

Location Map
Zone Atlas Map No. K-9-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: AREA=1.2453 ACRES±
 ZONE ATLAS INDEX NO: K-9-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2006, FIELD VERIFIED JULY 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING FIVE TRACTS INTO ONE NEW TRACT.

Notes:

- MISC. DATA: ZONING C-2
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006293119

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

A TRACT OF LAND LYING AND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED TWENTY TWO (22) THROUGH TWENTY SIX (26) INCLUSIVE, IN BLOCK NUMBERED NINE (9) OF THE ORIGINAL TOWNSITE OF WESTLAND AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1935, IN MAP BOOK D, FOLIO 53, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) GRID BEARINGS AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 98TH STREET, NW AND THE NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT BEARS S 30°05'14" W, A DISTANCE OF 99.07 FEET;

THENCE FROM SAID BEGINNING POINT, LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°18'25" E, A DISTANCE OF 207.36 FEET TO AN ANGLE POINT MARKED BY FOUND 1" IRON PIPE;

THENCE N 74°58'56" E, A DISTANCE OF 43.67 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A FOUND NUMBER 5 REBAR (BENT);

THENCE N 74°55'17" E, A DISTANCE OF 50.01 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP;

THENCE N 74°54'23" E, A DISTANCE OF 49.84 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A FOUND NUMBER 3 REBAR;

THENCE N 74°48'00" E, A DISTANCE OF 50.41 FEET TO AN ANGLE POINT OF DESCRIBED TRACT MARKED BY A FOUND 1/2" IRON PIPE;

THENCE N 75°09'24" E, A DISTANCE OF 49.71 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 15°08'09" E, A DISTANCE OF 199.73 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON SAID NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 10283";

THENCE S 74°36'14" W, A DISTANCE OF 50.35 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR (BENT);

THENCE S 75°14'15" W, ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT FIVE COURSES, A DISTANCE OF 49.69 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 74°36'30" W, A DISTANCE OF 50.27 FEET TO AN ANGLE POINT MARKED BY A FOUND IRON PIPE;

THENCE S 75°06'03" W, A DISTANCE OF 49.75 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 74°57'05" W, A DISTANCE OF 98.80 FEET TO THE POINT OF BEGINNING HAVING AN AREA OF 1.2453 ACRES (54,244 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT "A", MONAHITI SUBDIVISION.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Pete Daskalos
 PETE DASKALOS
 MONAHITI, LLC
 10/2/06
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 OFFICIAL SEAL
 CYNTHIA LOUISE ABEYTA
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My commission expires: 8-5-2008
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2ND DAY OF October, 2006 BY
 PETE DASKALOS, MONAHITI, LLC
 BY *Cynthia Louise Abeyta* MY COMMISSION EXPIRES: August 5, 2008
 NOTARY PUBLIC

Plat of
 Tract A
Monahiti Subdivision

Albuquerque, Bernalillo County, New Mexico

Project No. _____
 Application No. _____
 Utility Approvals _____

October 2006
PRELIMINARY PLAT
APPROVED BY DRB
 ON 10/11/06

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	DATE
City Approvals	
<i>[Signature]</i>	10-2-06
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 10/02/06
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



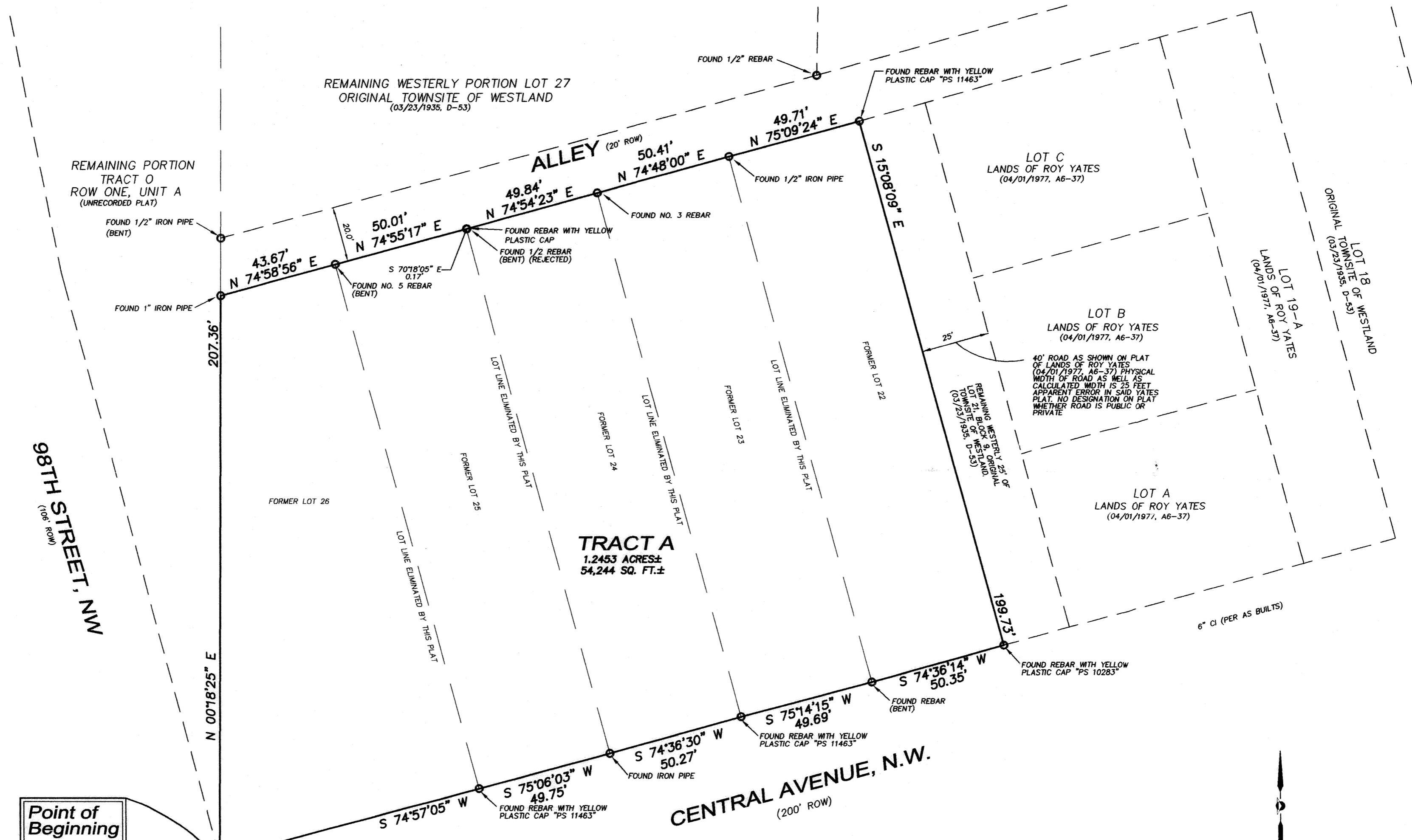
PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

