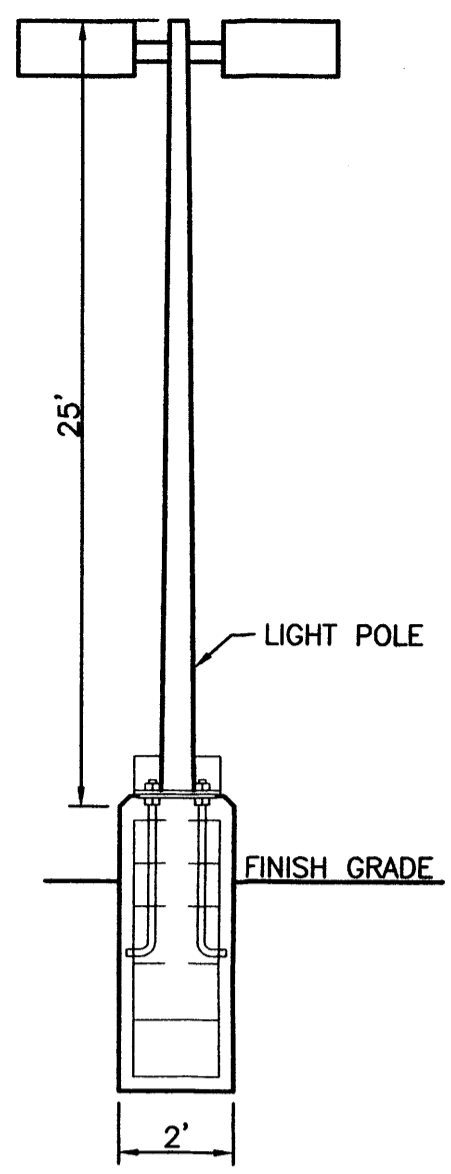


**NOTES**

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE SU-2 1P CITY ZONING CODE.
- THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
- BUS ROUTE 54 RUNS FROM 98TH STREET, NW TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, AND 4 TO BE DELEGATED TO DRB.



**LIGHT POLE DETAIL**  
NTS

**PROJECT NUMBER:** 1004354  
**APPLICATION NUMBER:** 21-00034

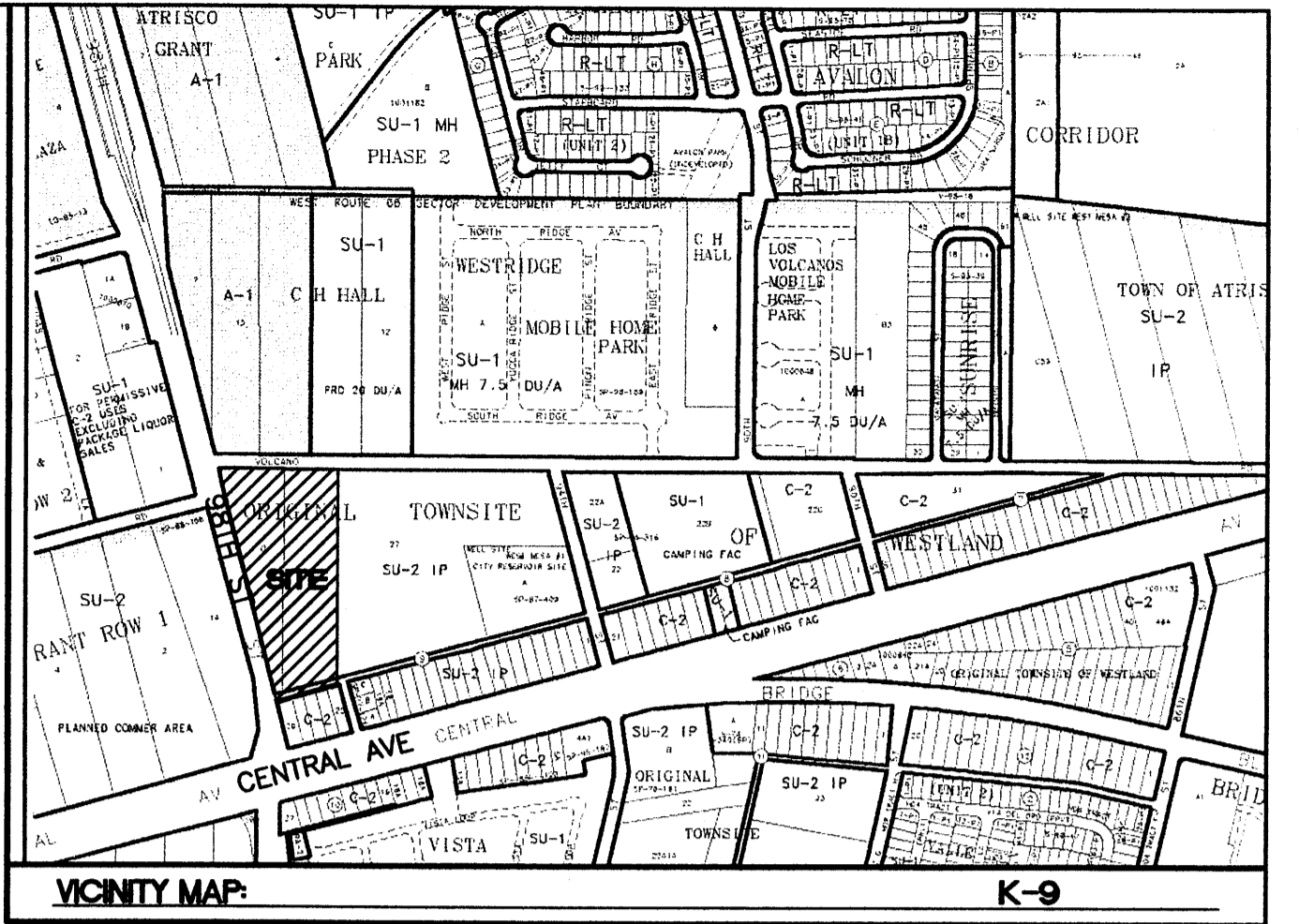
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required?  Yes  No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>John Doe</i> Traffic Engineer, Transportation Division	2-7-07 Date
<i>William J. Smith</i> Water Utility Development	2/7/07 Date
<i>Christina Sanders</i> Parks & Recreation Department	2/7/07 Date
<i>Brendly D. Brown</i> City Engineer	7/3/07 Date
<i>N/A</i> Environmental Health Department (conditional)	Date
<i>Michael Holton</i> Solid Waste Management	7/5/07 Date
<i>M. Motion</i> DRB Chairperson, Planning Department	7/25/07 Date

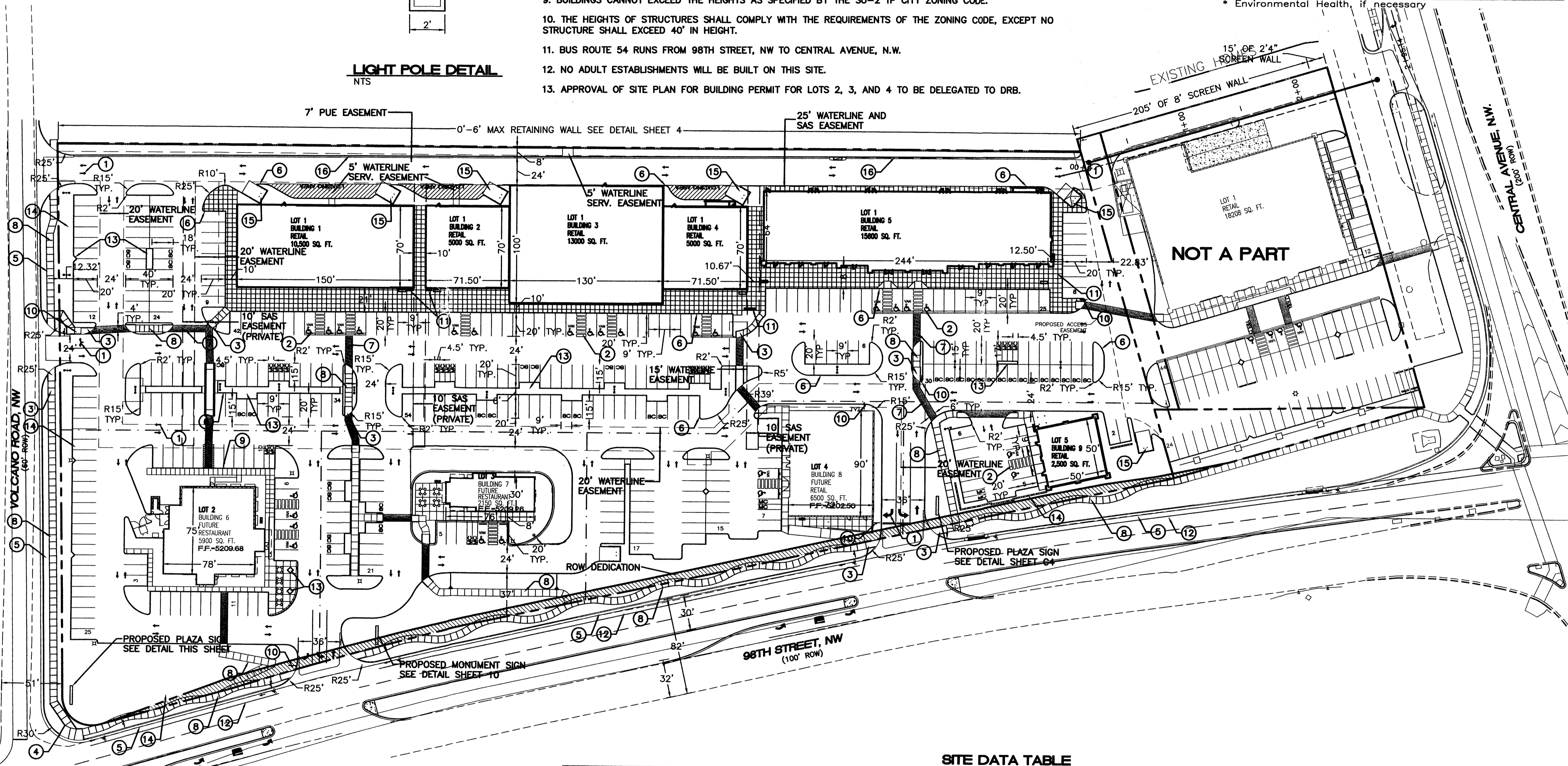
\* Environmental Health, if necessary



**VICINITY MAP:** K-9  
**LEGAL DESCRIPTION:** TRACT O ORIGINAL TOWNSITE OF WESTLAND

- LEGEND**
- BOUNDARY LINE
  - - - EASEMENT
  - ==== EXISTING CURB AND GUTTER
  - ==== CURB AND GUTTER
  - ==== SCREEN WALL
  - ==== RETAINING WALL
  - ==== PROPOSED SIDEWALK
  - ==== EXISTING BOUNDARY
  - ==== CROSSWALK
  - ==== BIKE RACK
  - ==== PARKING LOT LIGHTING
  - ==== BENCH
  - ==== ROW DEDICATION

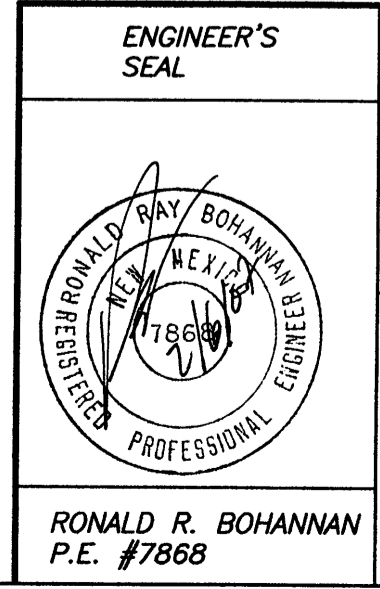
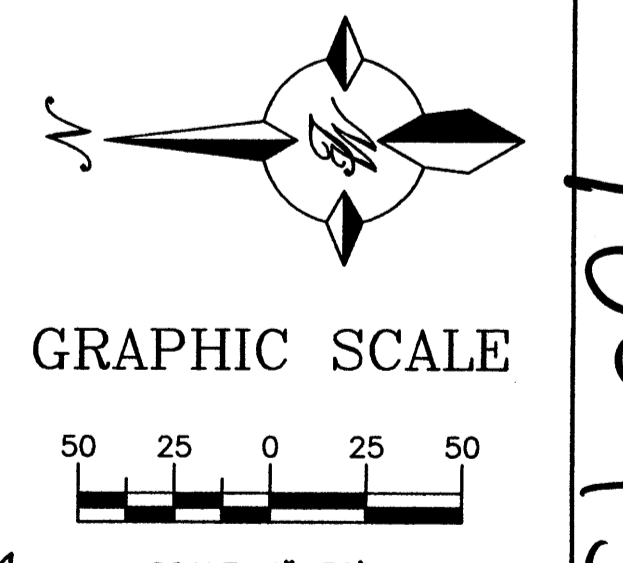
- KEYED NOTES:**
- PAINTED DIRECTIONAL ARROW TYPICAL.
  - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
  - UNIDIRECTIONAL HC RAMP.
  - PROPOSED HC RAMP PER COA STD DWG #2441.
  - 8" STANDARD CURB AND GUTTER PER COA STD DWG #2415A.
  - 6" CONCRETE HEADER CURB
  - 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK.
  - 6" CONCRETE SIDEWALK TYPICAL.
  - TRASH COMPACTOR
  - "STOP" SIGN. SEE PLAN FOR LOCATION.
  - 5 SPACE BIKE RACK TYPICAL.
  - NEW 6" BIKE PATH.
  - TREE PLANTER TYPICAL.
  - RETAINING WALL TAN CMU SEE SHEET 10.
  - DUMPSTER WITH ENCLOSURE SEE SHEET 10 FOR DETAILS.
  - 6" CONCRETE CURB AND GUTTER



