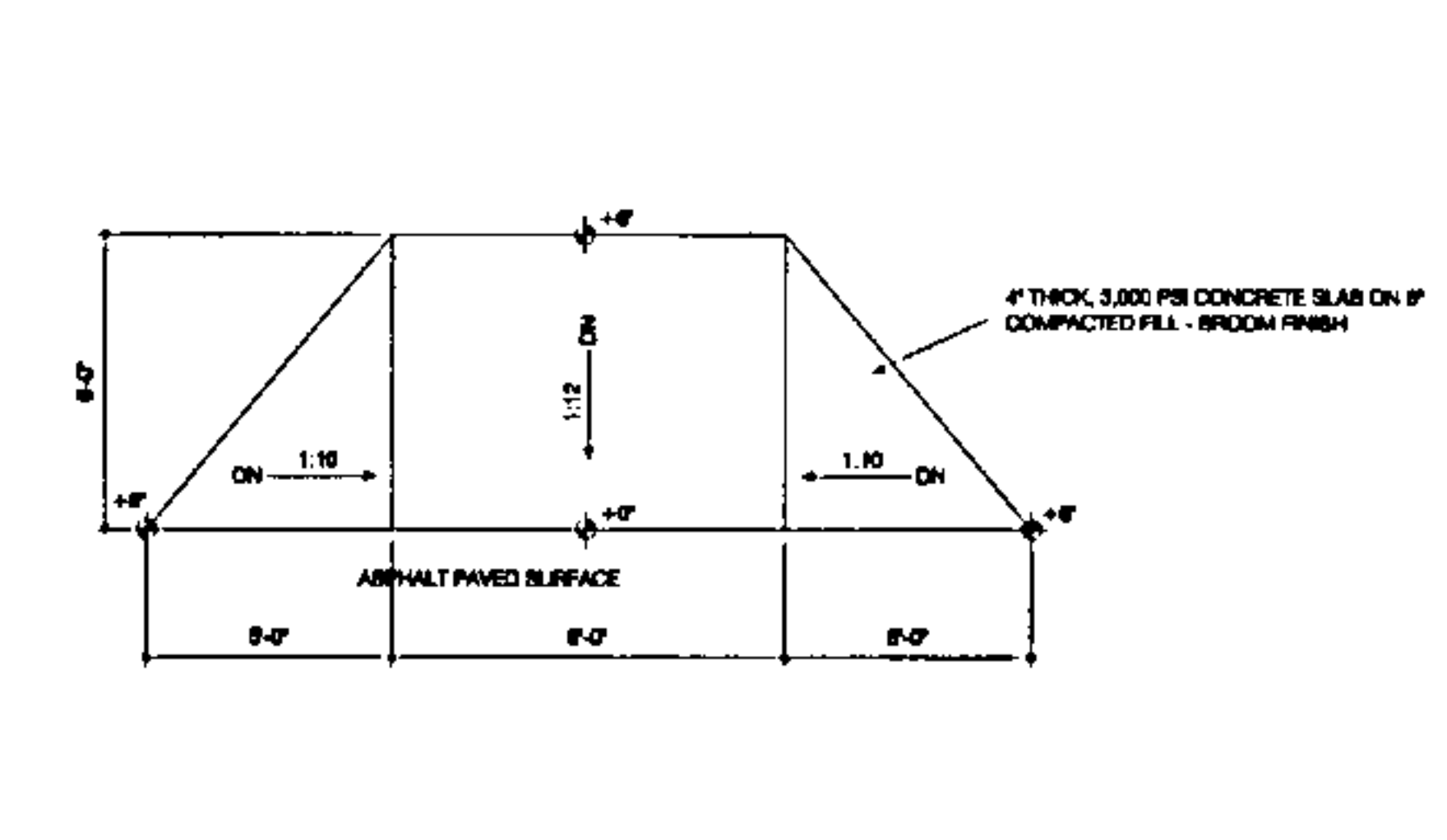
2 CURB & GUTTER SECTION
SCALE: 1 1/2"=1'-0"



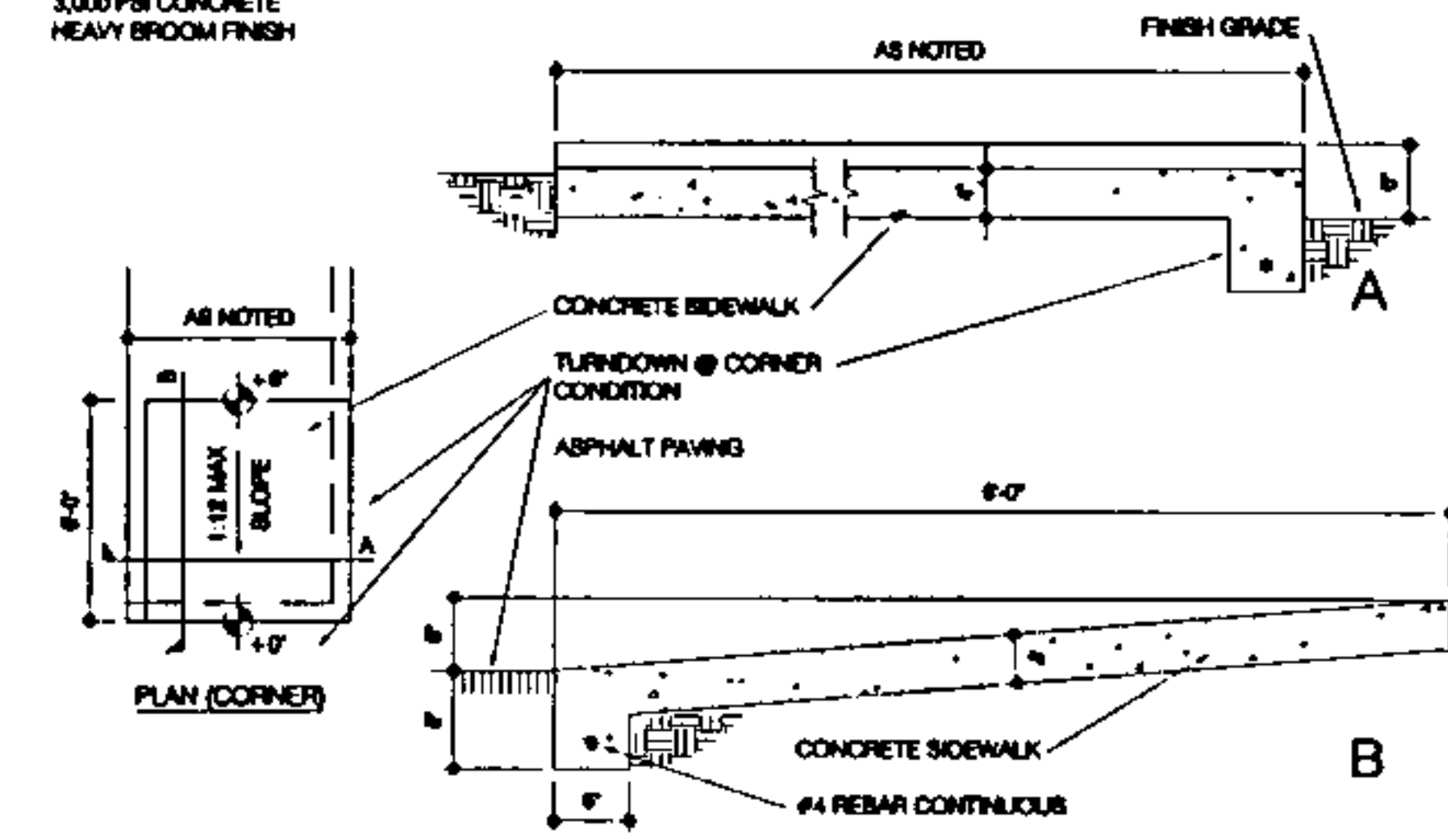
14 EXPOSED CONCRETE PATTERN
SCALE: 1 1/2"=1'-0"



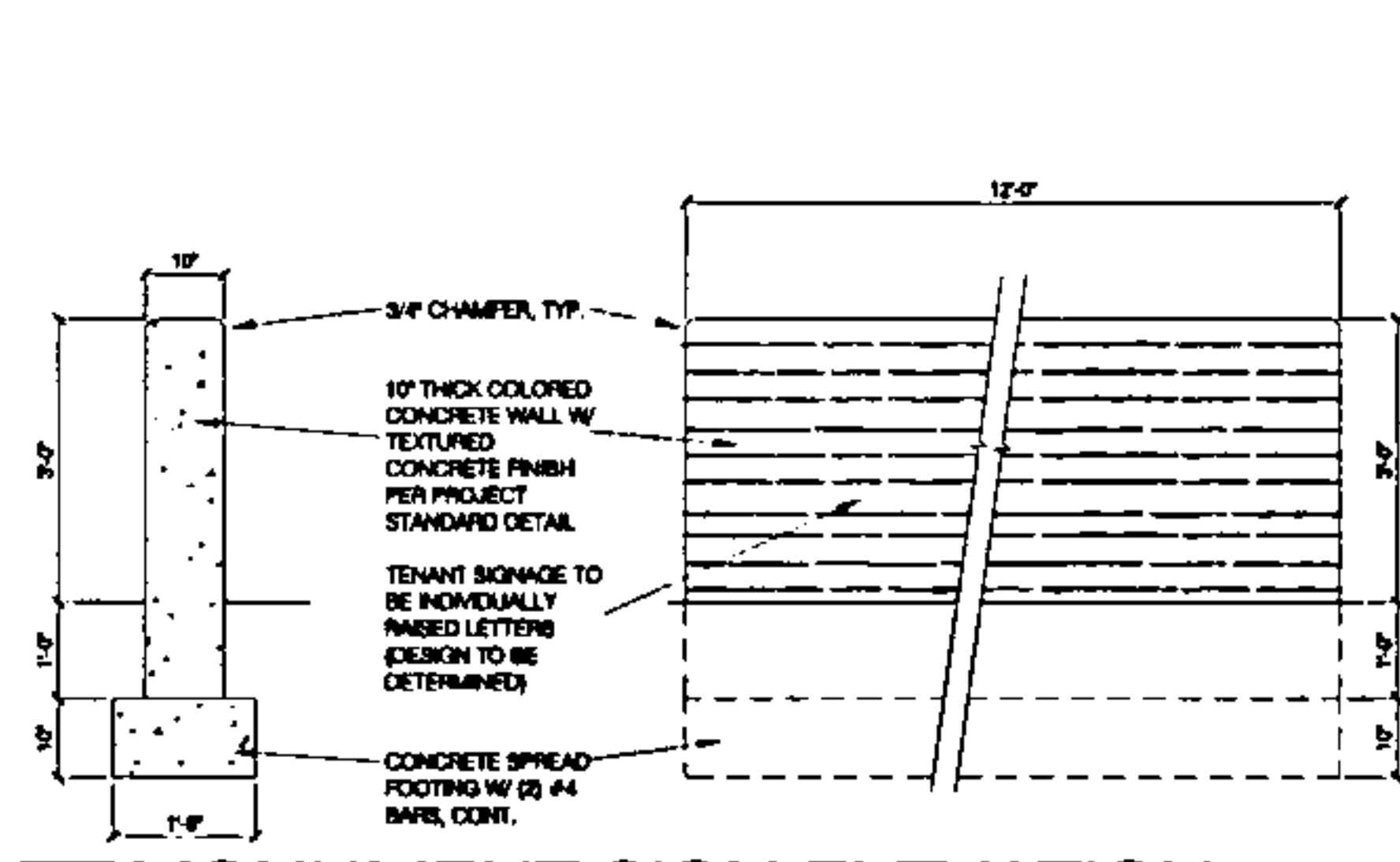
10 RECESSED BIKE RACK DETAIL
SCALE: 3/4"=1'-0"



