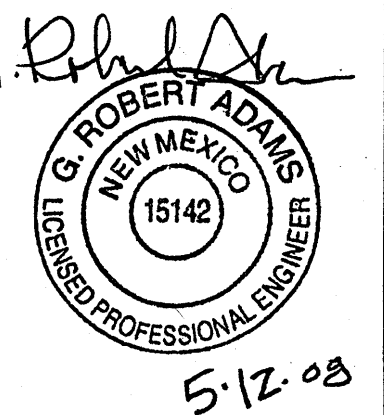


PROJECT # 1004354



McDONALD'S
 SEC OF VOLCANO RD. & 98TH ST. NW
 ALBUQUERQUE, NEW MEXICO

McDONALD'S I.C. 004-0226
 ADAMS ENGINEERING INC. 2006-236

OWNER INFORMATION
McDONALD'S
 511 EAST CARPENTER FREEWAY
 SUITE 376
 IRVING, TX 75206
 (972) 869-5346
 CONTACT: JIMMY LOPEZ

***** GENERAL CONDITIONS *****
 ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE

***** LOOP DETECTORS *****
 CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SDZ FOR DETECTOR LOOP SPECIFICATIONS.

***** STOP! CALL BEFORE YOU DIG! *****

As required by New Mexico One Call System, Contractor must contact "NMOC" (800-324-ALERT (2537)) at least two days prior to any excavation operations being performed. It is the Contractor's responsibility to contact New Mexico One Call System.

BENCHMARK DESCRIPTION
 1. CITY OF ALBUQUERQUE SURVEY CONTROL 1 3/4" METALLIC DISK, STAMPED "ACS BM, 12-K9", EPOXYED TO TOP OF CONCRETE MANHOLE WITH A SLAB TOP INLET, NW QUADRANT OF 98TH ST. AND VOLCANO RD., N.W. ELEVATION = 6217.106 NGVD 1929 2ND-ORDER/1ST CLASS

***** NOTICE TO CONTRACTOR *****

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET T-1 WITH 7" THICK x 13' x 26' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND McDONALD'S.)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING SIGNAGE IN PLACE.
- THE LOCATION OF THE MENU BOARD AND PRE SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ALL UTILITIES, CURBS, PAVEMENT, ETC., TO CONDITIONS EQUAL OR BETTER THAN EXISTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORING ALL MATERIALS ON SITE AND SHALL NOT STAGE OR STORE MATERIALS OFF SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE ELECTRIC COMPANY THE EXACT LOCATIONS OF THE TRANSFORMER.

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

- ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
- EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 60" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.
- ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

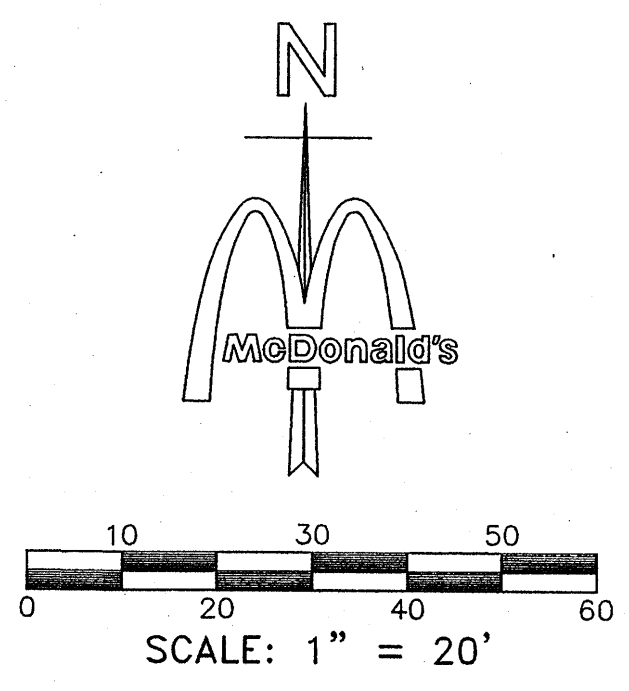
RAMPS:

- RAMPS EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- RAMPS SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE. RAMPS SHALL ALSO CONTAIN EITHER TRUNCATED DOMES OR 3/4" x 3/4" x 3/4" WIDE AND 3/4" - 2" O.G., ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT AND REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
- BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL. MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.
- RETURN-CURB RAMP WITH MAX SLOPE 1:12
- 36" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)
- NEW SIDEWALK (MIN 3') TO PUBLIC WALK (MIN. SLOPE 1:20)
- CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
- LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

***** LOT LIGHTING *****
 CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

SITE INFORMATION

| | |
|------------------------------|-----------------------------|
| TOTAL LAND AREA: | 1,117 A.C. (48,667 SF) |
| CURRENT ZONING: | SUZ-PCA |
| EXISTING USE: | VACANT |
| PROPOSED USE: | RESTAURANT |
| APPROXIMATE BUILDING AREA: | ~5,329 SF |
| BUILDING LOT COVERAGE: | 10.95% (5,329 SF/48,667 SF) |
| BUILDING HEIGHT: | 21'-4" |
| BUILDING REQUIRED PARKING: | 1 PER 3 SEATS |
| PARKING PROVIDED: | 38 |
| PARKING PROVIDED: | 48 |
| HANDICAP PARKING PROVIDED: | 2 |
| MOTORCYCLE PARKING PROVIDED: | 2 |
| HANDICAP PARKING PROVIDED: | 2 |
| PERCENTAGE OF OPEN SPACE: | 18.64% (9,569 SF/48,667 SF) |



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

CONTRACTOR TO VOID STORM PIPING PLAN ON SHEET P1.2 OF ARCHITECTURALS. CITY/STATE DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

CONSTRUCTION SCHEDULE

| MARK | MARK DESCRIPTION |
|------|---|
| 1 | 6"X6" MONOLITHIC CURB (TYP.) PERIMETER OF SITE |
| 2 | 6"X6" VERTICAL CURB WITH GUTTER AT DRIVE-THRU SIDE ONLY |
| 4 | DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) |
| 5 | H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE |
| 6 | PROPOSED CONCRETE WHEEL STOP (5 TOTAL) |
| 7 | PROPOSED STAMPED CONCRETE SIDEWALK |
| 8 | FUTURE CURB |
| 9 | PRE TREAT FOR TERMITE CONTROL |
| 10 | PAVING SYMBOLS |
| 11 | 3-2" PVC ROOF DRAINS FROM D.S. TO OUT FLOW AT CURB/BLDG. |
| 13 | PROPOSED GAS METER LOCATION |
| 14 | PROPOSED 2-INCH WATER METER |
| 16 | LANDSCAPE CONTRACTOR TO FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS |
| 17 | TRANSFORMER LOCATION |
| 19 | PROPOSED HANDICAP ACCESSIBLE ROUTE |
| 20 | LIGHT POLE |

RETAINING / SCREEN WALL NOTE
 Retaining walls and screening walls shown hereon are approximate locations and are shown for graphical representation purposes only. The actual design, location, selection of materials, structural engineering, geotechnical engineering, construction observation, staking, testing and structural or geotechnical review shall be performed by others as selected by the owner and/or developer. ADAMS Engineering shall in no way have any responsibility as it relates to the retaining walls or screening walls associated with this project.

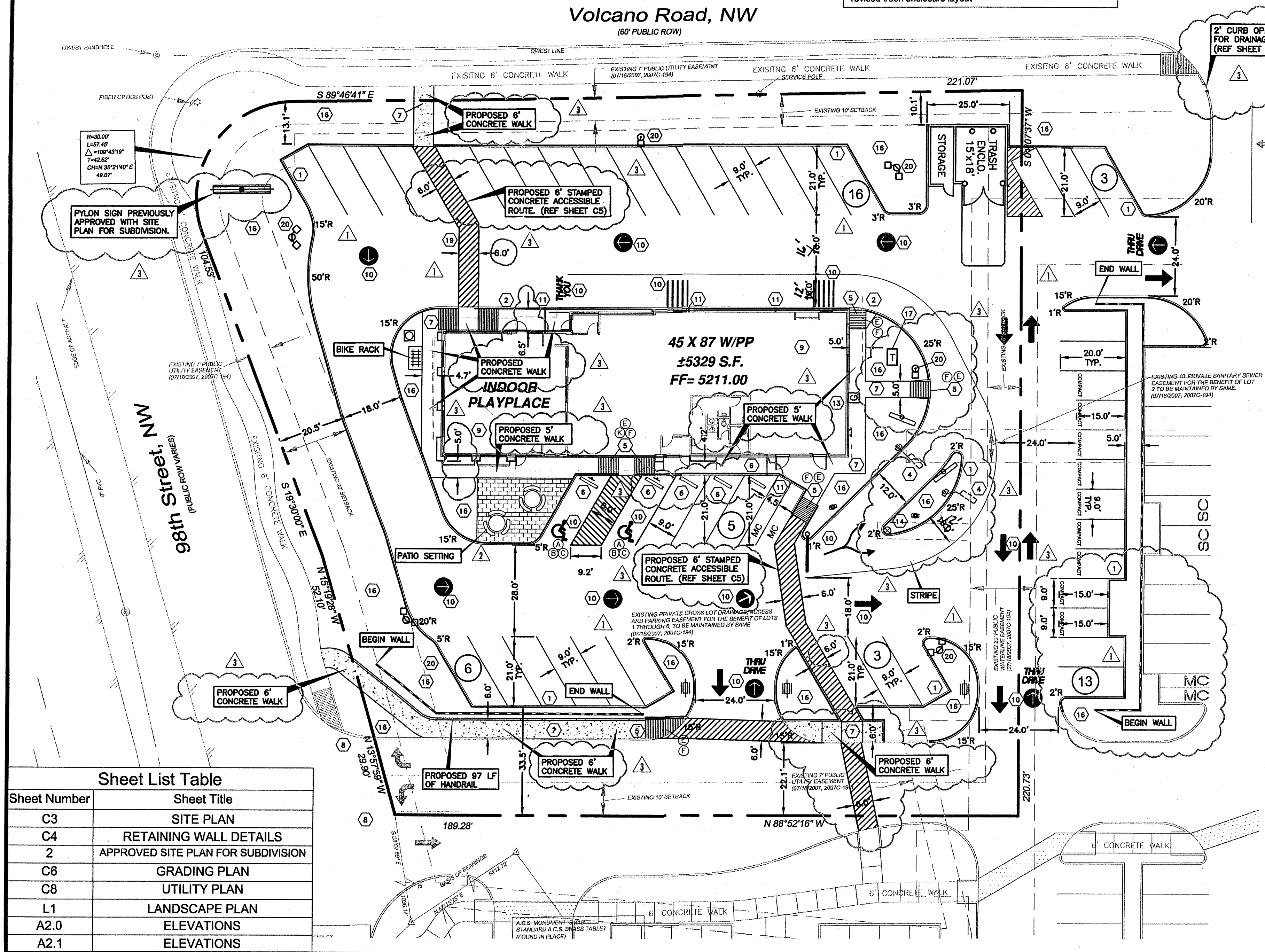
PROJECT NUMBER: 1004354
 APPLICATION NUMBER: 08DRB-700478

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | | | |
|---|--------------------|---------|------|
| Traffic Engineer, Transportation Division | <i>[Signature]</i> | 5-14-08 | Date |
| Water Utility Department | <i>[Signature]</i> | 5-14-08 | Date |
| Parks & Recreation Department | <i>[Signature]</i> | 5-14-08 | Date |
| City Engineer | <i>[Signature]</i> | 5-14-08 | Date |
| Environmental Health Department (conditional) | <i>[Signature]</i> | | Date |
| Solid Waste Management | <i>[Signature]</i> | 5-30-08 | Date |
| DRB Chairperson, Planning Department | <i>[Signature]</i> | | Date |

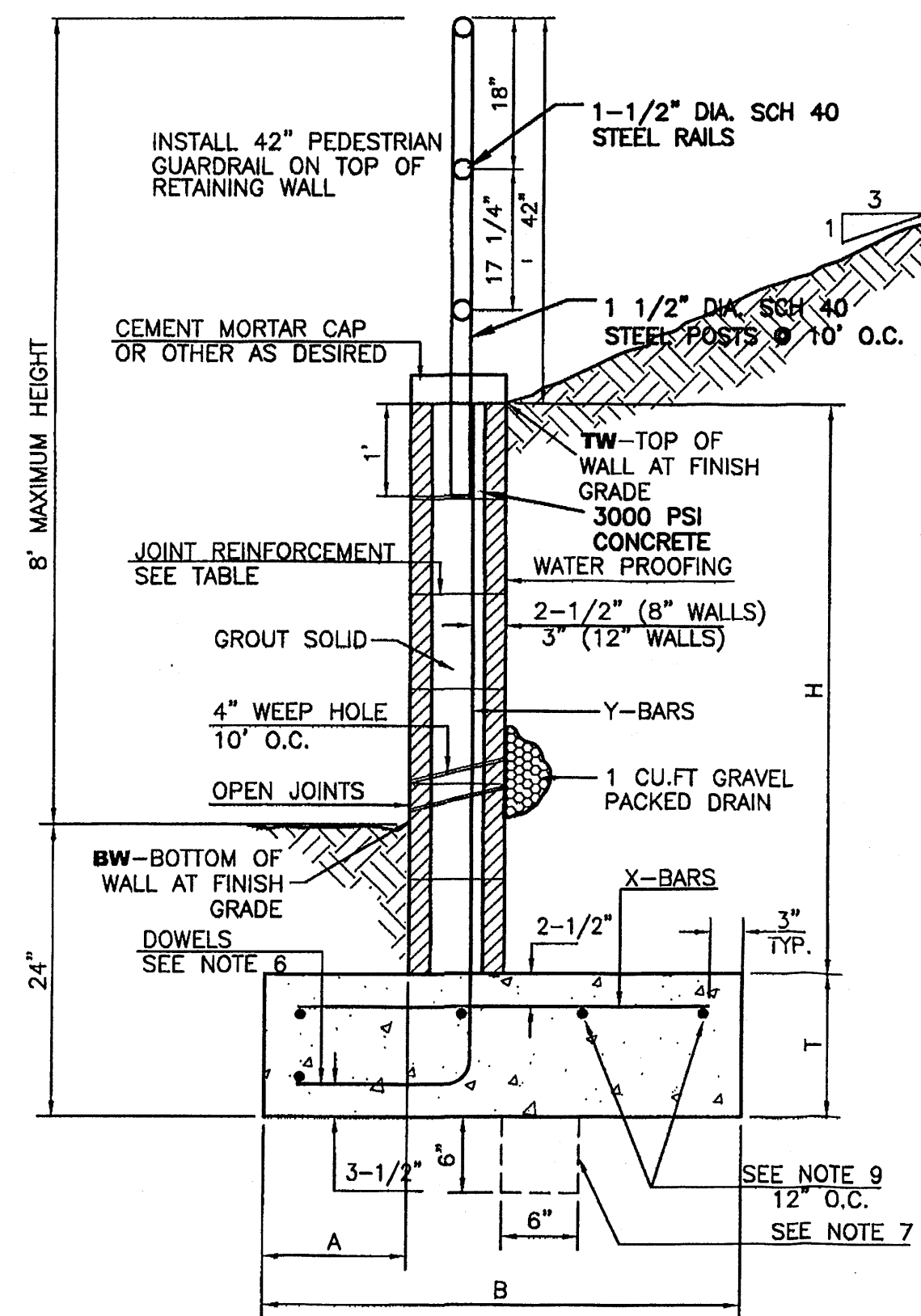
* Environmental Health, if necessary



Sheet List Table

| Sheet Number | Sheet Title |
|--------------|------------------------------------|
| C3 | SITE PLAN |
| C4 | RETAINING WALL DETAILS |
| 2 | APPROVED SITE PLAN FOR SUBDIVISION |
| C6 | GRADING PLAN |
| C8 | UTILITY PLAN |
| L1 | LANDSCAPE PLAN |
| A2.0 | ELEVATIONS |
| A2.1 | ELEVATIONS |

PLOT DATE: Monday, May 12, 2008
 PLOT TIME: 10:45:08 AM
 PLOTTER: HP DesignJet 5000 Series
 FILENAME: SITE PLAN.C3



