

PROPOSED DESIGN GUIDELINES

SITE DESIGN:

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BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

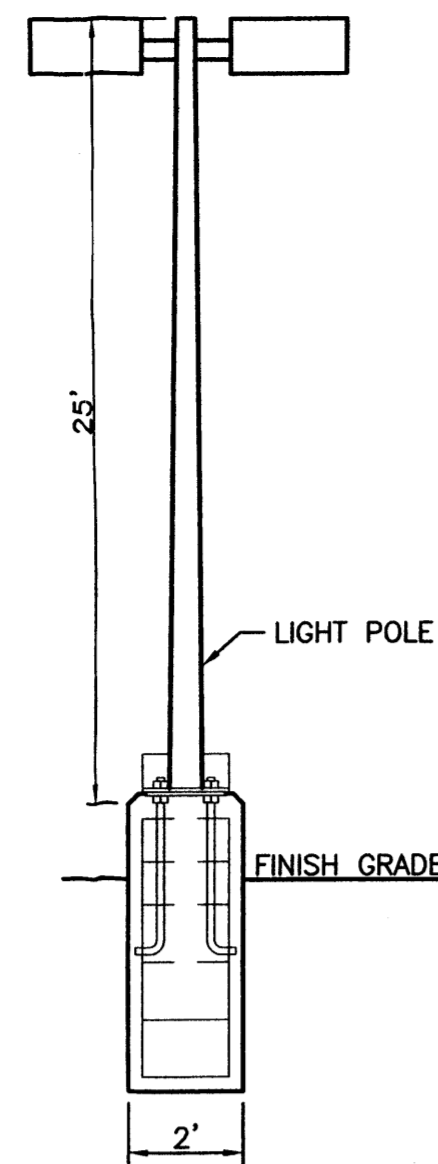
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELGATED DOWN TO DRB.

PROJECT NUMBER: 1004354

APPLICATION NUMBER: 07-00033

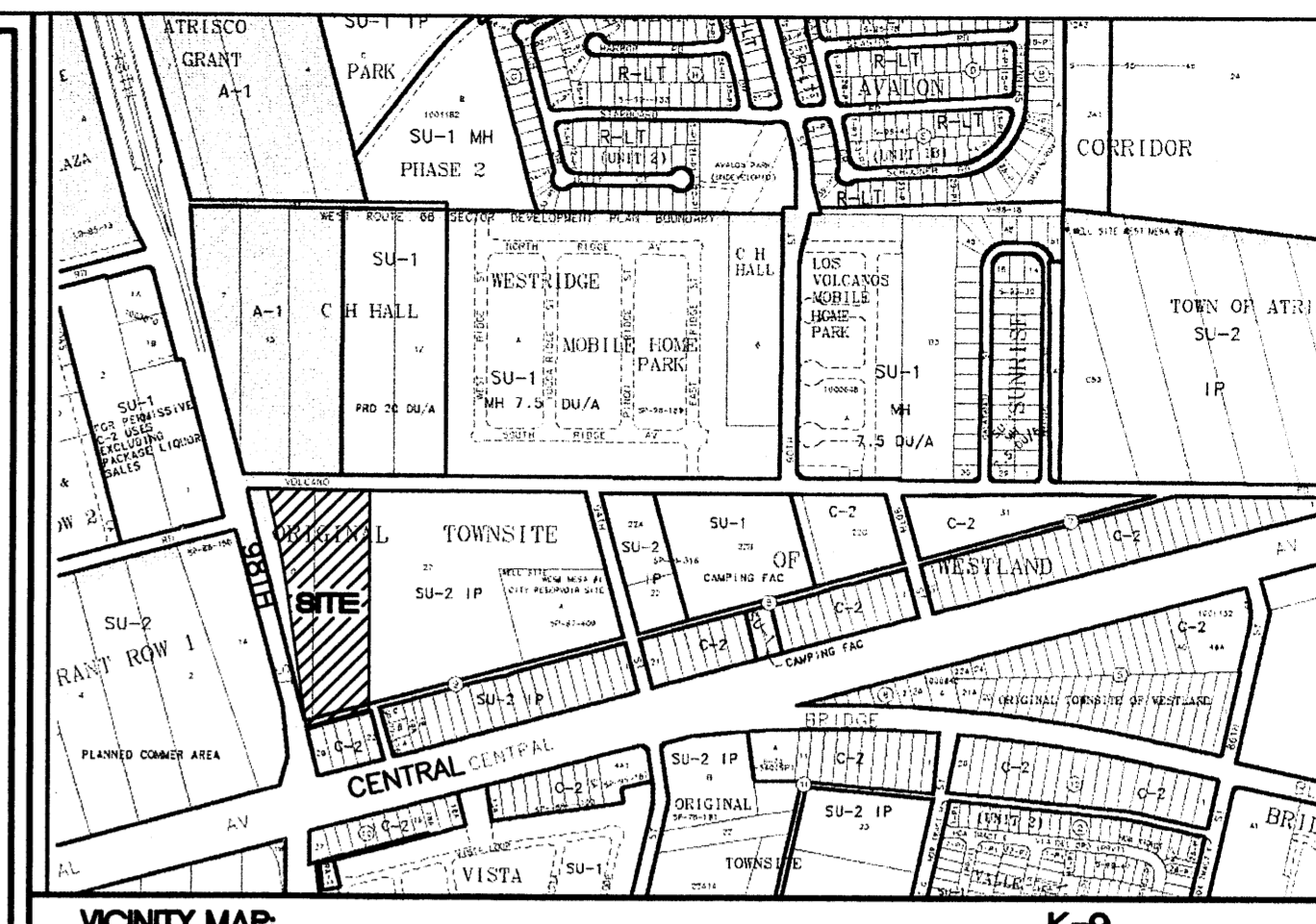
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>John S. ...</i> Traffic Engineer, Transportation Division	2/7/07	Date
<i>William G. ...</i> Water Utility Development	2/7/07	Date
<i>Christine ...</i> Parks & Recreation Department	2/7/07	Date
<i>Bradley L. ...</i> City Engineer	2/7/07	Date
<i>N/A</i> * Environmental Health Department (conditional)		Date
<i>Michael ...</i> Solid Waste Management	7/5/07	Date
<i>D. ...</i> DRB Chairperson, Planning Department	7/05/07	Date