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RECORDING STAMP

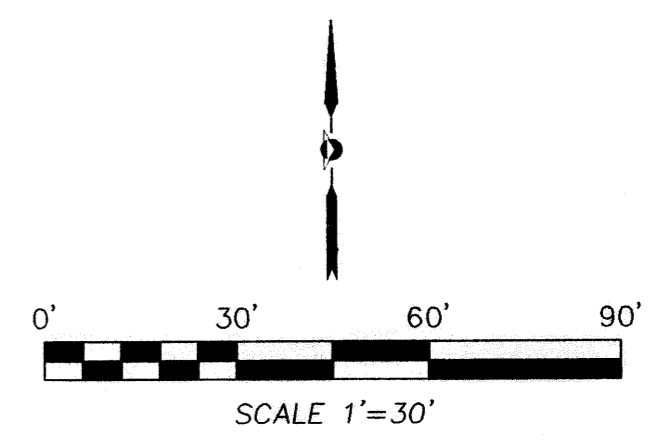
Plat of
Tract A
Monahiti Subdivision
 Albuquerque, Bernalillo County, New Mexico
 October 2006



Point of Beginning

A.C.S. MONUMENT "10-L9"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=352,794.84
 Y=1,482,084.51
 EL=5204.437 (NAVD 1929)
 GROUND TO GRID FACTOR=0.99967602
 DELTA ALPHA ANGLE=-016'58"

A.C.S. MONUMENT "7-K10"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=358,716.71
 Y=1,483,676.54
 EL=5095.142 (NAVD 1929)
 GROUND TO GRID FACTOR=0.99967921
 DELTA ALPHA ANGLE=-016'17"



Line Table

LINE	BEARING	DISTANCE
L1	S 14°50'36" E	20.19'
L2	N 75°09'24" E	10.85'

Legend

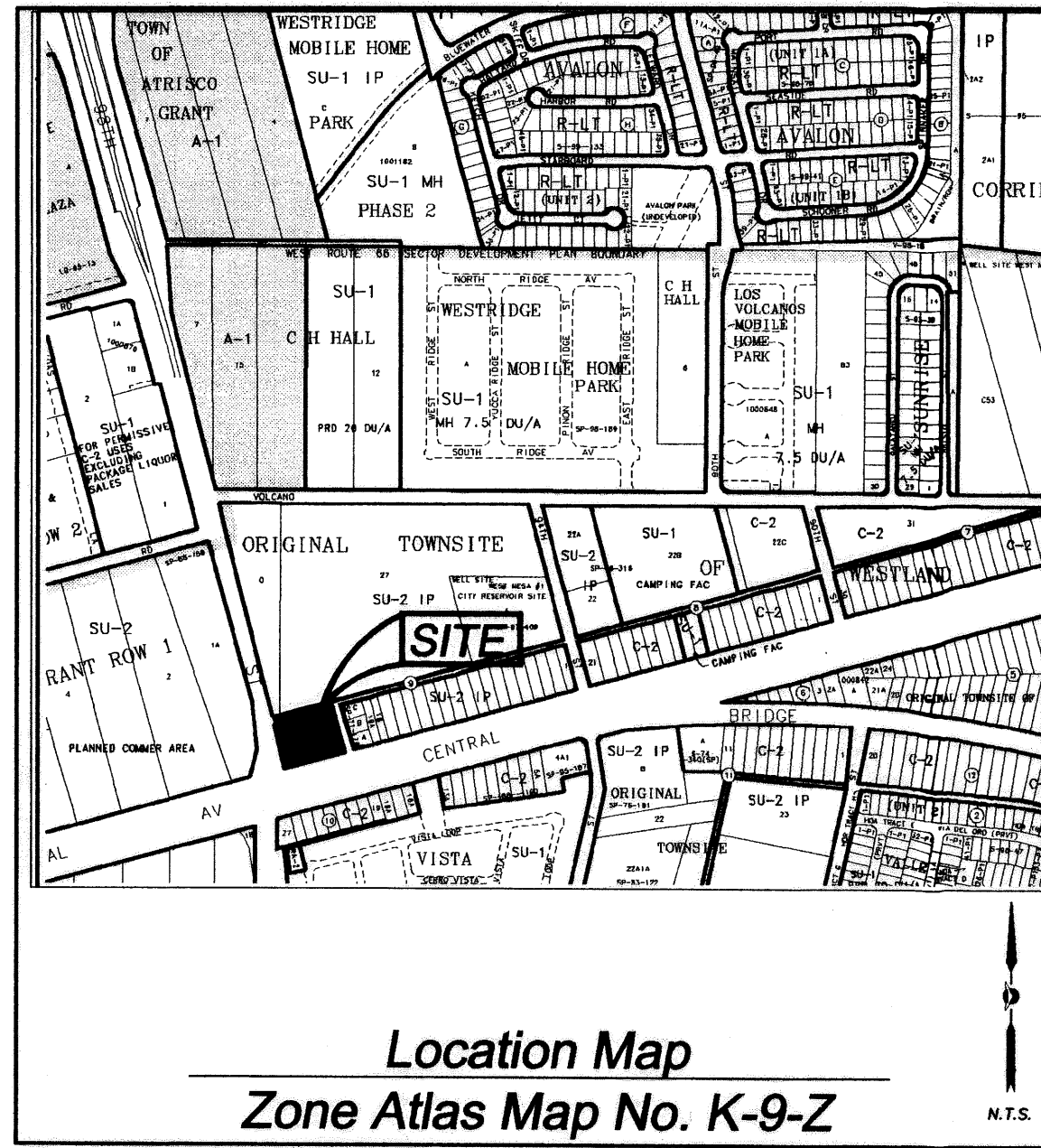
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- ⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

G:\Plats\2006\068353P.dwg, 10/2/2006 11:16:05 AM

#9



Location Map
Zone Atlas Map No. K-9-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: AREA=1.3566 ACRES±
 ZONE ATLAS INDEX NO.: K-9-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2006, FIELD VERIFIED JULY 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO VACATE THE EXISTING ALLEY (06DRB-01541 MAJOR VACATION OF PUBLIC EASEMENTS) AND TO REPLAT THE EXISTING FIVE TRACTS AND VACATED ALLEY INTO ONE NEW TRACT.

