

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

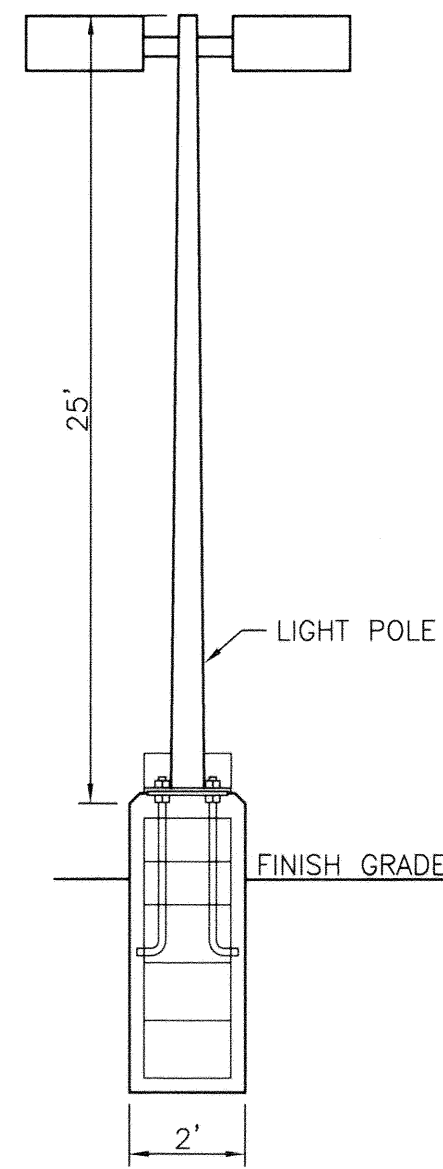
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.
- NO PACKAGE LIQUOR SALES ON THIS SITE
- MAXIMUM NUMBER OF DRIVE-THRU BUSINESSES, LIMITED TO THREE (3).

PROJECT NUMBER: 100435A

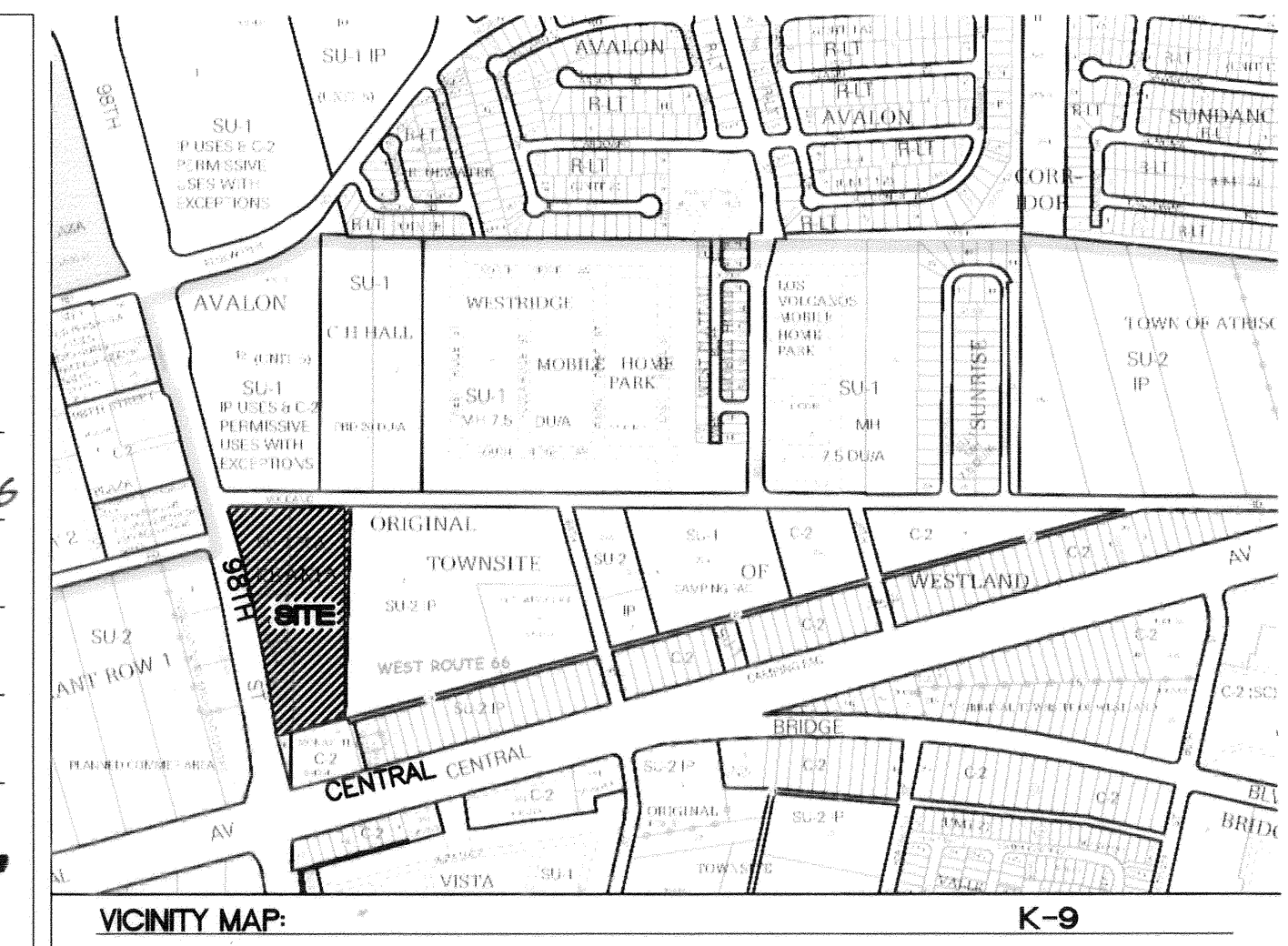
APPLICATION NUMBER: 16-70996

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

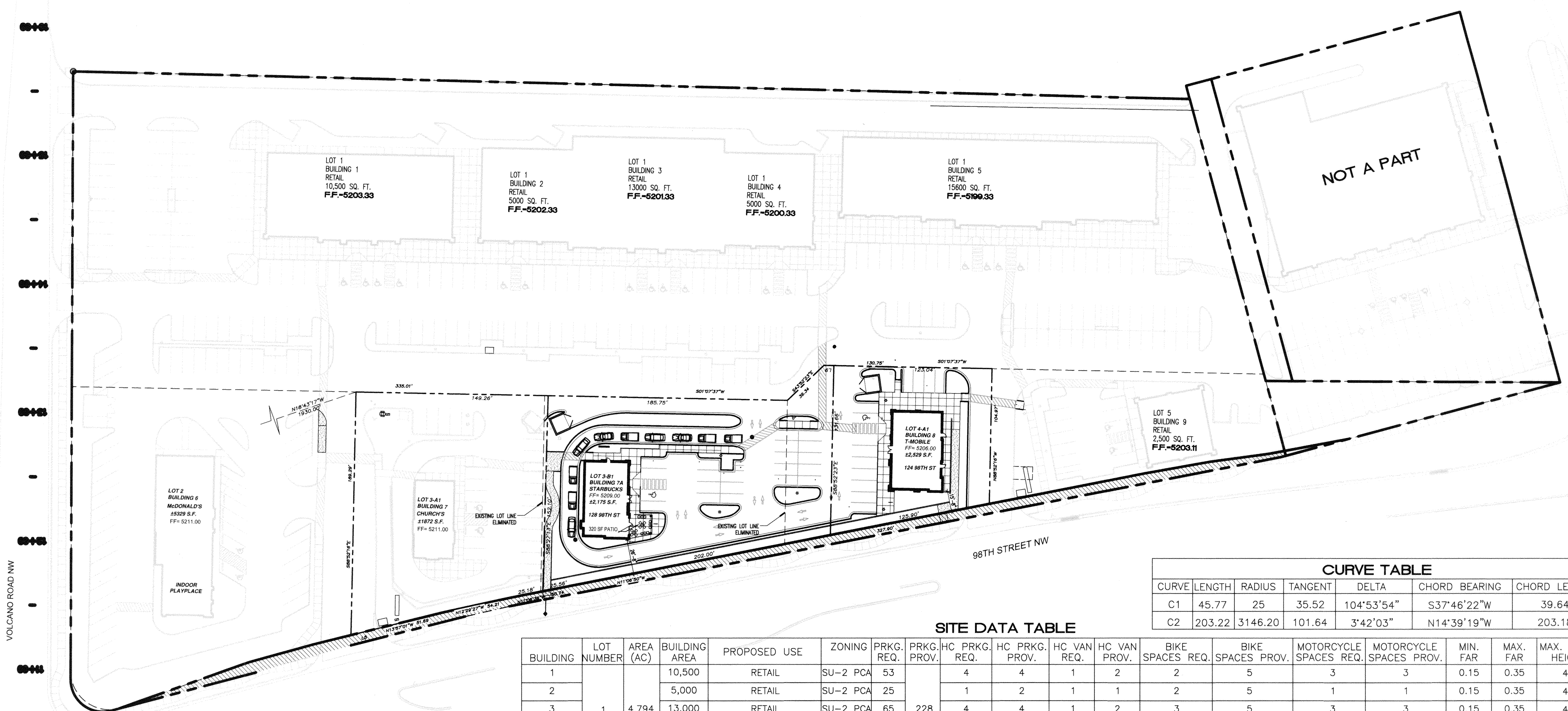
<i>Kenneth M. ...</i> Traffic Engineer, Transportation Division	1/13/17 Date
<i>Russell ...</i> Water Utility Development	12-21-16 Date
<i>Carol S. Dumont</i> Parks & Recreation Department	12-21-16 Date
<i>[Signature]</i> City Engineer	12-21-16 Date
<i>[Signature]</i> Environmental Health Department (conditional)	1/8/17 Date
<i>Carla Wilkins</i> Solid Waste Management	12-20-16 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	1/8/17 Date
* Environmental Health, if necessary	



VICINITY MAP: K-9
LEGAL DESCRIPTION: PORTIONS OF LOT 27, BLOCK 9, TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

LEGEND

[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	CURB AND GUTTER
[Symbol]	RETAINING WALL
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING BOUNDARY
[Symbol]	CROSS WALK
[Symbol]	BIKE RACK
[Symbol]	EXISTING / NEW PARKING LOT LIGHTING
[Symbol]	ROW DEDICATION



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	45.77	25	35.52	104°53'54"	S37°46'22"W	39.64
C2	203.22	3146.20	101.64	3°42'03"	N14°39'19"W	203.18

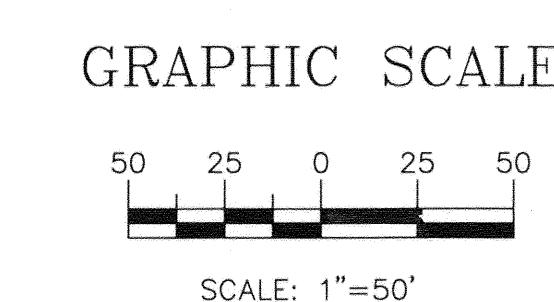
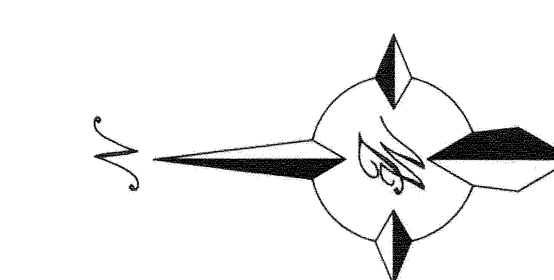
SITE DATA TABLE

BUILDING	LOT NUMBER	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT
1			10,500	RETAIL	SU-2 PCA	53		4	4	1	2	2	5	3	3	0.15	0.35	40'
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TOTAL			8,049	64,076				350	347	21	26	10	14	22	50	17	21	

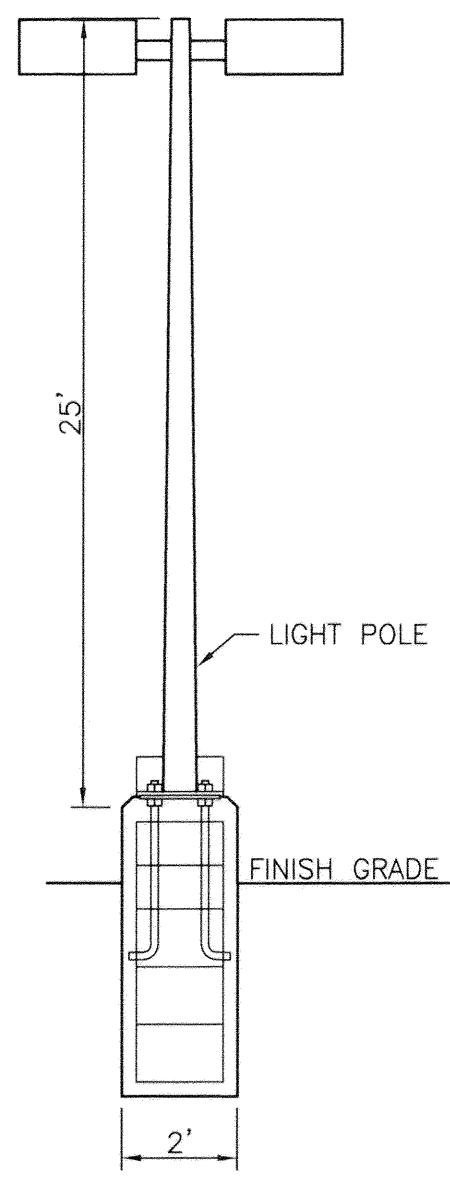
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SHEET INDEX

- SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN (LS-101)
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ENLARGED SITE PLAN
- ELEVATIONS
- SITE DETAILS



ARCHITECT'S SEAL	NORTHEAST CORNER OF 98TH AND CENTRAL	DRAWN BY MTN
	SITE PLAN FOR SUBDIVISION	DATE 11-04-2016
	11/04/16 ADD STARBUCKS AND T-MOBILE	SHEET # 1
	SW ARCHITECTS	JOB # 1628



LIGHT POLE DETAIL
NTS

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9. BUILDINGS CANNOT EXCEED HEIGHTS AS SPECIFIED BY THE SU-2 IP CITY ZONING CODE
10. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
11. BUS ROUTE 54 RUNS FROM THE 98TH STREET, NW TO CENTRAL AVENUE, NW
12. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
13. APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, 4A AND 4B TO BE DELEGATED TO THE DRB
14. ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
15. HANDICAP ACCESS LANDINGS AND RAMPS TO BE ADA COMPLIANT.
16. CLEAR SITE TRIANGLE : SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE
17. ALL STREETSCAPE LANDSCAPING TO BY MAINTAINED BY OWNER.
18. SEE DRAWING 011 FOR ENLARGED SITE PLAN AND DIMENSIONS
19. ADA PARKING SIGN SHALL READ "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SEE D2/13

KEYED NOTES:

- ① PAINTED DIRECTIONAL ARROW TYPICAL
- ② ACCESSIBLE PARKING SPACE TYPICAL, SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- ③ UNIDIRECTIONAL HC RAMP
- ④ PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL TO HAVE TRUNCATED DOMES
- ⑤ 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- ⑥ 6" CONCRETE HEADER CURB
- ⑦ 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- ⑧ 6" CONCRETE SIDEWALK TYPICAL
- ⑨ TRASH COMPACTOR
- ⑩ "STOP" SIGN. SEE PLAN FOR LOCATION
- ⑪ 5 SPACE BIKE RACK TYPICAL
- ⑫ NEW 6" BIKE PATH
- ⑬ TREE PLANTER TYPICAL
- ⑭ RETAINING WALL TAN CMU SEE DETAIL SHEET
- ⑮ DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- ⑯ 6" CONCRETE CURB AND GUTTER
- ⑰ PATIO RAILING
- ⑱ DO NOT ENTER SIGN
- ⑲ CORE STRIPING AND TYPE 'A' PAVEMENT MARKER DELINEATING DRIVE AISLE AND CROSSWALK AS SHOWN
- ⑳ LIGHT POLE
- ㉑ 4' X 8' MOTORCYCLE PARKING
- ㉒ PAINT "NO PARKING" WITH LETTERS 10" H & 2" W WITHIN ACCESS AISLE

PROJECT NUMBER: 1004354
APPLICATION NUMBER: 16-70377

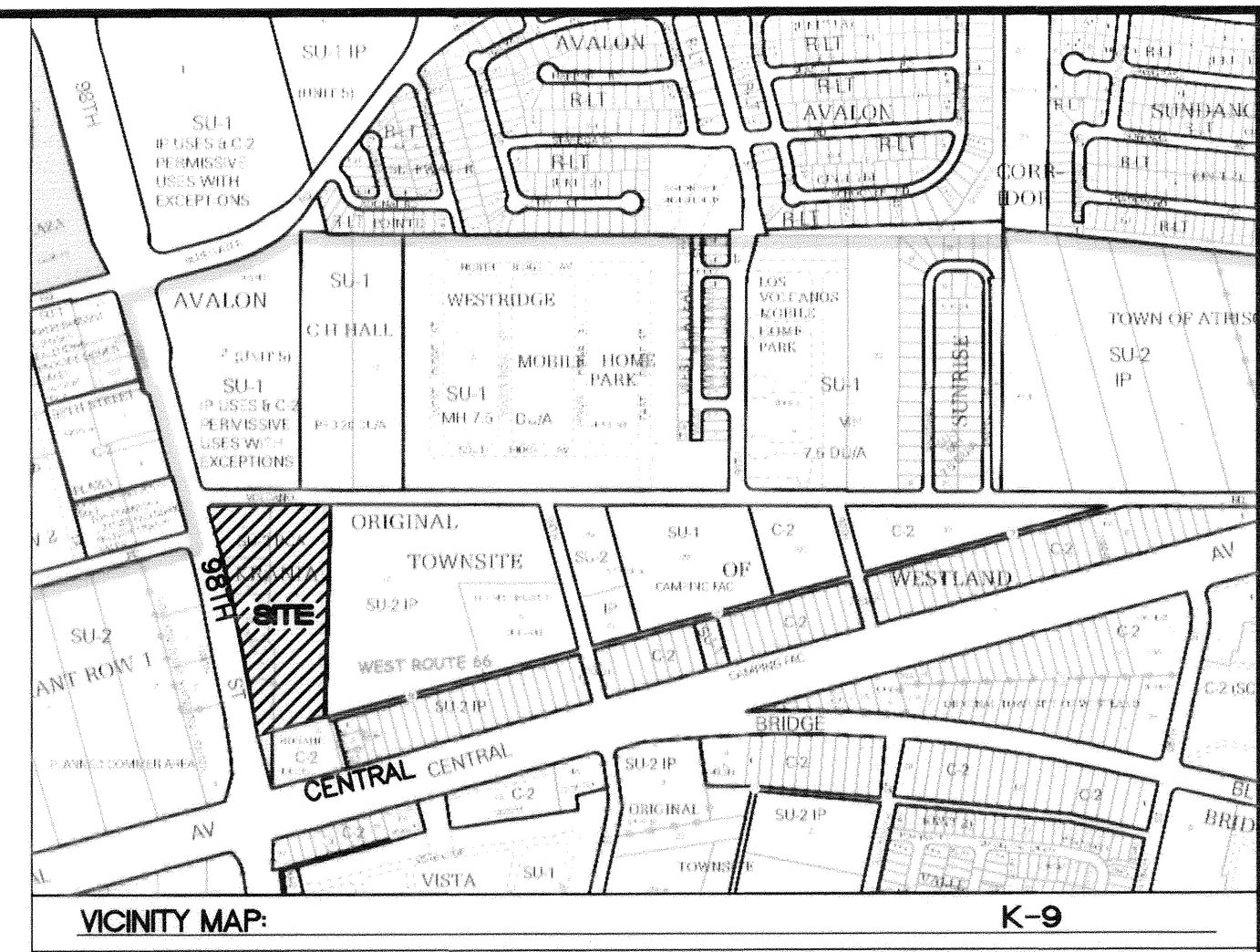
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<i>Yogesh M. Patel</i> Traffic Engineer, Transportation Division	1/3/17 Date
<i>Michelle Cook</i> Water Utility Development	12-21-16 Date
<i>Camille Dumont</i> Parks & Recreation Department	12-21-16 Date
<i>[Signature]</i> City Engineer	12-21-16 Date
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<i>Chris Williams</i> Solid Waste Management	12-20-16 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	1-18-17 Date