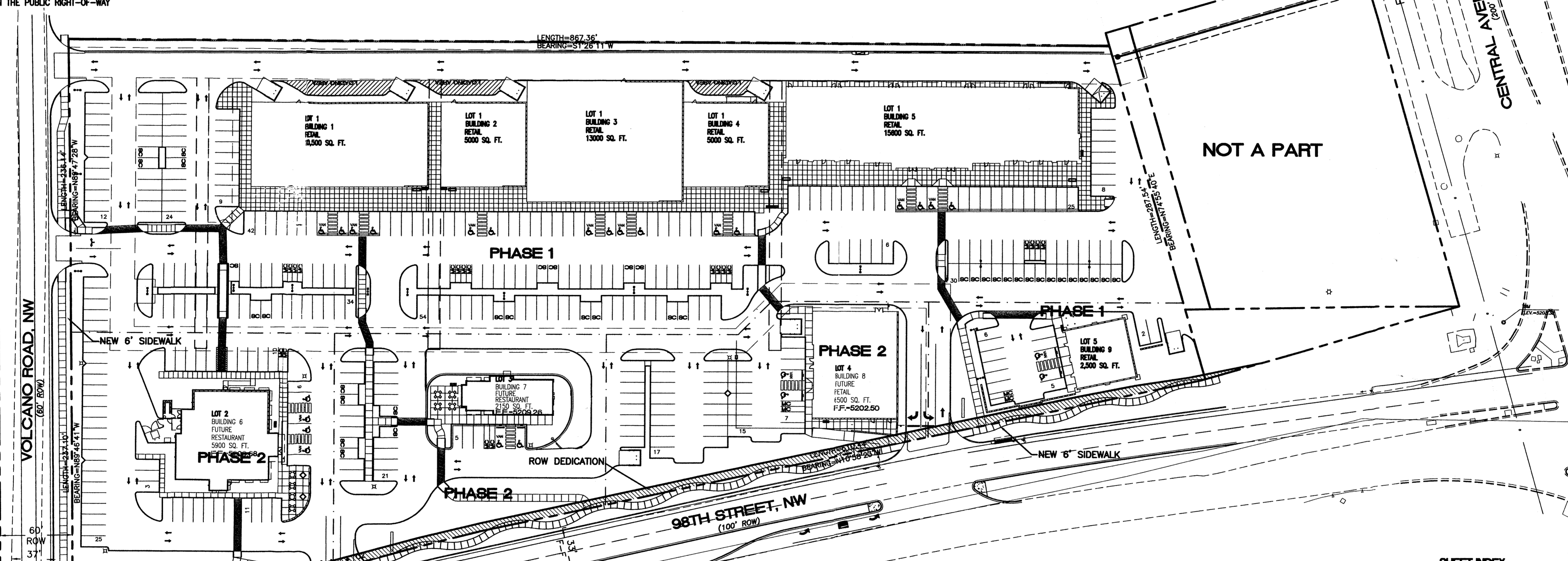
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VICINITY MAP: K-9
LEGAL DESCRIPTION: PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