**SITE DATA TABLE**

BUILDING	LOT NUMBER	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. HC PROV.	PRKG. HC REQ.	HC PRKG. PROV.	HC PRKG. REQ.	HC VAN PROV.	HC VAN REQ.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT
1	1	4.794	10,500	RETAIL	SU-2 IP	53		4	4	1	2	2	2	5	3	4	0.15	0.35	40'
2			5,000	RETAIL	SU-2 IP	25		1	2	1	1	2	3	5	1	2	0.15	0.35	40'
3			13,000	RETAIL	SU-2 IP	65	249	4	4	1	2	3	5	3	4	0.15	0.35	40'	
4			5,000	RETAIL	SU-2 IP	25		1	2	1	1	2	5	1	2	0.15	0.35	40'	
5			15,600	RETAIL	SU-2 IP	78		4	4	1	2	3	5	3	4	0.15	0.35	40'	
6	2	1.146	5,900	RESTAURANT	SU-2 IP	48	50	3	4	1	2	2	5	2	2	0.15	0.35	40'	
7	3	0.870	2,150	RESTAURANT	SU-2 IP	18	21	1	2	1	1	2	5	1	2	0.15	0.35	40'	
8	4	0.791	6,500	RETAIL	SU-2 IP	33	39	2	2	1	1	2	5	2	2	0.15	0.35	40'	
9	5	0.450	2,500	RETAIL	SU-2 IP	13	13	1	2	1	1	2	5	1	2	0.15	0.35	40'	
TOTAL	6	8.051	68,550			358	372	21	26	9	13	17	45	16	24				

\*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS



**KRANIA**  
**NORTHEAST CORNER OF 98TH AND CENTRAL**  
**SITE PLAN FOR BUILDING PERMIT**

ENGINEER'S SEAL: RONALD R. BOHANNAN, P.E. #17868

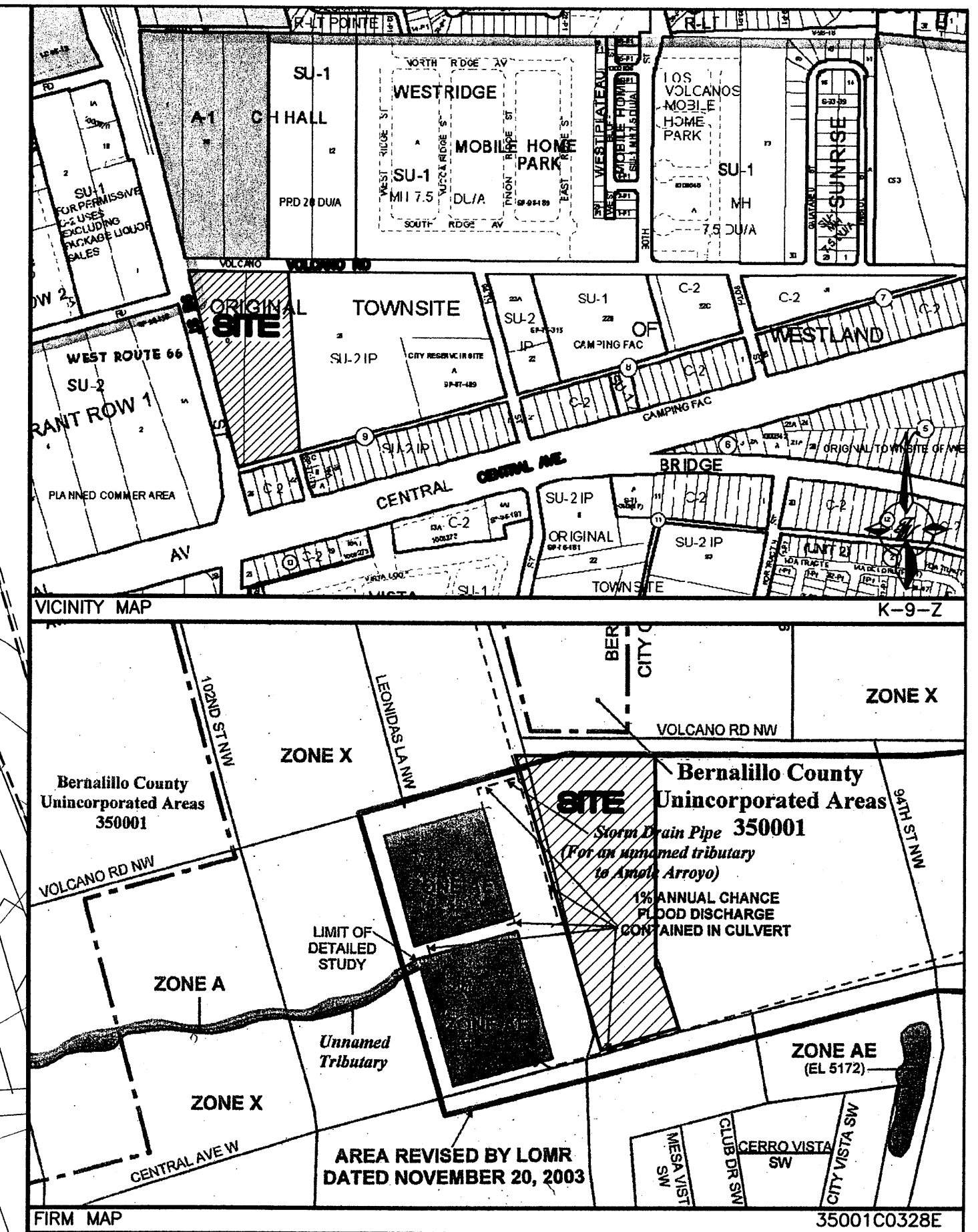
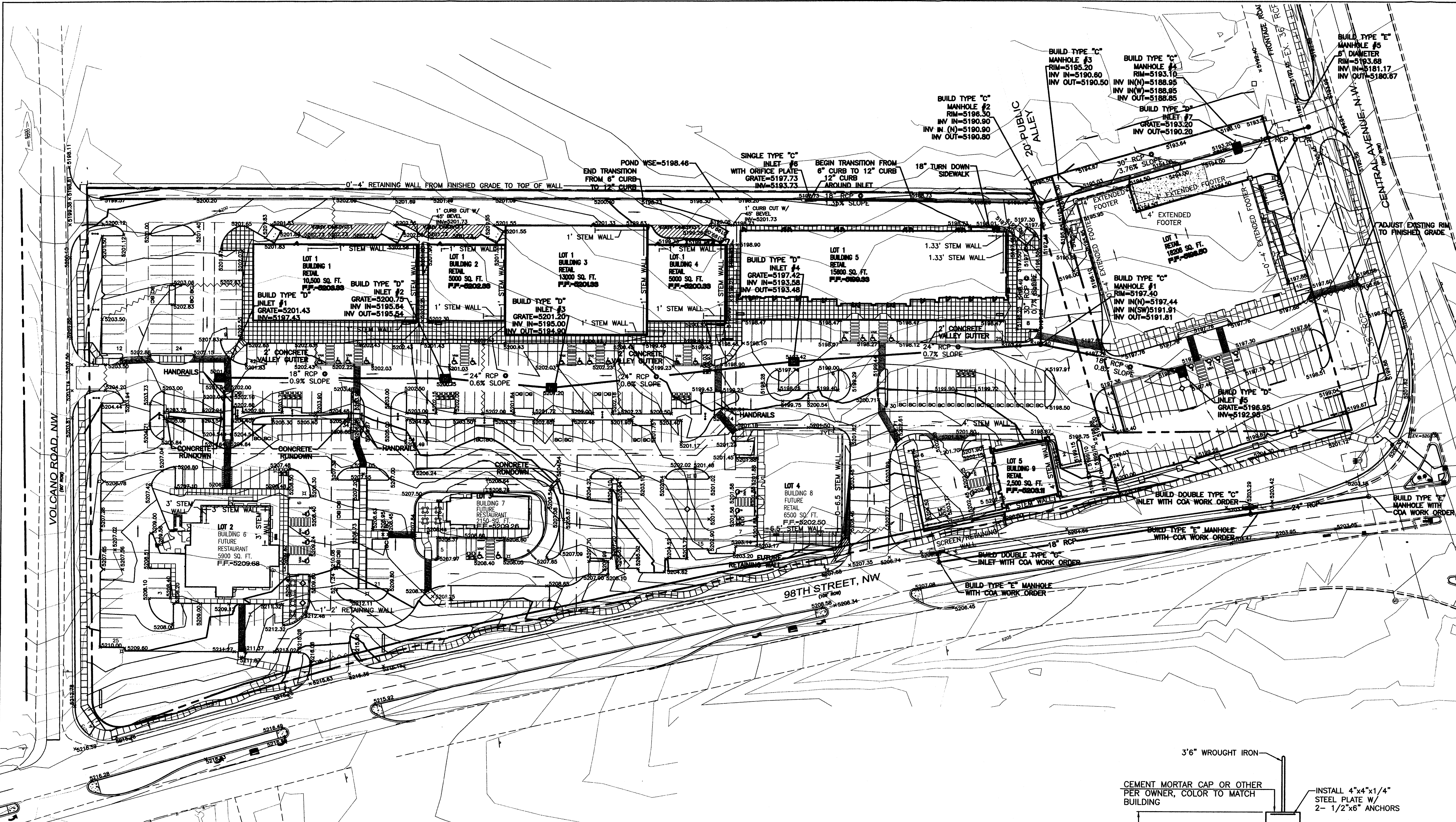
DRAWN BY: EMT  
 DATE: 2-5-07  
 2566-SPB.dwg

SHEET # **2**

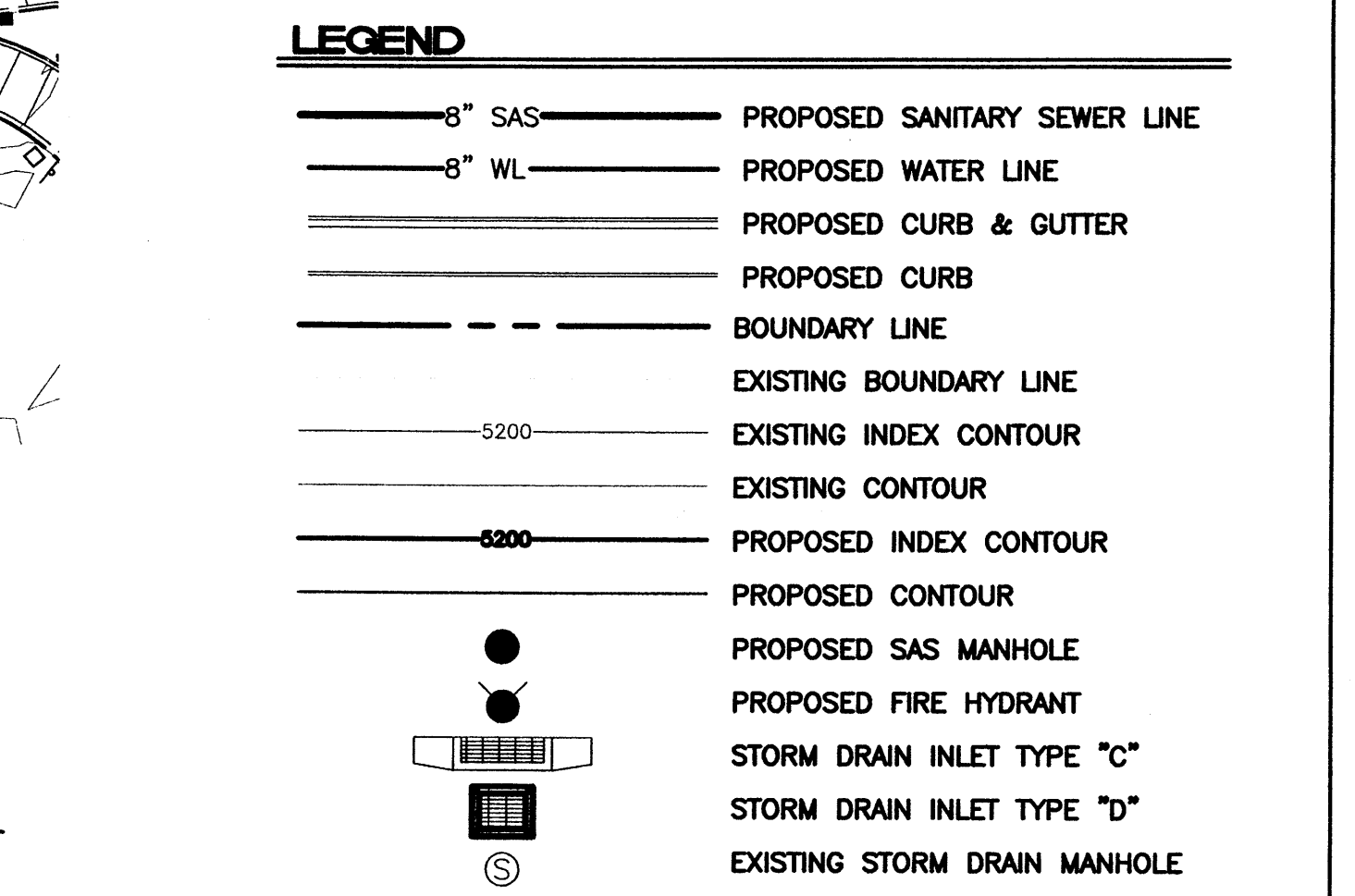
TERRA WEST, LLC  
 8509 JEFFERSON NE  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)858-3100