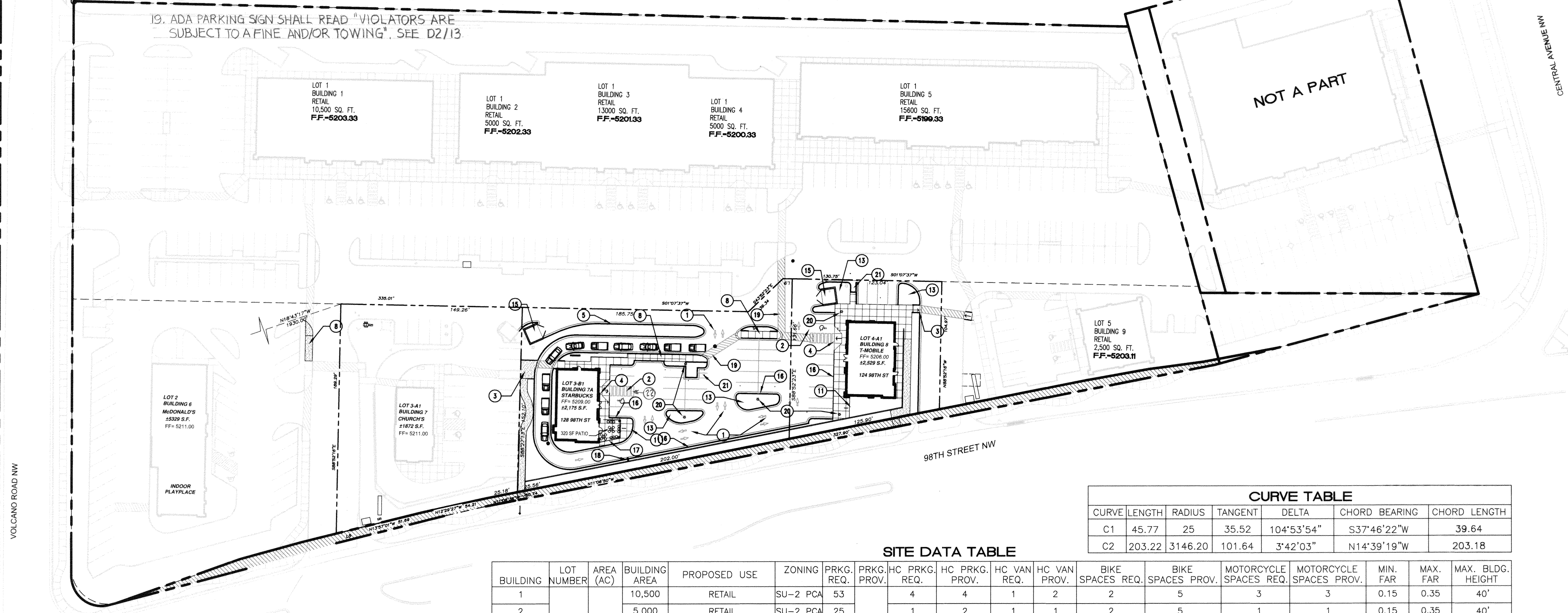
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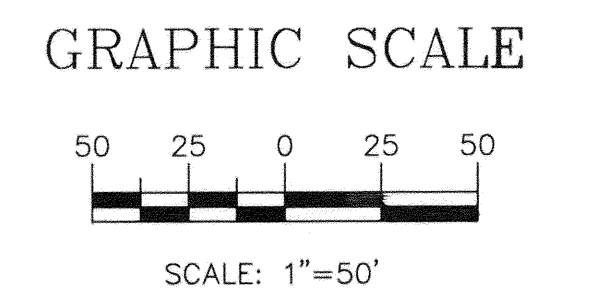
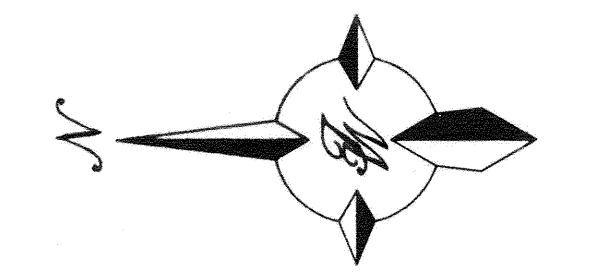
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ARCHITECT'S SEAL

NORTHEAST CORNER OF 98TH AND CENTRAL

SITE PLAN FOR BUILDING PERMIT

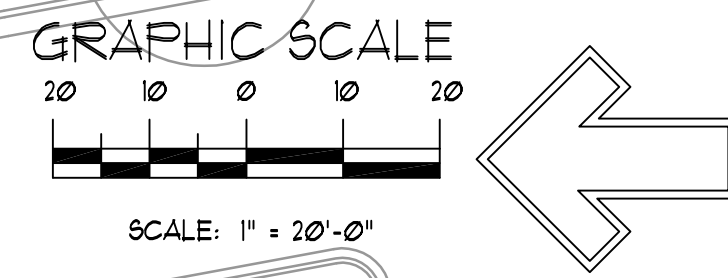
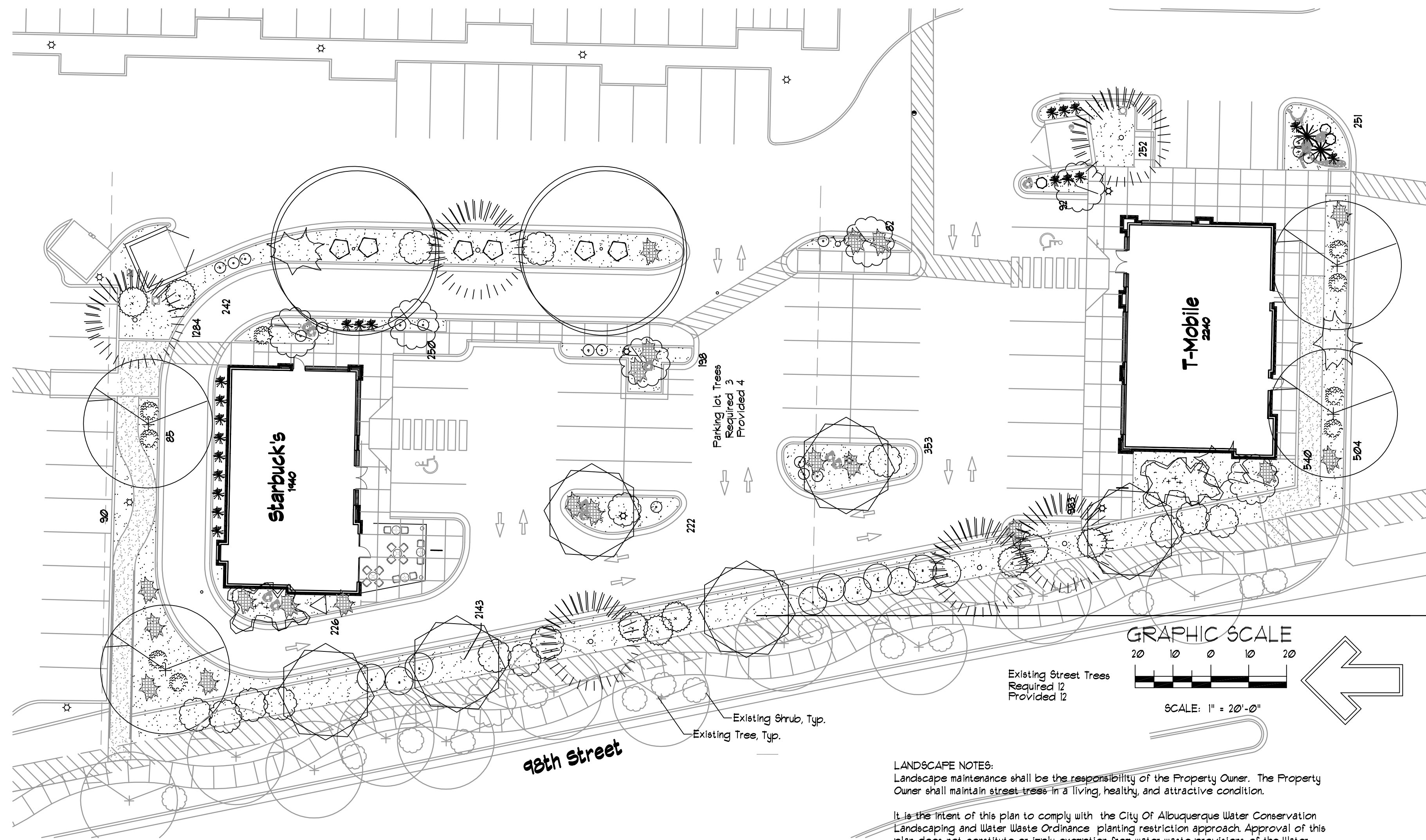
11/04/16 ADD STARBUCKS AND T-MOBILE

11-04-2016

SHEET # **2**

JOB # 1628

SW ARCHITECTS



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
4	2" cal	Chinese Pistache 40x35 <i>Pistacia chinensis</i>	1225 4900 M+
2	2" cal	Honey Locust 50x45 <i>Gleditsia triacanthos</i>	2025 4050 M
6	6 - 8'	Austrian Pine 35x25 <i>Pinus nigra</i>	625 3125 M
2	15 Gal	Crape Myrtle 15x20 <i>Lagerstroemia indica</i>	400 800 M
2	4 - 6'	Palm Yucca 15x6 <i>Yucca faxoniana</i>	36 72 M
6	15 Gal.	Oklahoma Redbud 15x12 <i>Cercis reniformis</i>	144 864 M
Trees Canopy Coverage			13811
Shrubs & Groundcovers			
6	15 Gal.	Desert Willow 20x25 <i>Chilopsis linearis</i>	625 3150 M
9	5 Gal	India Hawthorne 3x5 <i>Raphiolepis indica</i>	25 225 M
20	5 Gal	Feather Reed Grass 2.5x2 4 <i>Calamagrostis arudinacea</i>	80 M
6	5 Gal	Wintergreen Barberry 5x5 <i>Berberis julianae</i>	25 150 M
1	5 Gal	Butterfly Bush 5x5 <i>Buddleia davidii</i>	25 25 M
3	5 Gal	Winter Jasmine 4x12 <i>Jasminum nudiflorum</i>	144 432 M
20	3 Gal	Carpet Roses 2x6 <i>Rosa sp.</i>	36 720 M
3	5 Gal	Cherry Sage 2x3 9 <i>Salvia greggii</i>	9 27 M
11	5 Gal	Blue Mist 3x3 9 <i>Caryopteris x clandonensis</i>	9 153 M
14	5 Gal	Grow lo Sumac 3x8 64 <i>Rhus aromatica Gro-Low</i>	896 L
8	5 Gal	Apache Plum 6x1 49 <i>Fallugia paradoxa</i>	98 L
10	5 Gal	Chamisa 5x1 25 <i>Chrysothamnus nauseosus</i>	50 L
12	2-3cf	Boulders	6606
To be placed at contractor discretion			
1191		Landscape Gravel / Filter Fabric 3/4" Crushed Grey	
200		Oversize Landscape Gravel / Filter Fabric 2-4" Santa Ana Tan	

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pined in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

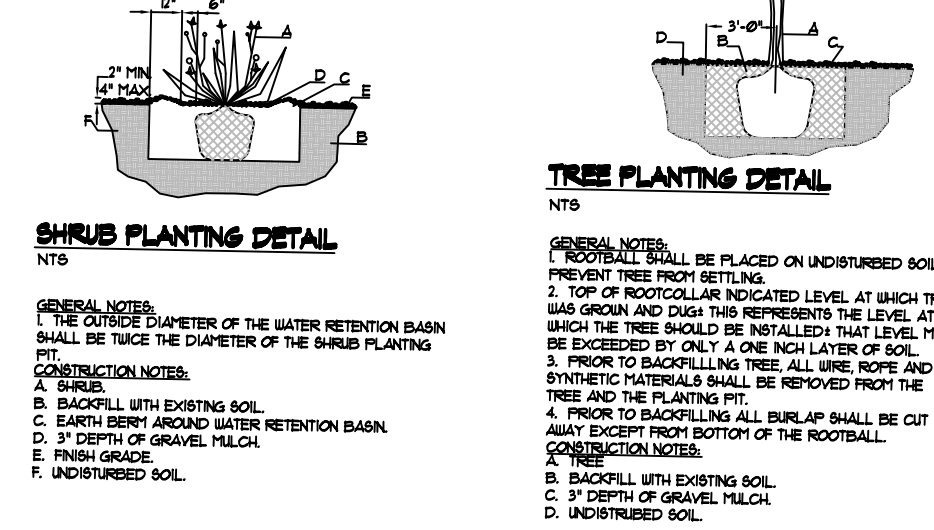
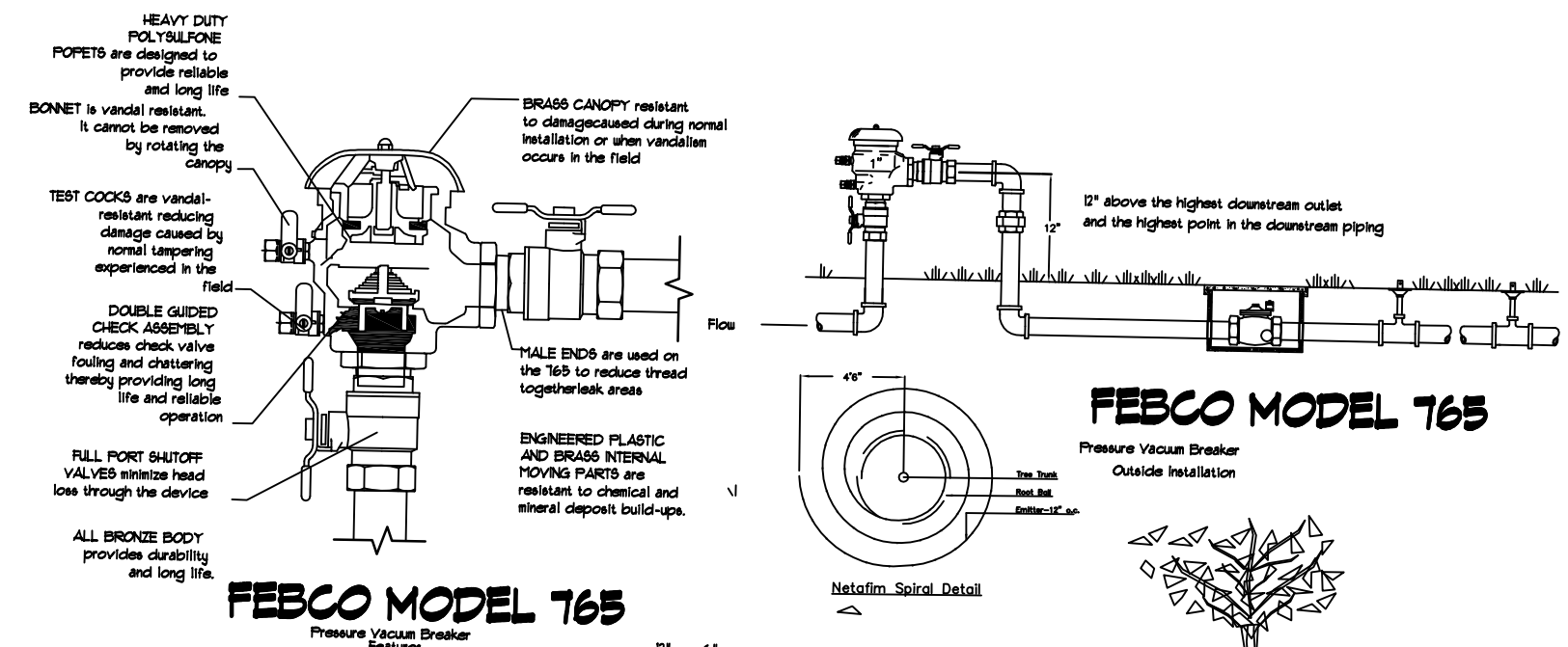
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



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CONSULTANTS

STATE OF NEW MEXICO
DANNY D. MITCHELL
239
REGISTERED LANDSCAPE ARCHITECT

The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

NOT FOR CONSTRUCTION

STARBUCKS AND T-MOBILE

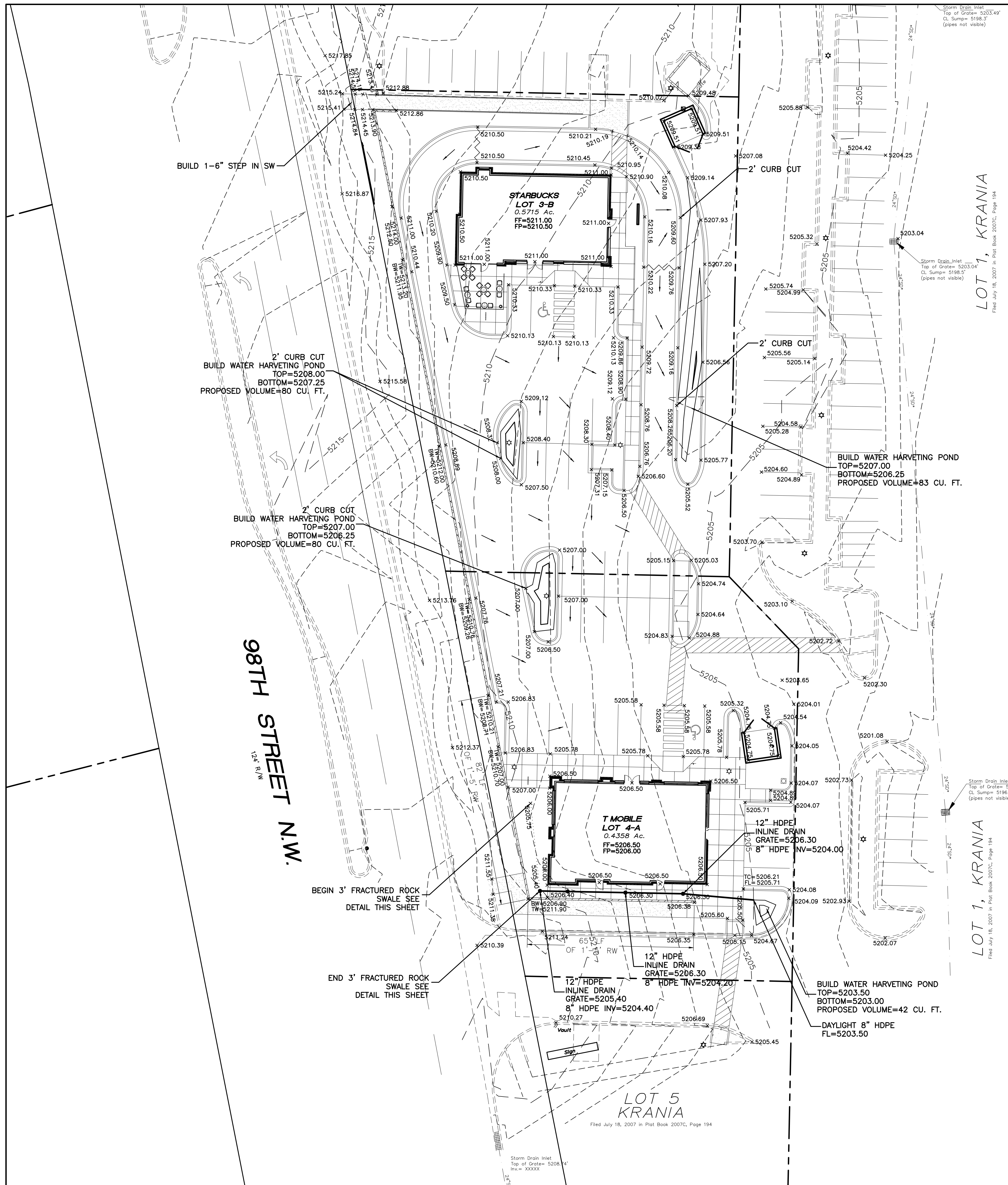
124 and 128 98th Street
Albuquerque, NM 87121

- LS Plan Revisions**
- 10/31/2016 New Site Plan
 - 11/4/2016 New Site Plan
 - 12/19/2016 City Comments
 - 12/21/2016 City Comments
 - 12/22/2016 City Comments

No	Date	Description
Revision Schedule		
ISSUE:	CON DOCS	
PROJECT NUMBER:	1628	
FILE:	A001.dwg	
DRAWN BY:	MTN	
CHECKED BY:	RB	
DATE:	OCTOBER 30, 2016	

SHEET TITLE LANDSCAPE PLAN

Starbucks T-Mobile
98th Street
Albuquerque, NM



CAUTION
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER

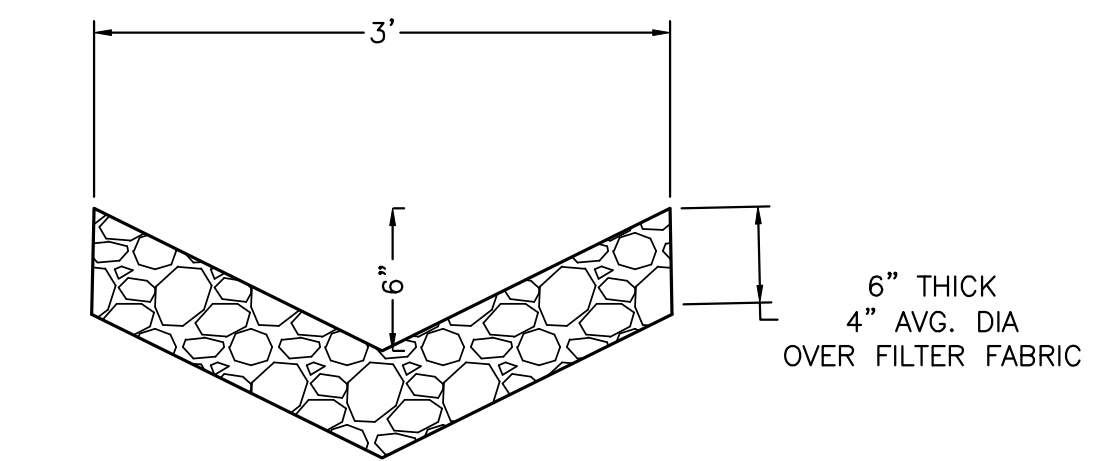
Storm Drain Inlet
 Top of Grate= 5203.49'
 Cl. Sump= 5198.3'
 (pipes not visible)