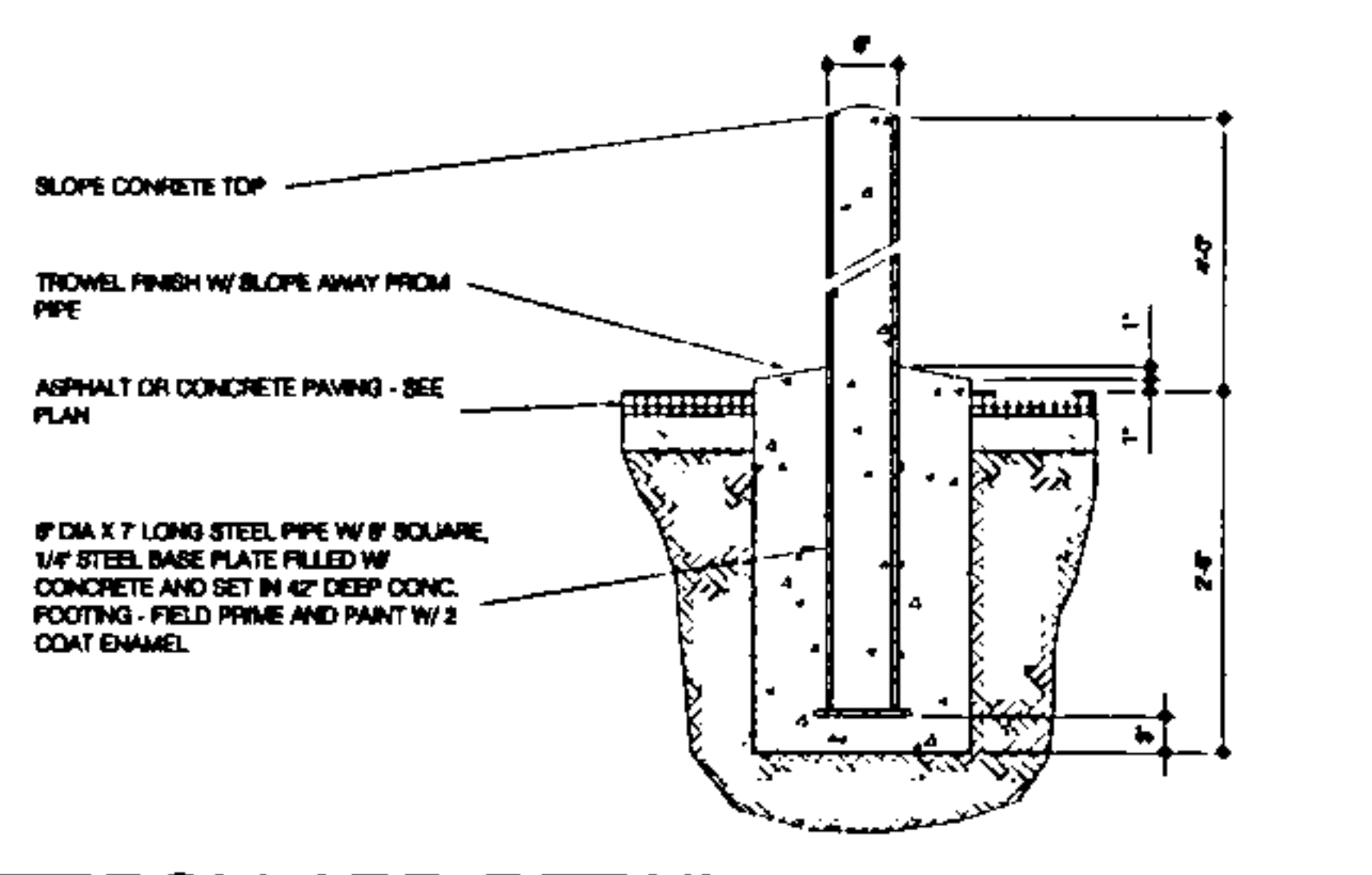
6 HC SIDEWALK RAMP
SCALE: 1/4"=1'-0"



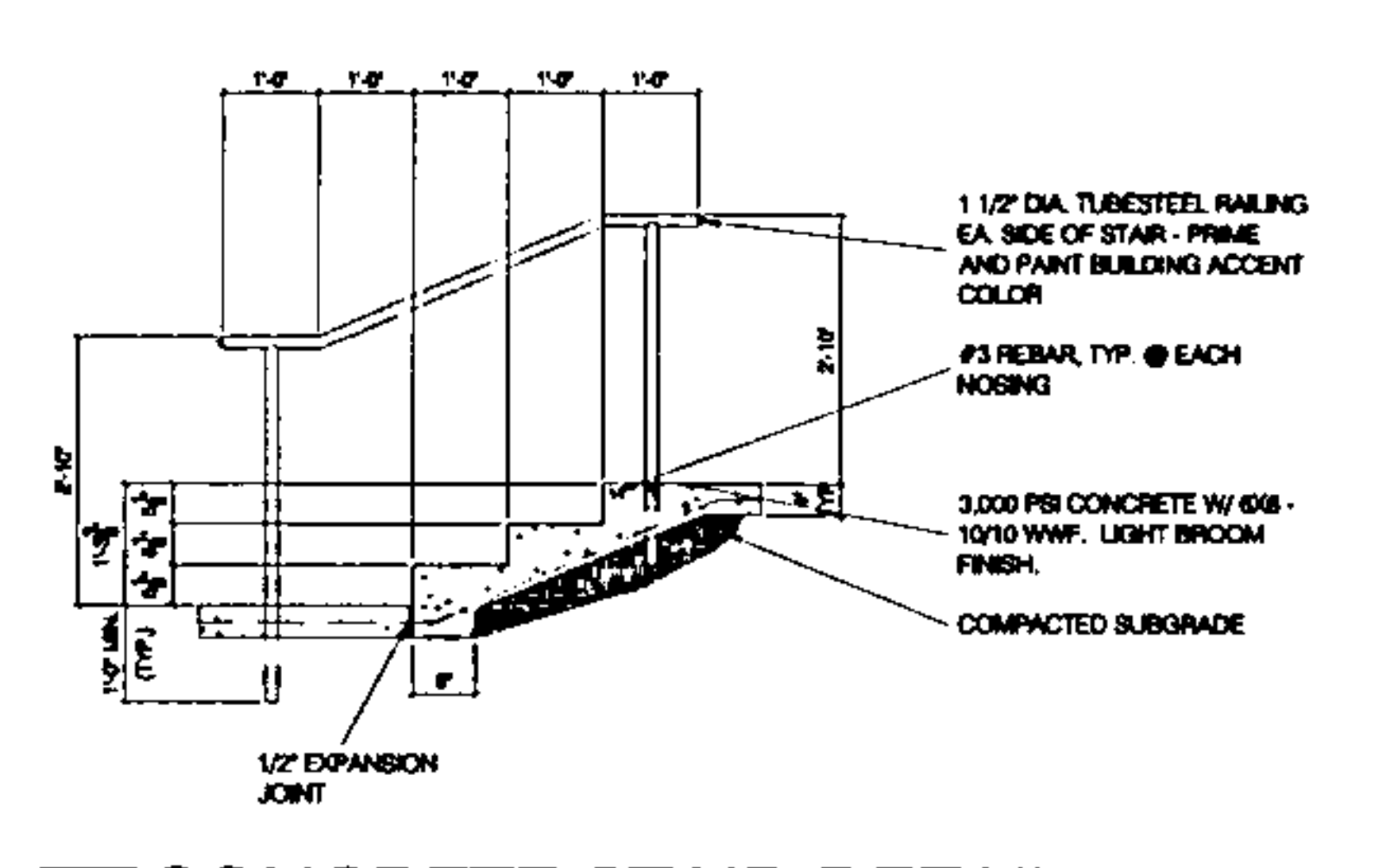
3 SIDEWALK RAMP SECTION
SCALE: 3/4"=1'-0"



15 MONUMENT SIGN ELEVATION
SCALE: 1/2"=1'-0"



11 BOLLARD DETAIL
SCALE: 3/4"=1'-0"



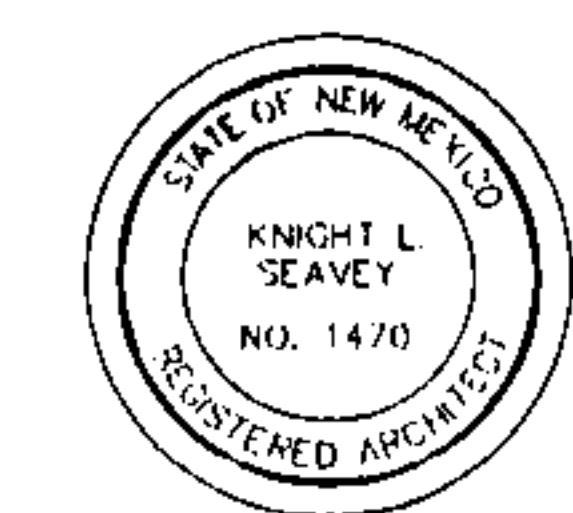
7 CONCRETE STAIR DETAIL
SCALE: 1/2"=1'-0"

