

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then it is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1004354

Application #: 13DRB-70609

Project Name: Krania Subdivison

Agent: DAC Inc.

Phone #:

Your request was approved on 8-7-19 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

TRANSPORTATION:

ABCWUA:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): ped access for parking
add the word "adjacent" for Landscape Plat
and copy of Landscape Plan

PLATS:
 Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.
- County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.

- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.

DRB CASE ACTION LOG - BLUE SHEET

Preliminary/Final Plat [FP]

- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return this sheet with site plan/plat to obtain signatures once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then It is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1004354

Application #: 13DRB-70605

Project Name: ORIGINAL TOWNSITE OF WESTLAND

Agent: DAC ENTERPRISES, INC

Phone #:

Your request was approved on 7-24-13 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

- TRANSPORTATION: _____
- ABCWUA: _____
- CITY ENGINEER / AMAFCA: _____
- PARKS / CIP: _____
- PLANNING (Last to sign): . dsl utility signatures

PLATS:

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.


- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

- 3 copies of the approved site plan. Include all pages.


3. **Project# 1004354**
13DRB-70609 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT 

DAC, INC. agents for KRANIA, LLC request the referenced/ above action for all or a portion of Lot 3, **KRANIA SUBDIVISION**, zoned SU-2/PCA, located on the east side of 98TH ST NW between VOLCANO RD NW and CENTRAL AVE NW containing approximately .8333 acre. (K-9)) [*Deferred from 7/24/13*] **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO TRANSPORTATION FOR COMMENTS AND TO PLANNING FOR PEDESTRIAN ACCESS AND FOR A COPY OF LANDSCAPING AGREEMENT.**


4. **Project# 1008134**
13DRB-70599 MAJOR – SITE
DEVELOPMENT PLAN FOR BUILDING
PERMIT 

NCA ARCHITECTS PA agents for SALAS PROPERTIES LLC/ BOB'S BURGERS request the referenced/ above action for Tract A, **LANDS OF SALAS PROPERTIES, LLC** zoned C-2, located on the south side of CENTRAL AVE SW between 46TH ST SW and ATRISCO RD SW containing approximately .7787 acre. (K-12) [*Deferred from 7/17/13 , 7/24/13, 7/31/13*] **]DEFERRD TO 8/14/13 AT THE AGENT'S REQUEST.**


MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS


5. **Project# 1007099**
12DRB-70243 MINOR - FINAL
PLAT APPROVAL 

ISAACSON AND ARFMAN PA agent(s) for SANDIA FOUNDATION request(s) the above action(s) for all or a portion of Block(s) 16-17, Tract(s) A, **ZUNI ADDITION** zoned SU-2 FOR C-2, located on MENAUL BETWEEN PENNSYLVANIA AND MESILLA containing approximately 4.1826 acre(s). (H-19) [*Deferred from 8/15/12, 7/31/13*]. **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING TO RECORD.**


6. **Project# 1008797**
13DRB-70593 AMENDMENT TO
INFRASTRUCTURE LIST/
PRELIMINARY PLAT 

EASTERLING CONSULTANTS LLC agent(s) for TCS-TAOS LLC request(s) the above action(s) for all or a portion of Lot(s) 1-56 TAOS UNIT 1 AT THE TRAILS, **THE TRAILS UNIT 1** zoned VTSL, located on ADOBE ROSE PL AND TREE LINE BETWEEN UNIVERSE AND OAKRIDGE (C-9) [*Deferred on 7/10/13*]. **AMENDMENT TO INFRASTRUCTURE LIST WAS APPROVED.**


3. **Project# 1008134**
 13DRB-70599 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT 
[TO BE DEFERRED TO 7/31/13]

NCA ARCHITECTS PA agents for SALAS PROPERTIES LLC/ BOB'S BURGERS request the referenced/ above action for Tract A, **LANDS OF SALAS PROPERTIES, LLC** zoned C-2, located on the south side of CENTRAL AVE SW between 46TH ST SW and ATRISCO RD SW containing approximately .7787 acre. (K-12) *[Deferred from 7/17/13 at the agent's request.]* **DEFERRED TO 7/31/13 AT THE AGENT'S REQUEST.**
4. **Project# 1009568**
 13DRB-70600 VACATION OF PUBLIC RIGHT-OF-WAY 

EDI agents for DANIEL DAVIS request the referenced/ above action for a portion (approximately .0086 acre) of AVENIDA ESTRELLITA NE adjacent to Lot 13, Block 8, **LA RESOLANA ADDITION**, zoned R-1, located on the southwest corner of AVENIDA ESTRELLITA NE and AVENIDA LA RESOLANA NE. (J-17) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**
5. **Project# 1009178**
 13DRB-70611 PRELIMINARY PLAT APPROVAL
 13DRB-70617 MINOR - TEMP DEFR SWDK CONST

MARK GOODWIN AND ASSOCIATES, P.A. agents for RTR, LLC request the referenced/ above action for Lot 31 (proposed 31-A), Block 9, **VOLCANO CLIFFS Unit 18**, zoned SU-2/VCLL, located on PETIRROJO RD NW between UNSER BLVD NW and URRACA ST NW containing approximately 7.9143 acres. (D-10) **DEFERRED TO 8/7/13 AT THE AGENT'S REQUEST.**
6. **Project# 1008799**
 13DRB-70610 VACATION OF PUBLIC EASEMENTS 

BOHANNAN HUSTON, INC agents for RCS TRAILS 9-A, LLC request the referenced/ above action for all or a portion of Tract B, **TIERRA VISTA AT THE TRAILS UNIT 1**, zoned SU-2/ VTRD, located on the south side of WOODMONT AVE NW between RAINBOW BLVD NW and UNIVERSE BLVD NW containing approximately 9.4849 acres. (C-9) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITION OF VACATION IS THAT ADEQUATE RIGHT-OF-WAY/EASEMENT BE PROVIDED.**
7. **Project# 1004354**
 13DRB-70609 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

 13DRB-70605 MINOR - PRELIMINARY/FINAL PLAT APPROVAL 

DAC, INC. agents for KRANIA, LLC request the referenced/ above action for all or a portion of Lot 3, **KRANIA SUBDIVISION**, zoned SU-2/PCA, located on the east side of 98TH ST NW between VOLCANO RD NW and CENTRAL AVE NW containing approximately .8333 acre. (K-9) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR UTILITY SIGNATURES AND FOR AGIS DXF. THE SITE PLAN WAS DEFERRED TO 8/7/13.**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
July 10, 2013
DRB Comments**

ITEM # 4

PROJECT # 1004354 APPLICATION # 13-70605

RE: Lots 3 &4 , Krania Subdivision

All utility companies and AGIS need to provide written acknowledgement of their approval of the plat.

Per the Subdivision Ordinance, a Final Plat must explicitly state agreements/ easements of existing legal commitments or as appropriately required by the City; at a minimum it appears reciprocal access, parking and drainage easements should have already been granted and referenced on the plat, otherwise they would appropriately need to be granted on this plat.

Additionally, based on the submitted Existing Conditions exhibit a Public Sidewalk Easement needs to be provided along 98th Street, or an additional site plan amendment and relocation of the sidewalk into public right of way would be needed.

Jack Cloud, DRB Chairman
924-3880/ jcloud@cabq.gov



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

July 24, 2013

Project# 1004354
 13DRB-70609 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DAC, INC. agents for KRANIA, LLC request the referenced/ above action for all or a portion of Lot 3, **KRANIA SUBDIVISION**, zoned SU-2/PCA, located on the east side of 98TH ST NW between VOLCANO RD NW and CENTRAL AVE NW containing approximately .8333 acre. (K-9)

AMAFCA No comments
COG No comments provided.
TRANSIT No comments provided.
ZONING ENFORCEMENT No comments provided.
NEIGHBORHOOD COORDINATION Affected NA/HOA's – Avalon NA (R)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT This project is in the Southwest Area Command - A portion of the revised landscaping plan calls for low-level bush variety plantings in a designated location. Recommend maintaining that philosophy throughout the project. Bushes should be maintained to a level no more than three (3) feet high for maximum visibility. - Parking lot islands should be absent of larger variety tree plantings. Suggest large trees not be placed in conflict with pole lighting. Once trees become mature they tend to reduce available lighting coverage. - Recommend the installation of a video surveillance system. Cameras should be positioned to view all vehicle and pedestrian access points, parking lots, walkways, common areas and building approaches. Each camera should have the capability to be monitored and recorded for real-time and historical use.
FIRE DEPARTMENT No Comments
PNM ELECTRIC & GAS No comments provided.
COMCAST No comments provided.
CENTURYLINK No comments provided.
ENVIRONMENTAL HEALTH No comments provided.
M.R.G.C.D 1. Previously reviewed 02/04/2008. 2. No Adverse Comments.

OPEN SPACE DIVISION No comments provided.
CITY ENGINEER
TRANSPORTATION DEVELOPMENT
PARKS AND RECREATION A Streetscape Agreement will be required for any landscaping within the City ROW.
ABCWUA
PLANNING DEPARTMENT Refer to comments from Zoning Enforcement for site plan conformance with the Zoning Code and West Route 66 Sector Development Plan.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



COMPLETED 05/20/08 SD
DRB CASE ACTION LOG (SITE DEV. PLAN - BP)
 REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70048 Project # 1004354
 Project Name: KRANIA ADDITION
 Agent: TIERRA WEST Phone No.: 883-0414

Your request was approved on 5/14/08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): -15 day appeal period
5-30-08

- Planning must record this plat. Please submit the following items:**
- The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



DRB CASE ACTION LOG (SITE DEV. PLAN – BP)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 08DRB-70048

Project # 1004354

Project Name: KRANIA ADDITION

Agent: TIERRA WEST

Phone No.: 883-0414

Your request was approved on 5/14/08 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

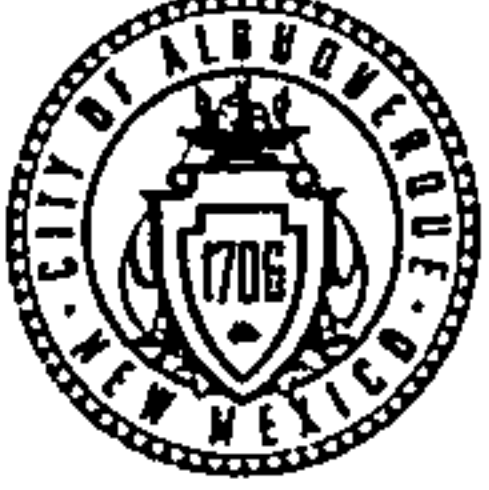
PLANNING (Last to sign): -15 day appeal period

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Created On:



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 14, 2008

Project# 1004354
08DRB-70048 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) [*Deferred from 2/20/08, 3/5/08, 3/12/08, 3/19/08, 3/26/08 & 4/2/08, 4/16/08 & 5/7/08*].

At the May 14, 2008 Development Review Board meeting, the site plan for building permit was approved with final sign-off delegated to Planning for 15 day appeal period.

If you wish to appeal this decision, you must do so by May 29, 2008 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Jack Cloud, AICP, DRB Chair

Cc: Tierra West LLC – 5571 Midway Park Place NE – Albuquerque, NM 87109
Cc: McDonald's Corporation – 511 E. Carpenter Freeway Ste 375 – Irving, TX 75062
Marilyn Maldonado
File

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 6

SUBJECT:

Site Development for Building Permit

ENGINEERING COMMENTS:

The Hydrology section has no objection.

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

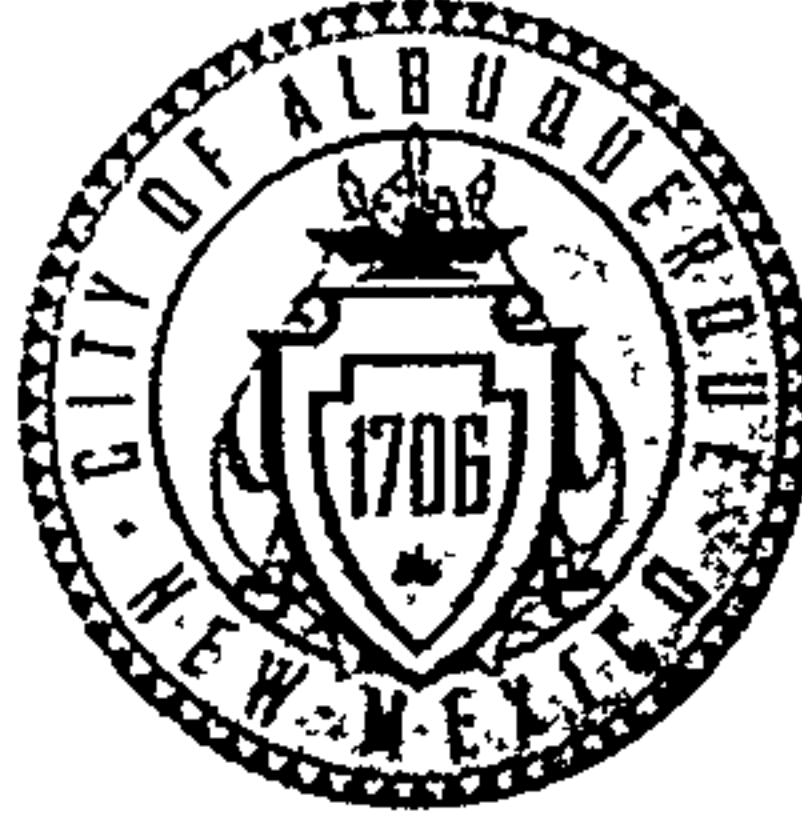
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 5-14-08



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 14, 2008 9:00 AM
MEMBERS:

MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer**

**Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1000316**
08DRB-70186 MAJOR - 2YR
EXTENSION OF SUBDIVISION
IMPROVEMENTS

HUITT-ZOLLARS, INC., agent(s) for GSL PROPERTIES INC request(s) the above/ referenced action(s) for all or a portion of Tract(s) A-C, **COTTONWOOD SUBDIVISION**, zoned SU-1 FOR C2 & IP USES , and SU-1 FOR PRD,, located on the north side of SEVEN BAR LOOP RD NW BETWEEN COORS BLVD NW AND COTTONWOOD DR NW containing approximately 16.11 acre(s). (B-16) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

2. **Project# 1002949**
08DRB-70182 MAJOR - 2YR
EXTENSION OF SUBDIVISION
IMPROVEMENTS

JAMES CRABTREE request(s) the above/ referenced action(s) for all or a portion of Lot(s) 1-A, B, C, D, & E, Block 10, **PETROGLYPH PARK**, zoned O-1, located on the east side of UNSER BLVD NW BETWEEN SANTO DOMINGO ST NW AND MOJAVE ST NW containing approximately 1 acre(s). (E-10) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

3. **Project# 1002567**
08DRB-70184 VACATION OF PUBLIC EASEMENT
08DRB-70185 VACATION OF PRIVATE EASEMENT
08DRB-70215 PRELIMINARY/FINAL PLAT

ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for STEVE KIRK request(s) the above/ referenced action(s) for a 34 foot Private Access and Drainage Easement, a 10 foot Public Utility Easement, and a 25 foot Public Water and Sewer Easement, all or a portion on Lot(s) 1-11, **HACIENDA DE LOIS**, zoned R-2, located on the west side of 12TH ST NW BETWEEN MENAUL BLVD NW AND LA POBLANA RD NW containing approximately 0.8544 acre(s). (H-13) **THE VACATION OF PUBLIC EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 15 DAY APPEAL PERIOD AND TO RECORD.**

4. **Project# 1006822**
08DRB-70146 VACATION OF PUBLIC RIGHT-OF-WAY
08DRB-70147 MINOR - PRELIMINARY/FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for 2000 GOLD AVE LLC PHILLIP RABY PRINCIPAL request(s) the above action(s) for all or a portion of Lot(s) 1&2, Block(s) 76, **TERRACE ADDITION, TOGETHER WITH VACATED PORTIONS OF TERRACE ST GOLD AV & BUENA VISTA DR**, zoned SU-2 / PR, located on GOLD AV SE BETWEEN TERRACE ST SE AND BUENA VISTA DR SE containing approximately 0.411 acre(s). (R-15) [*Deferred from 4/16/08 & 4/30/08*]. **DEFERRED TO 5/21/08 AT THE AGENT'S REQUEST.**

5. **Project# 1005540**
08DRB-70187 VACATION OF PUBLIC EASEMENT
08DRB-70188 MAJOR - PRELIMINARY PLAT APPROVAL
08DRB-70189 - TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

WILSON & COMPANY agent(s) for LEGACY SUSTAINABLE DEVELOPMENT, INC. request(s) the above action(s) for all or a portion of Tract(s) D & E, **LA CUENTISTA SUBDIVISION**, zoned SU-2 (VOLCANO HEIGHTS SECTOR PLAN), located on the east side of KIMMICK DR NW BETWEEN FIRE THORN LN NW AND ROSA PARKS RD NW containing approximately 91.037 acre(s). (C-11, D-11) **DEFERRED TO 5/21/08 AT THE AGENT'S REQUEST.**

6. **Project#-1004354**
08DRB-70048 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) [Deferred from 2/20/08, 3/5/08, 3/12/08, 3/19/08, 3/26/08 & 4/2/08, 4/16/08 & 5/7/08].

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO PLANNING FOR 15 DAY APPEAL PERIOD.

7. **Project# 1006833**
07DRB-70255 MAJOR - SDP FOR
BUILDING PERMIT

GEORGE RAINHART ARCHITECTS agent(s) for WEBER AND COMPANY request(s) the above action(s) for all or a portion of Tract(s) S2A2, S2A1 & S1A, **ATRISCO BUSINESS ADDITION (to be known as UNSER TOWNE CROSSING)**, zoned IP, located on LOS VOLCANES NW BETWEEN UNSER BLVD NW AND GALATIN NW containing approximately 53 acre(s). (J-9 & J-10) [Deferred from 10/10/07, 11/14/07, 12/12/07, 1/30/08, 2/27/08, 3/26/08 & 4/9/08, 4/16/08 & 4/30/08]

THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR SIA, AND TO PLANNING FOR ZONING LETTER REFERENCING SIGNS, VERIFICATION OF ARTICULATION CALCULATION, AND TO SHOW PHASING ON THE SITE PLAN, AND 3 COPIES OF THE APPROVED SITE PLAN.

8. **Project # 1005070**
06DRB-01154 MAJOR-PRELIMINARY
PLAT APPROVAL
06DRB-01156 MINOR-SIDEWALK
WAIVER
06DRB-01155 MINOR-TEMP DEFER
SDWK

SURV-TEK INC & WILSON & COMPANY agent(s) for THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 8, **THE TRAILS, UNIT 2 (to be known as TAOS @ THE TRAILS, UNIT 2)** zoned SU-2-SRLL, located on WOODMONT AVE NW, between UNIVERSE BLVD NW and RAINBOW BLVD NW containing approximately 9 acre(s). (C-9) [Deferred from 9/6/06, 9/13/06, 9/27/06, 10/11/06, 10/25/06, 11/29/06, 12/20/06, 1/24/07, 4/18/07, 6/20/07, 7/18/07, 08/22/07 & 09/05/07 & 09/26/07, 10/17/08 & 4/16/08]. **DEFERRED TO 7/16/08 AT THE AGENT'S REQUEST.**

9. **Project# 1006516**
 07DRB-70030 BULK LAND VARIANCE
 07DRB-70031 MAJOR - PRELIMINARY
 PLAT APPROVAL
 07DRB-70032 MINOR - TEMP DEFR
 SWDK CONST
 07DRB-70033 SIDEWALK WAIVER
 07DRB-70034 VACATION OF PUBLIC
 EASEMENT
 07DRB-70085 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) [*Deferred from 6/27/07, 7/25/07, 7/22/07, 8/22/07 & 9/26/07, 1/30/08, 3/5/08 & 4/9/08*] **DEFERRED TO 5/28/08 AT THE AGENT'S REQUEST.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

10. **Project# 1003125**
 08DRB-70183 MINOR - SDP FOR
 BUILDING PERMIT

MOLZEN-CORBIN & ASSOCIATES agent(s) for TRI MOTOR LLC request(s) the above action(s) for all or a portion of Tract(s) S-1, **AEROSPACE TECHNOLOGY PARK IN DOUBLE EAGLE II AIRPORT**, zoned SU-1 FOR AIRPORT & REL FAC, located on AEROSPACE PARKWAY NW BETWEEN SHOOTING RANGE PARK RD NW AND AREOSPACE PARKWAY NW containing approximately 2 acre(s). (G-6) [*Deferred from 4/30/08 & 5/7/08*] **DEFERRED TO 5/21/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project# 1006767**
 08DRB-70214 MINOR - PRELIMINARY/
 FINAL PLAT APPROVAL

MULLEN HELLER ARCHITECTURE agent(s) for CHAPARRAL ELECTRIC request(s) the above action(s) for all or a portion of Lot(s) B, 1 & 2 (TBK 1-A), Block(s) 2, **HILLS ACRES**, zoned S-ML, located on 6TH ST NW BETWEEN MCKNIGHT AVE NW AND BEZEMEK NW containing approximately .63 acre(s). (M-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE.**

12. **Project# 1007083**
08DRB-70206 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for JOSEPH E SAMORA JR request(s) the above action(s) for all or a portion of Lot(s) 16-A, 17-A, 18-A, AND NORTH 1/2 OF 19-A, **JM MOORE REALTY COMPANY'S ADDITION NO.1**, zoned R-1, located on 8TH ST NW BETWEEN MOUNTAIN NW AND SUMMER NW containing approximately .3001 acre(s). (J-14) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AMAFCA SIGNATURE, 15' PRIVATE WATER AND SANITARY SEWER DRAINAGE AND UTILITY EASEMENT, AMAFCA SIGNATURE, AND A COPY OF THE RECORDED PLAT FOR PLANNING.**
13. **Project# 1007275**
08DRB-70213 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- CARTESIAN SURVEYS INC agent(s) for US POST OFFICE request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) A, Tract(s) A & B, 16-95A2, 202A & 203 A, **KW PHILLIPS ADDITION, SLADE-OLSON**, zoned SU-2 MH, located on LOMAS BLVD NE BETWEEN BROADWAY BLVD NE AND A.T. & S.F. RAILROAD containing approximately 6.0643 acre(s). (J-14)**INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
14. **Project# 1007214**
08DRB-70169 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- SURVEYS SOUTHWEST LTD agent(s) for KENDALL SYKES C/O: TERRY SYKES request(s) the above action(s) for all or a portion of Lot(s) L-4, **COLES INDUSTRIAL SUBD., #2** zoned M-1, located on STANFORD DR NE BETWEEN CANDELARIA RD NE AND VASSAR NE containing approximately 0.267 acre(s). (H-16) *[Deferred from 4/16/08 & 4/30/08]*. **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
15. **Project# 1007271**
08DRB-70211 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- HARRIS SURVEYING INC agent(s) for ISIDOR GALLEGOS request(s) the above action(s) for all or a portion of Lot(s) 7 & NORTH 1/2 OF 8, **HUBBELL HEIGHTS**, zoned R-1, located on 65TH ST SW BETWEEN CENTRAL AVE SW AND CHURCHILL RD SW containing approximately 0.3185 acre(s). (K-11) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR NET LOT AREA, PRIVATE EASEMENT FOR WATER AND SEWER AND DRAINAGE, AMAFCA SIGNATURE, AND MAINTENANCE AND BENEFICIARY.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project# 1007270**
08DRB-70210 SKETCH PLAT REVIEW
AND COMMENT

HARRIS SURVEYING, INC agent(s) for CRIS JAFFA request(s) the above action(s) for all or a portion of Lot(s) 1-A, **TRACT 22-B, M.R.G.C.D MAP 33, LOTS 17, 18, & 27**, zoned M-1, located on 2ND ST NW BETWEEN LAS HERMANAS ST NW AND CARLTON ST NW containing approximately 6.7219 acre(s). (G-15) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS GIVEN.**

17. Approval of the Development Review Board Minutes for February 27, 2008.

Other Matters: None

ADJOURNED: 10:25

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

4-2-08

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: March 26, 2008

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 9, 2008

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 2, 2008

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

The proposed layout shown on the site plan for building permit does not match the site plan for subdivision. Provide recording information for cross lot access easements on the site plan.
Drive through facility: Minimum lane widths are 12 feet minimum with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet).

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

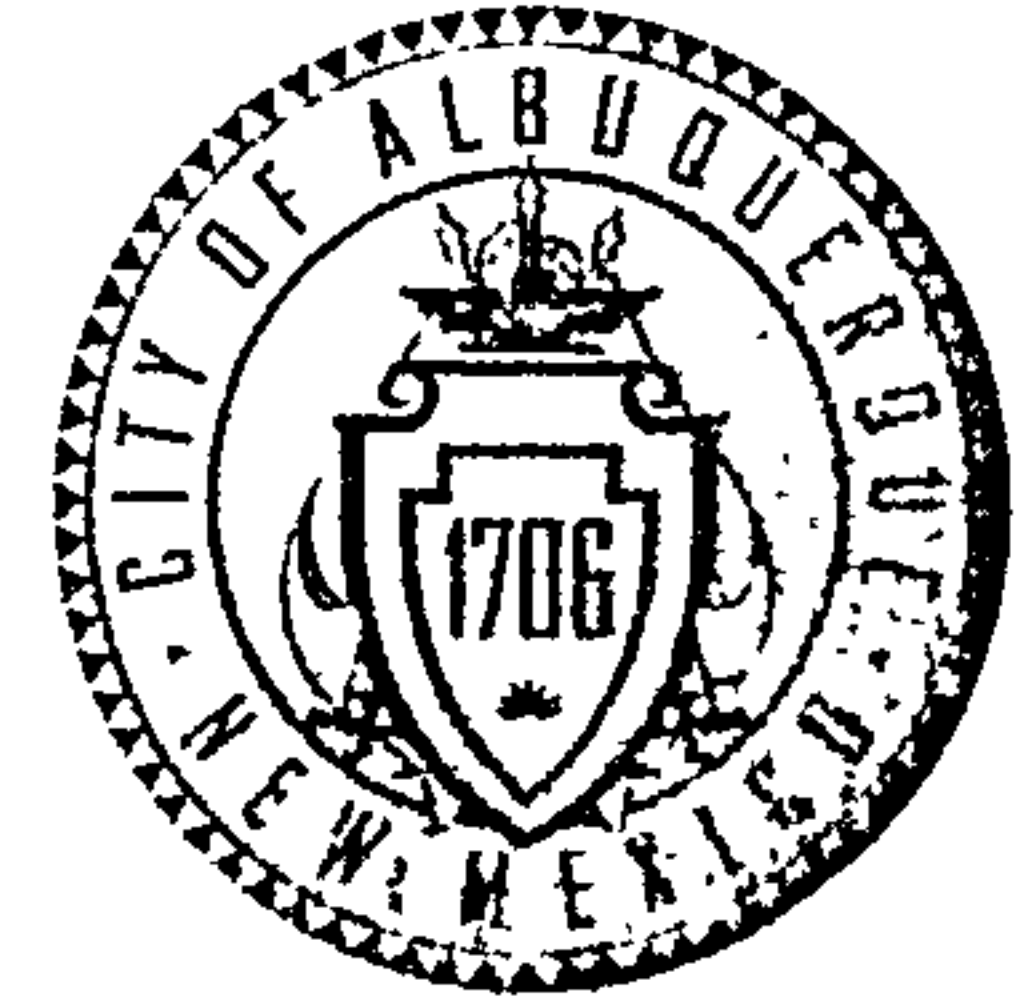
SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: APRIL2, 2008

CITY OF ALBUQUERQUE



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 2, 2008

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: February 20, 2008
Zone Atlas Page: K-9
Notification Radius: 100 Ft.

Project# 1004354
App#08DRB-70048

Cross Reference and Location: 98TH ST NW BETWEEN CENTRAL AVE NW
AND VOLCANO RD NW

Applicant: MCDONALD'S CORP
511 E CARPENTER FREEWAY STE 375
IRVING, TX 75062

Agent: TIERRA WEST LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: FEBRUARY 1, 2008
Signature: ERIN TREMLIN

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100
 ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: McDonald's Corporation PHONE: 972-869-1888
 ADDRESS: 511 E. Carpenter Freeway, Suite 375 FAX: _____
 CITY: Irving STATE TX ZIP 75062 E-MAIL: _____
 Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Krania
 Existing Zoning: SU-2 PCA Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): K-9 UPC Code: 100905707008030401

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX,Z_, V_, S_, etc.): 05DRB-01229/
06EPC-01107,01108/07DRB-00032,00033,00034/07EPC-40030,40031/Project # 1004354

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.1172+/-
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street NW
 Between: Central Avenue NW and Volcano Road NW
 Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1/25/08
 (Print) Ronald R. Bohannon, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
08DRB : 10048
 _____ : _____
 _____ : _____
 _____ : _____
 _____ : _____
 Hearing date 02/20/08

Action	S.F.	Fees
<u>SBP</u>	<u>P12)</u>	<u>\$ 385.00</u>
<u>ADU</u>		<u>\$ 75.00</u>
<u>CAF</u>		<u>\$ 20.00</u>
		\$ _____
		\$ _____
		\$ _____
		Total
		<u>\$ 480.00</u>

Sandy Handley 01/25/08
 Planner signature / date

Project # 1004354

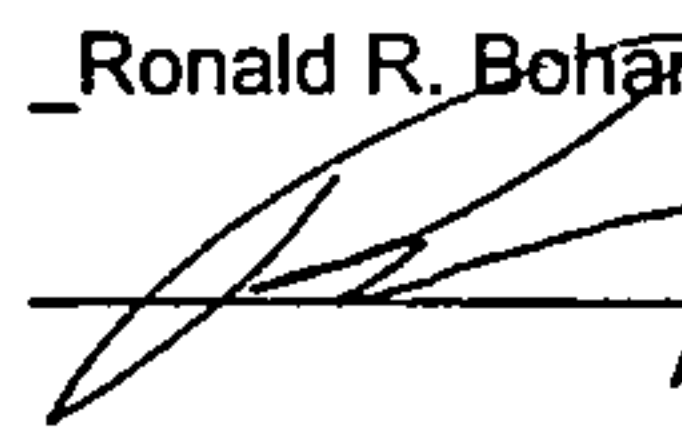
FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- n/a 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - n/a 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald R. Bohannon, PE
 Applicant name (print)

 Applicant signature / date
 1/25/08



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 OSDRB - 70048


 Planner signature / date
 01/25/08

Project # 1004354

R e c	UPC CODE	OWNER	OWNER ADDRESS	OWN ER CITY	O W N E R S T A T E	OW N E R Z I P C O D E	PR O P E R T Y C L A S S	TA X D I S T R I C T	LEGAL
1	100905 707008 030401	KRANIA LLC	5321 MEN AUL NE	ALBU QUER QUE	N M	871 10	V	A1 A	TRACT O ROW 1 UNIT A WEST OF WESTLAND EXCEPT PORTION OU T TO NOLASCO RD NW
2	100905 709008 130435	KRANIA LLC	5321 MEN AUL BLVD N E	ALBU QUER QUE	N M	871 10	V	A1 A	* 027 009WLY POR LOT 27 ORIG T OWNSITE OF WESTLAND
3	100905 704506 230105	PETERSON PROPERTIES INV ESTMENTS LLC	1213 SAN PEDRO DR NE	ALBU QUER QUE	N M	871 10	V	A1 A	TRACT 1A PLAT OF TRS 1A & 1B R OW 1 UNIT A WEST OF WESTLAND C ONT 4.1572 AC M/L
4	100905 702215 630606	STEFAN ADRIAN I & MARICA	2704 BOS QUE DEL S OL LN NW	ALBU QUER QUE	N M	871 20	V	A1 A	PART OF TR 1 ROW 2 UNIT A WES T OF WESTLAND ATRISCO GRANT CON T 2.00 AC
5	100905 708002 230402	MONAHITI LLC	5321 MEN AUL BLVD N E	ALBU QUER QUE	N M	871 10	V	A1 A	* 026 009ORIGINAL TOWNSITE OF WESTLAND
6	100905 708602 330403	MONAHITI LLC	5321 MEN AUL BLVD N E	ALBU QUER QUE	N M	871 10	V	A1 A	* 025 009ORIGINAL TOWNSITE OF WESTLAND
7	100905 710102 730407	MONAHITI LLC	5321 MEN AUL BLVD N E	ALBU QUER QUE	N M	871 10	V	A1 A	*22 9 ORIGINAL TOWNSITE OF WE STLAND CONT 10000 SQ FT OR 0.2 2 95 AC
8	100905 709102 430404	MONAHITI LLC	5321 MEN AUL BLVD N E	ALBU QUER QUE	N M	871 10	V	A1 A	* 024 009ORIGINAL TOWNSITE OF WESTLAND
9	100905 710518 330702	BENAVIDEZ BENJAMIN ETUX % REBECCA B CARRILLO	2988 SILV ER CLOUD CIR	NOR CO	CA	928 60	R	A1 A	TRACT 13 UNIT 5 TOWN OF ATRIS CO GRANT CONT 5.00 AC
10	100905 718518 430701	MAJEC LIMITED PARTNERSHI P	PO BOX 316 8	COR RALE S	N M	870 48 3 168	V	X1 A	TR 14 LAND OF C H HALL CONT 5.0 AC
11	100905 705918 530705	MAJEX LIMITED PARTNERSHI P	PO BOX 316 8	COR RALE S	N M	870 48 3 168	V	X1 A	TR 15 LAND OF C H HALL CONT 5.0 AC
12	100905 702112 130605	DEME EILEEN M & STEVEN S HERRERA & MICHAEL P HER RERA AS TRUSTEES	1436 GATE WOOD SW	ALBU QUER QUE	N M	871 05	V	A1 A	SO 233FT TRS 1 & 2 ROW2 UNIT A WEST OF WESTLAND ATRISCO GR AN T CONT 2.25 AC
13	100905 709602 530405	MONAHITI LLC	5321 MEN AUL BLVD N E	ALBU QUER QUE	N M	871 10	V	A1 A	* 023 009ORIGINAL TOWNSITE OF WESTLAND

OR CURRENT RESIDENT
100905710518330702
BENAVIDEZ BENJAMIN ETUX %
REBECCA B CARRILLO
2988 SILVER CLOUD CIR
NORCO, CA 92860

OR CURRENT RESIDENT
100905718518430701
MAJEC LIMITED PARTNERSHIP
PO BOX 3168
CORRALES, NM 87048 3168

OR CURRENT RESIDENT
100905702215630606
STEFAN ADRIAN I & MARICA
2704 BOSQUE DEL SOL LN NW
ALBUQUERQUE, NM 87120

Project# 1004354
MIGUEL MAESTAS
Avalon NA
9400 HARBOR RD NW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
100905702112130605
DEME EILEEN M & STEVEN S
HERRERA & MICHAEL P HERRERA AS
TRUSTEES
1436 GATEWOOD SW
ALBUQUERQUE, NM 87105

OR CURRENT RESIDENT
100905708002230402
MONAHITI LLC
5321 MENAUL BLVD NE
ALBUQUERQUE, NM 87110

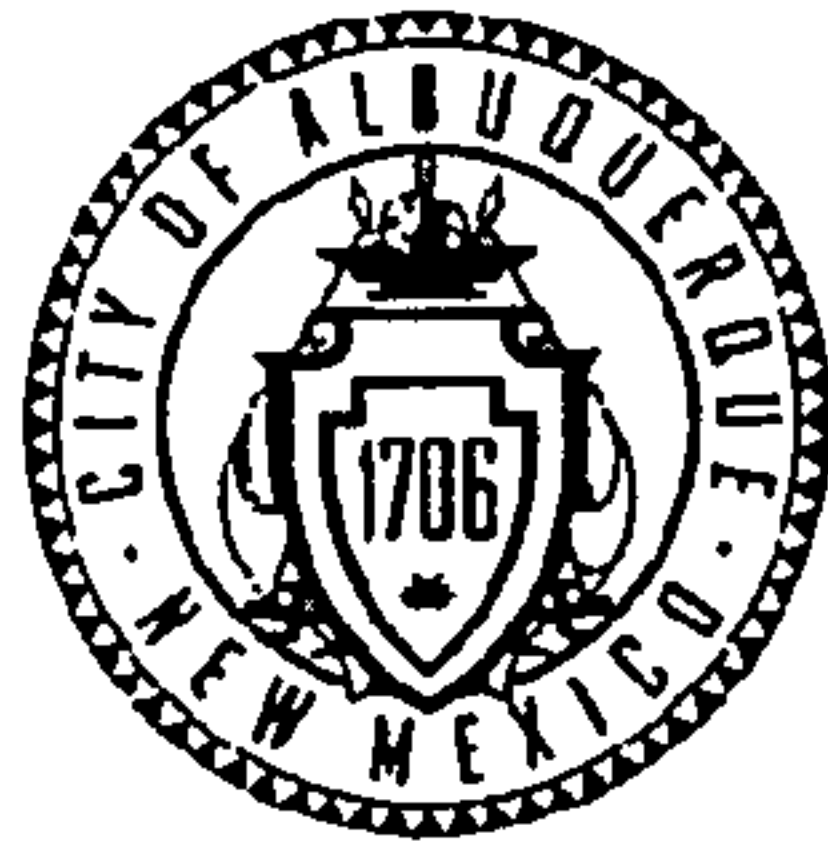
Project# 1004354
TIERRA WEST LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NM 87109

Project# 1004354
KELLY CHAPPELLE
Avalon NA
9135 SANTA CATALINA AVE NW
ALBUQUERQUE, NM 87121

OR CURRENT RESIDENT
100905709008130435
KRANIA LLC
5321 MENAUL BLVD NE
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
100905704506230105
PETERSON PROPERTIES
INVESTMENTS LLC
1213 SAN PEDRO DR NE
ALBUQUERQUE, NM 87110

Project# 1004354
MCDONALD'S CORP
511 E CARPENTER FREEWAY STE 375
IRVING, TX 75062



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

January 22, 2008

Keli Krueger
Tierra West, LLC
5571 Midway Park Place NE/87109
Phone: 505-858-3100/Fax: 505-858-1118
Email: kkruieger@tierrawestllc.com

Dear Keli:

Thank you for your inquiry of January 22, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOT 2, KRANIA, LOCATED ON 98TH STREET NW BETWEEN CENTRAL AVENUE NW AND VOCLANO ROAD NW** zone map **K-9**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

AVALON N.A. (AVA) "R"

***Miguel Maestas**

9400 Harbor Rd. NW/87121 831-9629 (h)

Kelly Chappelle

9135 Santa Catalina Ave. NW/87121 836-1766 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION.

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet

Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet

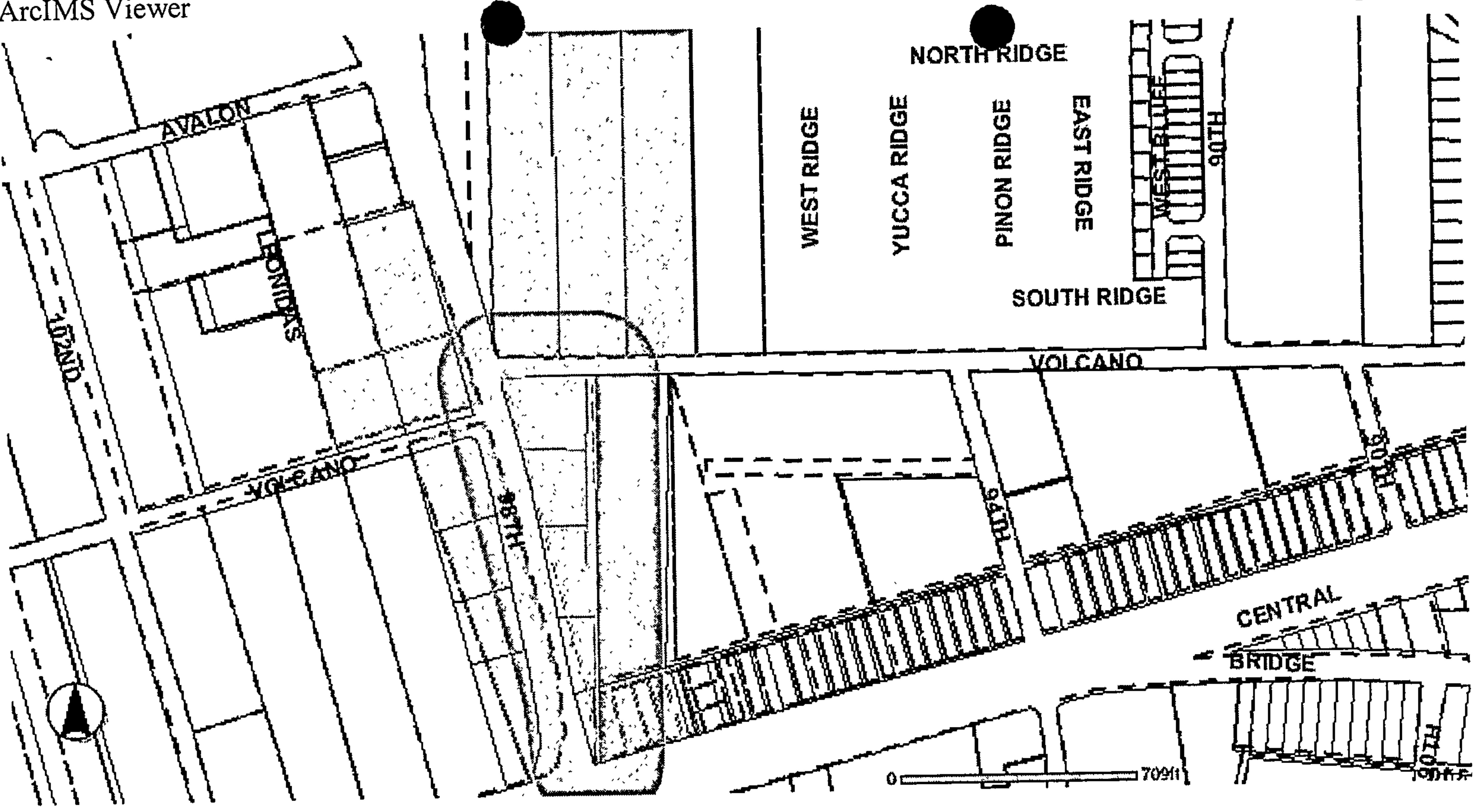
Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

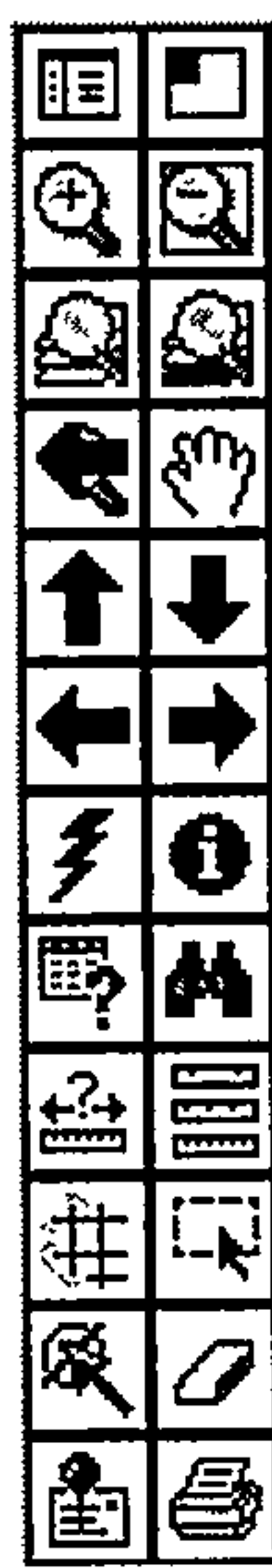
Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

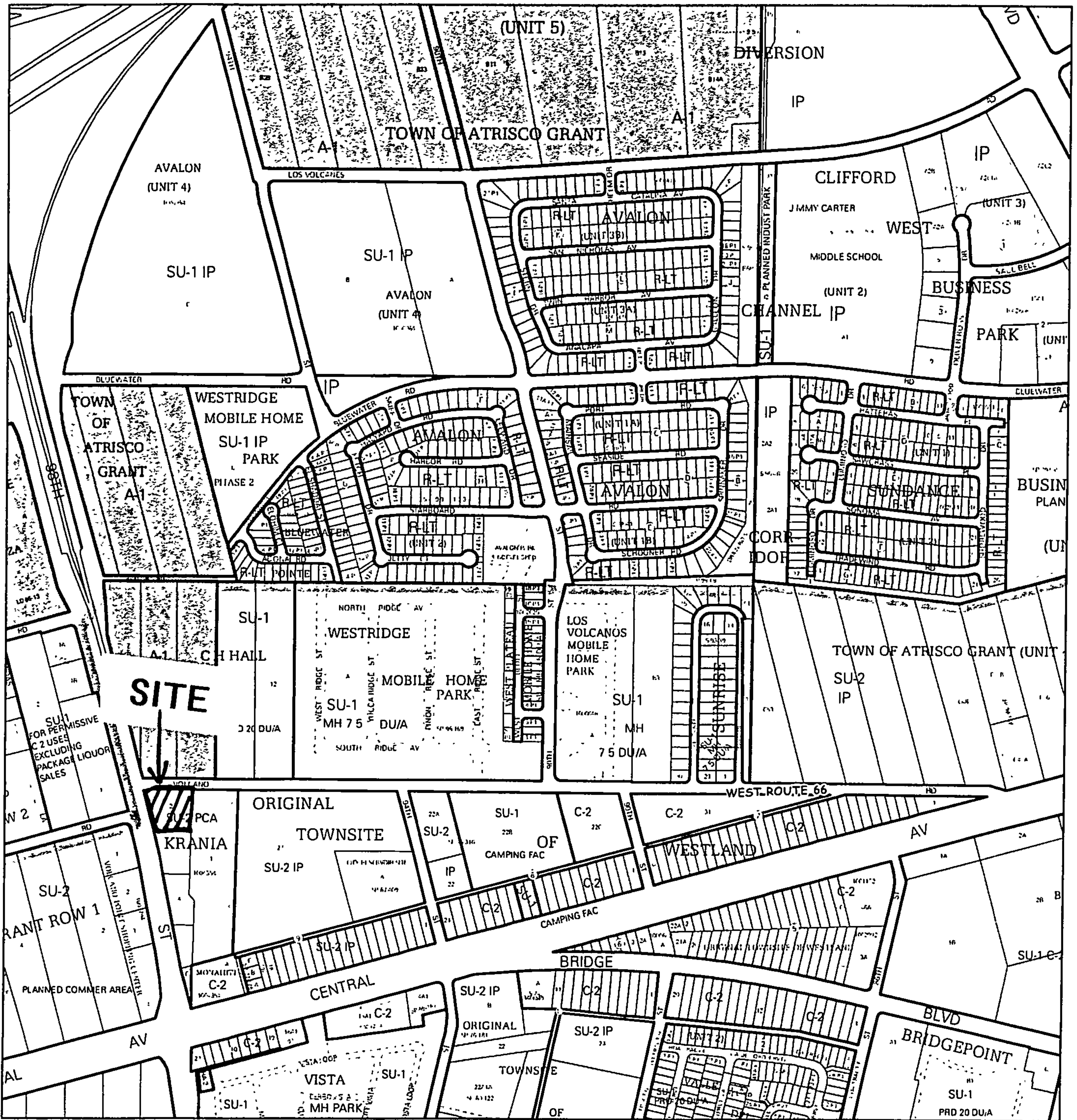
Thank you for your cooperation on this matter.

(below this line for ONC use only)

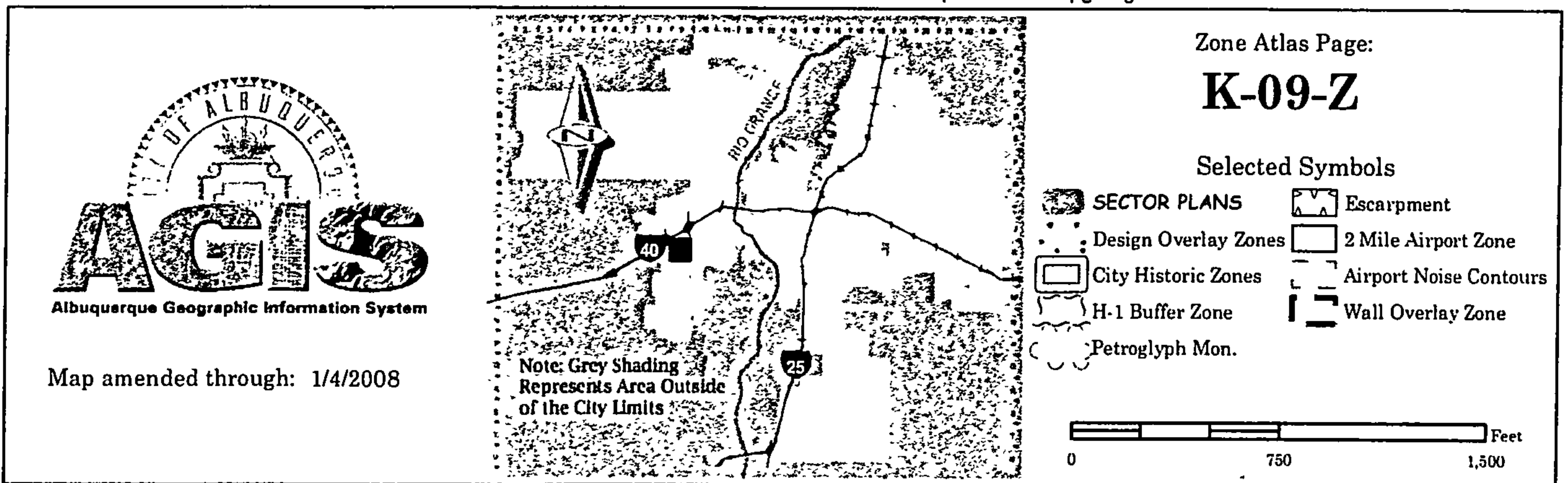
Date of Inquiry: **01/22/08** Time Entered: **8:30 a.m.** ONC Rep. Initials: **SW**







For more current information and more details visit: <http://www.cabq.gov/gis>



Jan

TIERRA WEST, LLC

January 24, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Site Development Plan for Building Permit
McDonald's - 98th & Central
Lot 2, Krania**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests approval of the Site Development Plan for Building Permit for the above-referenced project. The site is located at the southeast corner of 98th Street NW and Volcano Road NW. The site, Lot 2 of the Krania commercial/retail development, is zoned SU-2 PCA and contains ± 1.11 acres. Per the approved Site Development Plans for Subdivision and Building Permit for Krania, Lot 2 is delegated to DRB for approval. The subject site follows the approved design guidelines of the Site Plan for Subdivision for Krania. An infrastructure list was not included with this submittal as all required public infrastructure is being constructed by the Krania developer.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Miguel Maestas, Avalon N.A.
Kelly Chappelle, Avalon N.A.