RETAINING WALL DETAIL
NTS

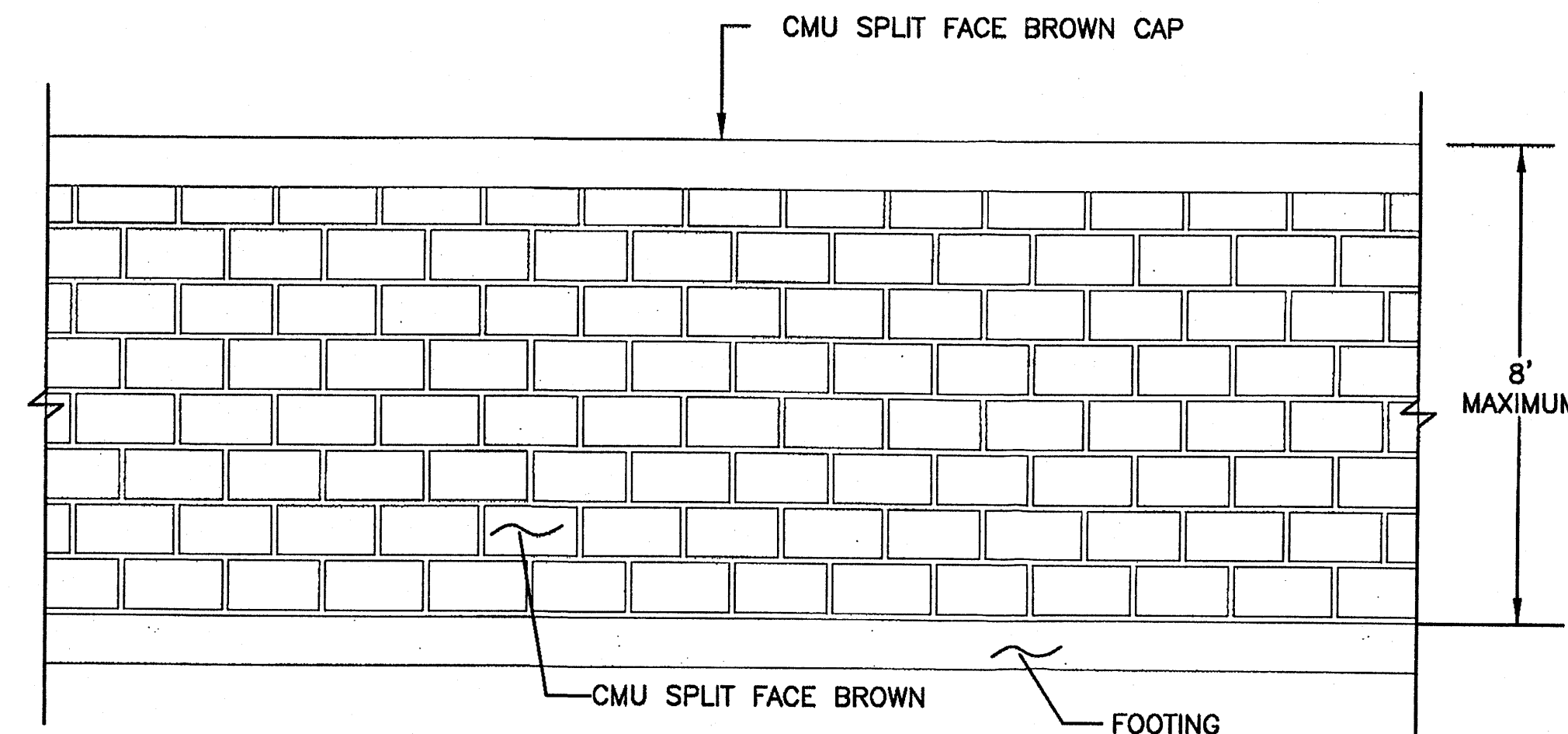
8 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 2'-0" | 8" | 2'-0" | 9" | #4 @32" O.C. | |
| 2'-8" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 3'-4" | 8" | 2'-4" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-0" | 10" | 2'-8" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-8" | 12" | 3'-4" | 10" | #5 @32" O.C. | #4 @32" O.C. |
| 5'-4" | 14" | 3'-10" | 10" | #6 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 16" | 4'-8" | 12" | #6 @8" O.C. | #4 @16" O.C. |

12 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 5'-4" | 14" | 3'-8" | 10" | #6 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @16" O.C. |
| 6'-8" | 16" | 4'-6" | 12" | #6 @24" O.C. | #5 @24" O.C. |
| 7'-4" | 18" | 4'-10" | 12" | #6 @16" O.C. | #5 @16" O.C. |
| 8'-0" | 20" | 5'-4" | 12" | #7 @16" O.C. | #6 @16" O.C. |
| 8'-8" | 20" | 5'-8" | 12" | #7 @16" O.C. | #6 @16" O.C. |

- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL DESIGN BASED ON GRADING PLAN PREPARED BY ADAMS ENGINEERING

RETAINING WALL- ELEVATION

NTS

| | | |
|----------------------------------|--|----------------------|
| | MC DONALD'S 98TH ST AND VOLCANO RD | DRAWN BY EMT |
| | RETAINING WALL DETAIL | DATE 03-20-08 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | 2802-DET |
| RONALD R. BOHANNAN P.E. #7868 | | SHEET # C4 |
| | | JOB # 28002 |

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

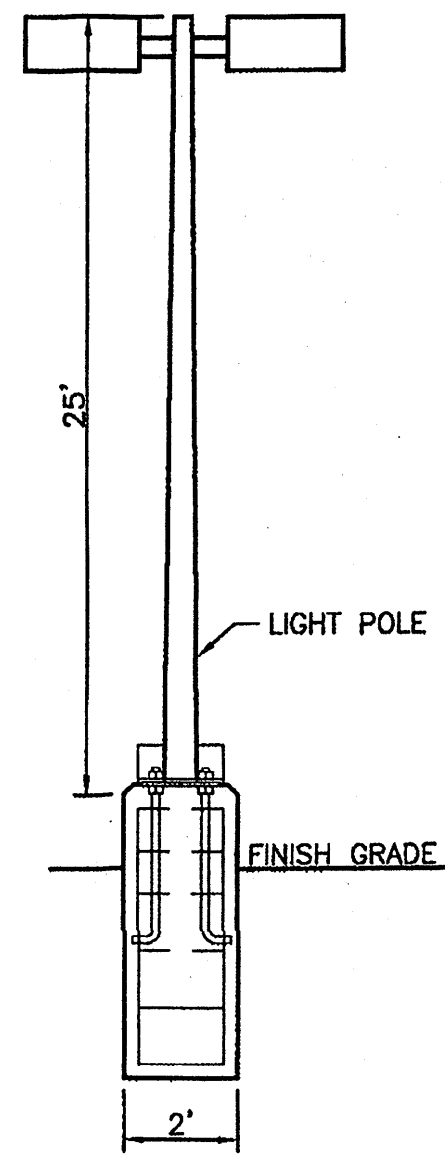
ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

SIGNAGE:

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA. ALL LANDSCAPE AREAS SHALL ACHIEVE 80% LIVE GROUND COVER.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.
12. NO PACKAGE LIQUOR SALES ON THIS SITE

PROJECT NUMBER: _____

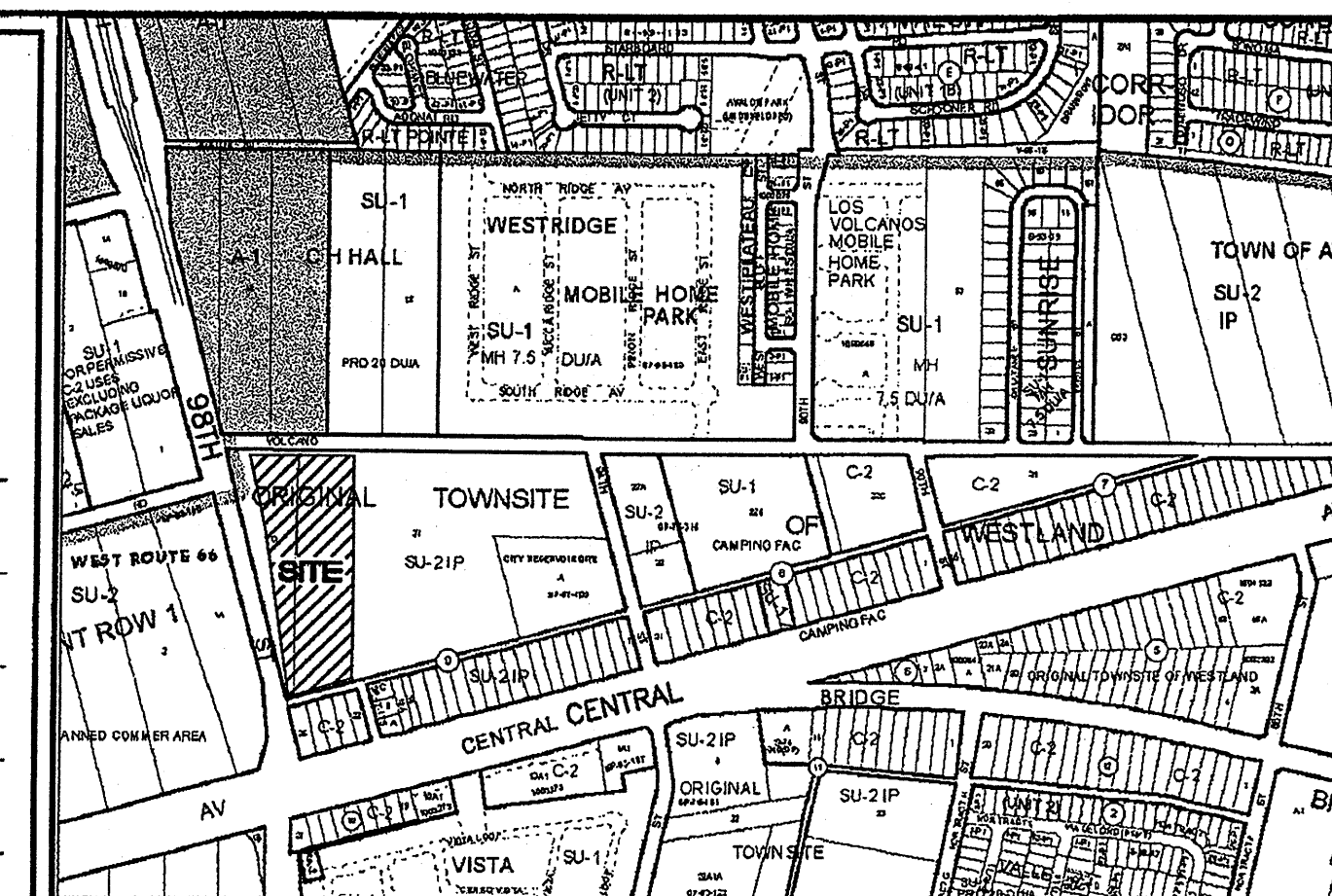
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

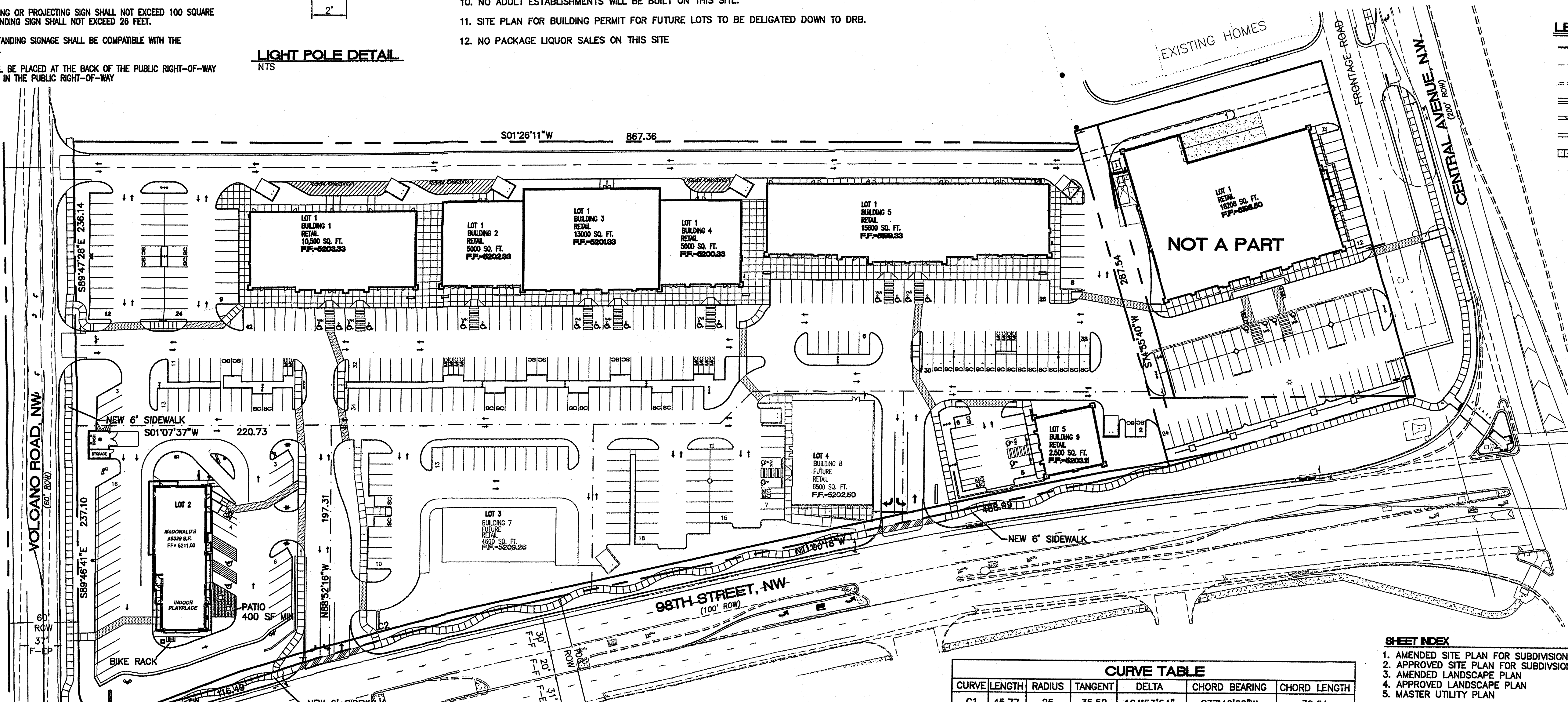
| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |
| * Environmental Health, if necessary | |



VICINITY MAP: _____
LEGAL DESCRIPTION: PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

| | |
|-----------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - - | EASEMENT |
| ===== | EXISTING CURB AND GUTTER |
| ===== | CURB AND GUTTER |
| ===== | SCREEN WALL |
| ===== | RETAINING WALL |
| ===== | PROPOSED SIDEWALK |
| ===== | EXISTING BOUNDARY |
| ===== | CROSSWALK |
| ===== | BIKE RACK |
| ===== | PARKING LOT LIGHTING |



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | EXISTING ZONING | PROPOSED ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|-------------------------|-----------------|-----------------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 IP | PCA | 53 | 23 | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | 1 | 4.794 | 5,000 | RETAIL | SU-2 IP | PCA | 25 | 23 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 IP | PCA | 65 | 23 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | 1 | 4.794 | 5,000 | RETAIL | SU-2 IP | PCA | 25 | 23 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | 1 | 4.794 | 15,800 | RETAIL | SU-2 IP | PCA | 78 | 23 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.147 | 5,329 | RESTAURANT W/DRIVE-THRU | SU-2 IP | PCA | 38 | 23 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 4,600 | RETAIL | SU-2 IP | PCA | 23 | 23 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.790 | 6,500 | RETAIL | SU-2 IP | PCA | 33 | 41 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | PCA | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | | 8.052 | 65,579 | | | | 344 | 385 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | 24 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

- SHEET INDEX**
1. AMENDED SITE PLAN FOR SUBDIVISION
 2. APPROVED SITE PLAN FOR SUBDIVISION
 3. AMENDED LANDSCAPE PLAN
 4. APPROVED LANDSCAPE PLAN
 5. MASTER UTILITY PLAN

| NO. | DATE | REMARKS | BY |
|-----------------|------|--------------|----|
| REVISIONS | | | |
| ENGINEER'S SEAL | | DRAWN BY BJF | |
| DATE | | DATE | |
| 2764-SPSE.DWG | | 4-8-08 | |
| SHEET # | | 1 | |
| JOB # | | 27064 | |

NORTHEAST CORNER OF 98TH AND CENTRAL

AMENDED SITE PLAN FOR SUBDIVISION

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100

RONALD R. BOHANNAN
P.E. #7868

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

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FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

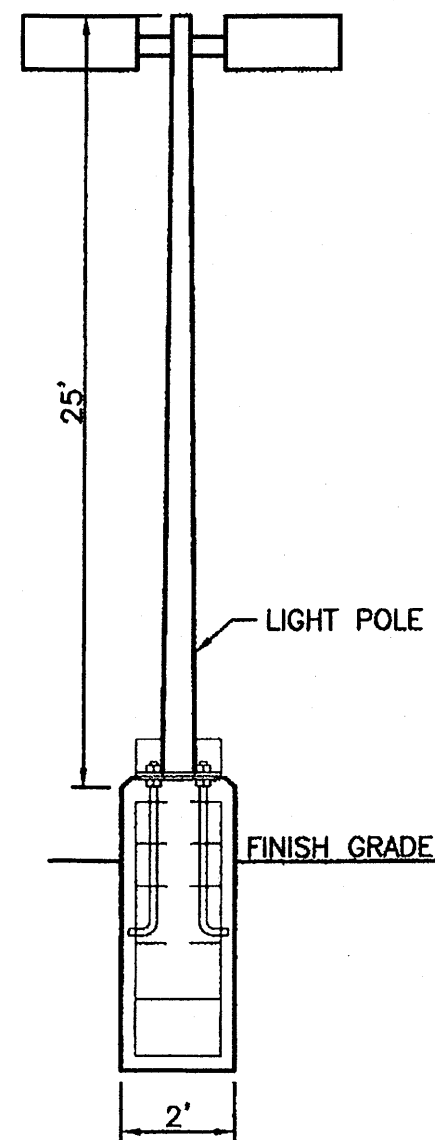
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.