Storm Drain Inlet
 Top of Grate= 5203.04'
 Cl. Sump= 5198.2'
 (pipes not visible)

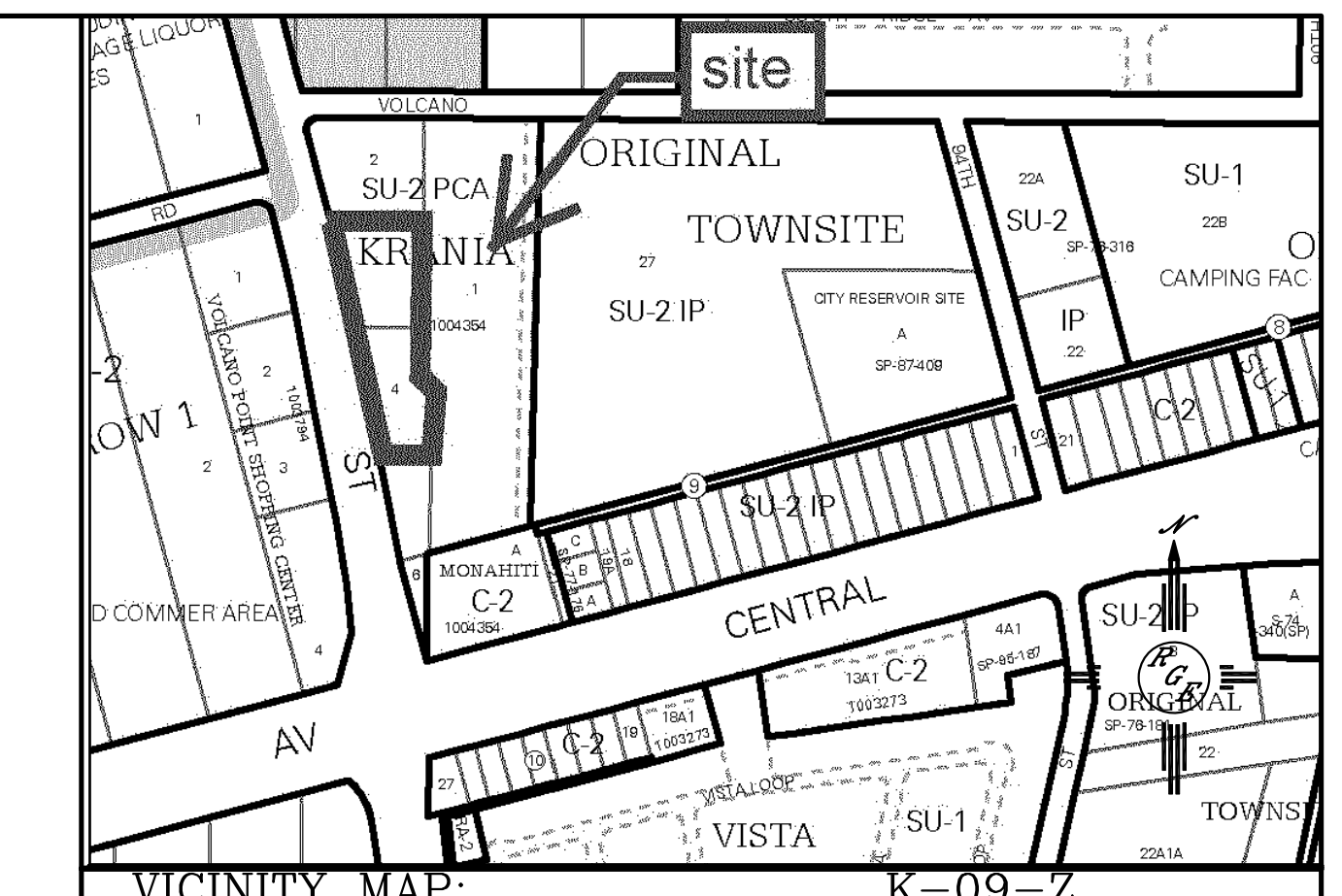
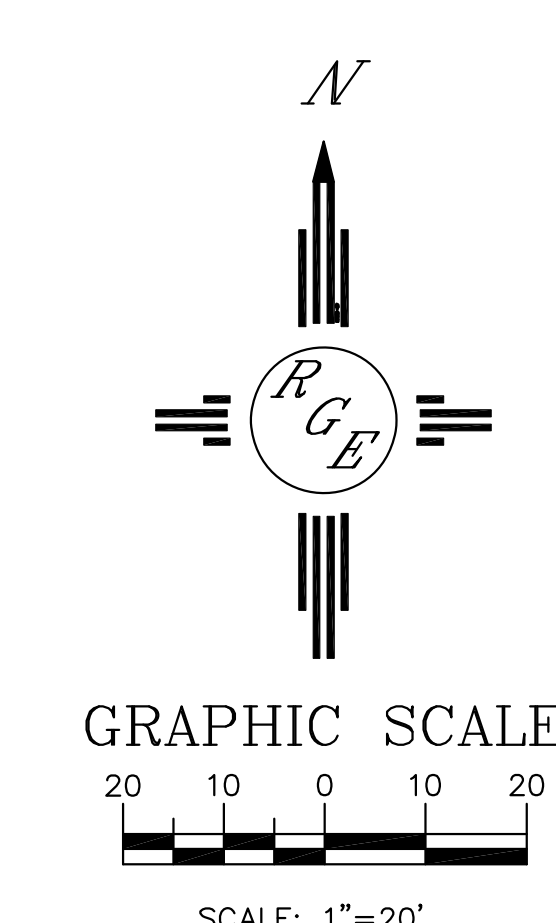
Storm Drain Inlet
 Top of Grate= 5200.07'
 Cl. Sump= 5196.5'
 (pipes not visible)

Storm Drain Inlet
 Top of Grate= 5208.4'
 Invc= XXXXX

LOT 1, KRANIA
 Filed July 18, 2007 in Plat Book 2007C, Page 194



WATER QUALITY COBBLE SWALE DETAIL
 NTS



LEGAL DESCRIPTION:
 LOTS 3-B AND 4-A, KRANIA

NOTES:
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

EROSION CONTROL NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

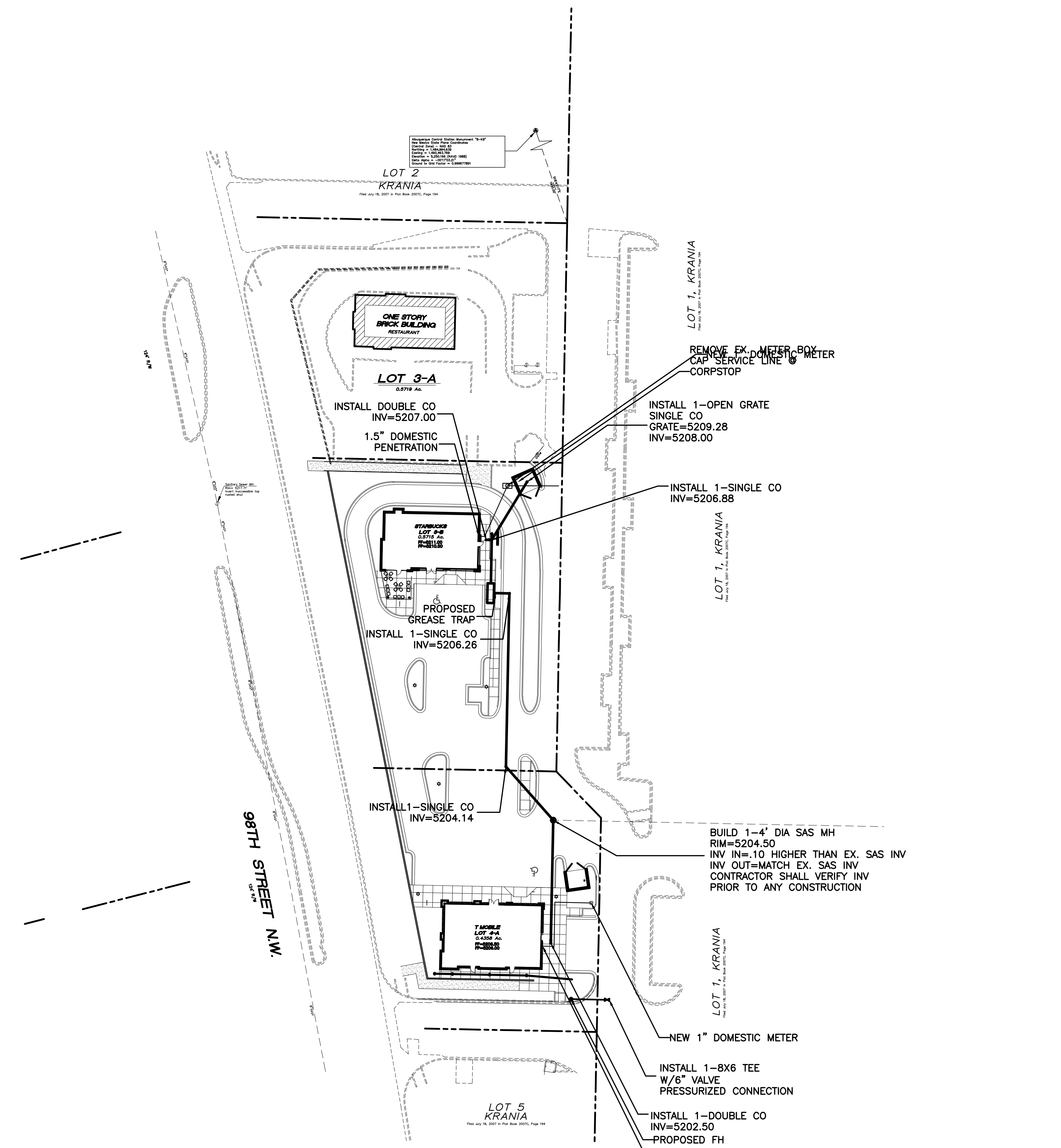
LEGEND

---	-5414-	EXISTING CONTOUR
---	-5415-	EXISTING INDEX CONTOUR
---	-5416-	PROPOSED CONTOUR
---	-5417-	PROPOSED INDEX CONTOUR
---	▲	SLOPE TIE
---	• 4048.25	EXISTING SPOT ELEVATION
---	× 4048.25	PROPOSED SPOT ELEVATION
---	---	BOUNDARY
---	---	CENTERLINE
---	---	RIGHT-OF-WAY
---	---	PROPOSED CURB AND GUTTER
---	---	EXISTING CURB AND GUTTER
---	---	PROPOSED SIDEWALK
---	---	PROPOSED SETBACK
---	---	PROPOSED LOT LINE
---	---	PROPOSED SCREEN WALL
---	---	PROPOSED RETAINING WALL DESIGN BY OTHERS

ENGINEER'S SEAL DAVID SOULE P.E. #14522	STARBUCKS/ T MOBILE	DRAWN BY: WCWJ DATE: 12-16-16
	GRADING AND DRAINAGE PLAN	21645-LAYOUT-12-05-16
12/16/16	 Rio Grande Engineering 1806 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 4
DAVID SOULE P.E. #14522		JOB # 21645

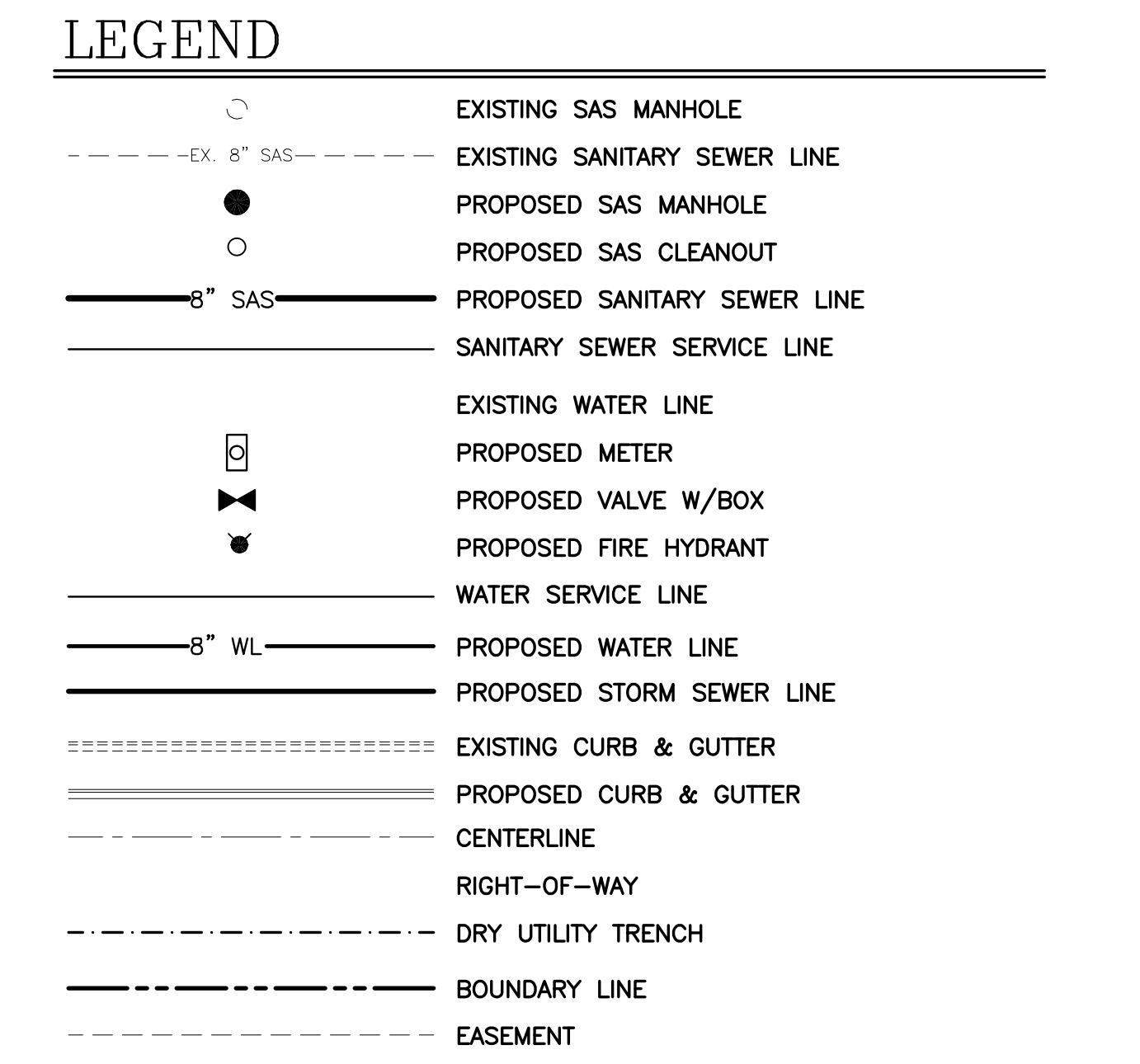
GENERAL NOTES

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE 8, AMENDMENT #1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8, AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER UTILITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2368.
22. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
23. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.
24. ALL FIRE LINES SHALL BE 4" LINES WITH POST INDICATOR VALVE. BACK FLOW PREVENTORS SHALL BE PLACED INTERIOR. EACH BUILDING SHALL HAVE A FIRE DEPARTMENT CONNECTION WITHIN 100' OF A FIRE HYDRANT.
25. ALL ONSITE WATER LINES AND FIRE HYDRANTS, FIRE LINES SHALL BE PRIVATE.

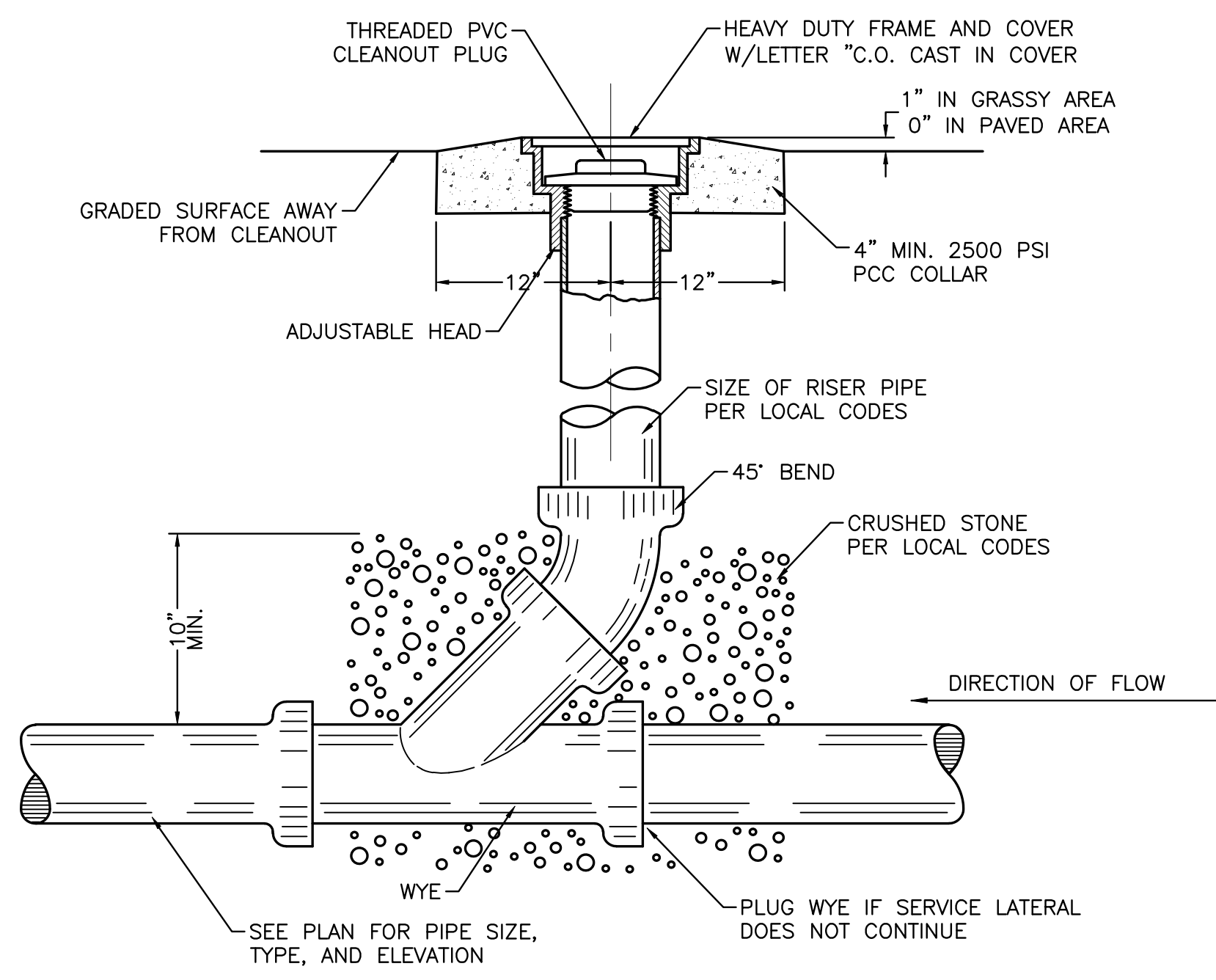


WATER SHUTOFF PLAN

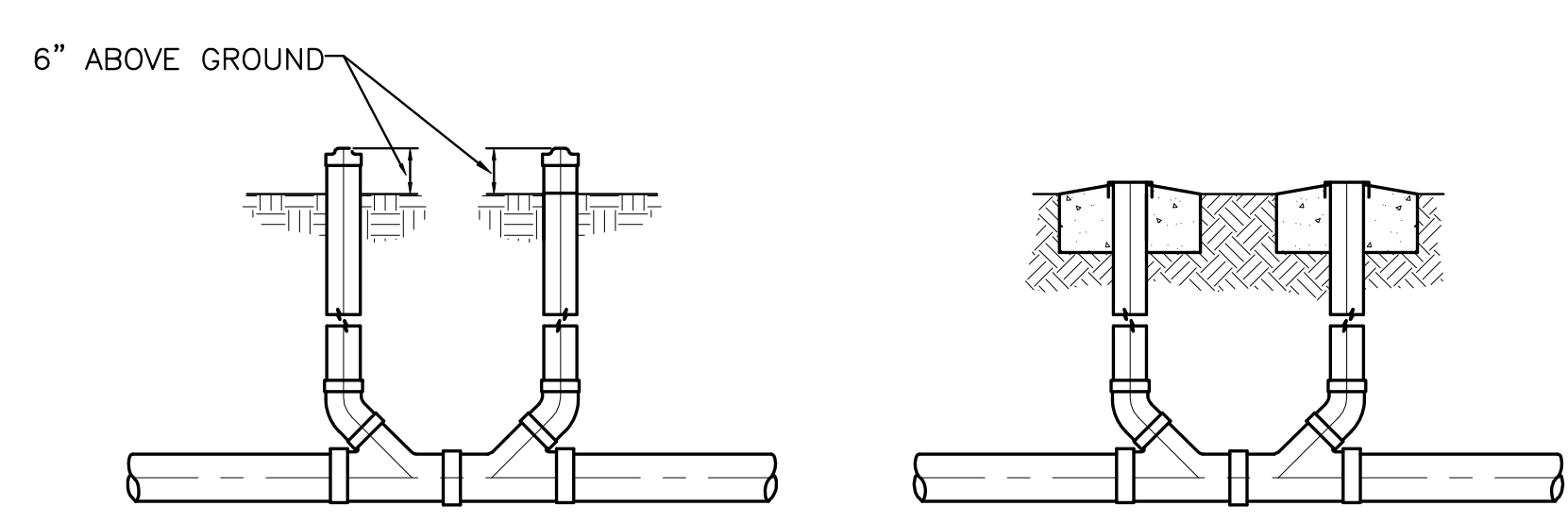
- SHUTOFF VALVES:
- NOTES:
1. WATER SHUT-OFF SHALL BE COORDINATED WITH ABCWUA
 2. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
 3. NOTIFY ABCWUA THREE(3) WORKING DAYS IN ADVANCE OF EXECUTION OF THE WATER SHUT-OFF PLAN
 4. ALL WATERLINES TO BE 3/4" COPPER, UNLESS OTHERWISE NOTED.
 5. SHUT-OFF VALVES INDICATED IN THE ABOVE PLAN IN THE EVENT OF EMERGENCY