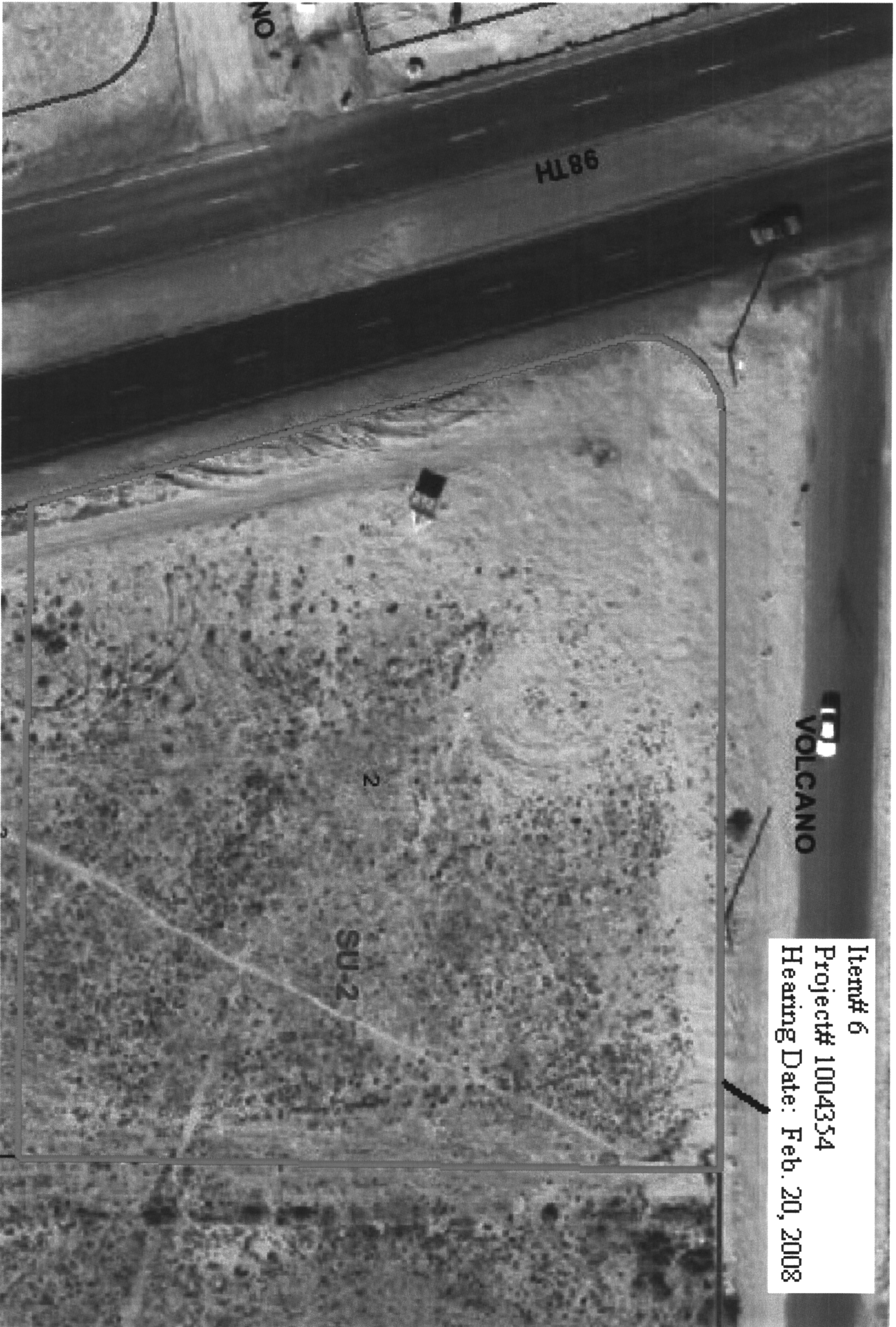
JN: 28002
RRB/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 558-3100 Fax (505) 558-1116 1-800-245-3102
tierrawestllc.com

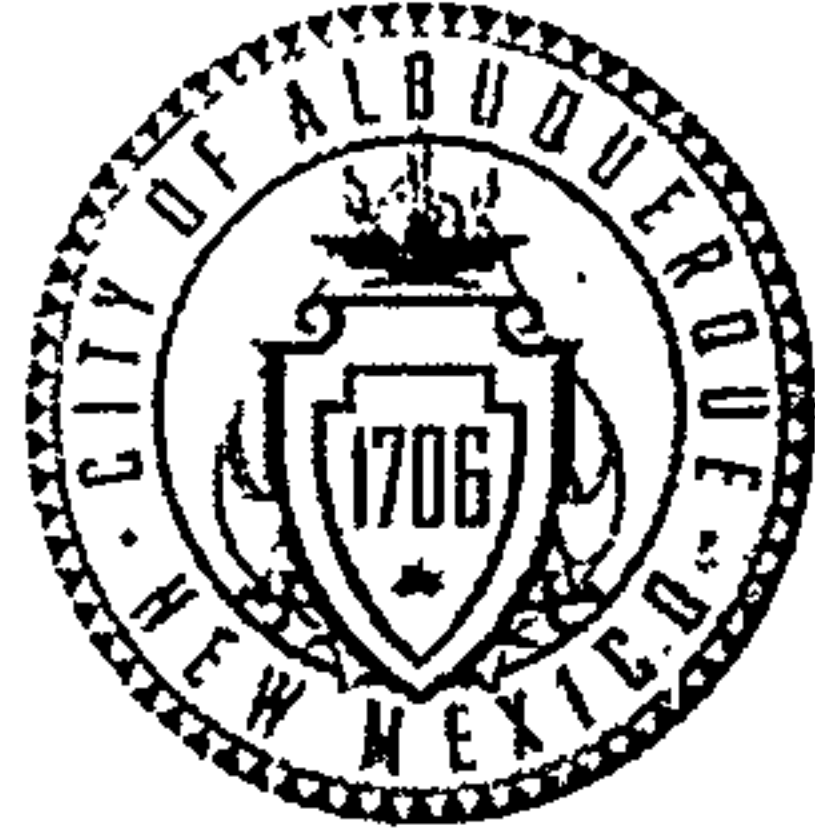
DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004354 AGENDA# 6 DATE: 5/14/07

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
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11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



Item# 6
Project# 1004354
Hearing Date: Feb. 20, 2008



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 20, 2008 9:00 AM
MEMBERS:

**Jack Cloud, AICP, DRB Chairman, Planning Department
Angela Gomez, Administrative Assistant**

**Kristal Metro, P.E., Transportation Development Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Brad Bingham, P.E., Hydrology/ Alternate City Engineer Christina Sandoval, Parks/Municipal Development**

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007081**
08DRB-70046 VACATION OF PUBLIC
RIGHT-OF-WAY

PULLMAN INVESTMENTS LLC agent(s) for CRIS DiGREGORY request(s) the above action(s) for all or a portion of WILLIS PL SW, located on WILLIS PL SW EAST OF RIO GRANDE BLVD SW. (J-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. PER ABCWUA, THE PLAT MUST RETAIN PUBLIC WATER AND SANITARY AND SEWER EASEMENTS OVER THE ENTIRE VACATED RIGHT-OF-WAY. PER TRANSPORTATION, ALL SITES MUST BE PLATTED CONCURRENTLY, AND IT WILL BE REQUIRED TO PLACE ACCESS EASEMENTS ON REPLAT.**

2. **Project# 1007083**
08DRB-70050 VACATION OF PUBLIC
RIGHT-OF-WAY

JACKS HIGH COUNTRY INC agent(s) for JULIA SAMORA ESTATE request(s) the above action(s) for all or a portion of the NORTH-SOUTH ALLEY Lot, between the **JM MOORE REALTY COMPANY'S ADDITION # 1, and BLOCK B, BRANSON ADDITION**, located east of 8TH ST NW BETWEEN MOUNTAIN RD NW AND SUMMER NW. (J-14) **DEFERRED TO 2/27/08 FOR LEGAL OPINION.**

3. **Project# 1002535**
08DRB-70003 VACATION OF PUBLIC
EASEMENT
08DRB-70004 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 32-35, W35' OF LOT 37, & 38, **TOGETHER W/ LOT 36A, HUBBEL HEIGHTS ADDN & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT**, zoned SU-1 FOR O-1 & C-1 AND RESTAURANT AND LIQUOR, located on 65TH ST SW BETWEEN CENTRAL AVE SW AND COORS BLVD SW containing approximately 5.555 acre(s). (K-11) *(Deferred from 1/30/08 & 2/6/08)* **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/20/08, THE PRELIMINARY PLAT WAS APPROVED. CONDITION OF FINAL PLAT WILL BE AN AMENDMENT TO THE SITE DEVELOPMENT PLAN AND NOTATIONS ON PLAT FOR ACCESS TO ADJACENT PROPERTIES.**

4. **Project# 1003364**
08DRB-70049 VACATION OF PUBLIC
EASEMENT

GARCIA/KRAEMER & ASSOC. agent(s) for PR INVESTMENTS LLC request(s) the above action(s) on a portion of Lot(s) 1-A-1A-1, Block 10, **TRACT 2 UNIT 3 North Albuquerque Acres**, zoned SU-2 MIXED USE, located on the SE corner of LOUISIANA NE AND HOLLY NE. (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE.**

08DRB-70069 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for PHIL LINDBORG request(s) the above action(s) for all or a portion of Lot(s) 1-A-1-A-1, Block(s) 10, Tract(s) 2, **NORTH ALBUQUERQUE ACRES Unit(s) 3**, zoned SU-2/MIXED USE, located on HOLLY AVE NE BETWEEN LOUISIANA BLVD NE AND WYOIMING BLVD NE containing approximately 1.0041 acre(s). (C-19) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND FOR CURVE 'C1' BE INCREASED TO 30 FEET, AND TO ABCWUA FOR RELOCATION AND ACCEPTANCE OF WATERLINE.**

5. **Project# 1000081**
08DRB-70047 VACATION OF PUBLIC
EASEMENT

TIERRA WEST LLC agent(s) for RSF LAND & CATTLE COMPANY request(s) the above action(s) on a portion of Tract(s) A & H, **COTTONWOOD CORNERS**, zoned SU-1 FOR IP USES, located on the north side of ELLISON DR NW BETWEEN COTTONWOOD DR NW AND ALAMEDA BLVD NW (A-14) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. CONDITION PER ABCWUA IS THAT NEW MEXICO UTILITIES SHALL ACKNOWLEDGE THE VACATION BY SIGNATURE ON THE PLAT.**

6. ~~Project#-1004354~~
08DRB-70048 SITE DEVELOPMENT
PLAN FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA ADDITION**, zoned SU-2 PCA, located on the SE corner of 98TH ST NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9) **DEFERRED TO 3/5/08 AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project# 1007018**
08DRB-70066 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

CARTESIAN SURVEYS INC agent(s) for BRUCE PONDER/CONTACT BRENT TIANO request(s) the above action(s) for all or a portion of Block(s) 6, Tract(s) A & B, **CIRCLE K CORPORATION**, zoned C-1, located on WYOMING NE BETWEEN COMANCHE NE AND CANLELARIA NE containing approximately 0.58 acre(s). (G-19) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR SOLAR COLLECTOR LANGUAGE AND TO RECORD.**

8. **Project# 1006200**
08DRB-70070 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL LLC request(s) the above action(s) for all or a portion of Tract(s) 1&2, **MESA DEL SOL INNOVATION PARK**, zoned PC, located on CRICK AVE SE BETWEEN UNIVERSITY BLVD SE AND WATSON DR SE containing approximately 41.2085 acre(s). (Q-16) **RESCHEDULED TO 2/27/08 TO BE HEARD WITH VACATION REQUEST.**

9. **Project# 1003798**
08DRB-70068 MAJOR - FINAL PLAT
APPROVAL

GREATER ALBUQUERQUE HOUSING PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 7-12, Block(s) 27, **EMIL MANN ADDITION**, zoned RT, located on PENNSYLVANIA SE BETWEEN SOUTHERN AVE SE AND TRUMBULL AVE SE containing approximately 1.1 acre(s). (L-19) **THE FINAL PLAT WAS APROVED WITH FINAL SIGN-OFF DELEGATED TO CITY ENGINEER FOR ENGINEERING CERTIFICATION ON THE PLAT, AND TO PLANNING FOR AGIS DXF.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

10. **Project# 1007112**
08DRB-70067 SKETCH PLAT REVIEW
AND COMMENT

MARK S HALPER request(s) the above action(s) for all or a portion of Lot(s) A, Block(s) 9, **ROYAL HEIGHTS**, zoned R-3, located on CHELWOOD PARK BLVD BETWEEN LOMAS AND CONSTITUTION containing approximately .5172 acre(s). (J-22) **THE ABOVE ITEM WAS REVIEWED AND COMMENTS WERE GIVEN.**

11. Other Matters: None

ADJOURNED: 10:00

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004354 AGENDA# 6 DATE: 2/20/08

1. Name: Kelly Chappelle Address: 935 Santa Catalina Zip: 87121
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
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16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
 PLANNING DEPARTMENT
 DEVELOPMENT REVIEW BOARD

February 20, 2008

Project# 1004354
 08DRB-70048 MAJOR - SDP FOR BUILDING PERMIT

TIERRA WEST LLC agent(s) for MCDONALD'S CORPORATION request(s) the above action(s) for all or a portion of Lot 2, **KRANIA**, zoned SU-2 PCA, located on 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW containing approximately 1.1172 acre(s). (K-9)

<p>AMAFCA No comment.</p>
<p>COG 98th St has been identified in the 2030 MTP and the AMPA Regional ITS Architecture as a corridor for ITS deployment. Coordination with City representative(s) on the ITS Subcommittee is recommended to insure development consistent with planned infrastructure improvements. For informational purposes, 98th St has a functional classification of urban minor arterial.</p>
<p>TRANSIT No comments received</p>
<p>ZONING ENFORCEMENT Motorcycle parking needed, there should be 4 varieties of street trees as per ordinance.</p>
<p>NEIGHBORHOOD COORDINATION Letters sent to: Avalon NA (R)</p>
<p>APS Krania Addition, Lot 2, is located on SE corner of 98th St NW and Volcano Rd NW. The owner of the above property requests approval for a Site Development Plan and Building Permit for a commercial/retail development. This will have no adverse impacts to the APS district.</p>
<p>POLICE DEPARTMENT Traffic volume: Business will increase traffic. Traffic control devices: Need to control excessive traffic. Speeding violations: More traffic = more speeding Lighting issues: Need for adequate lighting. Maintenance of landscaping: Need to maintain area. Assault: Fights in lot and business. Accidents in the parking lot: More traffic = more accidents. A higher probability of crimes during evening/weekend hours: Hours of operation. Commercial burglary: Business is a target. Adequate security: Need to over business s. Alarm security: Alarms needed. Alarm response(i.e.) false alarms: More alarms due to business. Need for neighborhood association: Need to keep area clean.</p>

FIRE DEPARTMENT No comments received
PNM ELECTRIC & GAS No comments received
COMCAST No comments received
QWEST No comments received
ENVIRONMENTAL HEALTH No comments received
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER Grading plan submitted with this application does not permit accessible pedestrian corridors as presented in the conceptual grading plan approved with the Site Plan for Subdivision
TRANSPORTATION DEVELOPMENT The proposed layout shown on the site plan for building permit does not match the site plan for subdivision. Provide a copy of all cross lot access easements. Provide additional information about the drive through facility. A queuing length of 5 vehicles (100 feet) must be provided for each lane. Minimum lane widths are 12 feet minimum with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet). The proposed dual drive through, as shown, is not feasible. End of aisle islands must comply with the Development Process Manual Figure 23.7.2. Label the compact parking spaces by placing the words "compact" on the pavement of each space. Call out the width and length of all parking spaces, or provide a typical detail. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. A 6 foot wide, ADA accessible, pedestrian path is required. Call out width of all sidewalk, proposed and existing. For passenger vehicles, the minimum end island radius is 15 feet.
PARKS AND RECREATION Identify if the improvement on 98 th is trail or sidewalk and if it is proposed or existing.
ABCWUA 1. Site Plan: (a) construction schedule calls out proposed water meter, but is not shown on plan. 2. Utility Plan: (a) why is there a 3/4" water service to the trash enclosure? (b) water meters must be in a public easement. (c) what size domestic meter is required? (d) a 6" fire line seems excessive. (e) under "UTILITY CONTACTS" the water/sewer company is ABCWUA, not City Of Albuquerque.
PLANNING DEPARTMENT The proposed Site Plan for Building Permit does not comply with the filed Site Plan for Subdivision regarding location of drive-thru/ Future Restaurant, size of drive-thru/ Future Restaurant, landscape area at 98 th Street and Volcano Road, and pedestrian connections. Amendments to the Site Plan for Subdivision will be required prior to hearing this submittal.



The submitted Site Plan for Building Permit will be required to detail (i.e. show) conformance with the Site Development Plan for Subdivision regarding lighting, retaining walls, bicycle parking, motorcycle parking, and refuse enclosure; restaurant parking (1 space/ 3 seats); pedestrian access (provide dimensions/ materials); and, signage and elevations (provide color samples). These items are noted on the Site Development Plan for Building Permit Checklist.

Additional street trees (both quantity and species) are needed. The Landscape Plan needs to include the improved area for this building, specifically landscaping for the parking area on the east side of the building.

The 'Drive-Thru Elevation' oriented towards the public street (Volcano) does not conform with the Site Plan for Subdivision regarding architectural style. This façade must be more like the front of a building and not the rear. The use of cultured stone may be acceptable subject to providing a color which would reflect and complement the existing buildings; alternatively, a more uniform/ rectangular material may be proposed.

The 'Rear Elevation' and parking on the east side of the building do not conform with the Site Plan for Subdivision regarding pedestrian access. Re-orientation of the parking to the west side of the building, or inclusion of a wider sidewalk at the building and/ or additional entries is needed to minimize pedestrian conflicts with vehicular drive-thru traffic. Additionally, the two compact spaces in the southeast corner need to be deleted to eliminate parking maneuvering in the throat of the driveway.

The proposed pedestrian connections are not consistent with the approved Site Plan Subdivision regarding pedestrian access to this site and to the east. Pedestrian access will not be allowed to be adjacent to the vehicular entrance from 98th Street, because Site Plan for Subdivision provided for all such pedestrian accesses to be separated from vehicular access (except for cross angle aisle crossings). Pedestrian access from 98th Street must be provided to the main entrance, with consideration of pedestrians coming from the south (98th and Central). Pedestrian access must be continued to the east

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc: Tierra West LLC – 5571 Midway Park Place NE – Albuquerque, NM 87109
 Cc: McDonald's Corporation – 511 E. Carpenter Frwy, Ste 375 – Irving, TX 75062

DEVELOPMENT REVIEW BOARD MEETING – August 7, 2013

PARKS & RECREATION DEPARTMENT COMMENTS

ITEM #3

**Project #1004354 – Krania Subdivision
13DRB-7609 Site Development Plan for Building Permit
13DRB-70605 Minor- Preliminary/Final Plat Approval**

Landscaping in the City Right-of-Way requires a Streetscape Agreement. It appears that the landscaping in the dedicated ROW along the meandering sidewalk is outside the property line, and will require the Streetscape Agreement. A copy of the Agreement and Parks and Recreation Streetscape Design Criteria is attached for your use. Please contact me with any questions you may have about the Agreement.

Carol S. Dumont
Parks and Recreation
768-5387

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1004354

AGENDA ITEM NO: 7

SUBJECT:

FINAL PLAT
PRELIMINARY PLAT
SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

SPBP Comments

Provide a legend defining all hatching and linetypes.
Show all easements and provide recording information.
Clearly define proposed improvements along the northern property line. Curbing appears to be blocking the pedestrian pathway.
All ramps located within City of Albuquerque right of way or public easement must have truncated domes.
The pedestrian connection on the southern side of the vehicular entry to the shopping (north side of site) should not be removed. *Removed per Planning Director on 07-31-13*

Ø ft² ROW

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

RESOLUTION:

PP, FP *08-07-13*
APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Kristal D. Metro DATE: JULY 24, 2013
Transportation Development 505-924-3991



INTER-OFFICE MEMORANDUM

COMMENTING AGENCIES

DEBBIE BAUMAN, Transportation Development
SHABIH RIZVI, Transit & Parking Department
STEVE MONTIEL, Council of Governments
LYNN MAZUR, AMAFCA
STEVE SINK, APD Crime Prevention
JAY LEE EVANS, Open Space Division
RAY SANCHEZ, Fire Department
DAVID KILPATRICK, Zoning Enforcement Inspector
STEPHANI WINKLEPLECK, Neighborhood Coordination
DANIEL ARAGON, Public Service Company of New Mexico
PATRICK SANCHEZ, New Mexico Gas Company
APRIL WINTERS, Albuquerque Public Schools
MICHELE RAMIREZ, CenturyLink
MIKE MORTUS, Comcast Cable
RAY GOMEZ, Middle Rio Grande Conservancy District (MRGCD)
SUZANNE BUSCH, Environmental Health

Your comments on the following case(s) are requested. Board hearing date:

PROJECT # 1004354

Wednesday, July 24, 2013

Comments must be received by:

Wednesday, July 17, 2013

If comments are not received by this date, "no comments" will be listed on the staff report. Attached are copies of the requests.

If you have any questions, please contact me at 924-3946 or agomez@cabq.gov



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DAC ZONING & LAND USE SERVICES (DAC INC.) PHONE: 294-5243
 ADDRESS: 9520 MACALLAN RD. NE FAX: 247-4530
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: DACINC2001@AOL.COM

APPLICANT: KRANIA LLC PHONE: 883-4131
 ADDRESS: 5321 MENAUL BLVD NE FAX: 883-4134
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: lmccormick@daskalostfi.com
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: DRB REVIEW OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 3 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: KRANIA
 Existing Zoning: SU-2/PCA Proposed zoning: NA MRGCD Map No _____
 Zone Atlas page(s): K-9 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_V_S, etc.): 13AA-10223;
13AA-10224; PROJ#1004354, 06EPC-01108, 06EPC-01107; 07EPC-40031

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: NA Total site area (acres): .69 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th STREET NW
 Between: VOLCANO ST NW and CENTRAL AVE NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 4/9/13

SIGNATURE Doug Crandall DATE 6/24/2013
 (Print Name) DOUG CRANDALL, DAC INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

13DRB-70609

Action
SBP
CMF
ADV

S.F.

Fees

\$ 385.00

\$ 20.00

\$ 75.00

\$ _____

\$ _____

Total

\$ 480.00

Hearing date July 24, 2013

6-25-13
 Staff signature & Date

Project # 1004354

Revised: 4/2012

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- N/A 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
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 - N/A 6 copies of the Infrastructure List, if relevant to the site plan
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 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. Bring the original to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL, AGENT - DAC/INC.
 Applicant name (print)
Doug Crandall 6/24/13
 Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
13 - DRB - 70609

[Signature] 6-25-13
 Planner signature / date
 Project # 1004354

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from July 9, 2013 To July 24, 2013

5. REMOVAL


- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Doug Crawballe DAC INC.
(Applicant or Agent)

6/25/13
(Date)

I issued 1 signs for this application, 6-25-13
(Date)


(Staff Member)

DRB PROJECT NUMBER: 1004354



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DAC ZONING & LAND USE SERVICES (DAC INC.) PHONE: 294-5243
 ADDRESS: 9520 MACALLAN RD. NE FAX: 247-4530
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: DACINC2001@AOL.COM

APPLICANT: KRANIA LLC PHONE: 883-4131
 ADDRESS: 5321 MENAUL BLVD NE FAX: 883-4134
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: 1mccormick@daskalostfi.com
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: DRB REVIEW OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 3 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: KRANIA
 Existing Zoning: SU-2/PCA Proposed zoning: NA MRGCD Map No. _____
 Zone Atlas page(s): K-9 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 13AA-10223; 13AA-10224; PROJ#1004354, 06EPC-01108, 06EPC-01107, 07EPC-40031

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 1 No. of proposed lots: NA Total site area (acres): .69 AC
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th STREET NW
 Between: VOLCANO ST NW and CENTRAL AVE NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 4/9/13

SIGNATURE Doug Crandall DATE 6/24/2013
 (Print Name) DOUG CRANDALL, DAC INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>13ORB-70609</u>	<u>SBP</u>	_____	<u>\$385.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>July 24, 2013</u>				Total
				<u>\$480.00</u>

[Signature] 6-25-13
 Staff signature & Date

Project # 1004354

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14) Maximum Size: 24" x 36"

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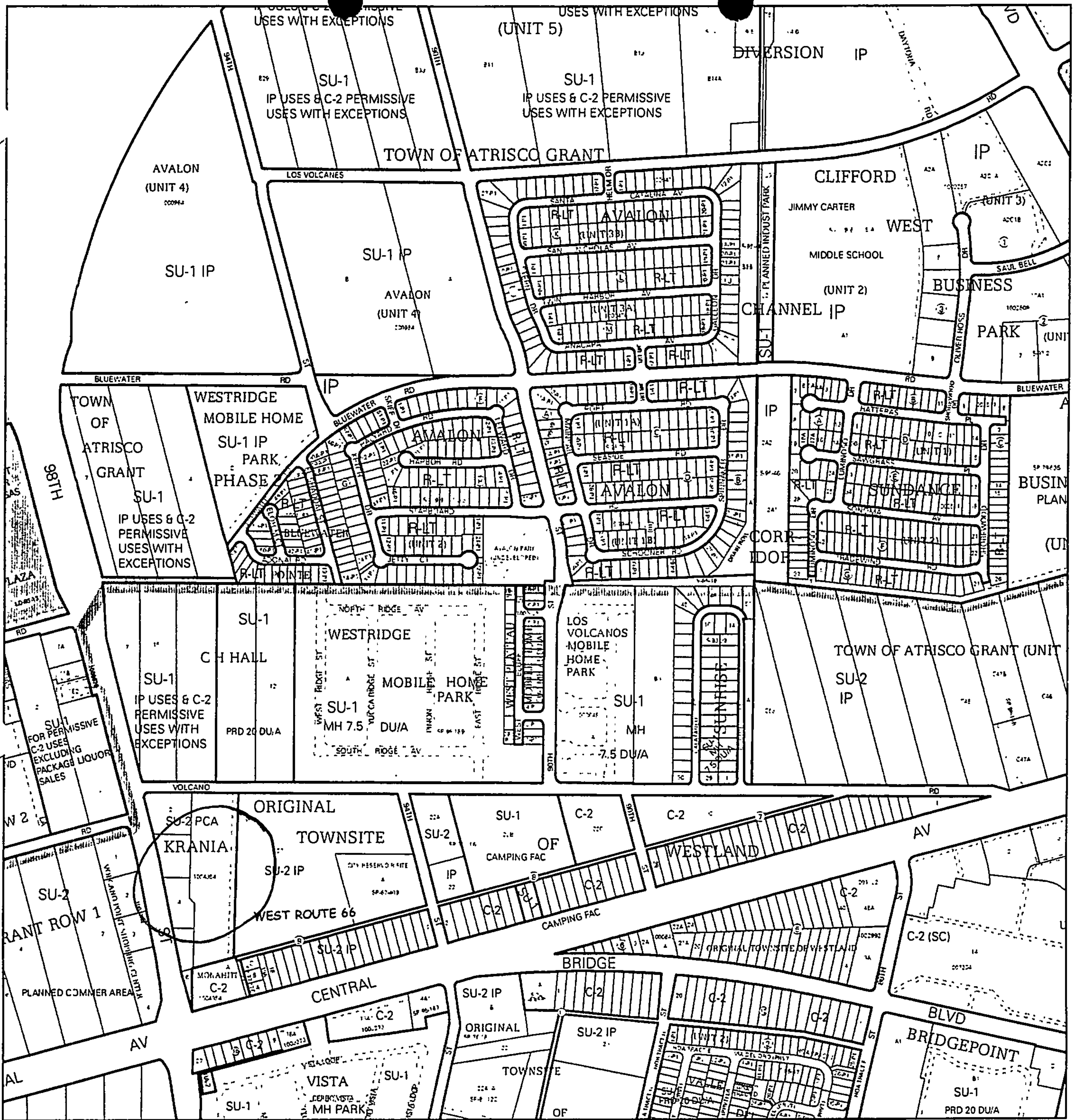
DOUG CRANDALL, AGENT - DAC INC.
 Applicant name (print)
Doug Crandall 6/24/13
 Applicant signature / date



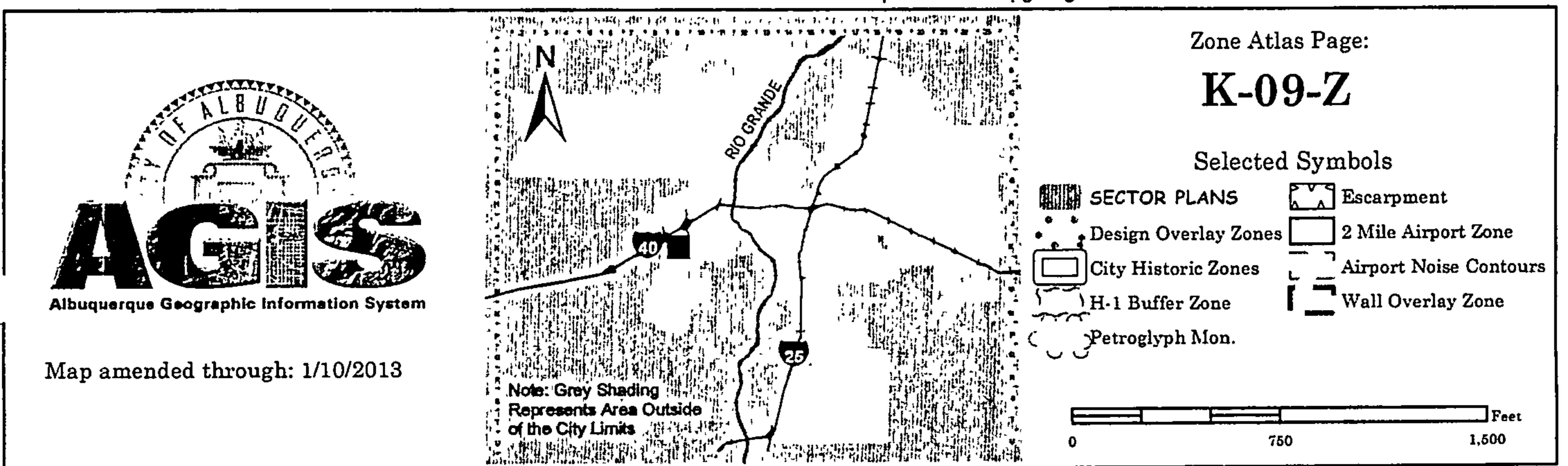
Form revised October 2007

- Checklists complete
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13 - DRB - 70609

[Signature] 6-25-13
 Planner signature / date
 Project # 1004354



For more current information and details visit: <http://www.cabq.gov/gis>



June 24, 2013

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
Albuquerque, New Mexico

Re: Site Development Plan For Building Permit - Project 1004354 (06EPC - 01108/06EPC-01107/07EPC-40031) 98th & Central NW

Dear Mr. Cloud:

This is a request for a Site Development Plan for Building Permit for the above referenced project.

An Administrative Amendment has been approved by the Planning Department for this site. Attached with this request is a copy of the signed off amendment as well as the originally approved EPC decision for the site.

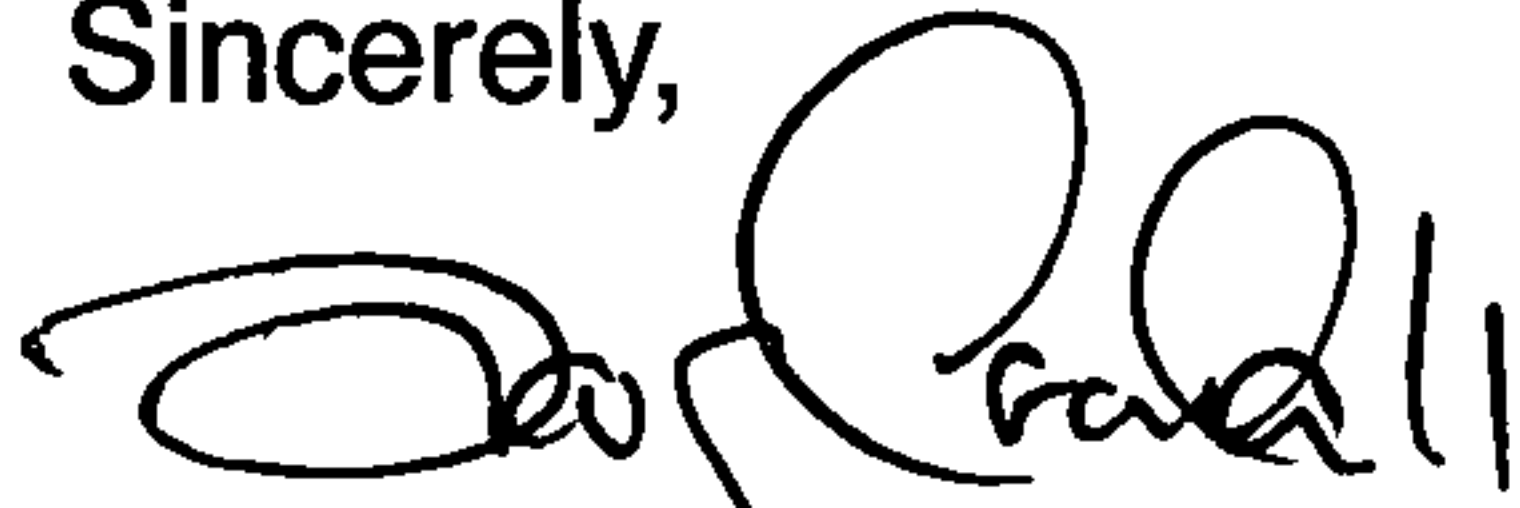
The SU-2/PCA zone category of the *West Route 66 Sector Development Plan* allows “[r]etailing of any consumer product and provision of any customer personal or business service, provided that it is not listed as conditional use in the C-2 zone, or as a permissive or conditional use listed for the first time in the C-3 zone...” This submittal is for a restaurant with a drive up service window.

Overview and Summary of Request

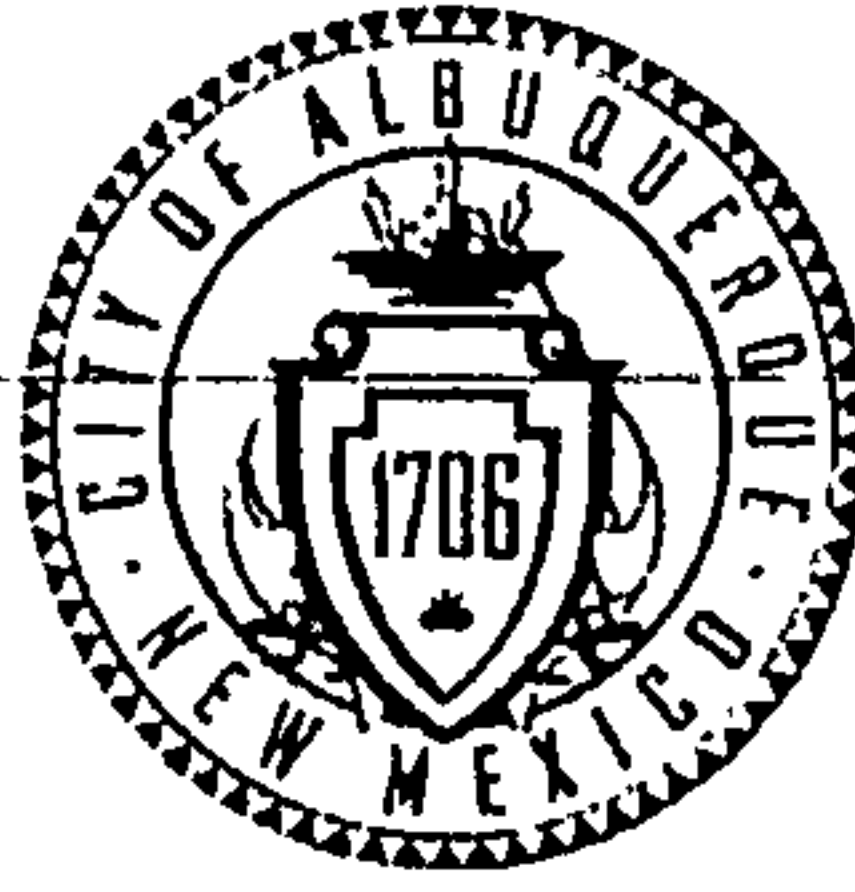
- The proposed site plan amendment is for a restaurant with drive up service window. The building will be 1832 square feet.
- The requested restaurant will have 22 parking spaces.
- There will be an outdoor patio with four tables located on the southwest portion of the building.
- Landscaping in excess of the required 15% is provided. A landscaping plan is provided.
- There is in excess of 100’ linear feet of queuing area for the drive up service window. The service window will be located abutting 98th Street.
- There are three pedestrian accesses to the restaurant as shown on the plan. Each access point allows a connection from the restaurant to the retail center on the east side of the property. Each proposed restaurant will have the required handicap and motorcycle spaces.

- There will be no new free standing signs. The existing sign will be relocated as shown on the plan.
- Building design for the restaurant will be in conformance with the colors and materials approved for the site. The building will not be constructed to standard franchise architecture.
- All proposed changes are noted on the site plan that was submitted for an administrative amendment.

Sincerely,

A handwritten signature in black ink, appearing to read "Doug Crandall". The signature is stylized with large, rounded letters and a prominent flourish at the end.

Doug Crandall, Principal
DAC Zoning & Land Use Services



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 22, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1004354***
06EPC-01108 EPC Site Development Plan-
Building Permit
06EPC-01107 EPC Site Development Plan-
Subdivision

Krania LLC
5321 Menaul Blvd. NE
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of Lot 27, Tract O, **Original Townsite of Westland**, zoned SU-2 for IP, located on 98TH ST. NW, between CENTRAL AVE. NW and VOLCANO ROAD NW, containing approximately 9 acres. (K-9) Petra Morris, Staff Planner

On September 21, 2006 the Environmental Planning Commission voted to approve Project 1004354/06EPC 01107, a Site Development Plan for Subdivision, for Tract O and a portion of Lot 27, Block 9, Original Townsite of Westland, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a Site Development Plan for Subdivision for Tract O and a portion of Lot 27, Block 9, Original Townsite of Westland, for approximately 8.051 acres.
2. The subject site is located on 98th Street, close to the northeast corner of Central Avenue and 98th Street. The subject site is currently undeveloped.
3. The subject site is zoned SU2 IP. The West Route 66 Sector Development Plan established the zoning.
4. The purpose of the Site Development Plan for Subdivision is to create five lots. Lot 1 consists of buildings 1- 5, Lot 2 contains Building 6, Lot 3 Building 7, Lot 4 Building 8, and Lot 5 Building 9.

OFFICIAL NOTICE OF DECISION

SEPTEMBER 21, 2006

~~PROJECT #1004354~~

PAGE 2 OF 9

5. The subject site is located within the Established Urban area of the Albuquerque/ Bernalillo Comprehensive Plan. It is also located within the West Side Strategic Plan, West Route 66 Sector Development Plan, and the Central Avenue Streetscape Urban Design Master Plan.
6. The request supports Policy II.B.5a of the Comprehensive Plan because the development will increase services and job opportunities on the West Side. There already exists some housing in the surrounding area but retail and restaurants are not all that common in this part of Albuquerque.
7. The request supports Policy II.B.5j of the Comprehensive Plan because the area is commercially zoned under the IP zone and is located adjacent to the intersection of 98th Street and Central Avenue, which are both principal arterials. Central Avenue is an enhanced transit corridor and provides an opportunity for the use of mass transit.
8. The request supports Policy II.D.6g of the Comprehensive Plan because request because it will help address the imbalance on the West Side of jobs and services to housing. This area, while not designated an Activity Center is at the intersection of two principal arterials. As the area develops this is a logical location for retail and restaurant uses and could become a neighborhood center.
9. The request supports Objective 1 of the West Side Strategic Plan because the request proposes a development that would provide services on the West Side. This development will help balance out the current imbalance of jobs and services to houses on the West Side. The provision of retail and restaurant uses at this location should help decrease the number of cross-metro trips.
10. The request supports Objective 8 of the West Side Strategic Plan because the proposed development contains a range of retail and restaurant spaces. The range in size of retail spaces available will mean that there will be a range job opportunities and business opportunities- from manager of a large store to small business owner.
11. The request supports Policy 3.33 of the West Side Strategic Plan because it is a commercial development that will serve the existing and future residential developments.
12. The request supports Policy 3.38 of the West Side Strategic Plan because it involves the expansion of commercial services (and possibly public services, as the spaces designed do not yet have tenants) on the West Side at the intersection of 98th and Central.
13. The request supports the West Route 66 Sector Development Plan because the request does not involve a zone change. Central Avenue is an enhanced transit corridor and locating commercial at this location encourages future use of mass transit and the request is in keeping with the Design Guidelines in the plan. There is a landscaped buffer along the right of way and there are no severe changes in grade.

14. The request supports the Central Avenue Streetscape Urban Design Master Plan because the designs of the buildings on the site plan are uniform in nature and site plan control will ensure that future phases of development would adhere to the design of phases already built.
15. The Avalon Neighborhood Association was notified of the request. On September 6th, 2006, a facilitated meeting was held. Staff has received no comments from the neighborhood association and adjacent property owners.
16. The owner of Lot C, Land Division Plat, Summary Subdivision, Land of Roy A. Yates, 9621-C Central NW, has expressed concern with cut through traffic to (or from) Central Avenue along 97th Street as labeled on the AGIS map. The owner of Lot C requests that a condition be placed to limit access between said road and the subject site.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The applicant shall resubmit the Air Quality Impact Analysis to Environmental Health and submit to the planner a letter from Environmental Health regarding the AQIA.
4. The site plan for subdivision shall include a note that reads: The architectural style and materials of future developments on the site shall reflect and compliment the existing buildings.
5. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
- c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
- d. Cross access to all tracts will be provided per note on Site Plan for Subdivision and future plat.
- e. Site drives shall be designed and located per TIS. Left turn and right turn deceleration lanes to be designed and provided per TIS and DPM.
- f. Provide truck circulation plan with turning template information.
- g. Site plan shall comply and be designed per DPM Standards.
- h. Platting must be a concurrent DRB action.
- i. Dedication of a *minimum* 62 feet of right-of-way from the centerline of 98th Street a principal arterial as designated on the Long Range Roadway System map.
- j. Dedication of an additional 6 feet of right-of-way along 98th Street as required by the City Engineer to provide for on-street bicycle lanes.
- k. Construction of the on-street bicycle lane along 98th Street adjacent to the subject property, as designated on Long Range Bikeways System map.

On September 21, 2006 the Environmental Planning Commission voted to approve Project 1004354/06EPC 01108, a Site Development Plan for Building Permit, for **Tract O and a portion of Lot 27, Block 9, Original Townsite of Westland, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a Site Development Plan for Building Permit for Tract O and a portion of Lot 27, Block 9, Original Townsite of Westland, for approximately 8.051 acres.
2. The subject site is located on 98th Street, close to the north east corner of Central Avenue and 98th Street. The subject site is currently undeveloped.
3. The subject site is zoned SU2 IP. The West Route 66 Sector Development Plan established the zoning.

OFFICIAL NOTICE OF DECISION

SEPTEMBER 21, 2006

PROJECT #1004354

PAGE 5 OF 9

4. The subject site is located within the Established Urban area of the Albuquerque/ Bernalillo Comprehensive Plan. It is also located within the West Side Strategic Plan, West Route 66, and the Central Avenue Streetscape Urban Design Master Plan.
5. The request supports Policy II.B.5a of the Comprehensive Plan because the development will increase services and job opportunities on the West Side. There already exists some housing in the surrounding area but retail and restaurants are not all that common in this part of Albuquerque.
6. The request supports Policy II.B.5j of the Comprehensive Plan because the area is commercially zoned under the IP zone and is located adjacent to the intersection of 98th Street and Central Avenue, which are both principal arterials. Central Avenue is an enhanced transit corridor and provides an opportunity for the use of mass transit.
7. The request supports Policy II.D.6g of the Comprehensive Plan because request because it will help address the imbalance on the West Side of jobs and services to housing. This area, while not designated an Activity Center is at the intersection of two principal arterials. As the area develops this is a logical location for retail and restaurant uses and could become a neighborhood center.
8. The request supports Objective 1 of the West Side Strategic Plan because the request proposes a development that would provide services on the West Side. This development will help balance out the current imbalance of jobs and services to houses on the West Side. The provision of retail and restaurant uses at this location should help decrease the number of cross-metro trips.
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CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Per Transportation Development Staff, completion of the required system improvements that are attributable to the development, as identified in the TIS, is required.
 - d. Cross access to all tracts will be provided per note on Site Plan for Subdivision and future plat.

- e. Site drives shall be designed and located per TIS. Left turn and right turn deceleration lanes to be designed and provided per TIS and DPM.
 - f. Provide truck circulation plan with turning template information.
 - g. Site plan shall comply and be designed per DPM Standards.
 - h. Platting must be a concurrent DRB action.
 - i. Dedication of a *minimum* 62 feet of right-of-way from the centerline of 98th Street a principal arterial as designated on the Long Range Roadway System map.
 - j. Dedication of an additional 6 feet of right-of-way along 98th Street as required by the City Engineer to provide for on-street bicycle lanes.
 - k. Construction of the on-street bicycle lane along 98th Street adjacent to the subject property, as designated on Long Range Bikeways System map.
4. All walls shall be shown correctly on the site plan for building permit.
 5. The landscaping note to the client on the landscaping page shall be removed.
 6. The 10 parking spaces that run parallel to 98th Street, in front of Building 6, shall be removed and replaced with the same area of landscaping. The landscaping shall be low shrubs, bushes and grasses.
 7. The landscaped areas shall be at 80% live ground cover.
 8. The design guidelines shall encourage the use of neon in signs and as architectural decoration on the buildings.
 9. The two plaza signs in front of Buildings 6 and 9 shall each be decreased to 18' in height. The sign in front of Building 7 shall read monument sign and shall match the monument sign detail on page 10 of the plans.
 10. All benches and patio areas will be provided with some form of preferably living shade.
 11. All sidewalks where the parking abuts a building shall be a minimum of 8 feet wide.
 12. There shall be no access to or from the subject to Lot 21, Lots B, and C Lands of Roy A. Yates to Central along 97th Street as labeled on the AGIS Map. There shall be some form of barrier provided on the subject site to ensure this condition.
 13. Pedestrian walkways shall be constructed of stamped concrete, brick or other contrasting material or pervious pavements.
 14. The applicant shall meander the sidewalk and grant the city a public sidewalk easement for any variances outside the existing right-of-way in order to accommodate street trees and the Street Tree Ordinance.