JOB # 25066

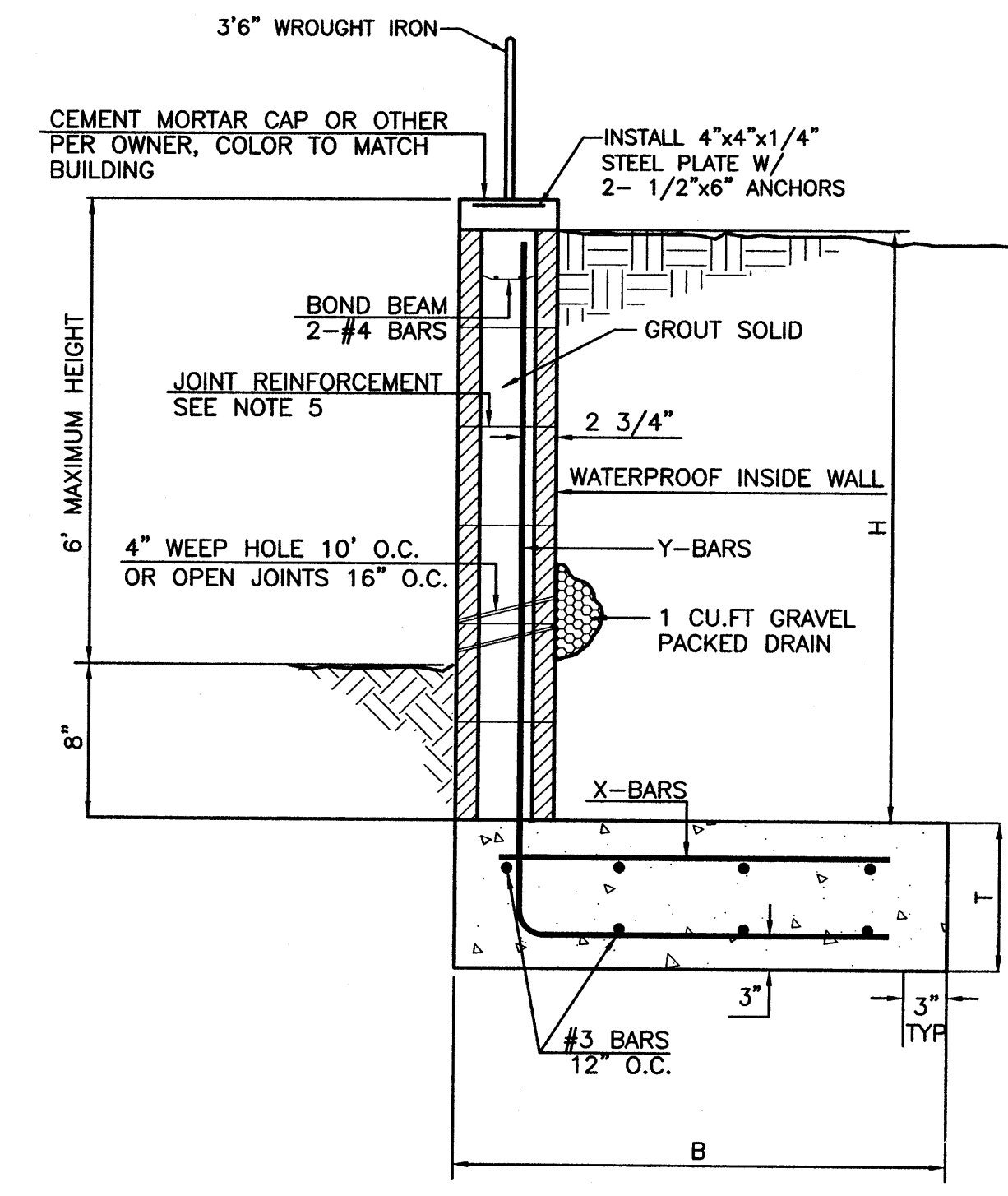
1004354



**LEGAL DESCRIPTION:**  
 LOTS 22 THRU 26 AND PORTION OF LOT 27, BLOCK 9 AND TRACT 0, ORIGINAL TOWNSITE OF WESTLAND, BERNALLILO COUNTY, NEW MEXICO



- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
  - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
  - 30 BAR DIAMETER LAPS TYPICAL.
  - DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
  - OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
  - OWNER TO SELECT MASONRY COLOR AND/OR FINISH
  - SOLID MASONRY CAP COURSE TYPICAL.
  - WATER PROOF WALL.

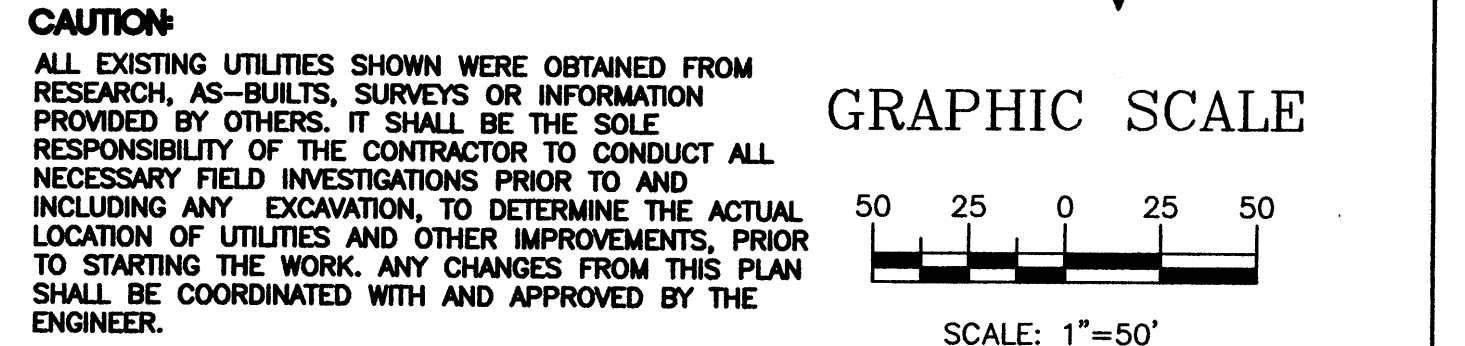


8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.

**EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.

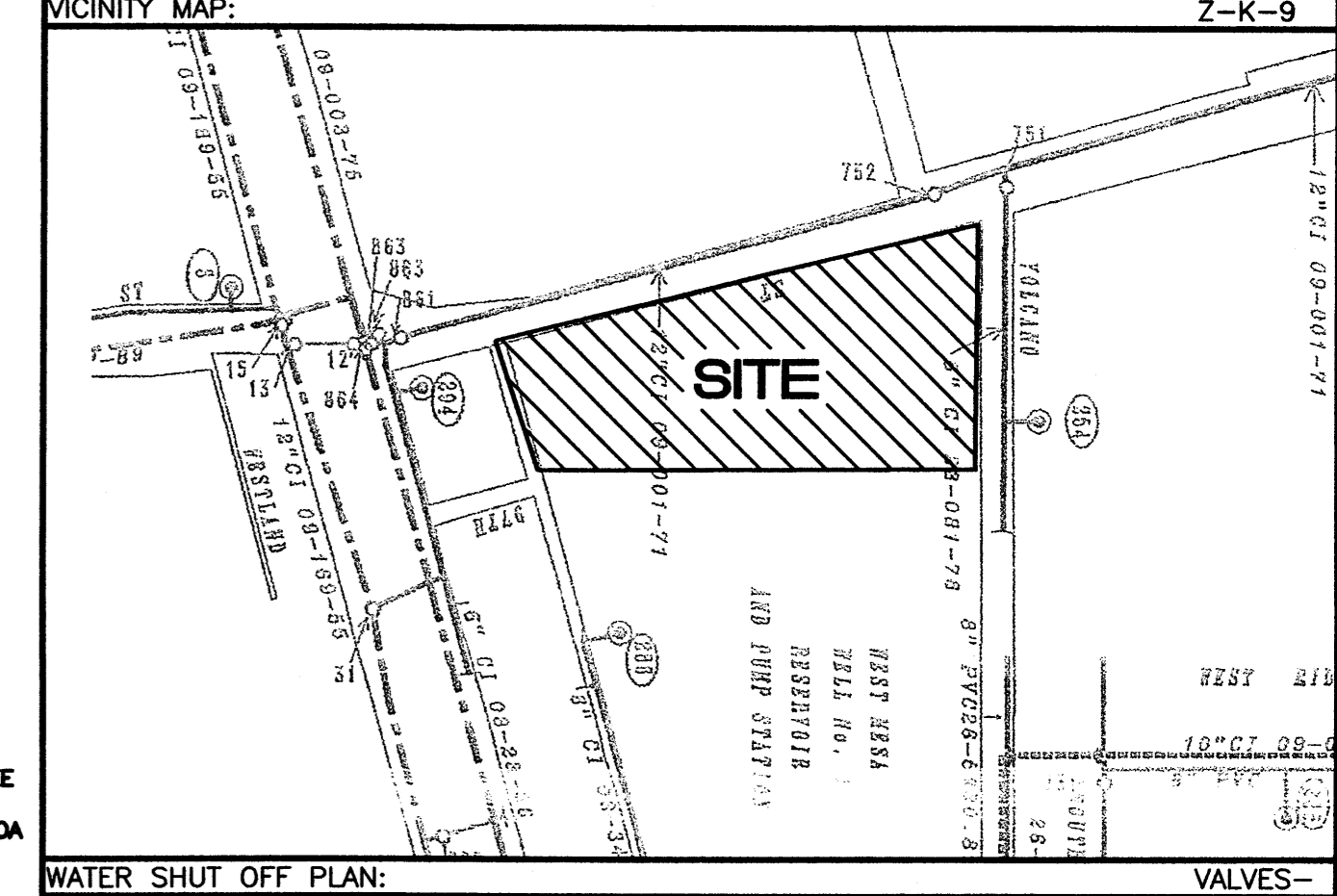
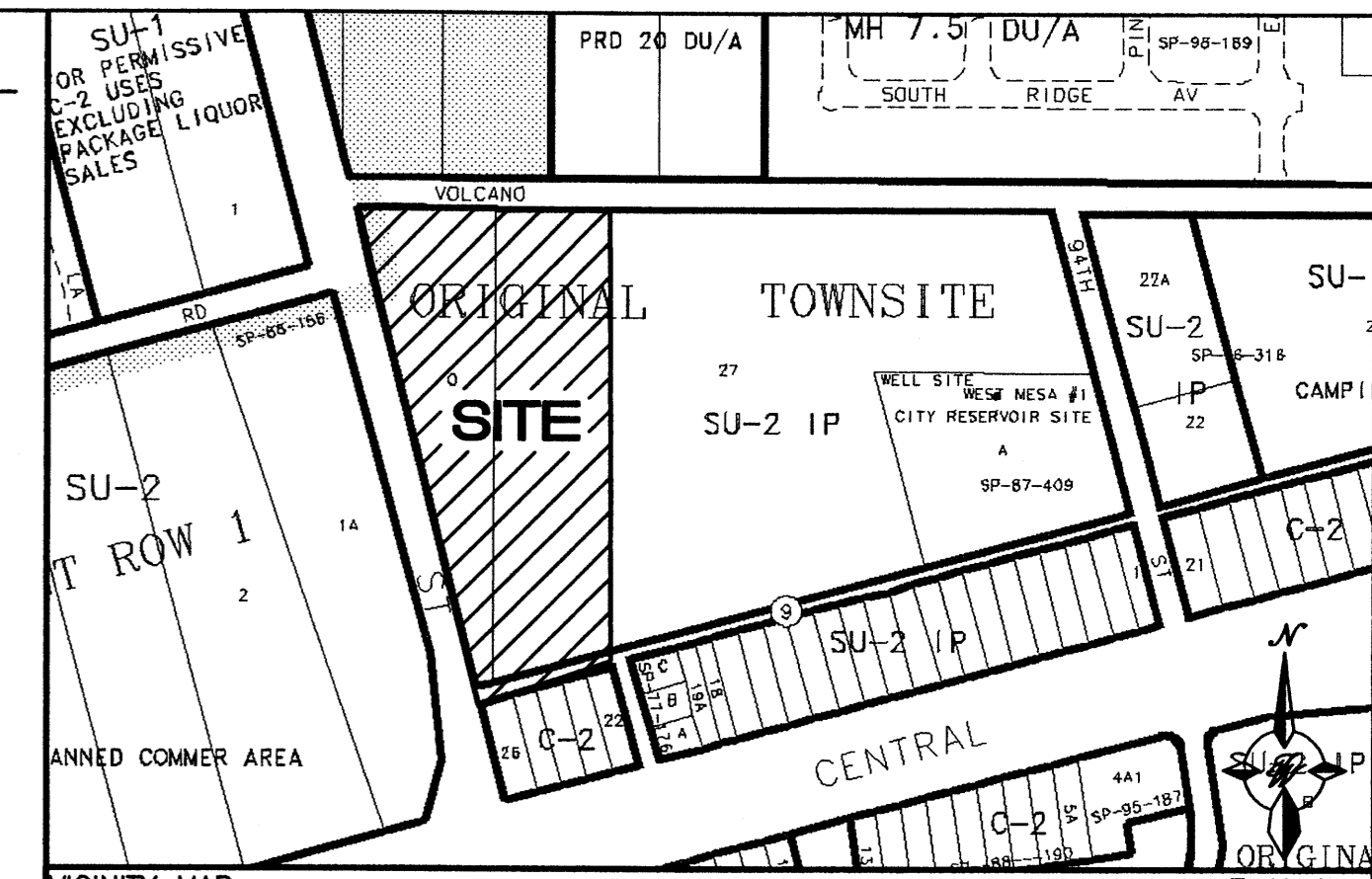


	<b>ENGINEER'S SEAL</b> NORTHEAST CORNER OF 98TH AND CENTRAL <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY EMT DATE 2-5-07 2566-GRB.dwg
	SHEET # <b>4</b> JOB # 25066	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100

**"L" FOOTING RETAINING WALL DETAIL**  
 NTS

**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. THERE SHALL BE NO DIRECT CONNECTION TO CITY WATER SYSTEM. ALL CONNECTIONS ARE TO BE MADE THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE OF SUFFICIENT SIZE TO MEET THE FLUSHING STANDARDS. A FLUSHING SCHEME SHALL BE PROVIDED BY THE CONTRACTOR TO OUR OFFICE DEMONSTRATING THE REQUIRED VOLUME AND FLOW WILL CLEAN THE LINES.