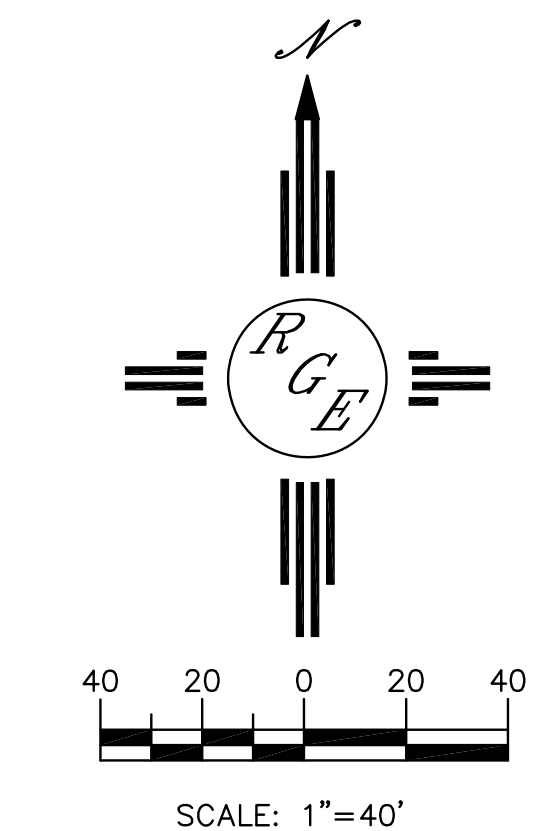
- ### GENERAL NOTES:
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
 5. ALL PIPE MATERIAL TO BE USED PER UPC.
 6. ALL SAS SERVICE LINES TO 6" MAIN SHALL BE 4" SDR-35

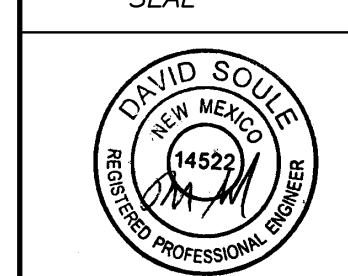
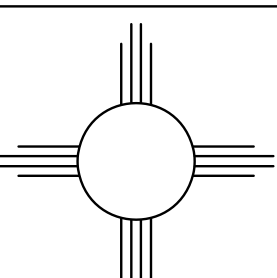


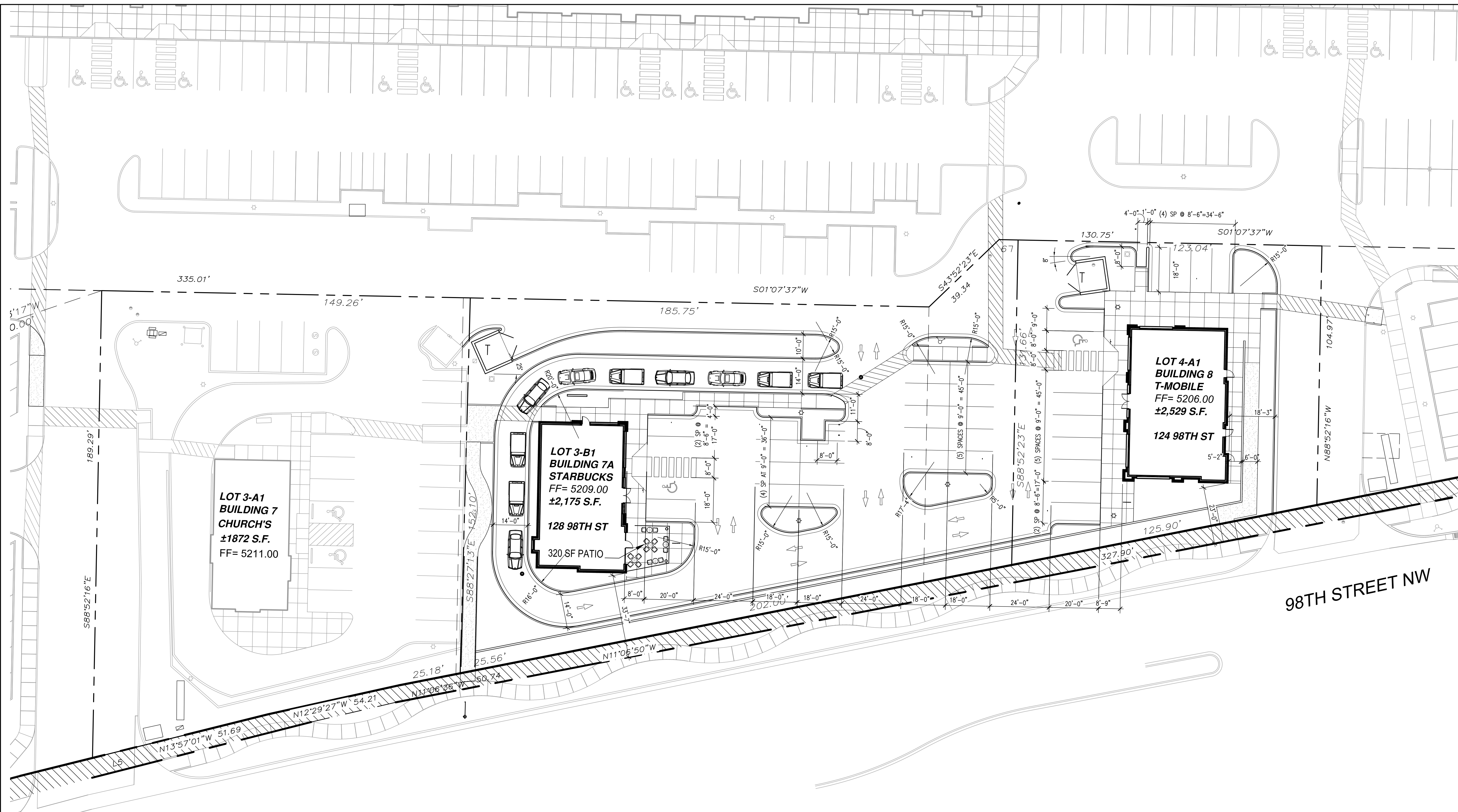
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



ENGINEER'S SEAL  DAVID SOULE P.E. #14522	STARBUCKS AND T-MOBILE MASTER UTILITY PLAN	DRAWN BY WCUJ DATE 12-16-16 21645-LAYOUT-12-05-16
	 Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # -5- JOB # 21645



B1 ENLARGED SITE DEVELOPMENT PLAN
 1"=20'-0"

NOTES:
 1. SEE DRAWING 2 FOR SITE PLAN KEYED NOTES.



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CONSULTANTS

Architect Engineer

STARBUCKS AND T-MOBILE

124 and 128 98th Street
 Albuquerque, NM 87121

No	Date	Description
Revision Schedule		

2	11/04/2016	ADD STARBUCKS AND T-MOBILE
---	------------	----------------------------

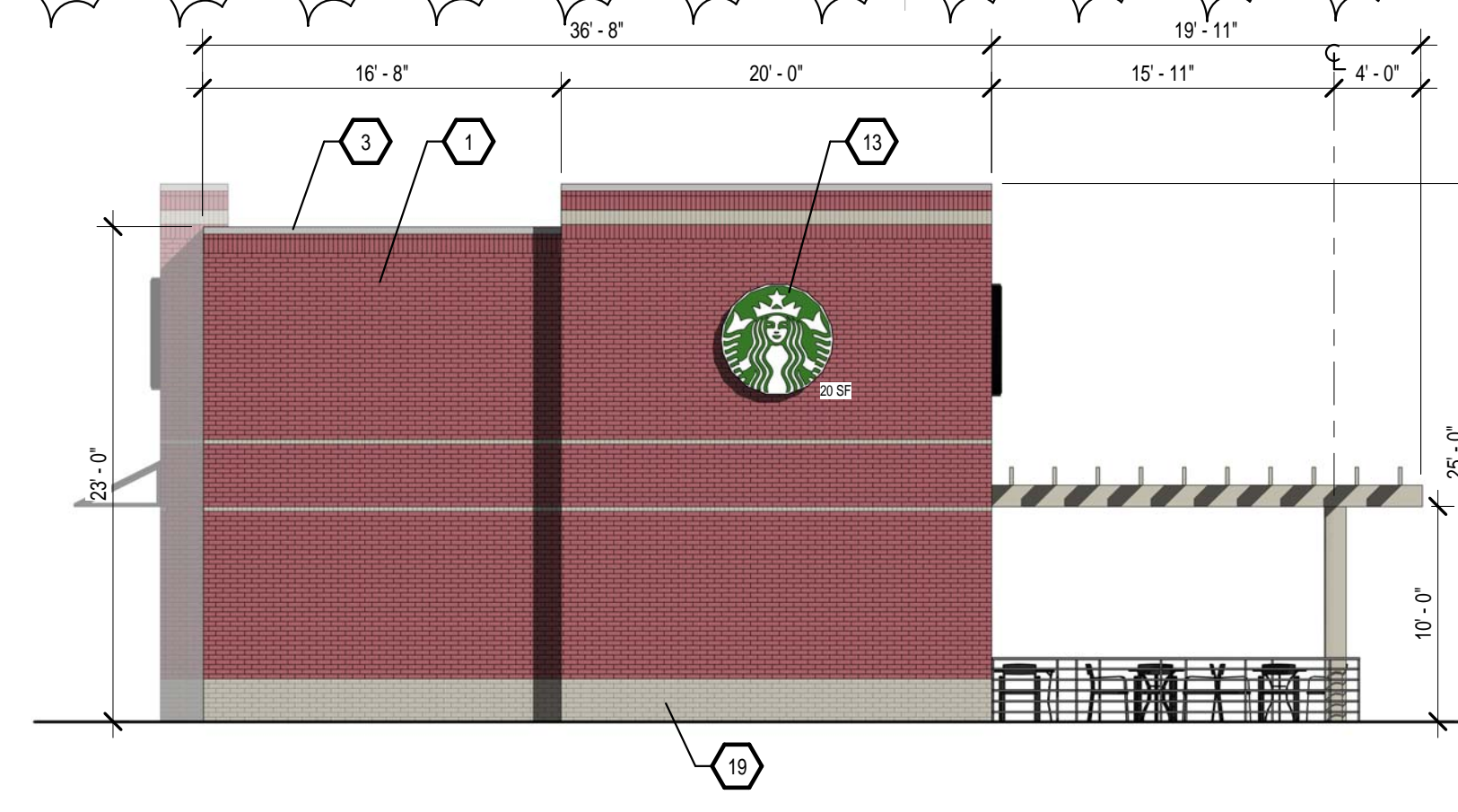
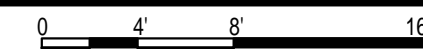
ISSUE:	CON DOCS
PROJECT NUMBER:	1628
FILE:	628AS-DRB.DWG
DRAWN BY:	SFS
CHECKED BY:	RB
DATE:	11-04-2016

SHEET TITLE
ENLARGED SITE PLAN



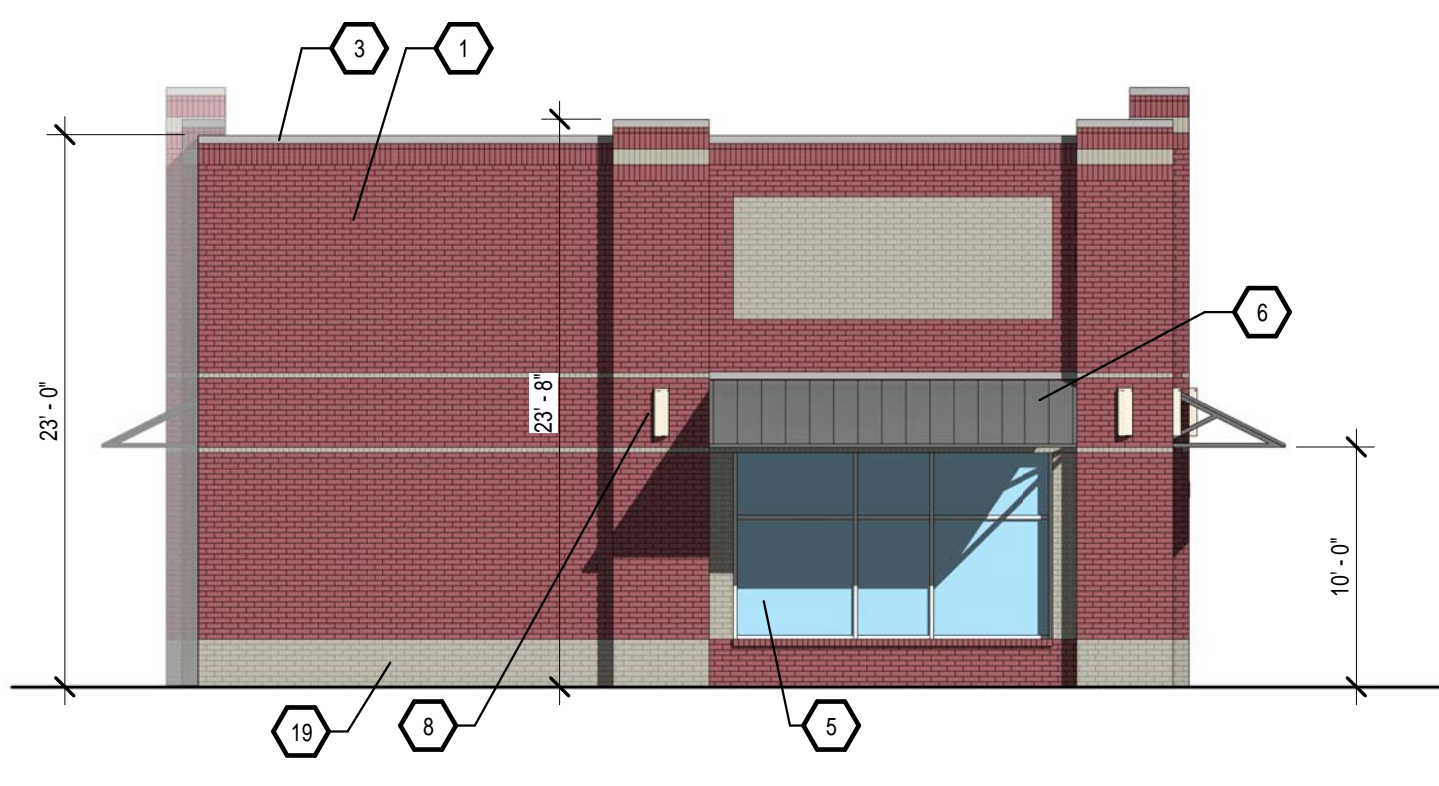
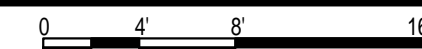
D1 BUILDING 8 WEST ELEVATION

1/8" = 1'-0"



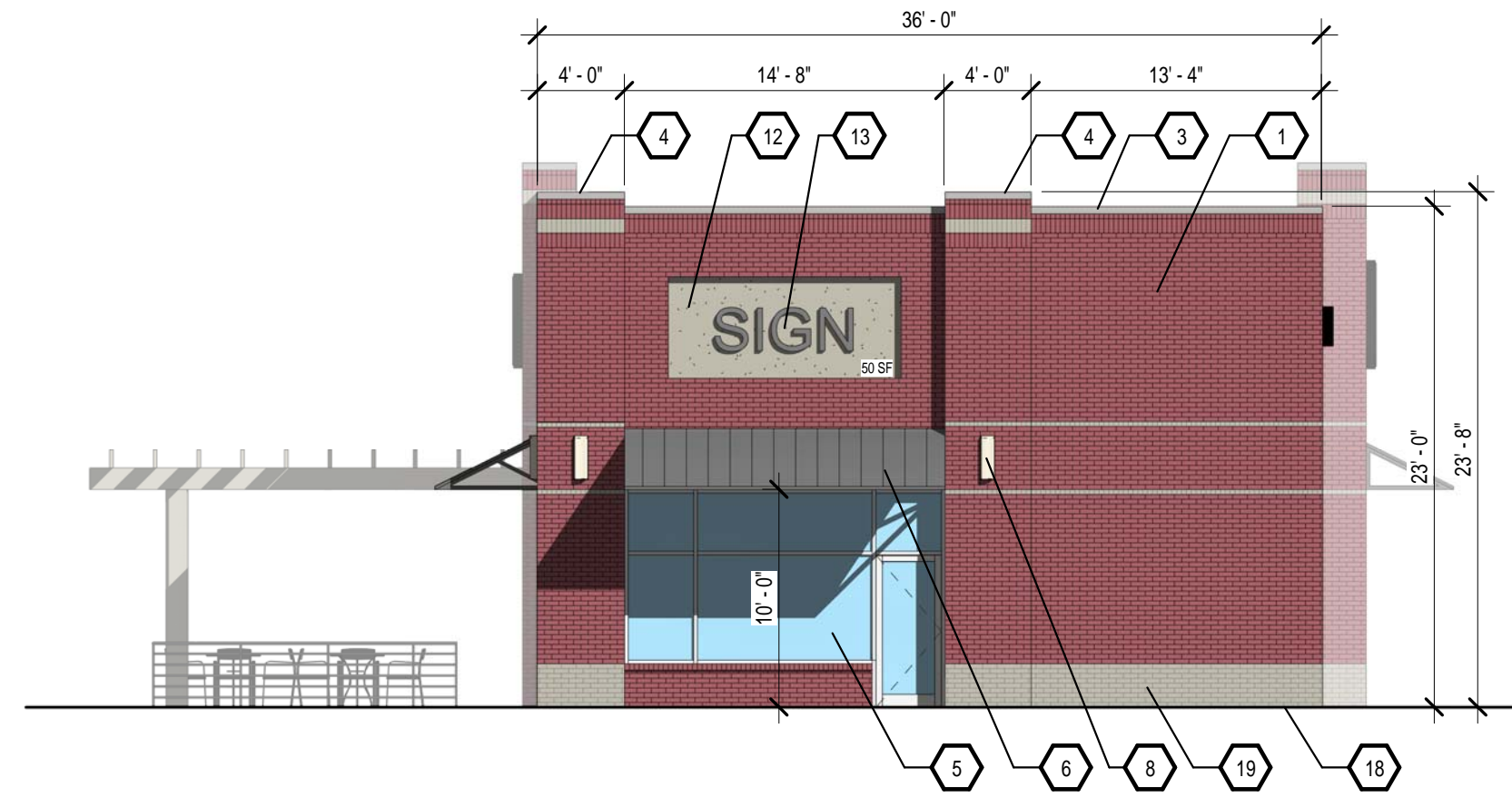
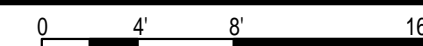
D3 BUILDING 7A WEST ELEVATION

1/8" = 1'-0"