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SEPTEMBER 21, 2006

PROJECT #1004354

PAGE 8 OF 9

15. The applicant shall create a pedestrian access from building 6 to building 7 to Lot 1 and indicate such on the site development plan (as shown in the attached hand drawn exhibit).
16. A pedestrian connection from Lot 3 to the north to the parking lots on the north side turning immediately east to Lot 1 (as shown in the attached hand drawn exhibit)..
17. No adult entertainment.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **OCTOBER 6, 2006** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

OFFICIAL NOTICE OF DECISION
SEPTEMBER 21, 2006
PROJECT #1004354
PAGE 9 OF 9

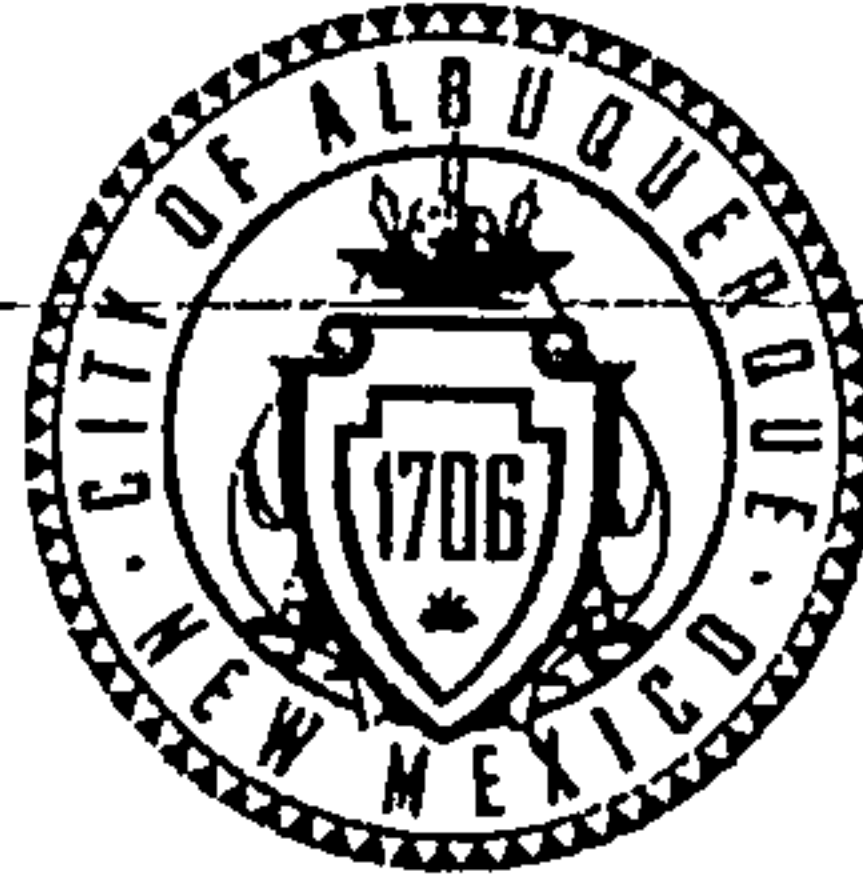
Sincerely,

Richard Dineen

for Richard Dineen
Planning Director

RD/PM/ac

cc: Tierra West LLC, .5571 Midway Park Pl. NE, Albuquerque, NM 87109
Miguel Maestas, Avalon NA, 9400 Harbor rd. NW, Albuquerque, NM 87121
Kelly Chappelle, Avalon NA, 9135 Santa Catalina Ave. NW, Albuquerque, NM 87121
Joe Werntz, 612 1st St. NW, Albuquerque, NM 87102
Judith Katona, 9621 C Central NW, Albuquerque, NM 87121



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 17, 2007

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project# 1004354***
07EPC-40031 AMNDT TO ZONE MAP (ZONE
CHG)

Krania LLC
5321 Menaul Blvd. NE
Albuq. NM 87110

LEGAL DESCRIPTION: for all or a portion of lot 27, block 9, Tract O, ORIGINAL TOWNSITE OF WESTLAND a zone map amendment from SU-2 / IP to SU-2 / PCA located on 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO STREET NW containing approximately 8.051 acres. (K-9) Carmen Marrone, Staff Planner

On August 16, 2007 the Environmental Planning Commission voted to approve Project 1004354/07EPC 40031, a zone map amendment to the *West Route 66 Sector Development Plan*, from SU-2 IP to SU-2 PCA, for Tract O and a portion of lot 27, Block 9, Original Townsite of Westland, based on the following Findings:

FINDINGS:

1. This is a request to amend the zone map of the *West Route 66 Sector Development Plan* from SU-2 IP to SU-2 PCA (Planned Commercial Area) for a site located on 98th Street between Central and Volcano NW and containing approximately 8 acres.
2. The EPC recently approved a Site Development Plan for Subdivision and a Site Development Plan for Building Permit on the site (*Case #'s 06EPC 01107 & 01108*). Under the current zoning, the site development plans only allow limited retail uses. The applicant requests commercial zoning versus industrial zoning to allow for a greater variety of retail uses on the site.
3. The subject site is located within the Established Urban Area of the **Comprehensive Plan**. The request furthers the following applicable policies:

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AUGUST 16, 2007

PROJECT #1004354

PAGE 2 OF 4

- a. Per Policy 5e, the request will better ensure the integrity of existing neighborhoods because the proposed zoning requires EPC approval of a site development plan versus Planning Director approval of a development plan under the current zoning.
 - b. Per Policy 5i, the proposed zoning will better serve and complement adjacent residential areas and will result in less visual impacts along 98th Street, a major north/south corridor that serves the Westside.
 - c. Per Policy 5j, the site is suitable for commercial development because of its location at the intersection of two principal arterial streets and its convenient access to mass transit.
4. The subject site falls within the boundaries of the **West Side Strategic Plan (WSSP)** and more specifically within the Atrisco Park Community as described on page 63 of the Plan. The request furthers the applicable policies of the Atrisco Park Community because the proposed zoning will encourage redevelopment in the area per Policies 3.33 and 3.36 and will provide commercial services that will encourage social interaction per Policies 3.37 and 3.38.
5. The subject site is located outside the boundaries of a designated Activity Center per the WSSP Policy 1.3 of the WSSP discourages zone changes to commercial, industrial, or office uses for areas outside of an Activity Center. The applicant provides sound justification to support the zone change request and meet the intent of Policy 1.3:
- a. The designated Neighborhood Center at the southwest corner of Central and 98th Street is currently undeveloped and contains multiple lots with multiple owners, which hinders development of a complete and well-planned Neighborhood Center;
 - b. The WSSP recognizes that the Atrisco Park Community is a "partially developed" community that will experience significant population and employment growth (p.85). In response to this growth, the WSSP anticipates a need to increase retail and service uses; and
 - c. The WSSP identifies uses most appropriate in Neighborhood Centers (p.86). They should be anchored by a grocery or specialty grocery store and should include convenient retail and service uses. The property immediately south of the subject site was recently developed with a small grocery store that serves as an anchor for additional retail/commercial uses attracted to the site.
6. The subject site is located within Segment 2 of the **West Route 66 Sector Development Plan**. The request addresses issues identified in the Plan pertaining to Segment 2:
- Issue 1: The proposed zoning is less intensive than the existing zoning and provides for neighborhood commercial uses rather than industrial uses.
- Issue 2: The proposed zoning and land use is coordinated with the transportation system that designates 98th Street and Central Avenue as Principal Arterials.
- Issue 3: The proposed zoning is appropriate and will create less impact to adjacent residential uses than the current zoning.

OFFICIAL NOTICE OF DECISION

AUGUST 16, 2007

PROJECT #1004354

PAGE 3 OF 4

7. The established zoning in the **West Route 66 Sector Development Plan** was guided by five policy elements. The request is not in conflict with these elements as described on page i of the Plan. At the time the Plan was adopted, the area was not experiencing the level of development that it has seen in the last several years. The sector plan is 20 years old and the conditions and community desires in this area have changed significantly since the adoption of the plan (Elements 1 and 2). The zone change request will fulfill a need and will enhance the land adjacent to the site per Element 3 and, the proposed commercial zoning is appropriately located with good access and the ability to be fully developed per the approved site development plan (Element 5).
8. The applicant has justified the zone change request, pursuant to R-270-1980, as follows:
 - a. The zone change is consistent with the health, safety, and general welfare of the City by proposing a zoning category that 1) allows less intense uses than the current zoning and 2) allows for a greater variety of retail services in an area that is currently underserved.
 - b. The proposed zoning will not destabilize surrounding land use and zoning. The proposed zoning is similar to the zoning across 98th Street and will serve as a better transition to the surrounding residential uses.
 - c. The proposed zone change is not in conflict with applicable policies of the Comprehensive Plan, the West Side Strategic Plan (WSSP), or the West Route 66 Sector Development Plan with the exception of Policy 1.3 of the WSSP. However, the applicant provides sound justification to support the zone change request and meet the intent of Policy 1.3.
 - d. The applicant has adequately demonstrated that the existing zoning is inappropriate because the proposed zoning is more advantageous to the community as expressed in the governing City Plans. The request furthers applicable goals and policies to provide services in the area in order to reduce cross-town vehicle trips.
 - e. The uses allowed under the proposed zoning will not be harmful to adjacent property, the neighborhood, or the community. In fact, the request constitutes a “down-zoning” from industrial to commercial zoning.
 - f. The request will not require major or unprogrammed capital expenditures by the City. The developer will be responsible for providing all of the necessary infrastructure including system improvements as identified in the TIS.
 - g. The applicant does not claim economic factors to justify the zone change.
 - h. Although the site is located at the intersection of two principal arterials, which makes it suitable for commercial development, the site’s location is not the sole justification for the request.
 - i. The request will not create a “spot zone”. The property across 98th Street is zoned similar to the proposed zoning.
9. Affected Neighborhood Associations were notified regarding this request. No comments have been received from affected Neighborhood Associations.
10. The applicant has agreed to amend the approved site plan to prohibit package liquor sales.

OFFICIAL NOTICE OF DECISION

AUGUST 16, 2007

PROJECT #1004354

PAGE 4 OF 4

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY AUGUST 31, 2007 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

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Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

CMarone
for Richard Dineen
Planning Director

RD/CM/ac

cc: Tierra West LLC, 5571 Midway Park Pl. NE, Albuquerque, NM 87109
Miguel Maestas, Avalon NA, 9400 Haror Rd. NW, Albuquerque, NM 87121
Kelly Chappelle, Avalon NA, 9135 Santa Catalina Ave. NW, Albuquerque, NM 87121
Matthew Archuleta, Westgate Heights NA, 1628 Summerfield SW, Albuquerque, NM 87121
Melissa Lama, Westgate Heights NA, 600 Thoroughbred Dr. SW, Albuquerque, NM 87121
Dan Troy, 9621A Central NW, Albuquerque, NM 87121

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

~~ONC'S "Official" Letter to the Applicant (if there are no associations). A copy must be submitted with application packet -OR-~~

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

~~Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.~~

~~Copies of the printed receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.~~

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Dalaina at 924-3906 or via an e-mail message at dlcarmona@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 6/17/13 Time Entered: 12:45 p.m. ONC Rep. Initials: DC



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

June 17, 2013

Robert E. Romero, DAC Inc.
DAC Zoning & Land Use Services
1521 Edith Blvd. NE/87102-1611
Phone: 505-242-3232 Fax: 505-247-4530

Dear Robert:

Thank you for your inquiry of June 17, 2013 requesting the names of ALL Neighborhood and/or Homeowners Associations who would be affected under the provisions of O-92 by your proposed project at (DRB SUBMITTAL) LOTS 3 & 4 KRANIA, ORIGINAL TOWNSITE OF WESTLAND LOCATED ON 98TH STREET NW BETWEEN VOLCANO ROAD NW AND CENTRAL AVENUE NW zone map K-9

Our records indicate that the ALL Neighborhood and/or Homeowners Associations affected by this proposal and the contact names are as follows:

SEE ATTACHMENT "A"

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3906 or via an e-mail message at dcarmona@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Dalaina Carmona

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

SEE ATTACHMENT "A"

SEE "ATTACHMENT A" FOR THE NAMES OF THE NA/HOA'S THAT NEED TO BE CONTACTED IN REGARDS TO THIS PLANNING SUBMITTAL – please attach this letter and "Attachment A" to your Application Packet ALONG with copies of the letters and certified mail receipts to the NA/HOA's.

(DRB SUBMITTAL) LOTS 3 & 4 KRANIA, ORIGINAL TOWNSITE OF WESTLAND LOCATED ON 98TH STREET NW BETWEEN VOLCANO ROAD NW AND CENTRAL AVENUE NW zone map K-9

AVALON N.A. (AVA) "R"

***Kelly Chappelle**

9135 Santa Catalina Ave. NW/87121 836-1766 (h)

Bob Wood

9135 Anacapa Ave. NW/87121

e-mail: lchappelle319@msn.com

e-mail: roberttwood@gmail.com

***Council District:* 1**

***County District:* 1**

***Police Beat:* 121/SW**

***Zone Map #:* J-9-10, K-8-10, L-9**

7010 2780 0003 2260 1510

June 20, 2013

CERTIFIED MAIL
 AVALON NEIGHBORHOOD ASSOCIATION
 Kelly Chappelle
 9135 Santa Catalina Ave. NW
 Albuquerque, NM 87121

**Re: Request for DRB Review of an Approved Site Development Plan for Building Permit
 Lot 3, Krania Shopping Center, Original Town Site of Westland**

Dear Ms. Chappelle:

DAC Enterprises, Inc. has been authorized to represent Krania LLC in requesting approval for a Site Development Plan for Building Permit at the above reference location, south of Volcano Road and north of Central Ave, NW, zoned SU-2/PRC. The use approved by the Planning Department is a Church's Fried Chicken restaurant with a drive through window. The use has been assigned to the Development Review Board (DRB) for their review of applicable building permit requirements.

Enclosed for your review is a copy of Zone Map K-9 and the shopping center site plan showing the Church's restaurant location. We will file the application with the City of Albuquerque Planning Department by the June 28, 2013 deadline for a public hearing before the Development Review Board on July 24, 2013.

We will be more than happy to discuss our request with you and your association and answer any questions you may have.

Sincerely,

Doug Crandall
 Doug Crandall
 Principal

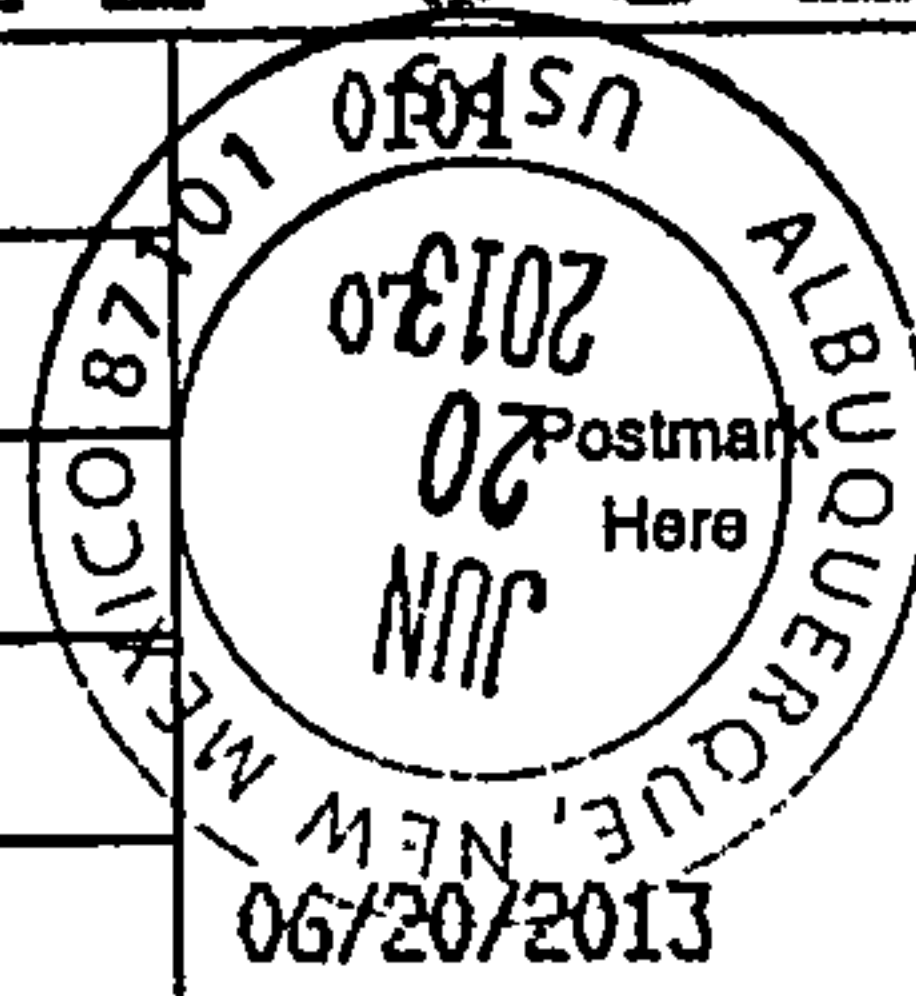
Cc: Bob Wood, 9135 Anacapa Ave NW, Albuquerque, NM

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Certified Fee		\$3.10
Return Receipt Fee (Endorsement Required)		\$2.55
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$6.11



Sent To KELLY CHAPPELLE
 Street, Apt. No., or PO Box No. 9135 SANTA CATALINA AV NW
 City, State, ZIP+4 ALBUQ., NM 87121

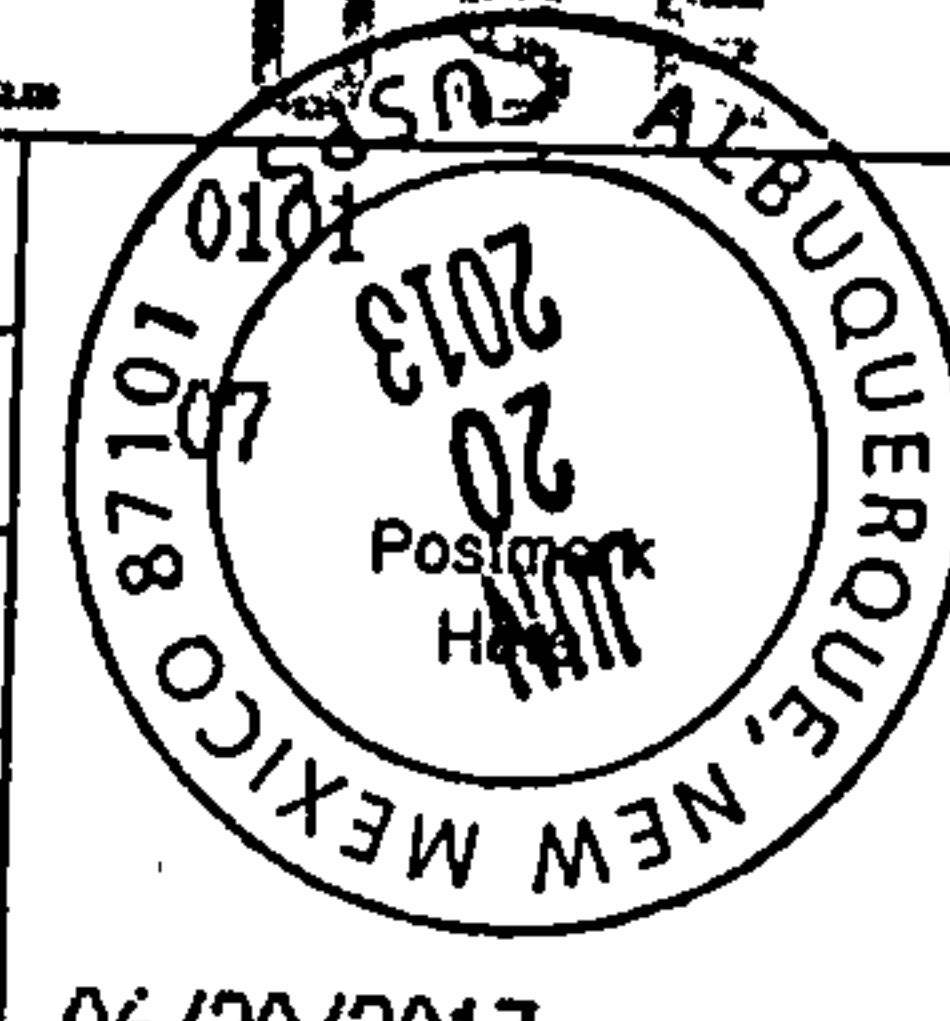
PS Form 3800, August 2006 See Reverse for Instructions

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ALBUQUERQUE, NM 87121
OFFICIAL USE

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Total Postage & Fees	\$	\$6.11



Sent To BOB WOOD
 Street, Apt. No., or PO Box No. 9135 ANACAPA AVE NW
 City, State, ZIP+4 ALBUQ., NM 87121

PS Form 3800, August 2006 See Reverse for Instructions

7010 2780 0003 2260 1510

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

31
34
32

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission and Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

6/24/13

Applicant or Agent Signature / Date

NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**
6. **Previously approved Development Plan (if applicable)**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

01
02
03

B. Proposed Development (If supplemental Sheets are used please indicate sheet #)

1. Structural

- A. Location of existing & proposed structures (distinguish between existing & proposed, include phasing)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Site amenities including patios, benches, tables, (indicating square footage of patios/ plazas).

2. Parking and Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. **Location and typical dimensions**, including handicapped spaces
 - 2. **Calculations:** spaces required: 11 provided: 22
Handicapped spaces (included in required total) required: 2 provided: 2
Motorcycle spaces (in addition to required total) required: 1 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3 provided: 5
 - 2. Bikeways and other bicycle facilities, if applicable
- C. Public Transit
 - 1. Bus facilities, including routes, bays and shelters existing or required
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
- E. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
 - 6. Existing and proposed street widths, right-of-way widths and curve radii
 - 7. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 8. Location of traffic signs and signals related to the functioning of the proposal
 - 9. Identify existing and proposed medians and median cuts

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

3. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Backflow prevention detail
- 10. Planting Beds, indicating square footage of each bed
- 11. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 12. Responsibility for Maintenance (statement)
- 13. Statement of compliance with Water Conservation Ordinance, see article 6-1-1-1.
- 14. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 15. Landscaped area provided; square footage and percent (specify clearly on plan)
- 16. Planting or tree well detail
- 17. Street Tree Plan as defined in the Street Tree Ord.

SHEET # 3 PRELIMINARY GRADING PLAN

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1 with written approval from the Planning Department Staff.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 UTILITY PLAN

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

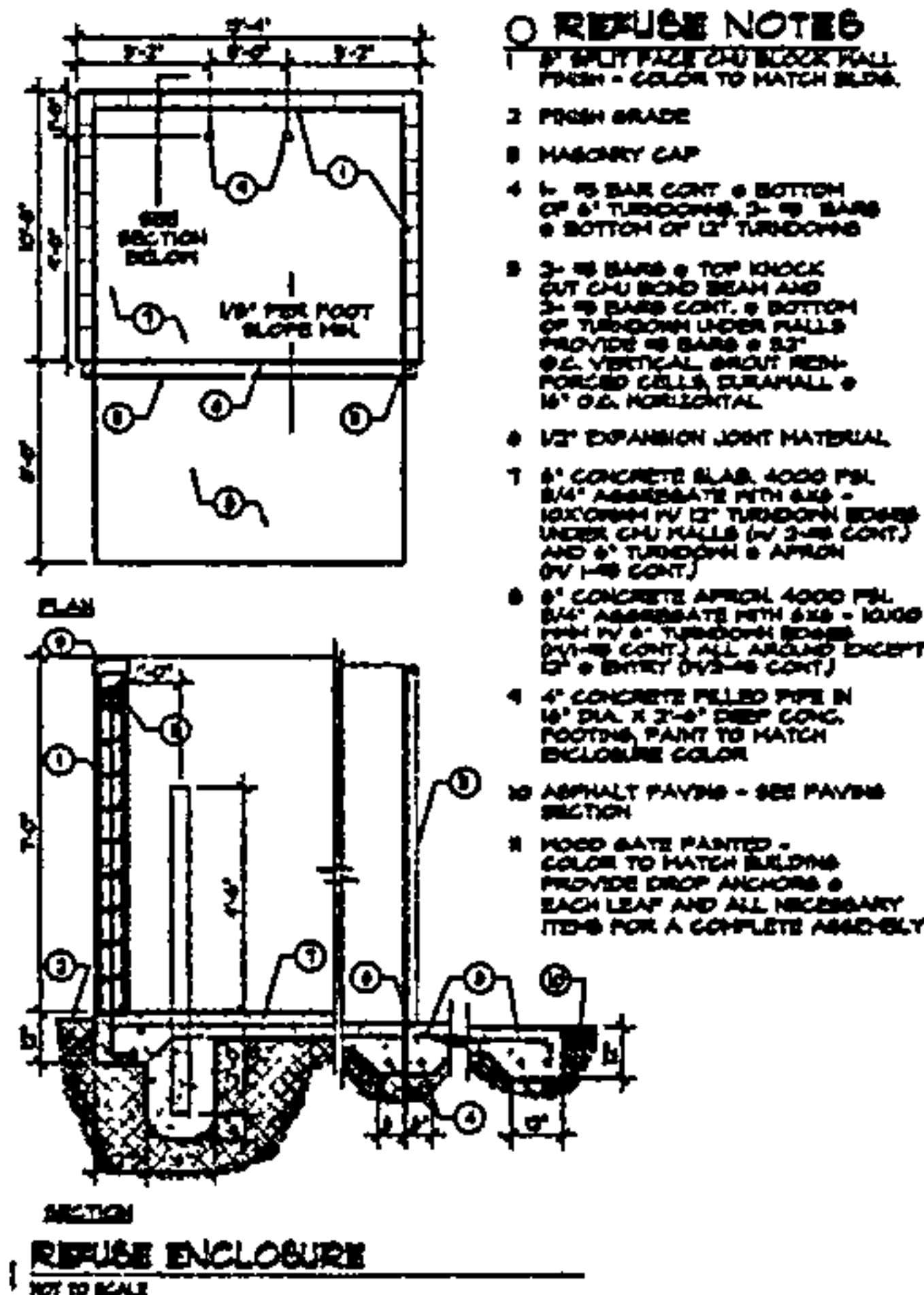
SHEET #5 BUILDING AND STRUCTURE ELEVATIONS

A. General Information

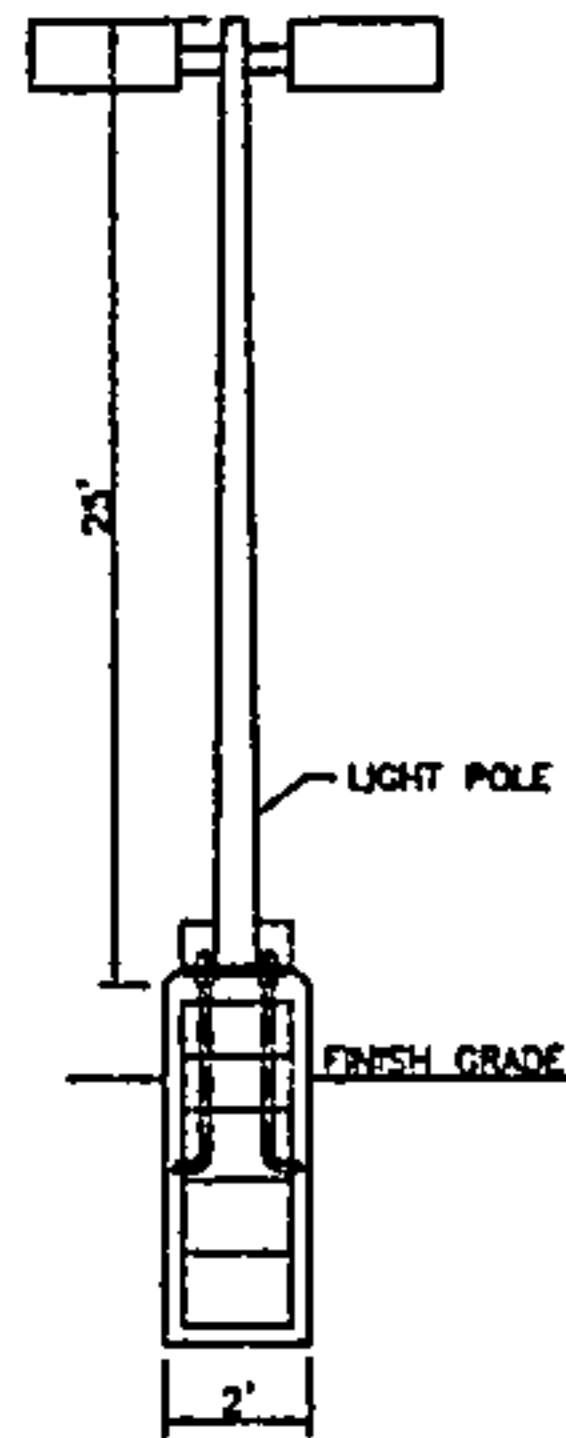
- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation (north, south, east, & west).
 - 2. Facade dimensions including overall height and width
 - 3. Location, dimensions, materials, and colors of principle facade elements- windows, doors, etc.
 - 4. For EPC and DRB submittals only – Color renderings or similar (12 copies) illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

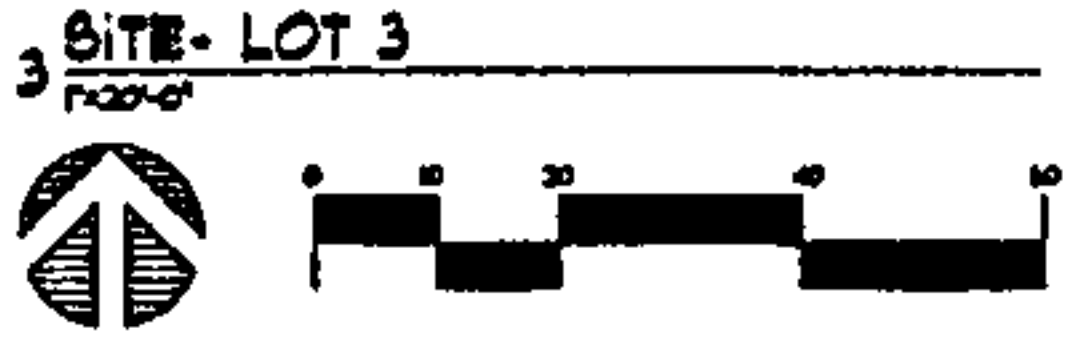
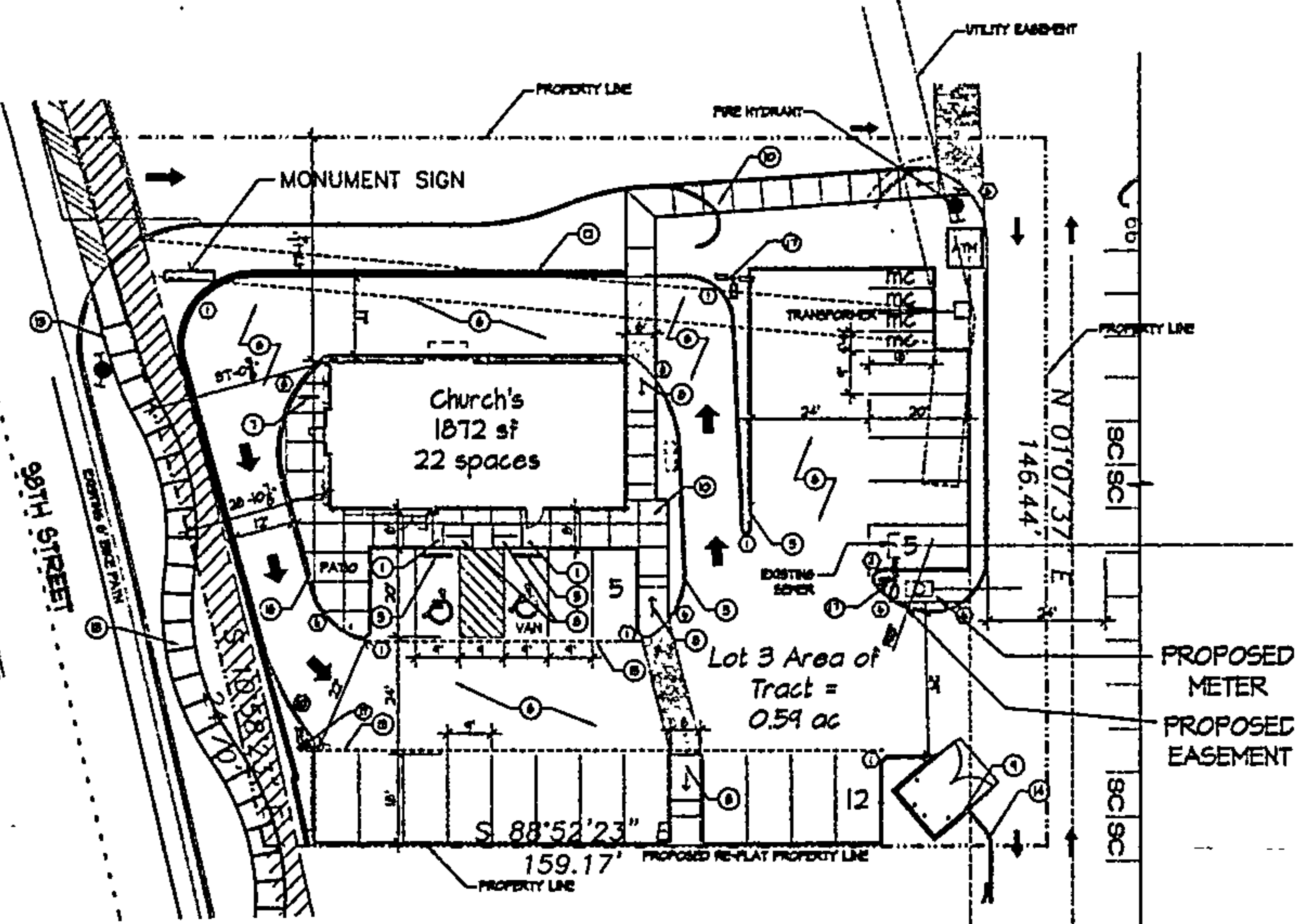
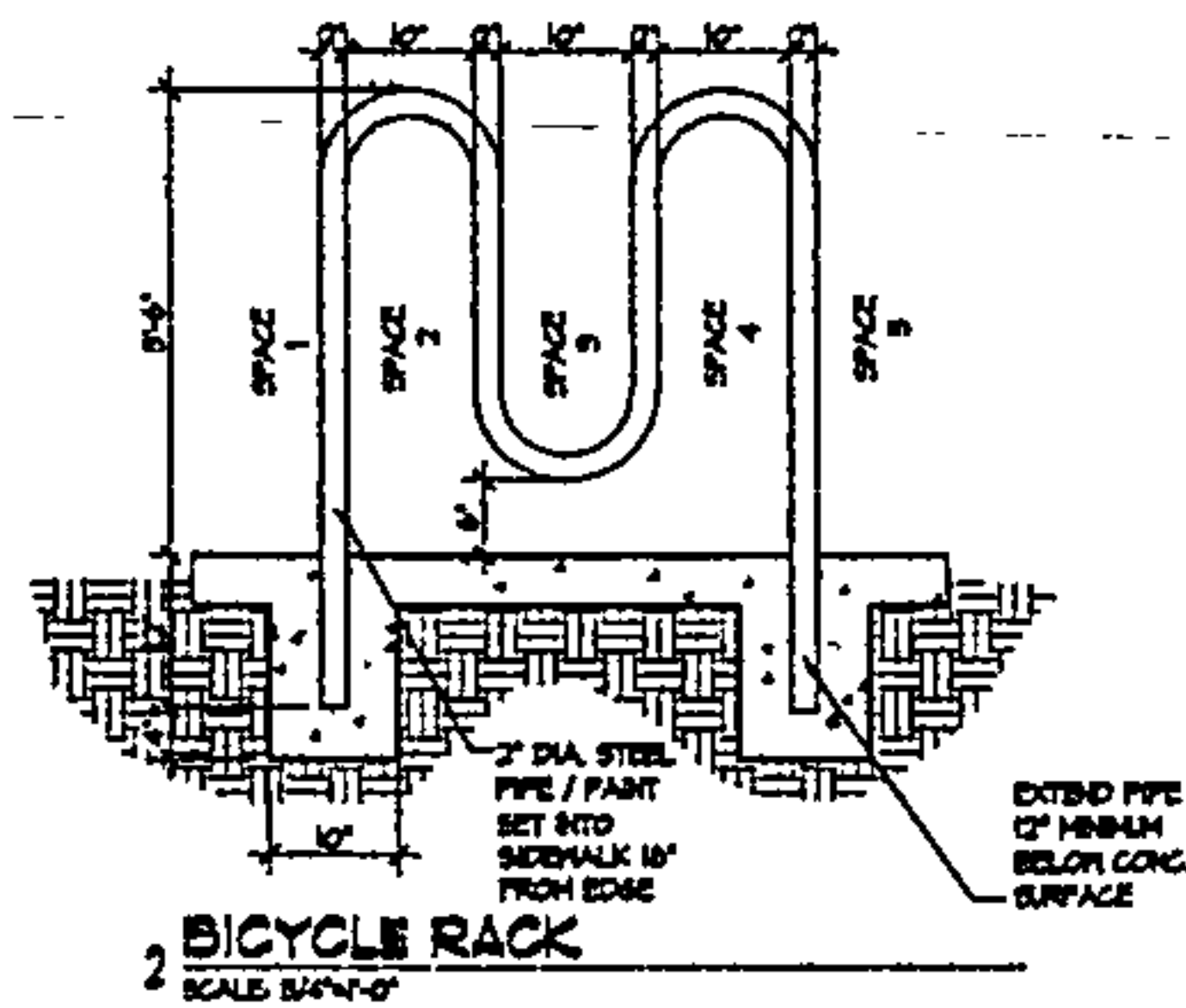
- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.



- REFUSE NOTES**
1. SPLIT FACE CHU BLOCK WALL. FINISH - COLOR TO MATCH BLOCK.
 2. FRESH GRADE.
 3. MASONRY CAP.
 4. 1" x 12" BAR CONT. @ BOTTOM OF 12" TURNDOWN. 2" x 12" BARS @ BOTTOM OF 12" TURNDOWN.
 5. 3" x 12" BARS @ TOP. KNOCK OUT CHU BLOCK BEAM AND 3" x 12" BARS CONT. @ BOTTOM OF TURNDOWN UNDER PULLS PROVIDE TO BARS @ 20" O.C. VERTICAL. SPLIT FRESH GRADE CALLS SURFALL @ 1" O.C. HORIZONTAL.
 6. 1/2" EXPANSION JOINT MATERIAL.
 7. 4" CONCRETE SLAB. ADD 100# FILL. 50# AGGREGATE WITH 5% - 10% MOISTURE W/ TURNDOWN BEAMS UNDER CHU WALLS (W/ 2" BARS CONT.) @ 12" TURNDOWN @ APPROX. 10' - 12" CONT.
 8. 4" CONCRETE APRON. ADD 100# FILL. 50# AGGREGATE WITH 5% - 10% MOISTURE W/ TURNDOWN BEAMS UNDER CHU WALLS (W/ 2" BARS CONT.) @ 12" TURNDOWN @ APPROX. 10' - 12" CONT.
 9. 4" CONCRETE FELLO PIPE IN 12" DIA. @ DEEP CONC. FOOTING. PAINT TO MATCH ENCLOSURE COLOR.
 10. ASPHALT PAVING - SEE PAVING SECTION.
 11. HOOD GATE PAINTED - COLOR TO MATCH BUILDING. PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY FITS FOR A COMPLETE ASSEMBLY.

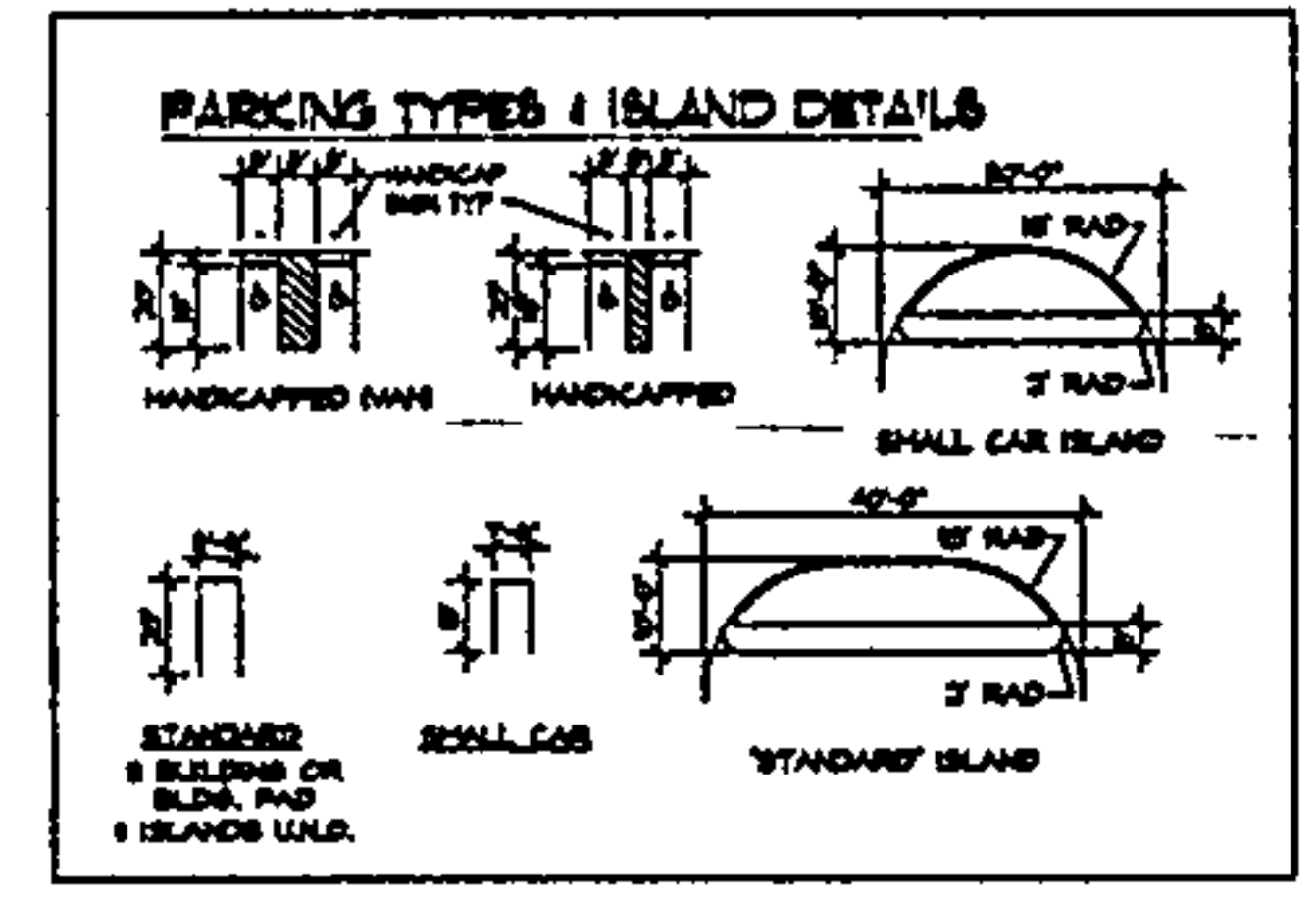


- BOOFTOP EQUIPMENT NOTE**
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED.
- LIGHTING NOTE**
LIGHTING TO BE BUILDS MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OPPOSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OPPOSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



- RADIUS LEGEND**
- ① 2' RADIUS
 - ② 3' RADIUS
 - ③ 4' RADIUS
 - ④ 5' RADIUS
 - ⑤ 10' RADIUS
 - ⑥ 15' RADIUS
 - ⑦ 20' RADIUS
 - ⑧ 25' RADIUS
 - ⑨ 30' RADIUS
 - ⑩ 65' RADIUS

- OKEYED NOTES**
1. HANDICAP SIGN - 2 REQUIRED - SEE DETAIL.
 2. LIGHT POLE - SEE DETAIL.
 3. NEW CONCRETE PERIMETERS TYPICAL.
 4. NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE.
 5. NEW PARKING BUMPER - 2 REQUIRED.
 6. STANDARD DUTY ASPHALT PAVING TYPICAL. SEE PAVING SECTION.
 7. BIKE RACK - SEE DETAIL.
 8. SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN.
 9. NEW REFUSE ENCLOSURE. SEE DETAIL.
 10. NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS.
 11. EXISTING TELEPHONE/ABLE PEDESTALS. VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
 12. CHU RETAINING WALL.
 13. EXISTING SIDEWALK.
 14. EXTRUDED ASPHALT CURB.
 15. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY. TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 16. GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 17. LIGHT POLE.
- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.



A-70 PLANS CHECKING OFFICE
824-3611
APPROVED: [Signature]
SHEETS & BLUE 06/24/13

BUILDING LEGEND

OFFICE BUILDING	6,843 SQ. FT.
PARKING REQUIRED	RESTAURANT + DRIVE THRU 4 SEATS = 8 SPACES
PARKING PROVIDED	22 SPACES PROVIDED
MOTORCYCLE PARKING	(2 H.C. SPACES PROVIDED)
BICYCLE PARKING	4 PROVIDED
LANDSCAPING REQUIRED	BLDG. SITE = 28,700 SF - 1,872 SF (BLDG. AREA) = 26,828 S.F. NET LOT AREA * 1.8 = 48,290 SF.
LANDSCAPING PROVIDED	3,823 SF.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

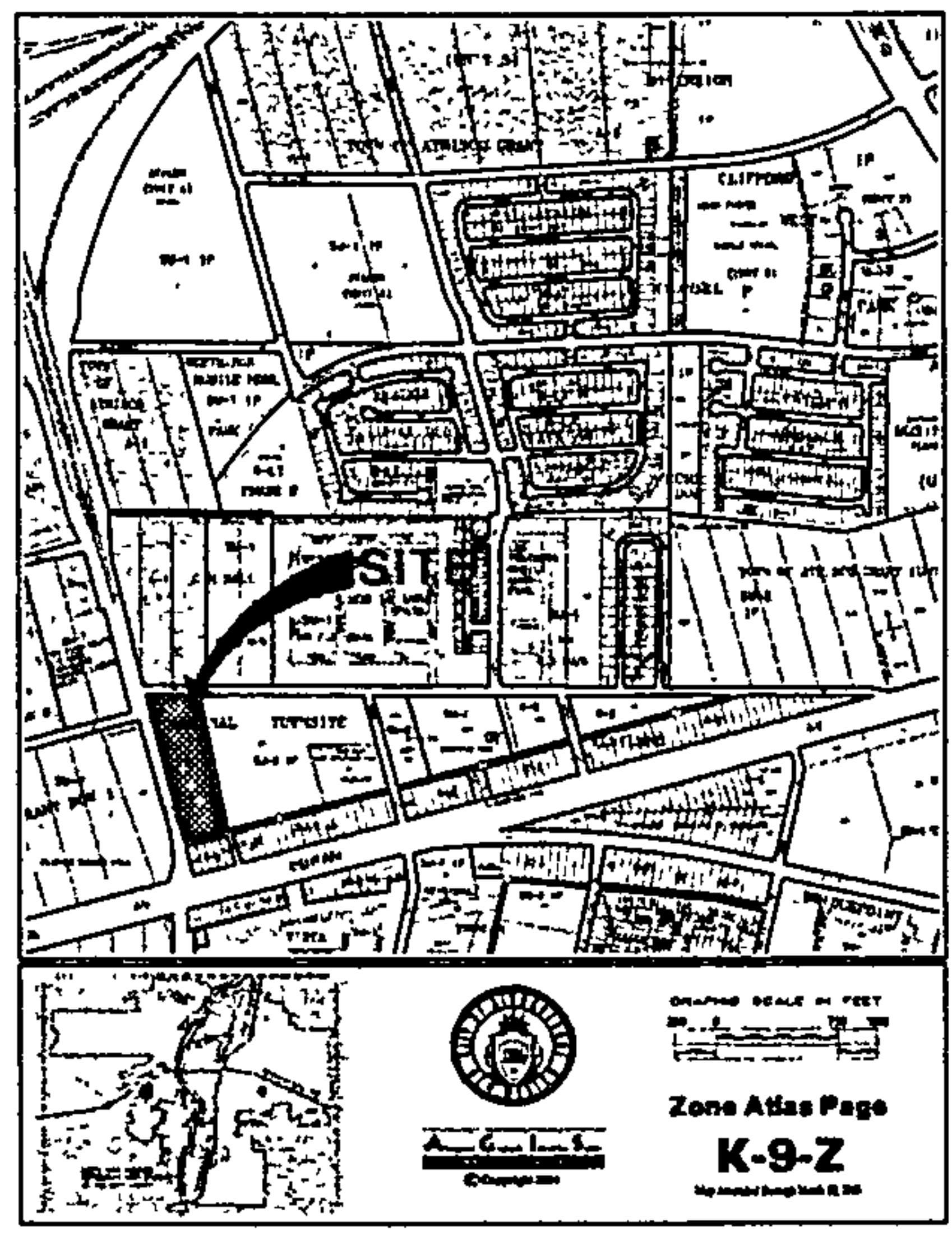
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved IFC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- GENERAL NOTES - CITY REQUIRED**
- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
 - B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - D. ALL SIDEWALK AND GAS IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. NO 2425.
 - F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



H+W architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hpluw@comcast.net

NORTHEAST CORNER OF 98TH AND CENTRAL

ALBUQUERQUE, NM

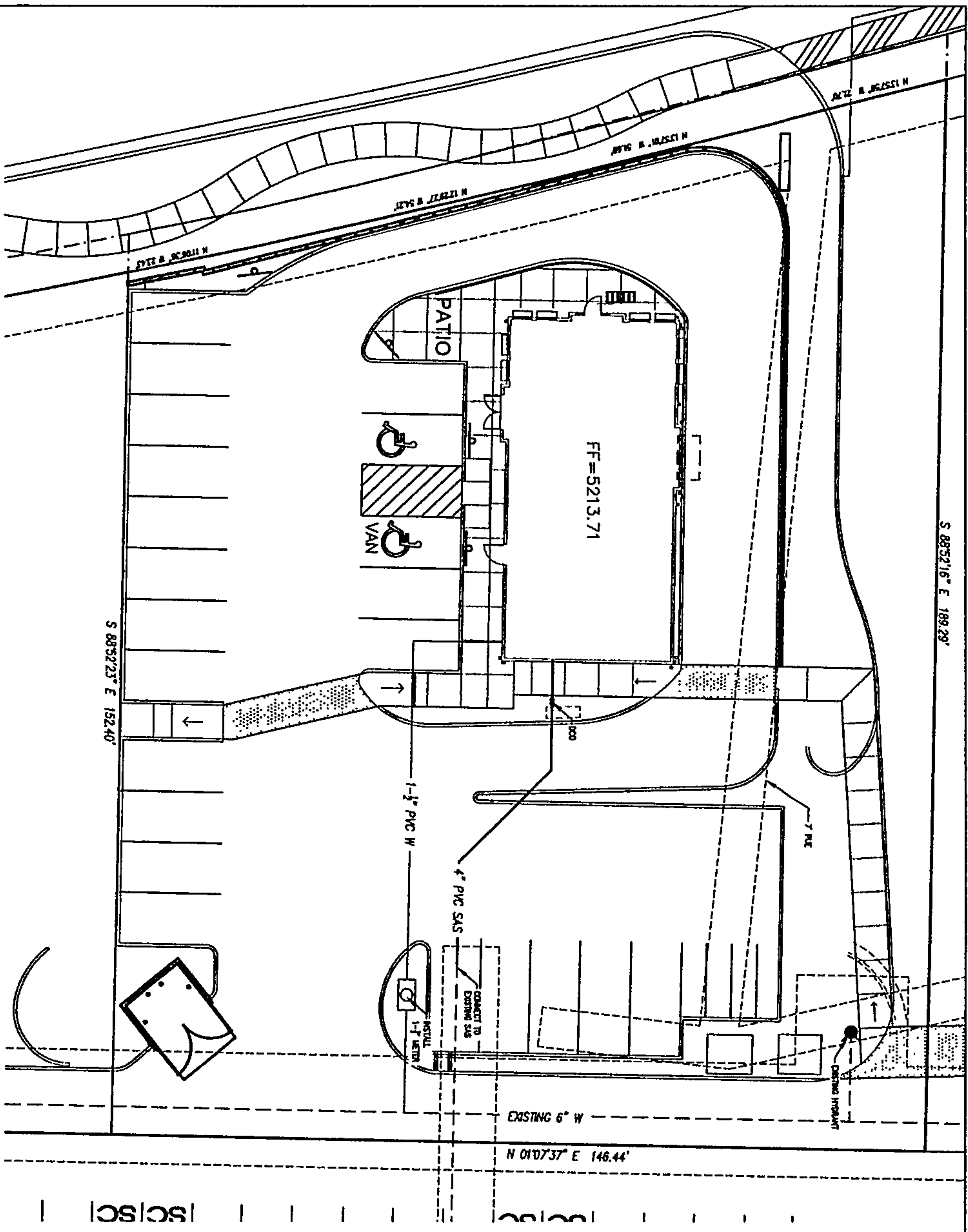
Sheet Title:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Date: June 4, 2013
Drawn: ST WILDER
Checked: ST WILDER
Revised:

Seal:
[Professional Seal: JASON HALL, No. 003655, 6-4-13]

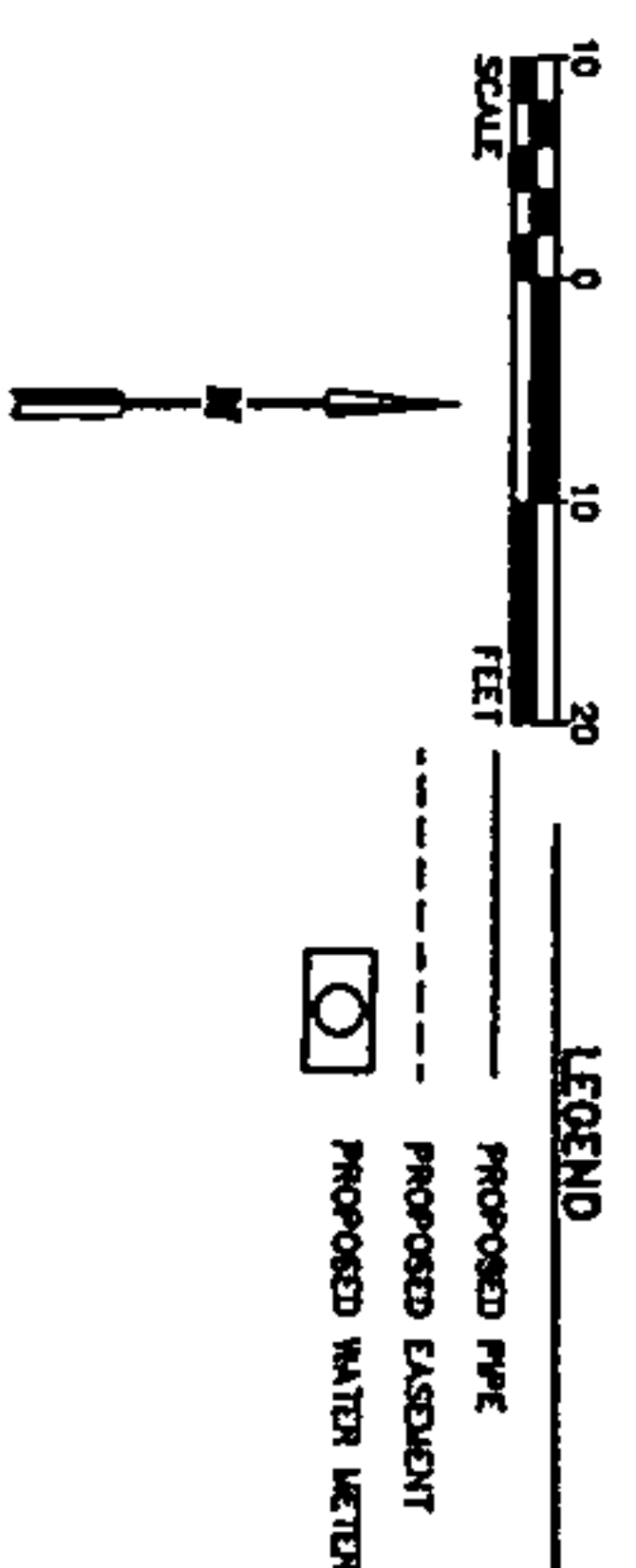
JOB NUMBER: H28006

S01



EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TYPICAL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO DRAINAGE RIGHT-OF-WAY.
4. REPAIR OF DAMAGED PAVING AND CURBS OF EXISTING ADJACENT PROPERTIES AND PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (OT) ACCEPTANCE OF ANY PROJECT.