SEE BIDDING REPORT FOR ADDITIONAL DETAILED PAVING SPECIFICATIONS FOR THIS PROJECT

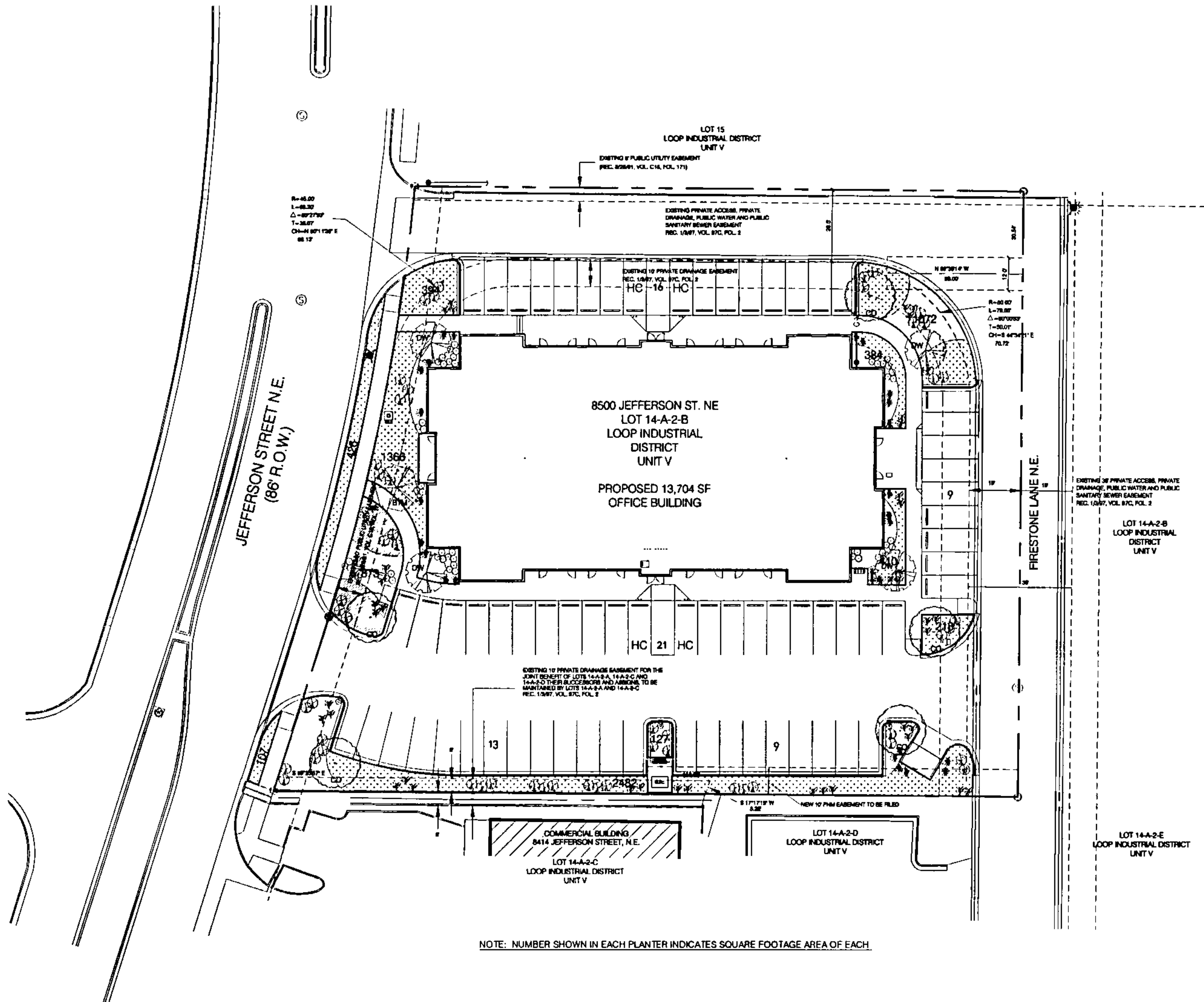
INSITE WORKS
ADDRESS | 53 ROCK POINT PL. NE
ALBUQUERQUE, NM 87110
TELE | 505.768.8888
FAX | 505.761.4154
WEBSITE | www.insiteworks.com
EMAIL | info@insiteworks.com

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Lot 14-A-2-A
Loop Industrial District
Unit 5
ISSUED | 7.12.05
PROJECT NO. | JLM
JLM Investments
8500 Jefferson St. NE



C1.1DRB



LANDSCAPE CALCULATIONS

PROPERTY AREA: 54,073 SF (1.2413 AC)
 GROSS BLDG AREA: 13,704 SF (25%)
 NET LEASABLE AREA: 9,736 SF
 LANDSCAPE AREA: 7,859 SF (15%)
 R.O.W. LANDSCAPING: 553 SF
 PAVING & SIDEWALK AREA: 32,510 SF (60%)

TREE SCHEDULE

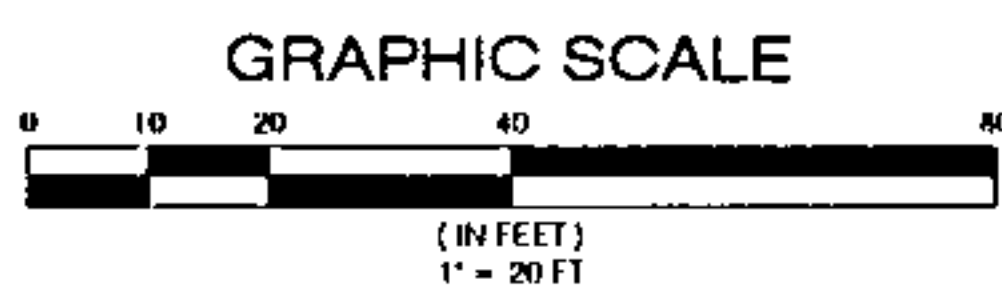
REDBUD (CEANOX OCCIDENTALIS) KEY: RB SIZE: 2" CALIPER REMARKS: MULTI-TRUNK	DESERT WILLOW (NIMBIFERA) (CHROMOLAIS LINEARIS) KEY: CW SIZE: 2" CALIPER REMARKS: 11.53' Ht
CRIMBOSS RED OAK (QUERCUS GRANATENSIS) KEY: CRO SIZE: 18" ROOT CONTROL BAG REMARKS: 35-40' AT MATURITY, FALL COLOR COMMON, LONG-LASTING	CHINGUAPIN OAK (QUERCUS MULLENBERGII) KEY: CO SIZE: 18" ROOT CONTROL BAG REMARKS: 45-50' AT MATURITY, FALL COLOR COMMON, DEEP BURGAMOY
BIGTOOTH MAPLE (ACER GRANDIDENTATUM) KEY: BTM SIZE: 18" ROOT CONTROL BAG REMARKS: 30' AT MATURITY, FALL COLOR RED-WHITE-YELLOW	AUSTRIAN BLACK PINE (PINUS NEREA) KEY: AP SIZE: 2" CALIPER REMARKS:
	TEXAS RED OAK (QUERCUS BURNINGII) KEY: TR SIZE: 2" CALIPER REMARKS:

SHRUB SCHEDULE

SILVER SPINDLECAT BERRY (LANTANA AMBUSTICA SPINICATA) KEY: SW SIZE: 1 GAL REMARKS:	LAVENDER (LAVANDULA ANGSTRIATA SPINICATA) KEY: LK SIZE: 1 GAL REMARKS:
SILVER BACCH (ANTENNARIA PLINIFOLIA) KEY: SB SIZE: 1 GAL REMARKS: Inq. 10	SILVER NIGHT MEADOW BACCH (ANTENNARIA PLINIFOLIA) KEY: SA SIZE: 1 GAL REMARKS: Inq. 10
BURKAY (FORSYTHIA SPINICATA) KEY: BK SIZE: 1 GAL REMARKS: Inq. 10	NEEDLE BUSH (NANUS SPINICATA) KEY: NB SIZE: 1 GAL REMARKS:
WINDMILL CREEPER (MORNING GLORY) KEY: WC SIZE: 1 GAL REMARKS: Inq. 10	KOREAN HYDRANGEA (HYDRANGEA KORAIANA) KEY: KP SIZE: 1 GAL REMARKS:
SILVER BEANPOLE (MORNING GLORY) KEY: SB SIZE: 1 GAL REMARKS: Inq. 10	SILVER BACCH (ANTENNARIA PLINIFOLIA) KEY: SB SIZE: 1 GAL REMARKS: Inq. 10
BLUE PEACOCK (FORSYTHIA SPINICATA) KEY: PB SIZE: 1 GAL REMARKS: PLANT 18" O.C. Inq. 10	CREEPING NODDIARY (NODDIARY SPINICATA) KEY: CR SIZE: 1 GAL REMARKS:
	BLUE CATHYRT (NODDIARY SPINICATA) KEY: CB SIZE: 1 GAL REMARKS: Inq. 10

GROUNDCOVER SCHEDULE

TRIFOLIUM REPENS (CLOVER) KEY: TR QUANTITY: 1 POLYPROPYLENE REMARKS:	GRASS (POLYPROPYLENE) KEY: GR QUANTITY: 1 POLYPROPYLENE REMARKS:
SANTA ANA TART KEY: SA SIZE: 2'-2'	SANTA ANA TART KEY: SA SIZE: 2'-2'
SANTA ANA TART KEY: SB SIZE: 2'-2'	SANTA ANA TART KEY: SA SIZE: 2'-2'



LANDSCAPE PLAN

SCALE: 1" = 20'

GENERAL LANDSCAPE NOTES

- (C2.1) MAINTENANCE OF ALL LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- (C2.2) ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - INCLUDE 40 PIPING TYP.
- (C2.3) THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE. SPECIFICALLY 75% OF ALL PLANTING BEDS SHALL BE COVERED BY LIVE VEGETATIVE COVER WHICH INCLUDES SHRUBS AND OR LIVE GROUNDCOVERS.
- (C2.4) ALL TREES SHALL BE A MINIMUM OF 2" CALIPER, AS REQUIRED BY THE CABO ZONING CODE.
- (C2.5) NO HIGH WATER USE TURF SHALL BE USED.
- (C2.6) NUMBERS ADJACENT TO EACH PLANTER INDICATED THE SQUARE FOOT AREA OF EACH.
- (C2.7) ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WASTE ORDINANCE.

INSITE WORKS

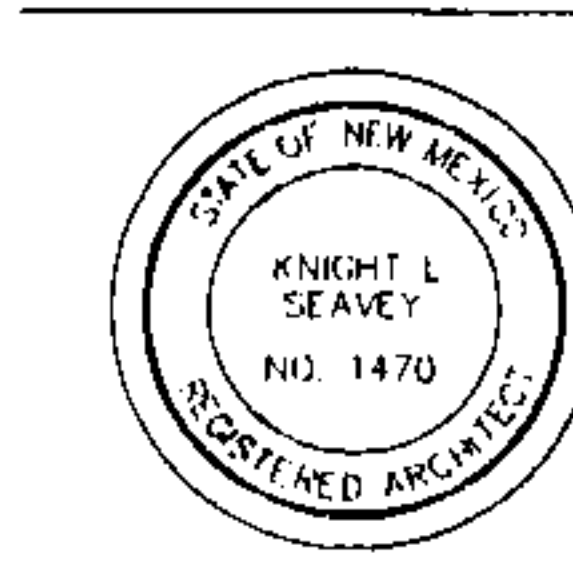
ADDRESS: 87 ROCK POINT PL. NE
 ALBUQUERQUE, NM 87129
 TEL: 505.968.9999
 FAX: 505.291.8164
 WEBSITE: insiteworks.com
 EMAIL: knight@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITE WORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESS WRITTEN CONSENT.