**LEGEND**

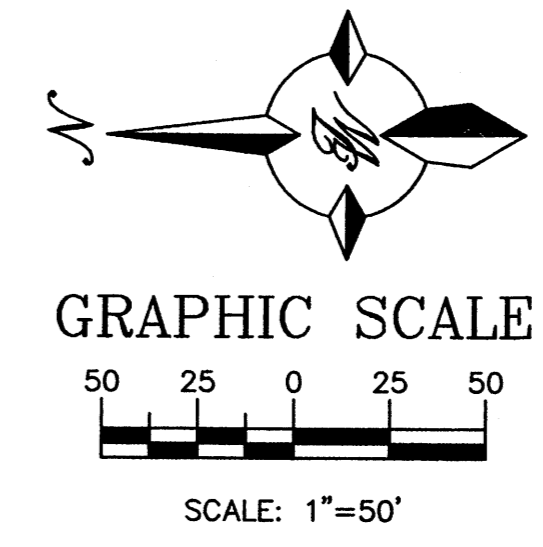
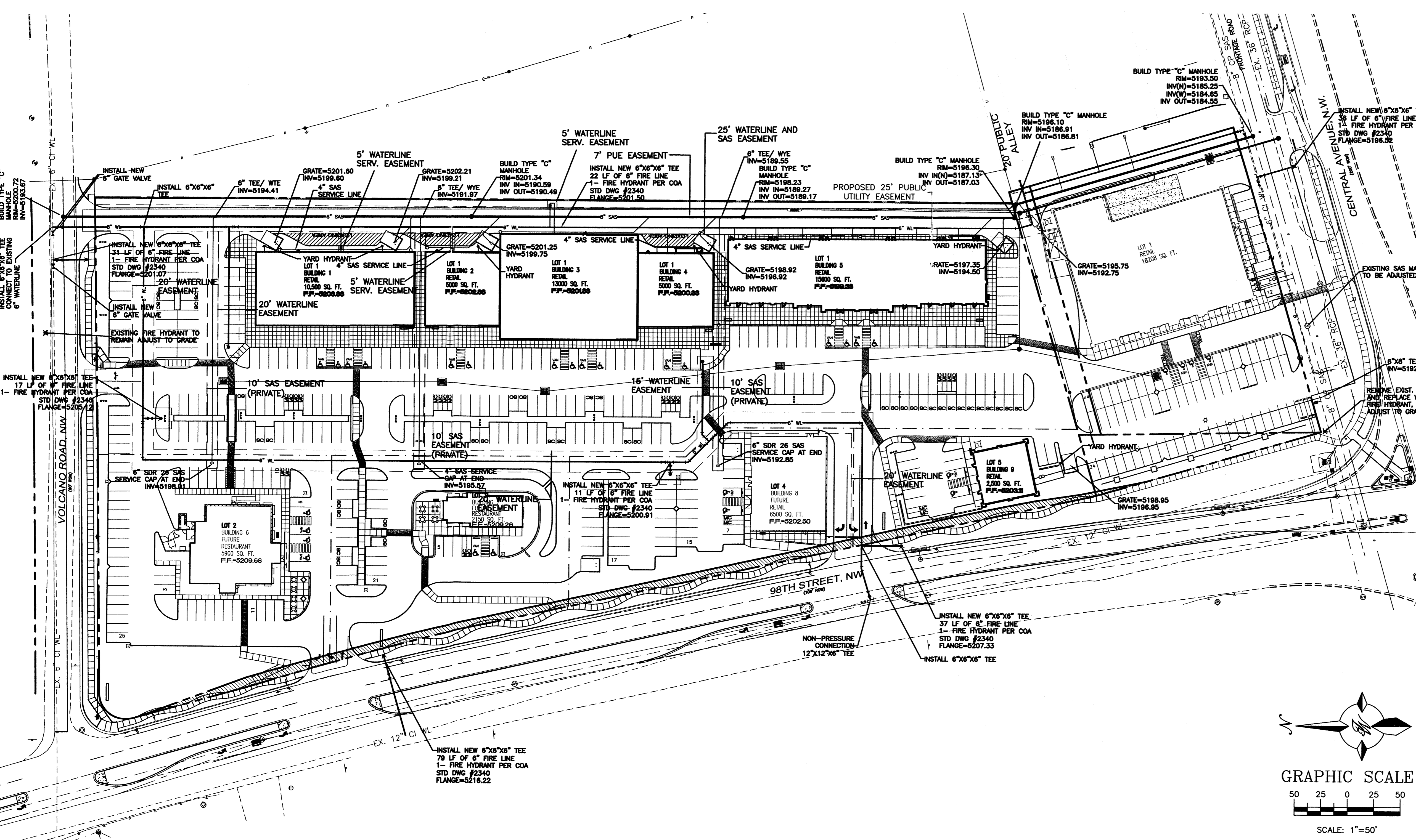
- - - - - EX. 8" SAS - - - - - EXISTING SANITARY SEWER LINE
- - - - - EX. 16" WL - - - - - EXISTING WATER LINE
- - - - - 8" SAS - - - - - PROPOSED SANITARY SEWER LINE
- - - - - 8" WL - - - - - PROPOSED WATER LINE
- - - - - PROPOSED CURB & GUTTER
- - - - - BOUNDARY LINE
- - - - - EXISTING BOUNDARY LINE
- - - - - PROPOSED SAS MANHOLE
- - - - - PROPOSED FIRE HYDRANT
- - - - - STORM DRAIN INLET
- - - - - DOUBLE CLEAN OUTS
- - - - - PROPOSED LIGHT POLE

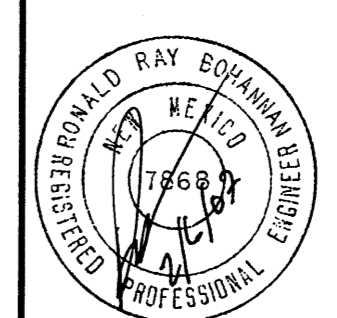
**GENERAL NOTES:**

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. 3/4" FROST PROOF YARD HYDRANTS TYPICAL AT ALL DUMPSTER LOCATIONS. MINIMUM 3' BURY.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
9. REFER TO PLUMBING PLANS FOR EXACT WATER AND SEWER SERVICES TO BUILDING.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL  RONALD R. BOHANNON P.E. #7868	<b>98TH AND CENTRAL</b>	DRAWN BY EMT
	<b>MASTER UTILITY PLAN</b>	DATE 2-5-07
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2566-MUB.dwg	SHEET # <b>5</b>
		JOB # 25066

**KEYED NOTES**

1. QUEEN SIZE BRICK, COLOR: MEDIUM BRICK RED
2. QUEEN SIZE BRICK, SOLDIER COURSE, COLOR: MEDIUM BRICK RED
3. ROOF PARAPET WITH METAL CAP FLASHING, COLOR: GALVALUM
4. PILASTER WITH METAL CAP, COLOR: GALVALUM
5. ALUMINUM STOREFRONT
6. STEEL CANOPY, COLOR: GALVALUM, STEEL CANOPY BRACKETS, COLOR: MEDIUM RED TO MATCH BRICK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. WALL PACK
10. GRANITE TILE INLAY, COLOR: TAN
11. CONTROL JOINT
12. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
13. BUILDING MOUNTED SIGN, COLOR: NEUTRAL COLORS TO BE APPROVED BY LANDLORD
14. 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
15. GUTTER, COLOR: TO MATCH GALVALUM
16. DOWNSPOUT/OUTLET, COLOR: TO MATCH GALVALUM
17. DOWNSPOUT/OUTLET SLEEVE, COLOR: TO MATCH GALVALUM
18. FINISH FLOOR LINE
19. QUEEN SIZE BRICK, COLOR: TAN

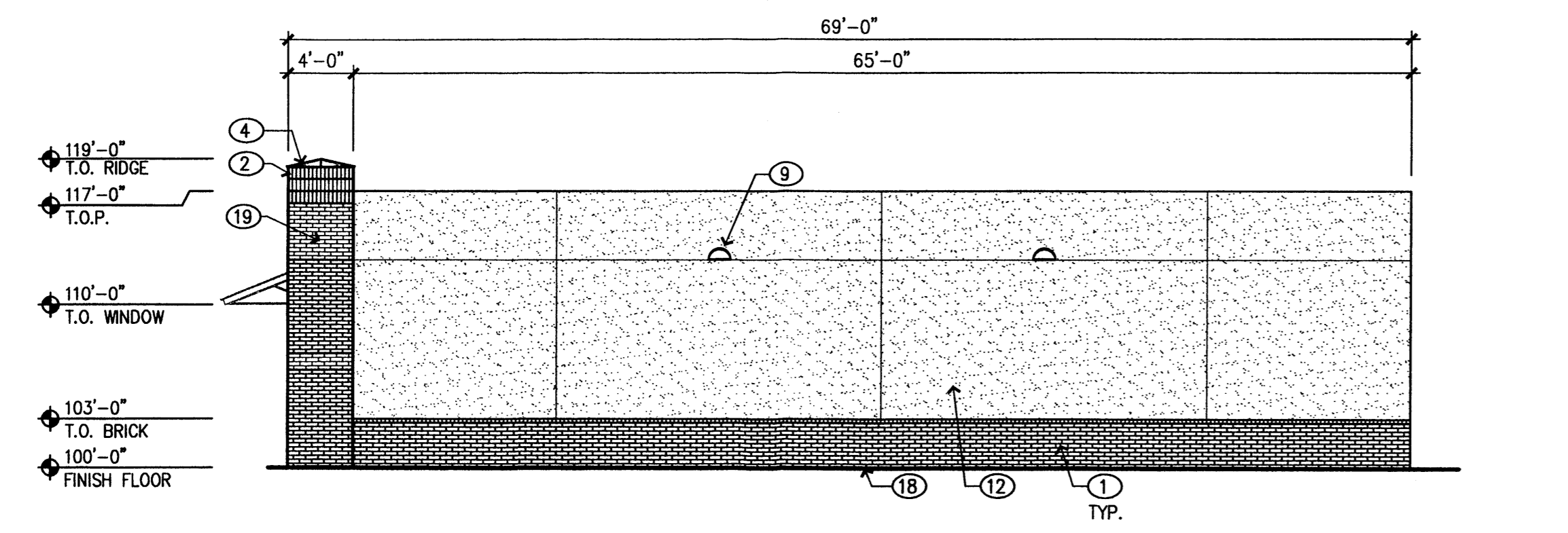
**SIGNAGE**

1. LARGE SIGNAGE TOTAL AREA: 42sf
2. SMALL SIGNAGE TOTAL AREA: 25sf

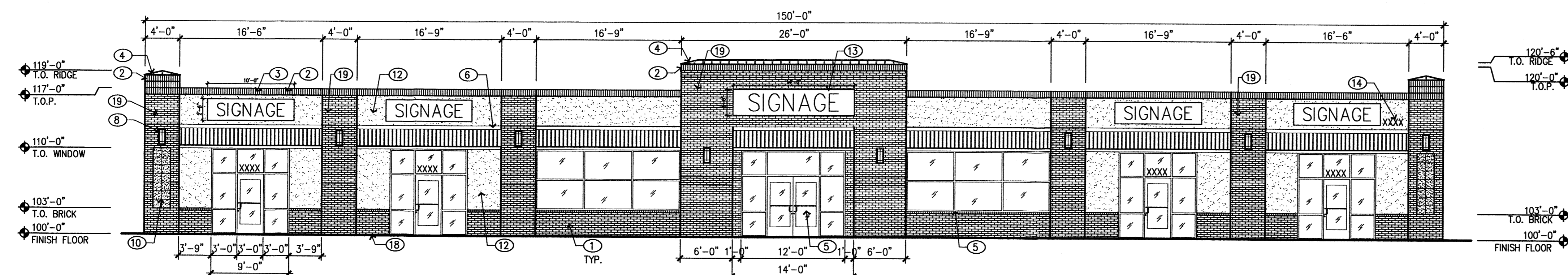
**Pad Site Design Standards**

The pad sites for this development will be developed separately from the six main buildings that are fully described herein. To provide consistency in quality across the entire site, the following design standards shall be applied to the future development of the pad sites. These standards shall be enforceable by the Development Review Board. The creation of a quality architectural environment is a primary goal of these design standards.