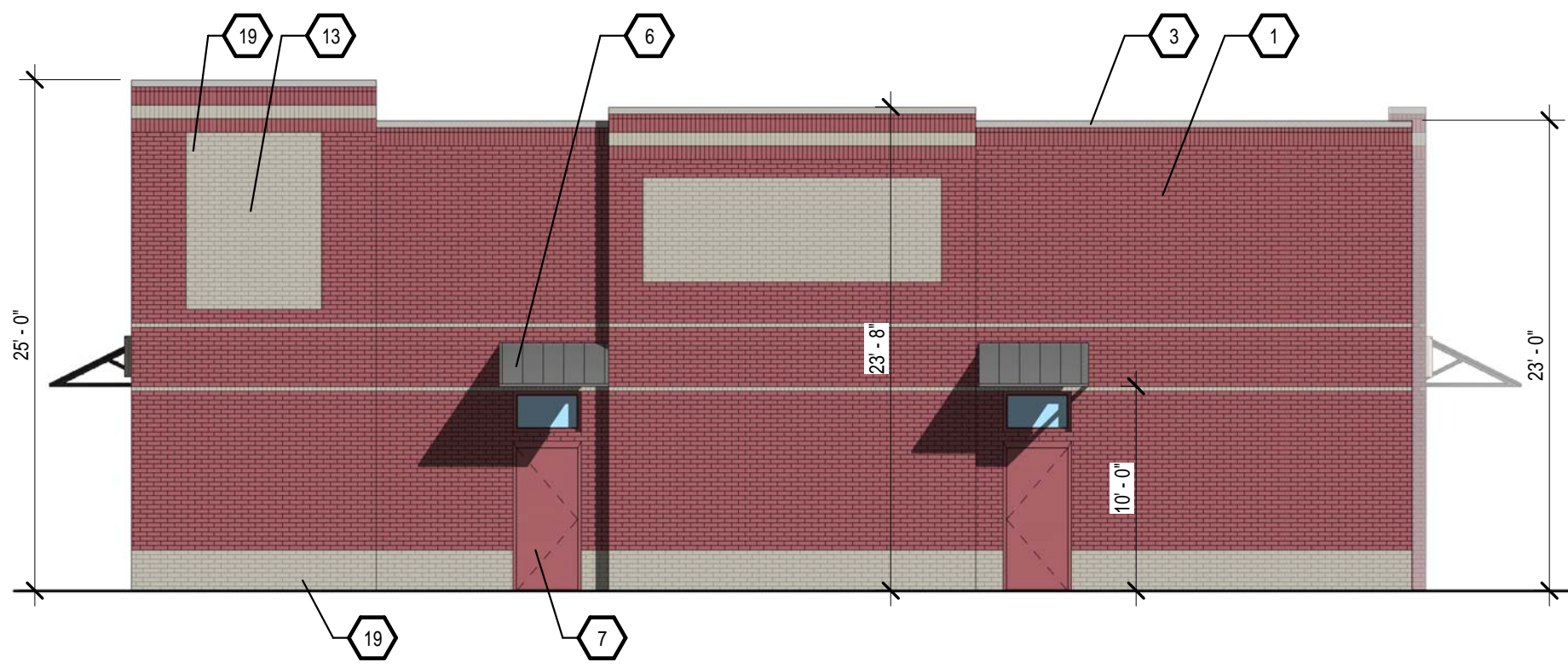
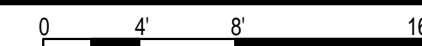
C1 BUILDING 8 EAST ELEVATION

1/8" = 1'-0"



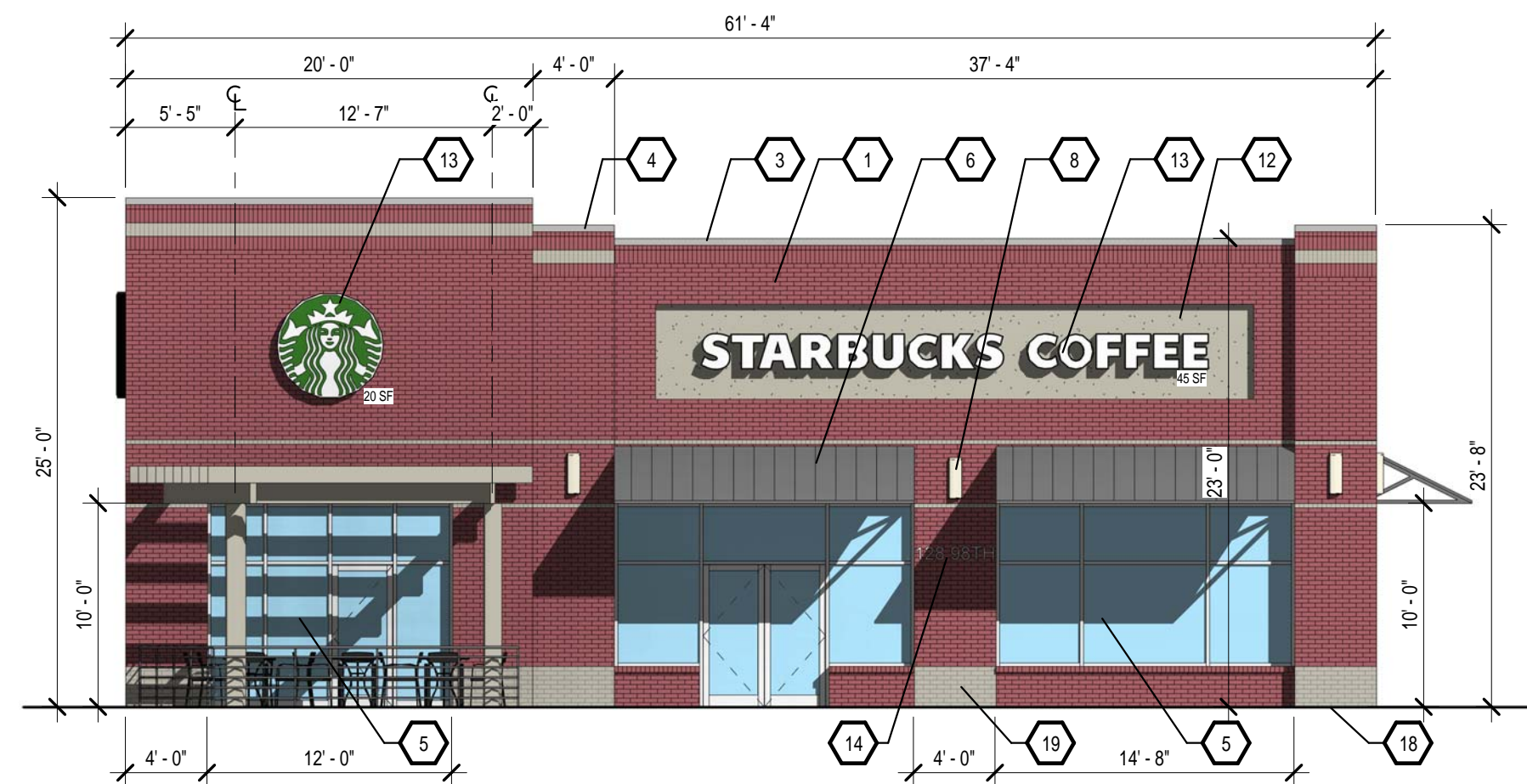
C3 BUILDING 7A EAST ELEVATION

1/8" = 1'-0"



B2 BUILDING 8 SOUTH ELEVATION

1/8" = 1'-0"



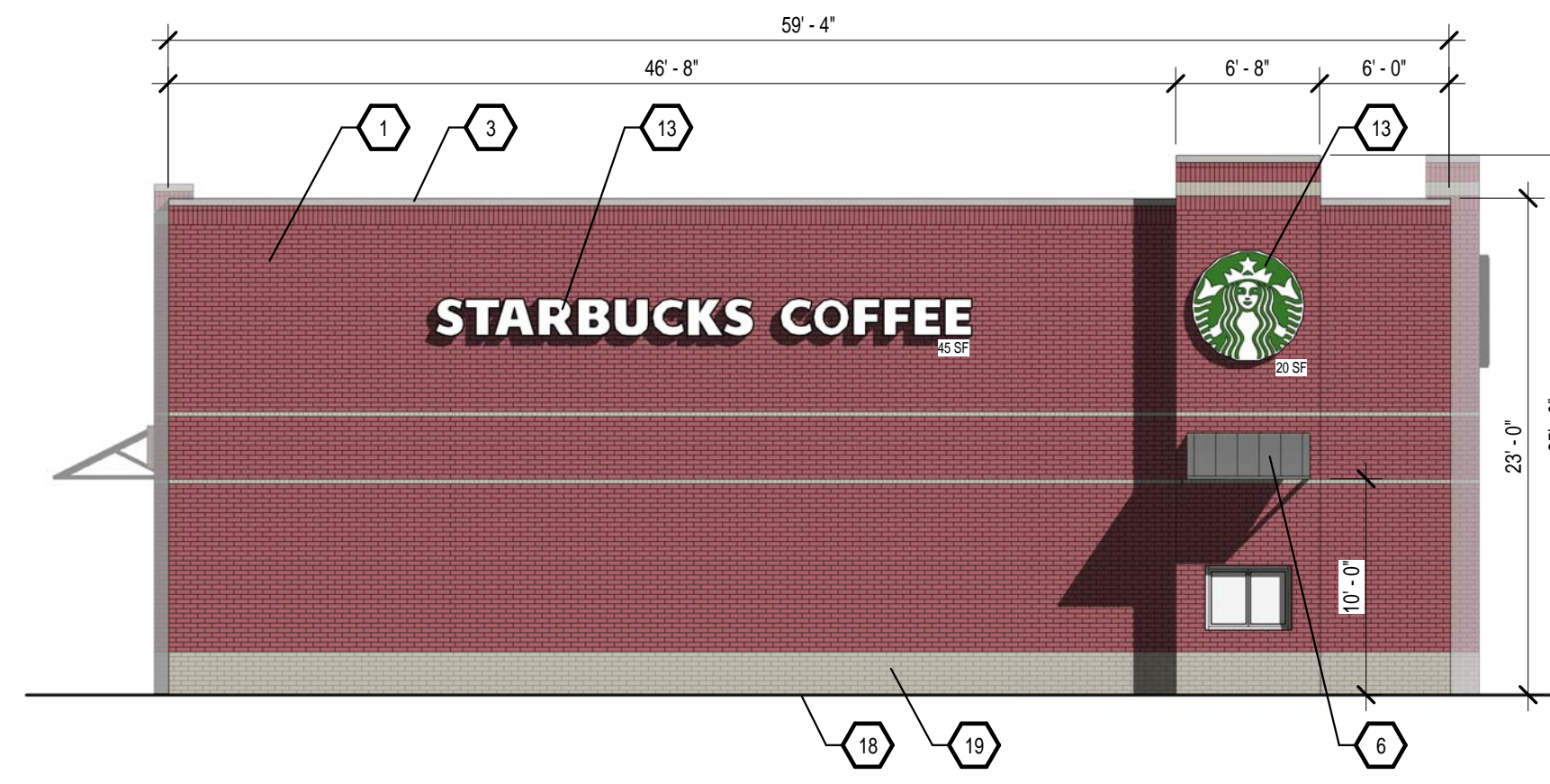
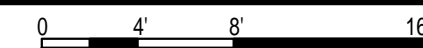
B3 BUILDING 7A SOUTH ELEVATION

1/8" = 1'-0"



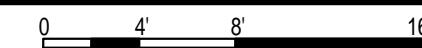
A1 BUILDING 8 NORTH ELEVATION

1/8" = 1'-0"



A3 BUILDING 7A NORTH ELEVATION

1/8" = 1'-0"



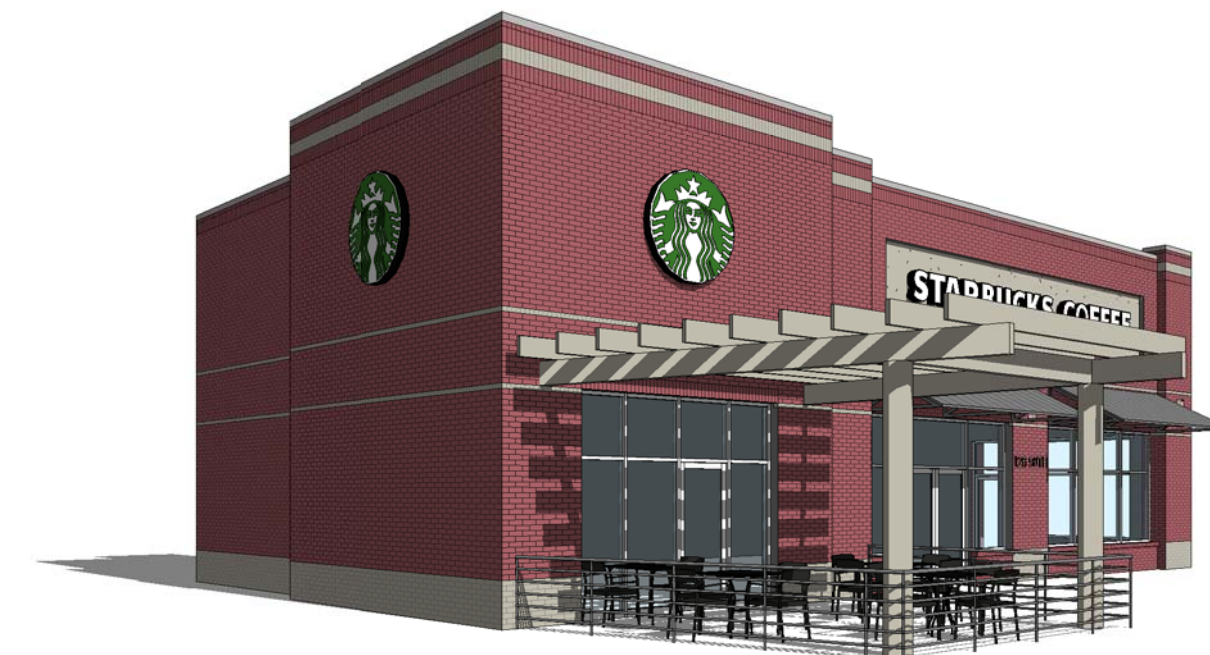
KEYED NOTES

1. BRICK, COLOR: MEDIUM BRICK RED
2. BRICK, SOLDIER COURSE, COLOR: MEDIUM BRICK RED
3. ROOF PARAPET WITH METAL CAP FLASHING, COLOR: GALVALUM
4. PILASTER WITH METAL CAP, COLOR: GALVALUM
5. ALUMINUM STOREFRONT
6. STEEL CANOPY, COLOR: GALVALUM, STEEL CANOPY BRACKETS, COLOR: MEDIUM RED TO MATCH BRICK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. NOT USED
10. NOT USED
11. CONTROL JOINT
12. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
13. BUILDING MOUNTED SIGN, COLOR: NEUTRAL COLORS TO BE APPROVED BY LANDLORD
14. 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
15. NOT USED
16. NOT USED
17. NOT USED
18. FINISH FLOOR LINE
19. BRICK, COLOR: TAN

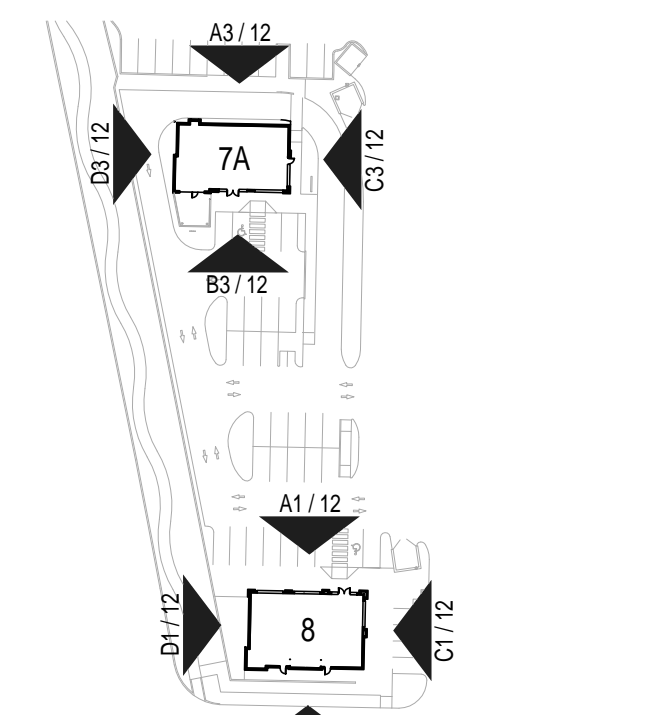
PAD AND SITE STANDARDS

THE PAD SITES FOR THIS DEVELOPMENT WILL BE DEVELOPED SEPARATELY FROM THE SIX MAIN BUILDINGS THAT ARE FULLY DESCRIBED HEREIN. TO PROVIDE CONSISTENCY IN QUALITY ACROSS THE ENTIRE SITE, THE FOLLOWING DESIGN STANDARDS SHALL BE APPLIED TO THE FUTURE DEVELOPMENT OF THE PAD SITES. THESE STANDARDS SHALL BE ENFORCEABLE BY THE DEVELOPMENT REVIEW BOARD. THE CREATION OF A QUALITY ARCHITECTURAL ENVIRONMENT IS A PRIMARY GOAL OF THESE DESIGN STANDARDS.

1. PAD DEVELOPMENT SHALL CONFORM TO THE REQUIREMENTS STATED IN THE CITY OF ALBUQUERQUE ZONE CODE.
2. BUILDING MATERIALS AND COLORS SHALL BE THE SAME AS THOSE USED ON THE MAIN BUILDINGS, WITH SIMILAR DETAILING OF WALL SURFACES, PLASTERS, AWNINGS AND FENESTRATION. ALTERNATIVE MATERIALS OF SIMILAR QUALITY MAY BE CONSIDERED BY THE ORB, BUT APPROVAL IS AT THEIR DISCRETION.
3. ACCENT COLORS FOR TRIM MAY BE BASED ON THOSE USED ON THE MAIN BUILDINGS, BUT MAY ALSO BE BASED ON THE CORPORATE BRANDING COLORS OF THE PAD OCCUPANTS.
4. BUILDINGS SHALL HAVE EQUAL ARCHITECTURAL EMPHASIS ON ALL SIDES, INCLUDING SERVICE AREAS, UNLESS SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AS THE BUILDINGS.
5. SERVICE AREAS SHALL BE SCREENED WITH WALLS HAVING THE SAME DESIGN ELEMENTS AND MATERIALS AS THE BUILDINGS.
6. ENTRANCE AREAS SHALL BE SHADED BY AWNINGS OR PORTALS TO PROVIDE SHELTER FOR PATRONS ENTERING THE BUILDINGS.
7. RESTAURANTS SHALL PROVIDE PLAZAS OR OUTDOOR DINING AREAS WITH A MINIMUM DIMENSION OF 15' AND A MINIMUM AREA OF 300 SQUARE FEET. THESE AREAS SHALL BE SHADED BY BUILDING ELEMENTS OR SHADE TREES, AND SHALL HAVE SEATING IN THE FORM OF BENCHES OR OUTDOOR DINING FURNITURE.
8. CONSISTENCY IN LIGHTING DESIGN IS A PRIMARY GOAL OF THESE DESIGN STANDARDS. IN ORDER TO ENHANCE SECURITY AND VISUAL AESTHETICS, CAREFUL CONSIDERATION OF SITE LIGHTING DESIGN IS REQUIRED TO MAXIMIZE PUBLIC SAFETY WHILE MINIMIZING GLARE BOTH ON SITE AND ON ADJACENT PROPERTIES. LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-9-3. AREA LIGHTING REGULATIONS, AND THE STATE STATUTE ON DARK SKIES. PARKING AREA LIGHTING SHALL BE PROVIDED WITH FIXTURES OF A SIMILAR DESIGN, COLOR AND HEIGHT FOR ALL TRACTS WITHIN THE DEVELOPMENT. AREA LIGHT FIXTURES SHALL BE FULL CUT-OFF DESIGN WITH NO VISIBLE LIGHT SOURCE ABOVE A HORIZONTAL LINE PROJECTED FROM THE BOTTOM OF THE FIXTURE HOUSING. LIGHT POLES SHALL BE A MAXIMUM HEIGHT OF 25'. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
9. SIGNAGE: THE GOAL IS TO PROVIDE CONSISTENCY IN APPEARANCE AND QUALITY AND COMPLIMENTS THE VISUAL CHARACTER OF THE DEVELOPMENT. ALL SIGNS SHALL COMPLY WITH SECTION 14-16-3-5 GENERAL SIGN REGULATIONS OF THE COMPREHENSIVE ZONING CODE. BUILDING MOUNTED SIGNS SHALL NOT EXCEED SIX PERCENT OF THE FACADE AREA ON WHICH THEY ARE MOUNTED.
10. SIGNAGE: THE USE OF NEON IN SIGNS AND AS ARCHITECTURAL DECORATION ON THE BUILDINGS IS ENCOURAGED.