Notes:

- MISC. DATA: ZONING C-2
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006293119

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.
 IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Plat of
Tract A
Monahiti Subdivision
Albuquerque, Bernalillo County, New Mexico
November 2006

Legal Description

A TRACT OF LAND LYING AND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED TWENTY TWO (22) THROUGH TWENTY SIX (26) INCLUSIVE, IN BLOCK NUMBERED NINE (9) OF THE ORIGINAL TOWNSITE OF WESTLAND AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1935, IN MAP BOOK D, FOLIO 53, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) GRID BEARINGS AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

- BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 98TH STREET, NW AND THE NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT BEARS S 30°05'14" W, A DISTANCE OF 99.07 FEET;
- THENCE FROM SAID BEGINNING POINT, LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°18'25" E, A DISTANCE OF 207.36 FEET TO AN ANGLE POINT MARKED BY FOUND 1" IRON PIPE;
- THENCE N 00°20'45" E, A DISTANCE OF 20.88 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NUMBER 5 REBAR (BENT);
- THENCE N 75°55'40" E, A DISTANCE OF 238.06 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";
- THENCE S 15°08'09" E, A DISTANCE OF 219.96 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON SAID NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 10283";
- THENCE S 74°36'14" W, A DISTANCE OF 50.35 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR (BENT);
- THENCE S 75°14'15" W, ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT FIVE COURSES, A DISTANCE OF 49.69 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";
- THENCE S 74°36'30" W, A DISTANCE OF 50.27 FEET TO AN ANGLE POINT MARKED BY A FOUND IRON PIPE;
- THENCE S 75°06'03" W, A DISTANCE OF 49.75 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";
- THENCE S 74°57'05" W, A DISTANCE OF 98.80 FEET TO THE POINT OF BEGINNING HAVING AN AREA OF 1.3566 ACRES (59,095 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT "A", MONAHITI SUBDIVISION.

Final Project No. 1004354
 PRELIMINARY PLAT Application No. 06DRB-
 APPROVED BY DRB Utility Approvals
 ON 12/5/07

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE 11/19/07
QWEST TELECOMMUNICATIONS	DATE 1-22-07
COMCAST	DATE
NEW MEXICO UTILITIES	DATE
City Approvals	
CITY SURVEYOR	DATE 12-11-06
REAL PROPERTY DIVISION	DATE
ENVIORNMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER'S CERTIFICATE

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Pete Daskalos
 PETE DASKALOS
 MONAHITI, LLC
 DATE 12/5/06

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF December, 2006 BY PETE DASKALOS, MONAHITI, LLC
 BY *Cynthia Louise Abeyta* MY COMMISSION EXPIRES: 08-05-2008
 NOTARY PUBLIC

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE 12/5/06

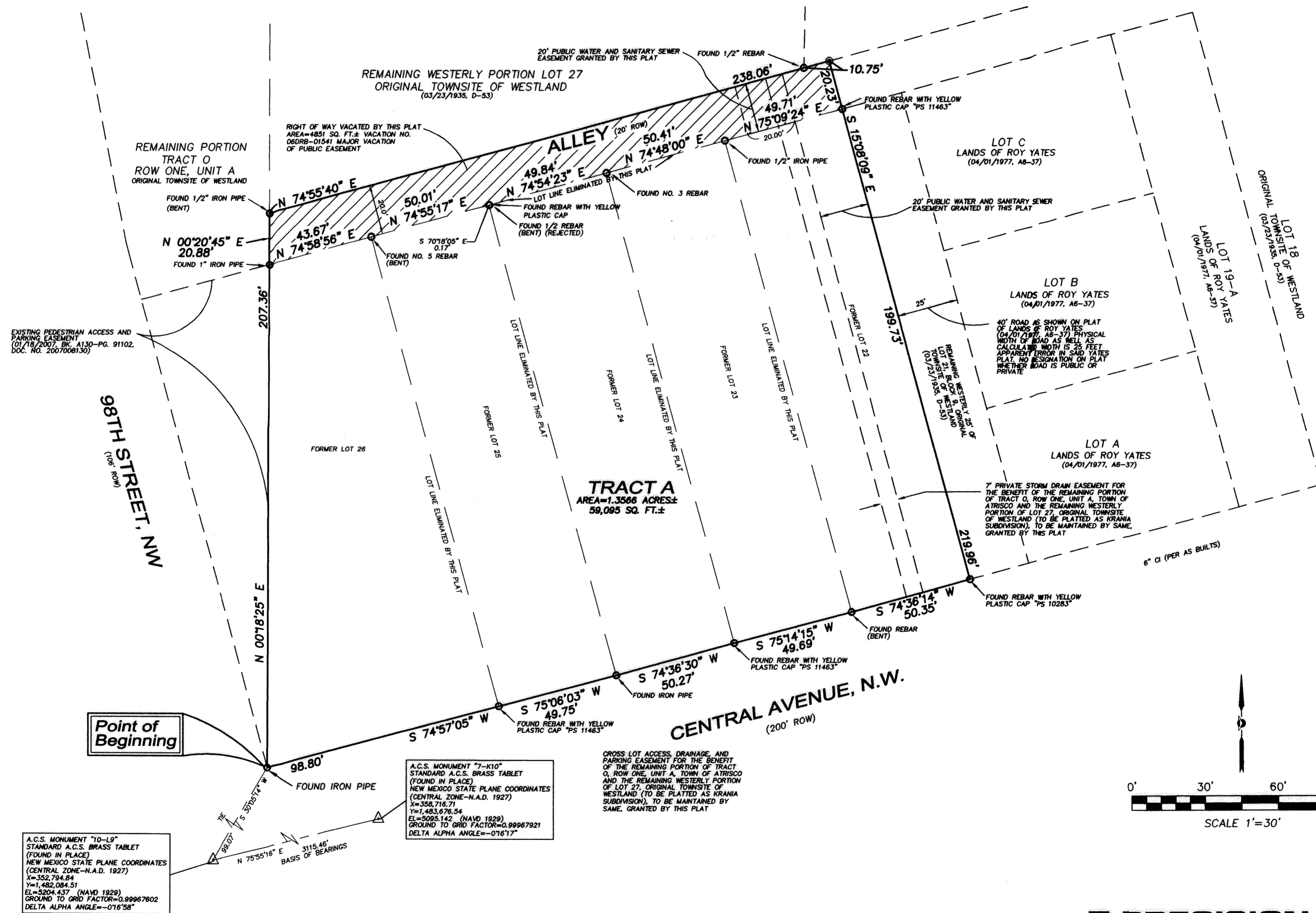


8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

RECORDING STAMP

Plat of
Tract A
Monahiti Subdivision
Albuquerque, Bernalillo County, New Mexico
January 2007

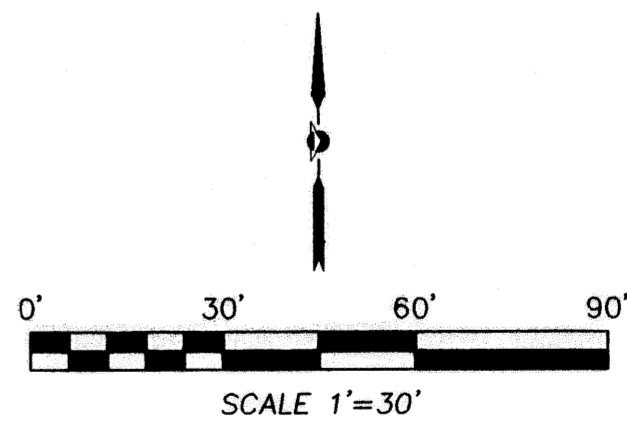


Point of Beginning

A.C.S. MONUMENT "10-L9"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=352,794.84
Y=1,482,084.51
EL=5204.437 (NAVD 1929)
GROUND TO GRID FACTOR=0.99967802
DELTA ALPHA ANGLE=-016'58"