PROJECT NUMBER: 1004354
APPLICATION NUMBER: 02-00053

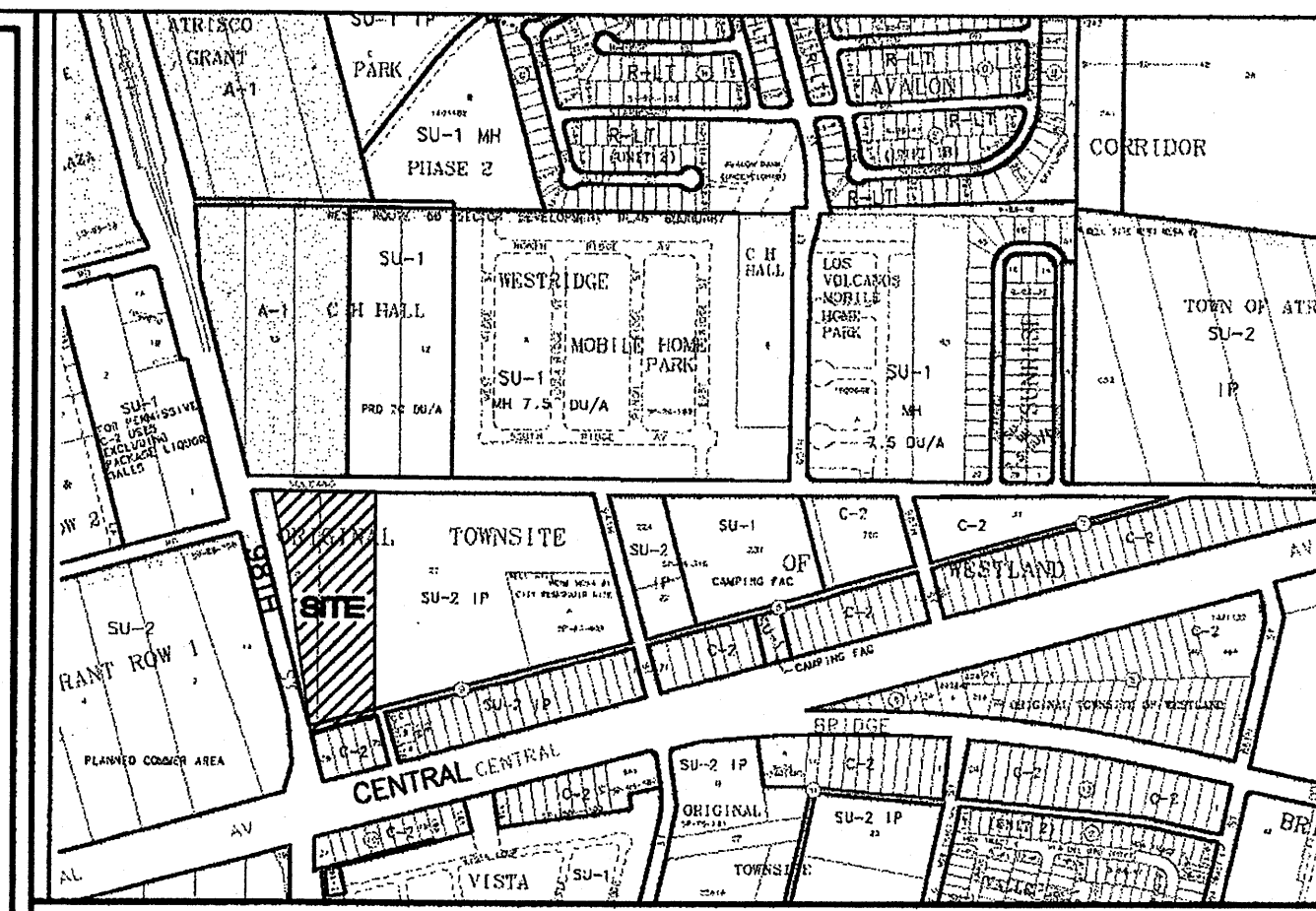
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---|-----------------|
| <i>[Signature]</i> Traffic Engineer, Transportation Division | 2-7-07 Date |
| <i>[Signature]</i> Water Utility Development | 2/7/07 Date |
| <i>[Signature]</i> Parks & Recreation Department | 2/16/07 Date |
| <i>[Signature]</i> City Engineer | 2/7/07 Date |
| <i>[Signature]</i> * Environmental Health Department (conditional) | Date |
| <i>[Signature]</i> Solid Waste Management | 7/5/07 Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | 7/5/07 Date |

* Environmental Health, if necessary

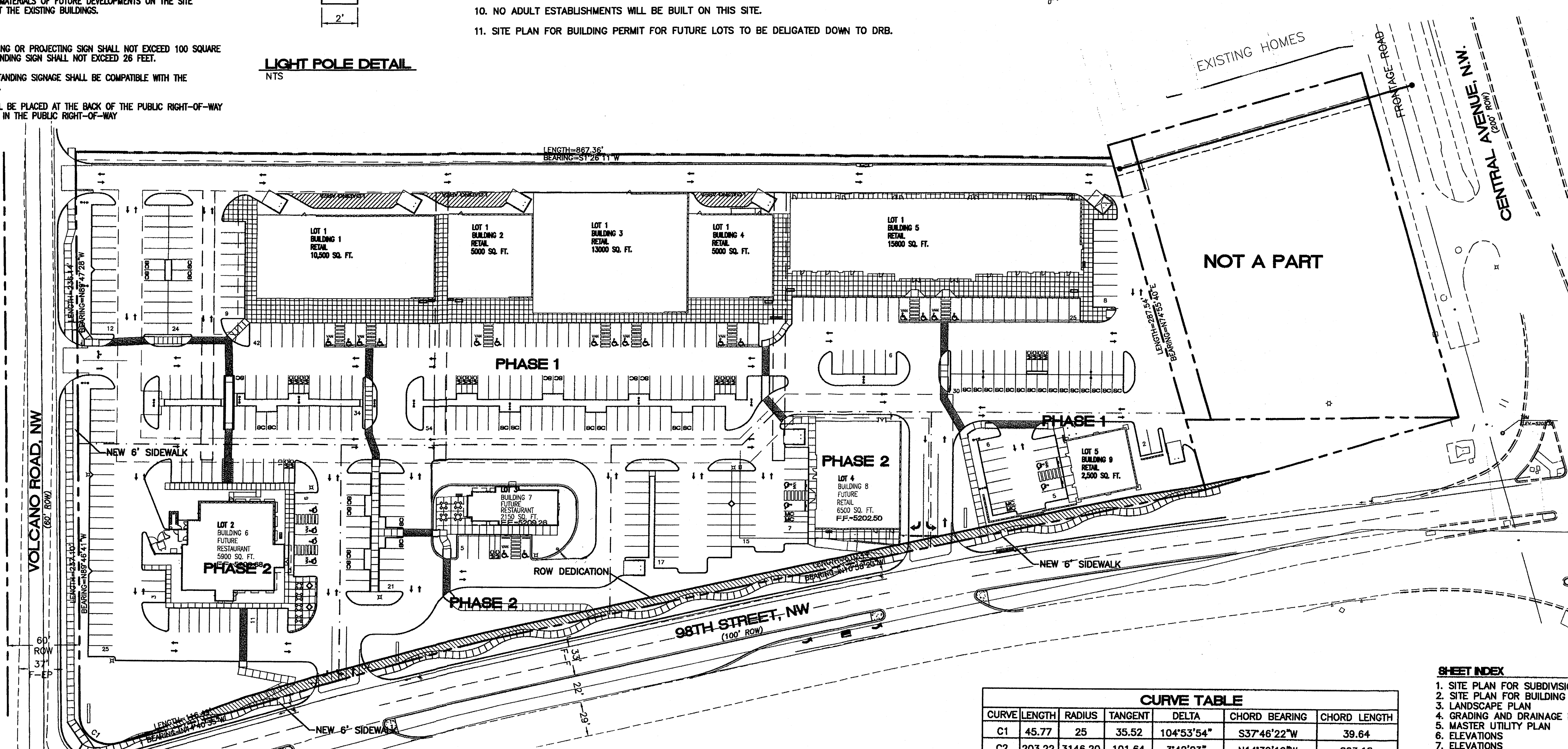


VICINITY MAP: K-9

LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

LEGEND

| | |
|--|--------------------------|
| | BOUNDARY LINE |
| | EASEMENT |
| | EXISTING CURB AND GUTTER |
| | CURB AND GUTTER |
| | SCREEN WALL |
| | RETAINING WALL |
| | PROPOSED SIDEWALK |
| | EXISTING BOUNDARY |
| | CROSSWALK |
| | BIKE RACK |
| | PARKING LOT LIGHTING |
| | ROW DEDICATION |



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

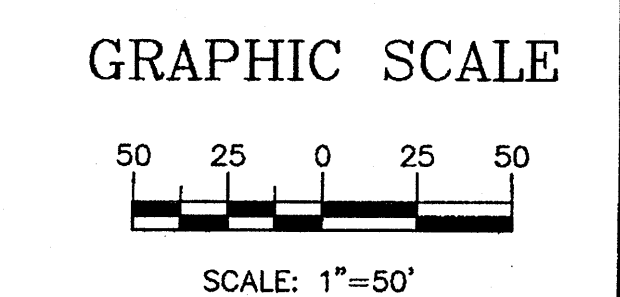
SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. HC REQ. | PRKG. HC PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT | |
|----------|------------|-----------|---------------|--------------|---------|------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|-----|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 IP | 53 | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' | |
| 2 | 1 | 4.794 | 5,000 | RETAIL | SU-2 IP | 25 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' | |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 IP | 65 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' | |
| 4 | 1 | 4.794 | 5,000 | RETAIL | SU-2 IP | 25 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' | |
| 5 | 1 | 4.794 | 15,800 | RETAIL | SU-2 IP | 78 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' | |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT | SU-2 IP | 48 | 50 | 3 | 4 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' | |
| 7 | 3 | 0.870 | 2,150 | RESTAURANT | SU-2 IP | 18 | 21 | 1 | 2 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' | |
| 8 | 4 | 0.791 | 6,500 | RETAIL | SU-2 IP | 33 | 39 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 0.15 | 0.35 | 40' | |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | 6 | 8.051 | 68,550 | | | 358 | 372 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN
4. GRADING AND DRAINAGE PLAN
5. MASTER UTILITY PLAN
6. ELEVATIONS
7. ELEVATIONS
8. ELEVATIONS
9. ELEVATIONS
10. DETAILS

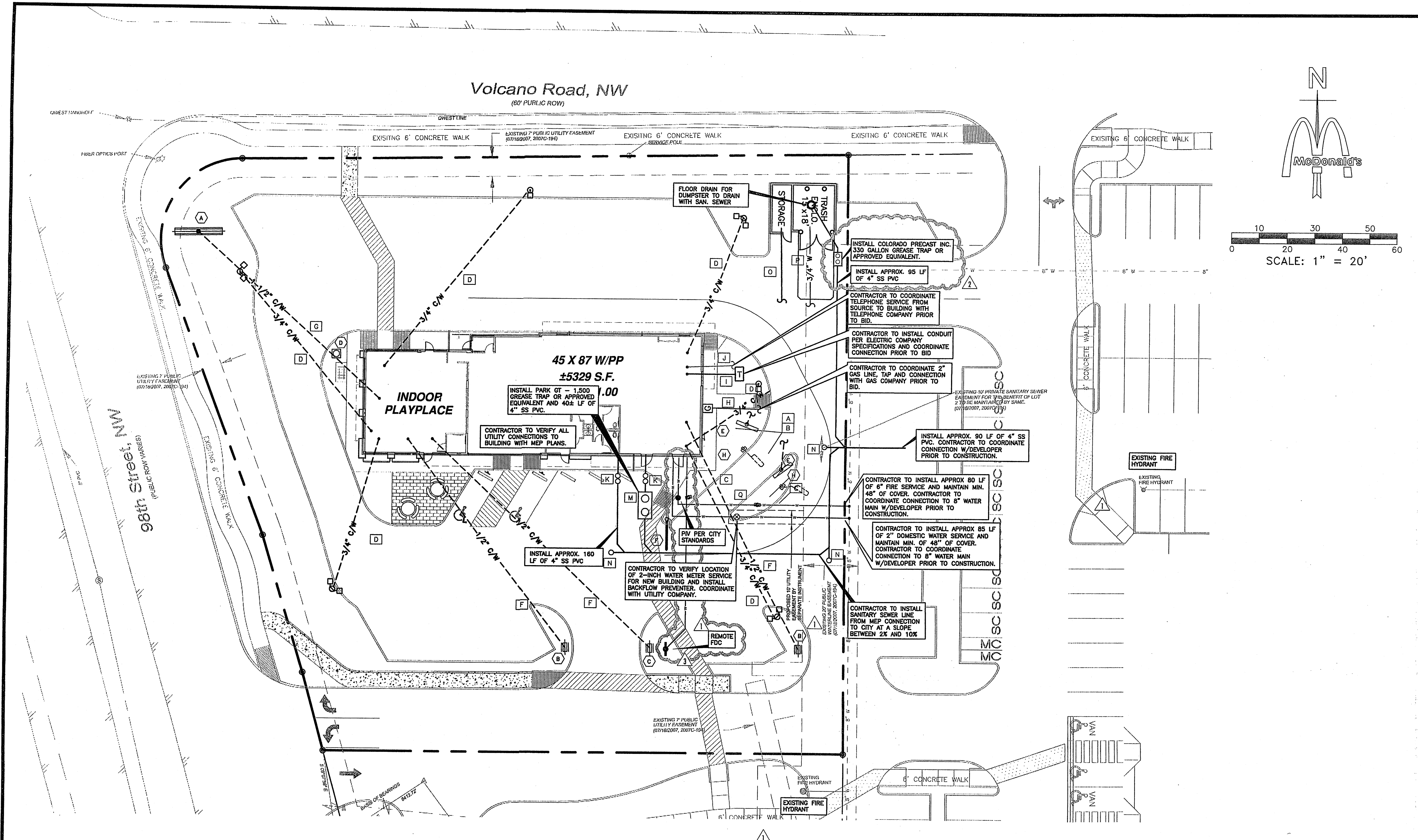


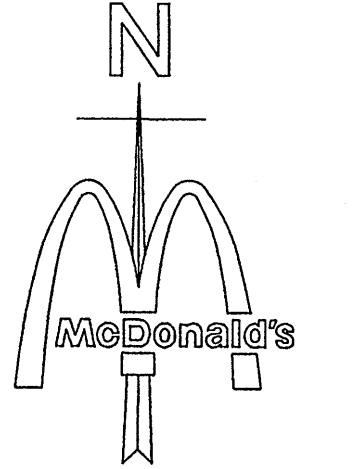
ENGINEER'S SEAL
[Seal]
RONALD R. BOHANNAN
P.E. #7888