A5 BLDG 7A PERSPECTIVE



Key Plan

NTS



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CONSULTANTS

Architect: Engineer:

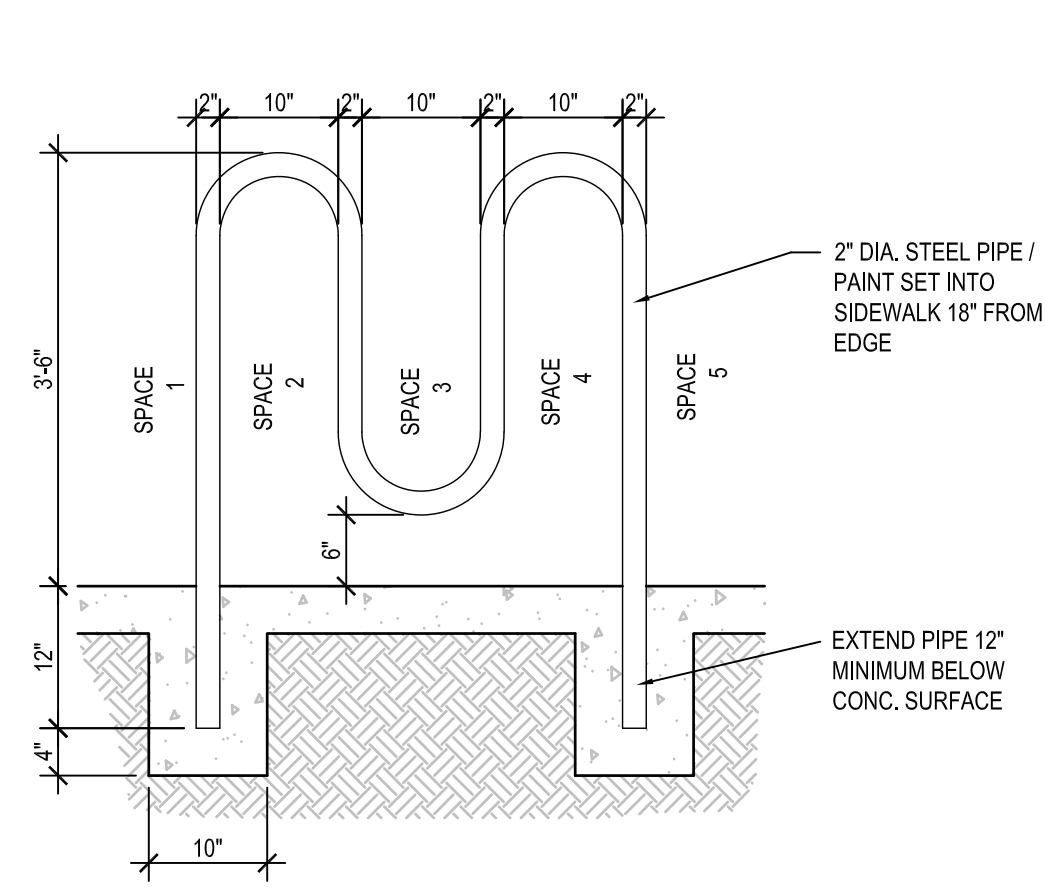
STARBUCKS AND T-MOBILE

124 and 128 98th Street
Albuquerque, NM 87121

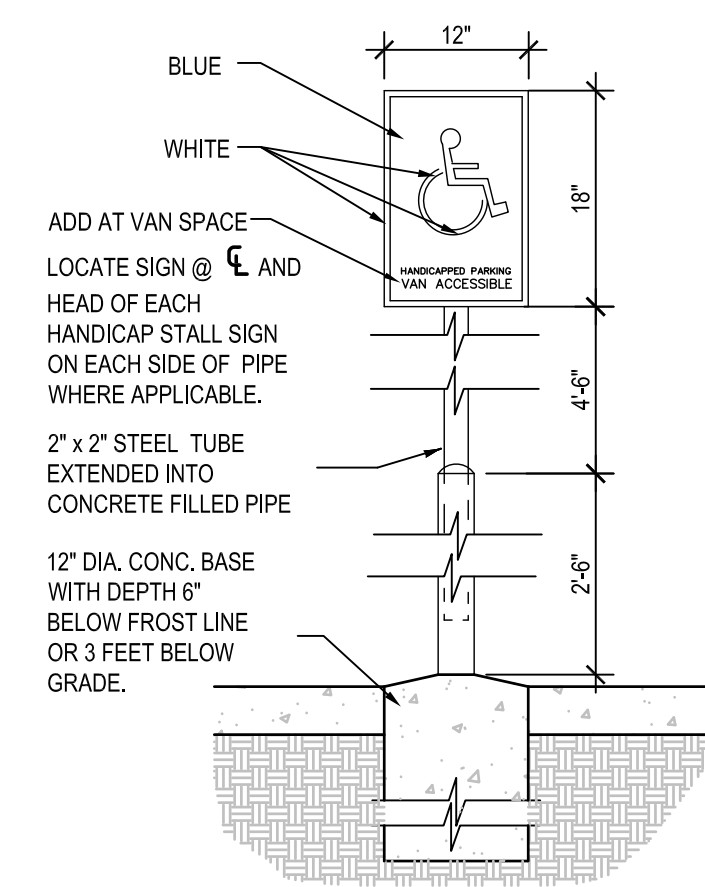
No	Date	Description
2	11/04/16	ADD STARBUCKS AND T-MOBILE

Revision Schedule	
ISSUE:	CON DOCS
PROJECT NUMBER:	1628
FILE:	000012.RVT
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	NOVEMBER 04, 2016

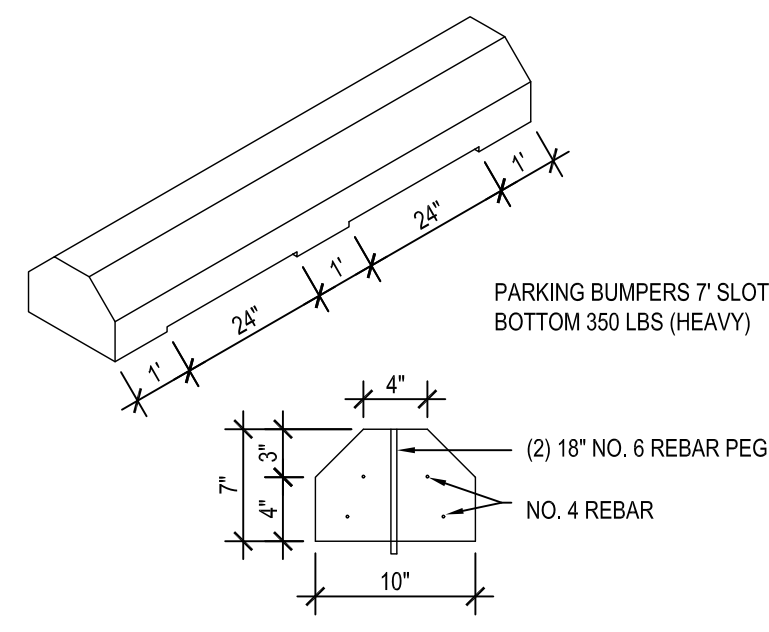
SHEET TITLE
BUILDING ELEVATIONS FOR DRB



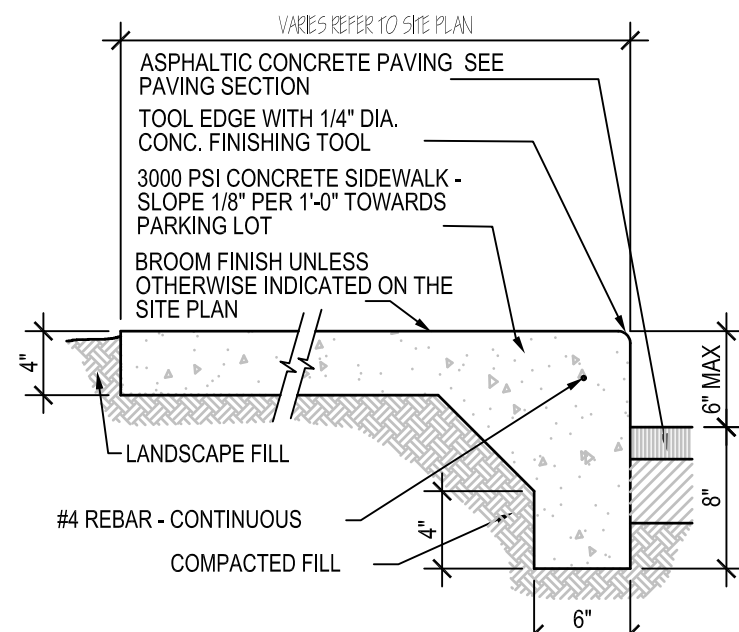
D1 BICYCLE RACK
SCALE: 3/4"=1'-0"



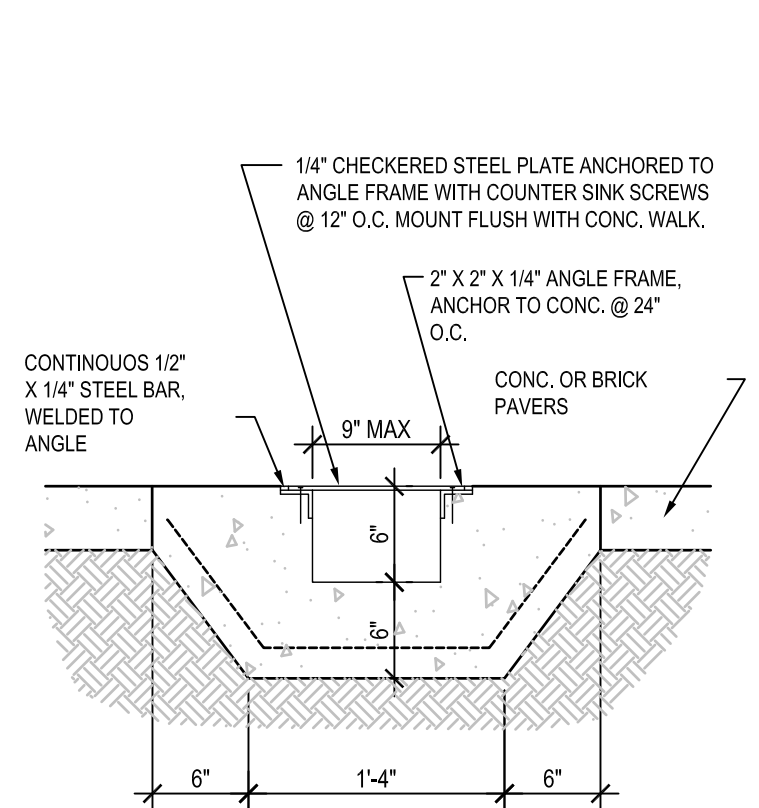
D2 HANDICAP PARKING SIGN
SCALE: 3/4"=1'-0"



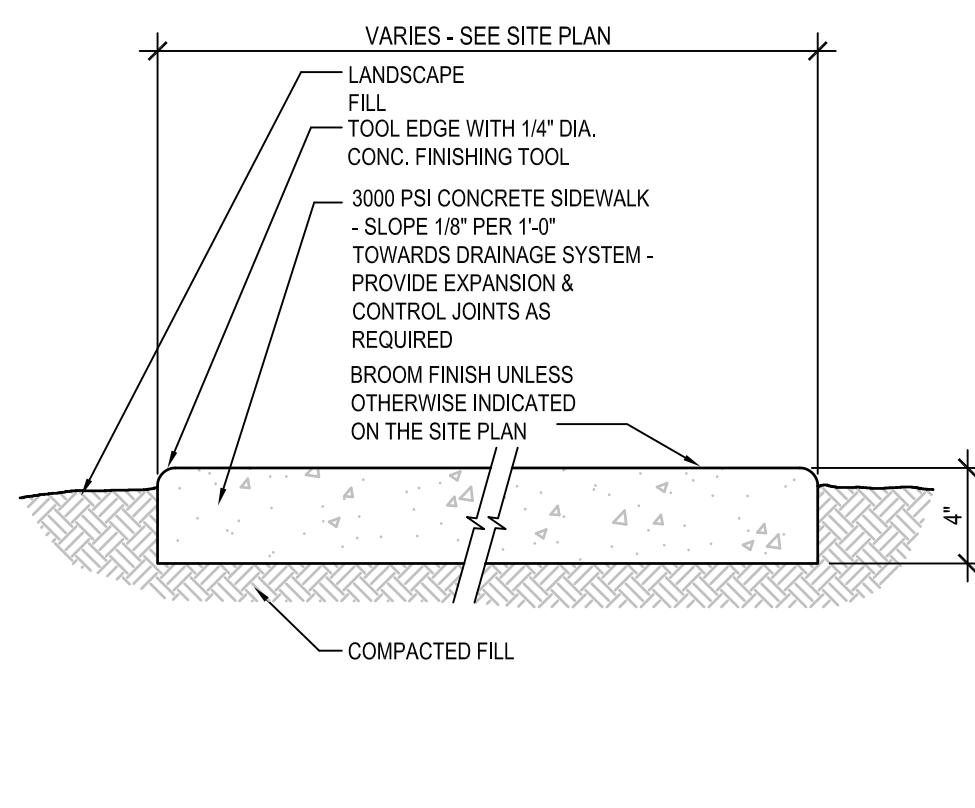
D3 PARKING BUMPER
NOT TO SCALE



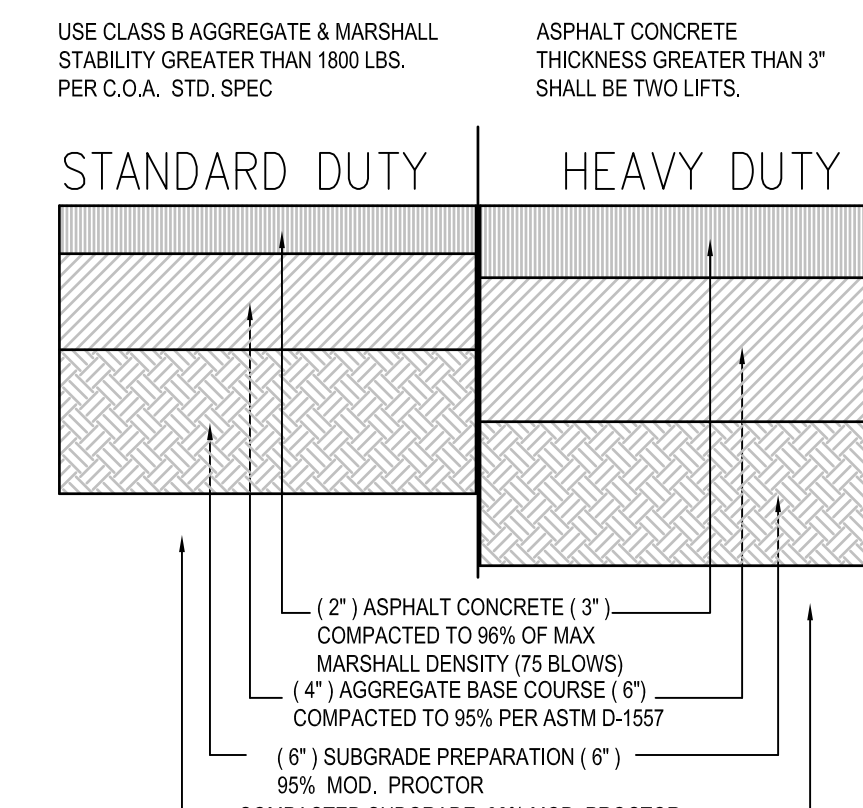
D4 SIDEWALK TURN-DOWN
SCALE: 1"=1'-0"



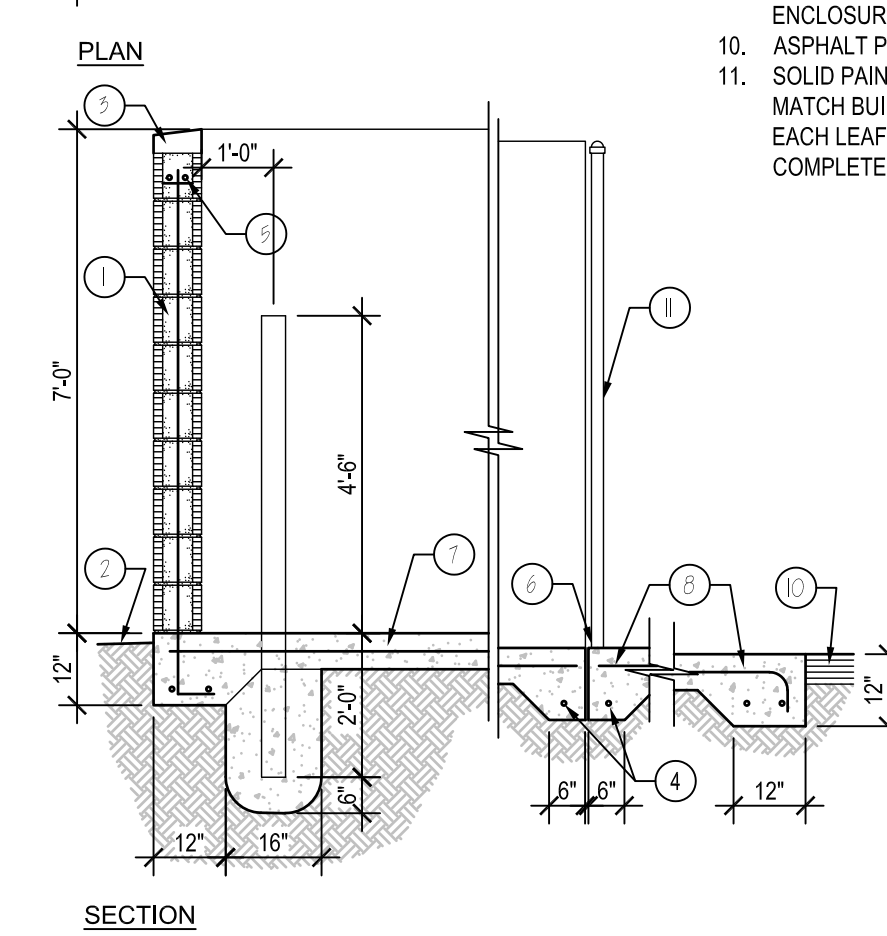
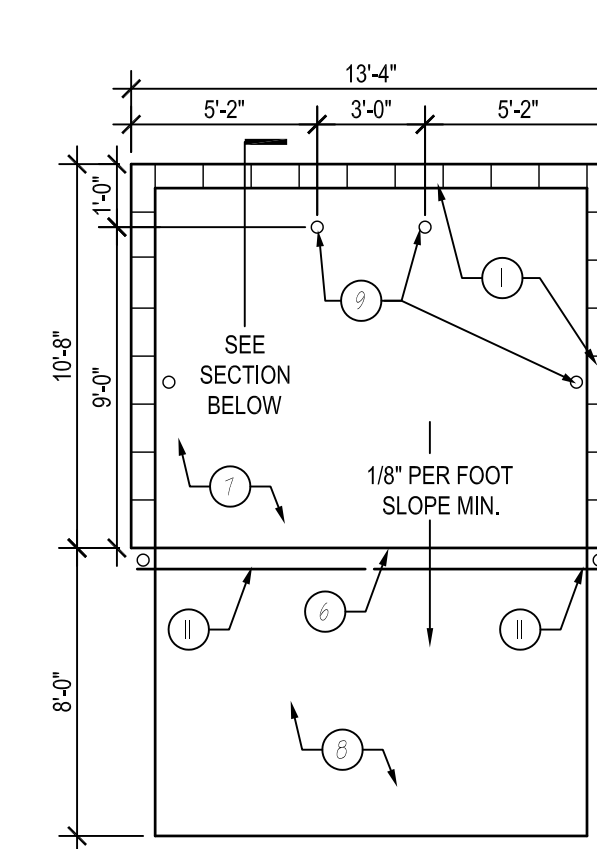
C2 SIDEWALK CULVERT DETAIL
SCALE: 1"=1'-0"



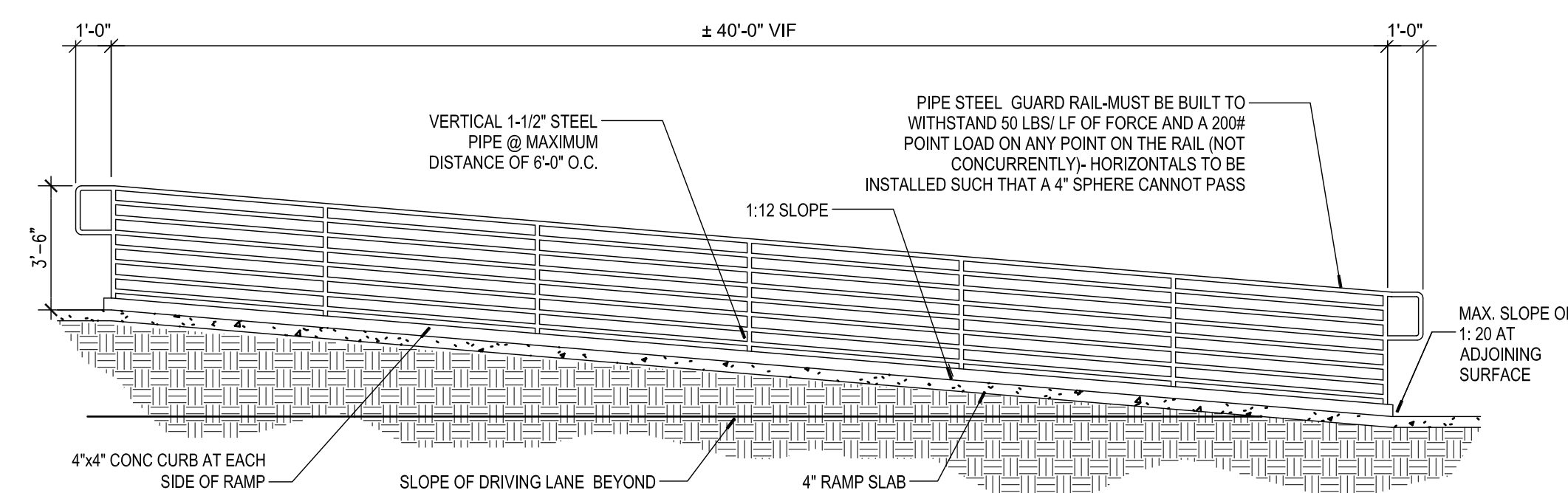
C3 SIDEWALK
SCALE: 1 1/2"=1'-0"