A.C.S. MONUMENT "7-K10"
STANDARD A.C.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=358,716.71
Y=1,483,676.54
EL=5025.142 (NAVD 1929)
GROUND TO GRID FACTOR=0.99967921
DELTA ALPHA ANGLE=-016'17"

CROSS LOT ACCESS, DRAINAGE AND
PARKING EASEMENT FOR THE BENEFIT
OF THE REMAINING PORTION OF TRACT
O, ROW ONE, UNIT A, TOWN OF ATRISCO
AND THE REMAINING WESTERLY PORTION
OF LOT 27, ORIGINAL TOWNSITE OF
WESTLAND (TO BE PLATTED AS KRANIA
SUBDIVISION), TO BE MAINTAINED BY
SAME, GRANTED BY THIS PLAT



Line Table

LINE	BEARING	DISTANCE
L1	S 14°50'36" E	20.19'
L2	N 75°09'24" E	10.85'

Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

PROPOSED DESIGN GUIDELINES

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

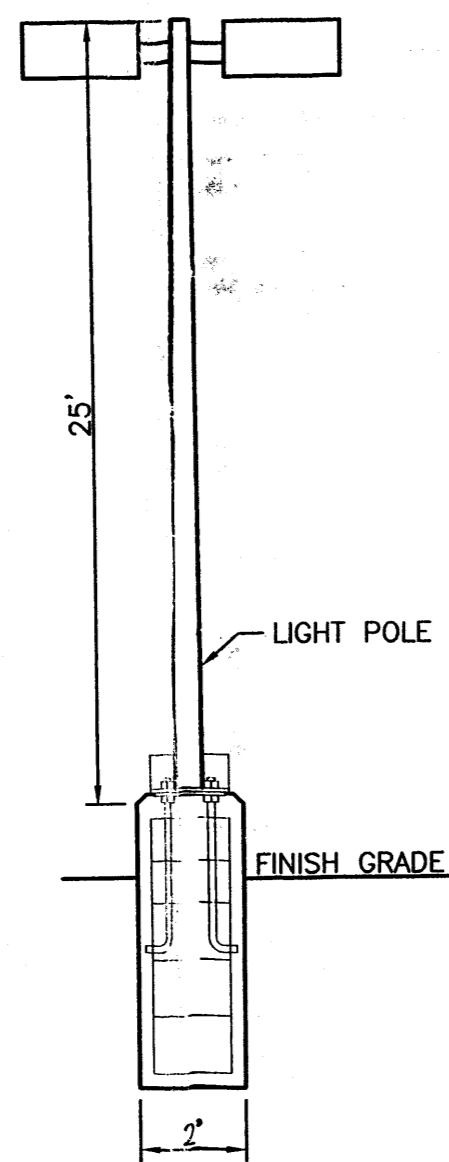
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELEGATED DOWN TO DRB.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

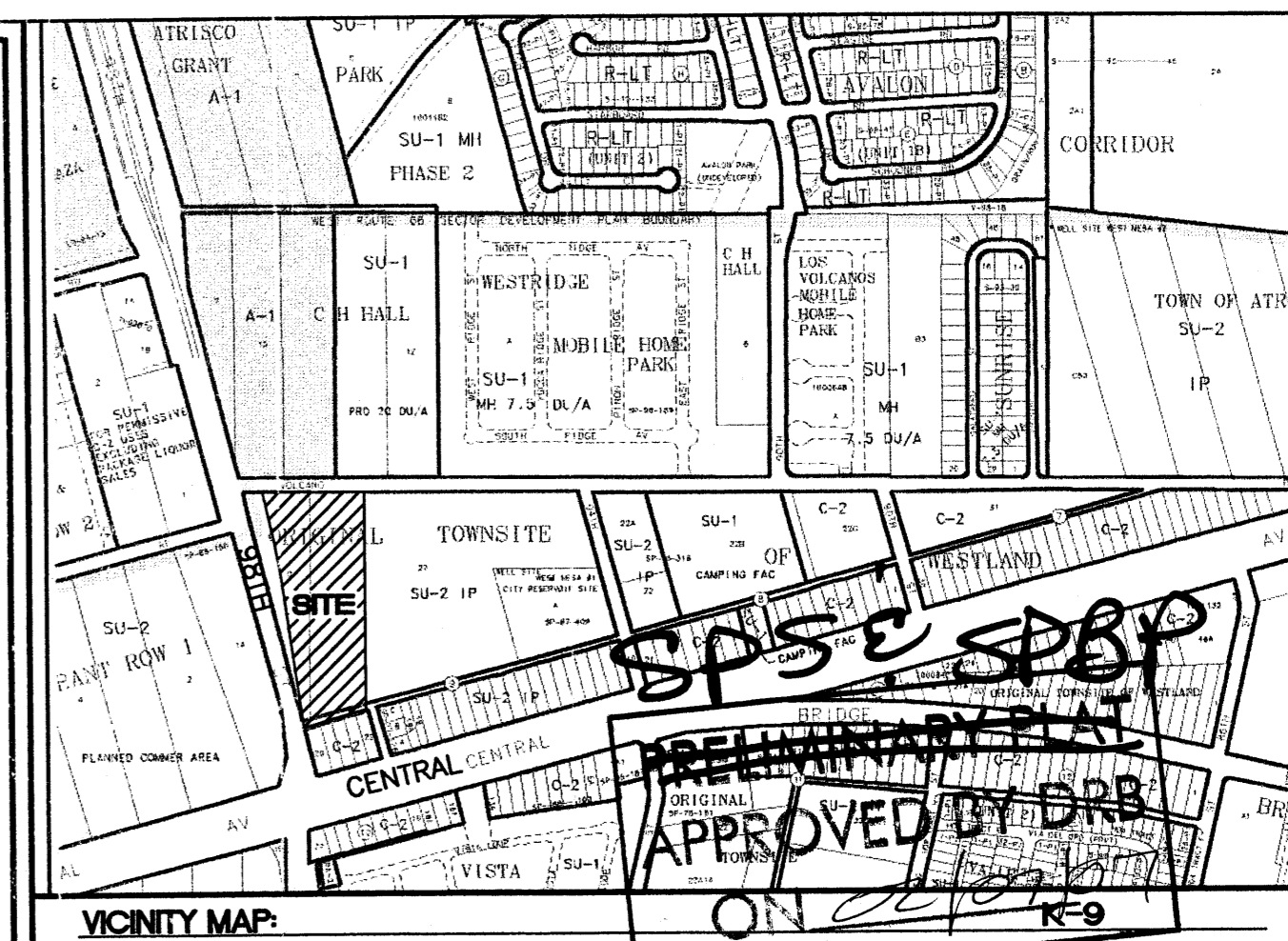
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