Lot 14-A-2-A
Loop Industrial District
Unit 5

ISSUED: 7.12.08
 PROJECT: JLM

JLM Investments
 8500 Jefferson St. NE
C2.0DRB



A.C.S. MONUMENT 'NOC 7'
 STANDARD A.C.S. BRASS TABLET
 FOUND IN PLACE
 COORDINATE BEARING COORDINATES
 CENTRAL ZONE (N.A.D. 1983)
 N-SIDE BOUNDARY
 1" = 100.00 FT.
 DELTA ALPHA ANGLE - OFFSET
 DELTA ALPHA ANGLE - OFFSET

LOT 15
 LOOP INDUSTRIAL DISTRICT
 UNIT V
 REG. 6/15/97, VOL. 016, PCL. 170

EXISTING 8" PUBLIC UTILITY EXHIBIT
 REG. 6/15/97, VOL. 016, PCL. 170

EXISTING 12" WATER MAIN EXHIBIT
 REG. 1/13/97, VOL. 016, PCL. 170

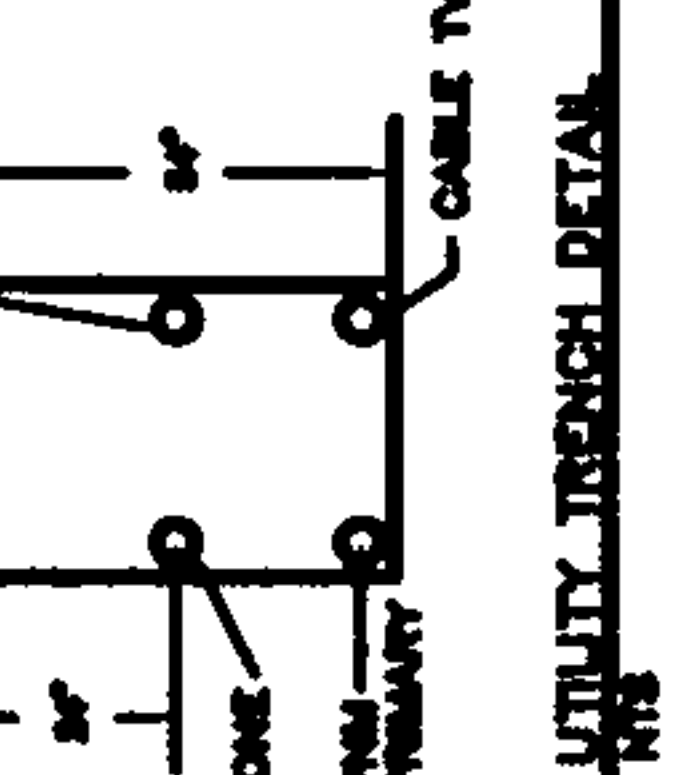
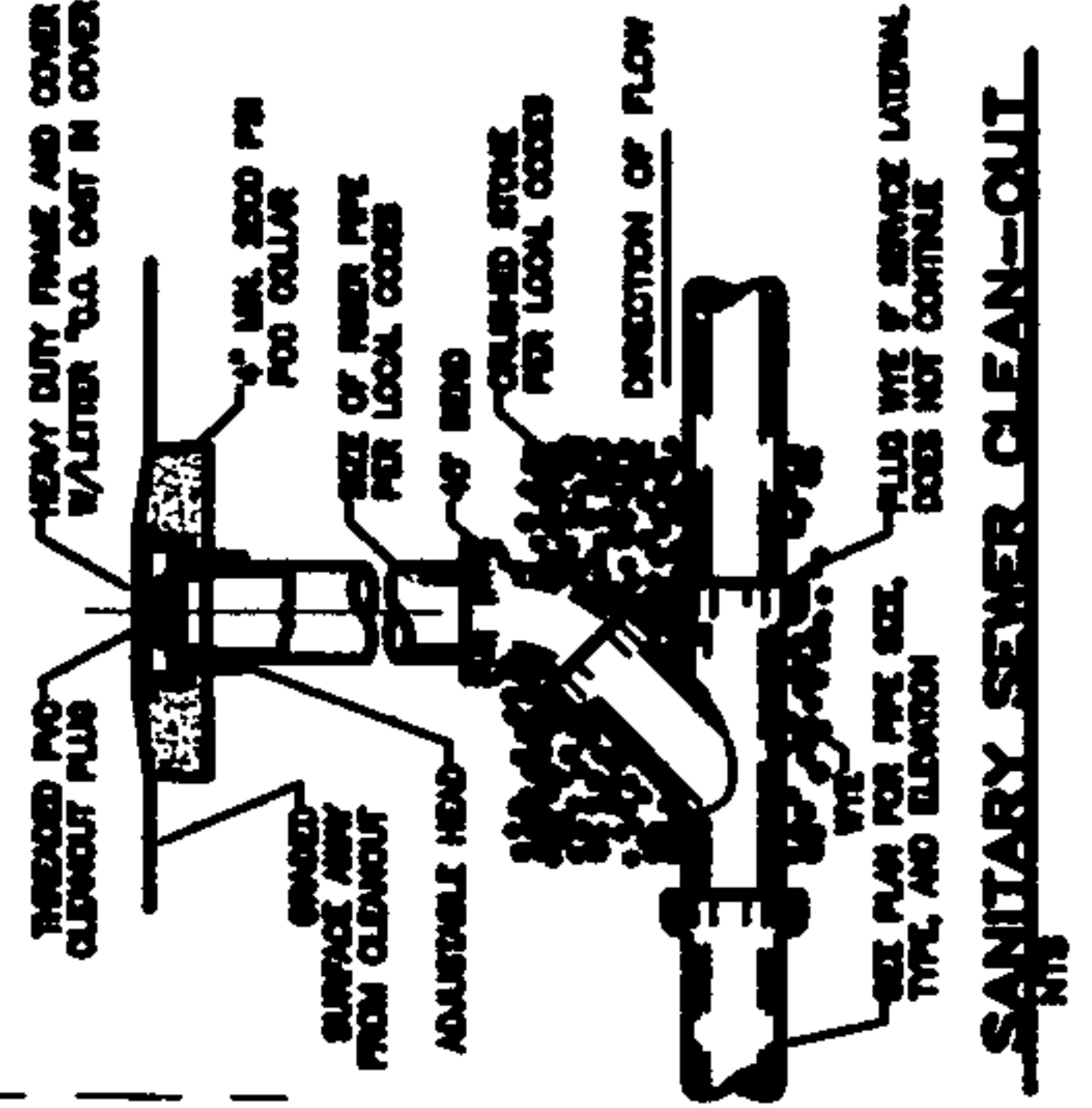
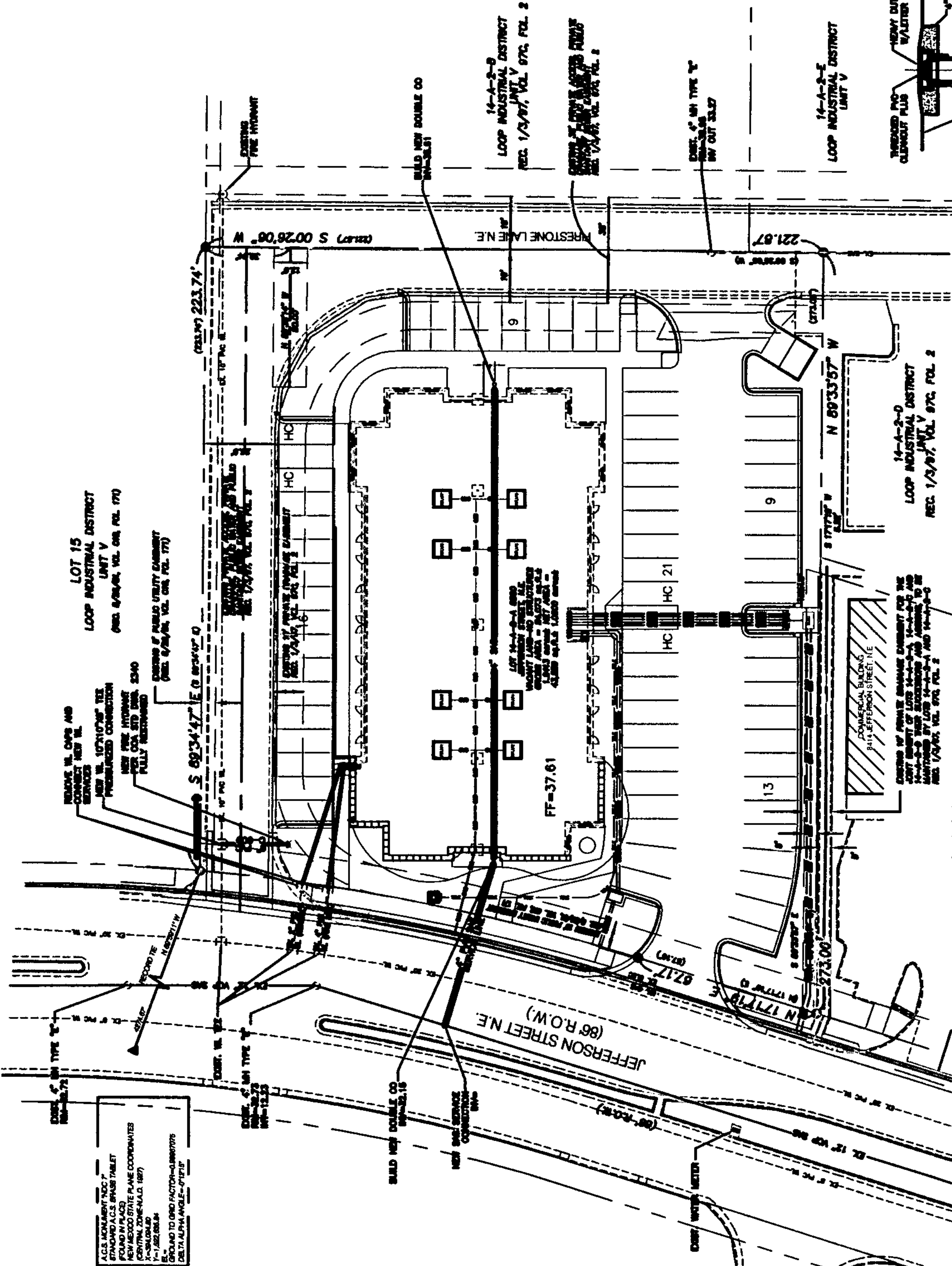
JEFFERSON STREET N.E.
 (86' R.O.W.)

14-A-3-C
 LOOP INDUSTRIAL DISTRICT
 UNIT V
 REG. 1/13/97, VOL. 070, PCL. 2

14-A-2-D
 LOOP INDUSTRIAL DISTRICT
 UNIT V
 REG. 1/13/97, VOL. 070, PCL. 2

14-A-2-B
 LOOP INDUSTRIAL DISTRICT
 UNIT V
 REG. 1/13/97, VOL. 070, PCL. 2

14-A-2-E
 LOOP INDUSTRIAL DISTRICT
 UNIT V



GENERAL NOTES:

1. ALL 6" SANITARY SEWER PIPE TO BE 600-SL.
2. ALL 6" AND 8" WASTEWATER PIPE TO BE 600-SL.
3. ALL SANITARY SEWER SERVICE PIPE TO BE 6" PVC.
4. ALL WASTEWATER SERVICE PIPE TO BE 4" PVC.
5. 6" INHUBBLE BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
6. REFER TO ARCHITECTURAL PLANS FOR WATER LINE MAIN LOCATIONS.
7. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE SCHEDULE 80.
8. ALL BLOCKS IS PER CITY OF ALBUQUERQUE STANDARD DETAIL 8804.
9. ALL PIPE MATERIALS TO BE USED PER UPC.

NOTICE TO CONTRACTORS:

1. AN ENGINEERING CONSULTATION SHALL BE REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF THESE PLANS AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PERMITTING REGULATIONS AND ORDINANCES OF THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.