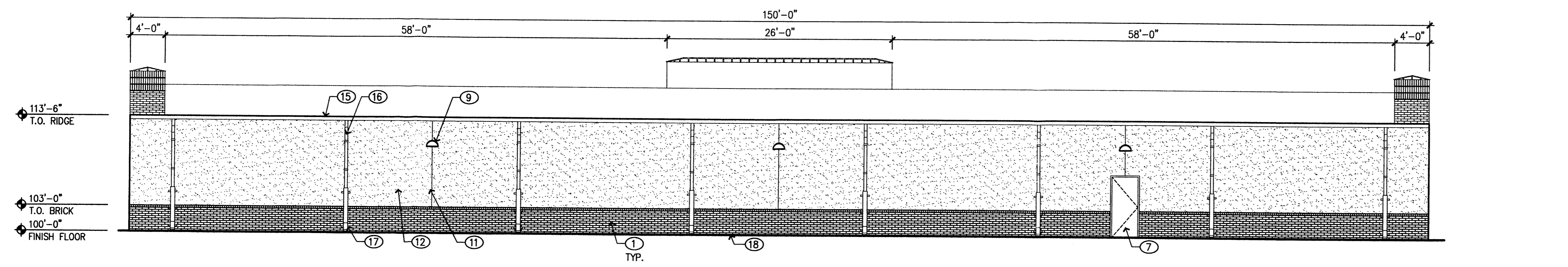
1. Pad development shall conform to the requirements stated in the City of Albuquerque Zone Code.
2. Building materials and colors shall be the same as those used on the main buildings, with similar detailing of wall surfaces, pilasters, awnings, and fenestration. Alternative materials of similar quality may be considered by the DRB, but approval is at their discretion.
3. Accent colors for trim may be based on those used on the main buildings, but may also be based on the corporate branding colors of the pad occupants.
4. Buildings shall have equal architectural emphasis on all sides, including service areas, unless screened with walls having the same design elements as the buildings.
5. Service areas shall be screened with walls having the same design elements and materials as the buildings.
6. Entrance areas shall be shaded by awnings or portals to provide shelter for patrons entering the buildings.
7. Restaurants shall provide plazas or outdoor dining areas with a minimum dimension of 15' and a minimum area of 300 square feet. These areas shall be shaded by building elements or shade trees, and shall have seating in the form of benches or outdoor dining furniture.
8. Consistency in lighting design is a primary goal of these design standards. In order to enhance security and visual aesthetics, careful consideration of site lighting design is required to maximize public safety while minimizing glare both on site and on adjacent properties. Lighting design shall comply with the City of Albuquerque Zoning Code, Section 14-16-3-9, Area Lighting Regulations, and the State Statute on Dark Skies. Parking area lighting shall be provided with fixtures of a similar design, color and height for all tracts within the development. Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Light poles shall be a maximum height of 25'. Light poles within 100' of residential zoning shall be limited to 16' high.
9. Signage: The goal is to provide consistency in appearance and quality and complements the visual character of the development. All signs shall comply with section 14-16-3-5 General Sign Regulations of the Comprehensive Zoning Code. Building mounted signs shall not exceed six percent of the facade area on which they are mounted.
10. Signage: The use of neon in signs and as architectural decoration on the buildings is encouraged.



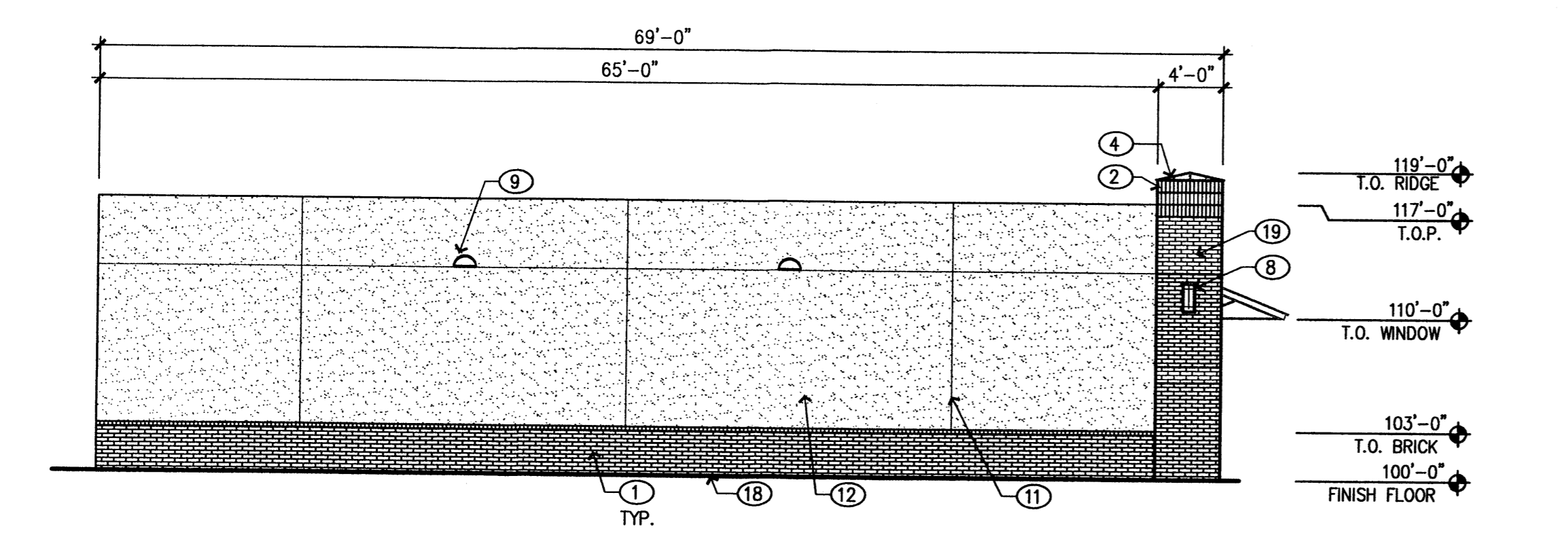
**1 SOUTH ELEVATION  
LOOKING NORTH**  
1/8" = 1'-0"



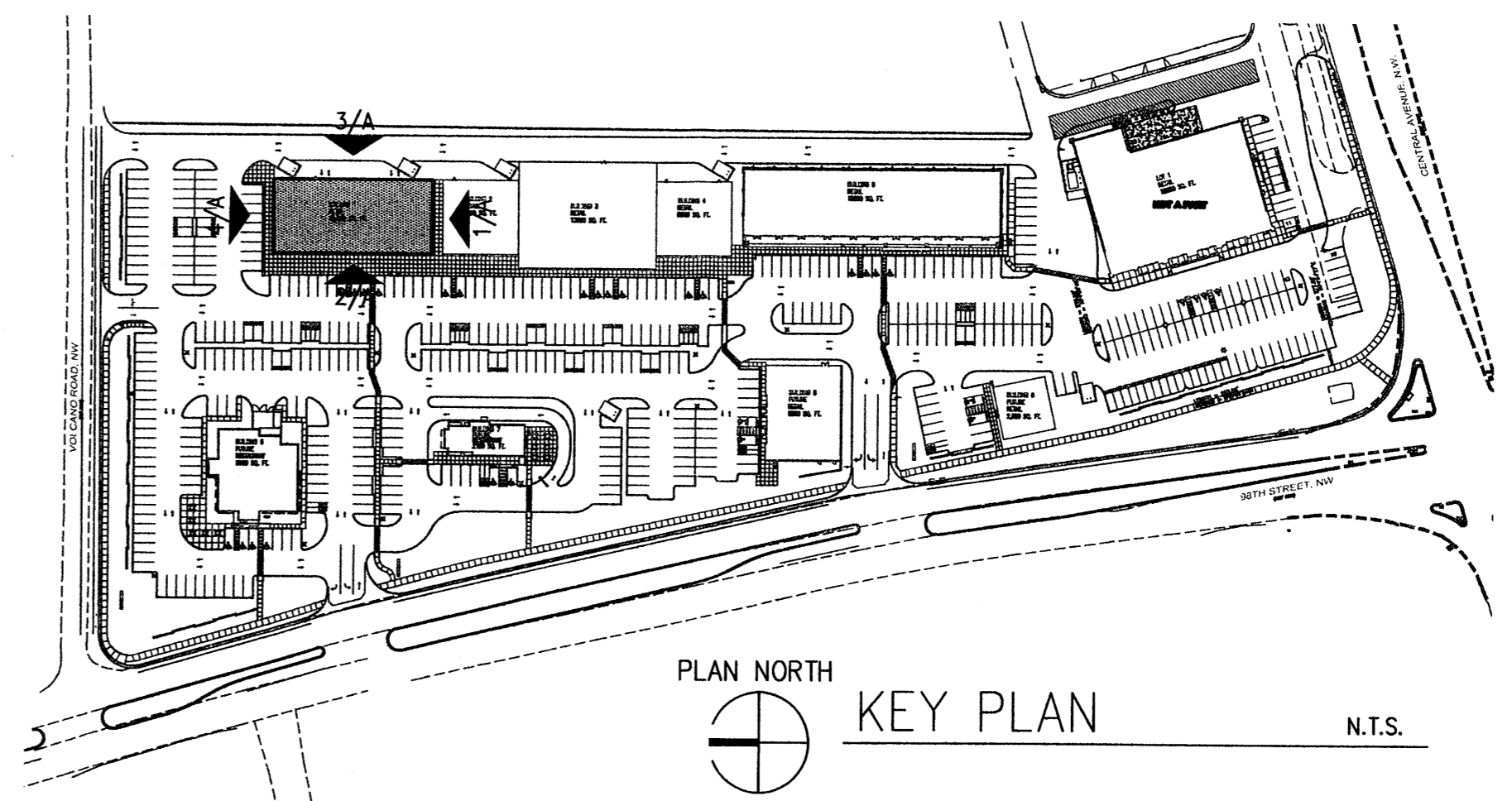
**2 WEST ELEVATION  
LOOKING EAST**  
1/8" = 1'-0"



**3 EAST ELEVATION  
LOOKING WEST**  
1/8" = 1'-0"



**4 NORTH ELEVATION  
LOOKING SOUTH**  
1/8" = 1'-0"



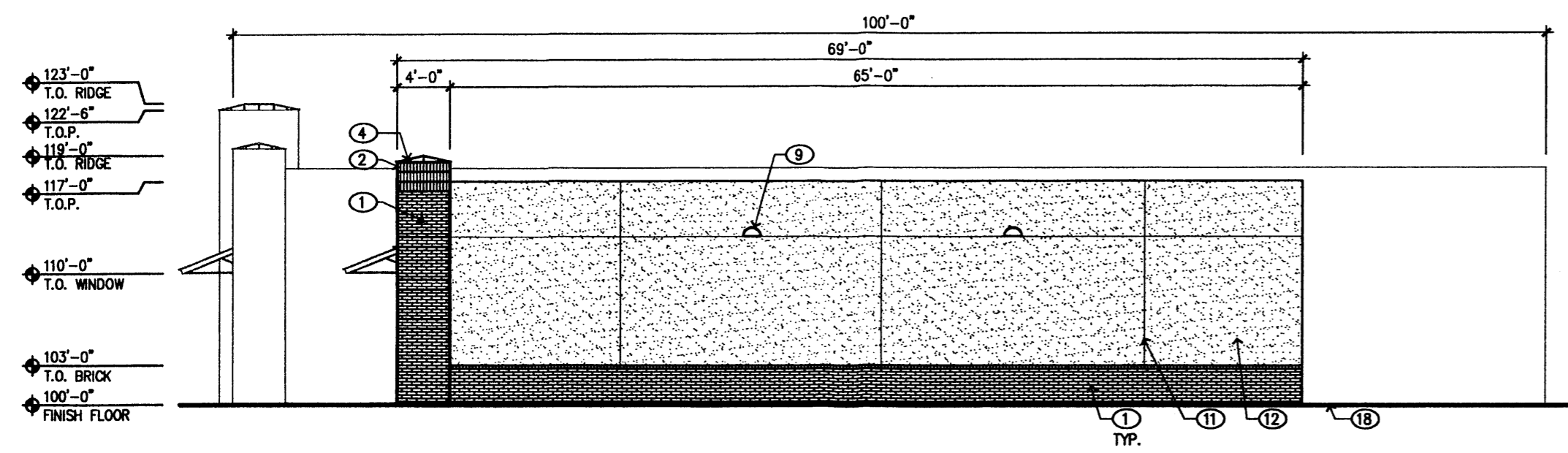
PLAN NORTH  
**KEY PLAN**  
N.T.S.