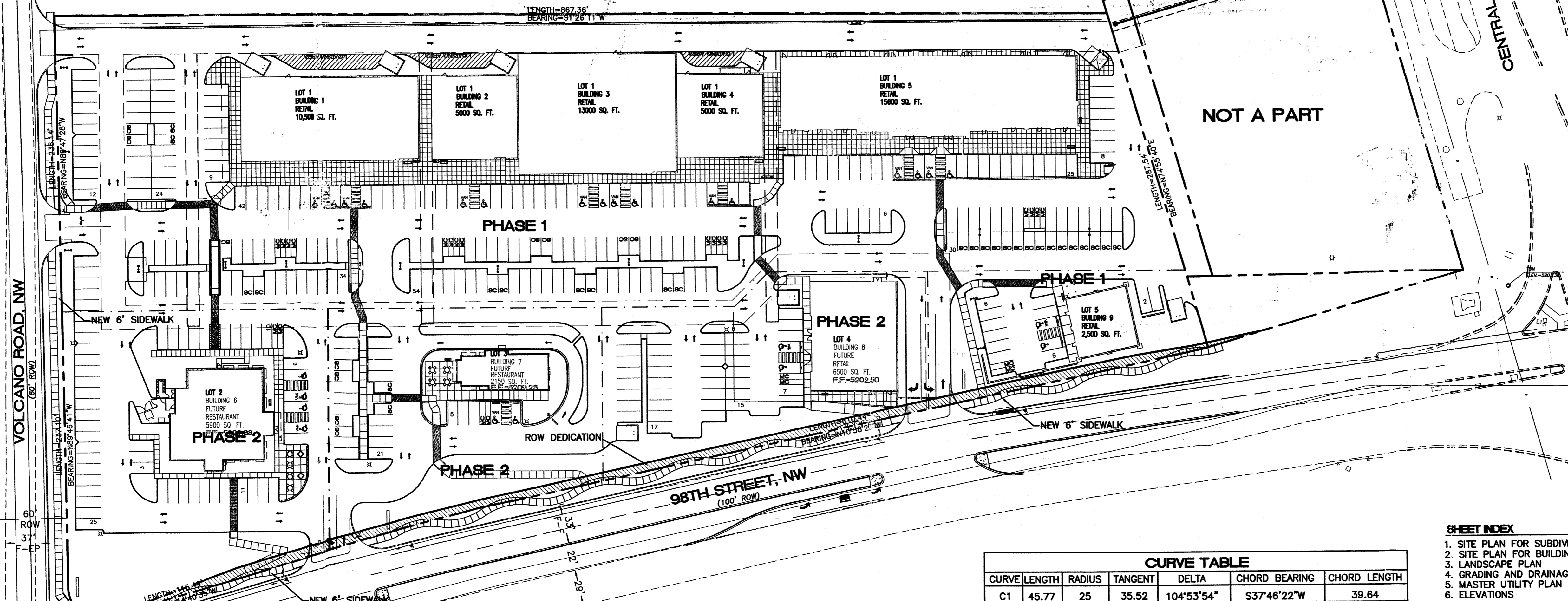
* Environmental Health, if necessary



VICINITY MAP:
LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- - - EXISTING CURB AND GUTTER
- ==== CURB AND GUTTER
- ===== SCREEN WALL
- ===== RETAINING WALL
- ===== PROPOSED SIDEWALK
- ===== EXISTING BOUNDARY
- ===== CROSSWALK
- ===== BIKE RACK
- ===== PARKING LOT LIGHTING
- ===== ROW DEDICATION



CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	45.77	25	35.52	104°53'54"	S37°46'22"W	39.64
C2	203.22	3146.20	101.64	3°42'03"	N14°39'19"W	203.18

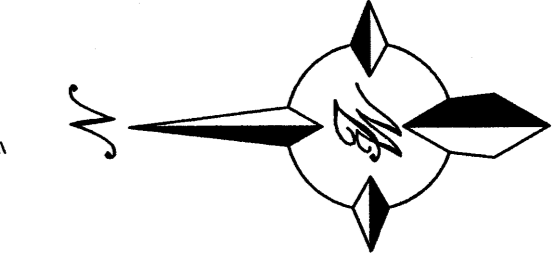
SITE DATA TABLE

BUILDING	LOT NUMBER	AREA (AC)	BUILDING AREA	PROPOSED USE	ZONING	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	MOTORCYCLE SPACES REQ.	MOTORCYCLE SPACES PROV.	MIN. FAR	MAX. FAR	MAX. BLDG. HEIGHT
1	1	4.794	10,500	RETAIL	SU-2 IP	53	249	4	4	1	2	2	5	3	4	0.15	0.35	40'
2	1	4.794	5,000	RETAIL	SU-2 IP	25	249	1	2	1	1	2	5	1	2	0.15	0.35	40'
3	1	4.794	13,000	RETAIL	SU-2 IP	65	249	4	4	1	2	3	5	3	4	0.15	0.35	40'
4	1	4.794	5,000	RETAIL	SU-2 IP	25	249	1	2	1	1	2	5	1	2	0.15	0.35	40'
5	1	4.794	15,600	RETAIL	SU-2 IP	78	249	4	4	1	2	3	5	3	4	0.15	0.35	40'
6	2	1.146	5,900	RESTAURANT	SU-2 IP	48	50	3	4	1	2	2	5	2	2	0.15	0.35	40'
7	3	0.870	2,150	RESTAURANT	SU-2 IP	18	21	1	2	1	1	2	5	1	2	0.15	0.35	40'
8	4	0.791	6,500	RETAIL	SU-2 IP	33	39	2	2	1	1	2	5	2	2	0.15	0.35	40'
9	5	0.450	2,500	RETAIL	SU-2 IP	13	13	1	2	1	1	2	5	1	2	0.15	0.35	40'
TOTAL	6	8.051	68,550			358	372	21	26	9	13	17	45	16	24			

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

- SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- DETAILS



GRAPHIC SCALE
SCALE: 1"=50'

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>NORTHEAST CORNER OF 98TH AND CENTRAL</p>	<p>DRAWN BY EMT</p>
	<p>SITE PLAN FOR SUBDIVISION</p>	<p>DATE 2-5-07</p>
	<p>TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	<p>2566-SPSE.dwg</p>
		<p>SHEET # 1</p>
		<p>JOB # 25066</p>

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
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 - BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE SU-2 1P CITY ZONING CODE.
 - THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
 - BUS ROUTE 54 RUNS FROM 98TH STREET, NW TO CENTRAL AVENUE, N.W.
 - NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
 - APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, AND 4 TO BE DELEGATED TO DRB.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