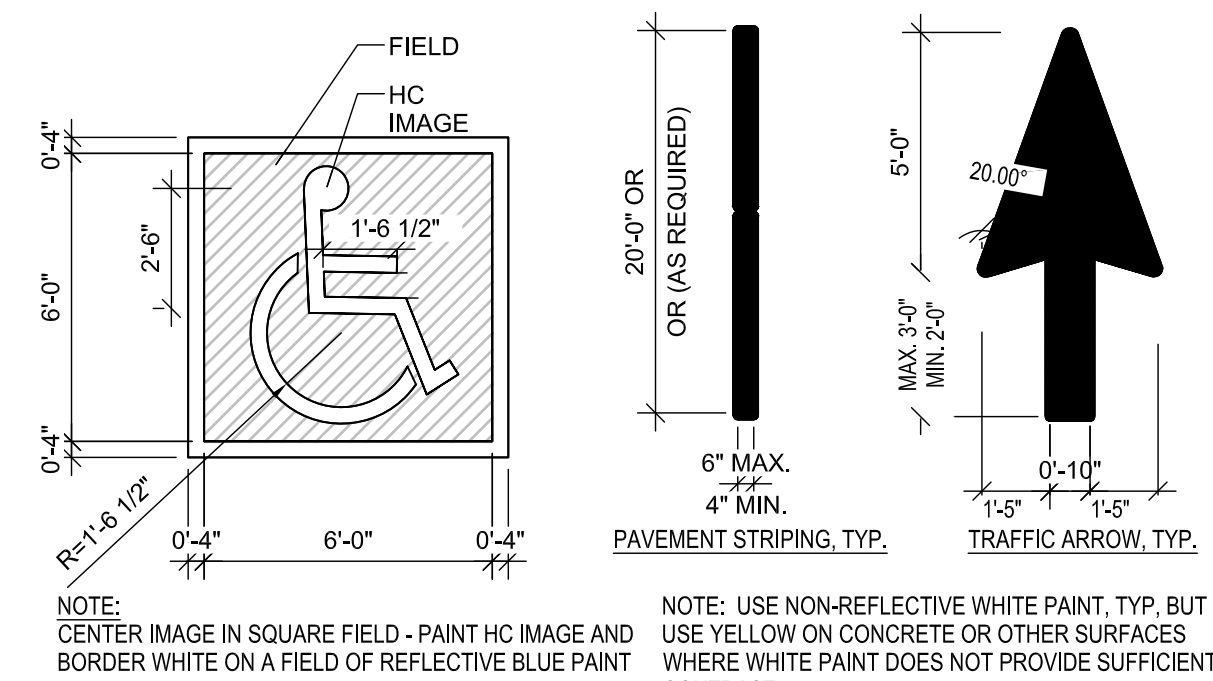
C4 ASPHALT PAVING SECTION
SCALE: 1 1/2"=1'-0"



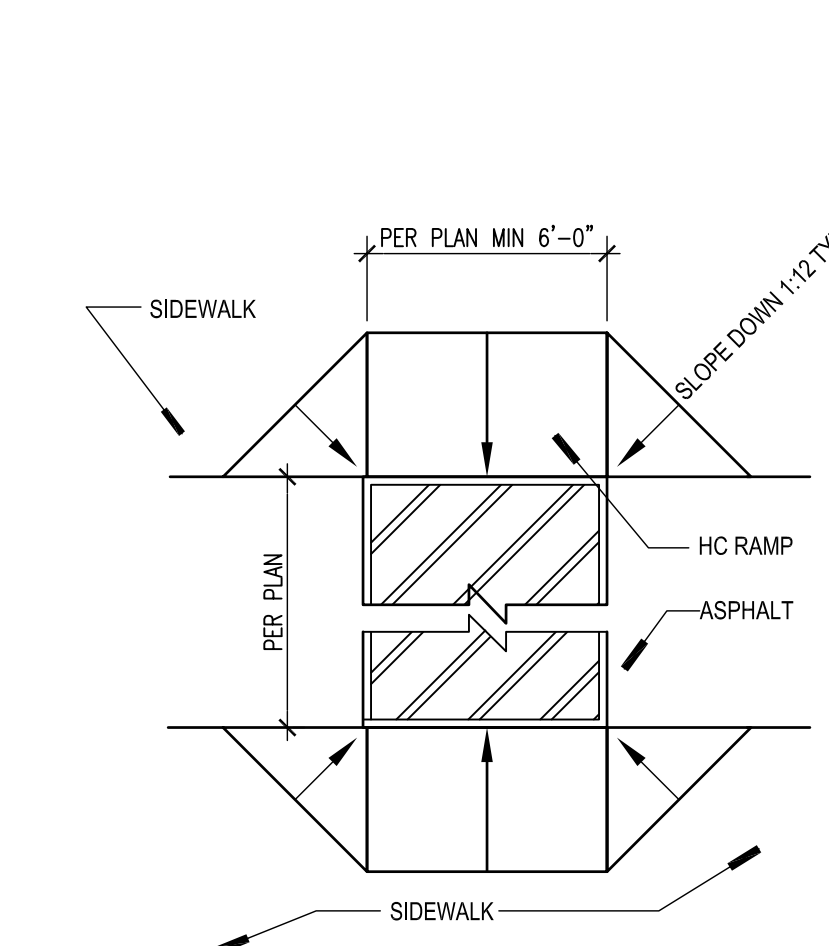
C5 REFUSE ENCLOSURE
NOT TO SCALE



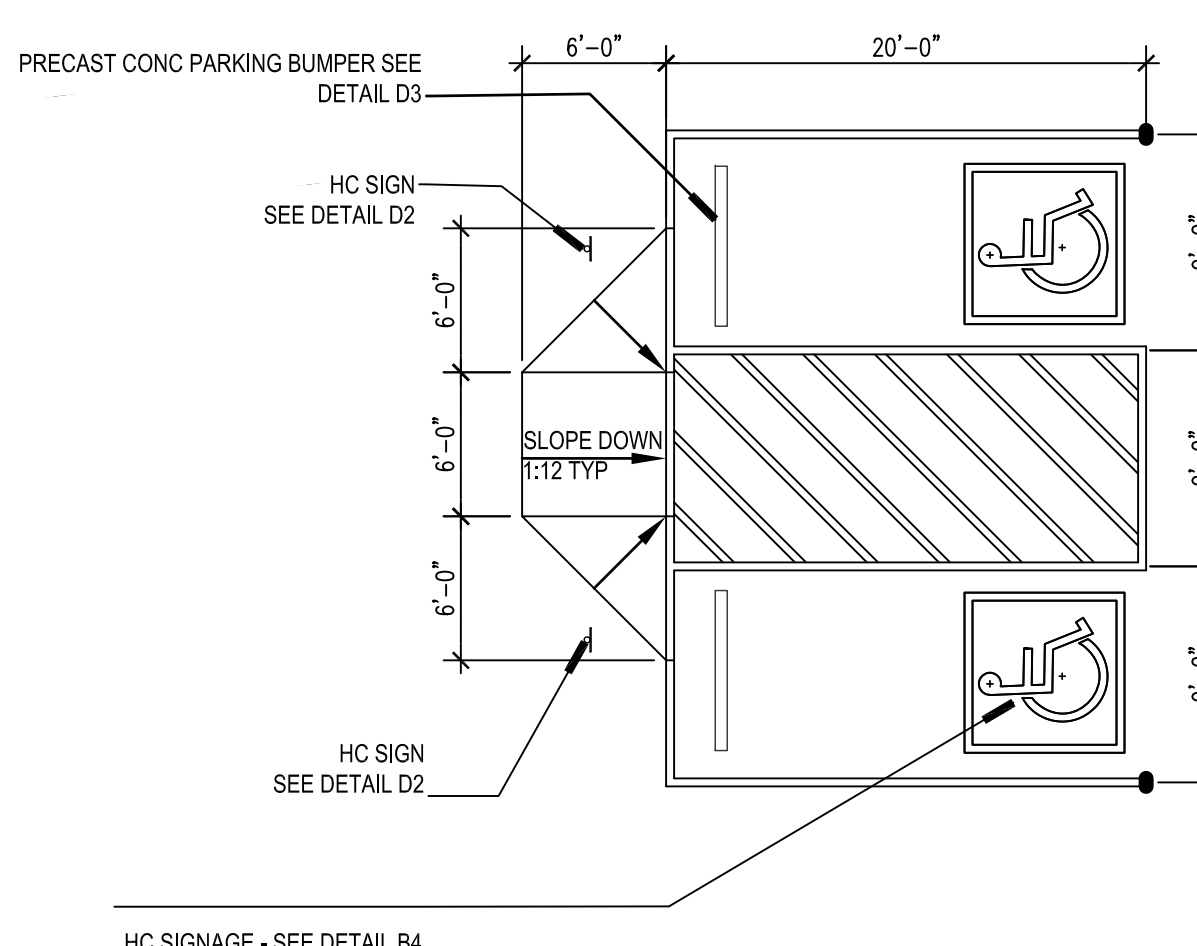
B2 SITE RAMP DETAIL
SCALE: 1/4"=1'-0"



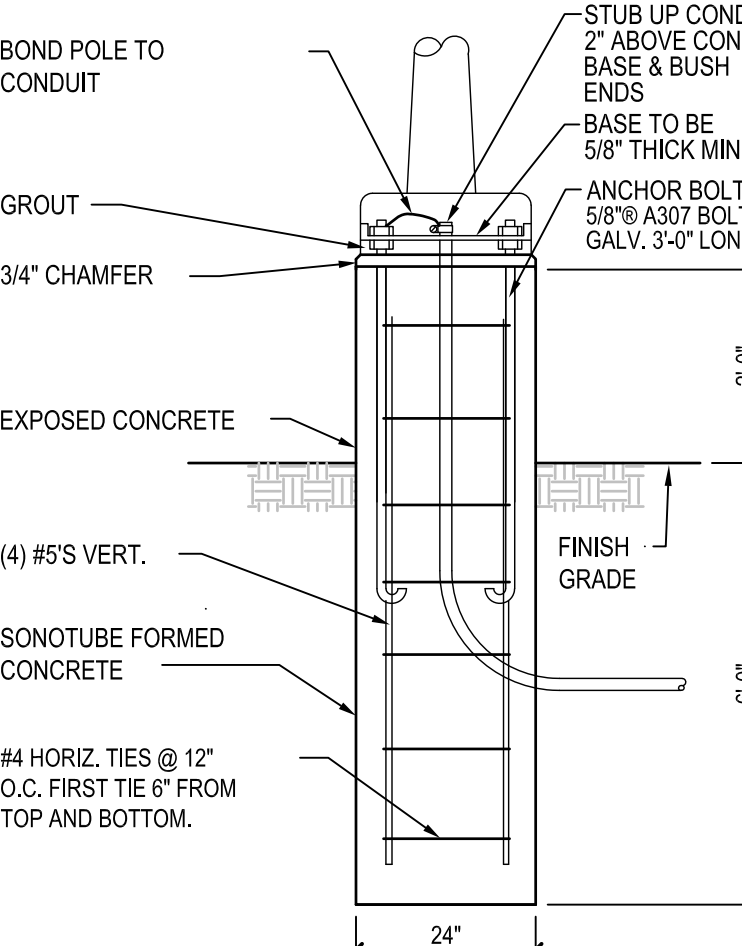
B4 ACCESSIBLE PARKING TYPICAL PLAN
SCALE: 1/4"=1'-0"



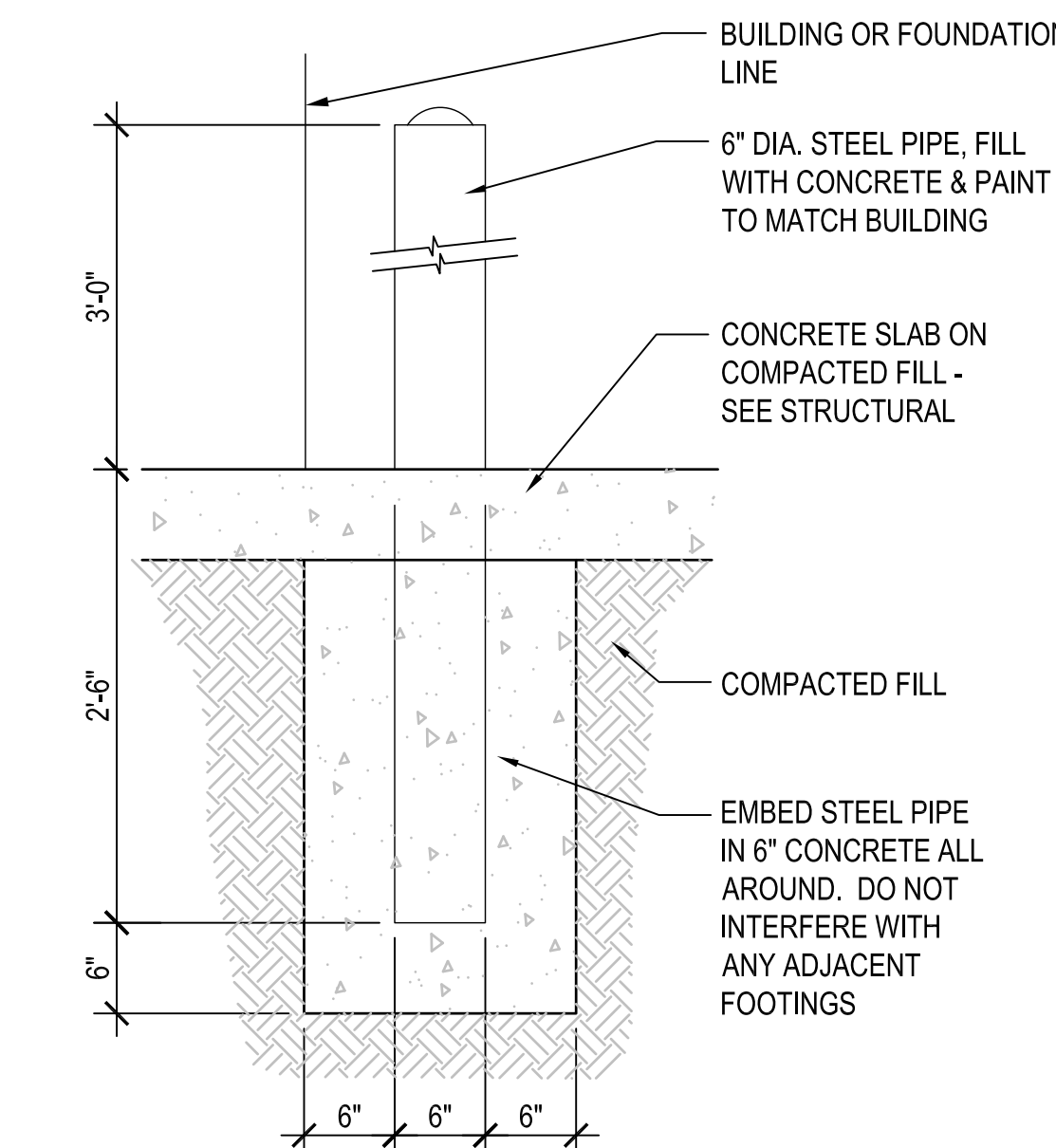
A2 ACCESSIBLE PARKING TYPICAL PLAN
SCALE: 1/8"=1'-0"



A3 ACCESSIBLE PARKING TYPICAL PLAN
SCALE: 1/8"=1'-0"



A4 LIGHT POLE DETAIL
SCALE: NOT TO SCALE



A5 BOLLARD
SCALE: 3/4"=1'-0"

REFUSE NOTES

- 8" CMU BLOCK WALL W/ STUCCO FINISH - COLOR TO MATCH BLDG.
- FINISH GRADE
- MASONRY CAP
- 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS. 2- #5 BARS @ BOTTOM OF 12" TURNDOWNS
- 2- #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL. GROUT REIN-FORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL
- 1/2" EXPANSION JOINT MATERIAL
- 6" CONCRETE SLAB. 4000 PSI. 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ 12" TURNDOWN EDGES UNDER CMU WALLS (w/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (w/ 1-#5 CONT.)
- 6" CONCRETE APRON. 4000 PSI. 8 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ 6" TURNDOWN EDGES (W/1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/2-#5 CONT.)
- 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH ENCLOSURE COLOR
- ASPHALT PAVING - SEE PAVING SECTION
- SOLID PAINTED METAL GATE - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 Fax 505.843.9683
Web Site: www.studioswarch.com
Email: mail@studioswarch.com

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CONSULTANTS

Architect Engineer

STARBUCKS AND T-MOBILE

124 and 128 98th Street
Albuquerque, NM 87121

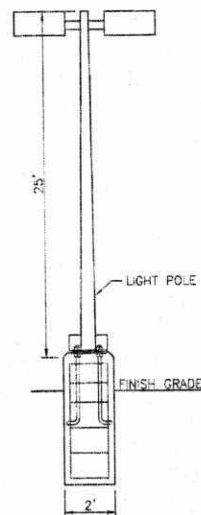
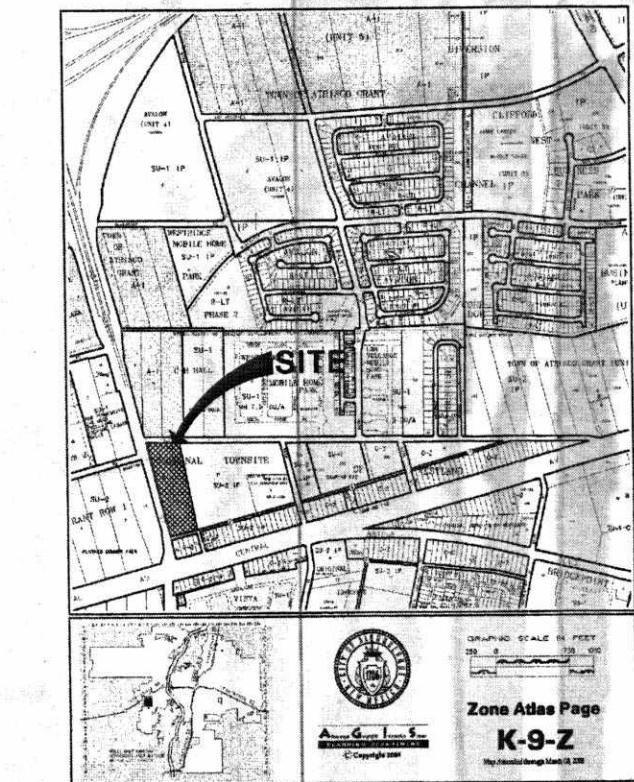
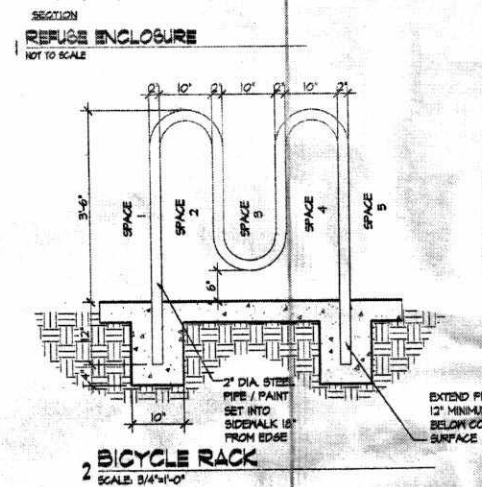
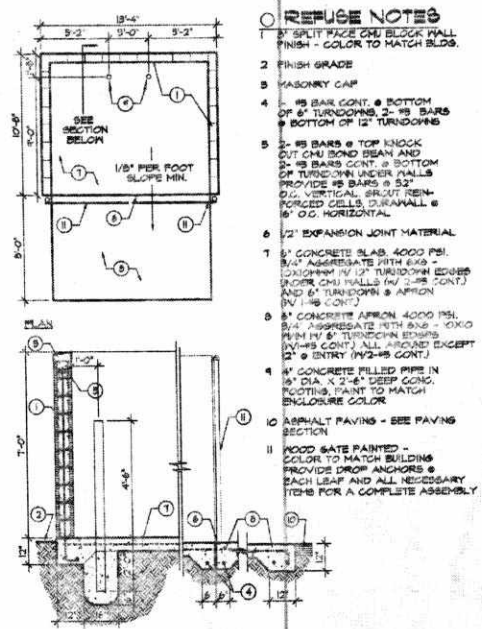
No	Date	Description
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Revision Schedule

2	11/04/2016	ADD STARBUCKS AND T-MOBILE
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ISSUE:	CON DOCS
PROJECT NUMBER:	1628
FILE:	628AS-DRB.DWG
DRAWN BY:	SFS
CHECKED BY:	RB
DATE:	11-04-2016