**KEYED NOTES**

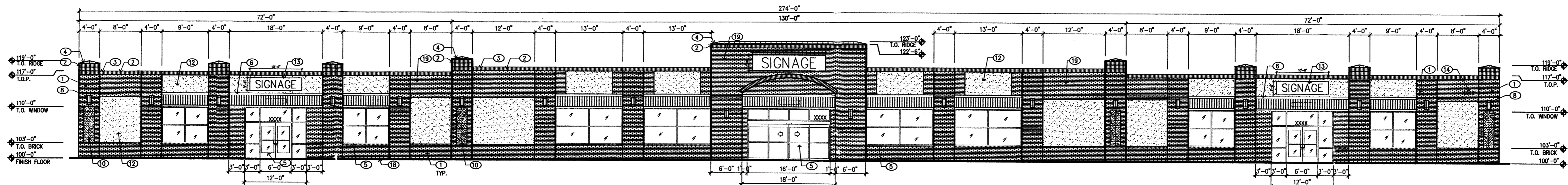
1. QUEEN SIZE BRICK, COLOR: MEDIUM BRICK RED
2. QUEEN SIZE BRICK, SOLDIER COURSE, COLOR: MEDIUM BRICK RED
3. ROOF PARAPET WITH METAL CAP FLASHING, COLOR: GALVALUM
4. PILASTER WITH METAL CAP, COLOR: GALVALUM
5. ALUMINUM STOREFRONT
6. STEEL CANOPY, COLOR: GALVALUM, STEEL CANOPY BRACKETS, COLOR: MEDIUM RED TO MATCH BRICK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. WALL PACK
10. GRANITE TILE INLAY, COLOR: TAN
11. CONTROL JOINT
12. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
13. BUILDING MOUNTED SIGN, COLOR: NEUTRAL COLORS TO BE APPROVED BY LANDLORD
14. 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
15. GUTTER, COLOR: TO MATCH GALVALUM
16. DOWNSPOUT/OUTLET, COLOR: TO MATCH GALVALUM
17. DOWNSPOUT/OUTLET SLEEVE, COLOR: TO MATCH GALVALUM
18. FINISH FLOOR LINE
19. QUEEN SIZE BRICK, COLOR: TAN

**SIGNAGE**

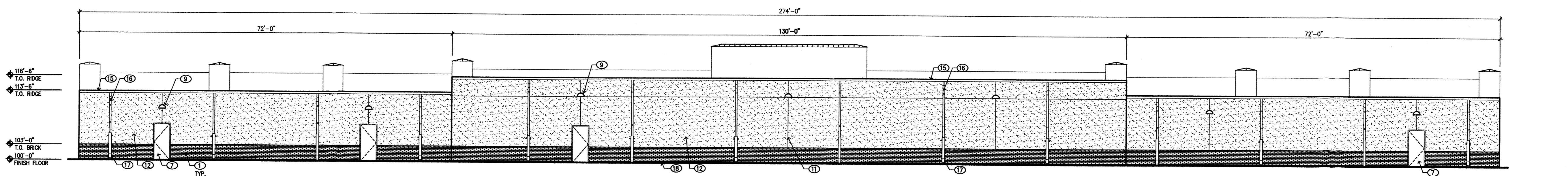
1. LARGE SIGNAGE TOTAL AREA: 42sf
2. SMALL SIGNAGE TOTAL AREA: 25sf



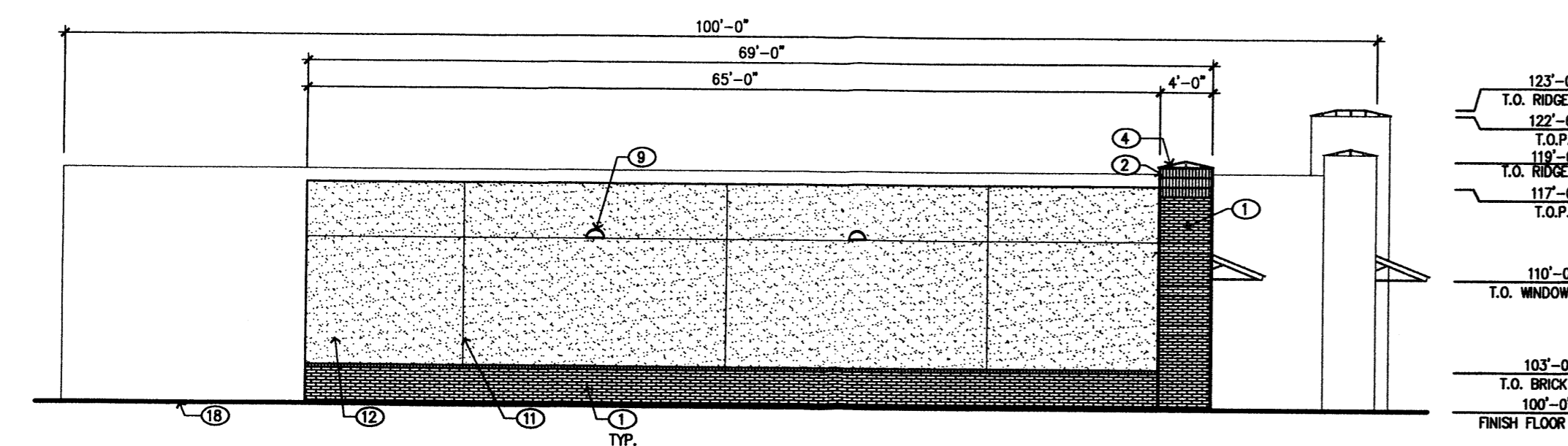
**1 SOUTH ELEVATION  
LOOKING NORTH**



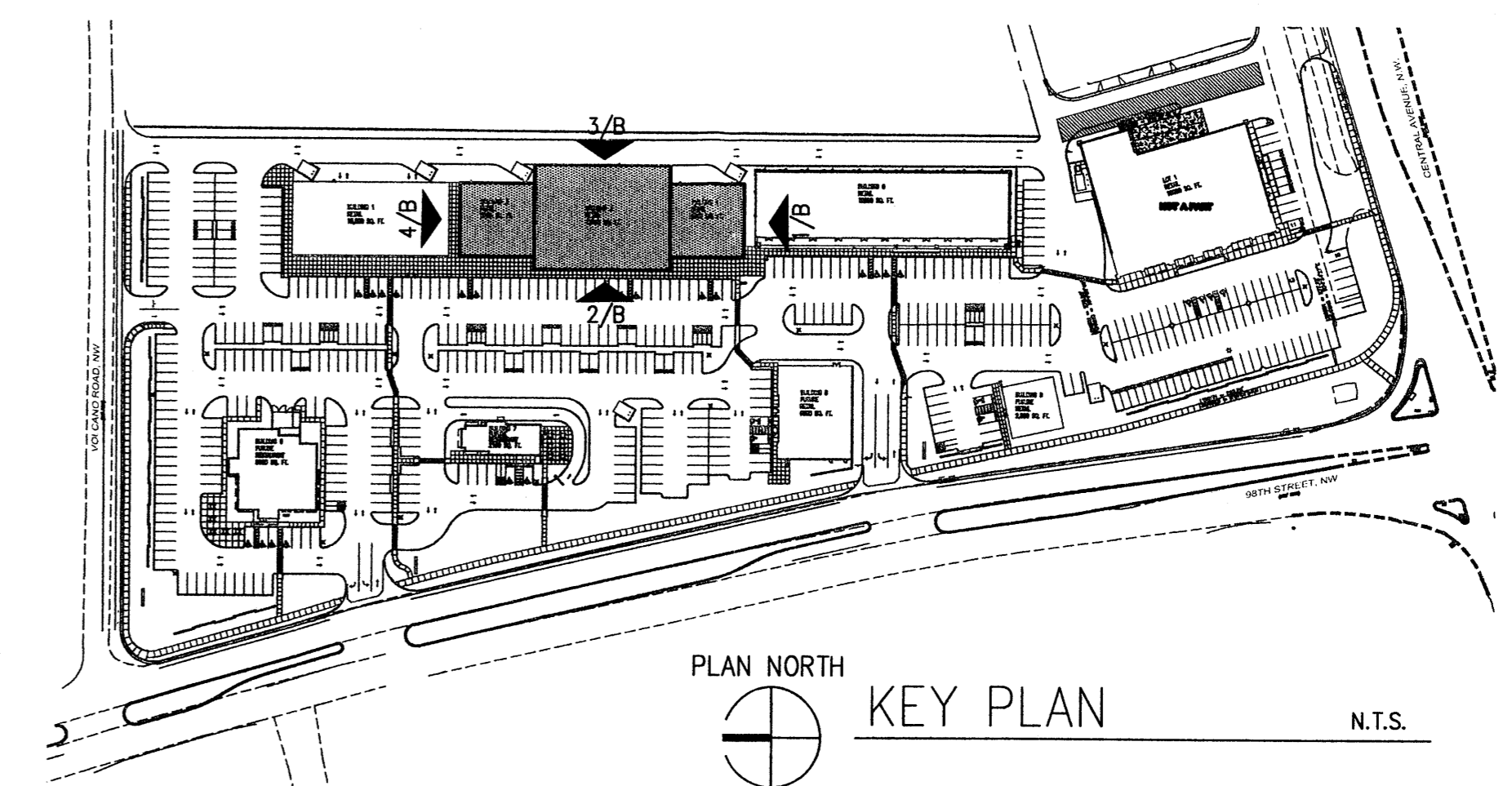
**2 WEST ELEVATION  
LOOKING EAST**



**3 EAST ELEVATION  
LOOKING WEST**



**4 NORTH ELEVATION  
LOOKING SOUTH**



**PLAN NORTH  
KEY PLAN**

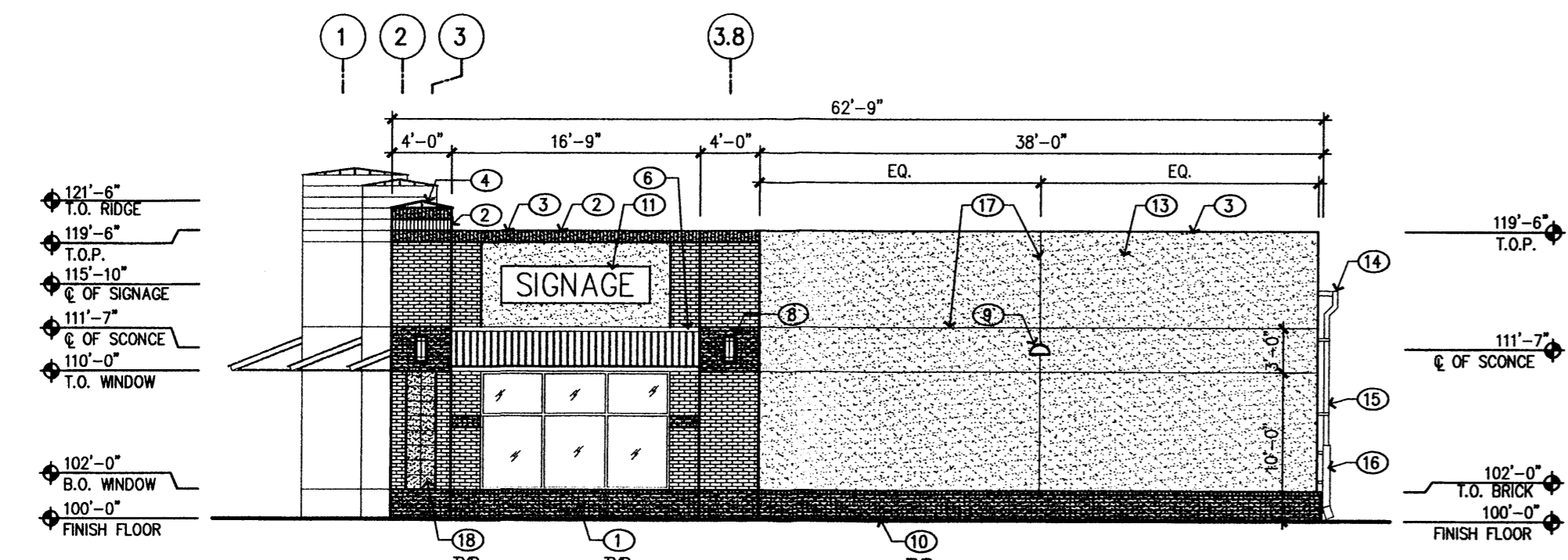
N.T.S.

**GENERAL NOTES**

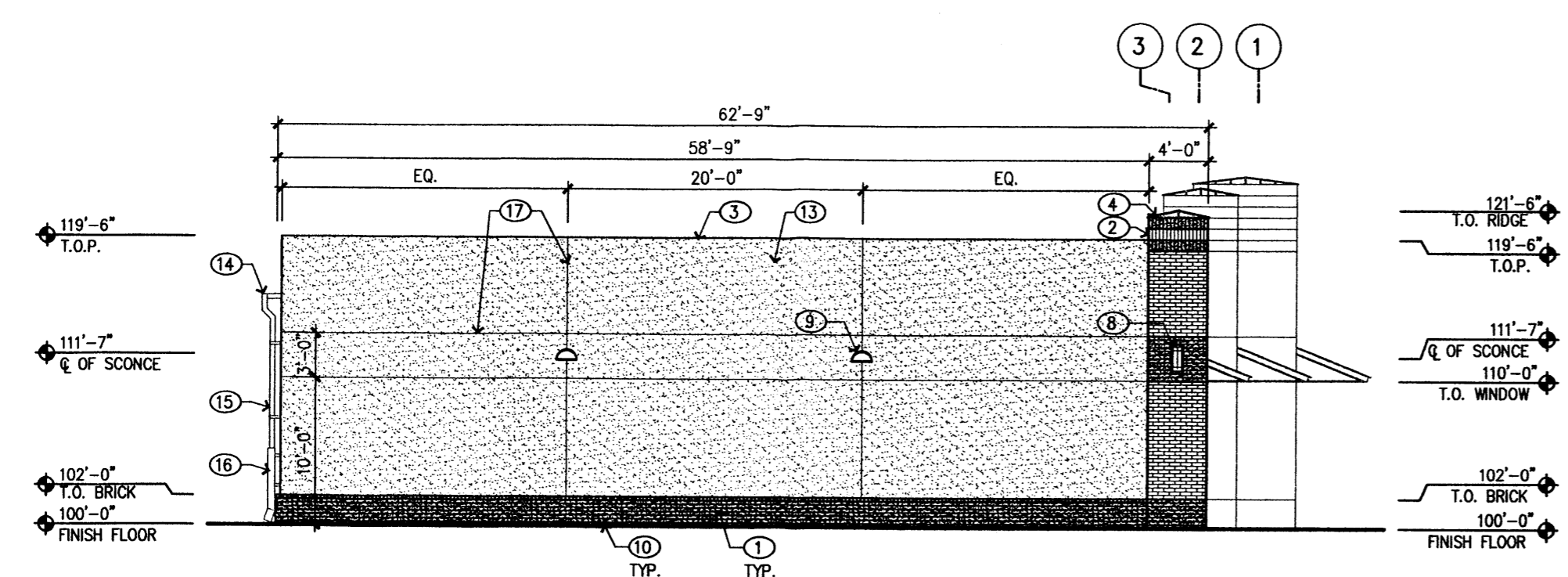
- DIMENSIONS SHOWN ON ELEVATIONS ARE BASED UPON A 3" x 2 13/16" x 8 5/8" QUEEN SIZE BRICK. CONTRACTOR TO PROVIDE WEEP HOLES AT LOCATIONS AS NEEDED TO ALLOW MOISTURE TO DRAIN FROM BEHIND MASONRY.
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE CITY OF ALBUQUERQUE ZONE CODE. ALL SIGNAGE TO COMPLY WITH LOCAL ORDINANCES.
- BUILDING MOUNTED SIGNS TO BE PROVIDED AND INSTALLED BY TENANT'S CONTRACTOR. ALL SIGNAGE TO COMPLY WITH LOCAL ORDINANCES. SUBMIT LETTER COLORS TO OWNER AND ARCHITECT FOR FINAL APPROVAL PRIOR TO MANUFACTURING.
- REFER TO FLOOR PLAN SHEET A111, FOR DOOR AND WINDOW TYPES AND LOCATIONS