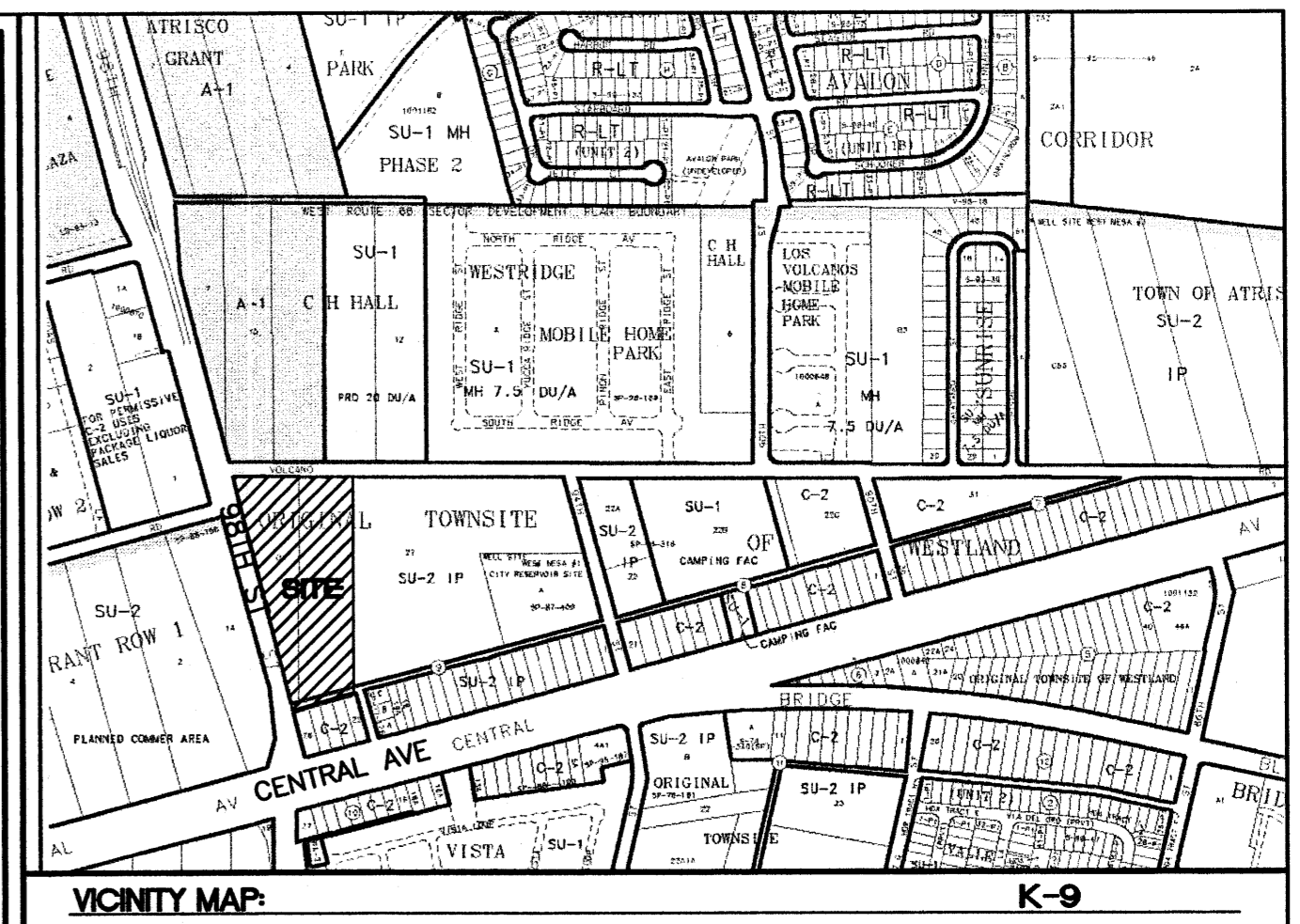
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DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

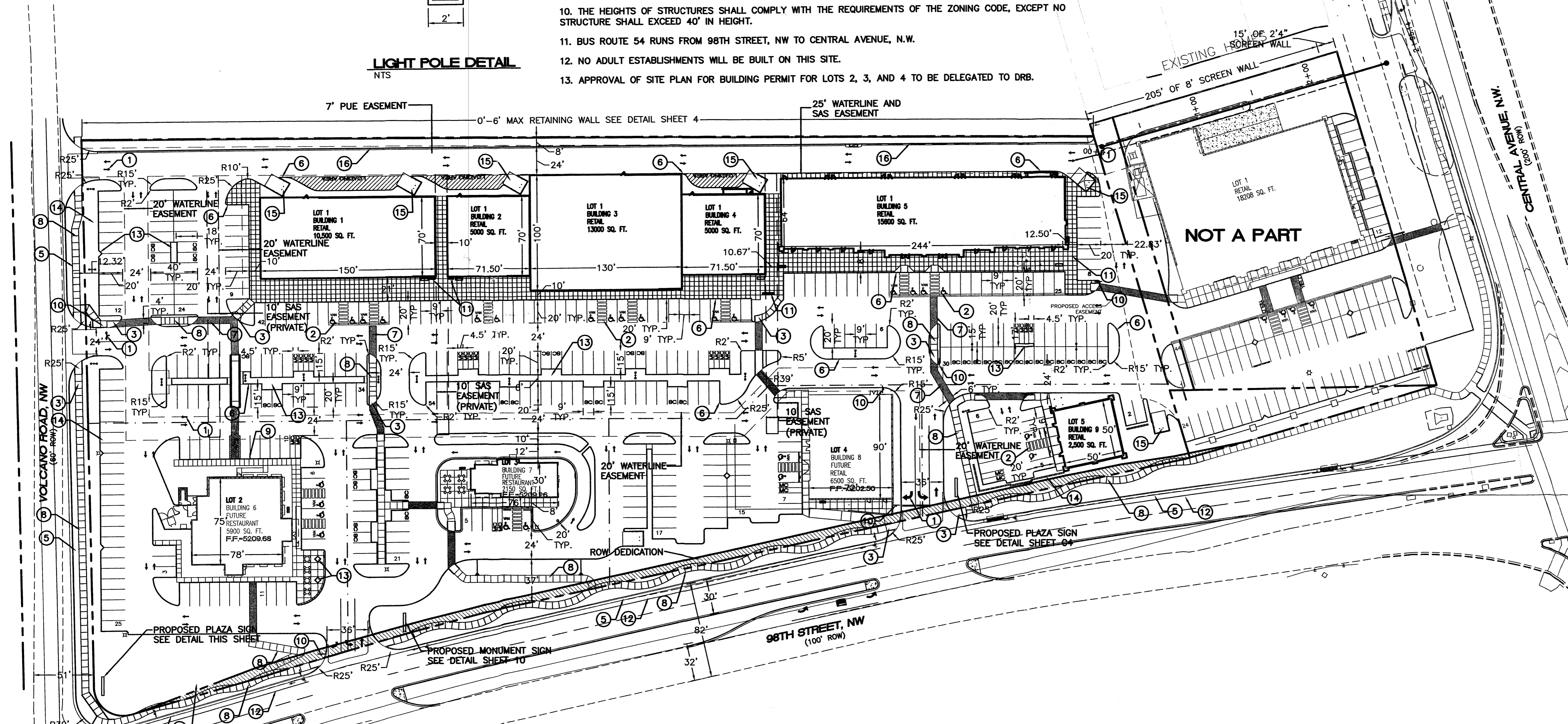
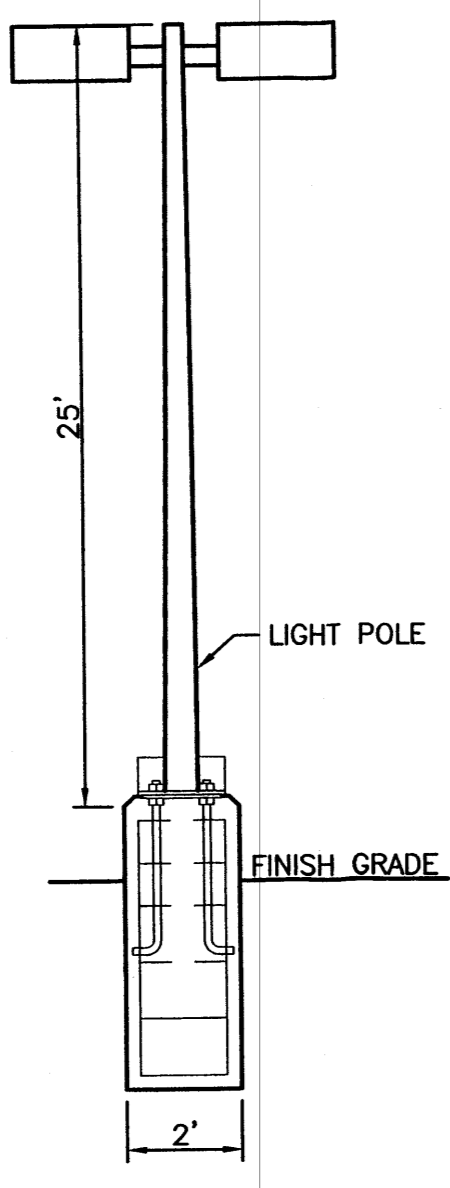