---	BOUNDARY LINE
- - - -	EASEMENT
=====	EXISTING CURB AND GUTTER
=====	CURB AND GUTTER
=====	SCREEN WALL
=====	RETAINING WALL
=====	PROPOSED SIDEWALK
=====	EXISTING BOUNDARY
=====	CROSSWALK
=====	BIKE RACK
=====	PARKING LOT LIGHTING
=====	ROW DEDICATION



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	45.77	25	35.52	104°53'54"	S37°46'22"W	39.64
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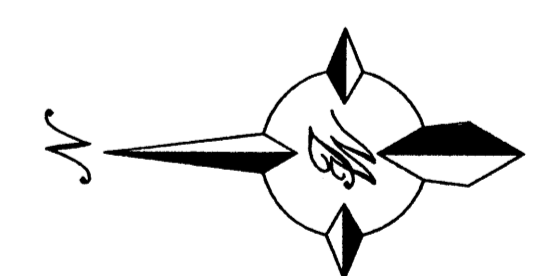
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1	1	4.794	10,500	RETAIL	SU-2 IP	53		4	4	1	2	2	5	3	4	0.15	0.35	40'
2	1	4.794	5,000	RETAIL	SU-2 IP	25		1	2	1	1	2	5	1	2	0.15	0.35	40'
3	1	4.794	13,000	RETAIL	SU-2 IP	65	249	4	4	1	2	3	5	3	4	0.15	0.35	40'
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2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN
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5. MASTER UTILITY PLAN
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9. ELEVATIONS
10. DETAILS



GRAPHIC SCALE
SCALE: 1"=50'

	NORTHEAST CORNER OF 98TH AND CENTRAL SITE PLAN FOR SUBDIVISION	DRAWN BY EMT DATE 2-5-07 2566-SPSE.dwg
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1004354