NORTHEAST CORNER OF 98TH AND CENTRAL
SITE PLAN FOR SUBDIVISION
TIERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

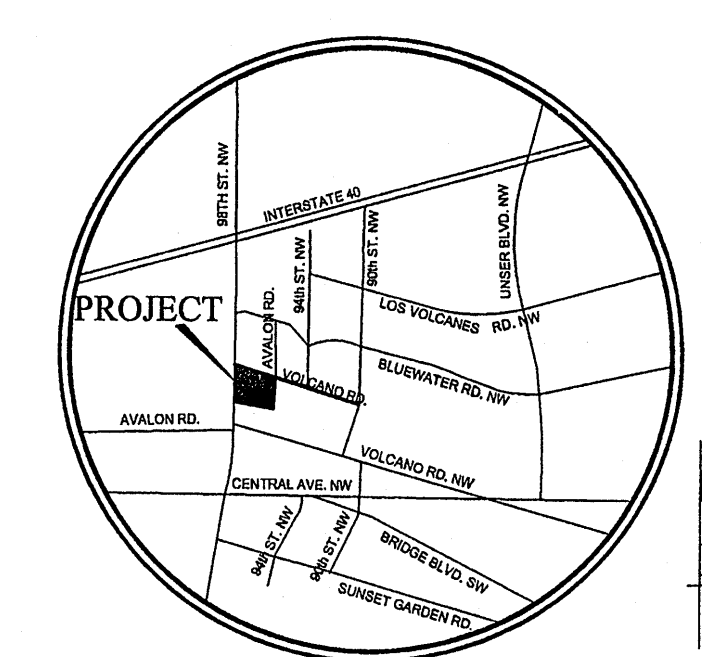
DRAWN BY
EMT
DATE
2-5-07
2566-SPSE.dwg
SHEET #
1
JOB #
25066

FILENAME: UTILITY PLAN.dwg PLOTTED BY: Cameron Bham PLOT DATE: Thursday, May 28, 2009 PLOT TIME: 3:17:33 PM PLOTTER: HP 6000 ANCAD/3d FULL PATH: U:\projects\20090528\20090528.dwg





PROJECT



VICINITY MAP
N.T.S.

SCALE: 1" = 20'

- ### GENERAL NOTES
- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
 - BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
 - FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
 - FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
 - IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
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 - DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
 - ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

| | |
|----------------------|---|
| PAVING SPECIFICATION | VERIFY W/MCDONALD'S: ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/> |
| | CONTRACTOR TO BID: ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/> |

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT SEPTEMBER 2007 PROJECT NO. 107-214

CONCRETE & ASPHALT

- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
- 8" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
- CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

SCAFFRY:

- SCAFFRY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
- THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

- McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

| PLAN APPROVALS | | CO-SIGN SIGNATURES | |
|------------------------|------|--------------------|------|
| SIGNATURE (2 REQUIRED) | DATE | SIGNATURE | DATE |
| | | | |
| REGIONAL MGR. | | CONTRACTOR | |
| CONST. MGR. | | OWNER | |
| OPERATIONS DEPT. | | | |
| REAL ESTATE DEPT. | | | |

| | | | |
|---|---|--------------------|----------|
| SURVEY INFORMATION | | LEGAL DESCRIPTION: | |
| PREPARED BY: PRECISION SURVEYS, INC. | LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO | | |
| SURVEY: 505-556-5700 | DOC. NO. 2007104691 IN PLAT BOOK 2007C, PAGE 194 | | |
| DATE: OCTOBER 09, 2007 | | | |
| PLAN SCALE: 1" = 20' | | | |
| ADDITION | | | |
| STREET ADDRESS | | | |
| SEC OF VOLCANO RD. & 98TH ST. NW | | | |
| CITY | STATE | STATUS | DATE |
| ALBUQUERQUE | NEW MEXICO | | 05/29/08 |
| COUNTY: | SURVEY: | ABSTRACT NO. | |
| BERNALILLO COUNTY | | | |
| L/C NUMBER: | CORPORATE DWG. NAME | | |
| 030-0226 | UTILITY PLAN | | |

| MARK | MARK DESCRIPTION |
|------|--|
| A | 2" CONDUIT TO MENU BOARD FOR CONTROLS |
| B | 1/2" CONDUIT FROM BUILDING ELECTRIC PANEL TO MENU BOARD |
| C | 3/4" CONDUIT W/ LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION |
| D | 3/4" CONDUIT WITH WIRE (SITE LIGHTING) |
| F | 1/2" CONDUIT WITH WIRE (DIRECTIONAL SIGNAGE) |
| G | 1 1/2" EMPTY CONDUIT WITH WIRE (ROAD SIGN) |
| H | 2" GAS LINE-VERIFY IN FIELD SIZE AND TAP LOCATION |
| I | PROPOSED ELECTRIC TRANSFORMER (3) 3" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE. |
| J | UNDERGROUND TELEPHONE SERVICE TO SITE (GENERAL CONTRACTOR TO VERIFY CONNECTION LOCATION) |
| K | TWO-WAY SANITARY SEWER CLEANOUT |
| M | 1,500 GALLON GREASE TRAP PER GOVERNING AUTHORITY SPECIFICATIONS |
| N | SANITARY SEWER CLEANOUT WITH CAST IRON COVER |
| O | 3/4" CONDUIT WITH WIRE (TO T.E. STORAGE) |
| P | 3/4" WATER SERVICE TO TRASH ENCLOSURE |
| Q | BACK FLOW PREVENTER |

***** LOOP DETECTORS *****

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

***** LOT LIGHTING *****

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

| NO. | MARK | MARK DESCRIPTION |
|-----|------|-----------------------------------|
| 1 | A | PROPOSED PYLON SIGN |
| 2 | B | 90-5 DIR. SIGN "THANK YOU"/"EXIT" |
| 1 | C | 90-5 DIR. SIGN "WELCOME"/"ENTER" |
| 1 | D | FLAG POLE 50' HIGH MAX. |
| 2 | E | FP-43 MENU BOARD ELEVATIONS |
| 1 | F | GATEWAY SIGN |
| 0 | G | 90-10 TRI-VIEW PRE-SELL BOARD |
| 2 | H | CUSTOMER ORDER DISPLAY |

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

***** SANITARY SEWER NOTE *****

The Contractor shall verify location and flowline of existing manhole to be used, and shall install sanitary sewer line at minimum slopes per governing authority's design specifications.

***** UTILITY GENERAL CONDITIONS *****

All utility and electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

| UTILITY CONTACTS | |
|------------------|-------------------------------|
| COMPANY | PNM-ELECTRIC AND GAS SERVICES |
| CONTACT: | KELLY GRAGG |
| PHONE: | 505-241-3490 |
| COMPANY | ABCWJA |
| CONTACT: | ROGER GREEN |
| PHONE: | 505-624-3989 |
| COMPANY | QWEST CORPORATION |
| CONTACT: | BEVERLY YOUNG |
| PHONE: | 505-245-6934 |

Adams ENGINEERING

15142

ROBERT ADAMS

REGISTERED PROFESSIONAL ENGINEER

5-29-08

McDONALD'S

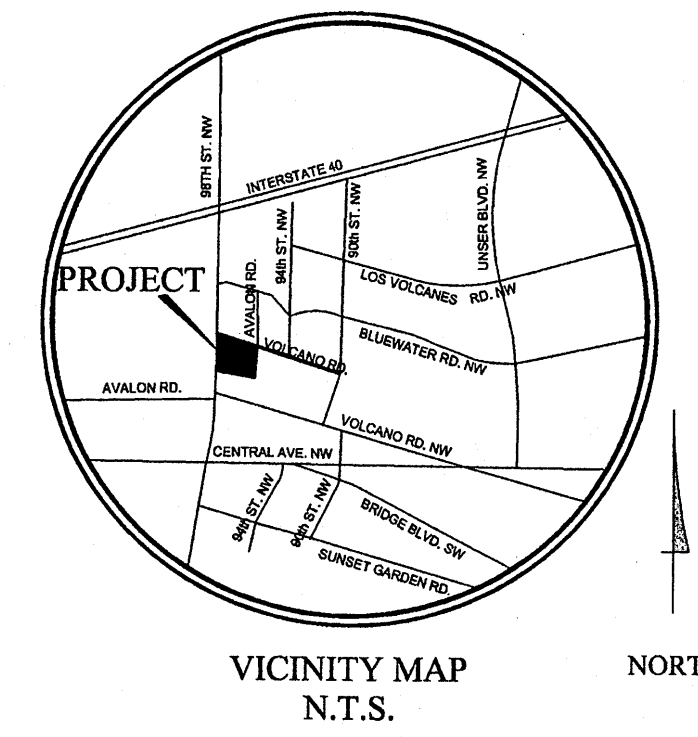
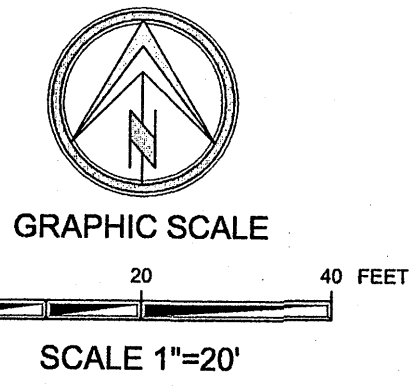
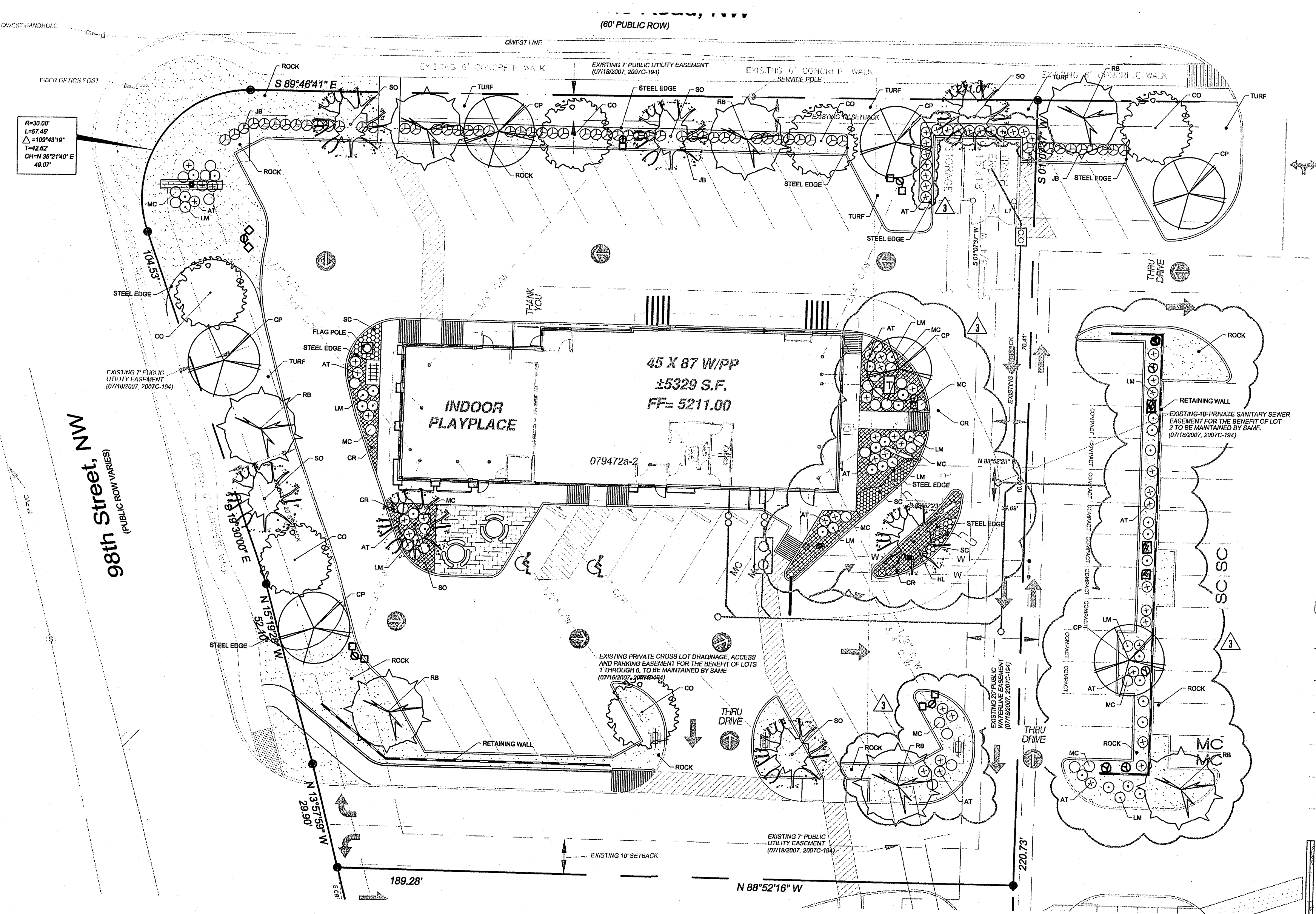
SEC OF VOLCANO RD. & 98TH ST. NW

ALBUQUERQUE, NEW MEXICO

MCDONALD'S/L.C. 004-0226

ADAMS ENGINEERING NO. 2006-256

FILENAME: L1.0 Landscape Plan.dwg PLOTTED BY: Ryan Pugh PLOT DATE: Monday, May 12, 2008 PLOT TIME: 12:27:24 PM PLOTTER: HP 8000 A4/CAD/240



GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
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COMPLIANCE WITH WATER CONSERVATION

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provision of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

- LANDSCAPE REQUIREMENTS for the City of Albuquerque**
- Section 14-18-3-10
- (E) Landscaping Area Requirements
- The total landscaped area required for each development shall equal not less than 15% of the net lot area.
 - Clear sight areas satisfactory to the Planning Director shall be maintained at all exits of parking areas.
- (G) Special Landscaping Standards
- Off-Street Parking Area Landscaping. Trees are required in and around off-street parking areas to provide shade and relieve the adverse visual impact of large expanses of pavement and parked cars. Quantity and distribution of trees shall be as follows:
 - One tree is required per ten parking spaces;
 - No parking space may be more than 100 feet from a tree trunk;
 - The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree;
 - At least 75% of the required parking areas shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
 - Street trees. Reference 6-6-2-5 Street Tree Policies.
 - Required Vegetative Ground Cover. All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials, such as grasses, vines, spreading shrubs, or flowers, over at least 80% of the required landscape area. Coverage will be calculated from the mature spread of the plants.

LANDSCAPE PROJECT NOTES

Landscape maintenance shall be the responsibility of the property owner.

Notify to Sitemap Specifications for all information needed for Landscape work.

The SUBGRADE SHALL BE COMPACTED TO MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All slopes and areas disturbed by construction, except those occupied by buildings, structures, paving or identified as surface rock shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the contractor shall provide topsoil, approved by the owner. The area shall then be seeded, fertilized, mulched, watered and maintained until hardy grass growth is established in all areas. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the contractor at no additional cost to the owner.

All landscaped areas will be irrigated with an underground automatic system. Refer to the irrigation plans and details for the location of the controller, irrigation meter, and sleeves.

Quantities shown on these plans are for information only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five (5') feet from any utility line or sidewalk and outside utility easements with a clear ten (10') feet around fire hydrants.