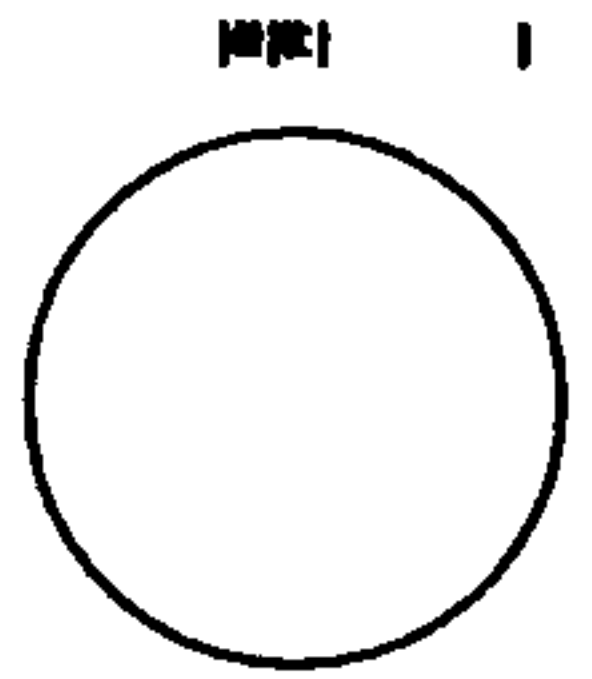
THESE PLANS AND SPECIFICATIONS ARE ASSIGNED TO THE CONTRACTOR BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.

LEGEND:

EXISTING	--- o ---
EXISTING	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---
PROPOSED	--- o ---
PROPOSED	--- x ---

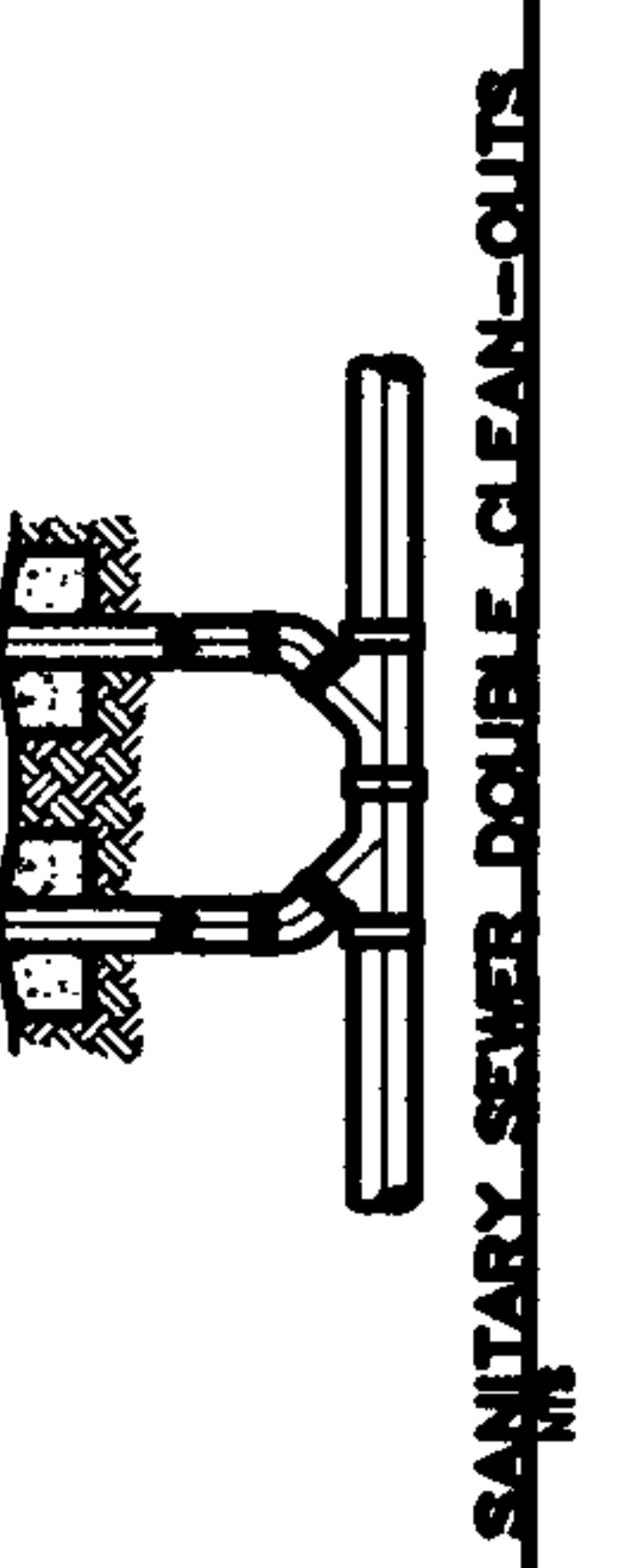
INSITE WORKS:

THIS WORK IS TO BE DONE BY THE CONTRACTOR.



MASTER UTILITY PLAN

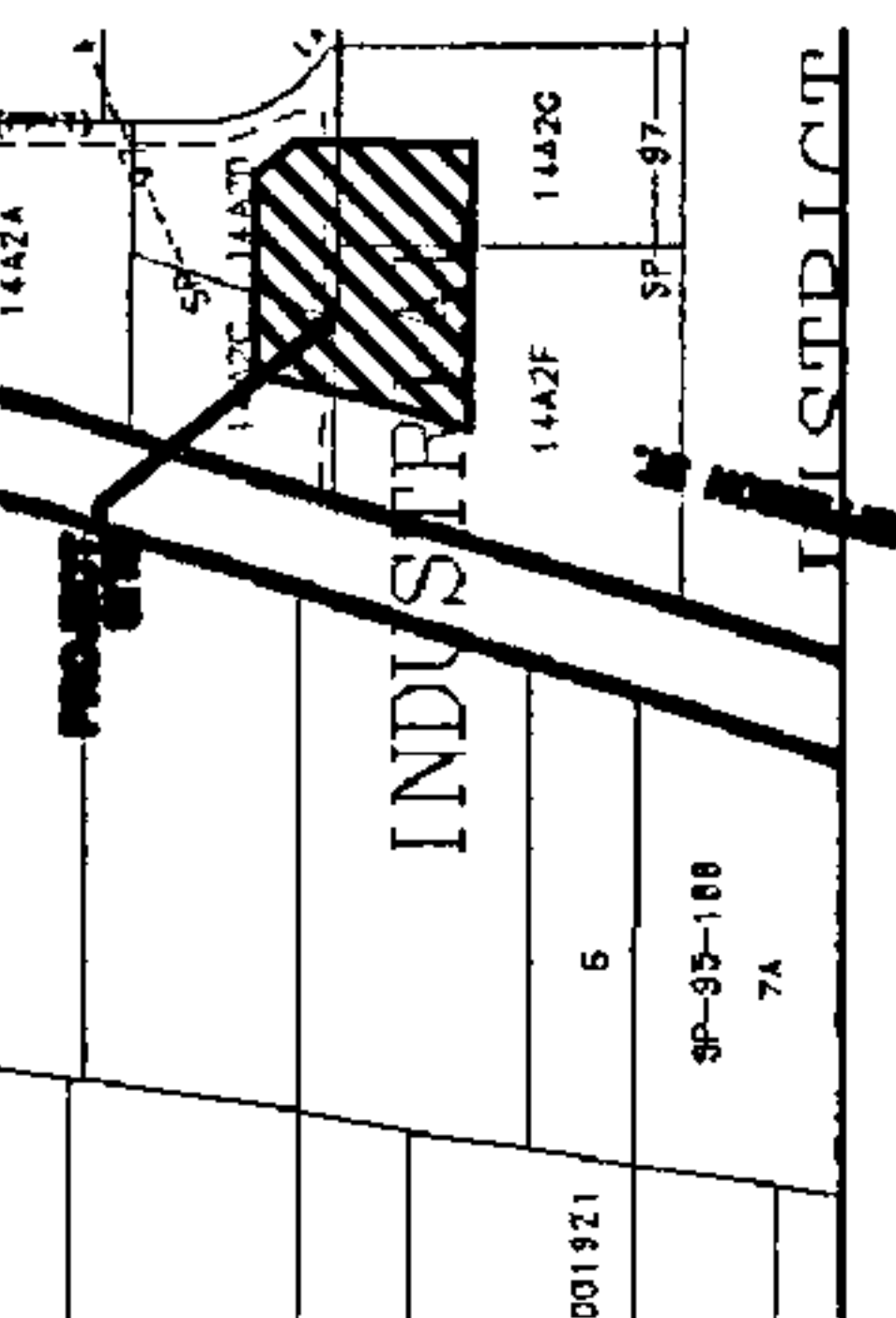
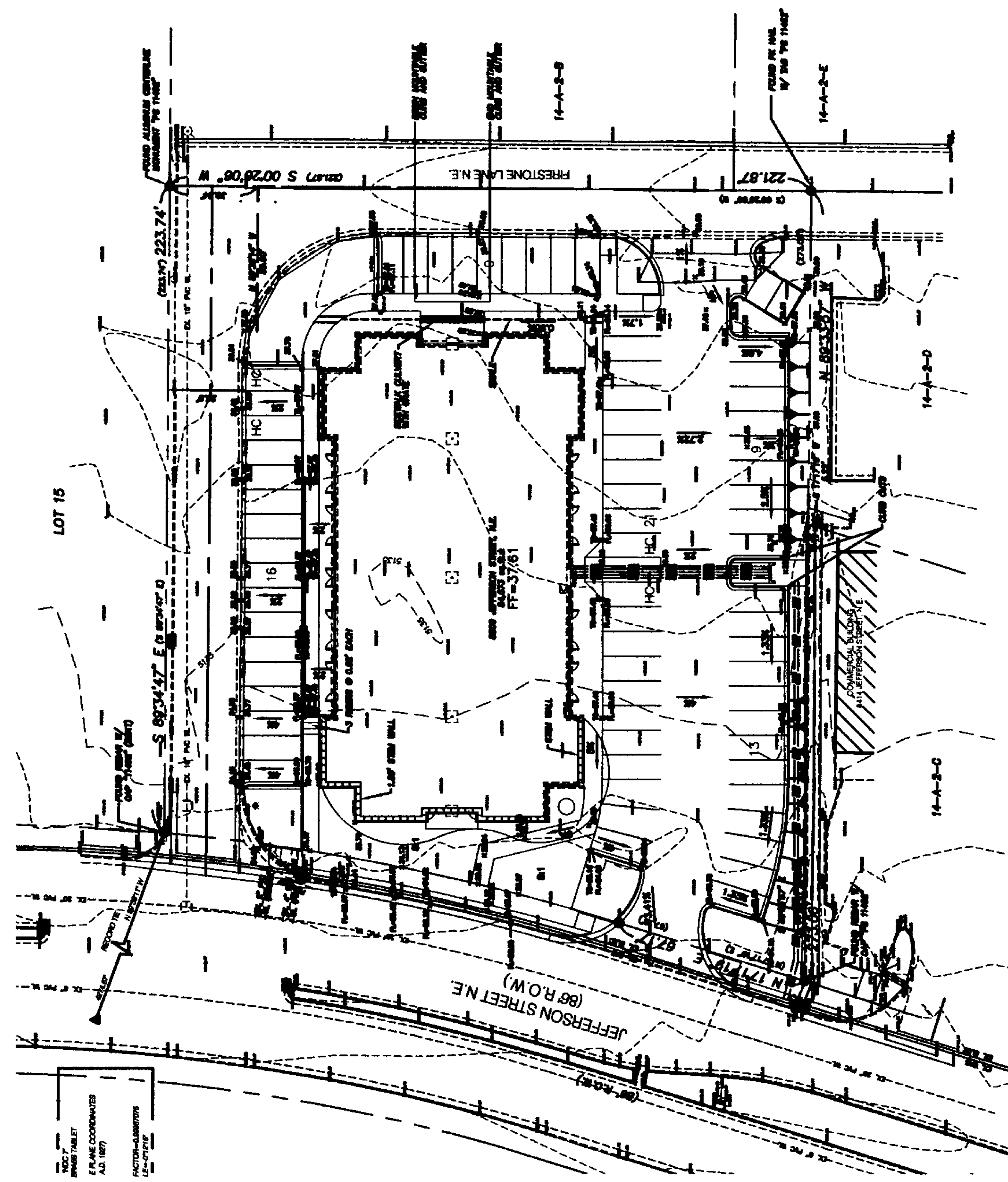
TIERRA WEST, LLC
 1400 13TH AVE S.W.
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 263-4000