NOTE
 THE DRAWING HAS UNDERGROUND UTILITIES FROM A NEIGHBORING PROPERTY TO THE LOCATION, NORTH, SOUTH, OR TYPE OF CONNECTIONS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND TYPE OF CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND TYPE OF CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND TYPE OF CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND TYPE OF CONNECTIONS.

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CONTRACT NO.	K-09-2
PROJECT NO.	1
SHEET	1 OF 1

NO	DATE	REMARKS	BY
DESIGNED BY	REH	DATE	MAY 2013
DRAWN BY	REH	DATE	MAY 2013
CHECKED BY	SEG	DATE	MAY 2013

ENGINEER'S SEAL

SURVEY INFORMATION	
FIELD NOTES	
NO	DATE

BENCH MARKS	

AS BUILT INFORMATION	

GENERAL NOTES
 1. THE WATER AND SEWER INFRASTRUCTURE SYSTEM ON THIS PLAN IS THE RESPONSIBILITY OF THE PROJECT OWNER.
 2. THE DESIGN INTENTION SPECIFIED ON THE PLAN IS THE MINIMUM REQUIREMENT. THE OWNER IS ENCOURAGED TO REQUEST A MORE RESISTANT LAYERING OR LAYER BEHIND EXISTING LAYERS SUCH AS ASPHALT AND CONCRETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND TYPE OF CONNECTIONS.
 3. THE WATER AND SEWER INFRASTRUCTURE SYSTEM ON THIS PLAN IS THE RESPONSIBILITY OF THE PROJECT OWNER.
 4. ALL DISTURBED AREAS OUTSIDE THE BALANCE PAD MUST BE RESEED OR LANDSCAPED.
 5. THE (2) PROPOSED PIPS FROM TO ANY DEPARTMENT, CONTRACTOR MUST CONTACT THE LOCAL SERVICE (988-1999) FOR LOCATION OF EXISTING UTILITIES.
 6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE AND VERIFY THE EXISTING AND VERIFY THE LOCATION OF ALL UTILITIES AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE DESIGNER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

NOTE
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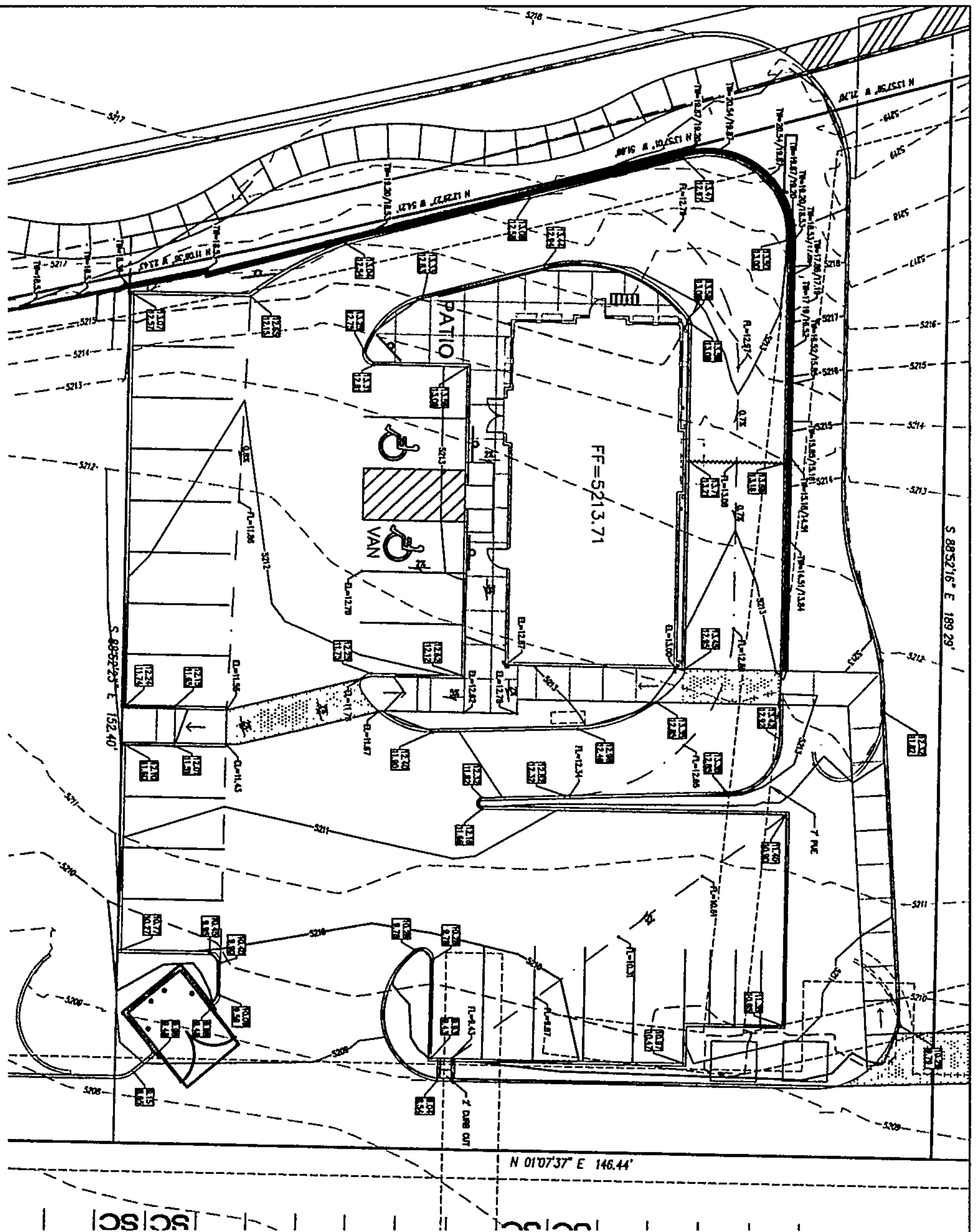
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CONCEPTUAL SITE UTILITY PLAN
 LOT 3
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
 KRANIA - 140 98th ST. NW

GND, LLC
 CONSULTING ENGINEERS
 CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
 KRANIA - 140 98th ST. NW



- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEWERAGE THAT GETS INTO EXISTING INLET-OR-OUTLET.
 4. REPAIR OF PAVED SURFACES AND CLEANING OF SEWERAGE ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC AREAS IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (OT) ACCEPTANCE OF ANY PROJECT.

NOTE

THE ENGINEER HAS LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES AND SERVICES AND ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES AND SERVICES IN THE FIELD OF THE WORK IN ADVANCE OF ANY EXCAVATION WORK. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES AND SERVICES. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES AND SERVICES IN THE FIELD OF THE WORK IN ADVANCE OF ANY EXCAVATION WORK. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES AND SERVICES.

NOTE

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NO.	DATE	REMARKS	BY
DESIGNED BY	REH	DATE	MAY 2013
DRAWN BY	REH	DATE	MAY 2013
CHECKED BY	SEC	DATE	MAY 2013

ENGINEER'S SEAL

SKILDON E. GREER
NEW MEXICO
17154

SURVEY INFORMATION

FIELD NOTES	
NO.	DATE

BENCH MARKS

DESCRIPTION	DATE
"8-43 1980" FROM THE INTERSECTION OF I-40 AND 96TH STREET NW TRAVEL SOUTH 0.37 MILES TO THE STATION ON THE EAST SIDE OF 96TH STREET. THE STATION IS 1131 FEET EAST OF 96TH STREET CENTERLINE AND IS 2.2 FEET WEST OF A BARBED WIRE FENCE. CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.3 FEET ABOVE THE GROUND AND IS STAMPED "8-43 1980" X=1482483.788 Y=1484994.839 (NAD 83) ELEV=5250.168 (NAVD 1989)	

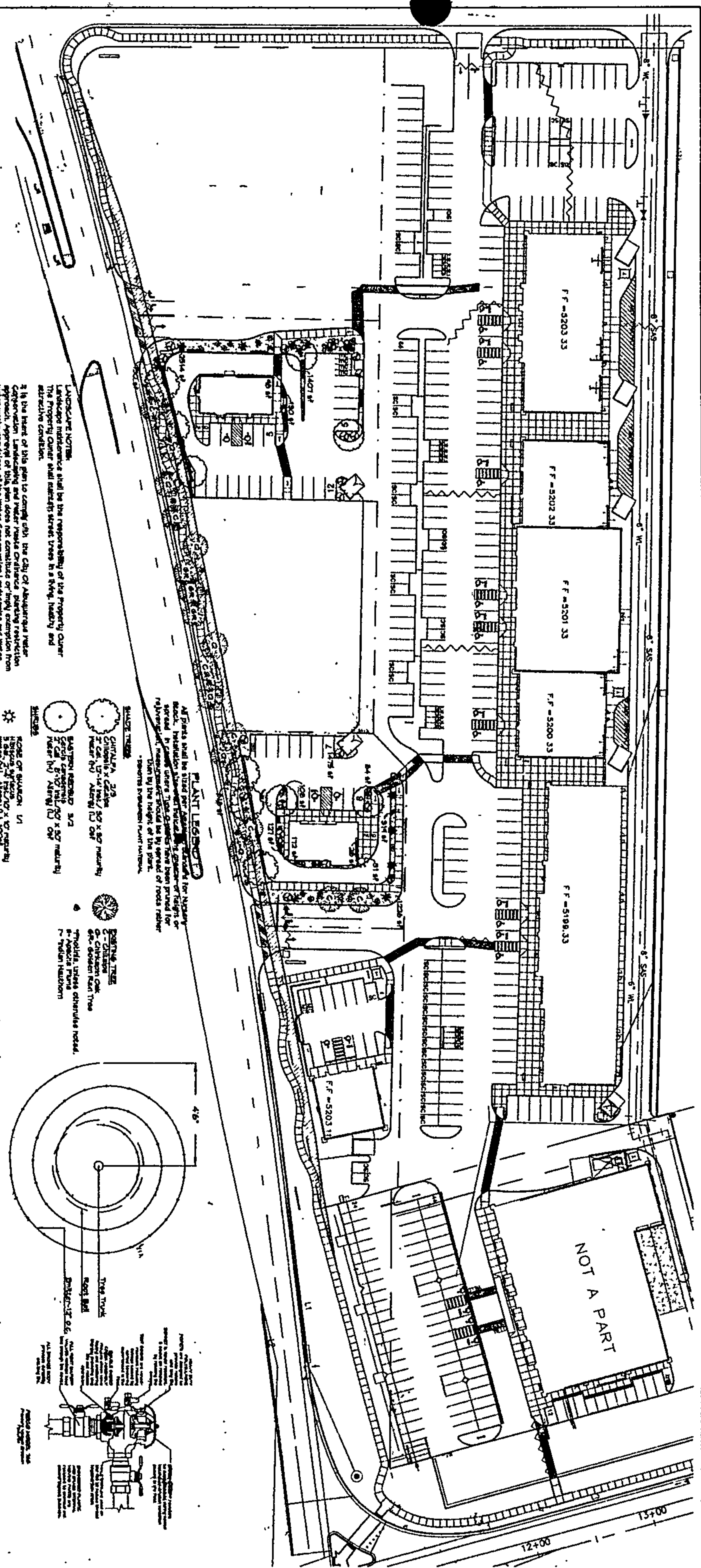
AS BUILT INFORMATION

CONTRACTOR	DATE

END, LLC
CONSULTING ENGINEERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
KRAVIA - 140 98th St. NW
LOT 3
GRADING & DRAINAGE PLAN

DESIGNED BY REH DATE MAY 2013
DRAWN BY REH DATE MAY 2013
CHECKED BY SEC DATE MAY 2013



LANDSCAPE CALCULATIONS

CHARACTER	STANDARD
TOTAL LOT AREA	23700 square feet
TOTAL BUILDING AREA	10712 square feet
TOTAL LOT AREA	23620 square feet
LANDSCAPE REQUIREMENT	15% 3543 square feet
TOTAL LANDSCAPE REQUIREMENT	3974 square feet
TOTAL LANDSCAPE PROVIDED	4244 square feet
TOTAL EXCESS PROVIDED	270 square feet

LANDSCAPE CALCULATIONS

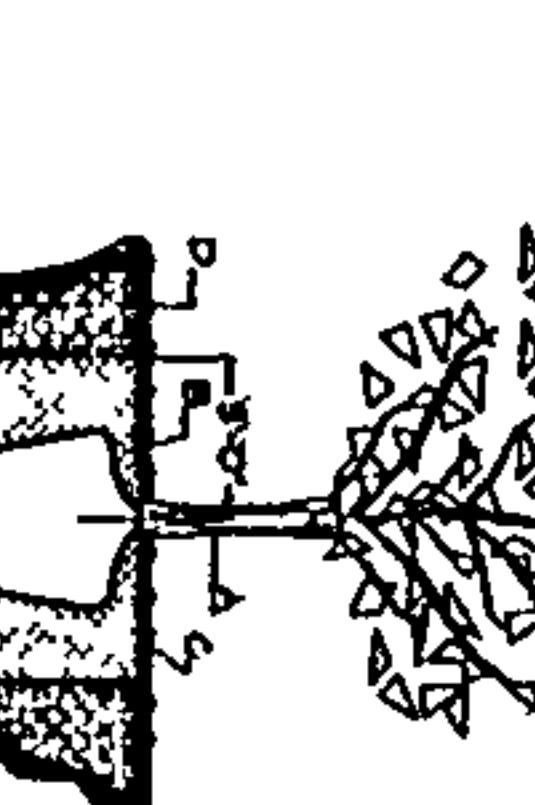
CHARACTER	STANDARD
TOTAL LOT AREA	23700 square feet
TOTAL BUILDING AREA	10712 square feet
TOTAL LOT AREA	23620 square feet
LANDSCAPE REQUIREMENT	15% 3543 square feet
TOTAL LANDSCAPE PROVIDED	4244 square feet
TOTAL EXCESS PROVIDED	270 square feet

STREET TREE REQUIREMENTS
Minimum of 10 trees per lot required under the City of Albuquerque Street Tree Ordinance as follows:
1. Street trees per 100 sq ft of lot area
2. Street trees per 100 sq ft of lot area

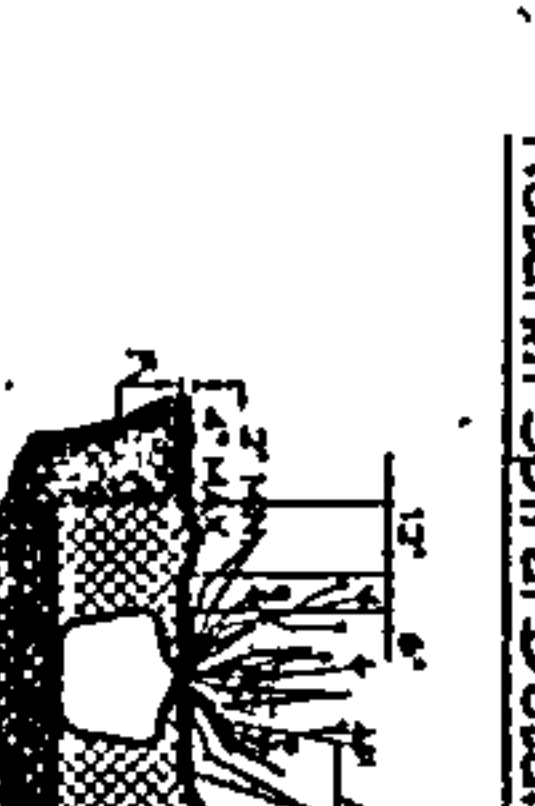
STREET TREE REQUIREMENTS
Minimum of 10 trees per lot required under the City of Albuquerque Street Tree Ordinance as follows:
1. Street trees per 100 sq ft of lot area
2. Street trees per 100 sq ft of lot area

PLANT LEGEND
All plants shall be sized per drawing unless otherwise noted. Plant material shall be provided by the contractor. Plant material shall be provided by the contractor. Plant material shall be provided by the contractor.

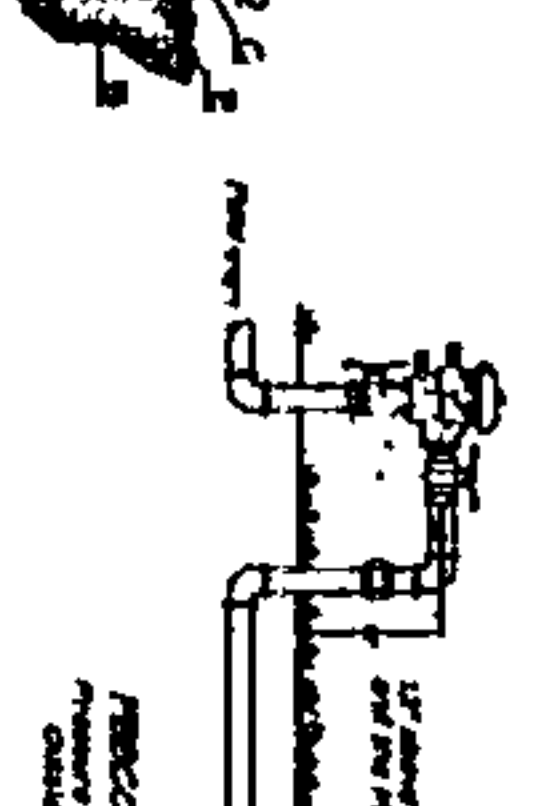
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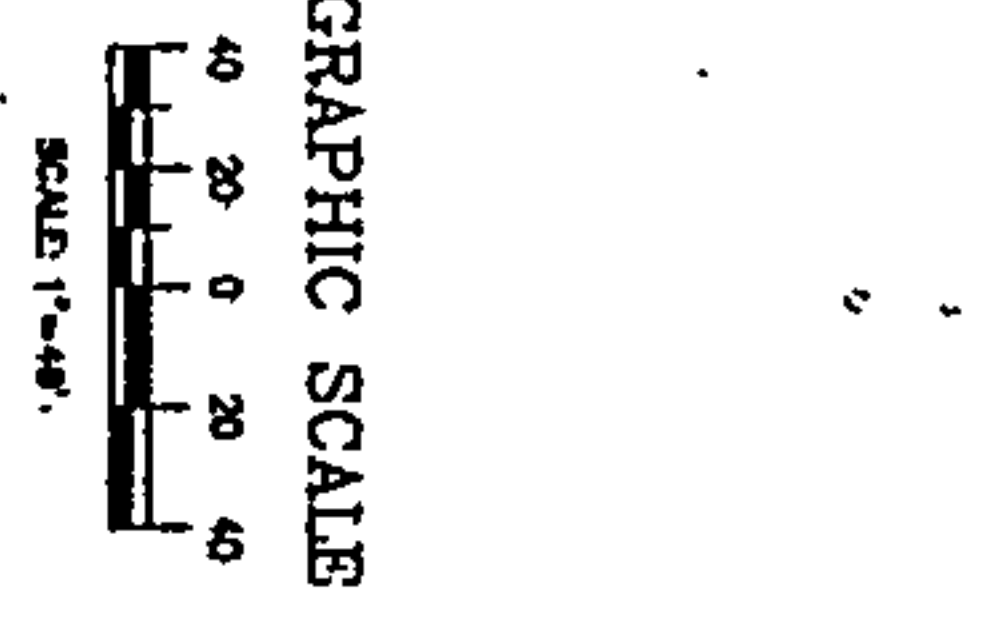
TREE PLANTING DETAIL
GENERAL NOTES:
1. FOOTBALL SHALL BE PLACED ON UNDISTURBED SOIL.
2. THE TREE SHALL BE PLACED IN THE HOLE AT THE POINT OF THE TREE TRUNK.
3. THE TREE SHALL BE PLACED IN THE HOLE AT THE POINT OF THE TREE TRUNK.
4. THE TREE SHALL BE PLACED IN THE HOLE AT THE POINT OF THE TREE TRUNK.



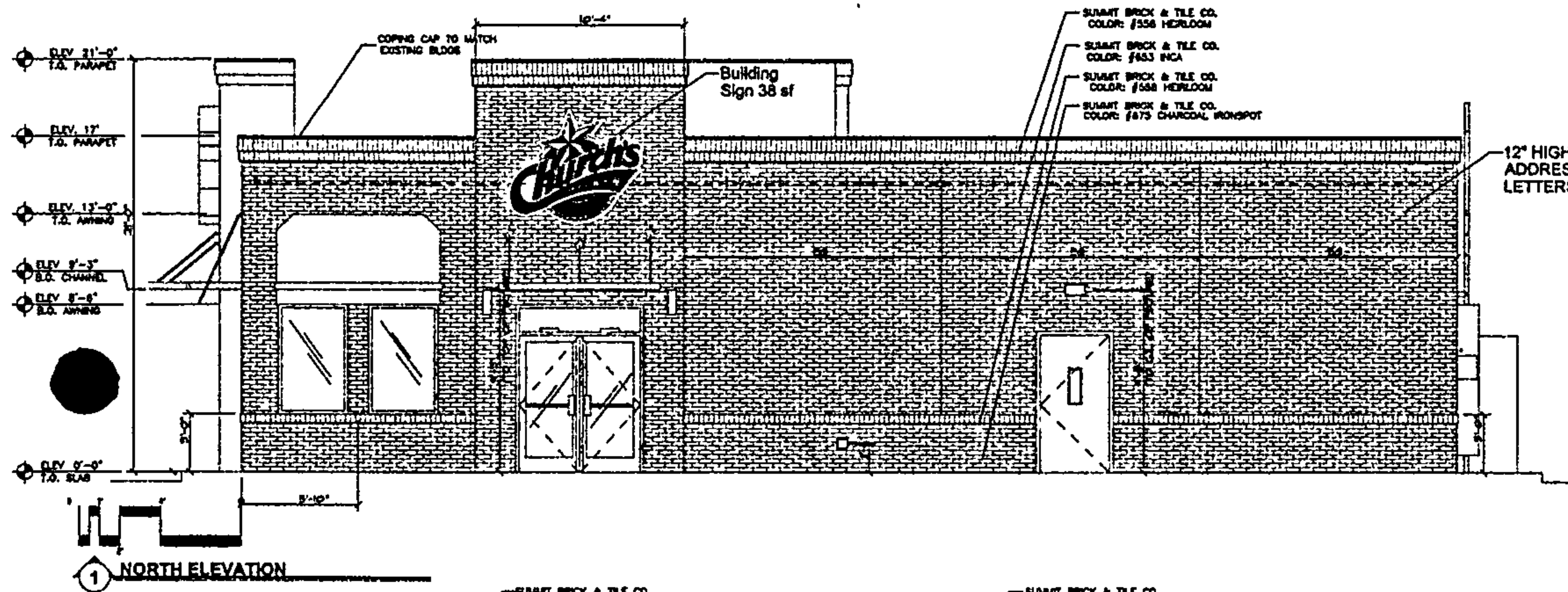
SHRUB PLANTING DETAIL
GENERAL NOTES:
1. THE CORNER DIAMETER OF THE PLANTER RETENTION BASK SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.
2. THE CORNER DIAMETER OF THE PLANTER RETENTION BASK SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.



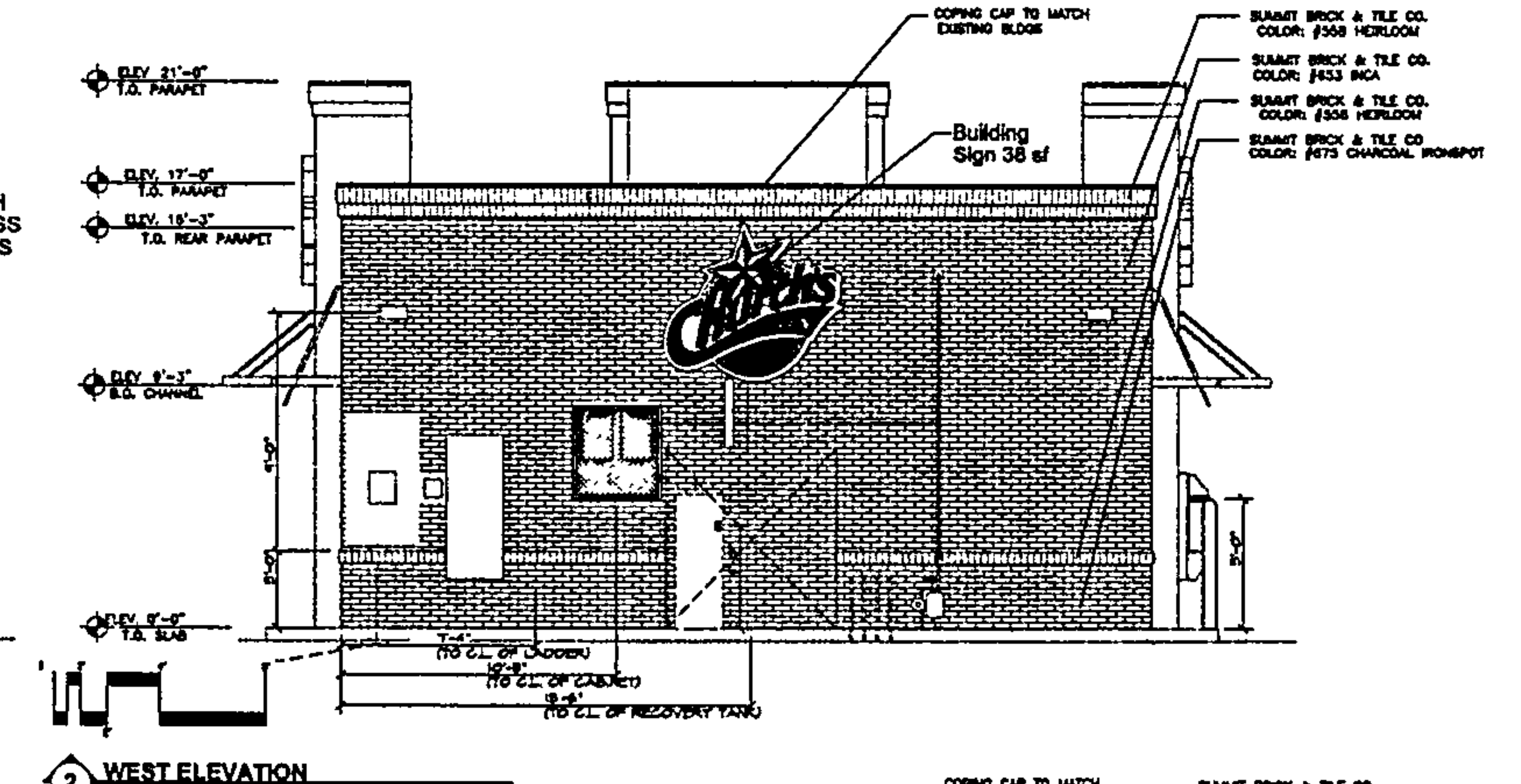
Nectarin Spiral Detail
GENERAL NOTES:
1. THE CORNER DIAMETER OF THE PLANTER RETENTION BASK SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.
2. THE CORNER DIAMETER OF THE PLANTER RETENTION BASK SHALL BE THREE TIMES THE DIAMETER OF THE SHRUB PLANTING PIT.



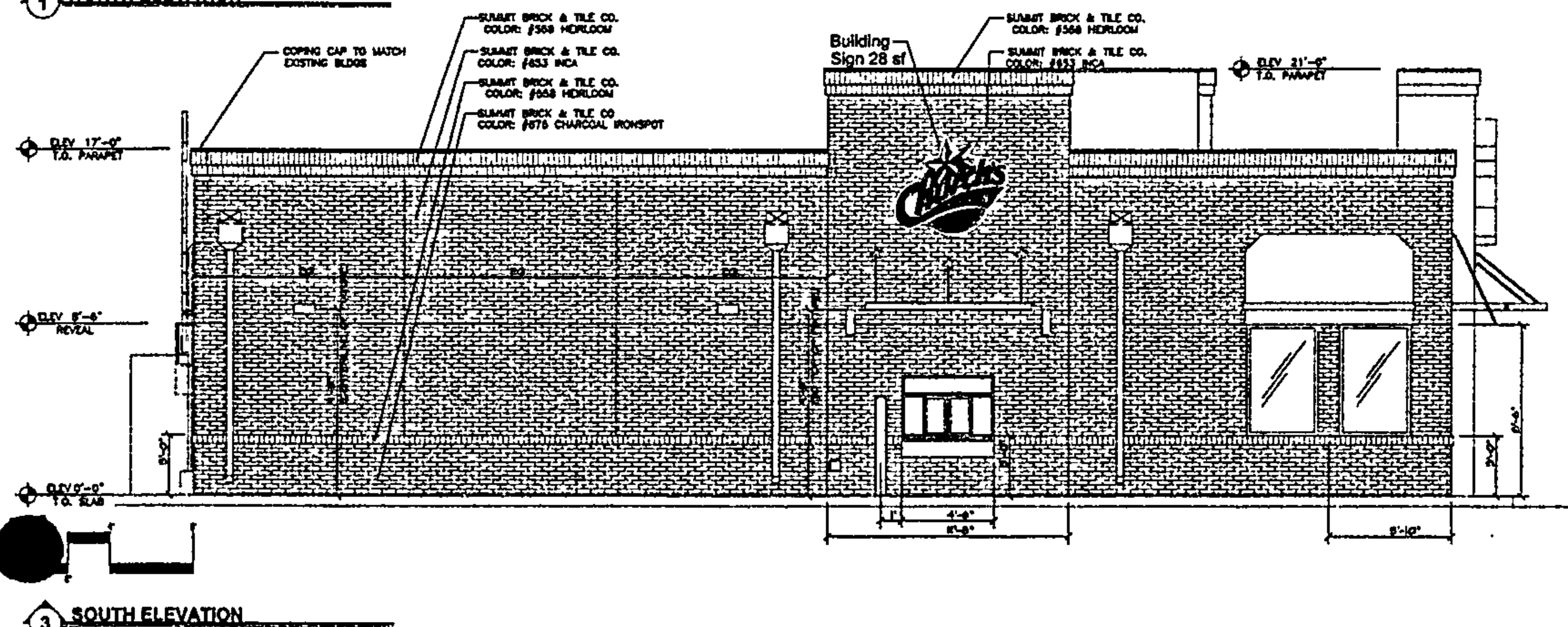
<p>DRAWN BY: CMC REVISION: 2/6-3-13 DATE: 5-3-13</p>	<p>The Hilltop LANDSCAPE ARCHITECTS & CONTRACTORS</p>	<p>98th and Central EXISTING PLANTS AND NEW LANDSCAPE PLAN</p>		<p>Cont. Lic. #28458 7909 Earth N.E. Albuquerque, NM 87184 Ph. (505) 898-9690 Fax (505) 898-7737 cmj@thehilltoplandscaping.com</p>	
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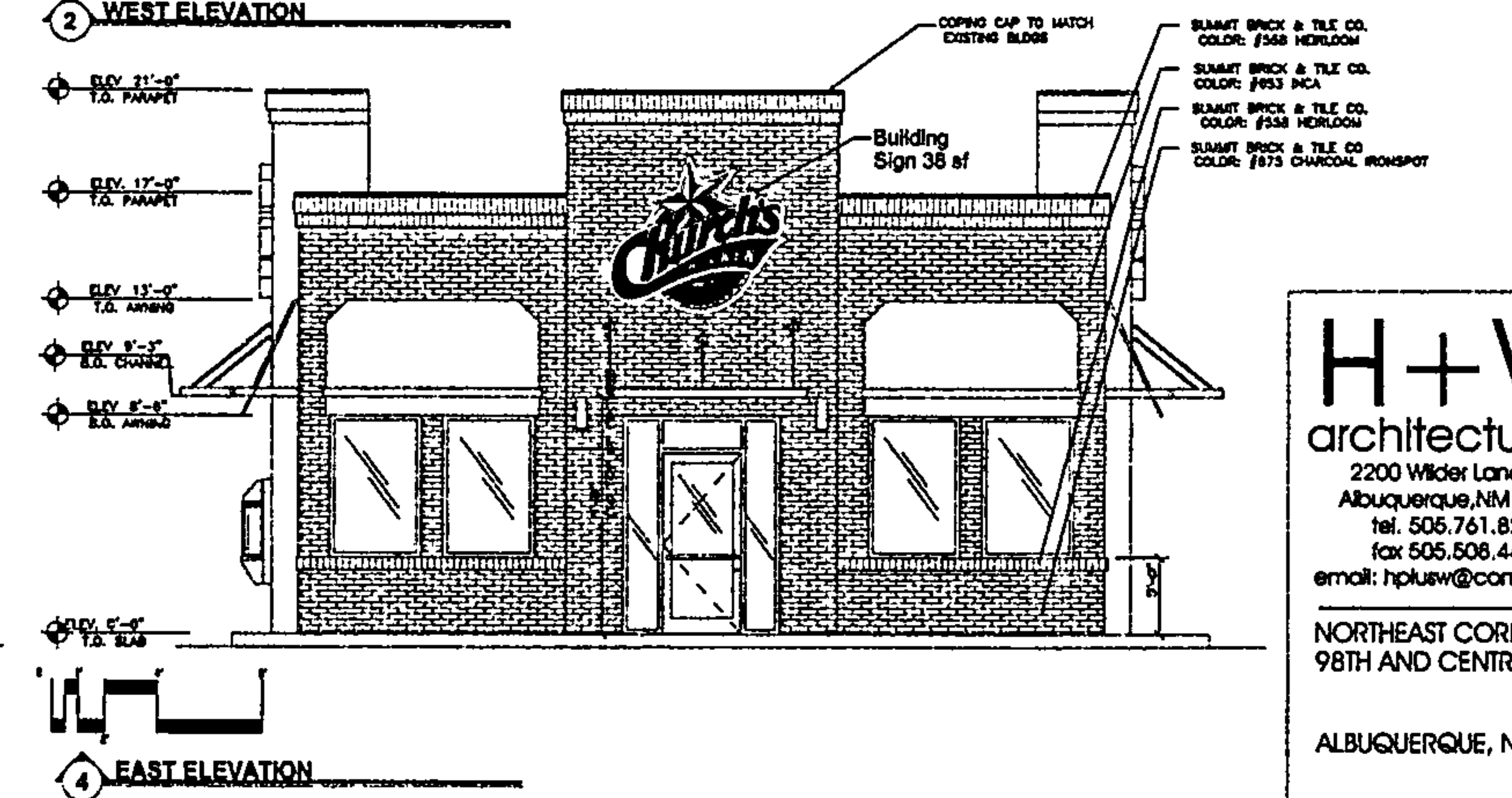
1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION

H+W
 architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.761.8238
 fax 505.508.4478
 email: hplusw@comcast.net

NORTHEAST CORNER OF
 98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**BUILDING
 ELEVATIONS**

Date: JUNE 8, 2013
 Drawn: S T WILDER
 Checked: S T WILDER
 Revision:

Seal:

JOB NUMBER: H28008

⊕ A01

PROPOSED DESIGN GUIDELINES
SITE DESIGN

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE, AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 88TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

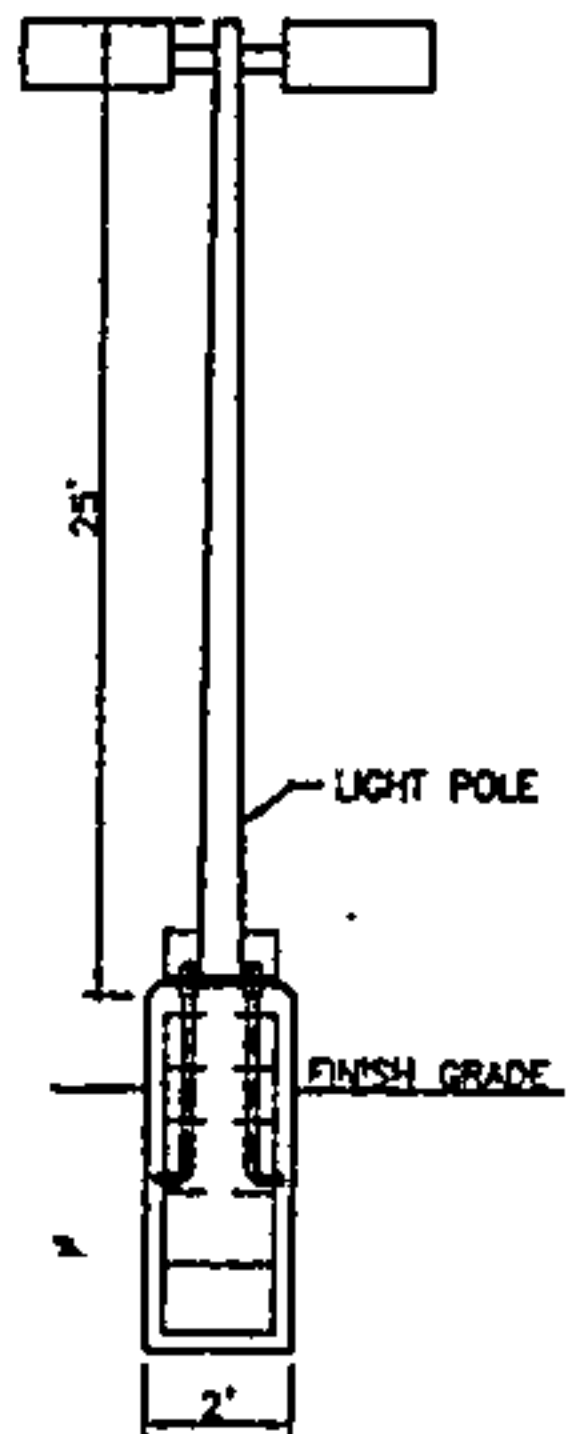
BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITH A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.



LIGHT POLE DETAIL
NTS

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 88TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELGATED DOWN TO DRB.
12. NO PACKAGE LIQUOR SALES ON THIS SITE.
13. MAXIMUM NUMBER OF DRIVE-THRU BUSINESSES, LIMITED TO THREE (3).

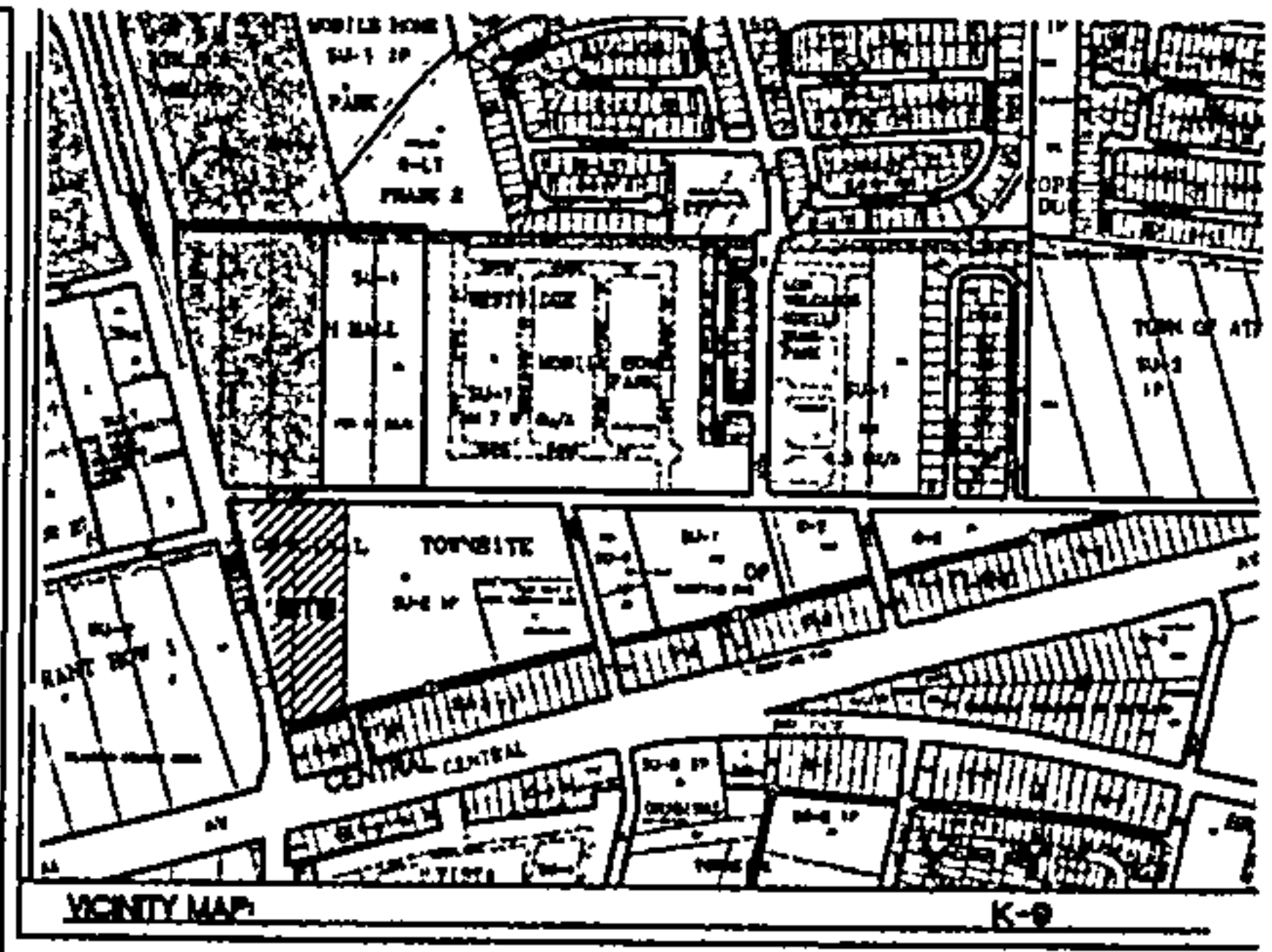
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No () No If Yes then a set of approved DPC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	Date



LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 28 FEET.

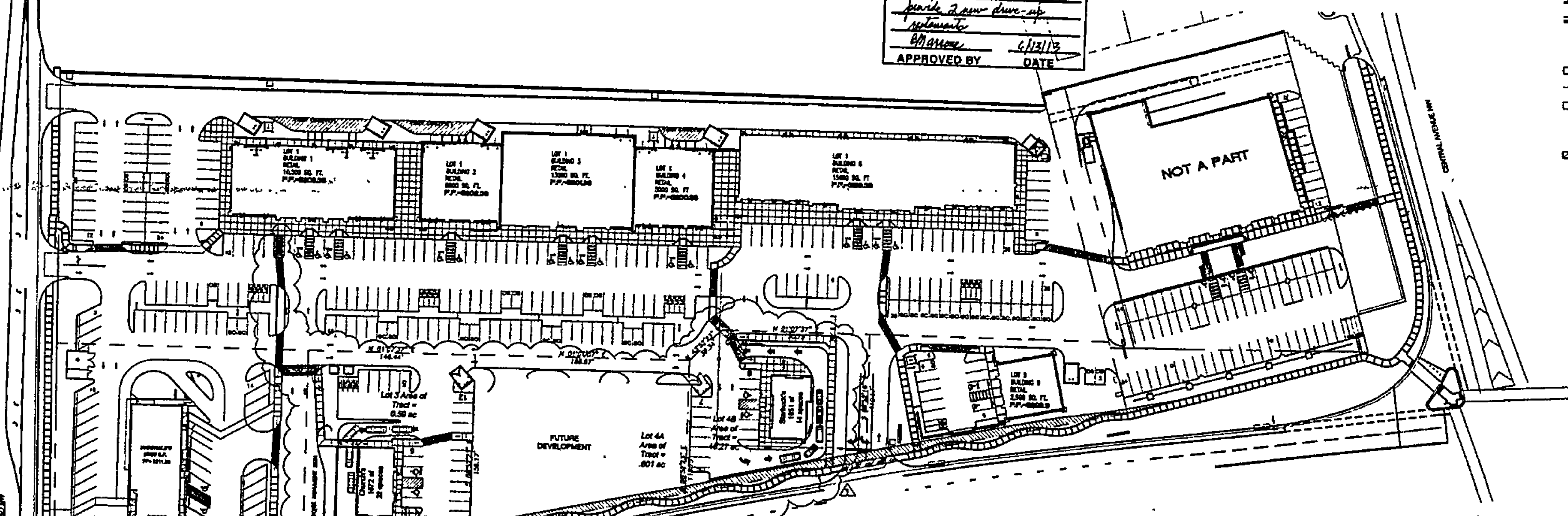
THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND Pylon SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.