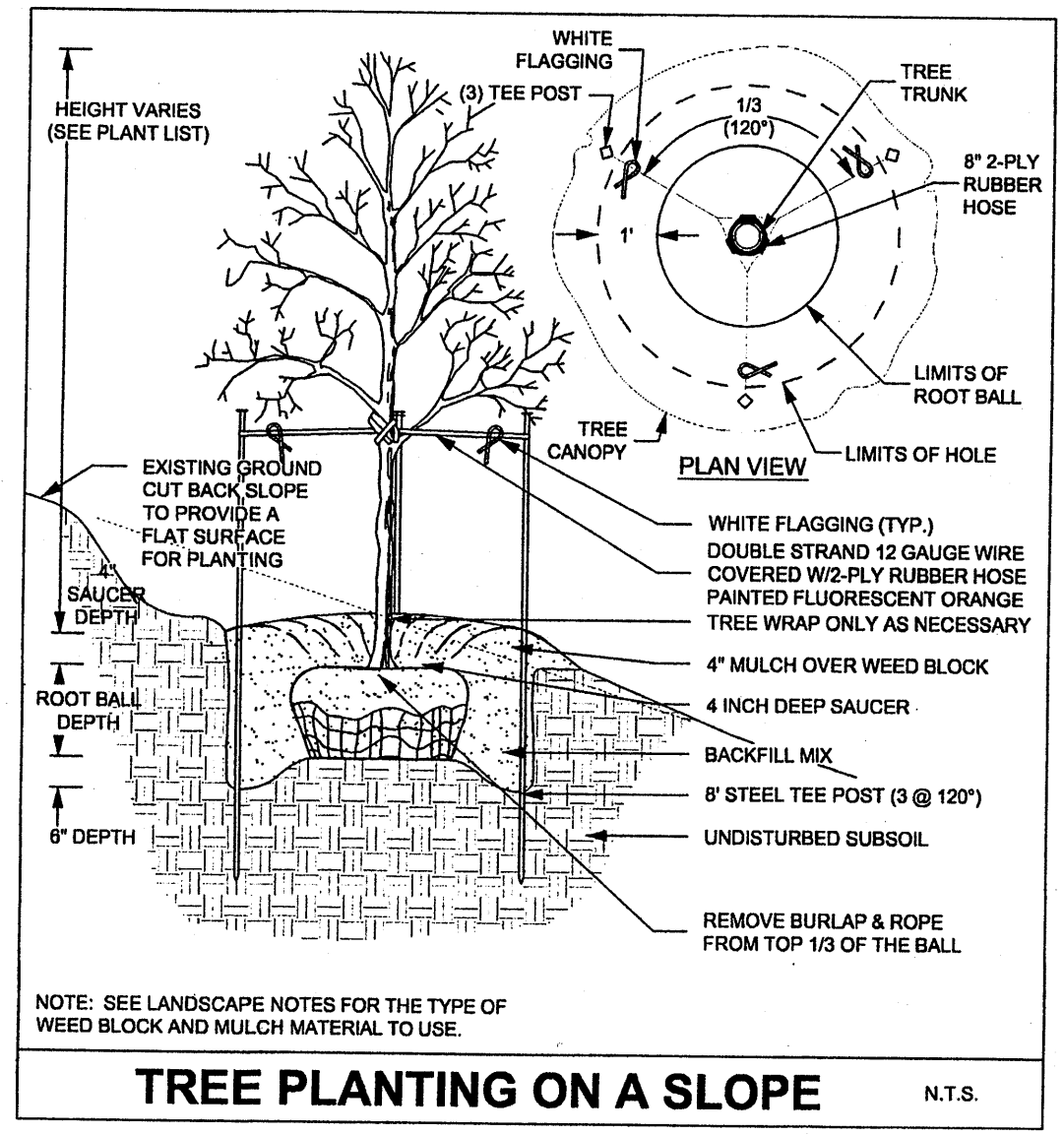
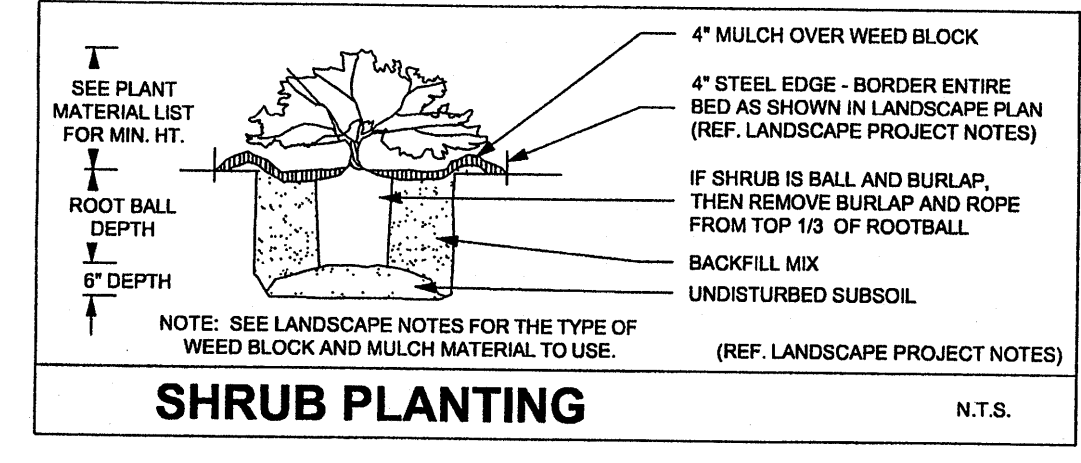
All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however, ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by four (4") inch steel edging as approved by the owner unless bed is bordered by concrete. Terminate edging flush with paved surface.

Shredded hardwood mulch shall be used as a four (4") inch dressing in all plant beds and around all trees over 10 mil "weedblock" fabric by "Easy Gardener" or equal. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Areas labeled and identified as rock shall be beige in color as locally available and have a diameter not to exceed one and one-half inches (1 1/2"). Contractor shall install to a uniform depth of three inches (3").



Plant Material List City of Albuquerque, NM

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD |
|------|-------|--|--------------------------------|-------|---------|-----------|----------|--------|
| CP | 8 | Chinese Pistache <i>Pistacia chinensis</i> | N/A | Cont. | 2" cal. | 8' min. | 3' min. | |
| SO | 7 | Shumard Oak <i>Quercus shumardii</i> | N/A | Cont. | 2" cal. | 8' min. | 3' min. | |
| RB | 7 | Red Bud <i>Cercis canadensis</i> | N/A | Cont. | 2" cal. | 6-8' min. | 3' min. | |
| CO | 6 | Chinquapin Oak <i>Quercus muhlenbergii</i> | N/A | Cont. | 2" cal. | 8' min. | 3' min. | |
| MC | 30 | Moonbeam Coreopsis <i>Coreopsis verticillata</i> "Moonbeam" | 36" | Cont. | 5 gal. | 18" min. | 24" min. | |
| LM | 42 | Littletree Mountain Mahogany <i>Cercocarpus intricatus</i> | 36" | Cont. | 5 gal. | 36" min. | 36" min. | |
| AT | 58 | Big Sage <i>Artemisia tridentata</i> | 36" | Cont. | 5 gal. | 24" min. | 24" min. | |
| JB | 60 | Japanese Boxwood <i>Buxus microphylla</i> ssp. japonica | 36" | Cont. | 5 gal. | 30" min. | 22" min. | |
| CR | 1,250 | Creeping Rosemary <i>Rosmarinus officinalis</i> "Prostrata" | 18" | Cont. | 1 gal. | 8" min. | 10" min. | |
| SC | 130 | Seasonal Color | N/A | Cont. | 4" pot | N/A | N/A | |

In Accordance to the Current Edition of the American Society of Nursery Standards

LANDSCAPE CALCULATIONS for the City of Albuquerque

| | REQUIRED | PROVIDED | % REQ. | % PROV. |
|---|----------|-----------|--------|---------|
| NET LOT AREA | N/A | 43,338 SF | N/A | N/A |
| LANDSCAPE AREA (15% of Net Lot Area) | 6,500 SF | 13,800 SF | 15% | 32.1% |
| PARKING TREES (1 Tree per 10 Spaces) (39/10) | 3.9 | 8 | N/A | N/A |
| STREET TREES (1 PER 30 L.F.) (480L.F./30) | 16 | 16 | N/A | N/A |
| VEGETATIVE GROUND COVER (80% of Req. Landscape) | 5,200 SF | 6,900 SF | N/A | N/A |

Adams ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW MEXICO
BEN R. HENRY
LANDSCAPE ARCHITECT
5-12-08

McDONALD'S
SEC OF VOLCANO RD. & 98TH ST. NW
ALBUQUERQUE, NEW MEXICO

McDONALD'S L.C. 080-0226
ADAMS ENGINEERING No. 2006-246

| REV. | DATE | DESCRIPTION | BY | ISSUE REF. |
|------|---------|------------------|-----|------------|
| 1 | 3/20/08 | City Comments | RBP | |
| 2 | 3/31/08 | City Comments | RBP | |
| 3 | 5/6/08 | Per DRB Comments | RBP | |

OFFICE: GREATER SOUTHWEST REGION
ADDRESS: KRCC DRIVE - OAK BROOK, ILLINOIS 60521

DATE: 03.31.2008

STATUS: AS-BUILT

DATE DRAWN: 03.31.2008

DATE CHECKED: 03.31.2008

BY: RBP

CONTRACTOR: OWNER

CO-SIGN SIGNATURES:

REGIONAL MGR: _____
CONET. MGR: _____
OPERATIONS DEPT.: _____
REAL ESTATE DEPT.: _____

CONTRACTOR: _____
OWNER: _____

PAVING SPECIFICATION

VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:
CONTRACTOR TO BID: ASPHALT: CONCRETE:

CONCRETE & ASPHALT

- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
- 8" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- CONTROL JOINTS SHALL BE PLACED 16' CENTER TO CENTER.
- CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ± 1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

SCARIFY:

- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
- THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

- McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, ALBUQUERQUE, NEW MEXICO, BERNALILLO COUNTY, NEW MEXICO

5500 JEFFERSON STREET, NE ALBUQUERQUE, NEW MEXICO 805-565-5700
DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194

PLAN SCALE: 1" = 20'

ADDITION

KRANIA ADDITION

SEC OF VOLCANO RD. & 98TH ST. NW

ALBUQUERQUE NEW MEXICO

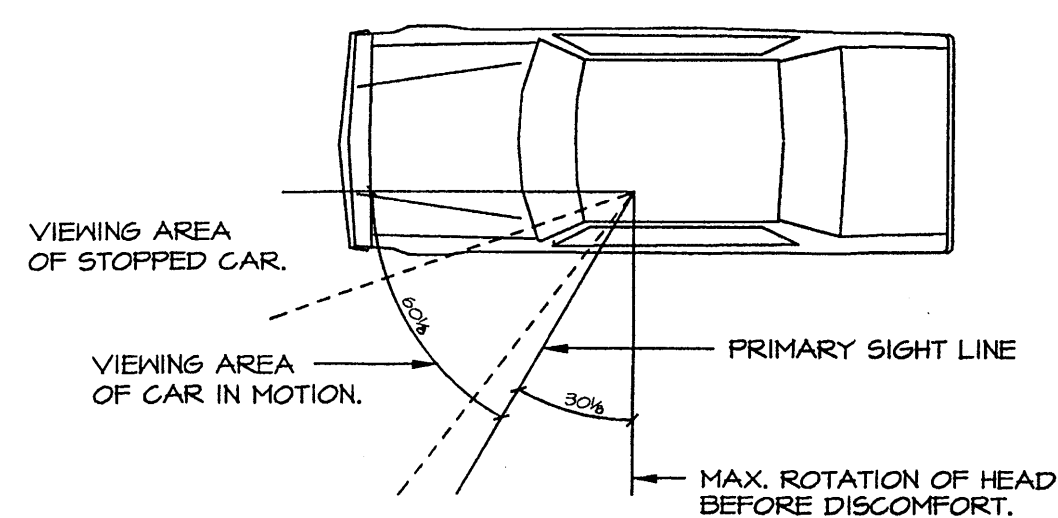
COUNTY: BERNALILLO COUNTY SURVEY: ABSTRACT NO. _____

L/C NUMBER: 030-0226 CORPORATE DWG. NAME

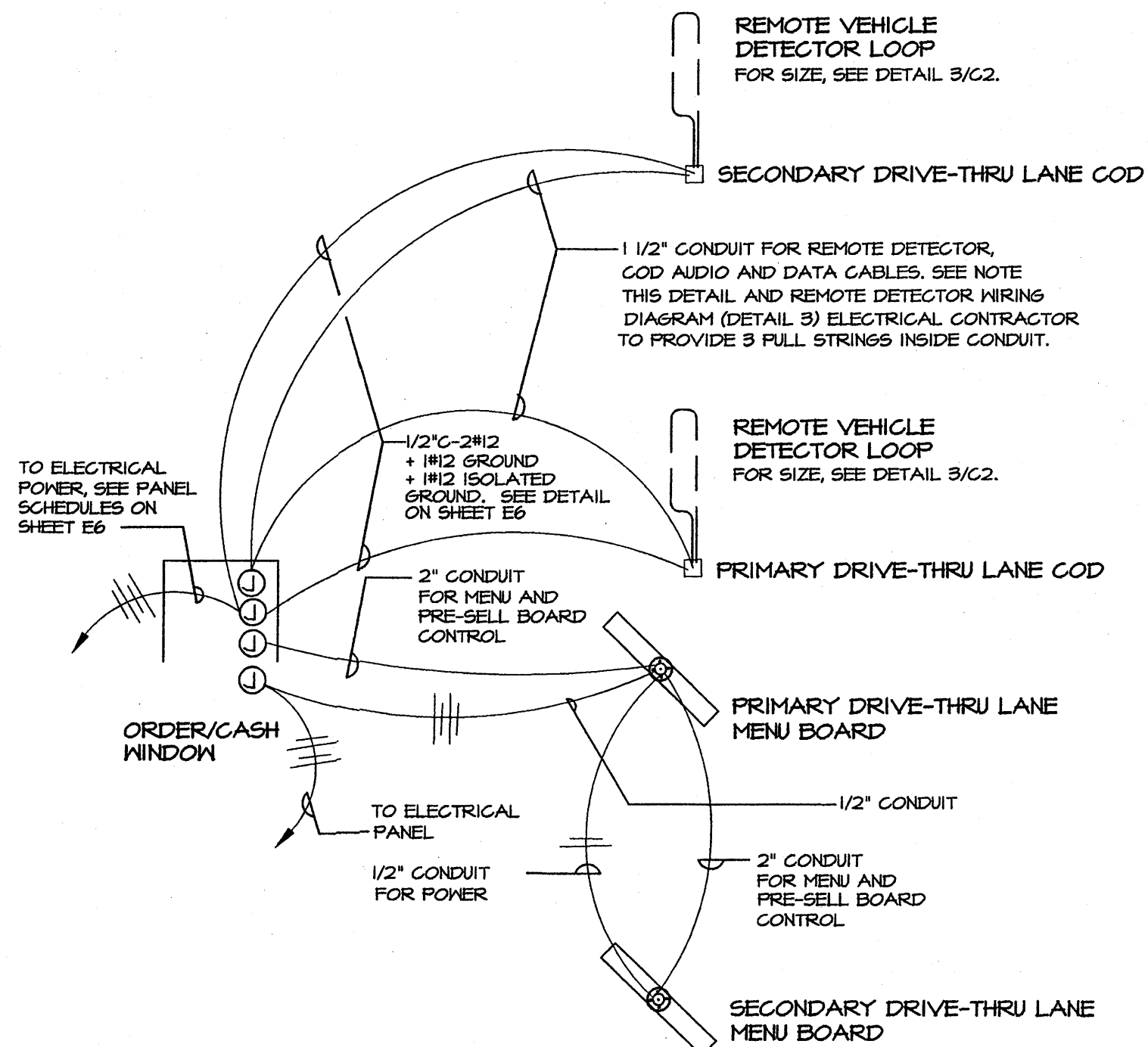
LANDSCAPE PLAN

GENERAL NOTES:

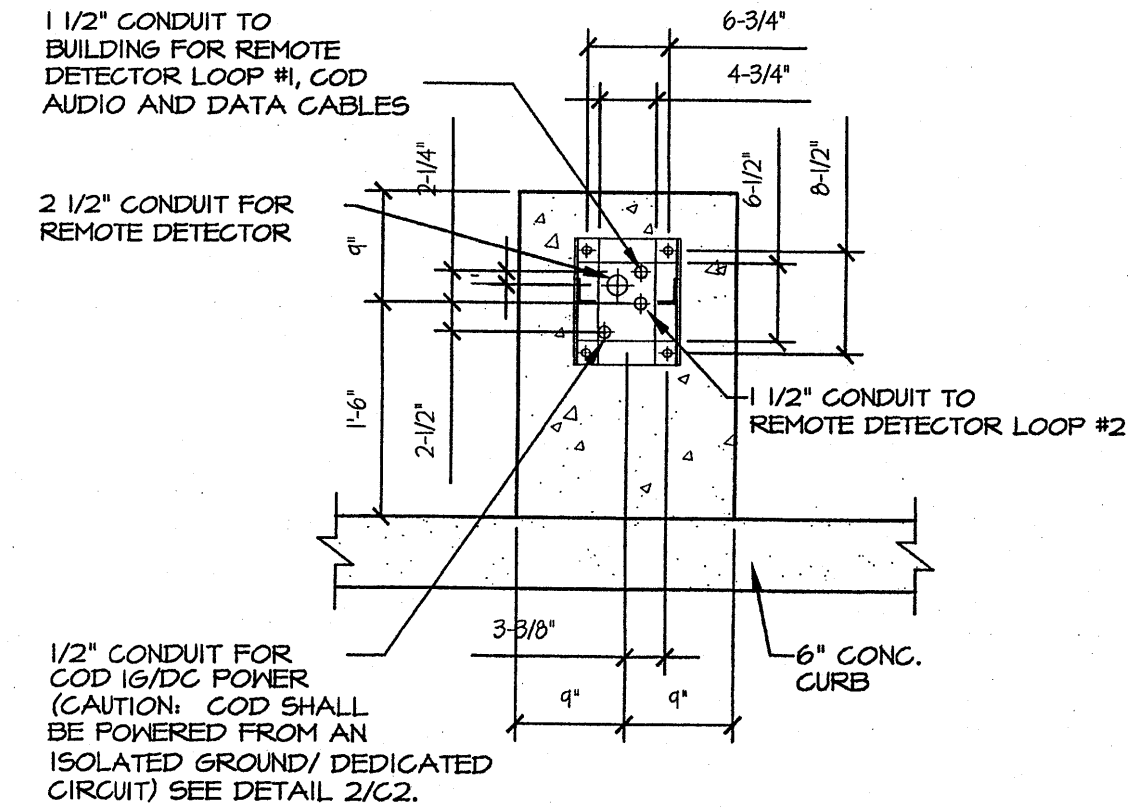
1. THE LOCATION AND ORIENTATION OF MENU BOARDS AND PRE-SELLS WERE DETERMINED BY THE SIGHT LINES OF THE CARS SHOWN. THE CARS WERE POSITIONED ACCORDING TO THE MAX. AMOUNT OF CARS DURING A PEAK PERIOD. ALL DIMENSIONS SHOWN ARE BASED UPON PROTOTYPICAL LAYOUTS SHOWN. ACTUAL DIMENSIONS TO BE BASED ON SITE SPECIFIC CONFIGURATIONS AND THE REQUIREMENTS OF NOTE 2.
2. MENU BOARD IS ORIENTATED FOR VIEWING BY PRIMARY CAR (ORDERING) AND SECONDARY CAR (NEXT TO ORDER).
3. PROVIDE TWO CIRCUITS FOR MENU BOARD AND PRE-SELL BOARDS. ONE CIRCUIT FOR LIGHTS AND ONE CIRCUIT WITH LOCK FOR MOTOR AND CONTROLLER. REFER TO SHEET E1 FOR TERMINATION OF CONDUIT RUNS INSIDE BUILDING.
4. ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.



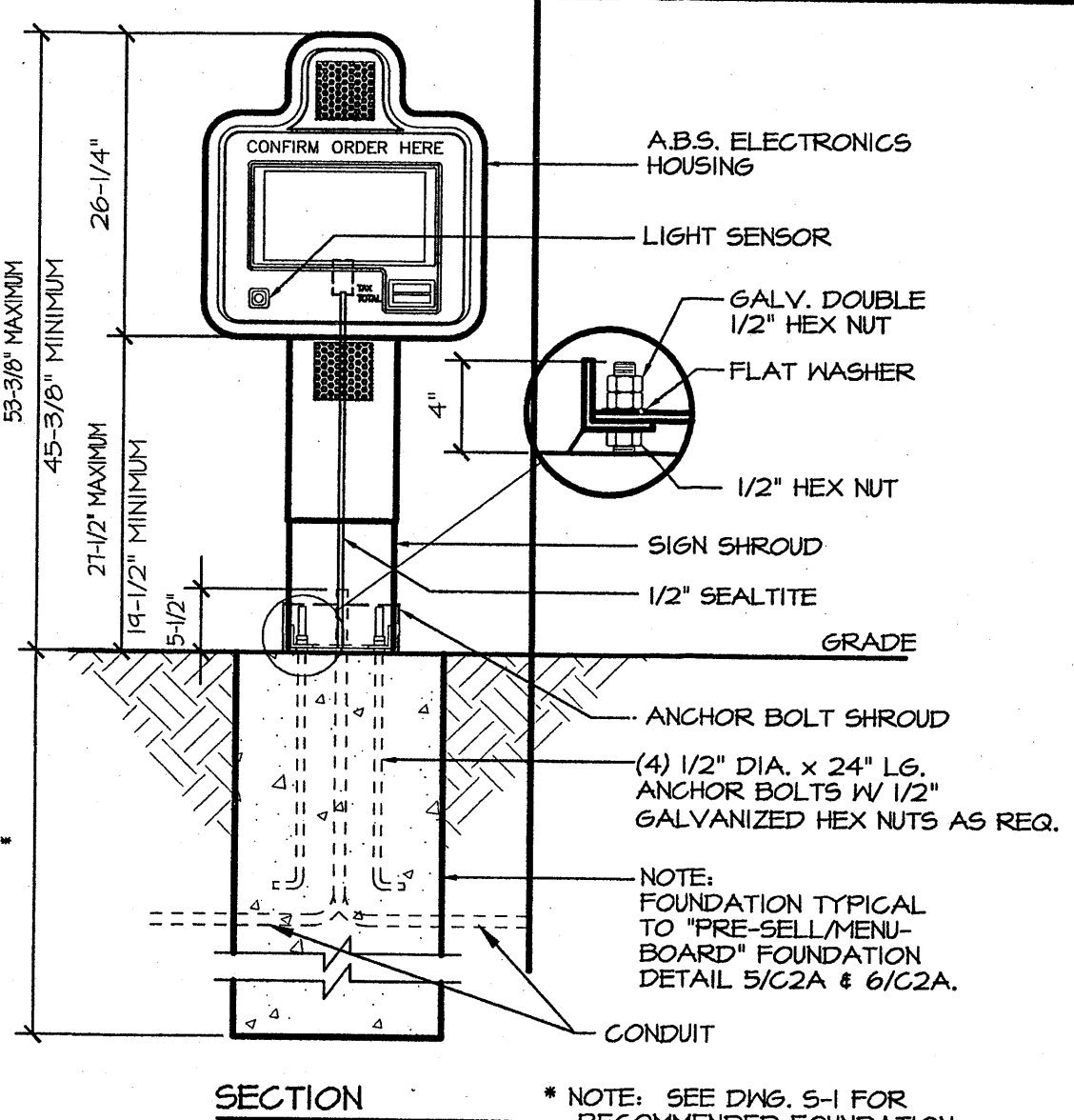
1 VEHICLE SIGHT LINES
SD1 NOT TO SCALE



2 DRIVE THRU SITE WIRING DIAGRAM
SD1 (COD AND SPEAKER POST)



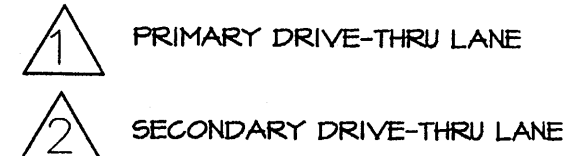
PLAN
NOTES:
* OPENING IN BASE PLATE - CONDUIT MUST BE LOCATED WITHIN THIS OPENING
1. CARE MUST BE TAKEN TO AVOID GETTING ANY CONCRETE ON THREADS OF ANCHOR BOLTS
2. AFTER SIGN IS LEVELED AND BOLTED INTO PLACE, FILL ENTIRE AREA UNDER PLATE WITH EMBECO #636 NON-SHRINK METALIC NON-RUST GROUT.



- ELECTRONICS ACCESS**
- MICROPHONE (BY OTHERS)
 - MICROPHONE ACCESS COVER
 - INSULATION AT BACK OF MICROPHONE
 - PASS MICROPHONE WIRE THRU BUSHING
 - ON/OFF SWITCH
 - SPEAKER
 - SHROUD COVERS
 - DATA CABLE CONNECTION BOX
 - (4) 1/4"-20 BOLTS FOR HEIGHT ADJUSTMENT
 - ELECTRONICS FACE
 - REMOVE SCREWS FROM FACE - ENTIRE PERIMETER
 - ELECTRONICS HOUSING

3 (COD) "CUSTOMER ORDER DISPLAY" DETAILS
SD1 NOT TO SCALE

- 1 FP-43 MENU BOARD MIN 2'-0" CLEAR FROM FACE OF CURB
- 2 SITE SPECIFIC
- 3 FP-43 MENU BOARD 18" MIN. CLEAR FROM FACE OF CURB
- 4 DETECTOR LOOP TO BE 2'-0" IN FRONT OF MIDDLE OF C.O.D. SEE COD LOCATIONS AND MENU BOARD NOTE #8
- 5 AUGER FOOTINGS TIGHT TO BACKSIDE OF CURB



TYPICAL BOLLARD LOCATION
NOT TO SCALE

COD or Speaker Locations and Menu Boards Notes:

1. The first COD or speaker position should be a minimum of 60' from the center of the cash booth. 100' to 120' is desired for optimum positioning. 60' should be utilized only in tight lot configurations. When 60' is used, one must be able to fit three cars in the lane and a fourth at one of the COD's. The rear car must prevent a new vehicle from reaching the COD they previously occupied.
2. The primary lane COD is a minimum of 60' (1/4' of up to 5') to ensure correct sequencing (this must increase in 20 ft. increments to ensure proper stacking and sequencing). The measurement from tip of the island to the centerline of the COD must be within 10' to 13' to ensure proper sequencing. The third car must prevent a new vehicle from reaching the COD it previously occupied.
3. The primary lane menu board is placed according to plan and angled to give optimal view to the car at the COD and the immediate vehicle behind. The menu board edge closest to the customer should not be any closer than 24" from the face of curb (further if it improves the visibility of both cars).
4. The secondary lane menu board is placed near the tip of the island. The optimum distance from curb face to the edge of the menu board is 18". This allows the cars to turn easily and not swing too wide. The center of the menuboard footing is approx. 7'-6" from the tip of the island. The last panel on the menu board may not be easily seen however, it is imperative for the sequencing of vehicles. As in the primary lane, the COD is located 10' to 13' from tip of the island.
5. The center island area for the menu board must be wide enough to accommodate an FP-43, tri-view menuboard. Please contact your regional construction manager to receive a copy of the standard templates available today.
6. There must be two menu boards. If space is limited, then one menu board may have a built-in COD. The menu board must be parallel to the face of curb. The built-in COD menu board should be in the secondary lane. This necessitates one or two pre-sell boards at the second car position.
7. The merge point must be less than a car length from the speaker to prevent a new vehicle from reaching the COD if the first car has not reached the merge point.
8. The detector loop in the primary lane is located forward of the center line of the COD. The secondary lane detector loop is located 2' forward from the center line of the COD. Both loops are flipped to receive optimum signal from a vehicle in front of the COD. Refer to site details.

WELCOME POINT "GATEWAY" SIGN WITH (2) 11'-0" ARMS AND "2 AT A TIME ANYTIME" SIGN TO BE PLACED AT BEGINNING OF DOUBLE DRIVE-THRU LANE REFER TO DETAIL THIS SHEET

CENTER ISLAND AREA SEE COD LOCATIONS AND MENU BOARDS NOTE #5.

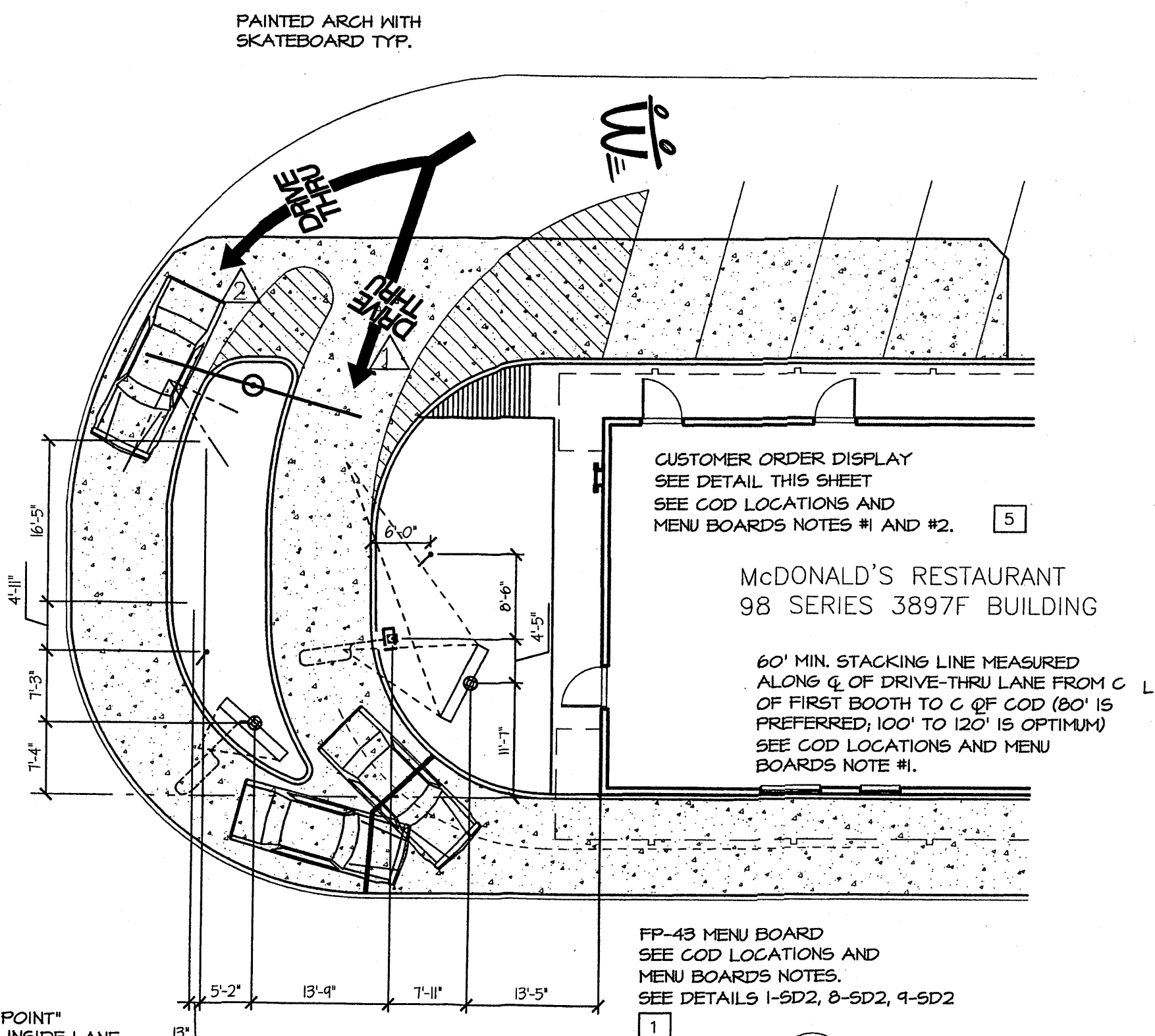
PRE-SELL BOARD 18" MIN FROM FACE OF CURB (TYP. FOR 2) SEE DETAILS 1-SD1, 7-SD1, 9-SD1

"PLEASE HAVE ORDER READY" BOLLARD SIGN (TYP. FOR 2) SEE DETAIL THIS SHEET

VEHICLE DETECTOR LOOP (TYP. FOR 2) SEE DETAIL 4-SD2 SEE COD LOCATIONS AND MENU BOARDS NOTES. 4

FP-43 MENU BOARD WITH INTEGRATED COD SEE COD LOCATIONS AND MENU BOARDS NOTES. 3

DRIVE-THRU "MERGE POINT" PASSENGER DOOR @ INSIDE LANE DRIVER'S DOOR @ OUTSIDE LANE SEE COD LOCATIONS AND MENU BOARDS NOTE #1.