**KEYED NOTES**

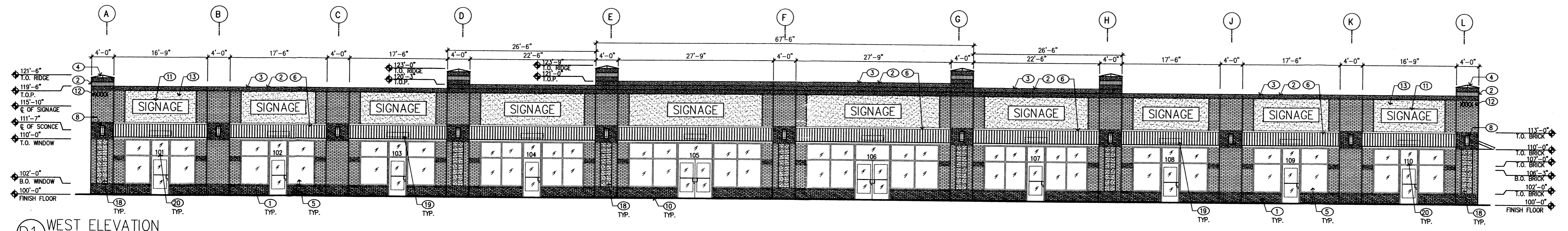
- QUEEN SIZE BRICK, COLOR TO BE SELECTED BY OWNER
- QUEEN SIZE BRICK, SOLDIER COURSE, COLOR TO BE SELECTED BY OWNER
- ROOF PARAPET WITH METAL CAP FLASHING, RE: A201
- PILASTER WITH METAL CAP, RE: A201
- ALUMINUM STOREFRONT AS SHOWN IN DOOR/WINDOW SCHEDULE, RE: A501
- STEEL CANOPY WITH METAL DECK ABOVE WITH STEEL CANOPY BRACKETS, PAINT, COLOR: TO BE SELECTED BY OWNER, RE: A401.
- DOOR AS SHOWN IN DOOR/WINDOW SCHEDULE, PAINT TO MATCH ADJACENT STUCCO
- WALL SCONCE, RE: ELECTRICAL
- WALL PACK, RE: ELECTRICAL
- FINISH FLOOR LINE
- BUILDING MOUNTED SIGN, PROVIDE J-BOX FOR FUTURE SIGNAGE, REFER TO GENERAL NOTES
- 6" BUILDING ADDRESS IDENTIFICATION NUMBERS, STYLE AND FONT TYPE TO BE SELECTED BY OWNER
- TWO-COAT SYNTHETIC STUCCO SYSTEM OVER METAL LATH, WATERPROOF MEMBRANE AND 5/8" SHEATHING, COLOR TO BE SELECTED BY OWNER
- GUTTER, COLOR TO BE SELECTED BY OWNER, RE: A201
- DOWNSPOUT/OUTLET, COLOR TO BE SELECTED BY OWNER, RE: A201
- DOWNSPOUT/OUTLET SLEEVE, COLOR TO BE SELECTED BY OWNER, RE: A201. PROVIDE BLOCKING IN WALL FOR DOWNSPOUT/OUTLET SLEEVE WALL BRACKETS.
- CONTROL JOINT
- GRANITE TILE INLAY, COLOR TO BE SELECTED BY OWNER
- WALL SCONCE BENEATH STEEL CANOPY, RE: ELECTRICAL
- SUITE ADDRESS LETTERING: 6" WHITE, VINYL



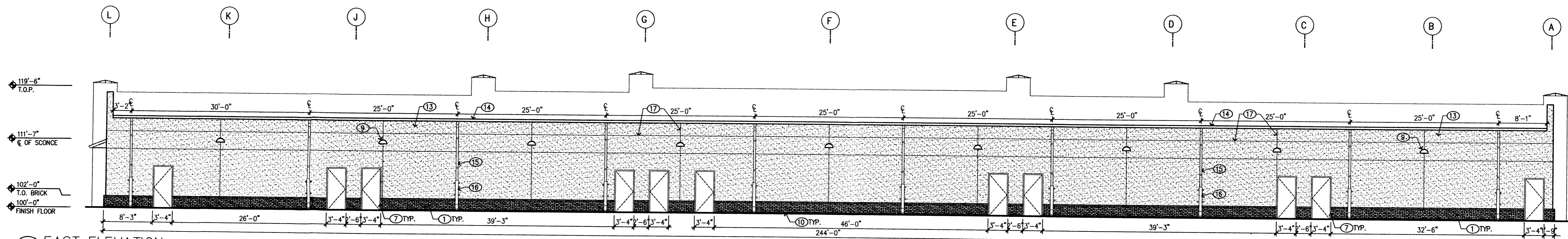
**A1 SOUTH ELEVATION**  
LOOKING NORTH  
1/8" = 1'-0"



**B1 NORTH ELEVATION**  
LOOKING SOUTH  
1/8" = 1'-0"



**D1 WEST ELEVATION**  
LOOKING EAST  
1/8" = 1'-0"



**E1 EAST ELEVATION**  
LOOKING WEST  
1/8" = 1'-0"

**Proposed Buildings:**  
1, 2, 3, 4, 5, 9  
98th & Central  
Albuquerque, New Mexico 87121

REVISIONS

△	
△	
△	
△	
△	

DRAWN BY \_\_\_\_\_  
REVIEWED BY \_\_\_\_\_  
DATE 2/5/07  
PROJECT NO. 06067.200  
DRAWING NAME  
BUILDING 5  
EXTERIOR  
ELEVATIONS

SHEET NO. \_\_\_\_\_

ARCHITECT

ENGINEER

PROJECT

**Proposed Buildings:  
1,2,3,4,5,9  
98th & Central  
Albuquerque, N.M. 87121**

REVISIONS

- △
- △
- △
- △
- △

DRAWN BY	
REVIEWED BY	
DATE	2-5-07
PROJECT NO.	06067
DRAWING NAME	

BUILDING 9  
EXTERIOR  
ELEVATIONS

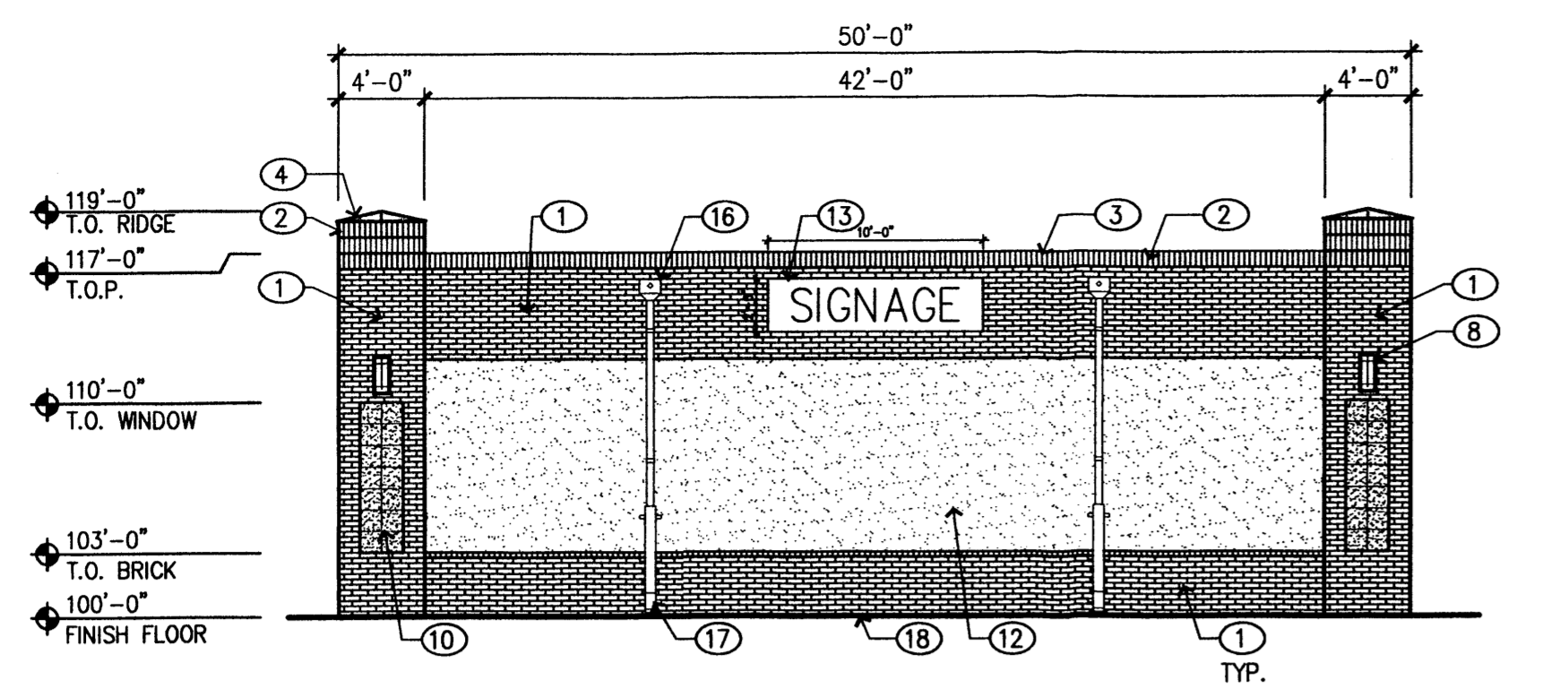
SHEET NO.

**KEYED NOTES**

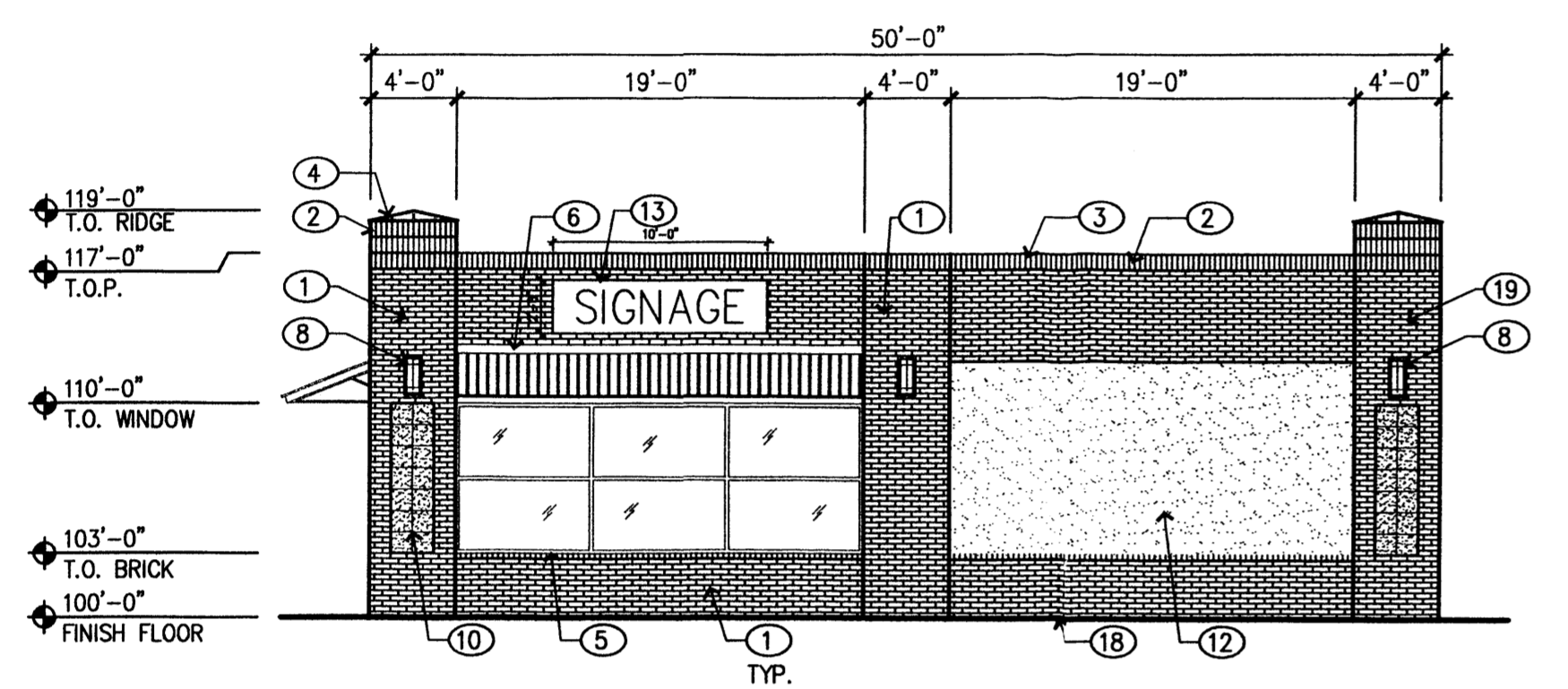
1. QUEEN SIZE BRICK, COLOR: MEDIUM BRICK RED
2. QUEEN SIZE BRICK, SOLDIER COURSE, COLOR: MEDIUM BRICK RED
3. ROOF PARAPET WITH METAL CAP FLASHING, COLOR: GALVALUM
4. PILASTER WITH METAL CAP, COLOR: GALVALUM
5. ALUMINUM STOREFRONT
6. STEEL CANOPY, COLOR: GALVALUM, STEEL CANOPY BRACKETS, COLOR: MEDIUM RED TO MATCH BRICK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. WALL PACK
10. GRANITE TILE INLAY, COLOR: TAN
11. CONTROL JOINT
12. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
13. BUILDING MOUNTED SIGN, COLOR: NEUTRAL COLORS TO BE APPROVED BY LANDLORD
14. 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
15. GUTTER, COLOR: TO MATCH GALVALUM
16. DOWNSPOUT/OUTLET, COLOR: TO MATCH GALVALUM
17. DOWNSPOUT/OUTLET SLEEVE, COLOR: TO MATCH GALVALUM
18. FINISH FLOOR LINE
19. QUEEN SIZE BRICK, COLOR: TAN