SANITARY SEWER DOUBLE CLEAN-OUTS

NOD 7
SPRING TABLET
E PLANE COORDINATES
A.L. 1867

FACTORS-A-DIMENSIONS
L=1/8"=1'-0"
E=1/8"=1'-0"



NOTES

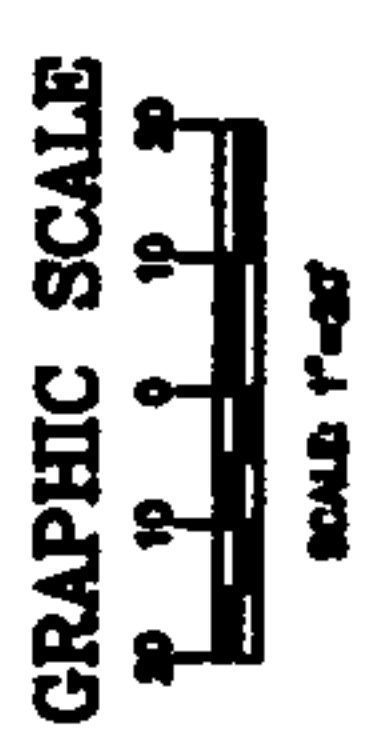
1. ALL SPOT ELEVATIONS REPRESENT FINISHLINE ELEVATION UNLESS NOTED.

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB
- BOUNDARY LINE
- PROPOSED RETAINING WALL
- PROPOSED STEM WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOOR FINISH
- SLOPE 1% (INDICATED)
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- X DIMENSIONS
- DIMENSIONS

GENERAL NOTES

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- CONCRETE SHALL BE PLACED WITHIN 10 MINUTES OF THE TIME IT IS MIXED AND SHALL BE CONSOLIDATED WITH VIBRATORS TO BE USED AT 12" MAXIMUM INTERVALS TO BE 4" MAX.
- REINFORCING BARS SHALL BE WELDED TOGETHER AND LAP JOINTS SHALL BE IN THE MIDDLE OF THE SPAN.
- ALL WALLS ARE TO BE FINISHED WITH GYP-SOAK.
- ALL WALLS ARE TO BE FINISHED WITH GYP-SOAK.
- ALL WALLS ARE TO BE FINISHED WITH GYP-SOAK.
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- ALL WALLS ARE TO BE FINISHED WITH GYP-SOAK.
- ALL WALLS ARE TO BE FINISHED WITH GYP-SOAK.



GRADING PLAN

TERRA WEST, LLC
5400 WEST 14TH AVENUE, SUITE 100
DENVER, CO 80202-2100
TEL: 303.755.7115
WWW.TERRAWEST.COM

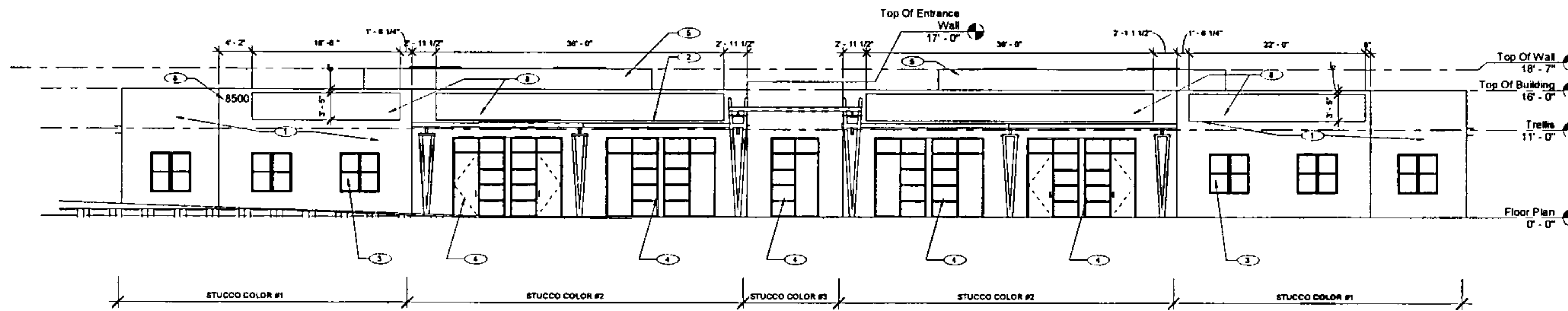
- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPICAL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING DRAINAGE SYSTEMS.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

INSITE WORKS

THE DRAWING IS THE PROPERTY OF TERRA WEST, LLC. IT IS NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF TERRA WEST, LLC.

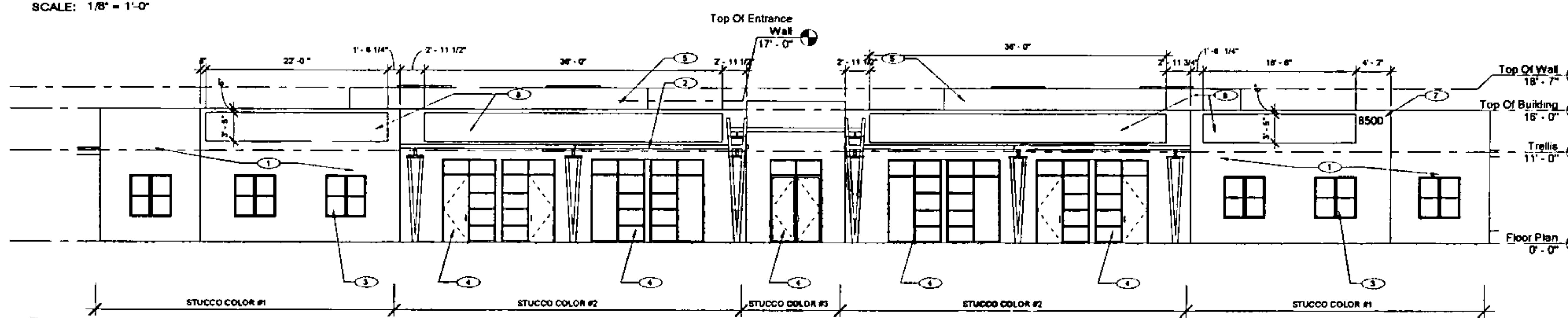
Lot
Loop In

8500 J



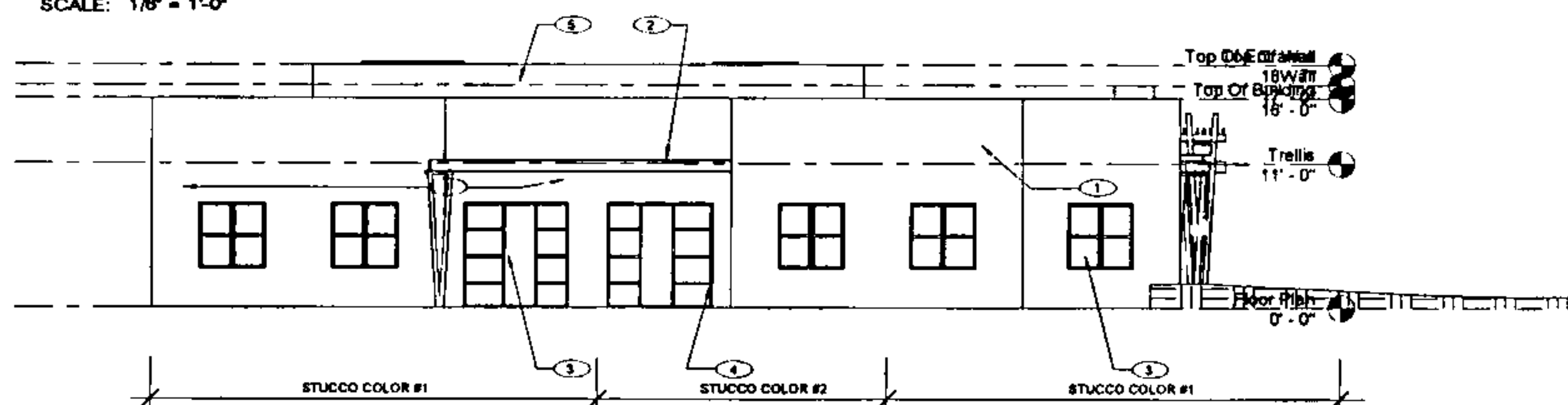
North Elevation

SCALE: 1/8" = 1'-0"



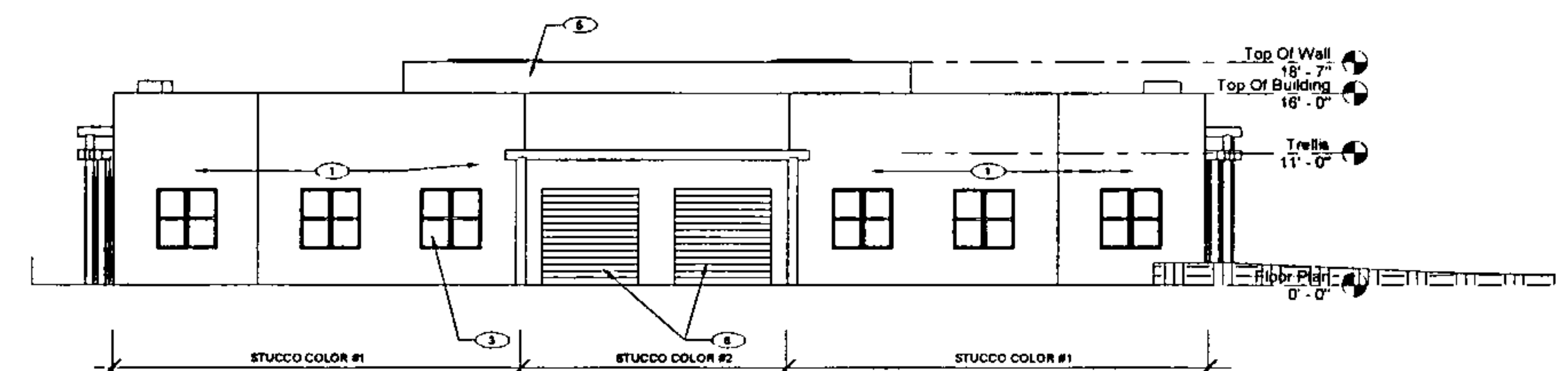
South Elevation

SCALE: 1/8" = 1'-0"