ADMINISTRATIVE AMENDMENT
FILE # 13 1222 PROJECT # 1009354
subdivided 2 lots into 3.
provide 2 new drive-up restaurants
07/11/13
APPROVED BY _____ DATE _____

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- - - - - EXISTING CURB AND GUTTER
- ==== CURB AND GUTTER
- ==== SCREEN WALL
- ==== RETAINING WALL
- ==== PROPOSED SIDEWALK
- ==== EXISTING BOUNDARY
- ==== CROSS WALK
- ==== BIKE RACK
- ==== PROPOSED SIDEWALK
- ==== ROW DEDICATION



CURVE TABLE

CURVE LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1 45.77	25	35.32	104°53'54"	S37°46'22"W	39.64
C2 203.22	3146.20	101.64	3°42'03"	N14°36'19"W	203.18

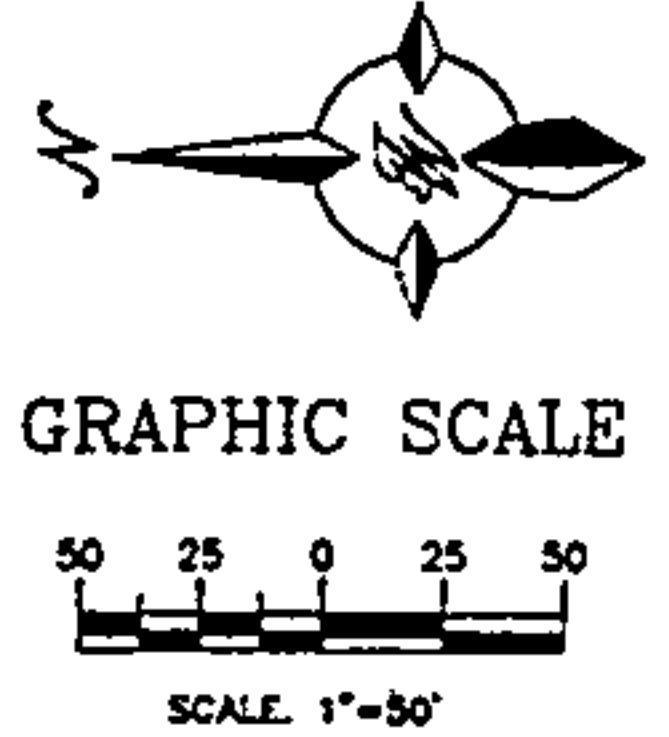
SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN
4. ELEVATIONS
5. ELEVATIONS
6. DETAILS

SITE DATA TABLE

BUILDING	LOT NUMBER	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG REQ.	PRKG PROV.	HC PRKG REQ.	HC PRKG PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT	
1	1	4.794	10,500	RETAIL	SU-2 PCA	53		4	4	1	2	2	5	3	4	0.15	0.35	40'	
2			5,000	RETAIL	SU-2 PCA	25		1	2	1	1	2	2	5	1	2	0.15	0.35	40'
3			13,000	RETAIL	SU-2 PCA	65	249	4	4	1	2	3	5	3	4	4	0.15	0.35	40'
4			5,000	RETAIL	SU-2 PCA	25		1	2	1	1	2	3	5	1	2	0.15	0.35	40'
5			15,600	RETAIL	SU-2 PCA	78		4	4	1	2	3	5	3	4	4	0.15	0.35	40'
6			1,748	2,900	RESTAURANT / DRIVE-THRU	SU-2 PCA	48	50	4	4	1	2	2	5	3	4	0.15	0.35	40'
7	3	0.598	1,872	RESTAURANT / DRIVE-THRU	SU-2 PCA	11	22	1	2	1	1	2	5	1	2	0.15	0.35	40'	
8	4A	0.801	N/A	FUTURE RETAIL TO EPC	SU-2 PCA	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
9	4B	0.482	1,851	RESTAURANT / DRIVE-THRU	SU-2 PCA	10	13	1	1	1	1	2	5	1	2	0.15	0.35	40'	
10			6,206	RETAIL	SU-2 PCA	13													
TOTAL			8,049	81,223		328	347	25	25	9	13	20	45	18	23	0.15	0.35	40'	

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS



H+W
architecture llc
2200 Wilcox Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hpluw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**AMENDED SITE PLAN
FOR SUBDIVISION**

Date: May 8, 2013

Drawn: S.T. WILDER

Checked: S.T. WILDER

Revised:

8/22/13

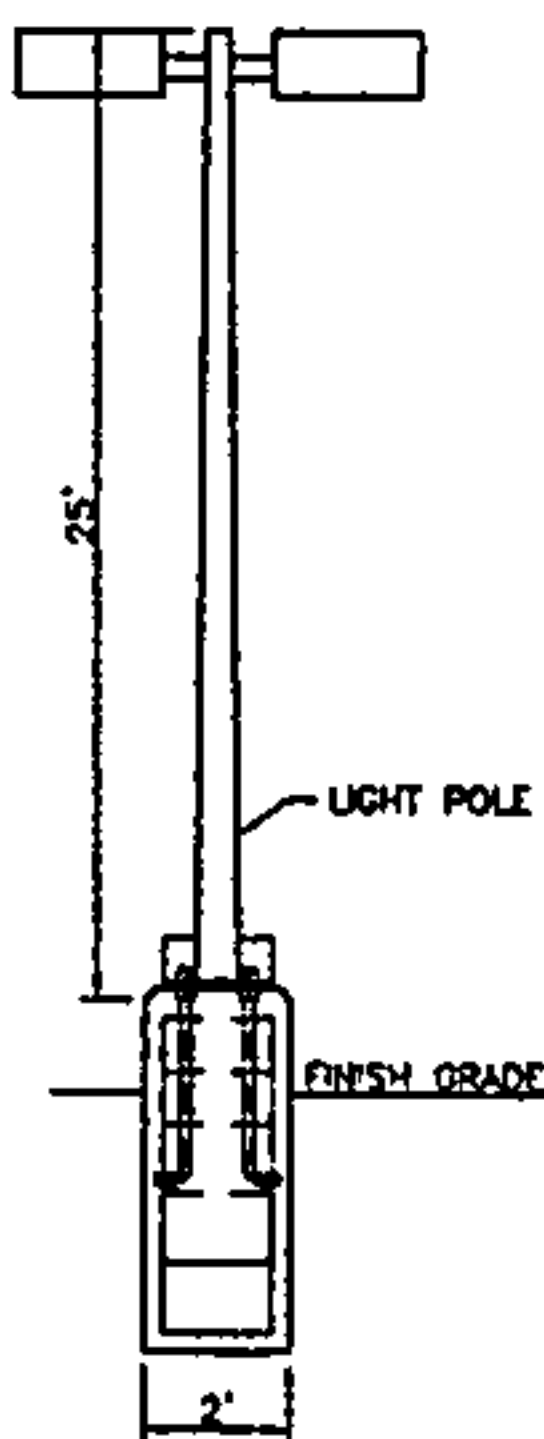
Seat:

JOB NUMBER: H28008

001

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAN.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 18' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUILDINGS CANNOT EXCEED HEIGHTS AS SPECIFIED BY THE SU-2 IP CITY ZONING CODE
- THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
- BUS ROUTE 54 RUNS FROM THE 98TH STREET, NW TO CENTRAL AVENUE, NW
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
- APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, 4A AND 4B TO BE DELEGATED TO THE DRB
- ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
- HANDICAP ACCESS LANDINGS AND RAMPS TO BE ADA COMPLIANT.
- CLEAR SITE TRIANGLE : SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE



LIGHT POLE DETAIL
NTS

KEY/SYMBOLS:

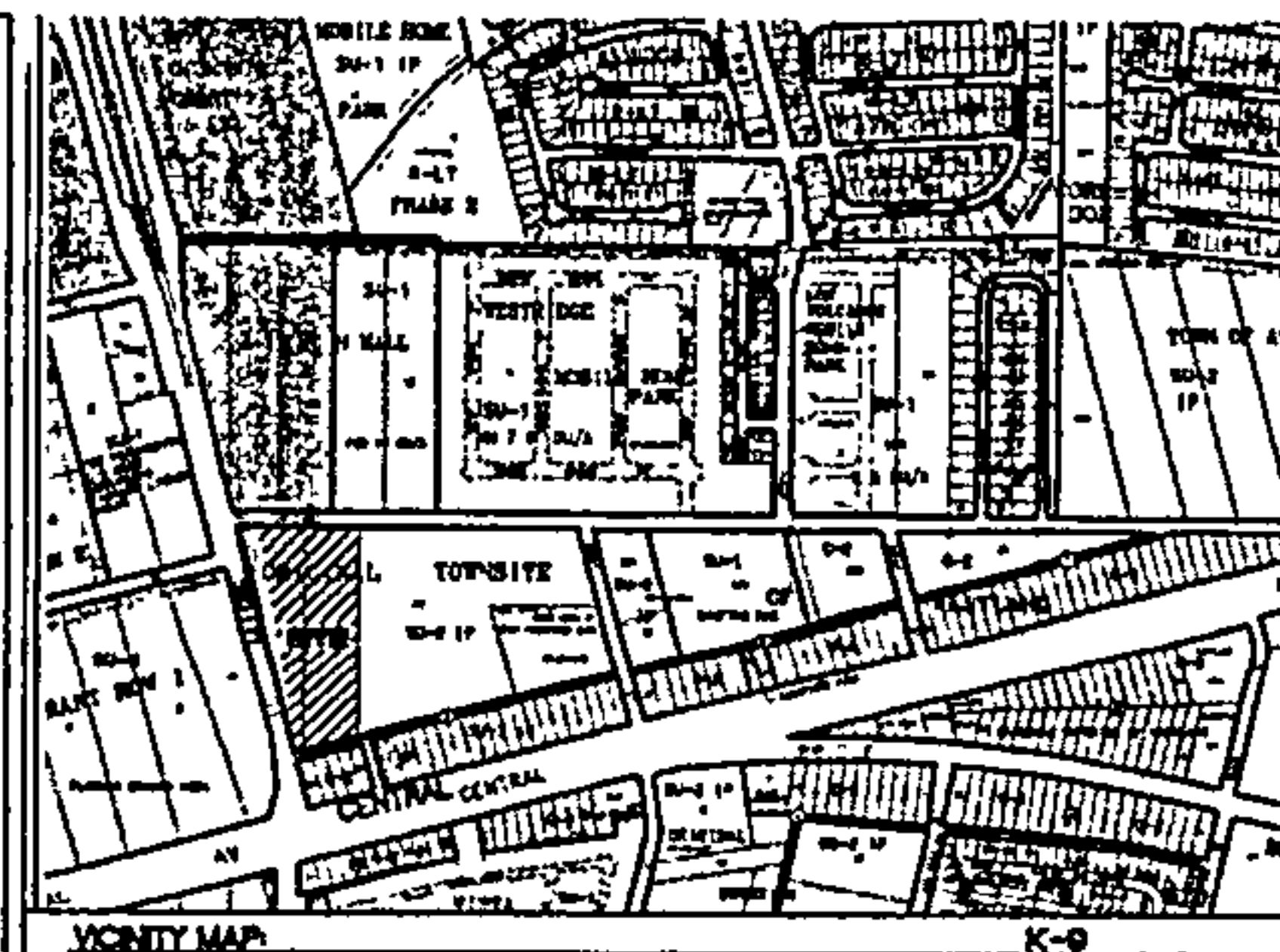
- PAINTED DIRECTIONAL ARROW TYPICAL
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- UNDIRECTIONAL HC RAMP
- PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL.
- 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- 6" CONCRETE HEADER CURB
- 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- 6" CONCRETE SIDEWALK TYPICAL
- TRASH COMPACTOR
- "STOP" SIGN. SEE PLAN FOR LOCATION
- 5 SPACE BIKE RACK TYPICAL
- NEW 6" BIKE PATH
- TREE PLANTER TYPICAL
- RETAINING WALL TAN CMU SEE DETAIL SHEET
- DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- 6" CONCRETE CURB AND GUTTER
- PATIO RAILING
- DO NOT ENTER SIGN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conclusions in the Official Notification of Decision are satisfied.
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	Date



KRANIA, LLC

LETTER OF AUTHORIZATION

June 24, 2013

RE: For all or a portion of Lots 3 and 4, Block 9, Tract O, Original Town Site of Westland Zoned SU-2/PCA, Map K-9

TO WHOM IT MAY CONCERN:

This letter certifies that I, Pete Daskalos, managing member of Krania, LLC, am the owner of the above referenced property. By this letter I authorize DAC Enterprises, Inc., to act as agent in all matters to come before the City of Albuquerque, Planning Department regarding the Development Review Board request for Site Development Plan for Subdivision and Building Permit for the property.

If you have any questions, please feel free to contact me at 505-883-4131.

Sincerely,
Krania, LLC



Pete Daskalos
Managing Member

5319 Menaul Blvd NE	PHONE	505-883-4131
Albuquerque, NM	FAX	505-883-4134
87110	EMAIL	Pete@Daskalosdi.com

July 24, 2013



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DAC ZONING & LAND USE SERVICES (DAC/INC.) PHONE: 294-5243
 ADDRESS: 9520 MACALLAN RD. NE FAX: 247-4530
 CITY: ALBUQUERQUE, STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: KRANIA LLC PHONE: 883-4131
 ADDRESS: 5321 MENAUL BLVD NE FAX: 883-4134
 CITY: ALBUQUERQUE, STATE NM ZIP 87110 E-MAIL: IMCCORMICK@DASKALOSI.COM
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: MINOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 3 & 4 Block: 9 Unit: _____
 Subdiv/Addn/TBKA: ORIGINAL TOWNSITE OF WESTLAND
 Existing Zoning: SU-2/PRC Proposed zoning: NA MRGCD Map No. _____
 Zone Atlas page(s): K-9 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_V_S, etc.): 13AA-10223;
13AA-10224; PROJ#1004354; 06EPC-01108; 06EPC-01107; 07EPC-40031

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 3 Total site area (acres): 1.773
 LOCATION OF PROPERTY BY STREETS: On or Near: 98th STREET NW
 Between: VOLCANO ST. NW and CENTRAL AVE NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 4/9/13

SIGNATURE Doug Crandall DATE JUNE 27, 2013
 (Print Name) DOUG CRANDALL, DAC/INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #'s are assigned
- AGIS copy has been sent
- Case history #'s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>13DRB - 70605</u>	<u>P3F</u>	_____	\$ <u>355</u>
_____	<u>CMF</u>	_____	\$ <u>20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			\$ <u>375.00</u>

Hearing date July 10, 2013

[Signature]
 Staff signature & Date 6-25-13

Project # 1004354

Revised: 4/2012

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - ___ Preliminary Plat reduced to 8.5" x 11"
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Copy of DRB approved infrastructure list
 - ___ Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - ___ List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - ___ Design elevations & cross sections of perimeter walls **3 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ Copy of recorded SIA
 - ___ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - ___ List any original and/or related file numbers on the cover application
 - ___ DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - ~~NA~~ 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - ~~NA~~ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - ~~NA~~ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ~~NA~~ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - ~~NA~~ Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - ___ Zone Atlas map with the entire property(ies) clearly outlined
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ___ List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL, AGENT-DAC Inc.
 Applicant name (print)
Doug Crandall 6/24/13
 Applicant signature / date



Form revised **October 2007**

[Signature] 6-25-13
 Planner signature / date

Project # 1004354

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
13DRB - 70605



Supplemental Form (SF)

SUBDIVISION

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment/Approval (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

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- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): DAC ZONING & LAND USE SERVICES (DAC/INC.) PHONE: 294-5243
 ADDRESS: 9520 MACALAN RD. NE FAX: 247-4530
 CITY: ALBUQUERQUE, STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: KRANIA LLC PHONE: 883-4131
 ADDRESS: 5321 MENAUL BLVD NE FAX: 883-4134
 CITY: ALBUQUERQUE, STATE NM ZIP 87110 E-MAIL: lmcormick@dashkalsi.com
 Proprietary interest in site: OWNER List all owners: _____

DESCRIPTION OF REQUEST: MINOR SUBDIVISION

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 3 & 4 Block: 9 Unit: _____
 Subdiv/Addn/TBKA: ORIGINAL TOWNSITE OF WESTLAND
 Existing Zoning: SU-2/PRC Proposed zoning: NA MRGCD Map No _____
 Zone Atlas page(s): K-9 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 13AA-10223;
13AA-10224; PROJ#1004354; 06EPC-01108; 06EPC-01107; 07EPC-40031

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? NO
 No. of existing lots: 2 No. of proposed lots: 3 Total site area (acres): 1.773
 LOCATION OF PROPERTY BY STREETS: On or Near: 98TH STREET NW
 Between: VOLCANO ST. NW and CENTRAL AVE NW

Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: 4/9/13

SIGNATURE Doug Crandall DATE JUNE 27, 2013
 (Print Name) DOUG CRANDALL, DAC/INC. Applicant: Agent:

FOR OFFICIAL USE ONLY

Revised: 4/2012

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>13DRB - 70605</u>	<u>P3F</u>	_____	<u>\$ 355</u>
_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Total			<u>\$ 375.00</u>

Hearing date July 10, 2013

[Signature] 6-25-13
 Staff signature & Date

Project # 1004354

FORM S(3): SUBDIVISION - D.R. MEETING (UNADVERTISED) OR INTERNAL MEETING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved Infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - ~~NA~~ 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - ~~NA~~ Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - ~~NA~~ Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - ~~NA~~ Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - ~~NA~~ Infrastructure list if required (verify with DRB Engineer)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

DOUG CRANDALL, AGENT-DAC INC.
 Applicant name (print)
Doug Crandall 6/24/13
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 13DRB - 70605

Form revised October 2007
[Signature] 6-25-13
 Planner signature / date
 Project # 1004354

June 24, 2013

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
Albuquerque, New Mexico

Re: Subdivision Amendment - Project 1004354 (06EPC - 01108/06EPC-01107/07EPC-40031) 98th & Central NW

Dear Mr. Cloud:

This is a request for a major subdivision amendment for the above referenced project.

An Administrative Amendment has been approved by the Planning Department for this site. A copy of the original justification, as well as the signed off amendment and the originally approved EPC decision for the site have previously been submitted.

The SU-2/PCA zone category of the *West Route 66 Sector Development Plan* allows “[r]etailing of any consumer product and provision of any customer personal or business service, provided that it is not listed as conditional use in the C-2 zone, or as a permissive or conditional use listed for the first time in the C-3 zone...” This submittal is for a restaurant with a drive up service window.

Overview and Summary of Request

- Existing Lots 3 and 4 will be re-platted into three lots, identified as Lots 3, 4a and 4b.
- An 1872 square foot restaurant with a drive up service window has been approved for the proposed Lot 3. An 1851 square foot restaurant with a drive up service window will be constructed on the proposed Lot 4b. The re-platted Lot 4 will remain vacant at this time.
- Landscaping in excess of the required 15% will be provided on Lots 3 and 4b in conjunction with the site development plan for building permit.
- There is in excess of 100’ linear feet of queuing area for the drive up service window. The service window will be located abutting 98th Street.
- There are three pedestrian accesses to the restaurant as shown on the plan. Each access point allows a connection from the restaurant to the retail center on the east side of the property. There is also an access easement from Lot 3 to the proposed Lot 4a.

- All proposed changes are noted on the site plan that was submitted for an administrative amendment.
- All other requirements as listed on Form S(2) have been provided with this application.

Sincerely,

Doug Crandall

Doug Crandall, Principal
DAC Zoning & Land Use Services

June 21, 2013

Mr. Russ P. Hugg
Surv-Tek, Inc.
9384 Valley View Drive NW
Rio Rancho, New Mexico 87114

Dear Russ:

By this letter, I hereby authorize you to act as agent on behalf of Krania, LLC for the purpose of replatting Lots 3 and 4, Krania Subdivision, City of Albuquerque, Bernalillo County, New Mexico.

Please call me if you have any further questions.

Sincerely,

Krania, LLC
A New Mexico limited liability company

By 

Pete Daskalos, Manager

July 10. 2013

Cloud, Jack W.

From: Cloud, Jack W.
Sent: Friday, May 09, 2008 4:42 PM
To: 'Sarah Abeyta'
Subject: RE: McDonalds NE Corner 98th & Central DRB Project #1004354

A specific elevation is needed for the refuse enclosure; still need elevations for free-standing signs; roof cap element [RE] needs to have designated material (cannot be illuminated from within or below).

The site plan needs to indicate "CONCRETE WALK" all the way from Volcano Road on the north for the pedestrian connection to the building, and for the pedestrian connection up from the southern drive to building. This latter pedestrian access (ultimately from 98th Street) is supposed to be to the main entrance - this needs to be moved to the west side of the westernmost drive entry on the south, and this will eliminate the need for a concrete walk across this drive entry.

Re-orientation of the parking to the west side of the building, or sidewalk enhancements on the east side of the building are still needed to minimize pedestrian conflicts and enhance pedestrian access from the parking area on the east side of the building; another alternative would be to close the easternmost drive entry on the south.

The landscaping in the parking area on the east side of the building is inadequate; parking stalls need to be reduced to 18 feet depth and additional landscaping provided.

From: Cloud, Jack W.
Sent: Friday, May 09, 2008 3:00 PM
To: 'Sarah Abeyta'
Subject: RE: McDonalds NE Corner 98th & Central DRB Project #1004354

sorry - just now getting to it - comments today, but may be 5:00 -

From: Sarah Abeyta [mailto:SAbeyta@tierrawestllc.com]
Sent: Friday, May 09, 2008 1:50 PM
To: Cloud, Jack W.
Subject: McDonalds NE Corner 98th & Central DRB Project #1004354
Importance: High

Jack,

I just wanted to check with you and make sure we will be getting comments this afternoon for the McDonalds. The engineer is planning on taking care of any comments over the weekend so we can turn in revisions by Monday as required. I just wanted to find out when comments might be available.

Thanks,

Sarah Abeyta

5/9/2008

Sarah Abeyta

To: Cloud, Jack W.

Subject: FW: McDonalds @ 98th & Central DRB #1004354

Our responses to your DRB comments are in red below.

Thanks,
Sarah Abeyta
Tierra West, LLC

From: Cloud, Jack W. [mailto:jcloud@cabq.gov]
Sent: Friday, March 14, 2008 5:01 PM
To: Sarah Abeyta
Cc: Ron Bohannon
Subject: RE: McDonalds @ 98th & Central DRB #1004354

RE: revised plans -

The proposed Site Plan for Building Permit does not comply with the filed Site Plan for Subdivision regarding location of drive-thru/ Future Restaurant, size of drive-thru/ Future Restaurant, landscape area at 98th Street and Volcano Road, and pedestrian connections. Amendments to the Site Plan for Subdivision will be required prior to hearing this submittal.

still awaiting amended Site Plan for Subdivision - Still awaiting the approval of the AA.

The submitted Site Plan for Building Permit will be required to detail (i.e. show) conformance with the Site Development Plan for Subdivision regarding lighting, retaining walls, bicycle parking, motorcycle parking, and refuse enclosure; restaurant parking (1 space/ 3 seats); pedestrian access (provide dimensions/ materials); and, signage and elevations (provide color samples). These items are noted on the Site Development Plan for Building Permit Checklist.

a site specific elevation is still needed for retaining wall (not a brochure); still need elevations for refuse enclosure; need to indicate "CONCRETE WALK" all the way from Volcano Road to building; still need elevations for free-standing signs - Elevation for retaining wall included on sheet C4.

Additional street trees (both quantity and species) are needed. The Landscape Plan needs to include the improved area for this building, specifically landscaping for the parking area on the east side of the building.

the Landscaping Plan needs to include the parking area on the east side of the building because it is being used to meet the required parking for this building. The Landscape plan was revised to include the parking area to the east of the building.

The 'Drive-Thru Elevation' oriented towards the public street (Volcano) does not conform with the Site Plan for Subdivision regarding architectural style. This façade must be more like the front of a building and not the rear. The use of cultured stone may be acceptable subject to

providing a color which would reflect and complement the existing buildings; alternatively, a more uniform/ rectangular material may be proposed.

The 'Rear Elevation' and parking on the east side of the building do not conform with the Site Plan for Subdivision regarding pedestrian access. Re-orientation of the parking to the west side of the building, or inclusion of a wider sidewalk at the building and/ or additional entries is needed to minimize pedestrian conflicts with vehicular drive-thru traffic. Additionally, the two compact spaces in the southeast corner need to be deleted to eliminate parking maneuvering in the throat of the driveway.

some accommodation is still needed to minimize pedestrian conflicts and enhance pedestrian access from the parking area on the east side of the building (re-orientation of the parking building, or sidewalk enhancements) We have been working with Carmen Marone on the pedestrian access on the site. Approved pedestrian pathways will be shown on the approved AA, these latest revisions to the DRB set show those pathways.

The proposed pedestrian connections are not consistent with the approved Site Plan for Subdivision regarding pedestrian access to this site and to the east. Pedestrian access will not be allowed to be adjacent to the vehicular entrance from 98th Street, because the Site Plan for Subdivision provided for all such pedestrian accesses to be separated from vehicular access (except for cross angle aisle crossings). Pedestrian access from 98th Street must be provided to the main entrance, with consideration of pedestrians coming from the south (98th and Central). Pedestrian access must be continued to the east.

revision is still needed for separated pedestrian access - this is not just a Site Plan for Subdivision issue, but is a sector plan requirement We have been working with Carmen Marone on the pedestrian access on the site. Approved pedestrian pathways will be shown on the approved AA, these latest revisions to the DRB set show those pathways.

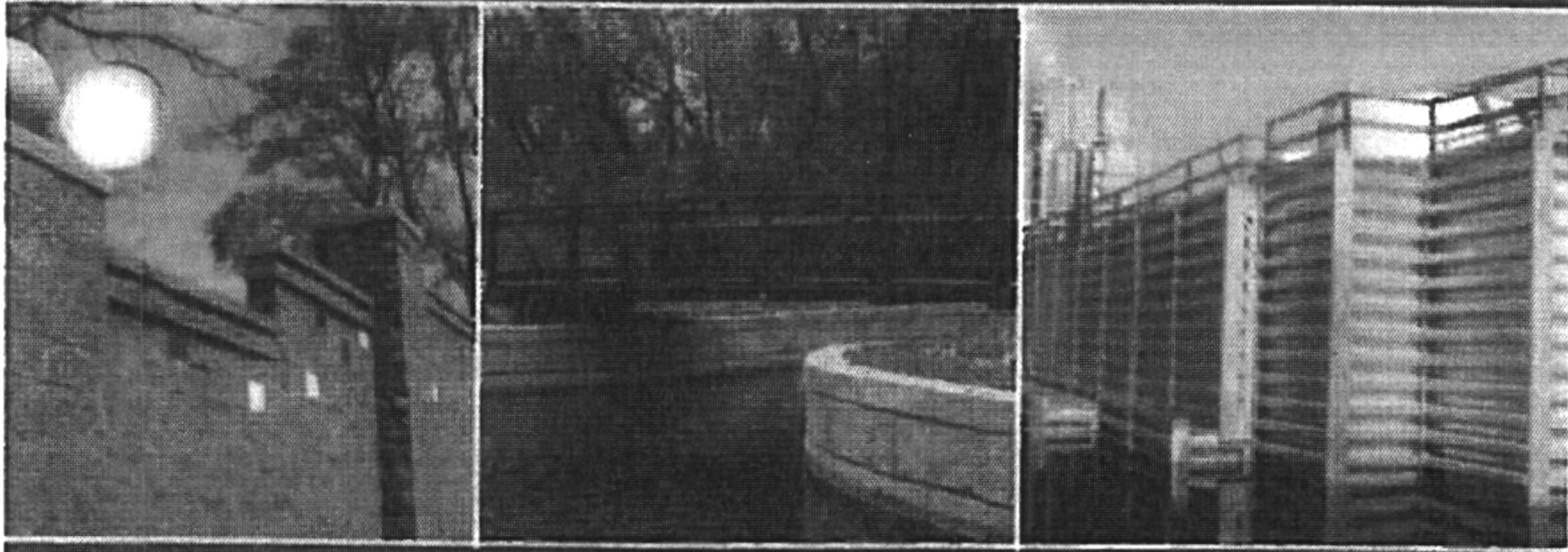
From: Sarah Abeyta [mailto:SAbeyta@tierrawestllc.com]
Sent: Wednesday, March 05, 2008 3:05 PM
To: Cloud, Jack W.
Subject: McDonalds @ 98th & Central DRB #1004354

Ron Bohannon and I met with you once before to review the comments for the above referenced project. We are still waiting for the approval of the AA to the Site Plan for Subdivision but I was wondering if I might be able to meet with you to review the DRB revised plans and make sure your comments are addressed. Please let me know if you might have some time this week to meet.

Thanks,

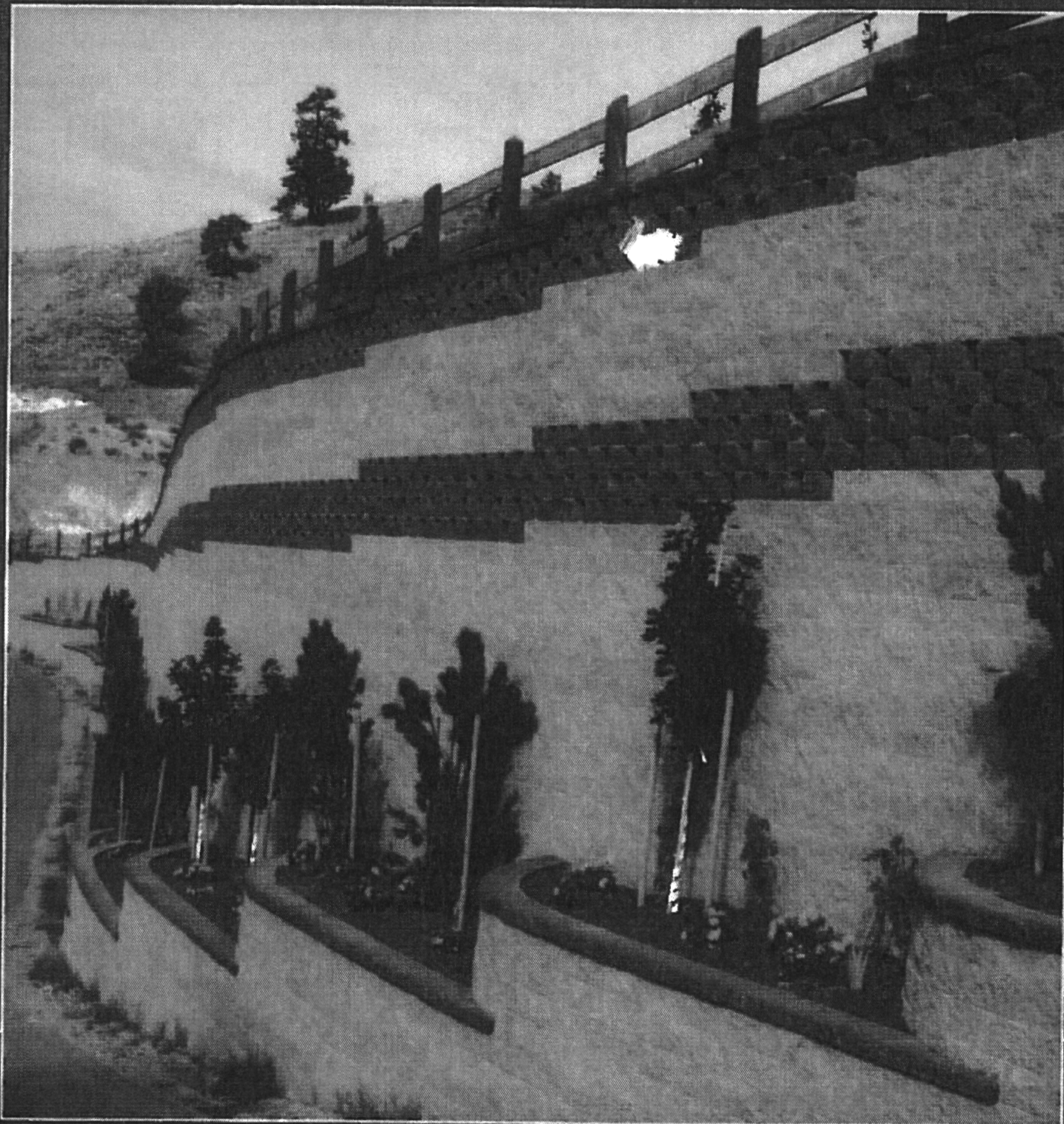
Sarah Abeyta
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
Ph: 505-858-3100 ext. 228
Fax: 505-858-1118

4/7/2008



CONTECH[®]
EARTH STABILIZATION
SOLUTIONS INC.

CONTECH WALL SOLUTIONS



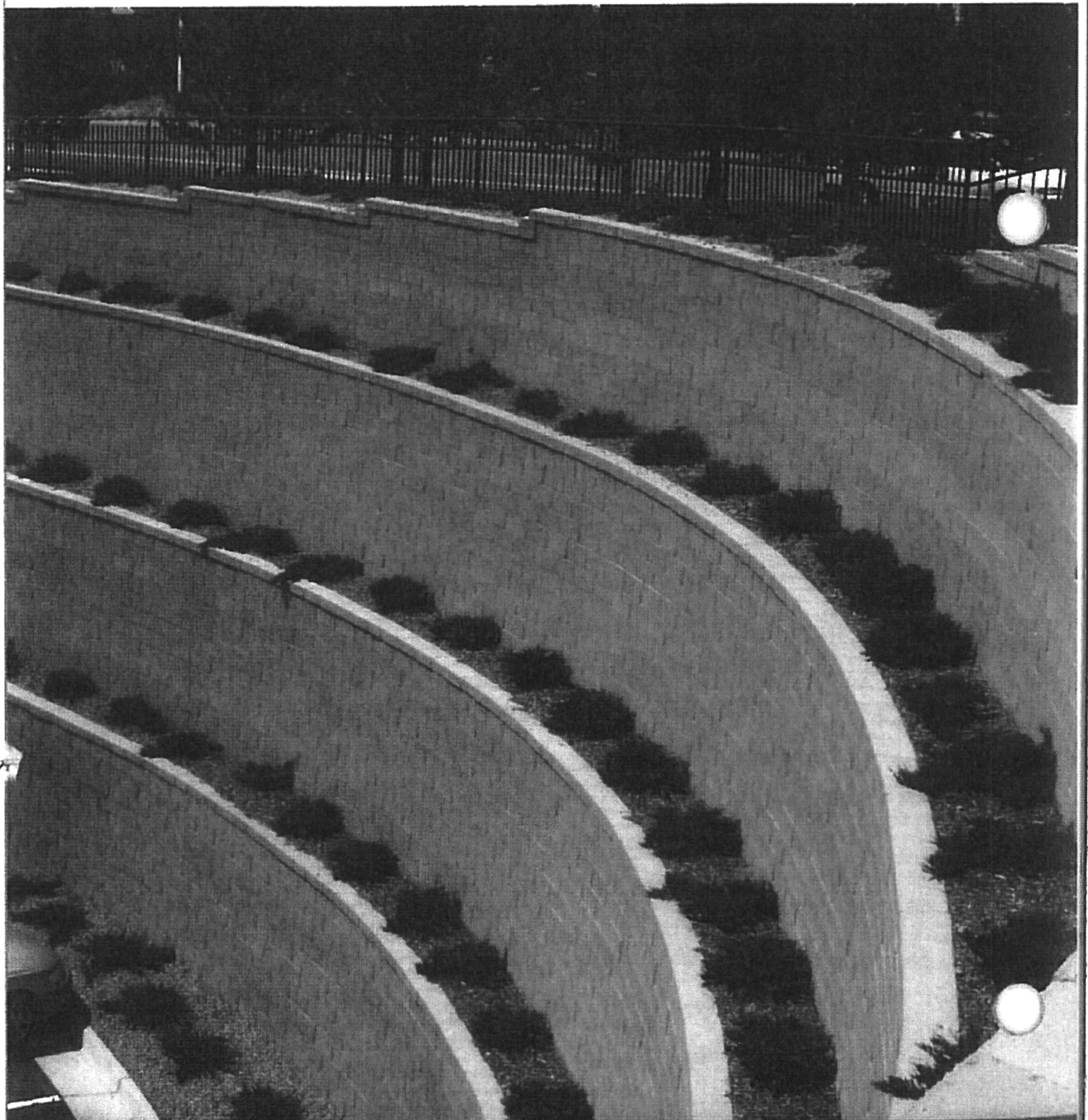
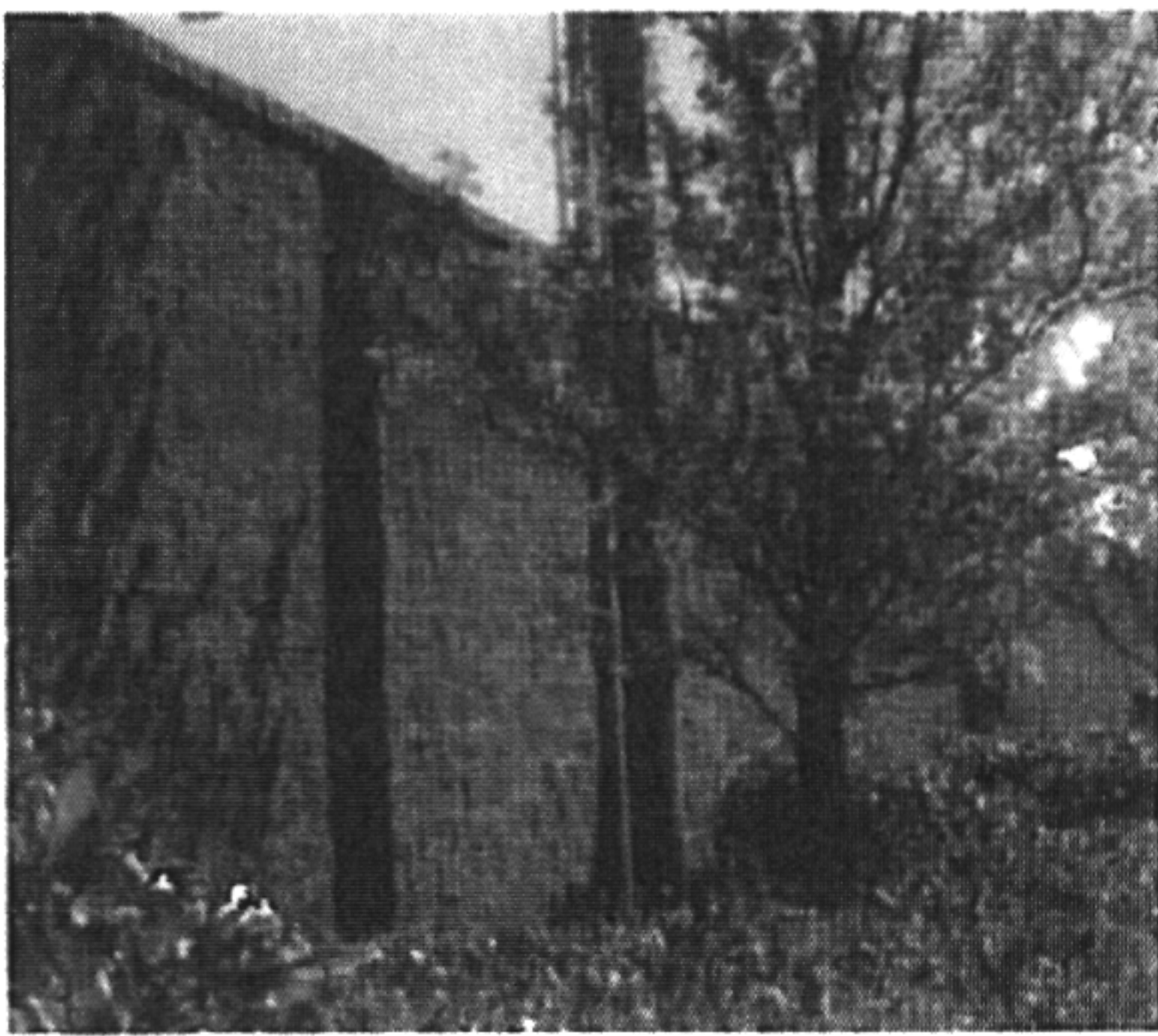
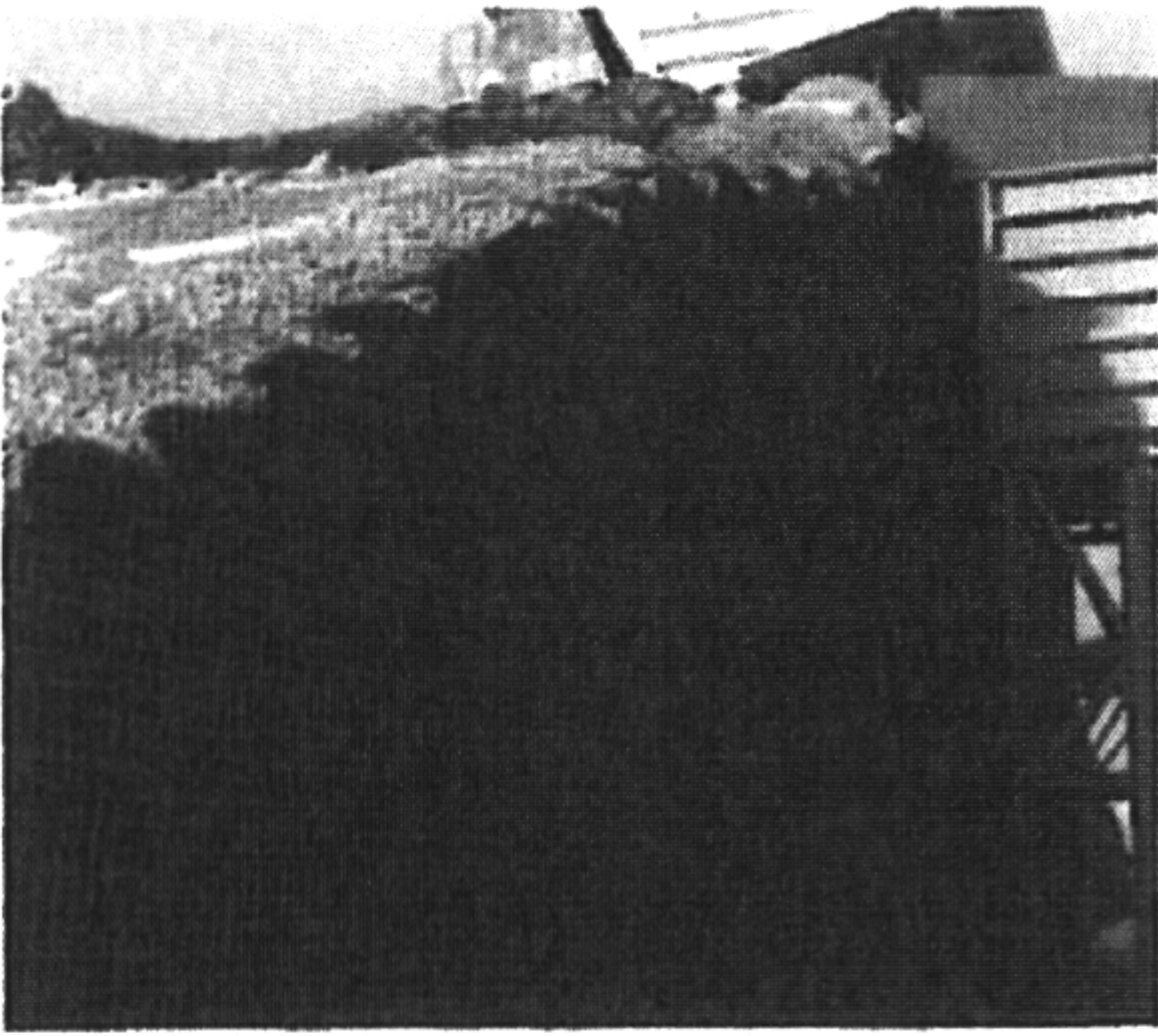
COMPLETE WALL SOLUTIONS

CONTECH WALL SOLUTIONS

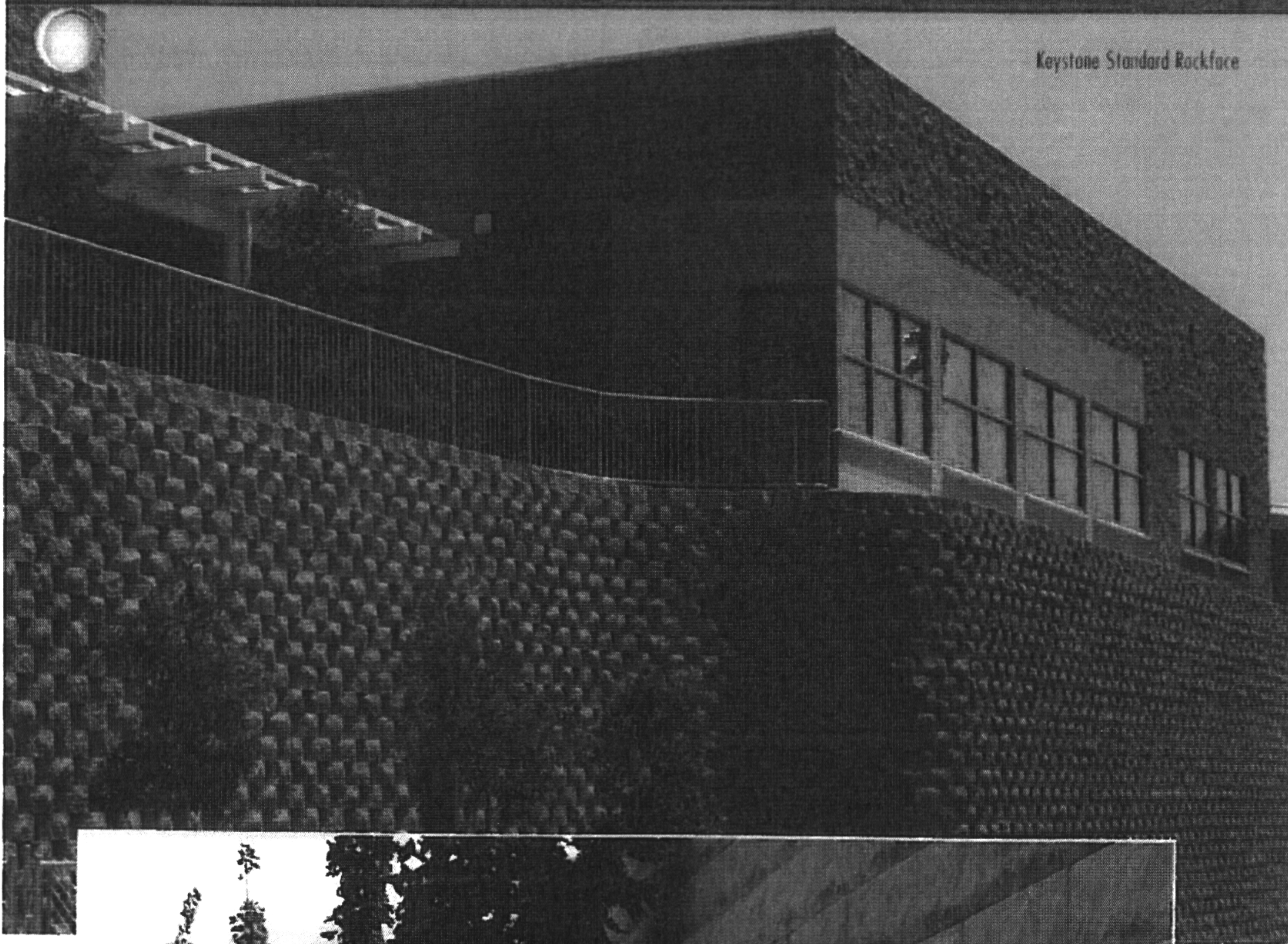
Complete Wall Solutions for Any Earth Stabilization Project

CONTECH Earth Stabilization Solutions Inc. (ESS) is the nation's leading provider of complete solutions for earth stabilization projects of every description. From landscaping and retaining wall systems to erosion control and surface stabilization solutions, CONTECH ESS is unequalled in its breadth of products, level of expertise and willingness to support your construction efforts.

CONTECH ESS is one of four operating divisions of CONTECH Construction Products Inc. CONTECH Construction Products Inc. offers a wide array of innovative solutions to customers nationwide for both initial development and rehabilitation of existing structures and sites. CONTECH products provide effective site solutions for projects with a variety of loading conditions, foundation requirements, soil and water environments as well as varied installation demands. CONTECH's involvement with products and applications is founded on a century of research and practical field experience.