**SIGNAGE**

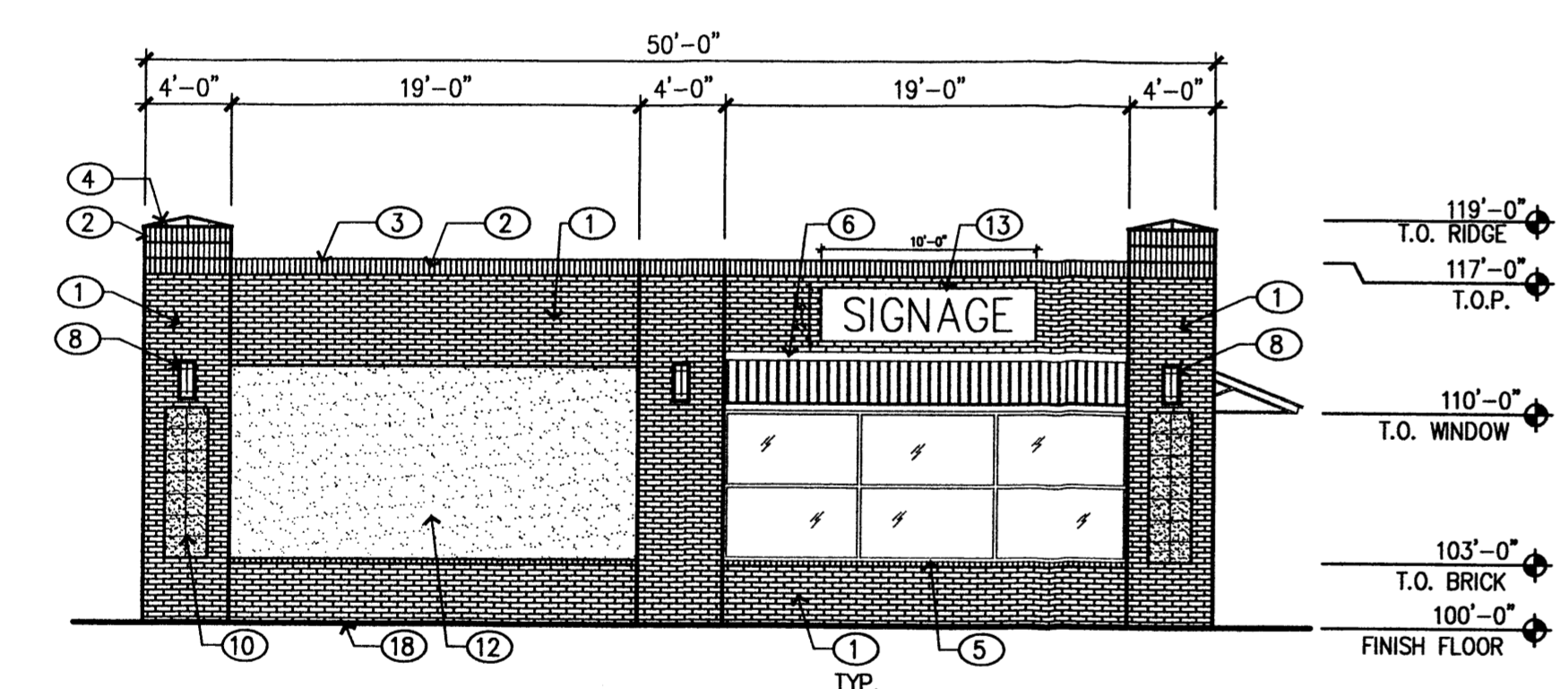
1. SMALL SIGNAGE TOTAL AREA: 25sf



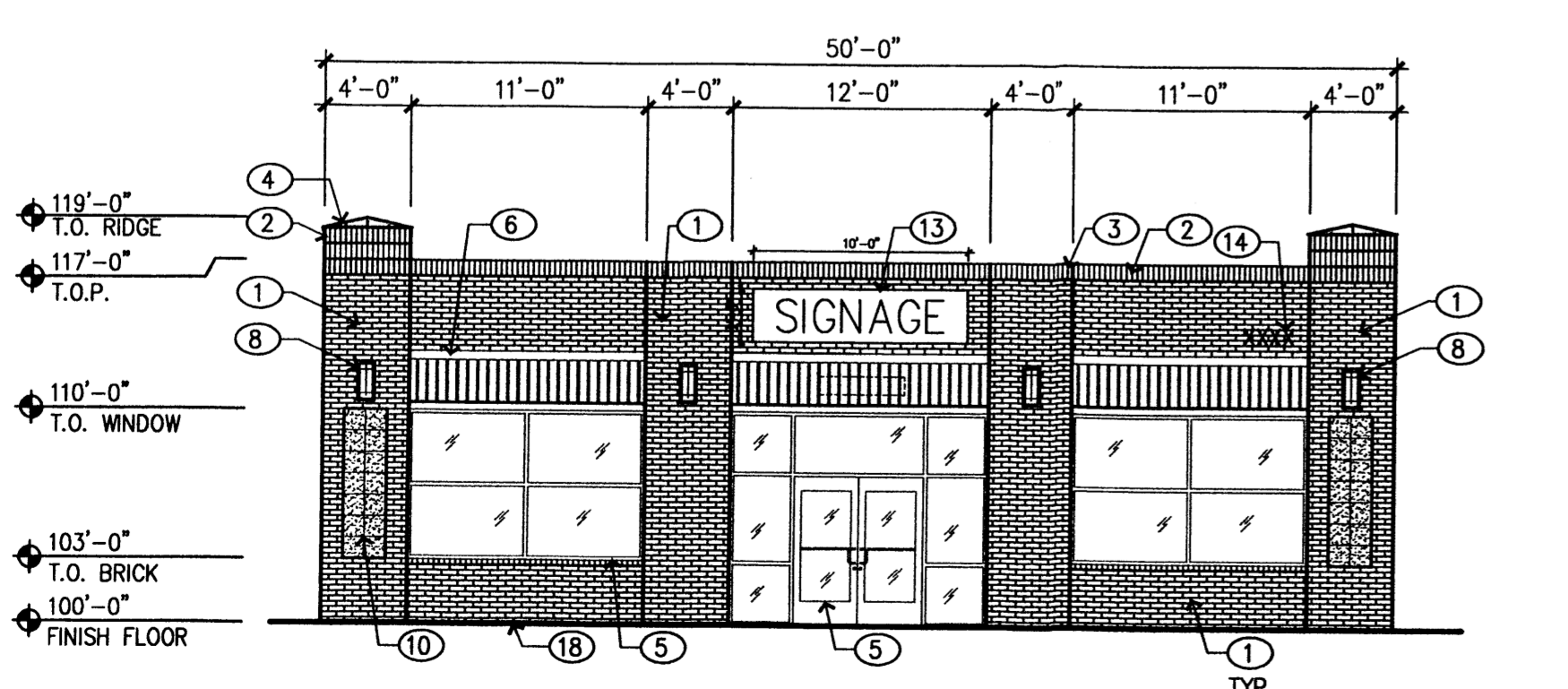
**1 SOUTH ELEVATION**  
LOOKING NORTH  
1/8" = 1'-0"



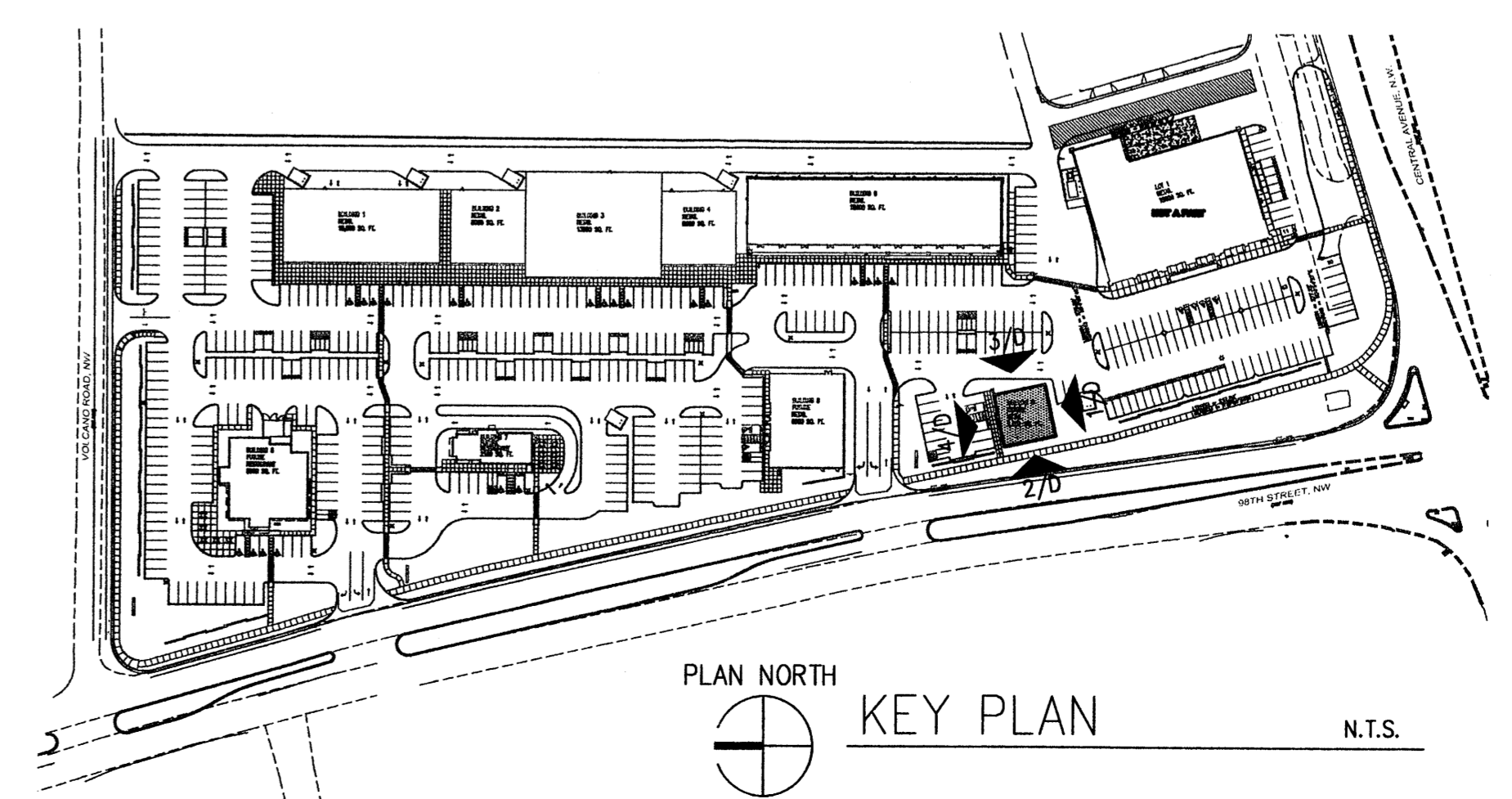
**2 WEST ELEVATION**  
LOOKING EAST  
1/8" = 1'-0"



**3 EAST ELEVATION**  
LOOKING WEST  
1/8" = 1'-0"



**4 NORTH ELEVATION**  
LOOKING SOUTH  
1/8" = 1'-0"



PLAN NORTH  
**KEY PLAN**  
N.T.S.