LEGAL DESCRIPTION:
TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

- LEGEND**
- BOUNDARY LINE
 - - - - EASEMENT
 - ==== EXISTING CURB AND GUTTER
 - ==== CURB AND GUTTER
 - ==== SCREEN WALL
 - ==== RETAINING WALL
 - ==== PROPOSED SIDEWALK
 - ==== EXISTING BOUNDARY
 - ==== CROSSWALK
 - BIKE RACK
 - PARKING LOT LIGHTING
 - BENCH
 - ==== ROW DEDICATION

- KEYED NOTES:**
- PAINTED DIRECTIONAL ARROW TYPICAL.
 - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
 - UNIDIRECTIONAL HC RAMP.
 - PROPOSED HC RAMP PER COA STD DWG #2441.
 - 8" STANDARD CURB AND GUTTER PER COA STD DWG #2415A.
 - 6" CONCRETE HEADER CURB
 - 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK.
 - 6' CONCRETE SIDEWALK TYPICAL.
 - TRASH COMPACTOR
 - "STOP" SIGN. SEE PLAN FOR LOCATION.
 - 5 SPACE BIKE RACK TYPICAL.
 - NEW 6' BIKE PATH.
 - TREE PLANTER TYPICAL.
 - RETAINING WALL TAN CMU SEE SHEET 10.
 - DUMPSTER WITH ENCLOSURE SEE SHEET 10 FOR DETAILS.
 - 6" CONCRETE CURB AND GUTTER