KEYSTONE RETAINING WALL SYSTEMS



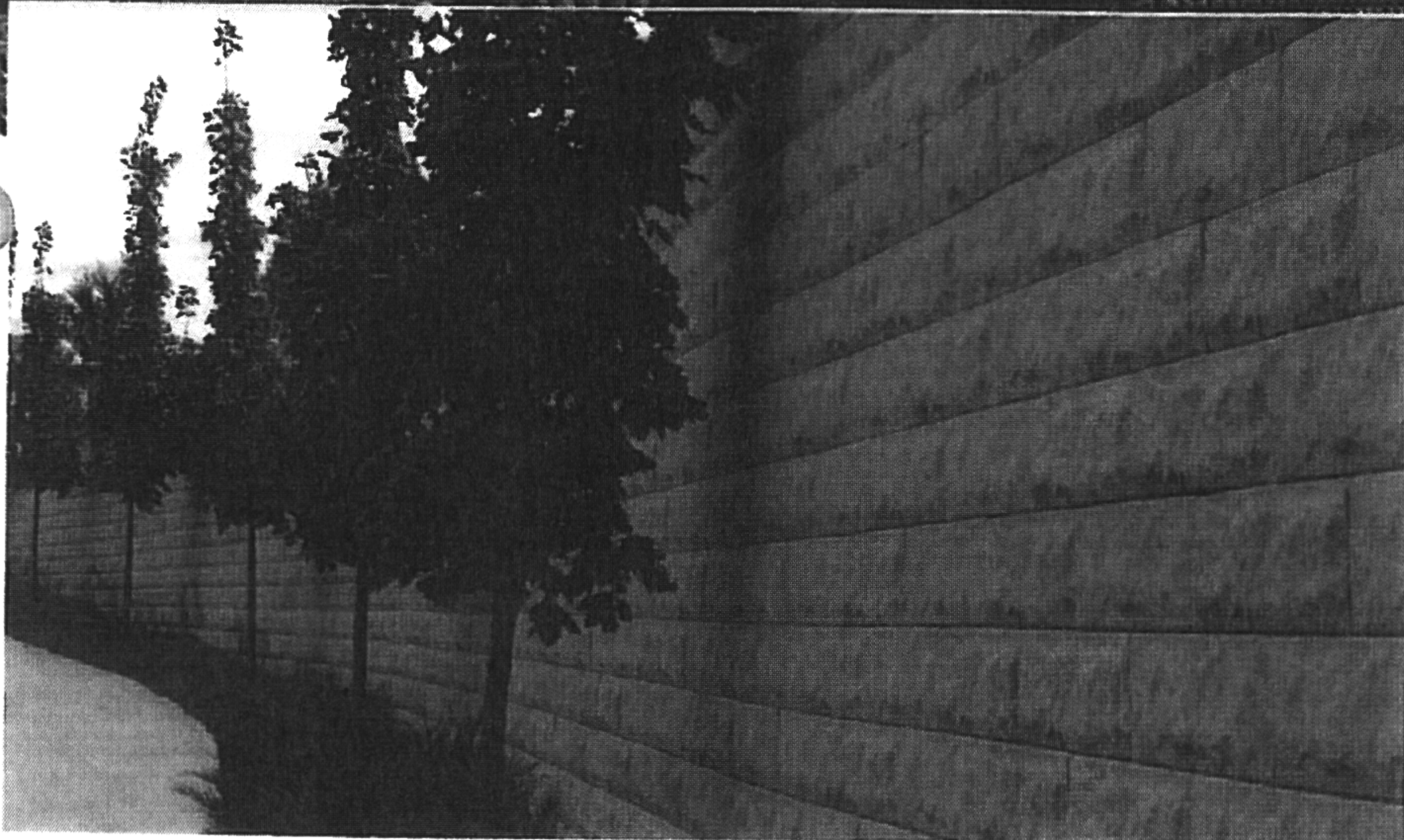
Keystone Standard Rockface

APPLICATIONS

- Governmental
- Commercial/Industrial
- Recreational
- Public Works

FEATURES & BENEFITS

- High strength pin connection system
- Near vertical or battered setback
- Design versatility
- Durability
- Numerous aesthetic face options
- Installation efficiency and ease
- Size, color and texture options
- Environmentally-friendly
- In-house engineering services
(Keystone engineers are registered in 48 states)
- Sales and marketing support



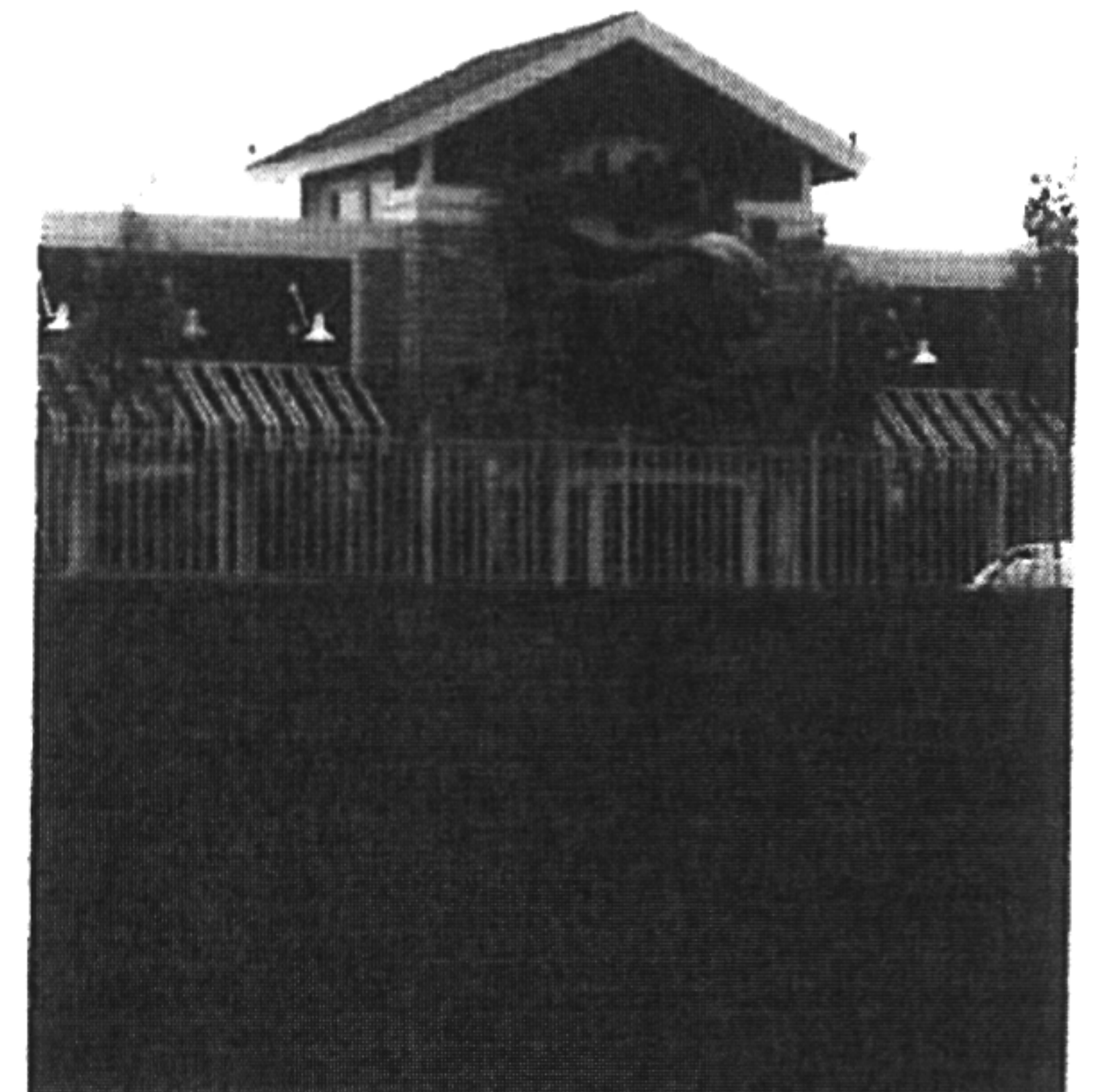
Keystone 133Elite®

Keystone Retaining Wall Systems, Inc. has set the worldwide standard for excellence and innovation within the segmental retaining wall industry. Offering a broad family of products, Keystone has the right solution to meet the most challenging structural sites. Keystone also leads the marketplace in segmental retaining wall performance and aesthetics.

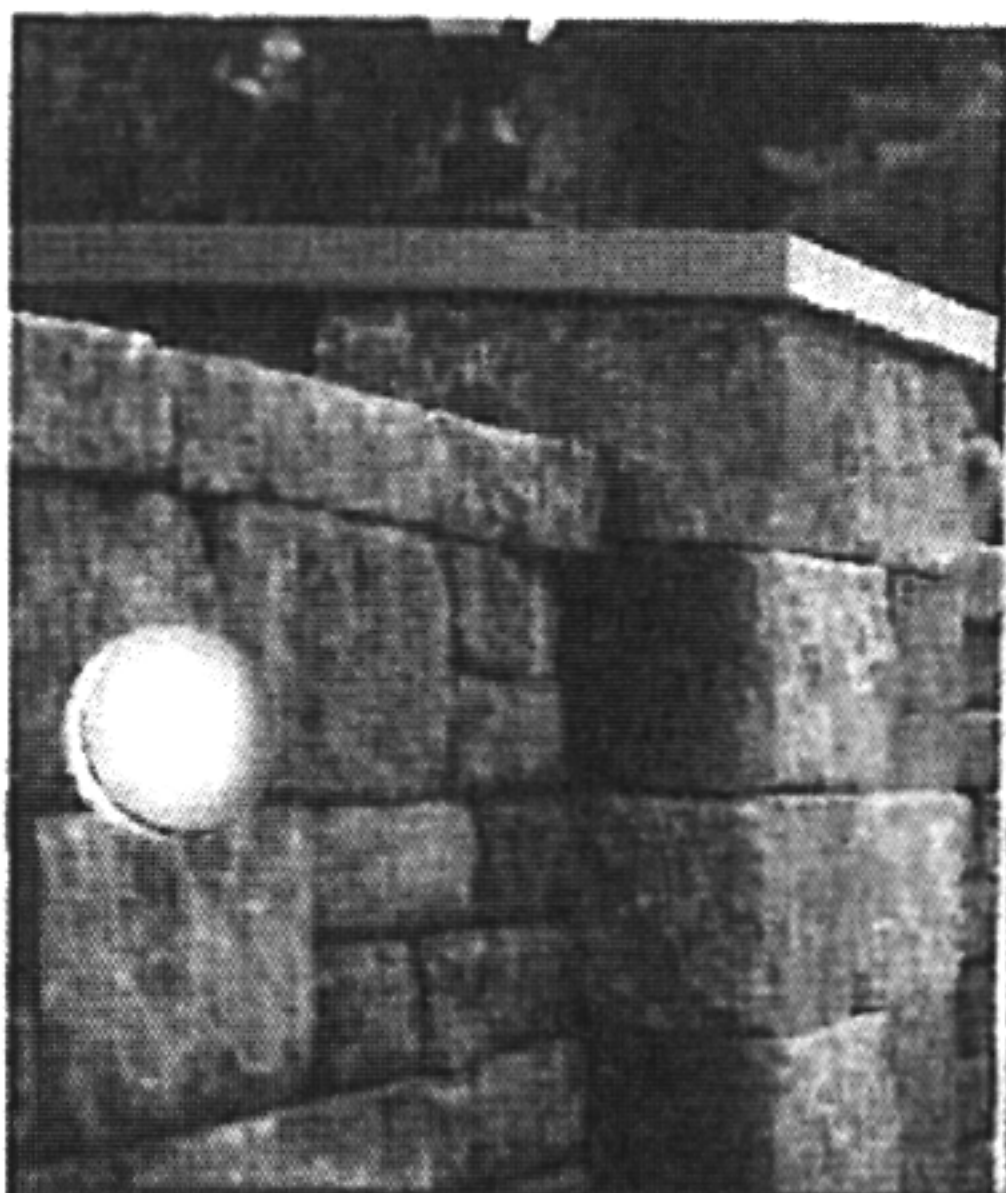


Retaining Excellence™

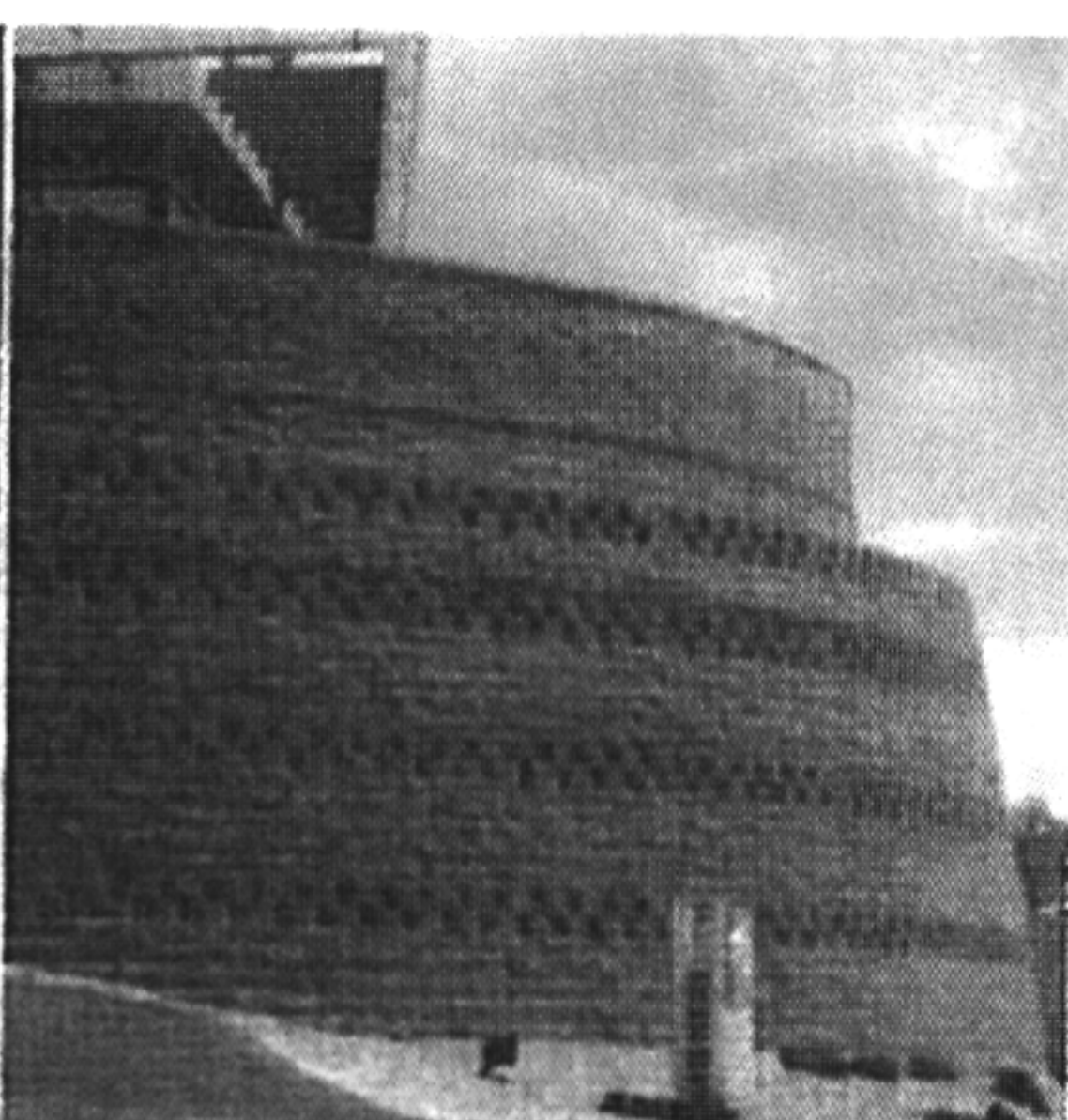
Visit the Keystone website at
www.keystonewalls.com
for additional product information.



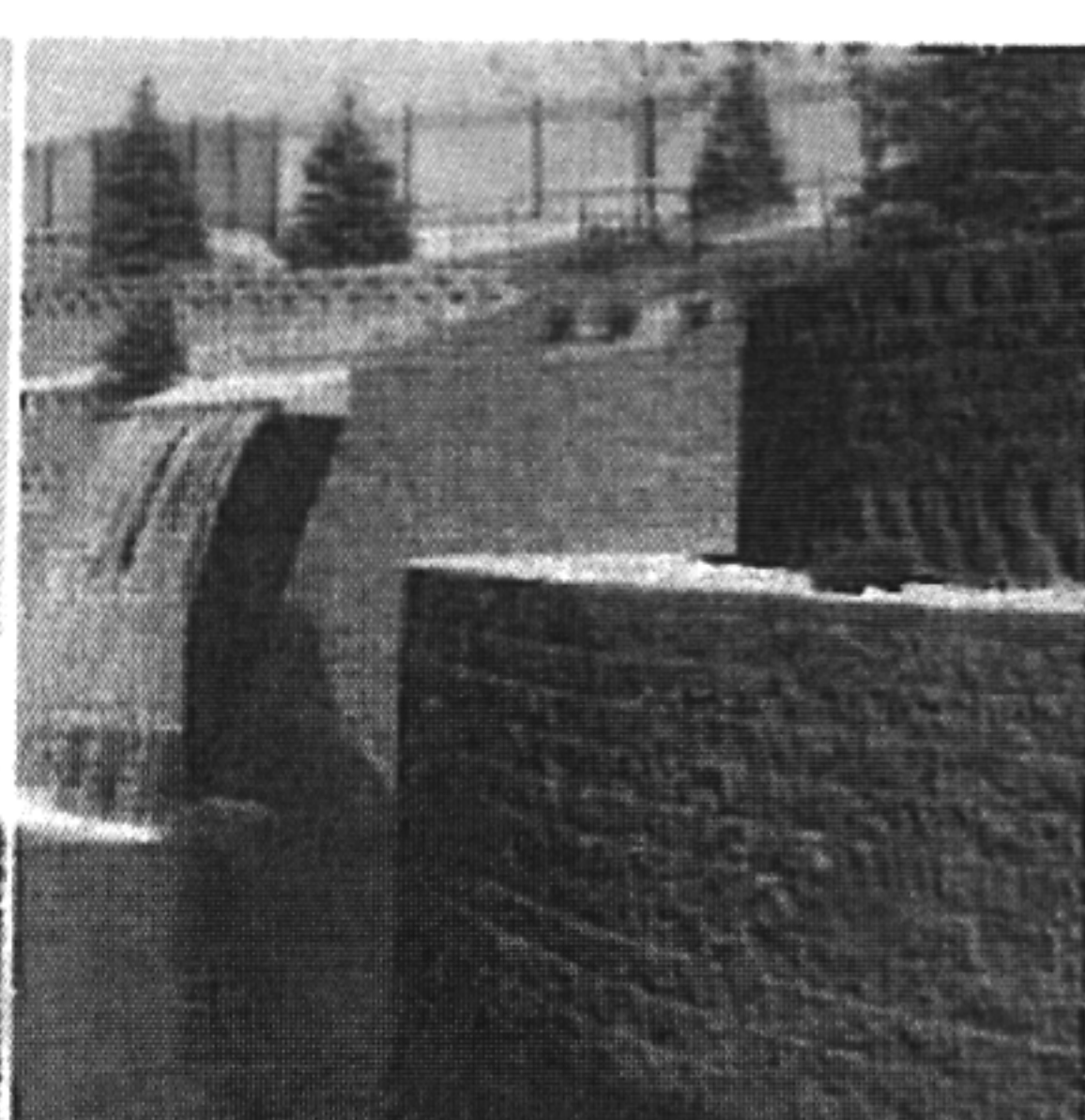
Keystone Century Wall®



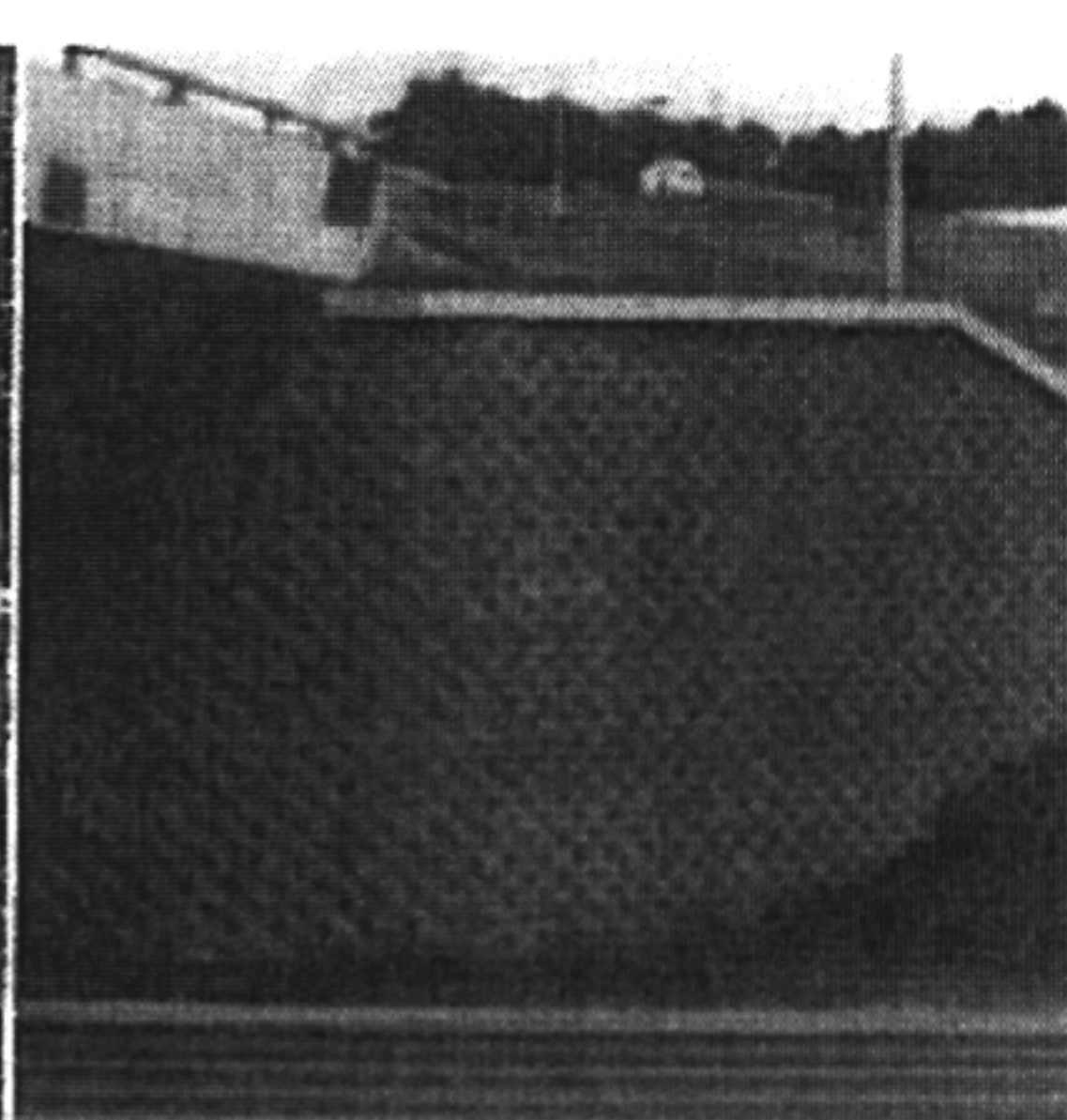
Keystone Century Wall & Half Century Wall®



Keystone Compac Straightface & Rockface

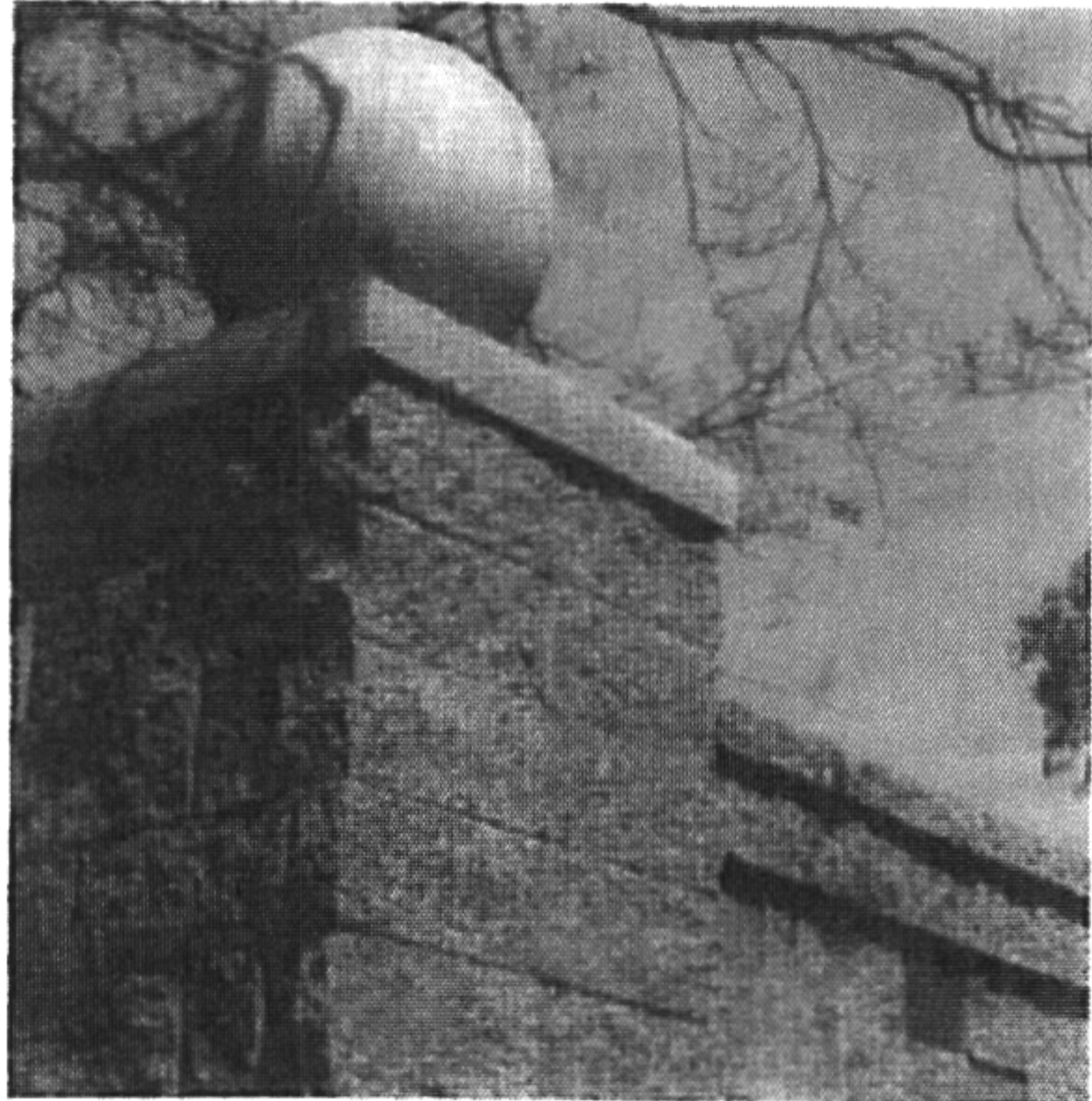


Keystone Standard Straightface



Keystone KeySystem I® Rockface

VISTA DSM



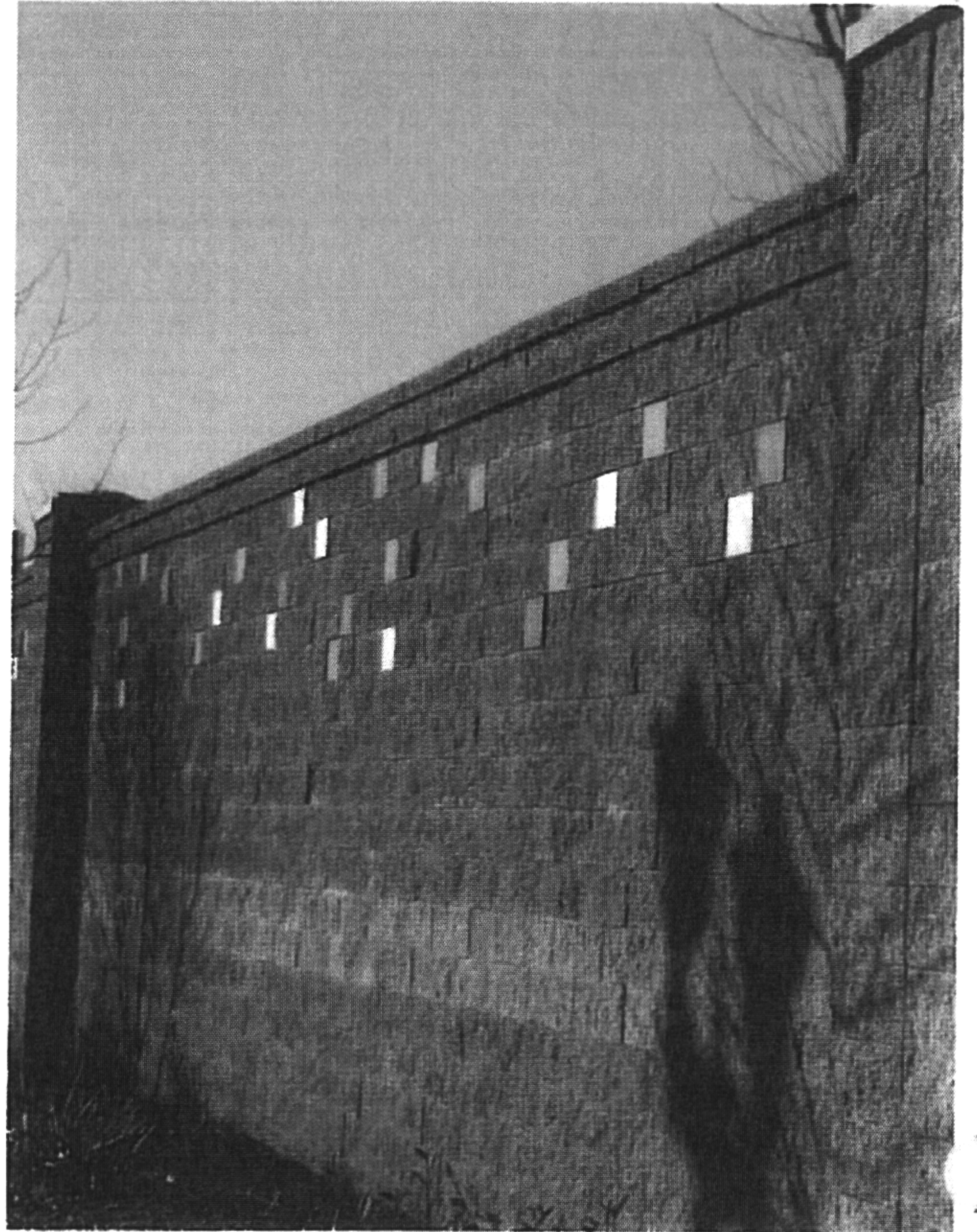
VISTA DSM

APPLICATIONS

- Sound walls
- Lot line walls
- Privacy walls
- Retention walls
- Partition walls

Vista DSM[®] is a dry stack modular block system used to construct sound walls, lot line walls, privacy walls, retention or partition walls. Vista DSM eliminates the need for traditional retaining wall batter and geogrid and maximizes the available space on sloped lots.

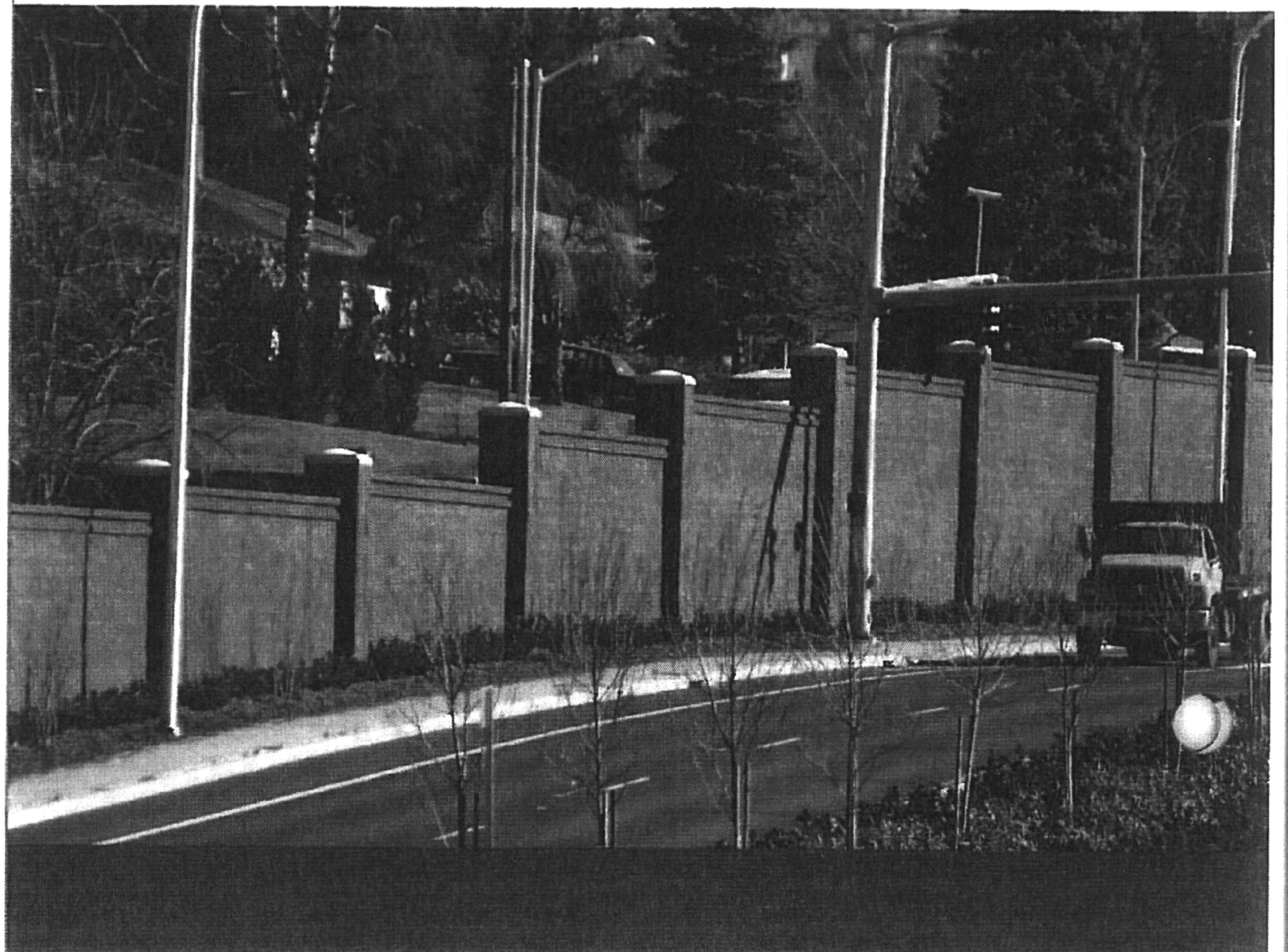
Vista DSM is a versatile system that can adapt to the challenges of almost any job site. The available aesthetic designs and colors create attractive lot line walls, entry screen walls, and retention walls. The concrete and steel construction creates both inner strength and outer beauty.



One wall does it all.

FEATURES & BENEFITS

- High strength concrete and steel construction
- Engineered durability & strength
- Easy installation
- Eliminates use of geogrid
- Environmentally-friendly
- Sound reflective properties
- Variety of aesthetic designs and colors
- Competitively-priced
- Maximizes available space with vertical footprint
- Wall structure built along reinforced footings — does not require pilasters
- Dry-stacked, "seamless" and mortarless



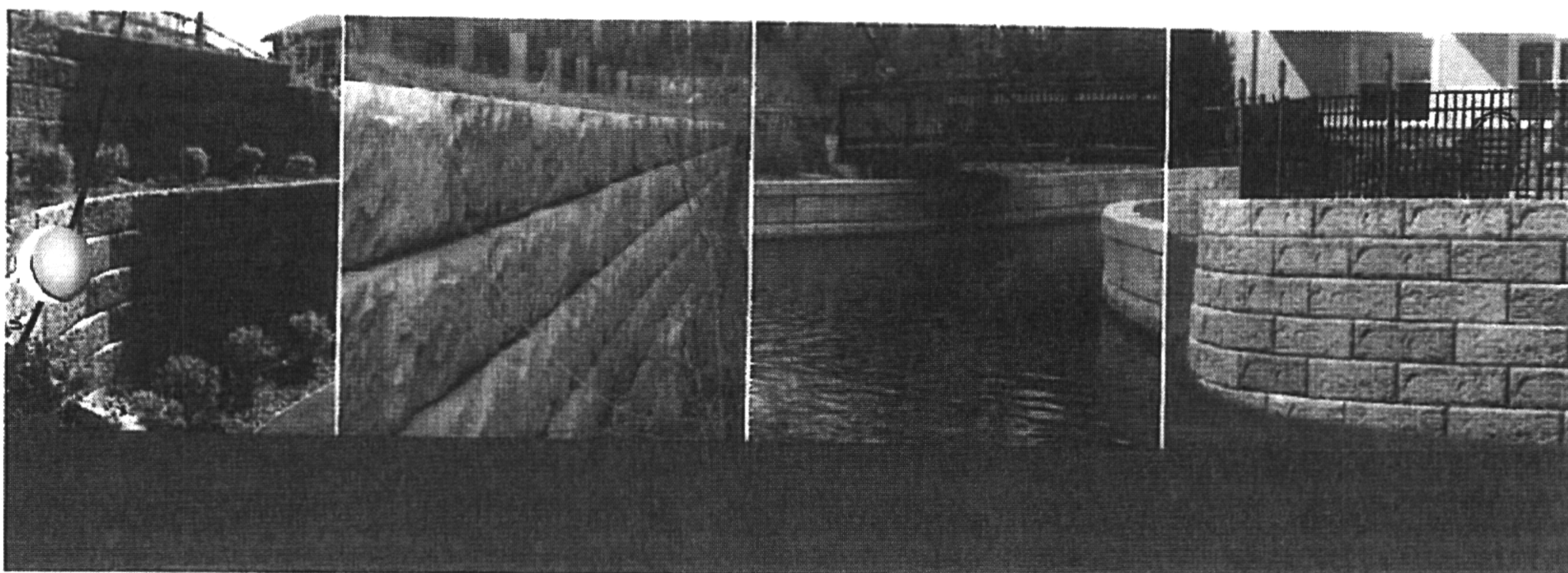
RECON WALLS



The ReCon big block system is aesthetically pleasing and offers a natural granite stone face finish. Concrete stain colorization is readily available and easily applied in the field to achieve a natural look that will last for years. ReCon's tapered block design allows both inside and outside 90 degree corners or curves and virtually any radius, to be incorporated into the overall design.

Caps or special top units that allow greenscape within four inches of the finished wall's face, are available to provide a finished look to the wall. Freestanding fence and guardrail units provide designers more options to fulfill the unique needs of any site.

*Provides the look, size, and durability
of massive, natural stone.*



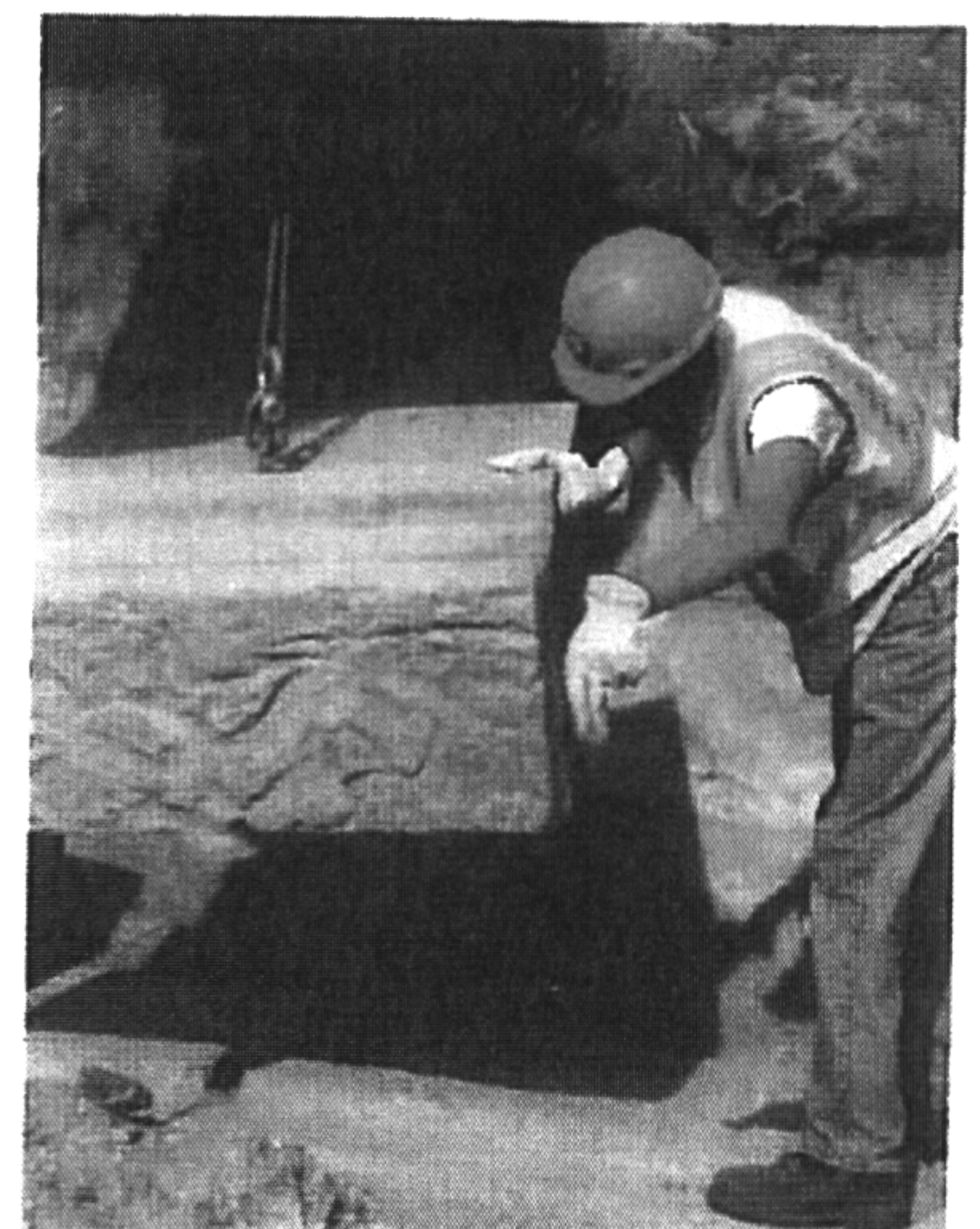
APPLICATIONS

- Governmental
- Commercial
- Industrial
- Recreational
- Public Works

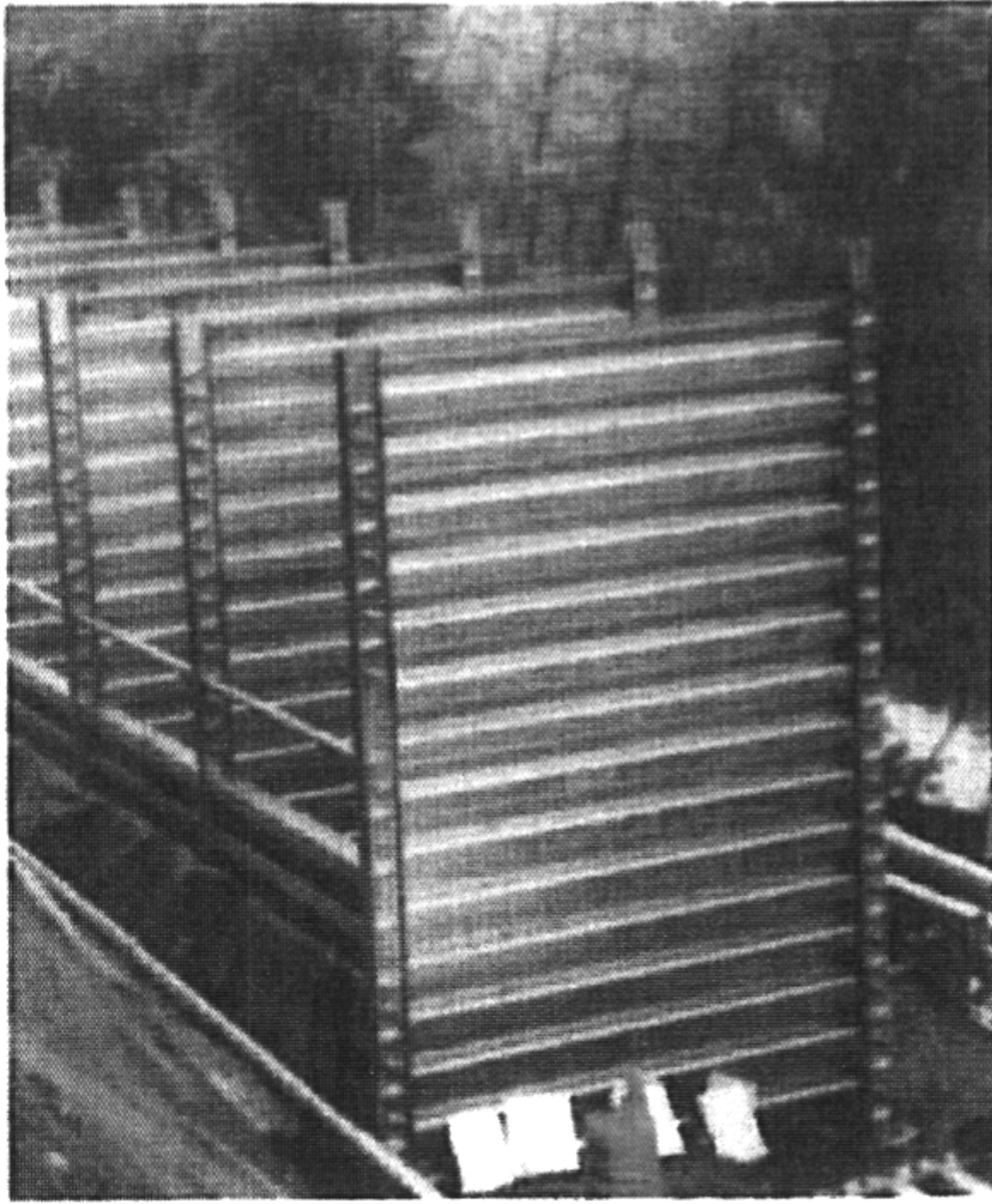
FEATURES & BENEFITS

- Unique tongue & groove placement
- Tapered block design offering design flexibility
- Natural granite appearance
- Gravity walls up to 17 feet
- Fast installation – does not require mortar or pins
- Engineered and tested – (which is not available in natural stone walls)
- Customized color & design

re con™
Retaining Wall Systems



CONTECH BIN-WALL

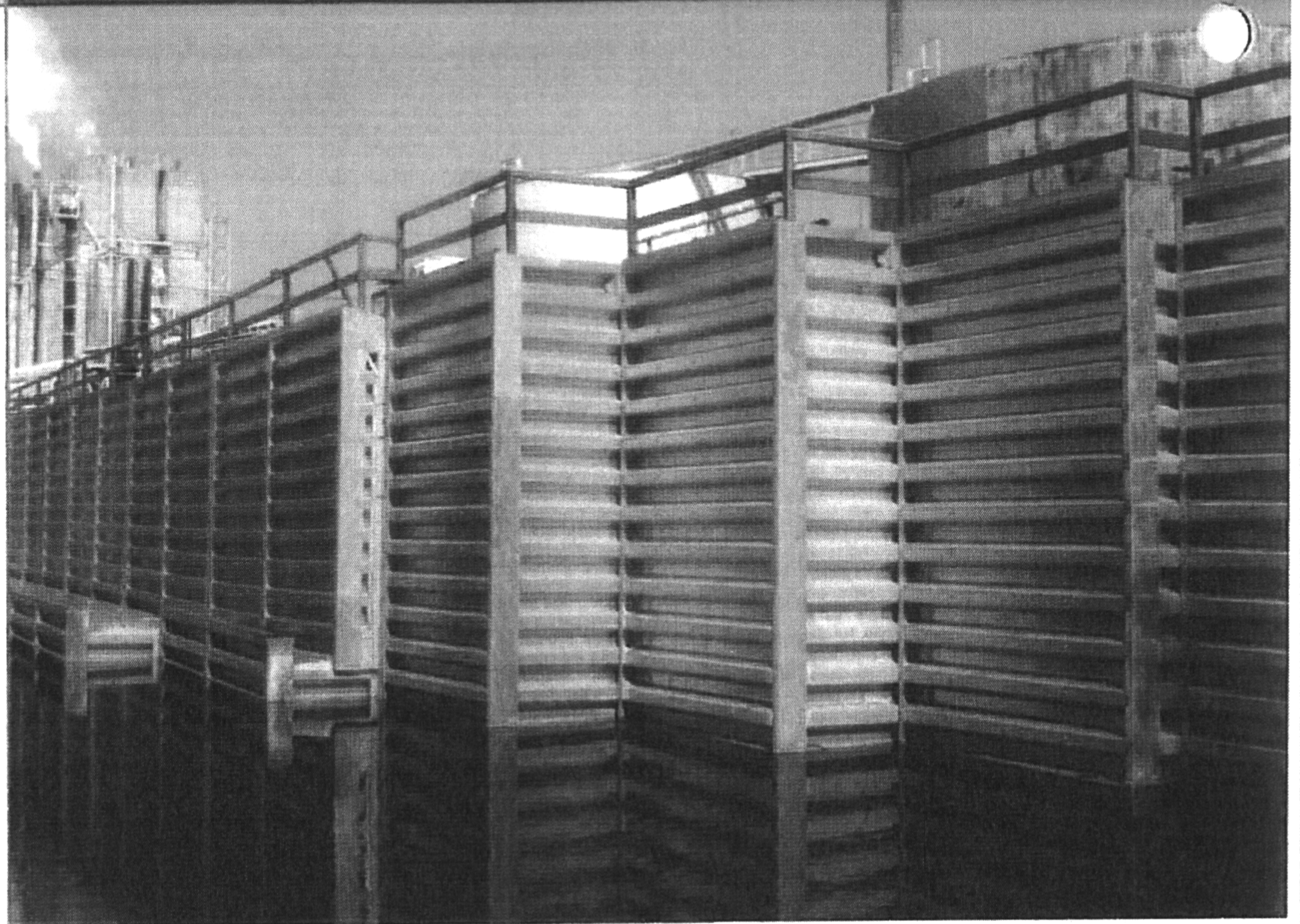


APPLICATIONS

- Highway and railroad
- Municipal, industrial or commercial sites
- Bank erosion protection
- Dock protection
- Bridge abutment
- Blast walls for military and industrial sites

FEATURES & BENEFITS

- Fast and easy installation
- Reduced maintenance costs
- High strength and stability
- Flexibility
- Closed construction
- Versatility
- Appearance options
- No obsolescence

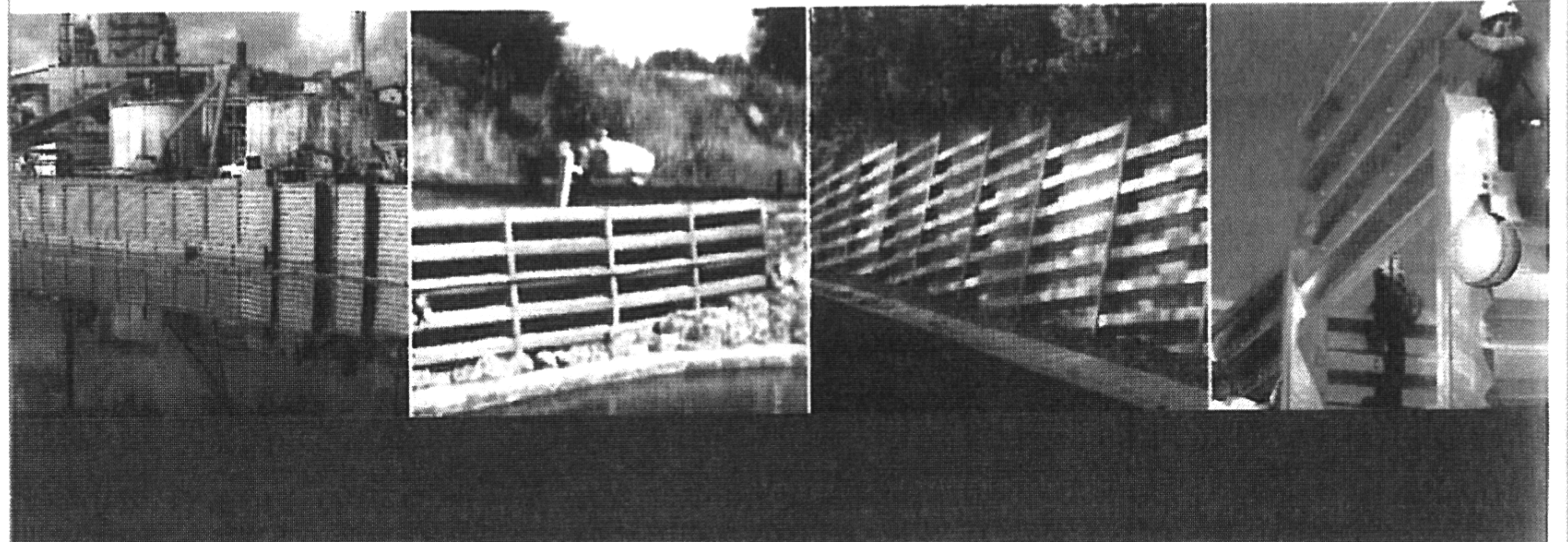
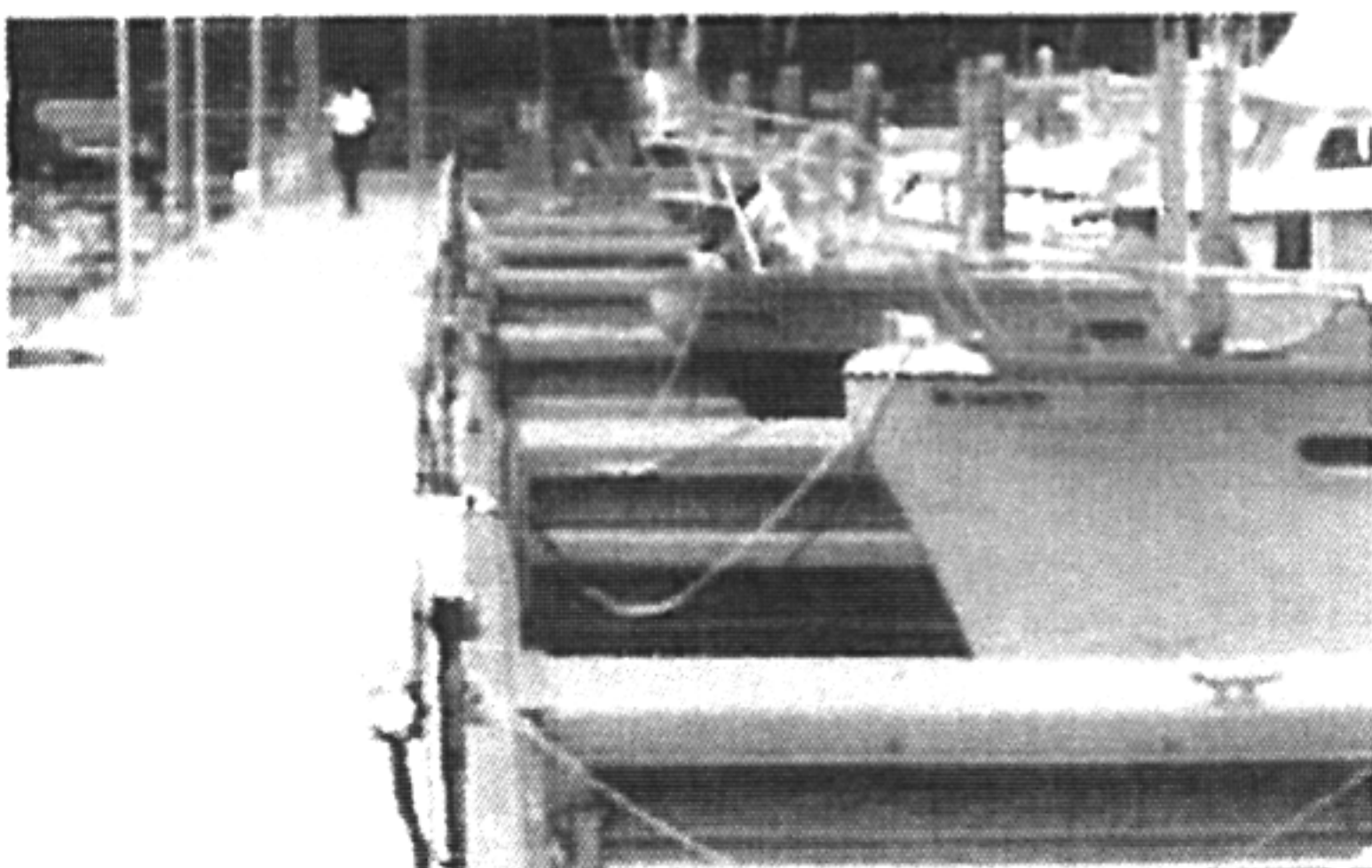


CONTECH Bin-Walls Offer Unique Design Option

CONTECH® Bin-Walls are a system of adjoining, closed-faced, 10-foot wide bins that flex against minor, unforeseen ground movements. The bins are composed of sturdy, light-weight steel that are easily bolted together at the job site.