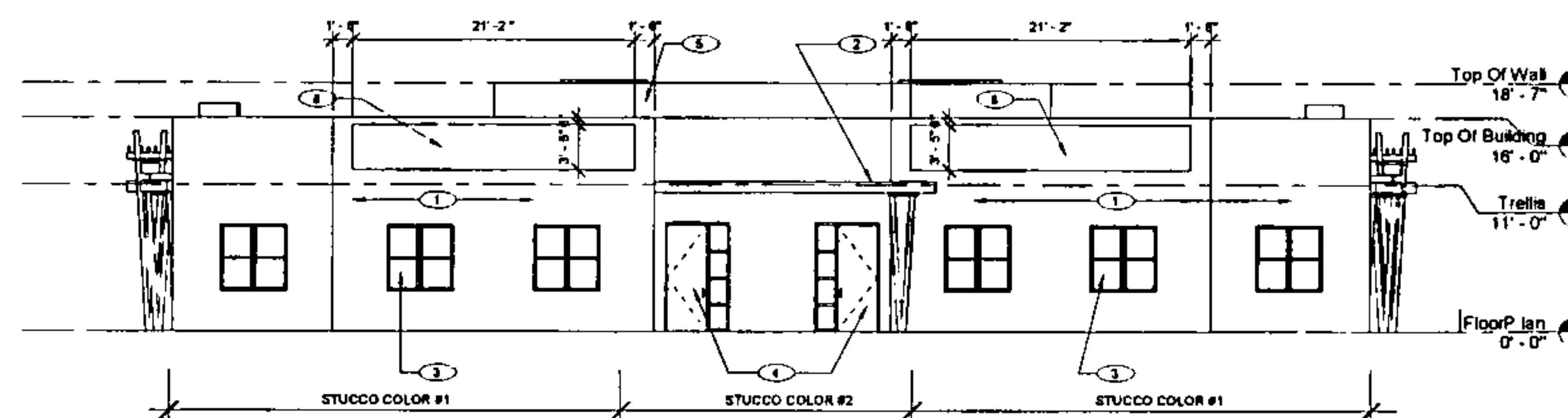
East Elevation (With Storefront)

SCALE: 1/8" = 1'-0"



East Elevation (With Overhead Doors)

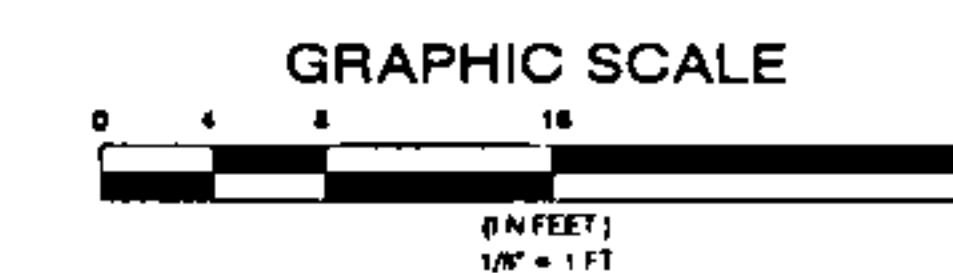
SCALE: 1/8" = 1'-0"



West Elevation

SCALE: 1/8" = 1'-0"

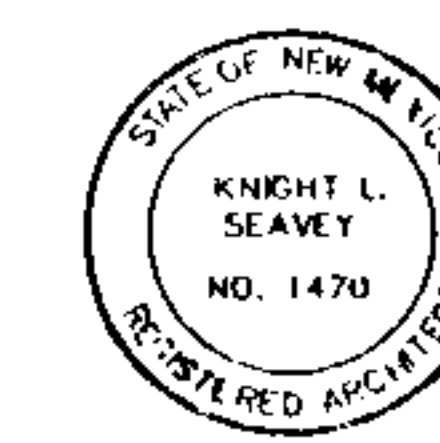
- KEYNOTE**
- (1) EXTERIOR WALL ASSEMBLY:
ELASTOMERIC STUCCO FINISH ON (2) COAT CEMENTITIOUS STUCCO ON 1/2" GAL LATH ON 2X8 BUILDING FELT ON 5/8" DYP 2 HEATHING ON 4" MFL STUGS @24" O.C. W/ 1" (R-18) F 8 ATT INSULATION BETWEEN (NO INTERIOR FINISH).
 - (2) TRELLIS ASSEMBLY:
4" DIA PIPE COLUMN CLUSTER WITH 2 1/2" X 2 1/2" X 1/4" STEEL ANGLE COLLARS SUPPORTING 4X10 TUBE STEEL BEAMS SUPPORTING 2X8 TUBE STEEL LATTICE. PRIME AND PAINT BUILDING ACCENT COLOR.
 - (3) EAGLE P OZZI OR PELLA ALUMINUM CLAD DOUBLE HUNG WOOD WINDOW UNIT W/ LOW-E GLASS. COLOR: CLEAR ANODIZED.
 - (4) ALUMINUM STOREFRONT WINDOW ASSEMBLY W/ 1" CLEAR INSULATED GLAZING (EXCEPT UNIT 'D' SHALL HAVE FROSTED GLAZING) COLOR: CLEAR ANODIZED.
 - (5) MECHANICAL SCREEN ASSEMBLY: 1/8 GA. CORRUGATED WEATHERING STEEL PANELS (ORIENTED VERTICALLY), SCREWED TO (3) EQUALLY SPACED HORIZONTAL 2X2 TUBE STEEL RAILS WELDED TO 4X4 TUBE STEEL POSTS WELDED TO ROOF STRUCTURE. COLOR: NATURAL RUST.
 - (6) OVERHEAD DOORS (ALTERNATE): BUILDING ACCENT COLOR.
 - (7) BUILDING ADDRESS SIGNAGE - INDIVIDUALLY RAISED 12H HIGH LETTERS
 - (8) POTENTIAL TENANT SIGNAGE LOCATION - ACTUAL SIGNAGE TO BE DETERMINED AT TIME OF TENANT IMPROVEMENT



INSITE WORKS ARCHITECTURE
SITE DESIGN DEVELOPMENT

57 Rock Point Plaza NE
Albuquerque, NM 87122
505 838 0900
www.insiteworks.com
knight@insiteworks.com
jud@insiteworks.com

JLM Investments
8500 Jefferson St. N.E.
Albuquerque, N.M.



Creation Date | Issue Date
Date Stamp | 7/12/2005 10:26:21 AM
Drawn by | Author
Checked by | Checker
File Path | C:\Documents and Settings\LESeavey\Documents\A2.0DRB\Design\insiteworks\Medrano\A2.0DRB.rvt

Sheet Title | BUILDING ELEVATIONS
Sheet Number |
A2.0DRB

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: INSTIEWORKS FOR JLM INVESTMENTS DATE OF REQUEST: 7/12/05 ZONE ATLAS PAGE(S): C-17

CURRENT: ZONING SU-2 FOR M-1 PARCEL SIZE (AC/SQ. FT.) 1.24 ACRES (54,073 SF) REQUESTED CITY ACTION(S): ANNEXATION [] SECTOR PLAN [] SITE DEVELOPMENT PLAN: A) SUBDIVISION [] BUILDING PERMIT [X] B) BUILD'G PURPOSES [] ACCESS PERMIT [] C) AMENDMENT [] OTHER []

LEGAL DESCRIPTION: LOT OR TRACT # 14-A-2-A UNIT 5 BLOCK # 5 SUBDIVISION NAME LOOP INDUSTRIAL DISTRICT

PROPOSED DEVELOPMENT: NO CONSTRUCTION/DEVELOPMENT [] NEW CONSTRUCTION [X] EXPANSION OF EXISTING DEVELOPMENT [] GENERAL DESCRIPTION OF ACTION: # OF UNITS: 1 BUILDING SIZE: 13,704 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE _____ DATE _____ (TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER)

Planning Department, Development & Building Services Division, Transportation Development Section - 2nd Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [] BORDERLINE []

THRESHOLDS MET? YES [] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [] Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

TRAFFIC ENGINEER _____ DATE _____

Environmental Health Department Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted - regardless of the project size, location or traffic generated."

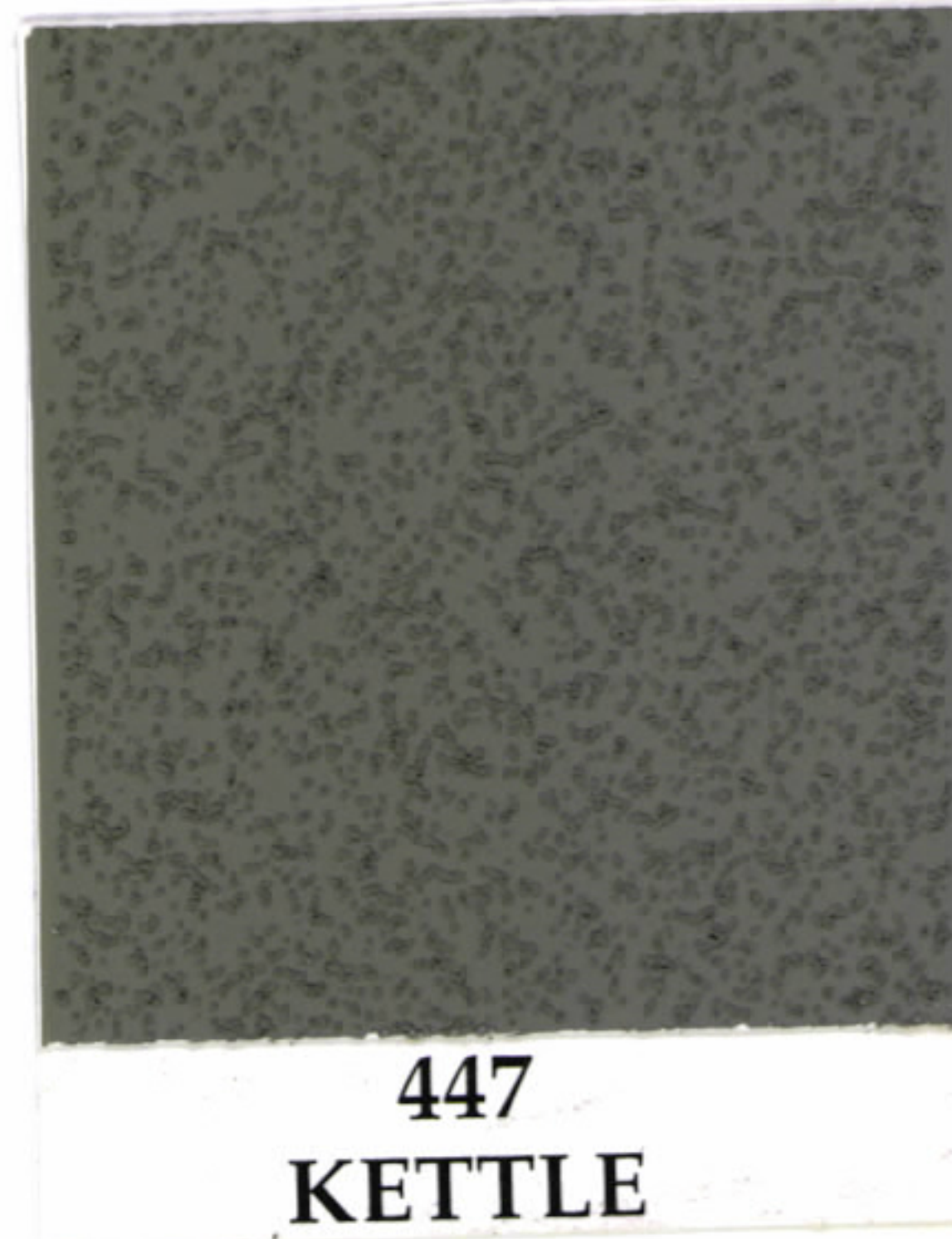
Required TIS must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED -FINALIZED TRAFFIC ENGINEER DATE