4 DRIVE THRU APPROACH
SD1 NOT TO SCALE

NOTE:
FOR REFERENCE ONLY. VERIFY FINAL LAYOUT WITH CIVIL DRAWINGS AND McDONALD'S PROJECT MANAGER.

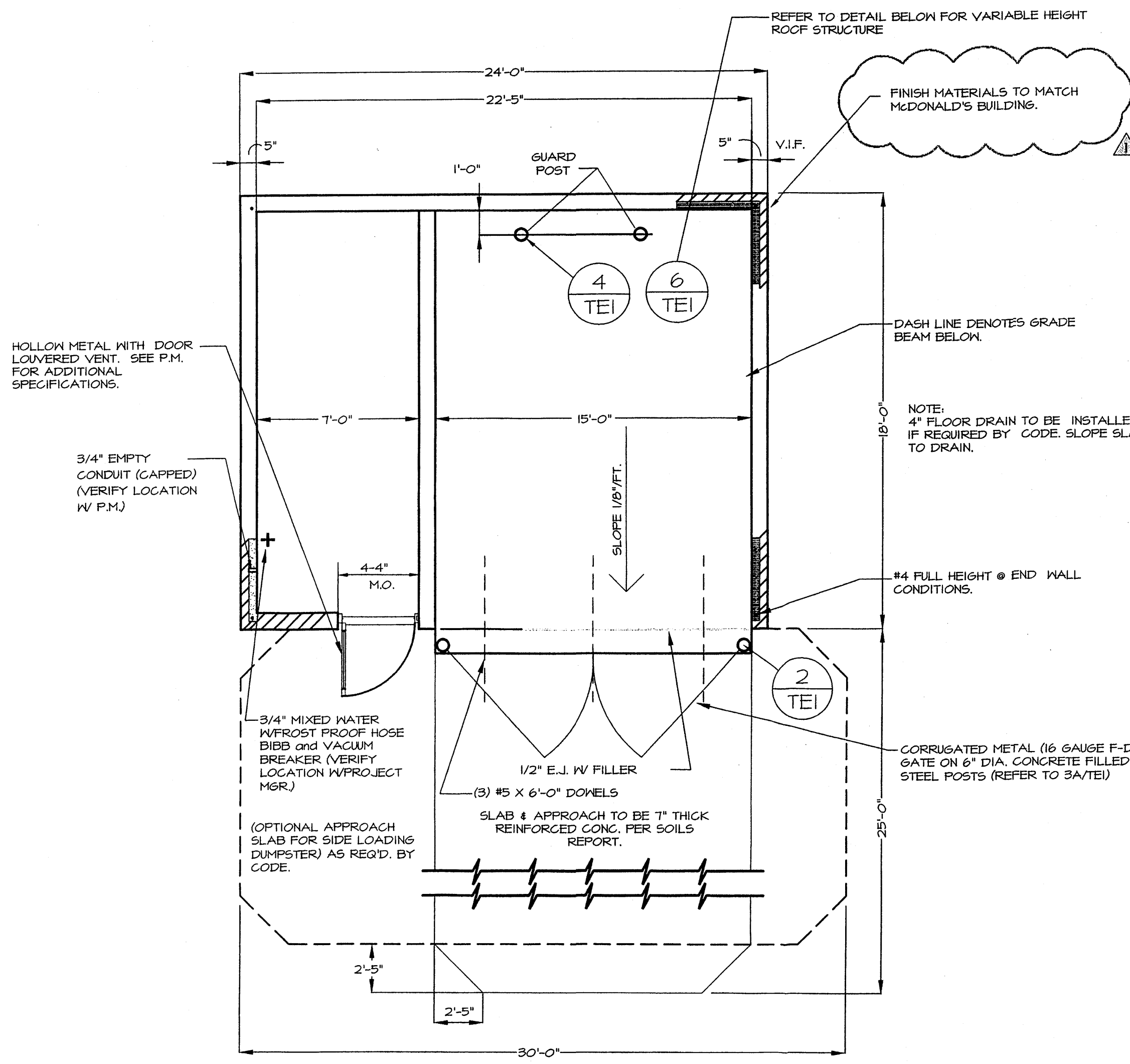
NOTE:
THIS SHEET IS FOR CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST INSTALLATIONS ONLY. THESE DETAILS ARE NOT FOR USE WITH THE FACE TO FACE DRIVE THRU OPERATING SYSTEM. VERIFY THE INSTALLATION OF CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST WITH THE PROJECT MANAGER.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

15142
SD-1
DRIVE-THRU
NEW MEXICO PROFESSIONAL ENGINEER
5-12-08

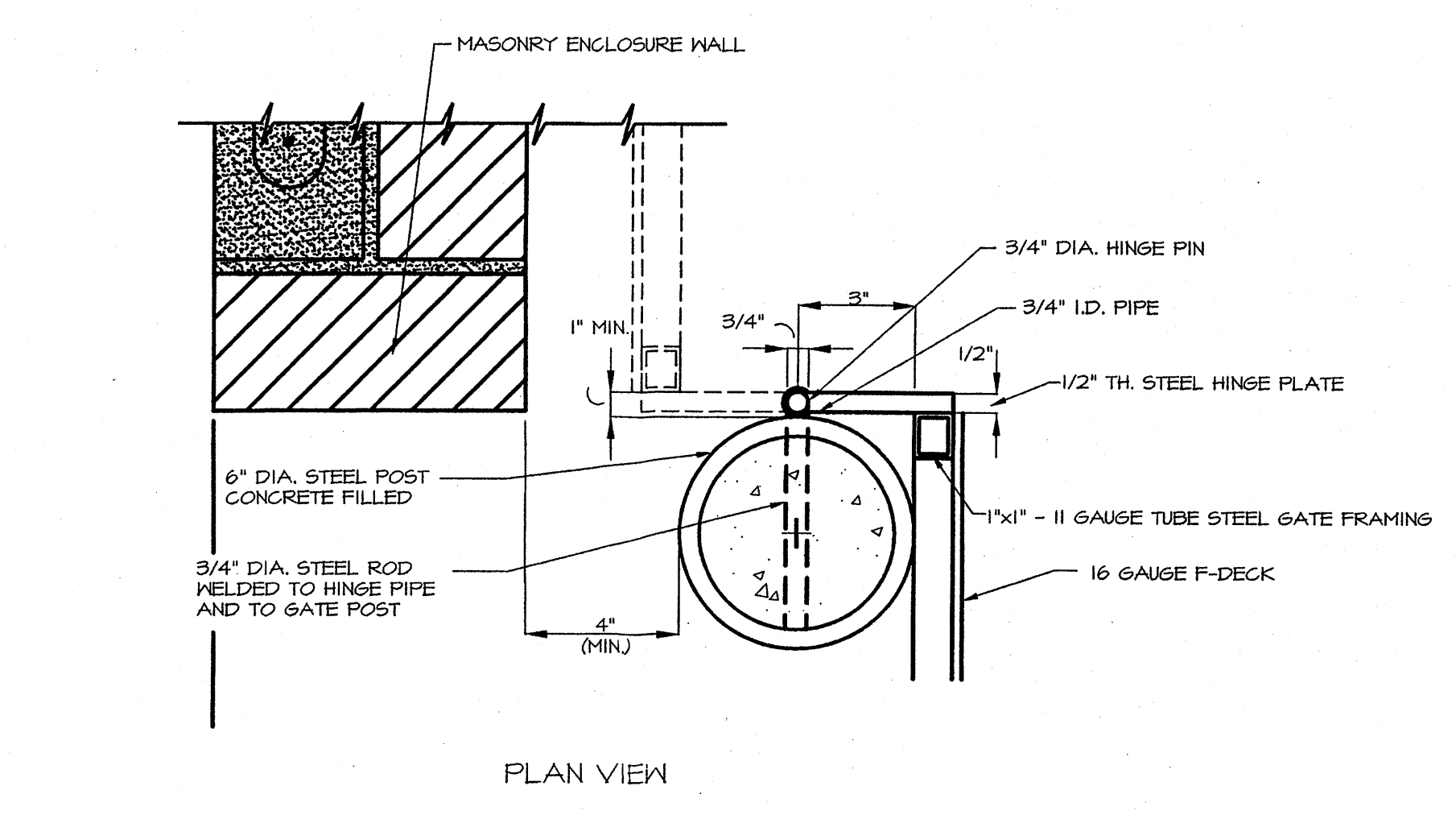
McDonald's Corporation
1600 N. WOLFGANG RD. NW & 19TH STREET NW, ALBUQUERQUE, NEW MEXICO

| NO. | DESCRIPTION | DATE ISSUED | PROTOTYPE |
|-----|-------------|-------------|-----------|
| | | | |
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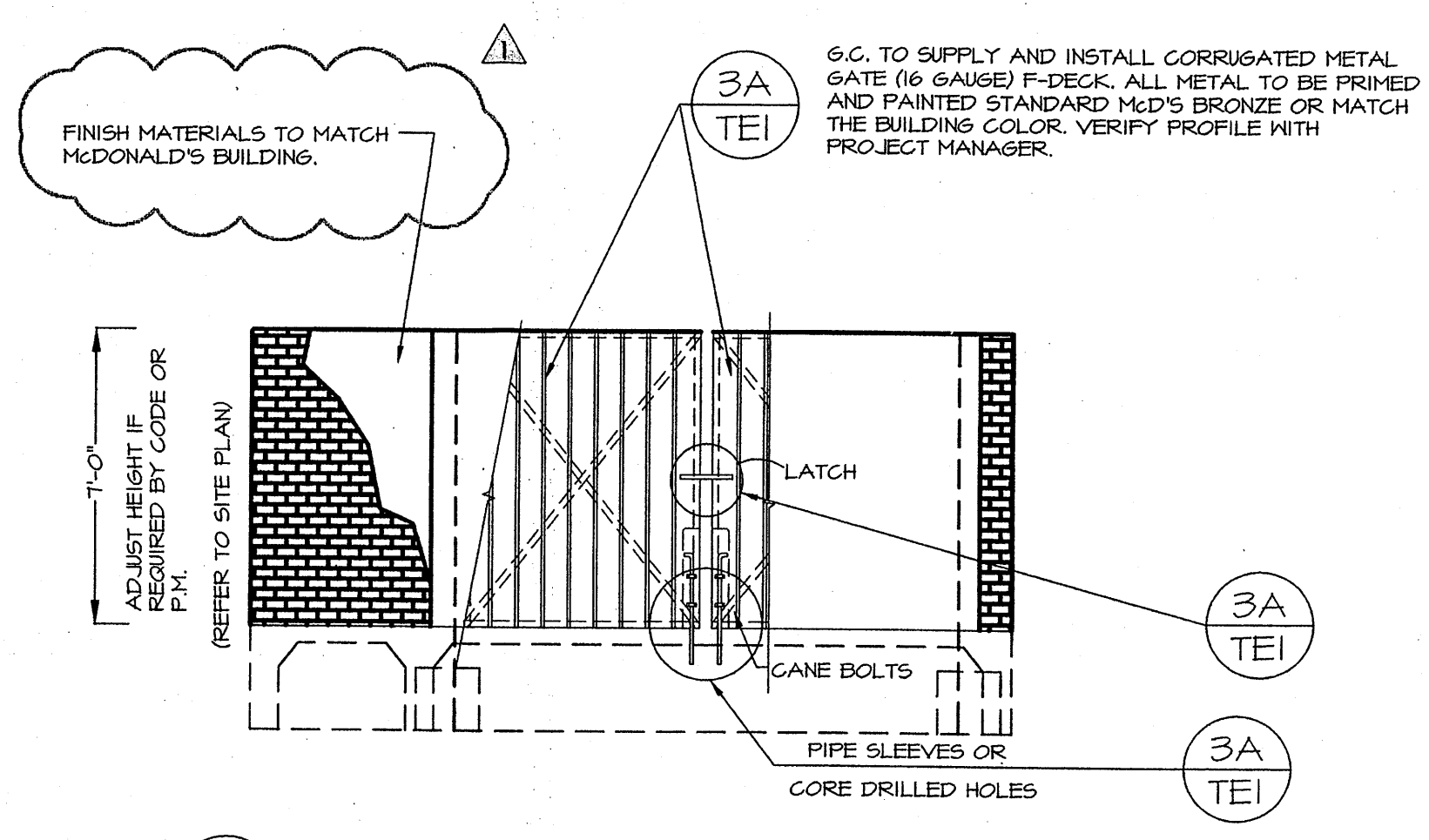


1 TRASH ENCLOSURE PLAN VIEW
NOT TO SCALE

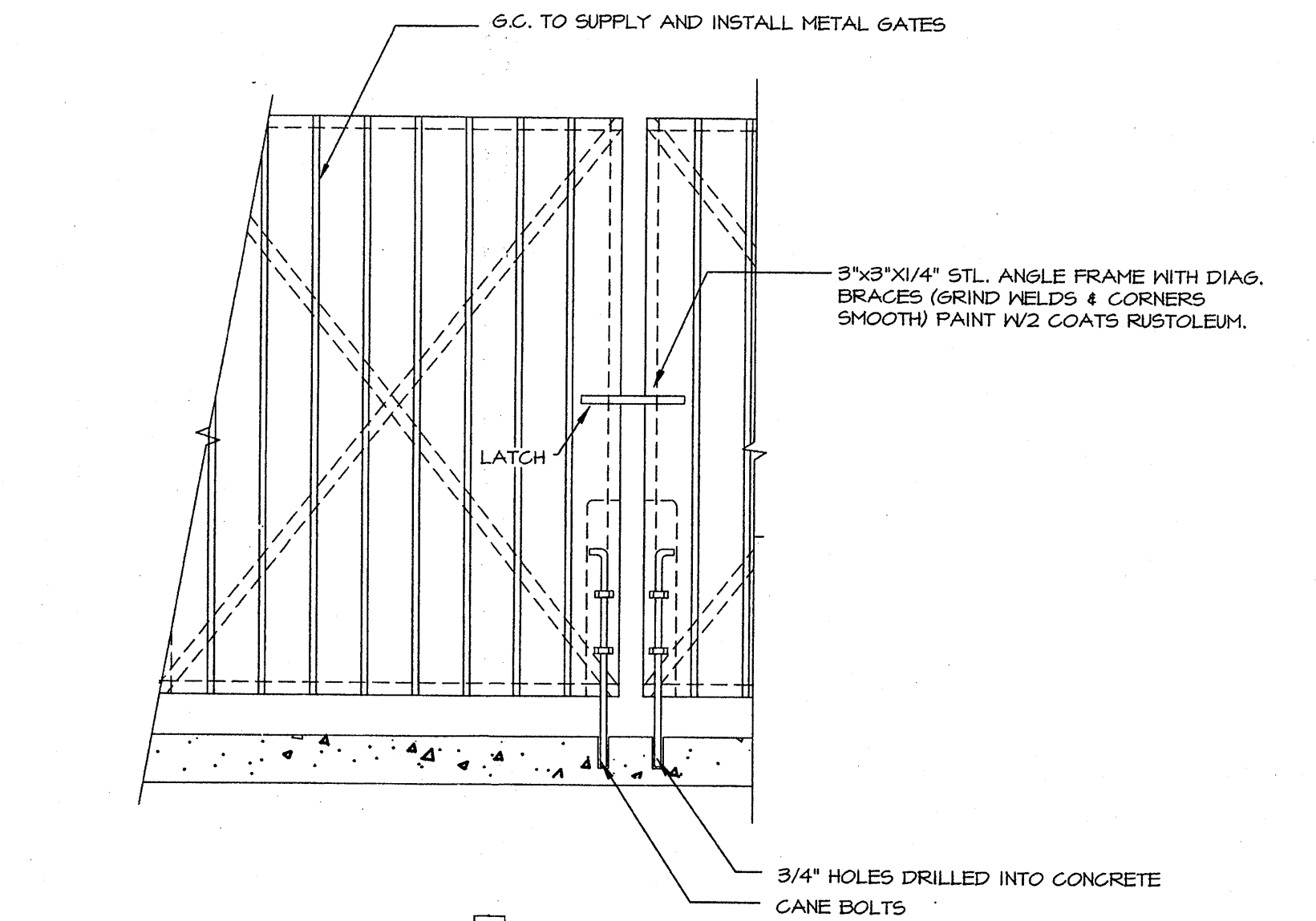
NOTE:
STORAGE ROOM IS TO BE EQUIPPED WITH A "WHIRLY BIRD" ROOF VENTILATOR, 2x2 FLUORESCENT LIGHT (WEATHER TIGHT) W/ SWITCH AND DUPLEX RECEPTACLE.
G.C. TO APPLY BLOCK SEALANT AND PAINT TO ALL EXPOSED CMU SURFACES.