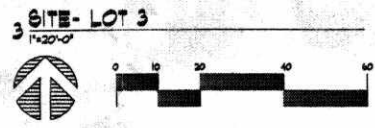
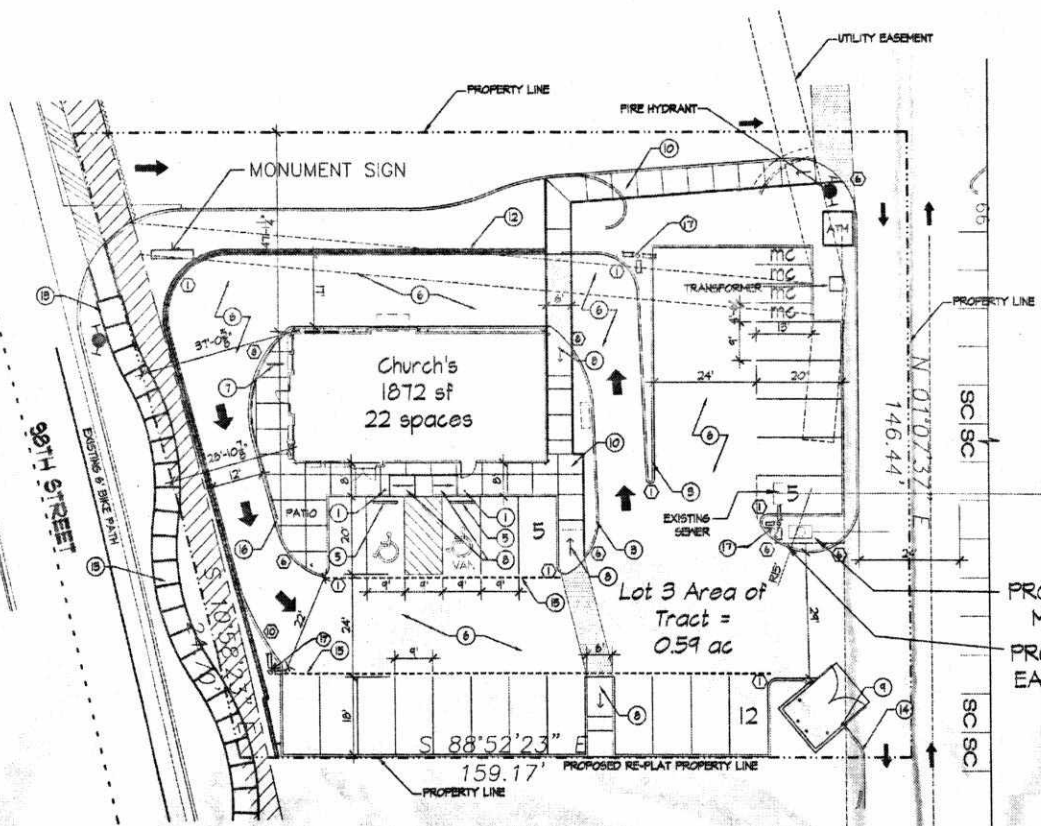
SHEET TITLE
ENLARGED SITE PLAN



LIGHT POLE DETAIL

ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

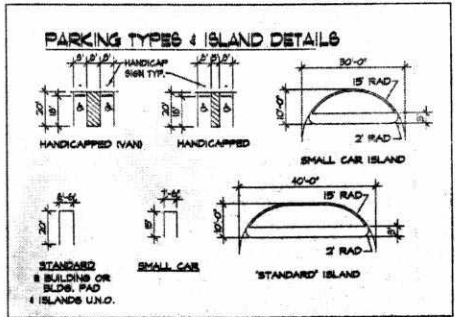
LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



RADIUS LEGEND

① 2' RADIUS	⑤ 15' RADIUS
② 3' RADIUS	⑥ 20' RADIUS
③ 4' RADIUS	⑦ 25' RADIUS
④ 5' RADIUS	⑧ 30' RADIUS
⑨ 10' RADIUS	⑩ 65' RADIUS

- KEYED NOTES**
- HANDICAP SIGN - 2 REQUIRED - SEE DETAIL.
 - LIGHT POLE - SEE DETAIL.
 - NEW CONCRETE PERMACURB TYPICAL.
 - NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE.
 - NEW PARKING BUMPER - 2 REQUIRED.
 - STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION.
 - BIKE RACK - SEE DETAIL.
 - SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN.
 - NEW REFUSE ENCLOSURE, SEE DETAIL.
 - NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS.
 - EXISTING TELEPHONE/CABLE FEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
 - CMU RETAINING WALL.
 - EXISTING SIDEWALK.
 - EXTRUDED ASPHALT CURB.
 - FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 - GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 - LIGHT POLE.
- GENERAL NOTES**
- VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.



AED PLANS CHECKING OFFICE
624-3511
APPROVED/DISAPPROVED
SIGNATURE & DATE 04/24/13

BUILDING LEGEND

OFFICE BUILDING	6842 SQFT
PARKING REQUIRED:	RESTAURANT = ONE PER 4 SEATS (2 H.C. SPACES)
PARKING PROVIDED:	23 SPACES PROVIDED (2 H.C. SPACES PROVIDED)
MOTORCYCLE PARKING:	4 PROVIDED
BICYCLE PARKING:	5 SPACES PROVIDED
LANDSCAPING REQUIRED:	BLDG. SITE = 25,100 S.F. - 1,672 S.F. (BLDG. AREA) = 23,428 S.F. NET LOT AREA * 1.5 = 35,142 S.F. 3512 S.F.
LANDSCAPING PROVIDED:	3512 S.F.

PROJECT NUMBER: 1004354
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- GENERAL NOTES - CITY REQUIRED**
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
 - THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS, No. 2425
 - CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

H+W
architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hpluw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

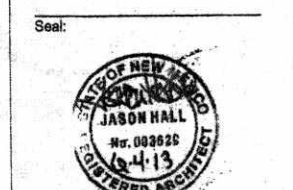
Sheet Title:
SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT

Date: June 4, 2013

Drawn: S.T.WILDER

Checked: S.T.WILDER

Revision:



JOB NUMBER: H28008

⊕ S01

PROPOSED DESIGN GUIDELINES

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTORS. A DIFFERENCE IN PAVING MATERIAL, COLOR OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

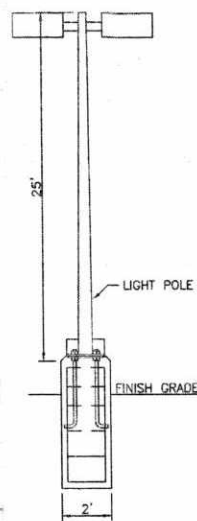
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
N.T.S.

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELGATED DOWN TO DRB.
- NO PACKAGE LIQUOR SALES ON THIS SITE
- MAXIMUM NUMBER OF DRIVE-THRU BUSINESSES, LIMITED TO THREE (3).

PROJECT NUMBER: _____

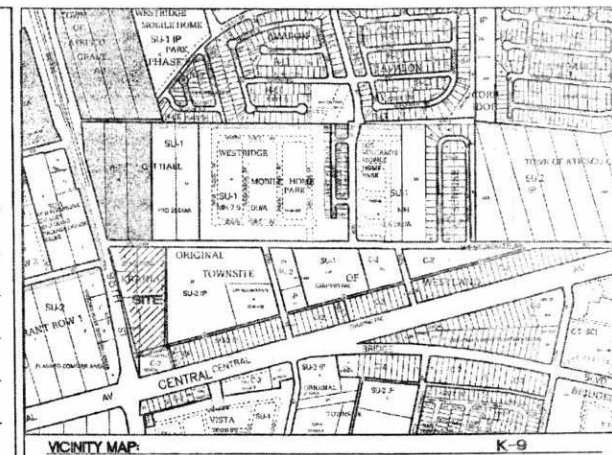
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

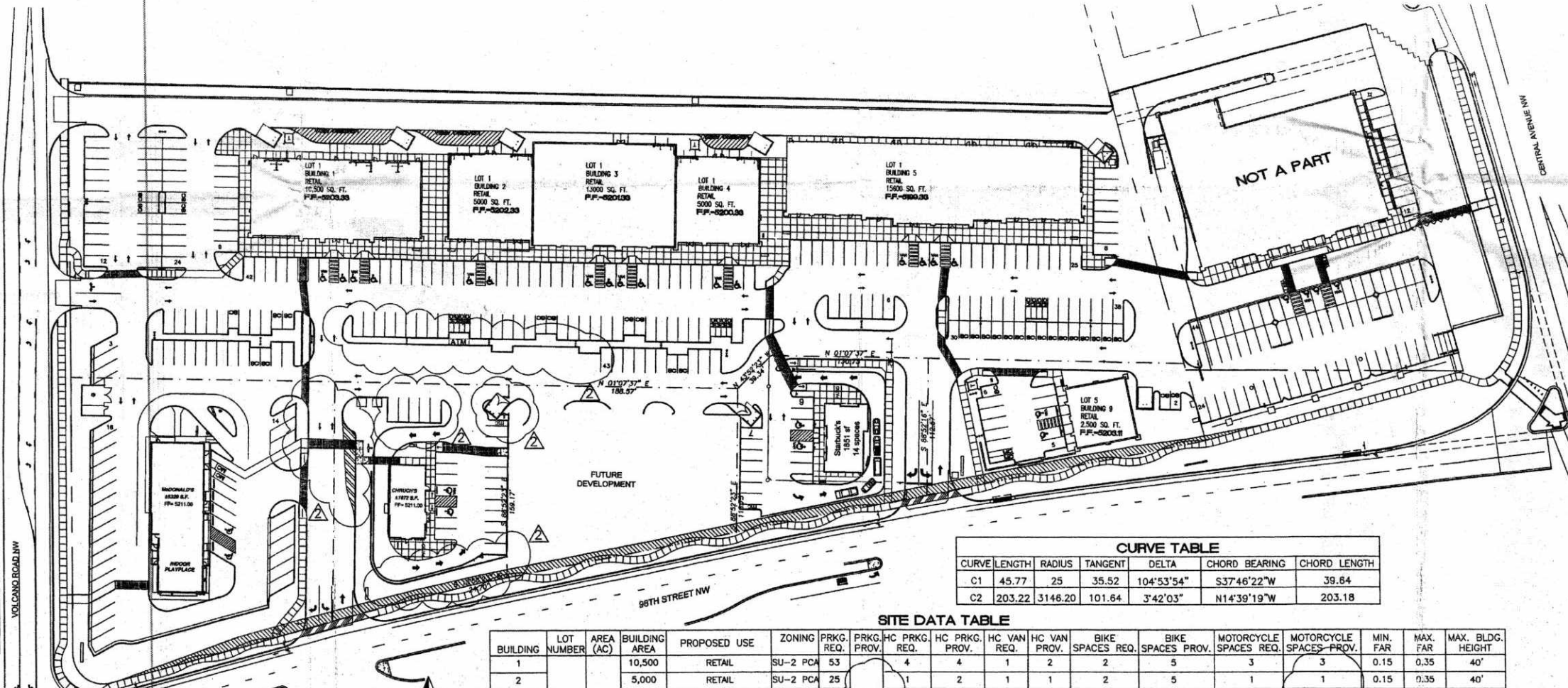
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	



LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

- BOUNDARY LINE
- - - - - EASEMENT
- ===== EXISTING CURB AND GUTTER
- ===== CURB AND GUTTER
- ===== SCREEN WALL
- ===== RETAINING WALL
- ===== PROPOSED SIDEWALK
- EXISTING BOUNDARY
- CROSS WALK
- ===== BIKE RACK
- PROPOSED SIDEWALK
- ===== ROW DEDICATION



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	45.77	25	35.52	104°53'54"	S37°46'22"W	39.84
C2	203.22	3146.20	101.64	3°42'03"	N14°39'19"W	203.18

SITE DATA TABLE

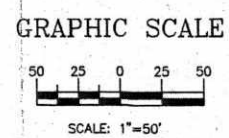
BUILDING	LOT NUMBER	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT
1			10,500	RETAIL	SU-2 PCA	53		4	4	1	2	2	5	3	3	0.15	0.35	40'
2			5,000	RETAIL	SU-2 PCA	25		1	2	1	1	2	5	1	1	0.15	0.35	40'
3	1	4.794	13,000	RETAIL	SU-2 PCA	65	228	4	4	1	2	3	5	3	3	0.15	0.35	40'
4			5,000	RETAIL	SU-2 PCA	25		1	2	1	1	2	5	1	1	0.15	0.35	40'
5			15,800	RETAIL	SU-2 PCA	78		4	4	1	2	3	5	3	4	0.15	0.35	40'
6	2	1.146	5,900	RESTAURANT W/ DRIVETHRU	SU-2 PCA	48	50	3	4	1	2	2	5	2	2	0.15	0.35	40'
7	3A	0.89	1,872	RESTAURANT W/ DRIVETHRU	SU-2 PCA	11	22	1	2	1	1	2	5	1	2	0.15	0.35	40'
8	4A	0.601	N/A	FUTURE RETAIL TO EPC	SU-2 PCA	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
9	4B	0.462	1,851	RESTAURANT W/ DRIVETHRU	SU-2 PCA	10	13	1	1	1	1	2	5	1	1	0.15	0.35	40'
10	5	0.450	2,500	RETAIL	SU-2 PCA	13	13	1	2	1	1	2	5	1	2	0.15	0.35	40'
TOTAL		8.049	61,223			328	328	20	25	9	13	20	45	18	19			

* RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS
 @ LOT 4A WILL PROVIDE ADDITIONAL SPACES AS REQUIRED TO MEET TOTAL PARKING REQUIREMENTS

ADMINISTRATIVE AMENDMENT
 FILE #14AA PROJECT #1007564
 10004 GDP FOR 9A
 MODIFICATIONS/CHANGES TO SITE AS LISTED BELOW + DUBBED ON SITE PLAN
 APPROVED BY DATE

- ▲ JANUARY 22, 2014
- IMPROVEMENTS ON LOT 3A HAVE BEEN ADJUSTED 10' TO THE EAST.
 - LAYOUT OF PARKING ON EAST SIDE OF LOT 3A HAS BEEN MODIFIED.
 - ATM WAS RELOCATED.
 - DUMPSTER ACCESS WAS MODIFIED FOR LOT 3A.
 - STRIPING AND PAYEMENT MARKINGS WERE ADDED TO 98TH STREET ENTRANCE.
 - PROVIDED PARKING QUANTITIES WERE MODIFIED.

NORTHEAST CORNER OF 98TH AND CENTRAL
AMENDED SITE PLAN FOR SUBDIVISION
 JANUARY 22, 2014



PROPOSED DESIGN GUIDELINES

SITE DESIGN:
VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL DRIVEWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRAMIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

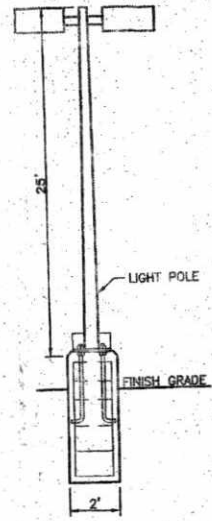
ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLEMENT THE EXISTING BUILDINGS.

SIGNAGE:
ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
 - NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
 - SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELEGATED DOWN TO DRB.

PROJECT NUMBER: 1004354
APPLICATION NUMBER: 02-00033

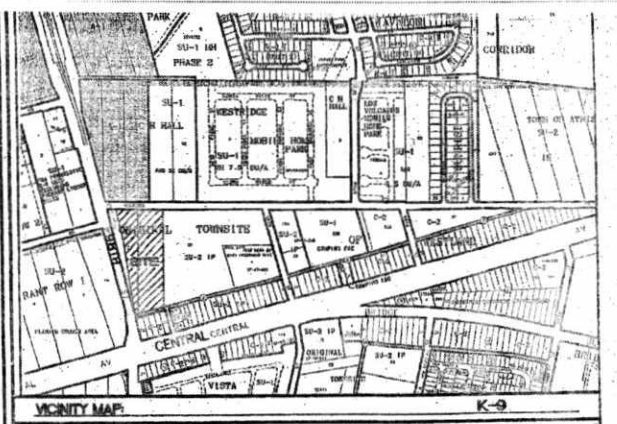
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), Joint and the Final and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>John M. ...</i> Traffic Engineer, Transportation Division	2-7-07 Date
<i>William G. Bally</i> Water Utility Development	2/7/07 Date
<i>Christine Sanderson</i> Parks & Recreation Department	2/7/07 Date
<i>Bradley L. Bingham</i> City Engineer	2/7/07 Date
N/A Environmental Health Department (conditional)	Date
<i>Michael Holton</i> Solid Waste Management	7/5/07 Date
<i>Shirley ...</i> DRB Chairperson, Planning Department	7/05/07 Date

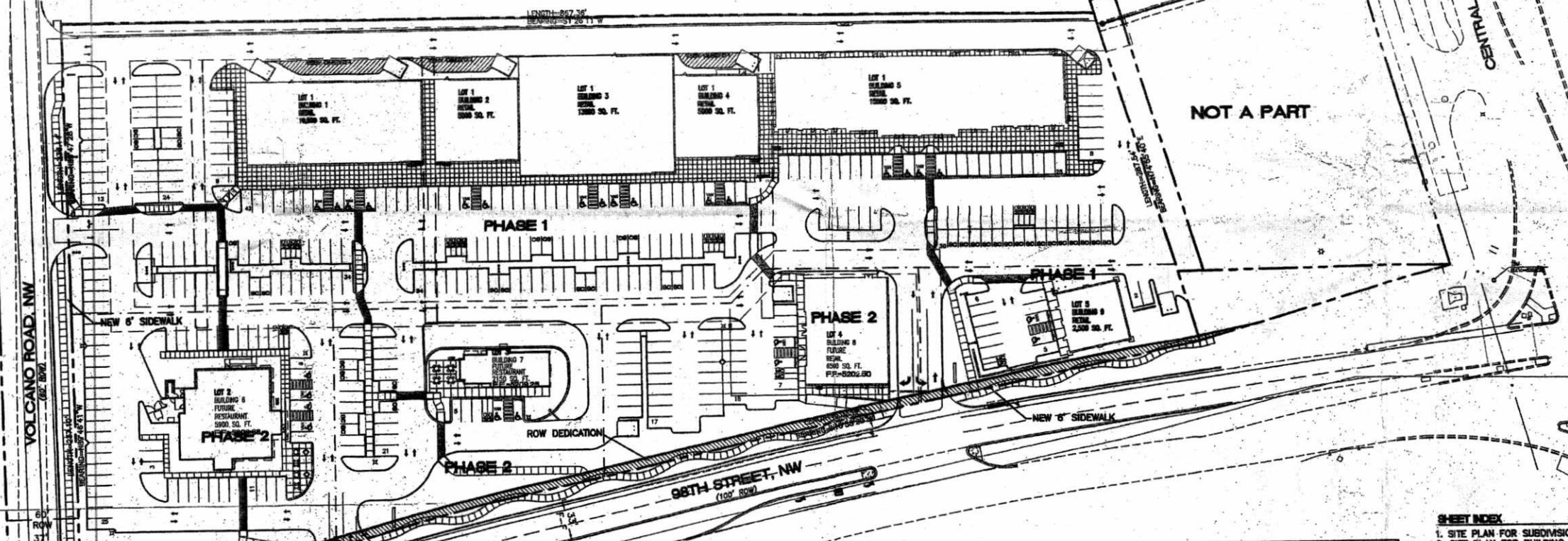
* Environmental Health, if necessary



LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSHIP OF WESTLAND

LEGEND

---	BOUNDARY LINE
- - - -	EASEMENT
---	EXISTING CURB AND GUTTER
---	CURB AND GUTTER
---	SCREEN WALL
---	RETAINING WALL
---	PROPOSED SIDEWALK
---	EXISTING BOUNDARY
---	CROSSWALK
---	BIKE RACK
---	PARKING LOT LIGHTING
---	ROW DEDICATION



CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	45.77	25	35.52	104°53'54"	S37°46'22"W	38.64
C2	203.22	3148.20	101.64	3°42'03"	N14°38'19"W	203.18

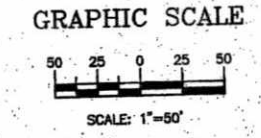
SITE DATA TABLE

BUILDING	LOT NUMBER	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT
1	1	4.794	10,500	RETAIL	SU-2 IP	53		4	4	1	2	2	5	3	4	0.15	0.35	40'
2	1	4.794	5,000	RETAIL	SU-2 IP	25		1	2	1	1	2	5	1	2	0.15	0.35	40'
3	1	4.794	13,000	RETAIL	SU-2 IP	65	249	4	4	1	2	3	5	3	4	0.15	0.35	40'
4	1	4.794	5,000	RETAIL	SU-2 IP	25		1	2	1	1	2	5	1	2	0.15	0.35	40'
5	1	4.794	15,800	RETAIL	SU-2 IP	78		4	4	1	2	3	5	3	4	0.15	0.35	40'
6	2	1.148	5,900	RESTAURANT	SU-2 IP	48	50	3	4	1	2	2	5	2	2	0.15	0.35	40'
7	3	0.870	2,150	RESTAURANT	SU-2 IP	18	21	1	2	1	1	2	5	1	2	0.15	0.35	40'
8	4	0.791	6,500	RETAIL	SU-2 IP	33	39	2	2	1	1	2	5	2	2	0.15	0.35	40'
9	5	0.450	2,500	RETAIL	SU-2 IP	13	13	1	2	1	1	2	5	1	2	0.15	0.35	40'
TOTAL	6	8.051	68,550			358	372	21	25	9	13	17	45	16	24			

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

- SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- DETAILS



	NORTHEAST CORNER OF 98TH AND CENTRAL	DRAWN BY: EMT
	SITE PLAN FOR SUBDIVISION	DATE: 2-5-07
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET #: 1	JOB #: 25066

Handwritten initials: EPC