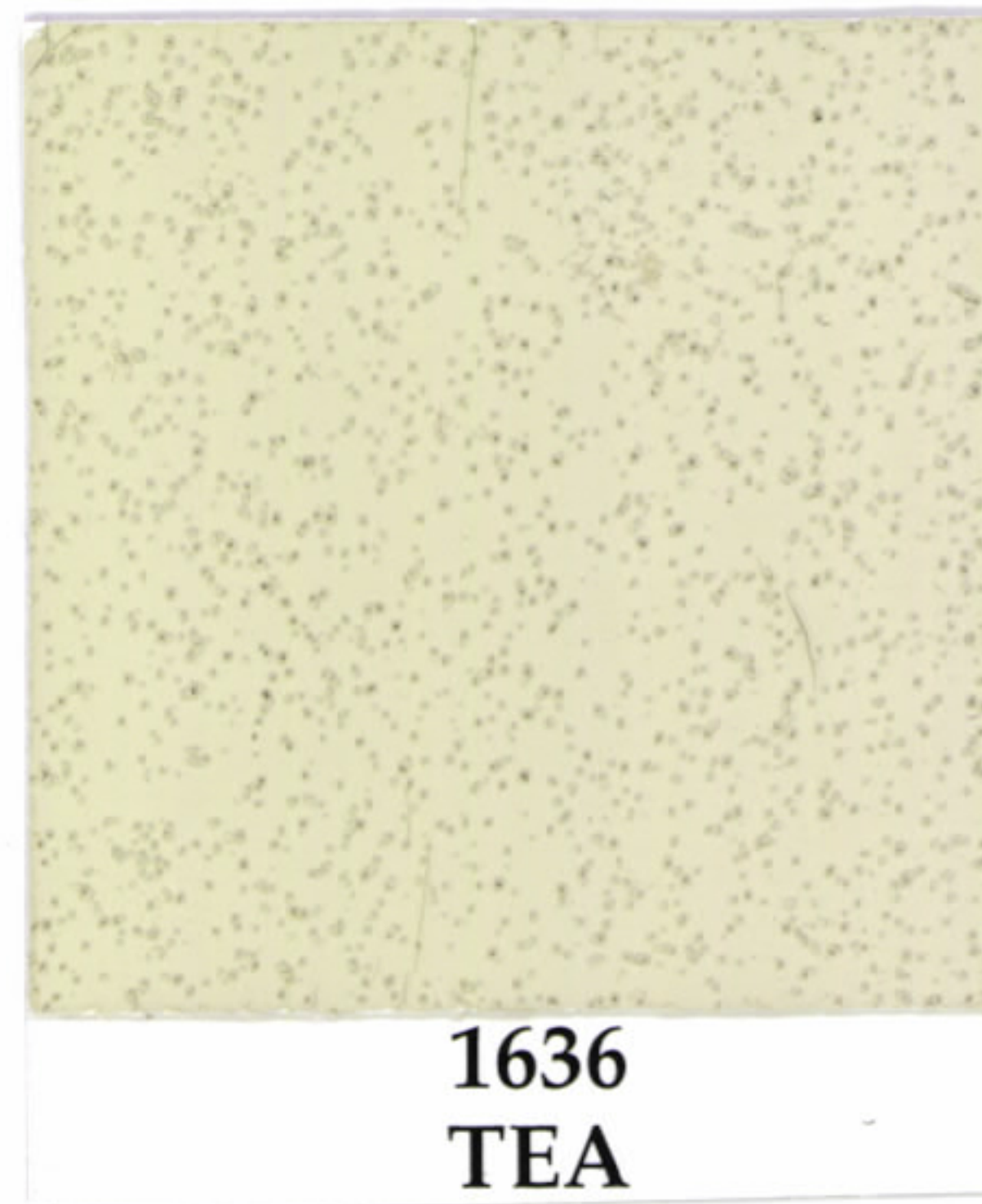
JLM INVESTMENTS – 8500 JEFFERSON NE
FINISH PALETTE

STUCCO COLORS

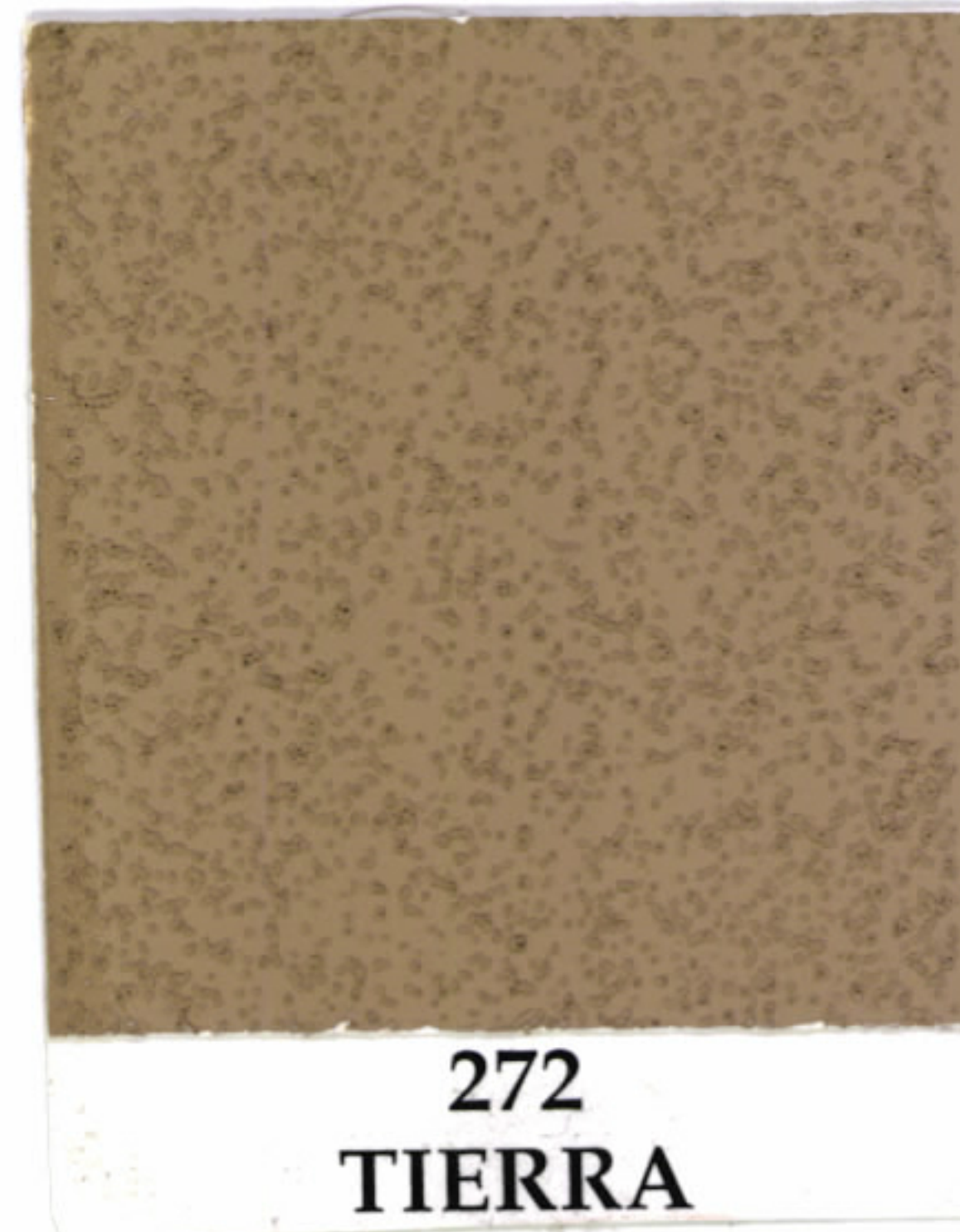
STUCCO COLOR #1: EL REY 447 KETTLE



STUCCO COLOR #2: EL REY 1636 TEA



STUCCO COLOR #: EL REY 272 TIERRA



BUILDING ACCENT PAINT COLOR: BENJAMIN MOORE 2090-30 "TERRA COTTA TILE"



**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME JLM Investments
 AGENT Insite works
 ADDRESS 57 Rock Point Pl. NE Alb. Nm 87122
 PROJECT & APP # 1A A 2-A Loop Industrial District
 PROJECT NAME JLM Investments

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
 \$ 385.⁰⁰ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.⁰⁰ TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

INSITEWORKS, P.C. 03-86
 57 ROCK POINT NE
 ALBUQUERQUE, NM 87122
 PH (505) 858-0100

NEW MEXICO EDUCATORS FCU
 ALBUQUERQUE, NM 87198-8530
 95-8366/3070

16586
 7/11/2005

DUPLICATE
 City Of Albuquerque
 Treasury Division

7/12/2005 11:52AM DOLLARS
 RECEIPT# 00043039 WSH-008 TRANS# 0008
 Account 441032 Fund 0110
 Activity 3424000 TRSCCS
 Trans Amt \$405.00
 J24 Misc \$20.00

City of Albuquerque
 Treasury Division
 P.O. Box 1504
 Albuquerque, NM 87103-1504

JLM Investments

001698611 3070836651 0007942518

MEMO \$405.00 \$20.00 \$425.00

CHANGE \$405.00

INSITEWORKS, P.C. 03-86
 57 ROCK POINT NE
 ALBUQUERQUE, NM 87122
 PH (505) 858-0100

7/12/2005
 RECEIPT# 00030401
 Account 441032
 Activity 4983000
 Trans Amt \$405.00
 J24 Misc \$20.00

City of Albuquerque
 Treasury Division
 P.O. Box 1504
 Albuquerque, NM 87103-1504

JLM Investments

001698611 3070836651

MEMO \$405.00 \$20.00 \$425.00

CHANGE \$405.00

INSITEWORKS, P.C. 03-86
 57 ROCK POINT NE
 ALBUQUERQUE, NM 87122
 PH (505) 858-0100

7/12/2005
 RECEIPT# 00030401
 Account 441032
 Activity 4983000
 Trans Amt \$405.00
 J24 Misc \$20.00

City of Albuquerque
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 Albuquerque, NM 87103-1504

JLM Investments

001698611 3070836651

MEMO \$405.00 \$20.00 \$425.00

CHANGE \$405.00