CONTECH Bin-Walls transform a backfilled soil mass into economical, gravity-type retaining walls that are easy to install in difficult or restrictive conditions, have a lower initial cost and reduce maintenance expenses. For more than 60 years, the CONTECH Bin-Wall system's unique design has been recognized as an economical and effective retaining wall.

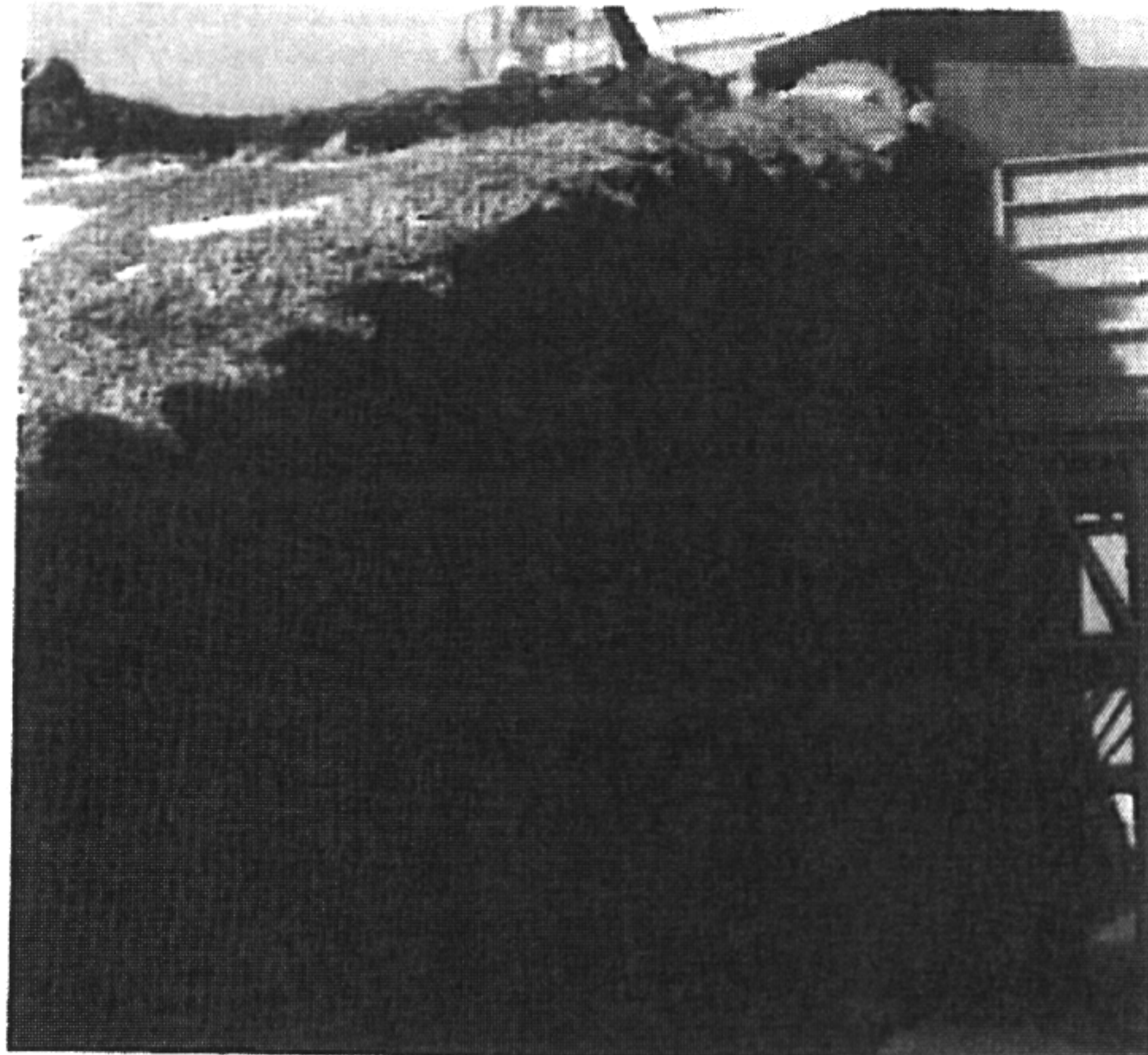
All four sides of each CONTECH Bin-Wall cell are composed of overlapping steel members. Bolted together, they form an integral structure. Because the face of a CONTECH Bin-Wall is fully enclosed, there is protection against loss of fill material. This contrasts with crib-type retaining wall construction where fill material can escape and weaken the structure.



CONTECH WIRE WALLS & METRIC SHEETING



Wire walls



Wire faced walls

Wire Walls • Economical and Light-weight

CONTECH wire walls and wire face walls are excellent for building over foundations that have either a large anticipated settlement or different settlements beyond the capabilities of a conventional concrete faced system. They can reach remote areas economically and can be transported by special methods including plane, helicopter or pack animal. Wire walls can be used with on-site blasted rock, typical of most mountain road construction (+/- 6"). Wire faced walls are light-weight and economical and after vegetation, provide an attractive, natural result.

Metric Sheeting

Industry's Best Strength-to-Weight Ratio



CONTECH Metric Sheeting is a medium-weight sheeting that provides an economical and structurally sound solution for several types of temporary and permanent structures.

CONTECH Metric Sheeting's unique profile has a higher degree of stiffness that results in the industry's best strength-to-weight ratio. Higher stiffness also results in less driving effort.

APPLICATIONS

- Temporary & permanent
- Highway
- Industrial
- Commercial
- Bank erosion protection
- Bridge abutments

FEATURES & BENEFITS

- Cost-effective
- Light-weight
- Flexible
- Natural facing options: soil, stone, vegetation

APPLICATIONS

- Checkdams
- Cut-off walls
- Core and wing walls
- Shoreline and trench protection
- Low retaining walls
- Ditch checks
- Jetties
- Lagoon baffles

FEATURES & BENEFITS

- Variety of steel gages and lengths
- Steel fabrication
- Additional corrosion protection available with galvanized coatings
- Fast and economical driving
- Cold-rolled on continuous forming line
- Strict quality control standards

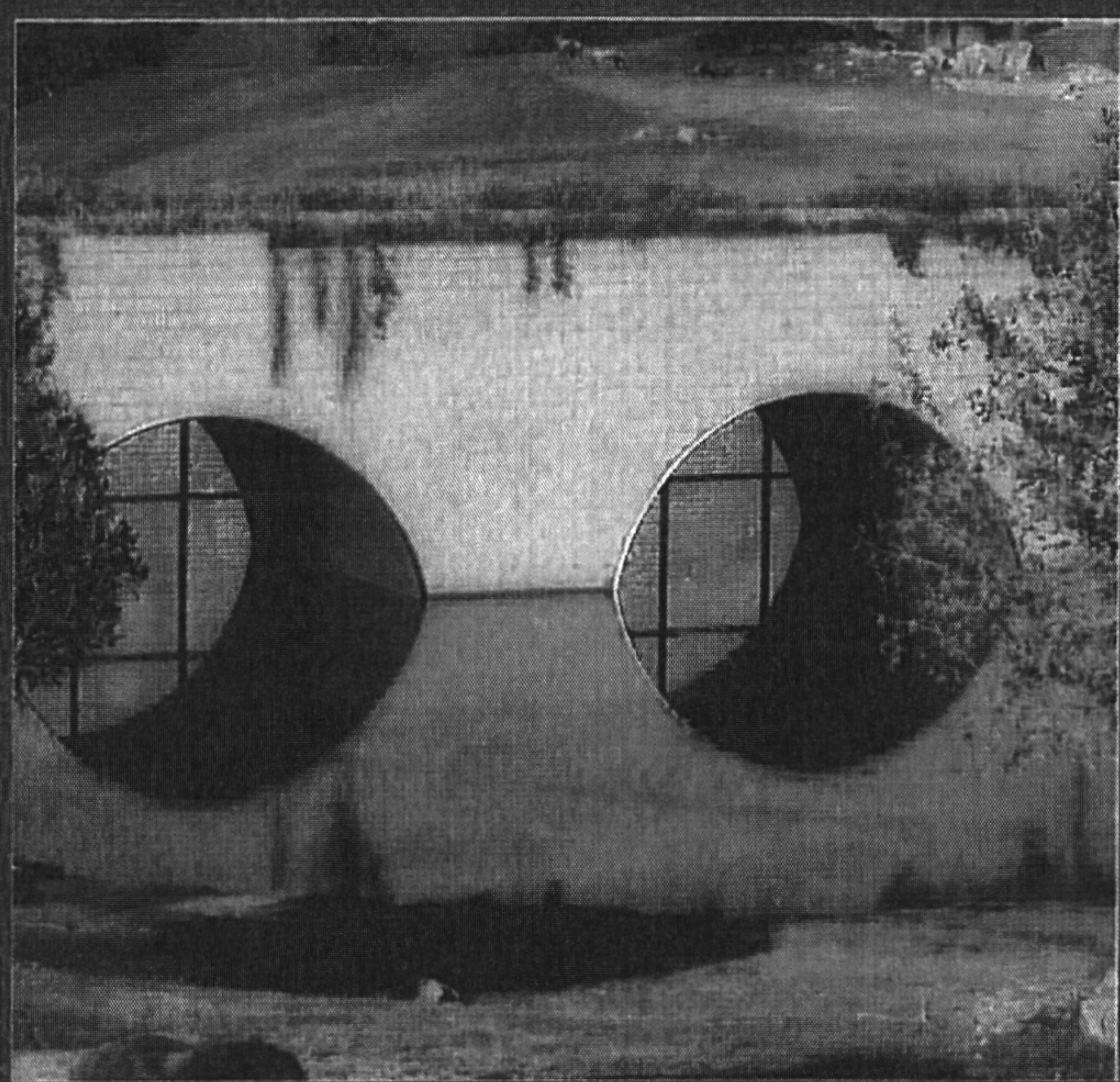


For more information, call one of CONTECH's Regional Offices located in the following cities:

- | | |
|-----------------------------|----------------|
| Ohio (Corporate Office) | (513) 645-7000 |
| California (San Bernardino) | (909) 885-8800 |
| Florida (Tampa) | (727) 544-8811 |
| Georgia (Atlanta) | (770) 409-0814 |
| Indiana (Indianapolis) | (317) 842-7766 |
| Kansas (Kansas City) | (913) 906-9200 |
| Maryland (Columbia) | (410) 740-8490 |
| Oregon (Portland) | (503) 258-3180 |
| Texas (Dallas) | (972) 590-2000 |

Visit our web site: www.contechess.com • (800) 338-1122

We reserve the right to improve our products and make changes in the specifications and design without notice. The information contained herein has been compiled by CONTECH ESS and to the best of our knowledge, accurately represents the CONTECH ESS product use in the applications which are illustrated. Final determination of the suitability for the use contemplated and its manner of use are the sole responsibility of the user. Nothing in this catalog should be construed as an expressed warranty or an implied warranty of merchantability or fitness for any particular purpose. See CONTECH's standard quotation or acknowledgement for applicable warranties and other terms and conditions of sale.



Distributed By:

ADJUSTABLE INDICATOR POST

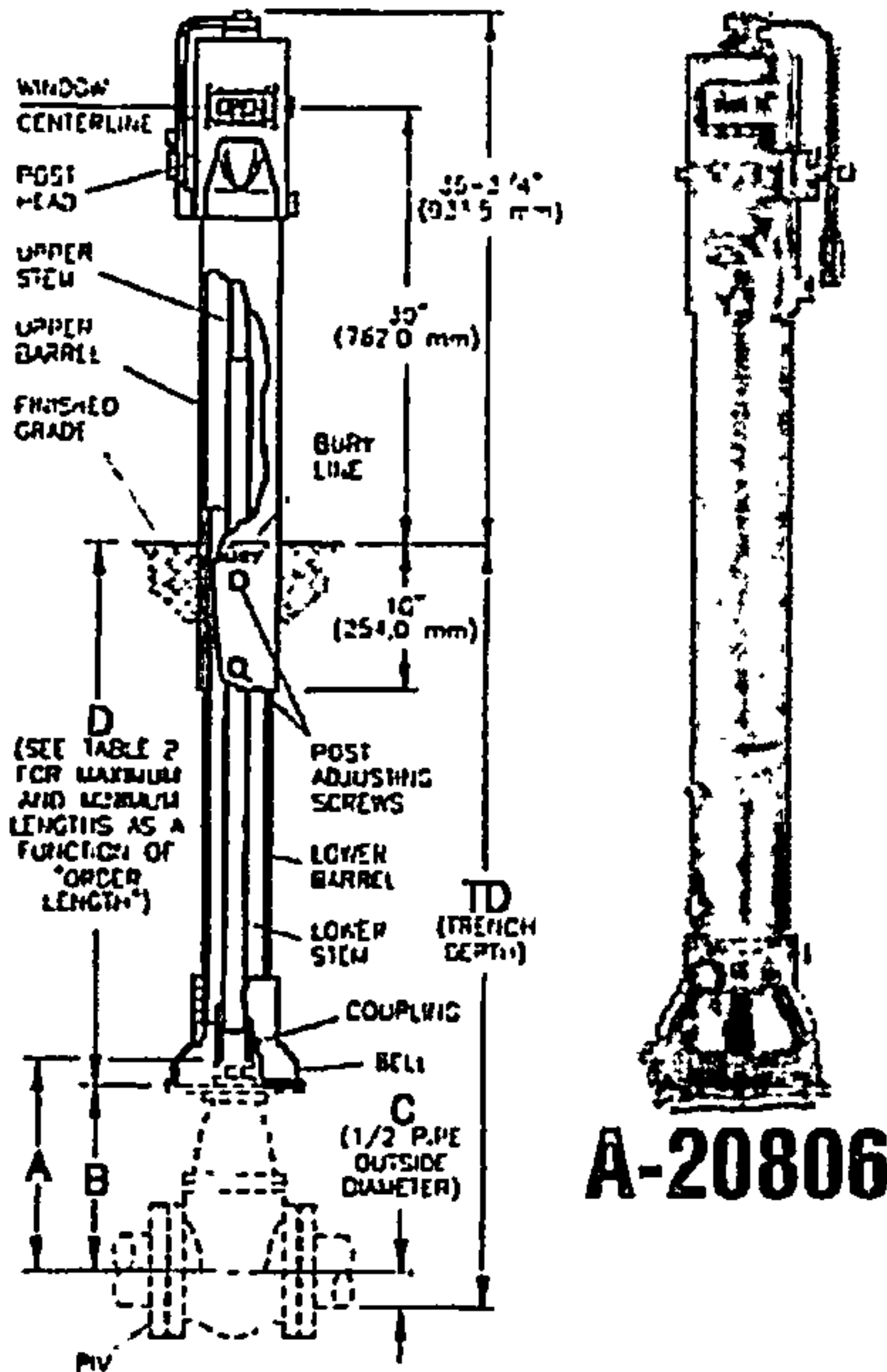


UL / FM

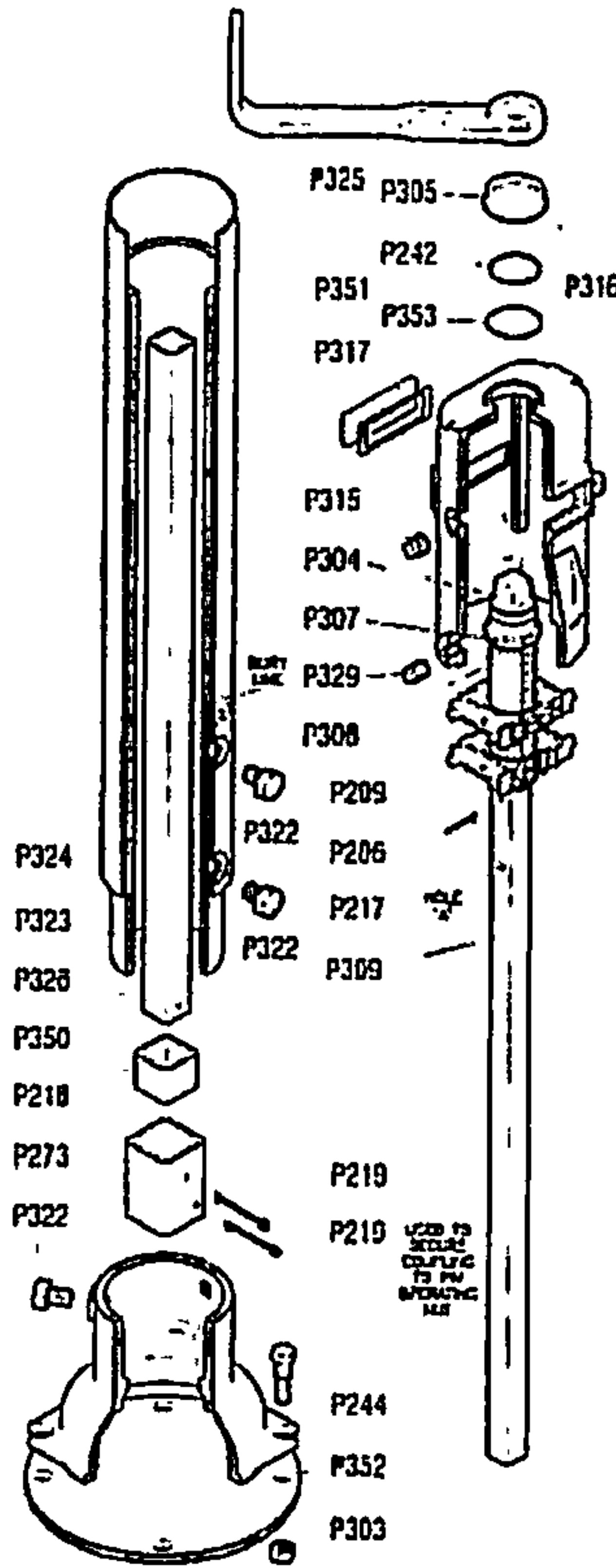
FIRE PROTECTION PRODUCTS

A-20806: Adjustable Type Indicator Post

UL Listed ULC Listed FM Approved



A-20806



PARTS LIST

Catalog Parts No.	Description	Material	Material Standard
P206	SHUT target	Plastic	Zytel
P209	OPEN target	Plastic	Zytel
P217	Cotter Pin (short)	Brass	ASTM B21
P218	Coupling	Steel	ASTM A500 GR.B
P219	Cotter pin (long)	Brass	ASTM B21
P242	Retaining ring	Stainless Steel	AISI 302
P244	Hex bolt (not shown)	Steel/zinc plated	ASTM A307 GR.A
P272	Washer	Steel/zinc plated	
P273	Bell	Cast iron	ASTM A126 CL.B
P300	Eyebolt	Steel/zinc plated	
P301	Hex nut	Steel/zinc plated	ASTM A563 GR.A
P302	Handwheel	Ductile iron	ASTM A536 GR.65-45-12
P303	Hex nut (not shown)	Steel/zinc plated	ASTM A563 GR.A
P304	Operating nut	Ductile iron	ASTM B536 GR.65-45-12
P305	Cap	Polypropylene	
P307	Spring pin	Stainless steel	AISI 420
P308	Threaded sleeve	Plastic	Zytel
P309	Upper stem	Steel	ASTM A513
P315	Pipe plug - hex socket	Steel	
P316	Post head	Cast iron	ASTM A126 CL.B
P317	Window	Plexiglass	
P322	Hex head screw (not shown)	Steel/zinc plated	ASTM A307 GR.A
P326	Lower stem	Steel	ASTM A500 GR.B
P329	Socket head set screw	Steel	ANSI B18.3
P350	Coupling insert	Steel	ASTM A500 GR B
P351	Window gasket	Synthetic rubber	
P352	Shipping disc	Pressboard	
P353	Washer	Stainless steel	AISI 304

DETERMINING ORDER LENGTH

For Mueller valves and a given Trench Depth (TD), see Table 3. For all others: calculate dimension D as follows, then use it to select the "Order Length" from Table 2 that best accommodates the minimum D length.

$D (\text{req'd}) = TD - B - C$

Table 1 Valve size	A & B DIMENSIONS FOR MUELLER METAL SEAT POST INDICATOR VALVES			A & B DIMENSIONS FOR MUELLER RESILIENT WEDGE POST INDICATOR VALVES			C DIMENSION FOR ALL VALVES - 1/2 OF PIPE O.D. (Typical for underground pipe)
	A	B	Turns to Open	A	B	Turns to Open	
4"	13.00"	11.44"	14-1/2	14.31"	12.72"	14-1/2	2.40"
6"	16.12"	14.38"	20-1/2	18.12"	16.53"	20-1/2	3.45"
8"	20.12"	18.38"	27	21.25"	19.66"	27	4.53"
10"	24.50"	22.38"	33-1/2	26.38"	24.79"	33-1/2	5.55"
12"	27.88"	25.38"	39-1/2	29.50"	27.91"	39-1/2	6.60"
14"	32.12"	29.62"	46	-	-	-	7.65"

Table 2	ORDER LENGTH AS A FUNCTION OF D DIMENSION					
	A	B	C	D	E	F
Min.	17.25"	36.00"	57.00"	78.00"	99.00"	120.00"
Max.	39.25"	60.25"	81.25"	102.25"	123.25"	144.25"

Table 3 Valve size	NOMINAL TRENCH DEPTHS* FOR MUELLER IBBM DOUBLE DISC & RESILIENT WEDGE POST INDICATOR VALVES*											
	Order Length A		Order Length B		Order Length C		Order Length D		Order Length E		Order Length F	
	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.
4"	2'9"	4'4"	4'4"	6'1"	6'1"	7'10"	7'10"	9'7"	9'7"	11'5"	11'5"	13'2"
6"	3'1"	4'8"	4'8"	6'5"	6'5"	8'2"	8'2"	10'0"	10'0"	11'9"	11'9"	13'6"
8"	3'6"	5'1"	5'1"	6'10"	6'10"	8'7"	8'7"	10'4"	10'4"	12'2"	12'2"	13'11"
10"	3'11"	5'7"	5'7"	7'4"	7'4"	9'1"	9'1"	10'10"	10'10"	12'7"	12'7"	14'4"
12"	4'4"	5'11"	5'11"	7'8"	7'8"	9'5"	9'5"	11'2"	11'2"	12'11"	12'11"	14'8"
14"	4'6"	6'3"	6'3"	8'0"	8'0"	9'9"	9'9"	11'6"	11'6"	13'4"	13'4"	15'1"

* The minimum and maximum trench depths which will be accommodated by specific "Order Length" can be calculated as follows by using the minimum and maximum D dimensions given in Table 2. $TD (\text{min.}) = D (\text{min.}) + B + C$. $TD (\text{max.}) = D (\text{max.}) + B + C$.



Tierra West, LLC.

(505) 858-3100

5571 Midway Park Place NE, Albuquerque, NM 87109

TO Jack Cloud
Planning DRB Chair
City of Albuquerque

LETTER OF TRANSMITTAL

DATE: 3/10/2008	JOB NO: 28002
ATTENTION: Jack Cloud	
RE: McDonalds SW Corner Volcano & 98th	
PHONE:	

WE ARE SENDING YOU Attached Under Separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications

Copy of letter Change order

COPIES	DATED	NO.	DESCRIPTION
1			DRB Submittal

THESE ARE TRANSMITTED as checked below:

For approval Approved as submitted FOR SIGNATURE(S)

For your use Approved as noted

As requested Returned for corrections

For review and comments

FOR BIDS DUE _____ 20 _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS 6833 10-10

COPY TO _____

RECEIVED BY _____ Date _____ SIGNED Barbara Mallak for Sarah Abeyta, E.I.

TERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

Phone: 505-858-3100
Fax: 505-858-1118

MEMO

TO: City of Albuquerque Planning Department

FROM: Sarah Abeyta, E.I.

SUBJECT: Project # 1004354 (Development Review Board Comments) JN:28002

DATE: March 10, 2008

PLANNING DEPARTMENT

The proposed Site Plan for Building Permit does not comply with the filed Site Plan for Subdivision regarding location of drive-thru/Future Restaurant, size of drive-thru/Future Restaurant, landscape area at 98th Street and Volcano Road, and pedestrian connections. Amendments to the Site Plan for Subdivision will be required prior to hearing this submittal.

AA currently submitted for review and approval by City Staff showing changes to layout.

The "Drive-Thru Elevation" oriented towards the public street (Volcano) does not conform with the Site Plan for Subdivision regarding architectural style. This façade must be more like the front of a building and not the rear. The use of cultured stone may be acceptable subject to providing a color which would reflect and complement the existing buildings; alternatively, a more uniform/rectangular material may be proposed. Color drawing included in resubmittal for reference. 3-D rendering also included to detail articulation of rear façade.



ENGINEERING MEMORANDUM

DATE: 03/03/08

SUBJECT: Project # 1004354 (Development Review Board Comments)

TO: City of Albuquerque Planning Department

FROM: Chad Ignagni

Zoning Enforcement:

City Remark: Motorcycle parking needed, there should be 4 varieties of street trees as per ordinance.

- a. Motorcycle parking added.
- b. Street trees updated per ordinance and development standards.

Transportation Development:

City Remark: label the compact parking spaces by placing the words "compact" on the pavement of each space.

"Compact" delineations added.

City Remark: Call out the width and length of all parking spaces, or provide a typical detail.

Parking has been dimensioned as typical length and widths. Other non-standard parking has been individually dimensioned.

City Remark: The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5-feet in width.

Handicap access striping has been updated per code.

City Remark: Call out width of all sidewalks, proposed and existing.

Existing and proposed sidewalks have been delineated.

City Remark: For passenger vehicles, the minimum end island radius is 15-feet.

Radii updated.

Parks and Recreation:

City Remark: Identify if the improvement on 98th is trail or sidewalk and if it is proposed or existing.

Sidewalk has been labeled.

ABCWUA:

Remark:

1. **Site Plan:** (a) construction schedule calls out proposed water meter, but is not shown on plan.
2. **Utility Plan:** (a) why is there a ¾" water service to the trash enclosure? (b) water meters must be in a public easement. (c) what size domestic meter is required? (d) a 6" fire line seems excessive. (e) under "UTILITY CONTACTS" the water/sewer company is ABCWUA, not City of Albuquerque.
 1. (a) Water meter added to Site Plan..
 2. (a) Water service to trash enclosure is for cleaning out the trash enclosure.
(b) Easement location has been noted on Utility Plan.
(c) 2-inch domestic meter noted.
(d) 6" fire line is McDonalds minimum standard.
(e) Name changed.



Planning Department:

City Remark: Additional street trees are needed. The landscape Plan needs to include the improved area for this building, specifically landscaping for the parking area on the east side of the building.

Additional trees have been placed on landscape plan.

Landscape areas to the east of our boundary are not within scope of services but developer responsibility.

Building Safety Division Comments:

Zoning Enforcement Remark:

Does not match approved site development.

Developers engineer to coordinate.

Plan needs an AA and resubmit for a complete plan check.

Developers engineer to coordinate.

Solid Waste Disposal Remark:

Move enclosure location towards landscape area to avoid unnecessary drive-thru congestion.

Trash enclosure is in optimized location for truck accessibility.

Hydrology Remark:

Need site specific grading and drainage submitted to hydrology.

Developers engineer to coordinate.

Fire Marshal Remark:

Location of required fire hydrant must be shown to scale on utility plan within 450-feet as the truck rolls to the furthest point of the building.

Fire hydrant to be coordinated with developer engineer.

Provide detail sheet for "Post indicator Valve".

Post Indicator Valve specification sheet will be included with re-submittal.

gar

TIERRA WEST, LLC

April 15, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**RE: McDonald's @ 98th & Central
Project # 1004354
Application # 08DRB-70048**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests a two-week deferral of the Site Plan action to the April 30, 2008 hearing. The additional time will allow the completion of the Administrative Amendment, which is currently being processed, and to address additional comments from City staff.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Jimmy Lopez

JN: 28002
RRB/SA/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Paid

gan

TIERRA WEST, LLC

April 2, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**RE: McDonald's @ 98th & Central
Project # 1004354
Application # 08DRB-70048**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests a one-week deferral of the Site Plan action to the April 9, 2008 hearing. The additional time will allow the completion of the Administrative Amendment, which is currently being processed, and to address additional comments from City staff.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Jimmy Lopez

JN: 28002
RRB/SA/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

gan

TIERRA WEST, LLC

March 25, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**RE: McDonald's @ 98th & Central
Project # 1004354
Application # 08DRB-70048**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests a one-week deferral of the Site Plan action to the April 2, 2008 hearing. The additional time will allow the completion of the Administrative Amendment, which is currently being processed, and to address additional comments from City staff.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Jimmy Lopez

JN: 28002
RRB/SA/kdk

2008 28002 Jack Cloud Deferral 030508

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

gwr

TIERRA WEST, LLC

April 9, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

**RE: McDonald's @ 98th & Central
Project # 1004354
Application # 08DRB-70048**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests a one-week deferral of the Site Plan action to the April 16, 2008 hearing. The additional time will allow the completion of the Administrative Amendment, which is currently being processed, and to address additional comments from City staff.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Jimmy Lopez

JN: 28002
RRB/SA/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Jan

TIERRA WEST, LLC

March 19, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

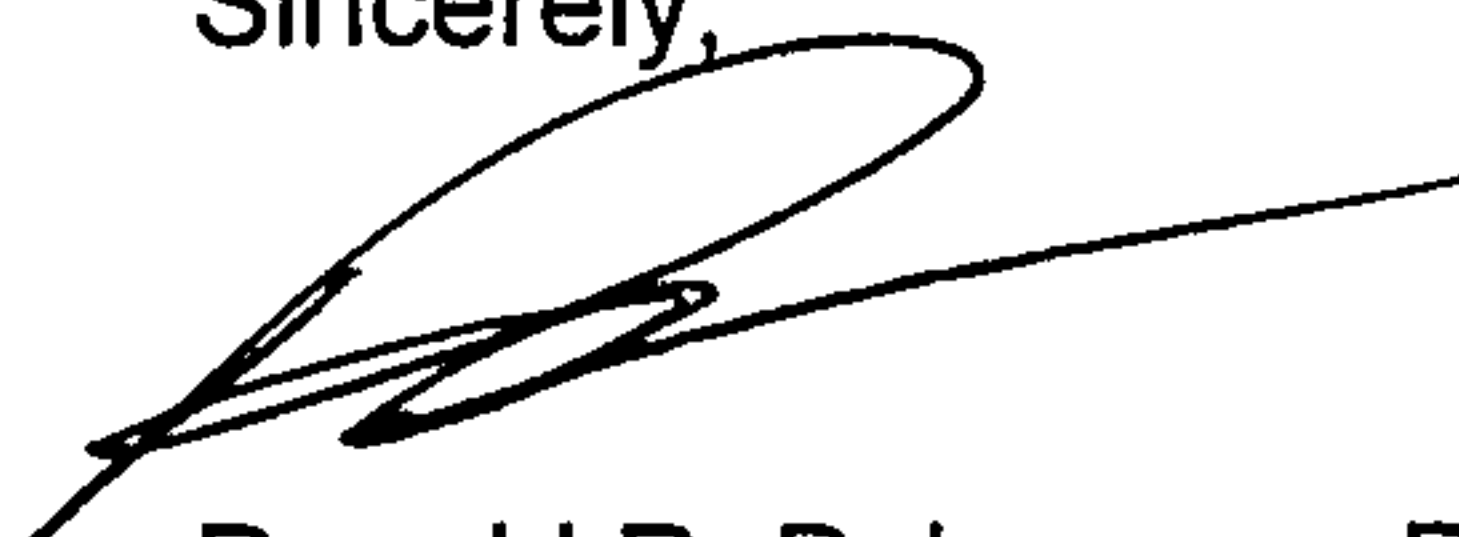
**RE: McDonald's @ 98th & Central
Project # 1004354
Application # 08DRB-70048**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests a one-week deferral of the Site Plan action to the March 26, 2008 hearing. The additional time will allow the completion of the Administrative Amendment, which is currently being processed, and to address additional comments from City staff.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Jimmy Lopez

JN: 28002
RRB/SA/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

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TIERRA WEST, LLC

March 5, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87102

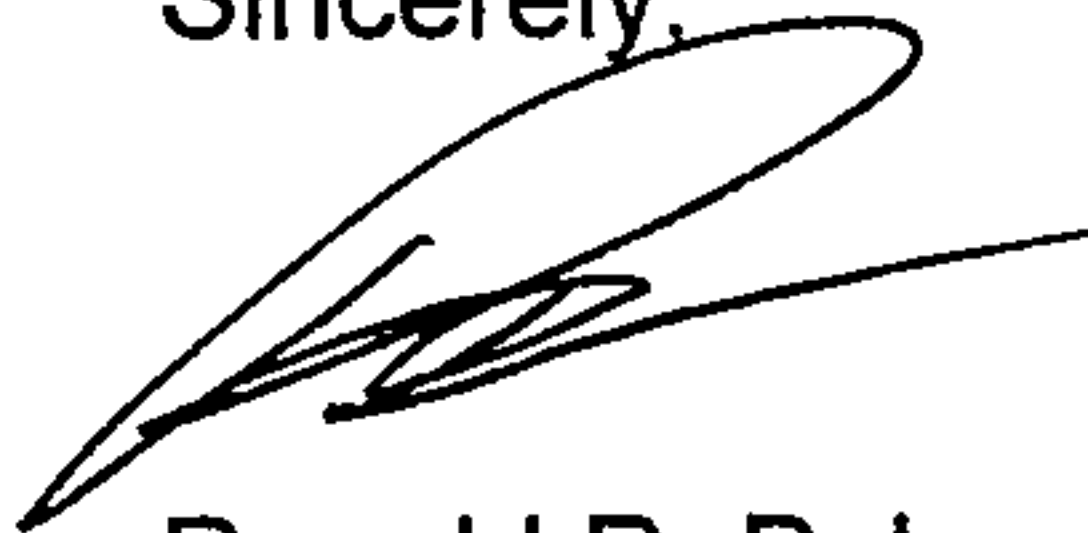
**RE: McDonald's @ 98th & Central
Project # 1004354
Application # 08DRB-70048**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests a one-week deferral of the Site Plan action to the March 12, 2008 hearing. The additional time will allow the completion of the Administrative Amendment, which is currently being processed, and to address additional comments from City staff.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Jimmy Lopez

JN: 28002
RRB/SA/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/25/2008 Issued By: PLNSDH

Permit Number: 2008 070 048

Category Code 910

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant
McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-869-1888

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87108

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441008/4983000	DRB Actions Deferral	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

3/25/2008 4:18PM LOC: ANNX
WS# 008 TRANS# 0055
RECEIPT# 00089030-00089030
PERMIT# 2008070048 TRSDMG
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/17/2008 Issued By: PLNSDH

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant
McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-889-1888

Agent / Contact
Tierra West Llc
Ronald Bohannon

5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB deferral fee Actions	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

3/17/2008 10:32AM LOC# ANHY
WS# 006 TRANS# 0009
RECEIPT# 00089276-00089276
PERMIT# 2008070048 TRSCCS
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

DEVELOPMENT AND BUILDING SERVICES

STANDARD APPLICATION, Paper Plans Required

DEVELOPMENT REVIEW BOARD

06/25/2013 Issued By: BLDAVM 195991

Category Code **910**
2013 070 605

Application Number: 13DRB-70605, Minor - Preliminary/ Final Plat Approval

Address:

Location Description: 98TH ST NW BETWEEN VOLCANO ST NW AND CENTRAL AVE NW

Project Number: 1004354

Applicant
KRANIA LLC

Agent / Contact
DAC ENTERPRISES, INC

5321 MENAUL BLVD NE
ALBUQUERQUE NM 87110
883-4131

9520 MACALLAN RD NE
ALBUQUERQUE NM 87109

Application Fees

APN Fee

Conflict Mgmt Fee **\$20.00**

DRB Actions **\$355.00**

TOTAL: \$375.00

City of Albuquerque Treasury
Date: 6/25/2013 Office: ANNEX
Stat ID: W5000009 Cashier: TRSRMS
Batch: 2168 Trans #: 15
Permit: 2013070605
Receipt Num 00138629
Payment Total: \$375.00
0901 Conflict Mgmt. Fee \$20.00
0903 DRB Actions \$355.00
Check Tendered: \$375.00

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/08/2008 Issued By: PLNSDH

Permit Number: 2008 070 048

Category Code 910

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant

McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75082
972-869-1888

Agent / Contact

Tierra West Llc
Ronald Bohannan
5571 Midway Park Pl Ne
Albuquerque NM 87108

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions Deferral	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

5/8/2008 11:12AM LOC: ANNX
WS# 007 TRANSH 0023
RECEIPT# 00098192-00098192
PERMIT# 2008070048 TRSCXG
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/01/2008 Issued By: PLNSDH

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant

McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-989-1888

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

5/1/2008 11:00AM LOC: ANNX
WSH 007 TRANSH 0017
RECEIPT# 00097878-00097878
PERMITH 2008070048 TRSCXG
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

04/15/2008 Issued By: PLNSDH

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant

McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-888-1888

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000

441008/4983000	DRB deferral fee	\$110.00
TOTAL:		\$110.00

City of Albuquerque
Treasury Division

4/15/2008 8:50AM LCR: AMMY
USR 006 TRANCY 0005
RECEIPT# 00090676-00090676
PERMITH 2008070048 TRS.MI
Trans Amt \$110.00
LRB Actions \$110.00
CR \$110.00
CHANGE \$0.00

PLNSDH

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

04/09/2008 Issued By: PLNSDH

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant
McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-888-1888

Agent / Contact

Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$110.00
TOTAL:		\$110.00

City of Albuquerque
Treasury Division

4/9/2008 8:31AM LOC: ANN
USH 008 TRANS# 0002
RECEIPT# 00089798-00089799
PERMIT# 2008070048 TRS#05
Trans Amt \$110.00
DRB Actions \$110.00
CI \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

04/02/2008 Issued By: PLNSDH

04/02/08

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant
McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-869-1888

Agent / Contact
Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87108

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	\$110.00
TOTAL:		\$110.00

City of Albuquerque
Treasury Division

4/2/2008 9:11AM LDD: AMM
 WEB 107 TRAMON 0005
 RECEIPT 10004570 00004570
 PERMIT 200070010 TRAMON
 TRAMON 4110.00
 PER 10004570 4110.00
 OK 4110.00
 4110.00

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/19/2008 Issued By: PLNSDH

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant
McDonald'S Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-868-1888

Agent / Contact
Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87108

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Deferral Fee	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

3/19/2008 8:27AM LOC: ANNX
WS# 007 TRANCH# 0003
RECEIPT# 00075939-00075939
PERMIT# 2008070048 TRSHSP
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/05/2008 Issued By: PLNSDH

Permit Number: 2008 070 048 **Category Code 910**

Application Number: 08DRB-70048, Major - Sdp For Building Permit

Address:

Location Description: 98TH ST NW BETWEEN CENTRAL AVE NW AND VOLCANO RD NW

Project Number: 1004354

Applicant
McDonald's Corporation

511 E Carpenter Freeway , Ste 375
Irving TX 75062
972-889-1888

Agent / Contact
Tierra West Llc
Ronald Bohannon
5571 Midway Park Pl Ne
Albuquerque NM 87109

twllc@tierrawestllc.com

Application Fees

441018/4971000	Public Notification	
441032/3424000		
441008/4983000	DRB deferral fee	\$110.00
TOTAL:		\$110.00

City Of Albuquerque
Treasury Division

3/5/2008 0:33AM 100: ANNY
15H 00S TRANSN 0003
RECEIPT# 00019257-00089257
PERMIT# 2008070048 TRS005
Trans Amt \$110.00
DRB Actions \$110.00
CK \$110.00
CHANGE \$0.00

Thank You

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

3-12-08

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

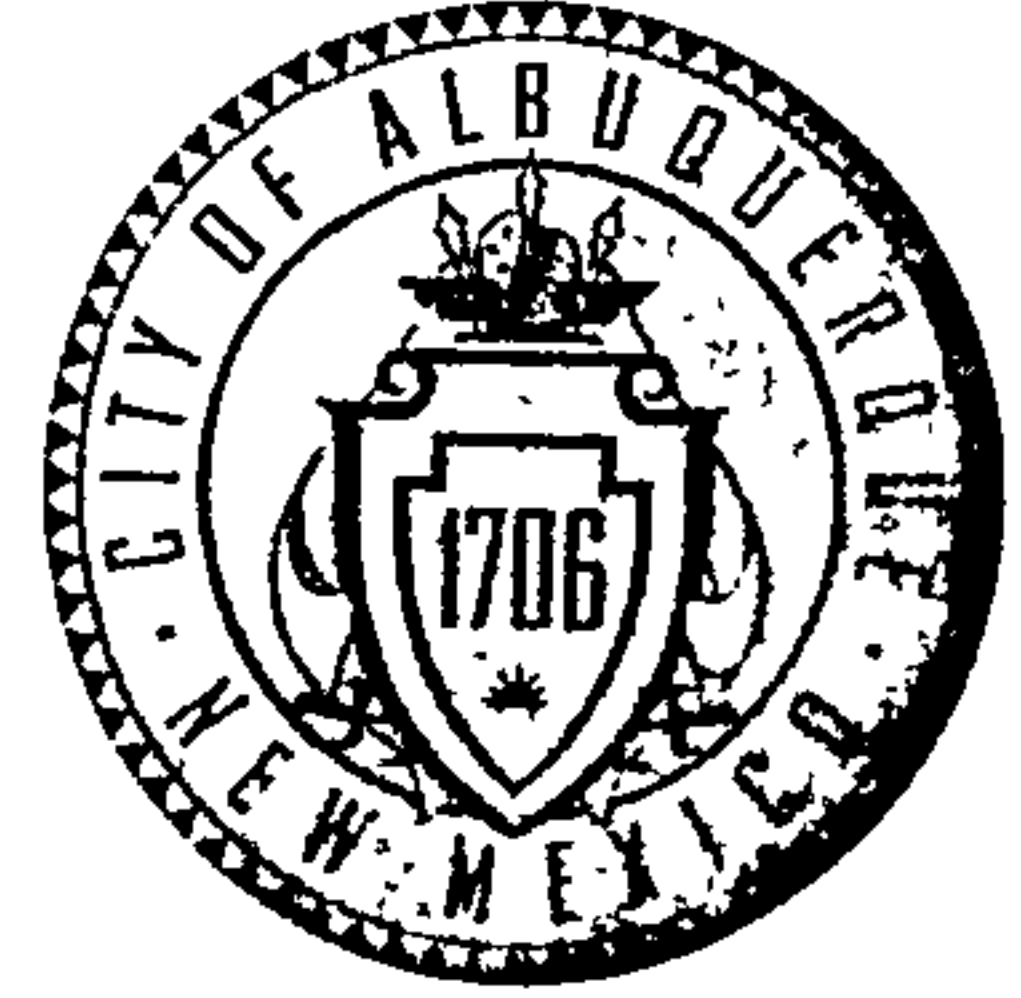
FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: March 5, 2008

CITY OF ALBUQUERQUE

Def to
3/26/08



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 3

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

COMMENTS:

The proposed layout shown on the site plan for building permit does not match the site plan for subdivision. Provide recording information for cross lot access easements on the site plan. Provide additional information about the drive through facility. A queuing length of 5 vehicles (100 feet) must be provided for each lane. Minimum lane widths are 12 feet minimum with a 25-foot minimum for all lanes. (A 15-foot radius can be used with an increase in lane width to 14

PO Box 1293

Width of aisle islands must comply with the Development Process Manual Figure 23.7.2. (see island just east of the trash enclosure)

Albuquerque

NM 87103

www.cabq.gov

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

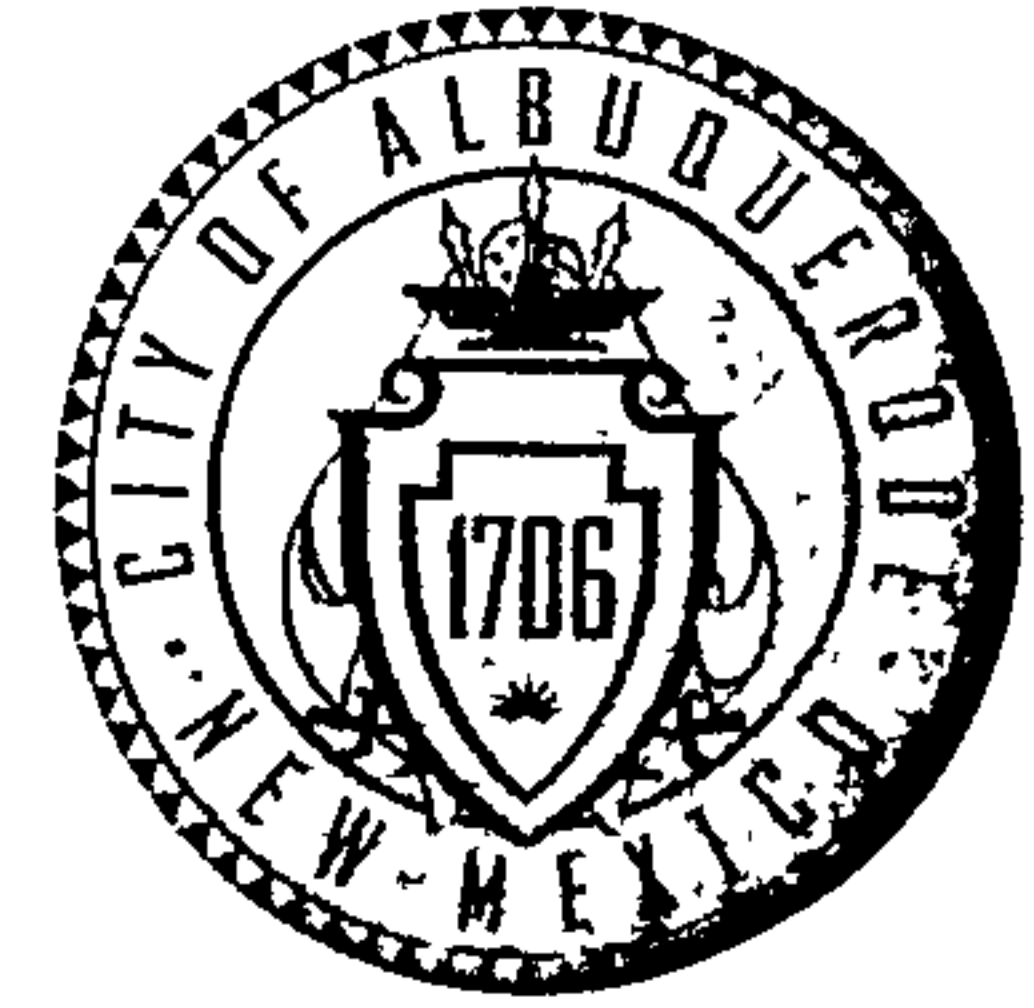
SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: MARCH 19, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: March 19, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

P.O. Box 1293

ENGINEERING COMMENTS:

See staff report 2-20-08.