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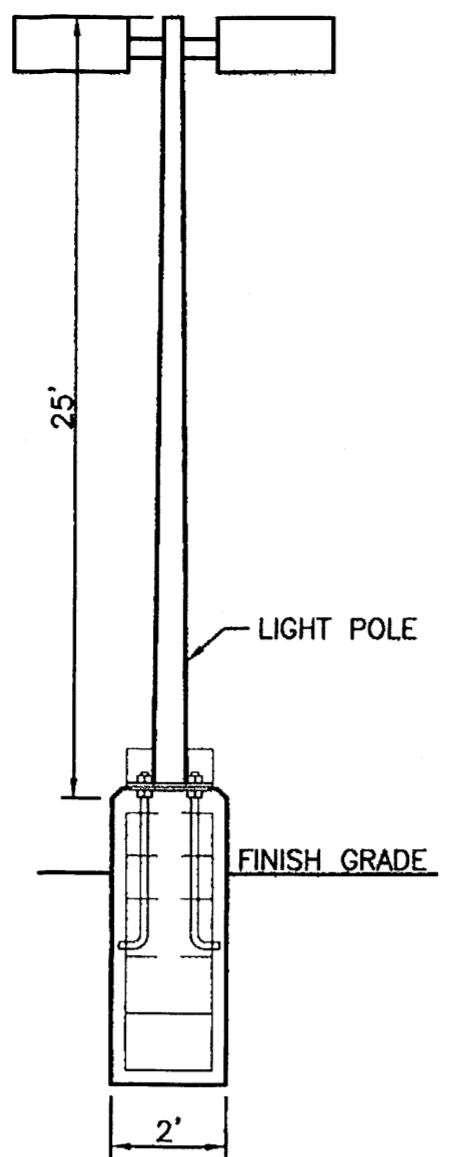
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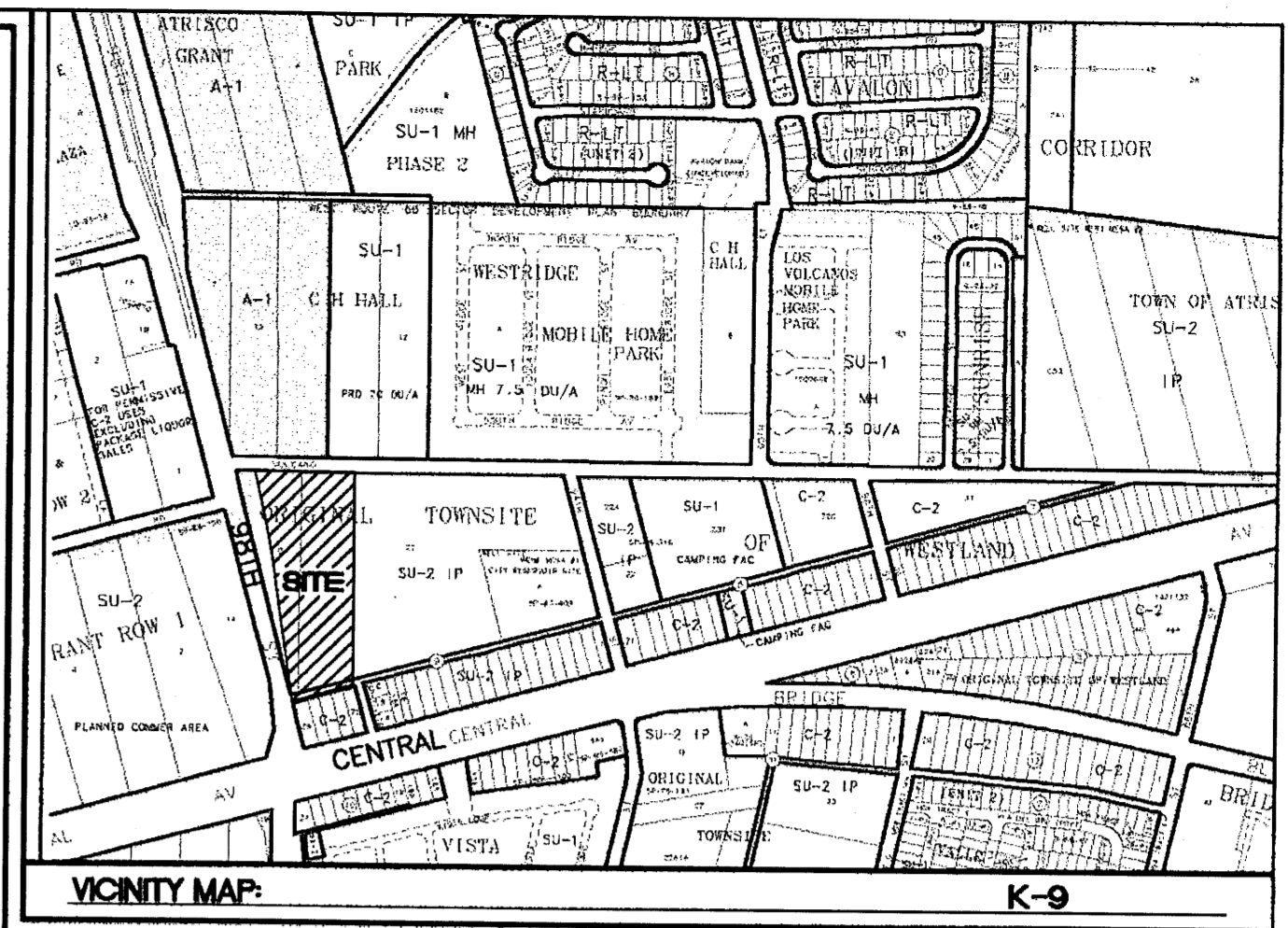
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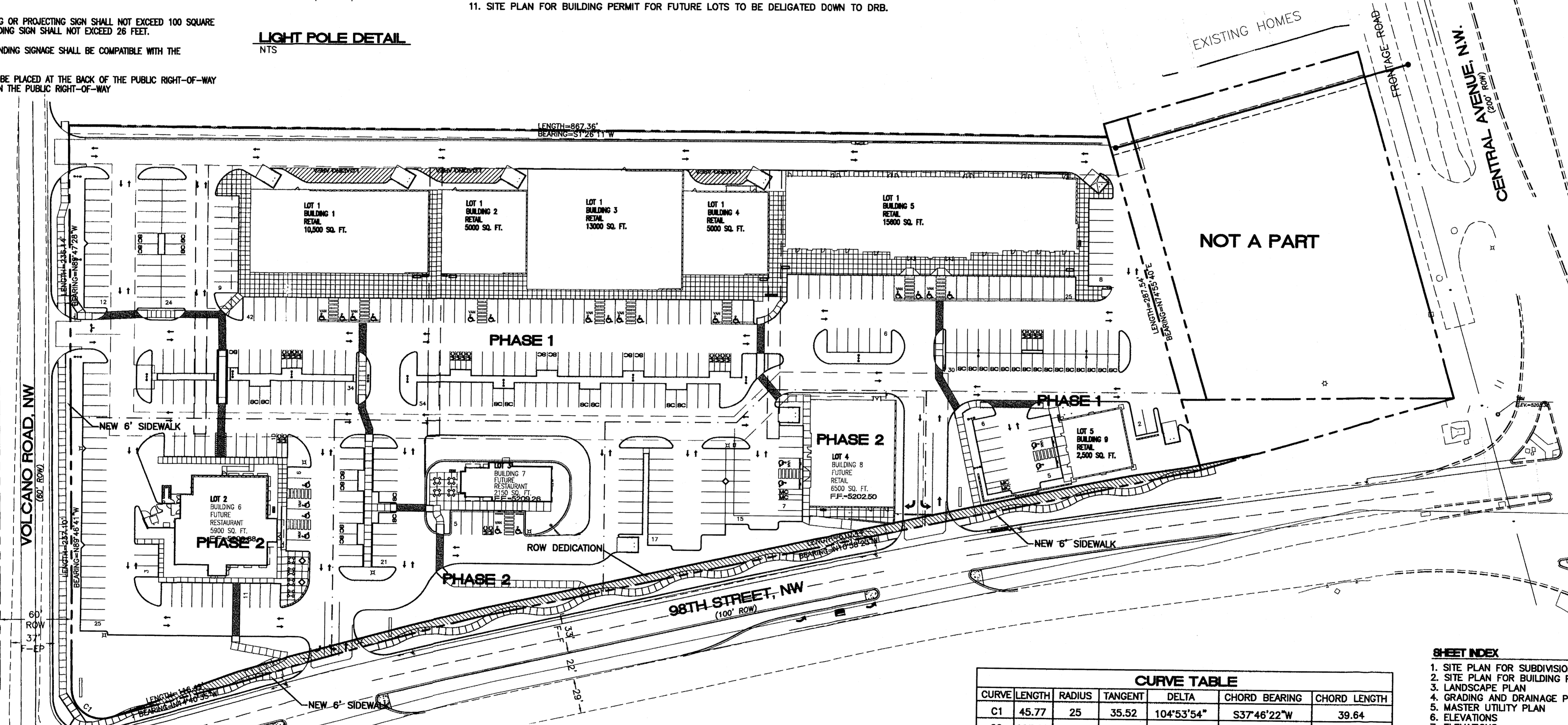
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<i>Christine Sandoval</i> Parks & Recreation Department	2/7/07	Date
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<i>Michael Halton</i> Solid Waste Management	7/5/07	Date
<i>B. Malcom</i> DRB Chairperson, Planning Department	7/5/07	Date

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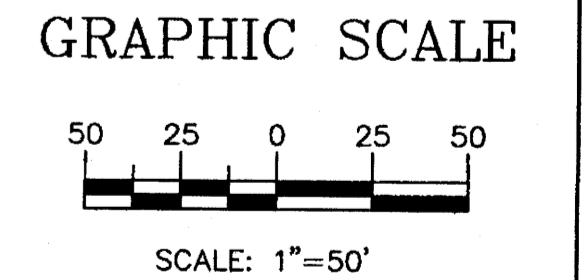
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	NORTHEAST CORNER OF 98TH AND CENTRAL	DRAWN BY EMT
	SITE PLAN FOR SUBDIVISION	DATE 2-5-07
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 2	JOB # 25066