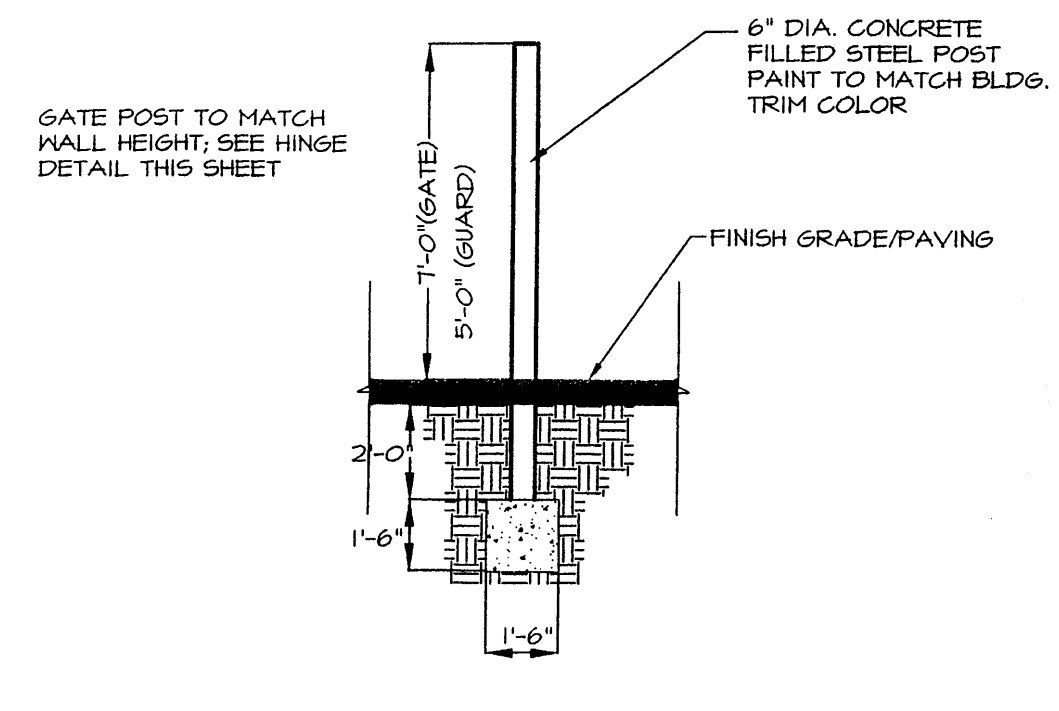
2 GATE HINGE DETAIL
NOT TO SCALE



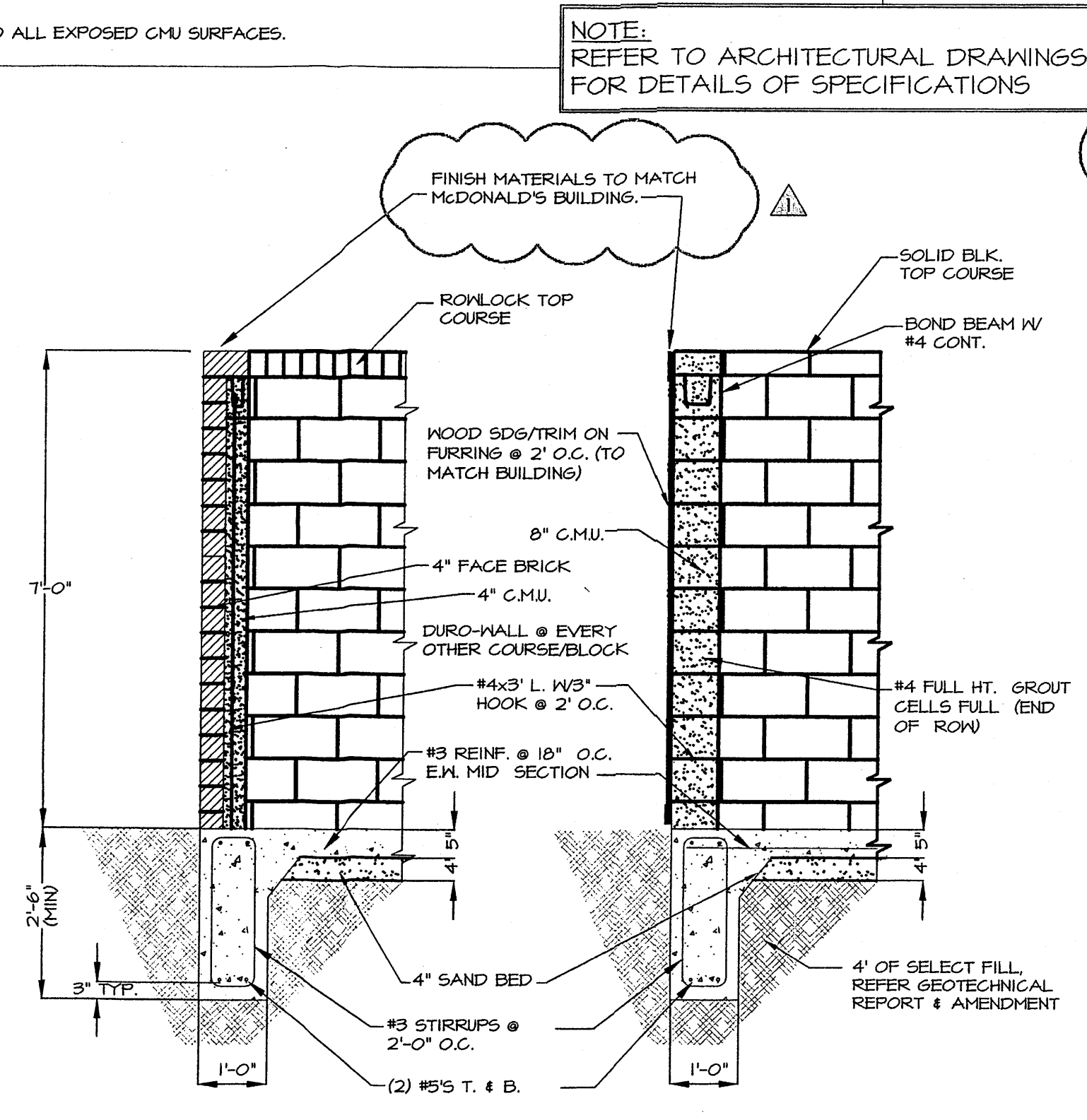
3 TYPICAL ELEVATION
NOT TO SCALE



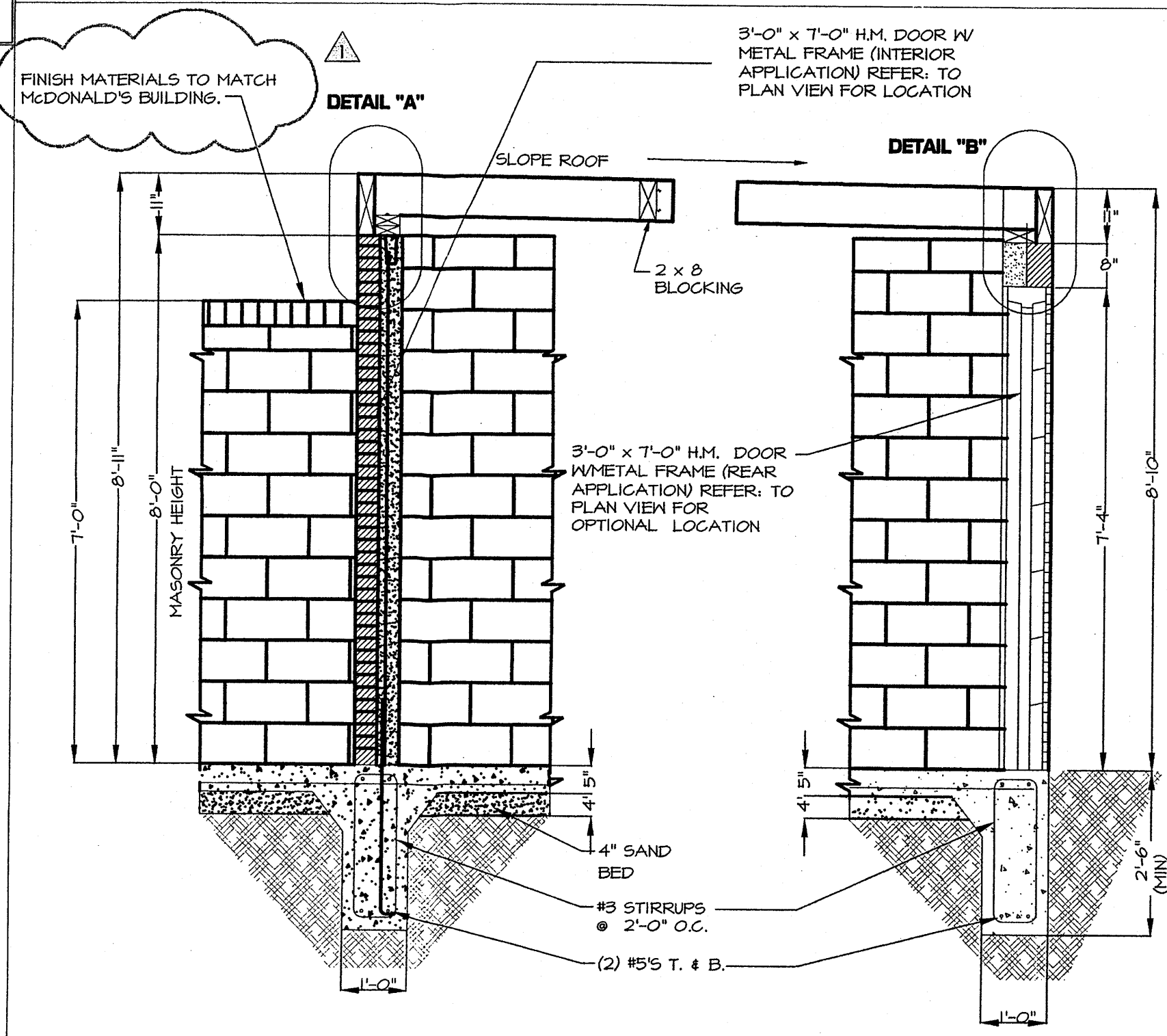
3A TYPICAL ELEVATION
NOT TO SCALE



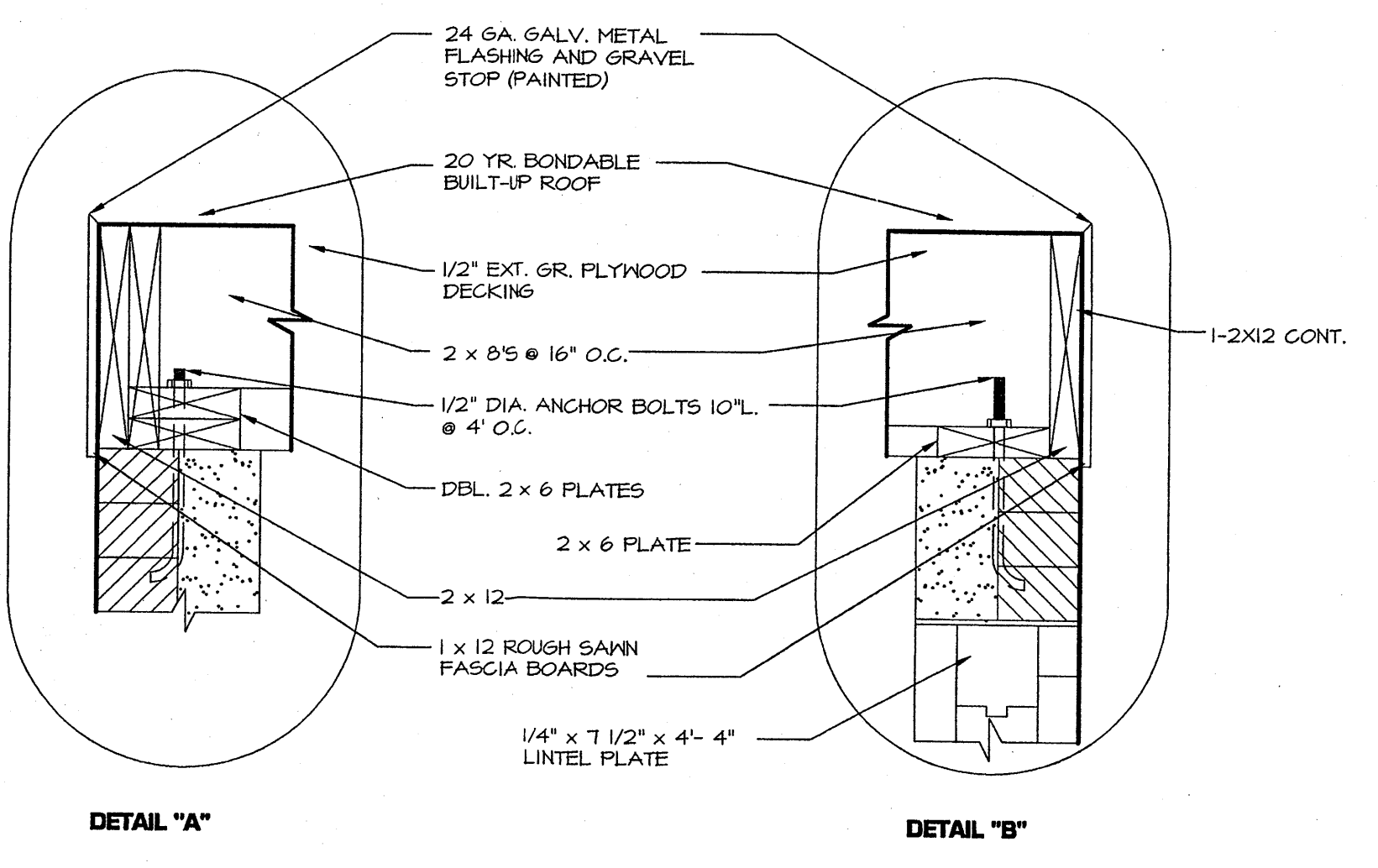
4 GATE/GUARD POST
NOT TO SCALE



5 TYPICAL WALL SECTIONS
NOT TO SCALE



6 TYPICAL STORAGE ADDITION TRASH ENCLOSURE
NOT TO SCALE



6A TYPICAL DETAIL "A" & "B"
NOT TO SCALE

| | | | | |
|---|--------------|--|-----------------|----------|
| SHEET NO. | TITLE | DESCRIPTION | BY | BLS |
| | | | DATE | 05/12/08 |
| DRAWN BY | PROT. ISSUED | REVIEWED BY | REV | |
| | | | DATE | |
| SITE ID | PROJECT/TYPE | DATE REVISION | G. ROBERT ADAMS | |
| | | | DATE ISSUED | 5.12.08 |
| CODE | DETAIL | McDonald's Corporation | | |
| | | KROC DRIVE - OAK BROOK, ILLINOIS 60521 | | |
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