Albuquerque

New Mexico 87103

RESOLUTION:

3-5-08

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED X; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: February 20, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ³⁻¹⁹⁻⁰⁸ X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

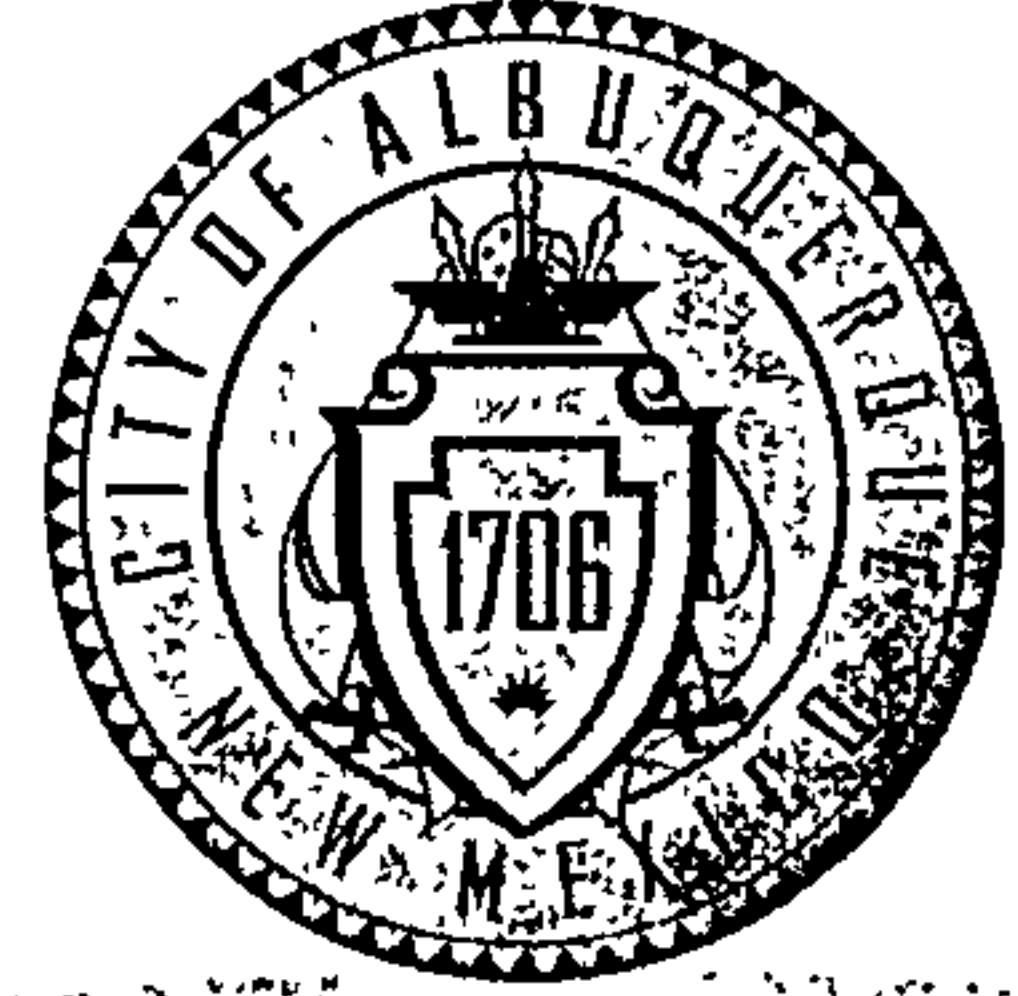
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: March 12, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

4-30-06

APPROVED _____; DENIED _____; DEFERRED X; COMMENTS PROVIDED _____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

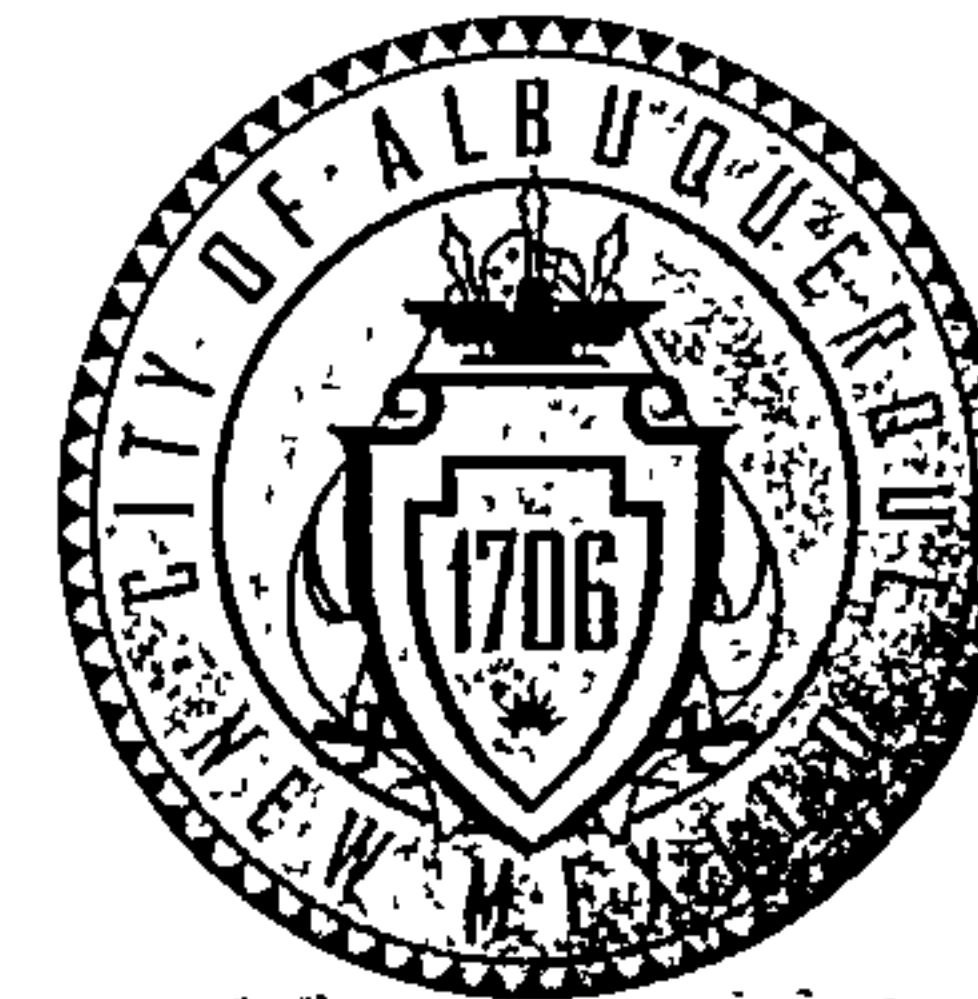
TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 16, 2008

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:(x) SIGN-OFF:0 EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ⁵⁻⁷⁻⁰⁸ ; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 30, 2008

CITY OF ALBUQUERQUE



Det
4/16/08

CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: April 9, 2008

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1004357 AGENDA# 5 DATE: 3/12/08

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1004354

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:0 APP:0 SIGN-OFF:(x) EXTN:0 AMEND:0

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP)

TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR: _____

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: May 7, 2008



Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
 - Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Tierra West LLC PHONE: 505-858-3100

ADDRESS: 5571 Midway Park Place NE FAX: 505-858-1118

CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: _____

APPLICANT: McDonald's Corporation PHONE: 972-869-1888

ADDRESS: 511 E. Carpenter Freeway, Suite 375 FAX: _____

CITY: Irving STATE TX ZIP 75062 E-MAIL: _____

Proprietary interest in site: Owner List all owners: _____

DESCRIPTION OF REQUEST: Approval of Site Development Plan for Building Permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Lot 2 Block: _____ Unit: _____

Subdiv/Addn/TBKA: Krania

Existing Zoning: SU-2 PCA Proposed zoning: No Change MRGCD Map No _____

Zone Atlas page(s): K-9 UPC Code: 100905707008030401

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 05DRB-01229/06EPC-01107,01108/07DRB-00032,00033,00034/07EPC-40030,40031/Project # 1004354

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No

No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): 1.1172+/-

LOCATION OF PROPERTY BY STREETS: On or Near: 98th Street NW

Between: Central Avenue NW and Volcano Road NW

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 1/25/08

(Print) Ronald R. Bohannon, PE Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
08DRB 70048

Action	S.F.	Fees
<u>SBP</u>	<u>P(2)</u>	\$ <u>385.00</u>
<u>ADU</u>		\$ <u>75.00</u>
<u>CME</u>		\$ <u>20.00</u>
		\$ _____
		\$ _____
		Total
		\$ <u>480.00</u>

Hearing date 02/20/08

Sandy Handley 01/25/08
Planner signature / date

Project # 1004354

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- n/a 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - n/a 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

 Ronald R. Behannan, PE
 Applicant name (print)

 Applicant signature / date 1/25/08



Form revised October 2007

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 OSDRB - 70048

 Sandy Handley 01/25/08
 Planner signature / date
 Project # 1004354

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from February 5, 2008 To February 20, 2008

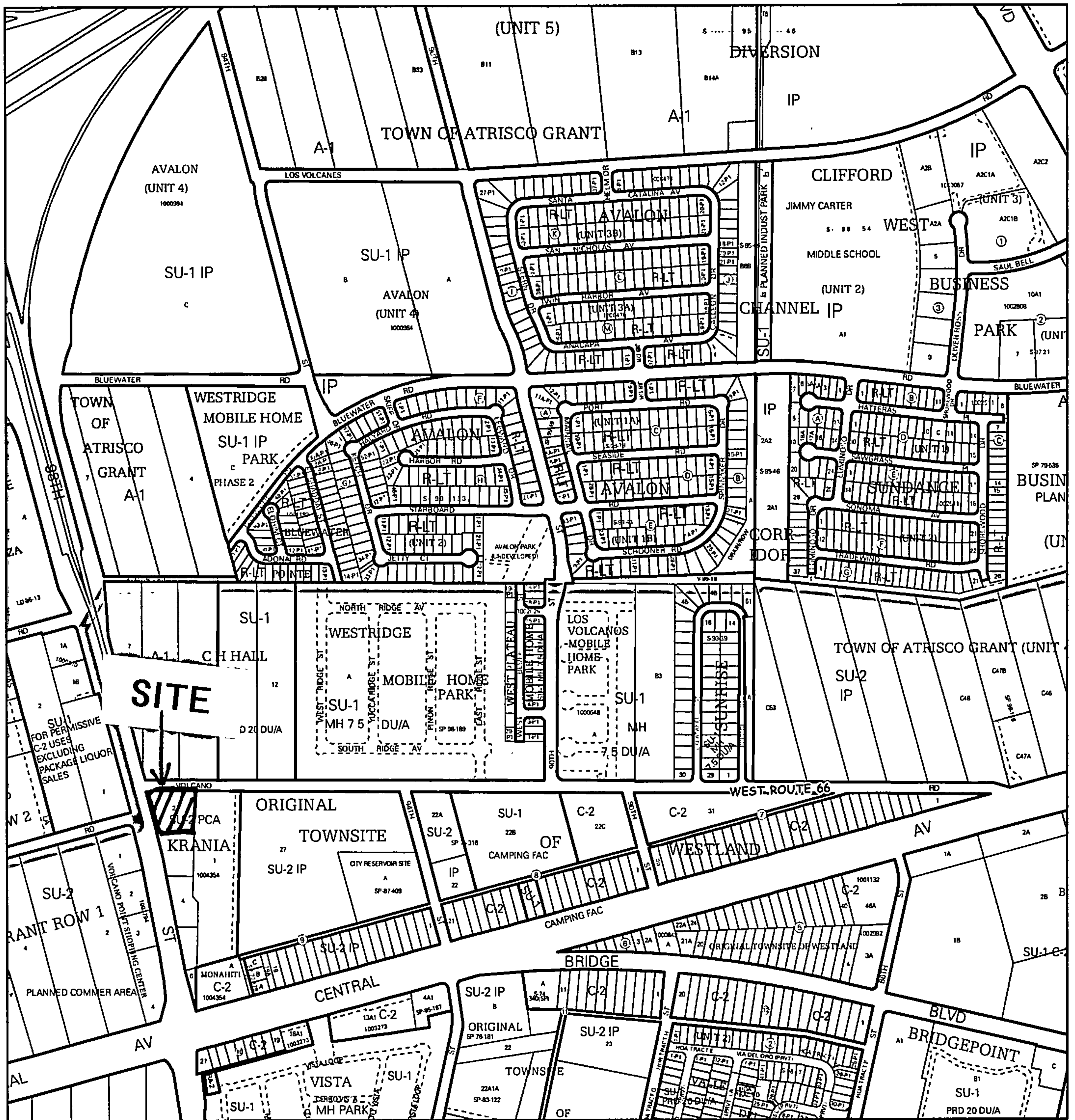
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Keeli D. Krueger, 1/25/08
(Applicant or Agent) (Date)

I issued 2 signs for this application, 01/25/08, Sandy Handley
(Date) (Staff Member)



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 1/4/2008

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-09-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

gan

TIERRA WEST, LLC

January 24, 2008

Mr. Jack Cloud, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: Site Development Plan for Building Permit
McDonald's – 98th & Central
Lot 2, Krania**

Dear Mr. Cloud:

Tierra West LLC, on behalf of McDonald's Corporation, requests approval of the Site Development Plan for Building Permit for the above-referenced project. The site is located at the southeast corner of 98th Street NW and Volcano Road NW. The site, Lot 2 of the Krania commercial/retail development, is zoned SU-2 PCA and contains ± 1.11 acres. Per the approved Site Development Plans for Subdivision and Building Permit for Krania, Lot 2 is delegated to DRB for approval. The subject site follows the approved design guidelines of the Site Plan for Subdivision for Krania. An infrastructure list was not included with this submittal as all required public infrastructure is being constructed by the Krania developer.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Ben Sims
Miguel Maestas, Avalon N.A.
Kelly Chappelle, Avalon N.A.

JN: 28002
RRB/kdk

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com




January 22, 2008

City of Albuquerque
Development Review Board
PO Box 1239
Albuquerque, NM 87103

RE: **Lot 2, Krania**

To Whom It May Concern:

As the Owner/Developer's Agent, I hereby grant Tierra West LLC to act as agent on behalf of **Adams Engineering Inc.**, on matters pertaining to any and all submittals to the City of Albuquerque regarding the above referenced project.


Sign Name

1/22/08

Benjamin L. Sims

Print Name



McDonald's USA

McDonald's USA, LLC
511 East John Carpenter Freeway
Suite 375
Irving, TX 75062
Direct Dial Number (972) 869.5304
Fax Number (972) 869.5380

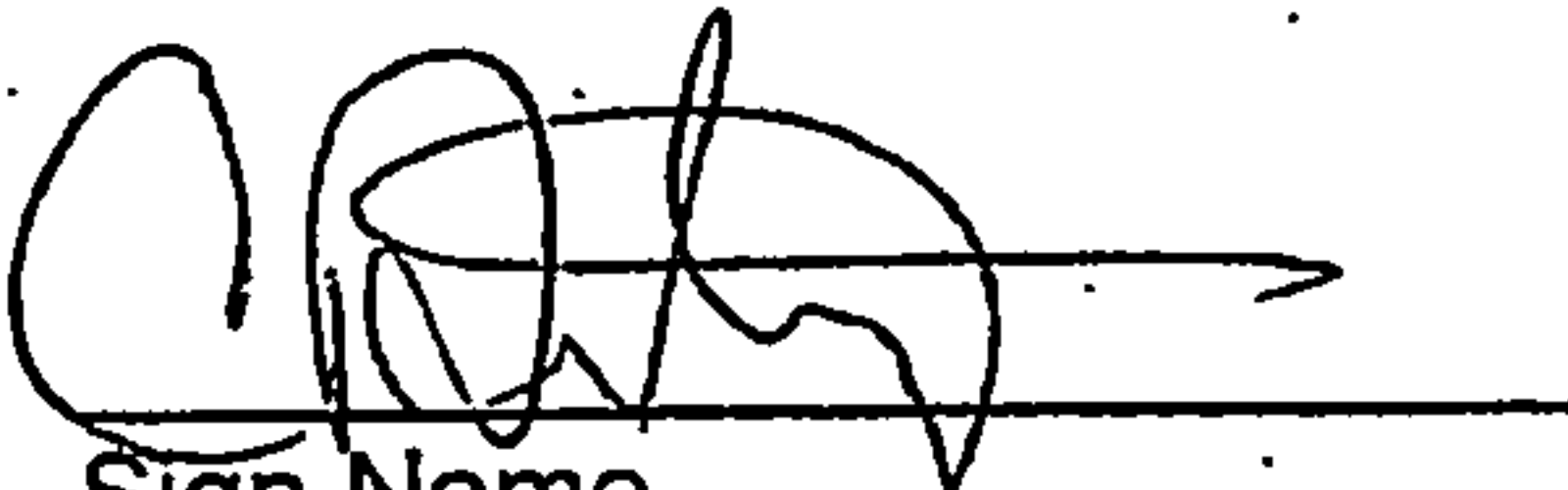
January 22, 2008

City of Albuquerque
Development Review Board
PO Box 1239
Albuquerque, NM 87103

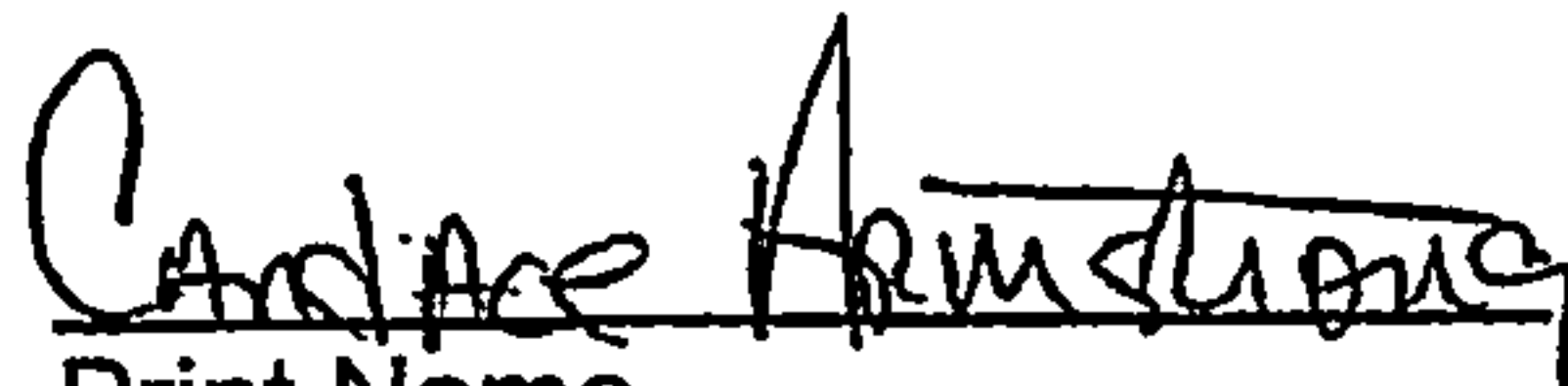
RE: **Lot 2, Krania**

To Whom It May Concern:

As the Owner/Developer, I hereby grant Adams Engineering Inc. and Tierra West LLC to act as agents on behalf of McDonald's USA, LLC, on matters pertaining to any and all submittals to the City of Albuquerque regarding the above referenced project.



Sign Name



Print Name

1-22-08
Date

TERRA WEST, LLC

5571 Midway Park Place NE
Albuquerque, NM 87109

Phone: 505-858-3100
Fax: 505-858-1118

FACSIMILE TRANSMITTAL

To: OFFICE OF NEIGHBORHOOD COORDINATION FAX: 924-3913
TOTAL OF (2) PAGES

From: KELI KRUEGER (kkrueger@tierrawestllc.com)

Subject: HOMEOWNERS ASSOCIATION INFORMATION
JN: 28002

Date: January 22, 2008

PLEASE FORWARD INFORMATION ON ALL RECOGNIZED AND UNRECOGNIZED HOMEOWNER ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS:

Lot 2, Krania

LEGAL DESCRIPTION

LOCATED ON 98th Street NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN Central Avenue NW AND Volcano Road NW

STREET NAME OR OTHER IDENTIFYING LANDMARK

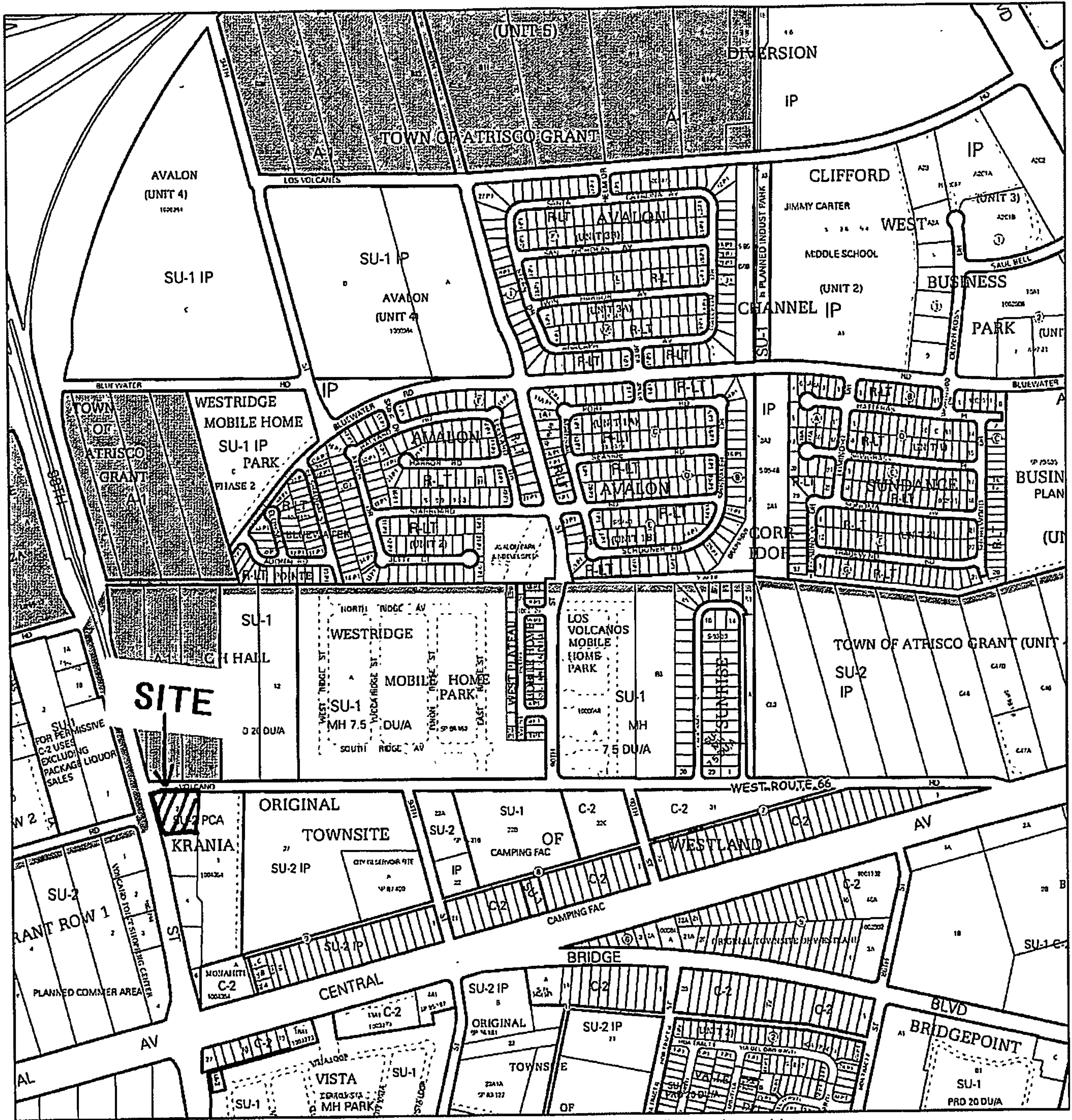
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS SHEET: **K-9**
PLEASE CALL IF YOU HAVE ANY QUESTIONS.

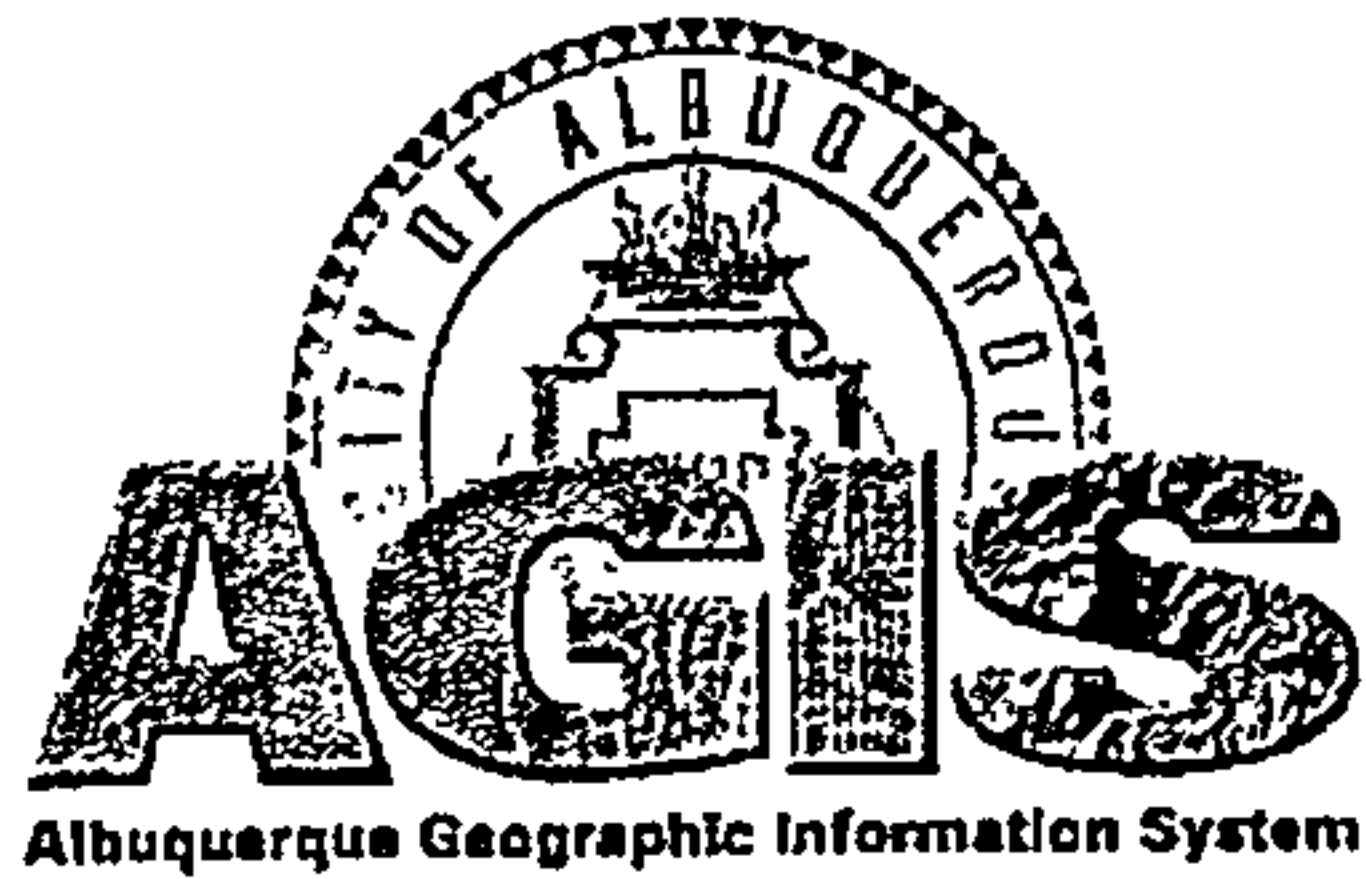
SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS TRANSMITTAL OR ANY OTHER ITEMS PERTAINING TO THIS PROJECT, PLEASE DO NOT HESITATE TO CONTACT OUR OFFICE.

IF YOU DO NOT RECEIVE ALL PAGES OF THIS TRANSMITTAL, OR IF MATERIAL IS NOT LEGIBLE, PLEASE CONTACT OUR OFFICE FROM 7:00 AM TO 5:00 PM, MST, MONDAY THROUGH THURSDAY, 8:00 AM TO 12:00 PM, MST, FRIDAY. THANK YOU.

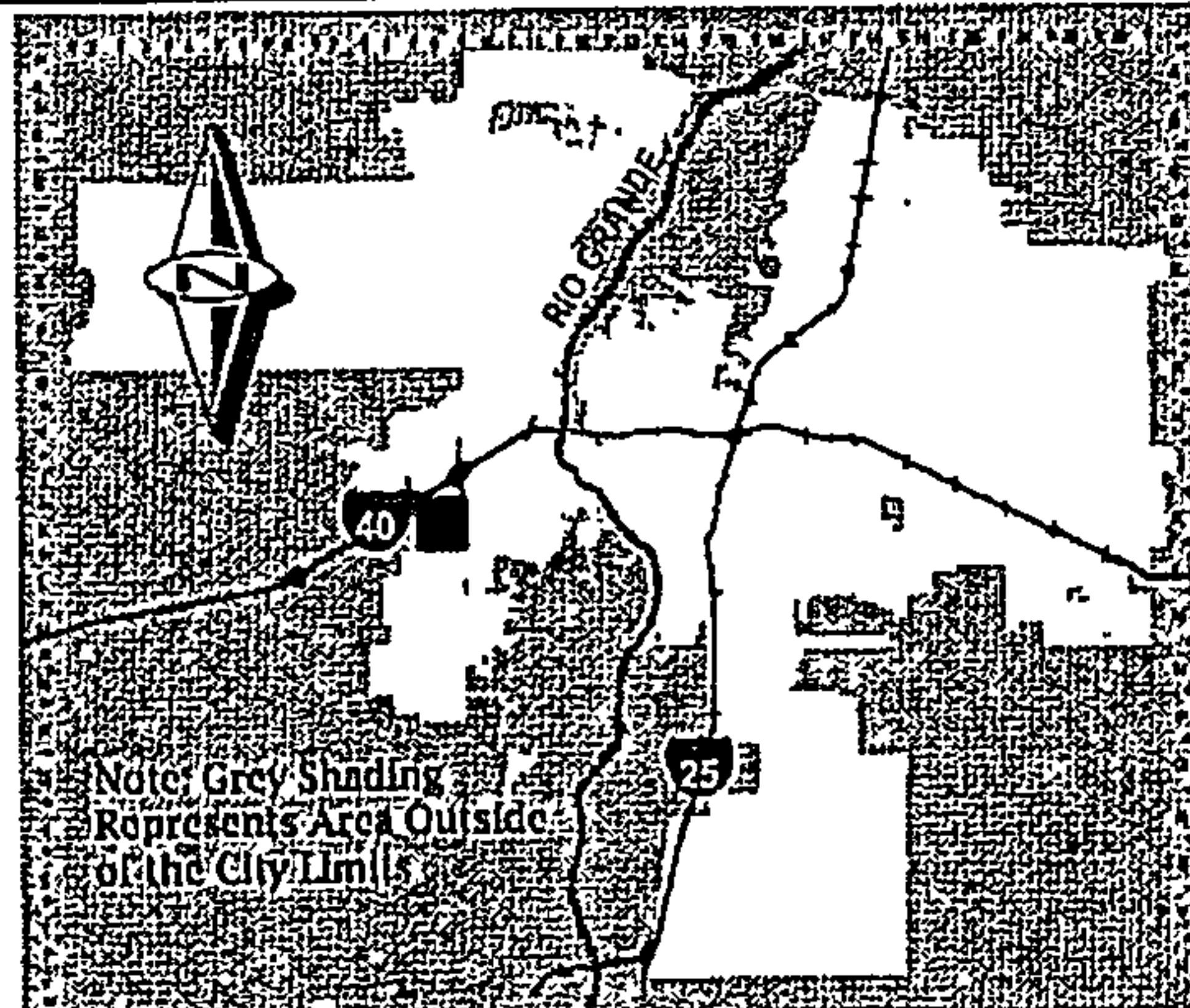
C:ONC - NA Info Request.WPD



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 1/4/2008

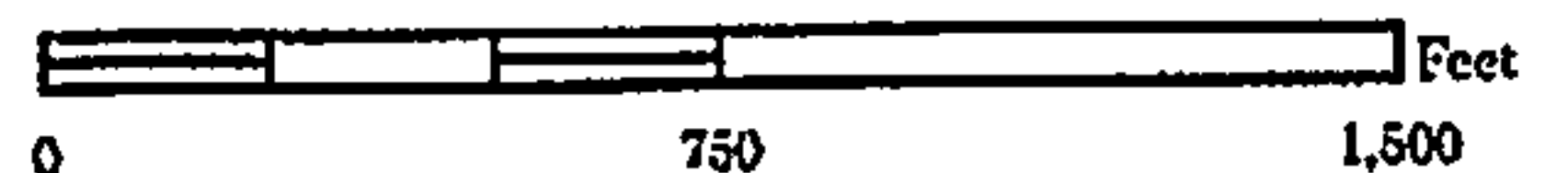


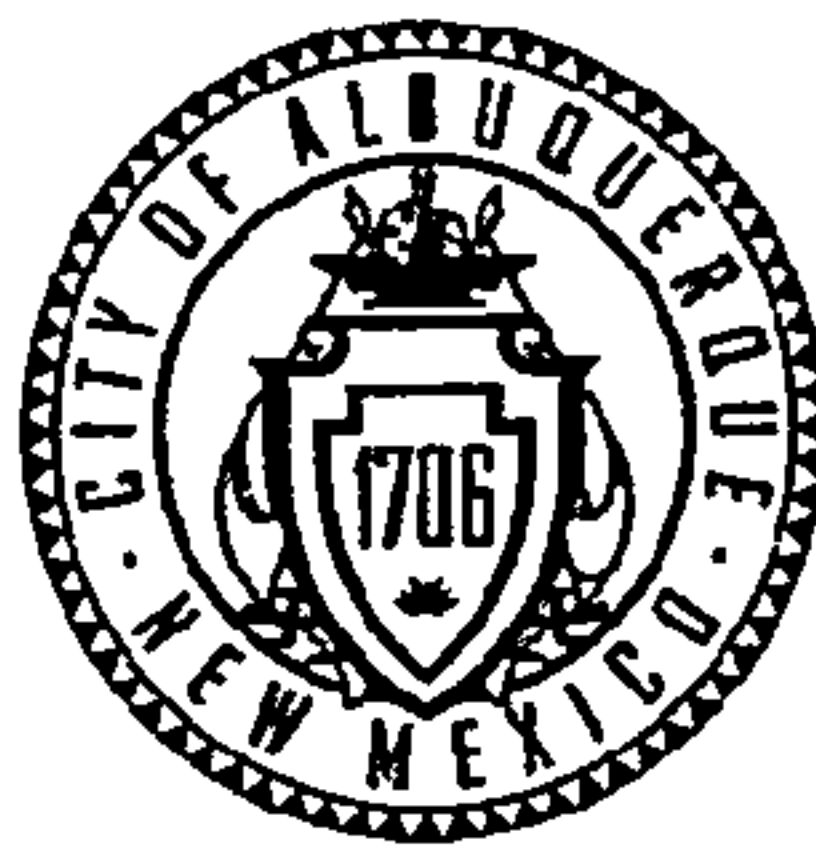
Zone Atlas Page:

K-09-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

January 22, 2008

Keli Krueger
Tierra West, LLC
5571 Midway Park Place NE/87109
Phone: 505-858-3100/Fax: 505-858-1118
Email: kkrueger@tierrawestllc.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Dear Keli:

Thank you for your inquiry of January 22, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **LOT 2, KRANIA, LOCATED ON 98TH STREET NW BETWEEN CENTRAL AVENUE NW AND VOCLANO ROAD NW** zone map **K-9**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

AVALON N.A. (AVA) "R"

***Miguel Maestas**

9400 Harbor Rd. NW/87121 831-9629 (h)

Kelly Chappelle

9135 Santa Catalina Ave. NW/87121 836-1766 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected neighborhood and/or homeowner associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describes the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-

The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.

Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.

Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: **01/22/08** Time Entered: **8:30 a.m.** ONC Rep. Initials: **SW**

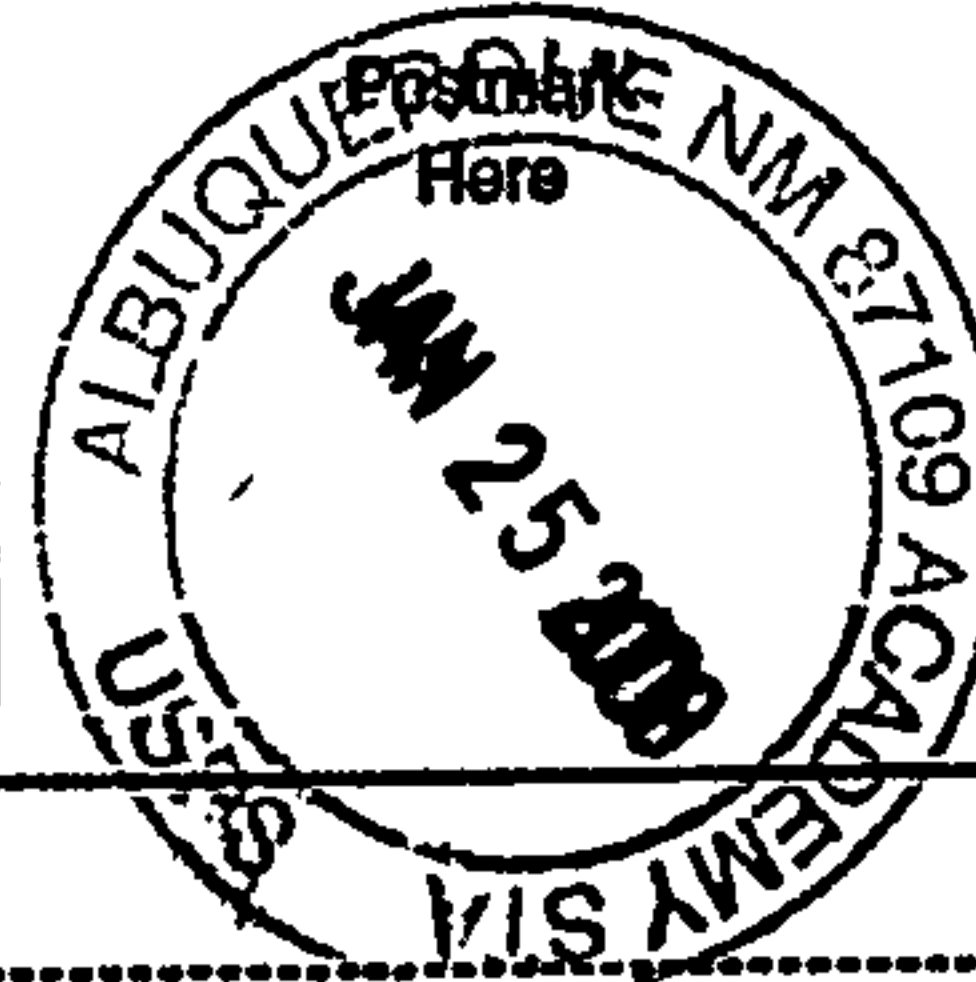
7005 1160 0000 1000 3567

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 3.00
Certified Fee	2.65
Return Receipt Fee (Endorsement Required)	2.15
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 7.80



Sent To **Miguel Maestas**
Avalon N.A.
 Street, Apt. No., or PO Box No. **9400 Harbor Road NW**
 City, State, ZIP+4 **Albuquerque, NM 87121**

PS Form 3800, June 2002

See Reverse for Instructions

7005 1160 0000 1000 3574

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

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Postage	\$ 3.00
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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 7.80



Sent To **Kelly Chappelle**
Avalon N.A.
 Street, Apt. No., or PO Box No. **9135 Santa Catalina Ave. NW**
 City, State, ZIP+4 **Albuquerque, NM 87121**

PS Form 3800, June 2002

See Reverse for Instructions

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 28 provided: 49
Handicapped spaces required: 2 provided: 3
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: —
provided: —
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)
- 15. Planting or tree well detail 16. Street Tree Plan as defined in the Street Tree Ord.

SHEET #3 –PRELIMINARY GRADING PLAN –

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 9/28/2006

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. For EPC and DRB submittals only – Color renderings or similar illustrations
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: Tierra West LLC DATE OF REQUEST: 1/22/08 ZONE ATLAS PAGE(S): K-9

CURRENT:

ZONING SU-2-PCA

PARCEL SIZE (AC/SQ. FT.) 1.1172 +/-

LEGAL DESCRIPTION:

(LOT) OR TRACT # 2 BLOCK # _____

SUBDIVISION NAME Krania

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|-------------------------|---|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT <input checked="" type="checkbox"/> |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT [] | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION []
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: ¹

OF UNITS: 1
BUILDING SIZE: 5329 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Keli D. Krueger DATE 1/22/08
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES NO [] BORDERLINE []

THRESHOLDS MET? YES NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes: 98th / CENTRAL TIS

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

Tony J. [Signature] DATE 1-22-08
TRAFFIC ENGINEER

Air Quality Impact Analysis (AQIA) May Be Required:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. An AQIA is not required, if a TIS is not required by the City or an associated TIS shows all signalized intersections functioning at Level of Service (LOS) C or better. An AQIA will only be required for a Sector Development Plan or Sector Development Plan Amendment if it meets AQIA thresholds in the Zoning Code.

AIR QUALITY IMPACT ANALYSIS (AQIA) REQUIRED: YES [] NO

Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

Keli D. Krueger DATE 1-22-08
APPLICANT

Required TIS and/or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 05/10/06 Tony J. [Signature] 1-22-08
-FINALIZED 1/1/06 TRAFFIC ENGINEER DATE

July 24

DRB CASE ACTION LOG - BLUE SHEET

- Preliminary/Final Plat [FP]
- Site Plan - Subdivision [SPS]
- Site Plan - Building Permit [SBP]

This sheet must accompany your plat or site plan to obtain delegated signatures. Return this sheet with site plan/plat to obtain signatures once comments have been addressed.

Site Plans: It is the responsibility of the applicant/agent/developer/owner to insert the DRB approved Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of building permit plansets. If the building permit plans have been submitted prior to the Site Plan for Subdivision and/or Site Plan for Building Permit being signed-off, then It is the responsibility of the applicant/agent/developer/owner to insert a copy of the signed-off Site Plan for Subdivision and/or Site Plan for Building Permit in each copy of the building permit plansets.

Project #: 1004354 Application #: 13DRB-70605
 Project Name: ORIGINAL TOWNSITE OF WESTLAND
 Agent: DAC ENTERPRISES, INC Phone #:

Your request was approved on 7-24-31 by the DRB with delegation of signature(s) to the following departments - outstanding comments to be addressed

- TRANSPORTATION:
- ABCWUA:
- CITY ENGINEER / AMAFCA:
- PARKS / CIP:
- PLANNING (Last to sign): *- ddb, city signatures*

PLATS:

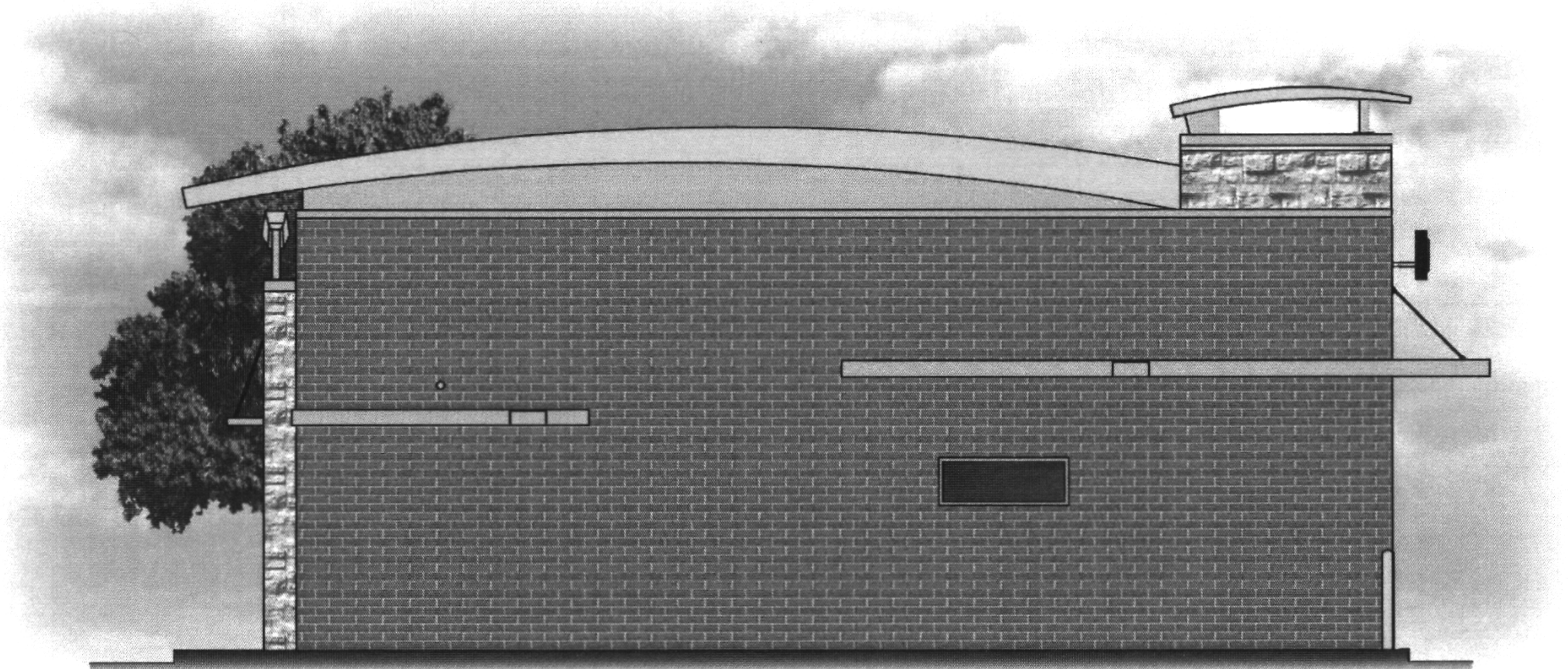
- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - County Treasurer's signature must be obtained prior to the recording of the plat with County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

ALL SITE PLANS:

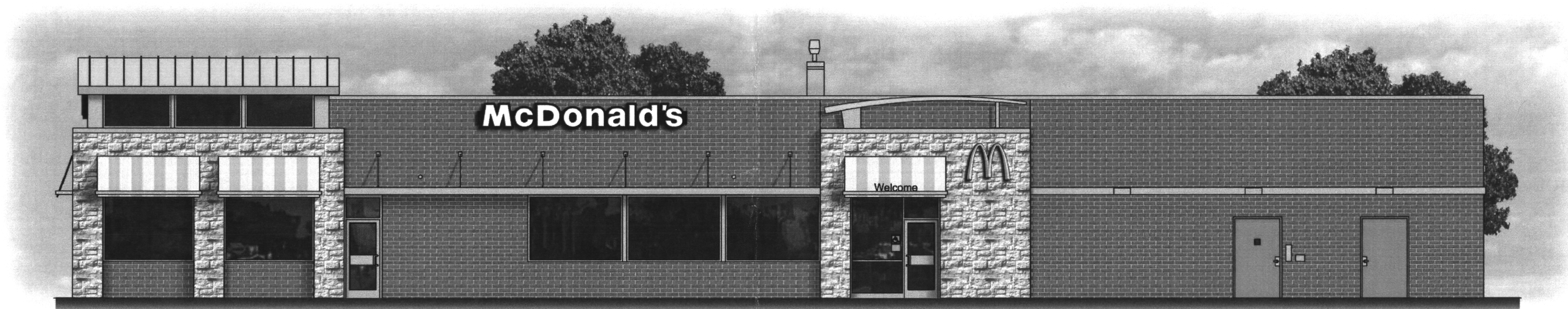
- 3 copies of the approved site plan. Include all pages.



FRONT ELEVATION



REAR ELEVATION



NON DRIVE-THRU SIDE ELEVATION



DRIVE-THRU SIDE ELEVATION



McDonald's

M

Welcome

McDonald's

McDonald's

M