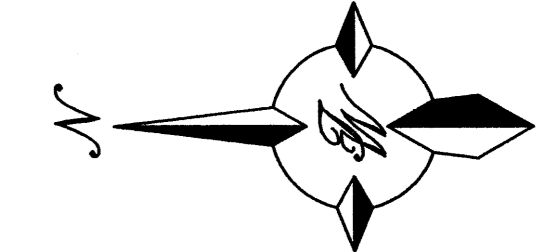
LIGHT POLE DETAIL
NTS



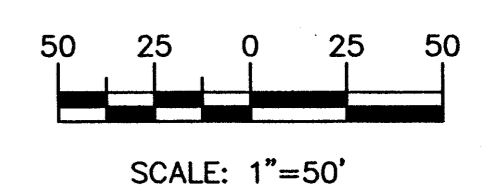
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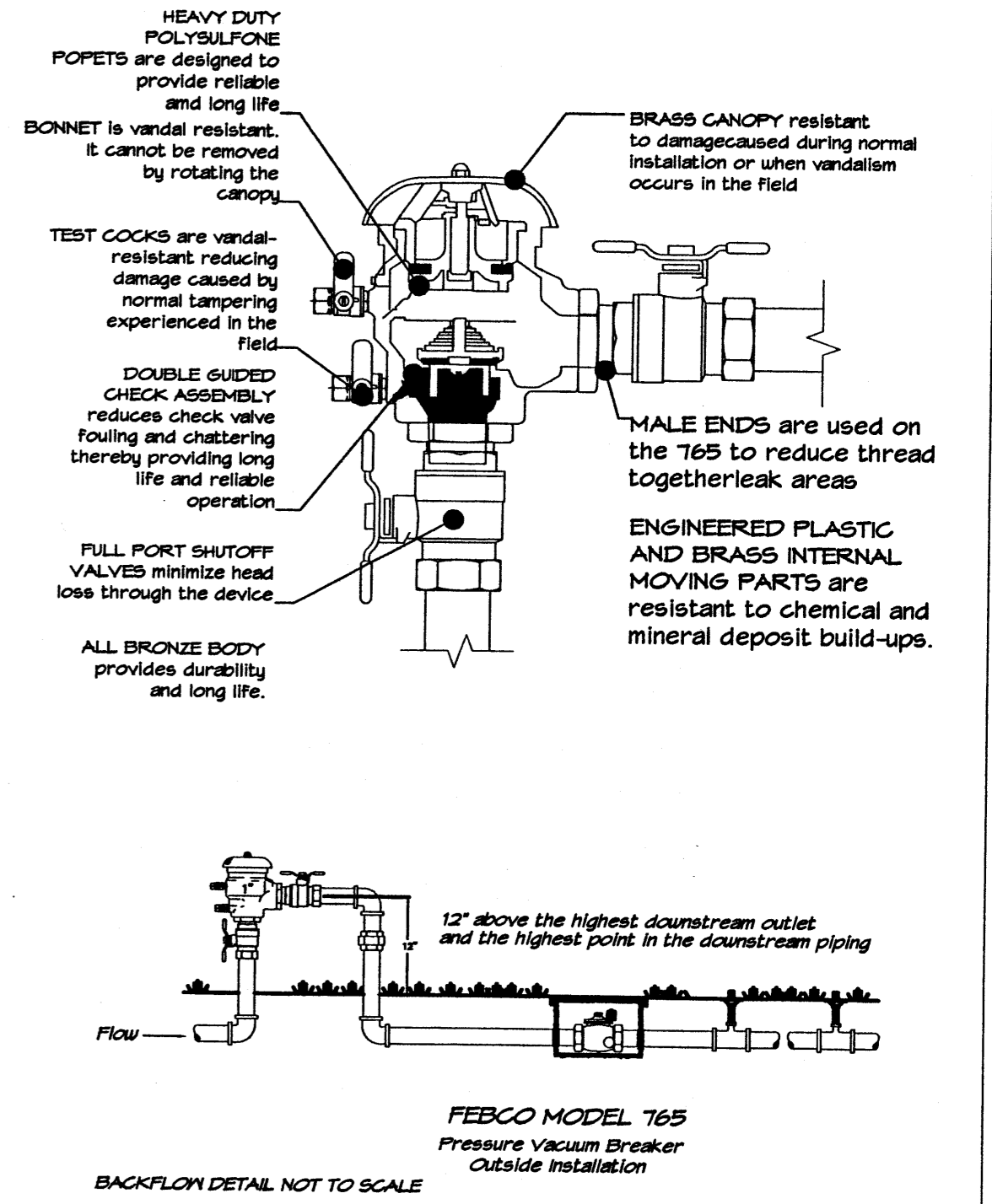
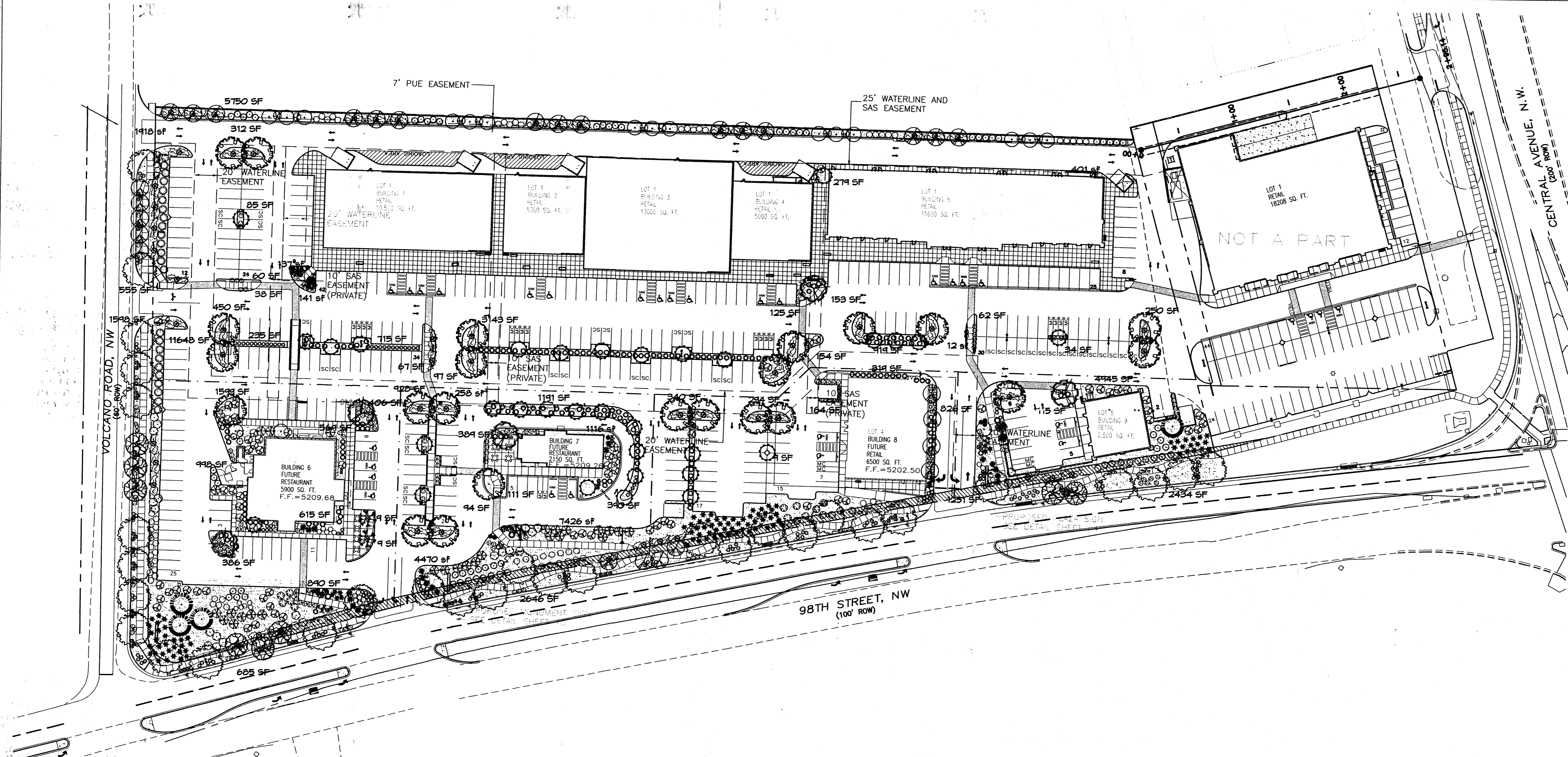
*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS



GRAPHIC SCALE



	NORTHEAST CORNER OF 98TH AND CENTRAL	DRAWN BY: EMT DATE: 2-5-07 2566-SPB.dwg
	SITE PLAN FOR BUILDING PERMIT	SHEET # 2
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 25066



PLANT LEGEND

- CHINESE PISTACHE (M) 23
Pistacia chinensis
2" Cal.
- CHINQUAPIN OAK (M) 31
Quercus muhlenbergii
2" Cal.
- SHUMARD OAK (M) 5
Quercus shumardii
2" Cal.
- REDBUD (M) 8
Cercis spp.
2" Cal.
- AFGHAN FINE (M) 4
Pinus eldarica
6'-8"
- KENTUCKY COFFEE TREE (M) 28
Gymnocladus dioica
2" Cal.
- CHITALPA (M) 32
Chilopsis x Catalpa
24" Box
- PALM YUCCA (L) 4
- MUGO FINE (M) 4
Pinus mugo
5 Gal. 45f
- OCOTILLO (L) 4
Fouquieria splendens
- FRICKLY PEAR (L) 12
Opuntia macrocentra
4 9f
- JAPANESE BOXWOOD (M) 23
Buxius spp.
5 Gal. 64sf
- DESERT WILLOW (L) 18
Chilopsis linearis
5 Gal. 225 sf
- VITEX (M) 2
Vitex agnus-castus
15 Gal. 225 sf
- BIRD OF PARADISE (L) 24
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 28
Buddleia davidii
5 Gal. 100sf
- RUSSIAN SAGE (M) 71
Perovskia atriplicifolia
5 Gal. 36sf
- UPRIGHT ROSEMARY (M) 144
Rosmarinus officinalis
5 Gal. 36sf
- APACHE PLUME (L) 71
Fallugia paradoxa
5 Gal. 25sf
- MAIDENGRASS (M) 114
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 12
Muhlenbergia capillaris
5 Gal. 45f
- RED YUCCA (L) 22
Hesperaloe parviflora
5 Gal. 45f
- HONEYBUCKLE (M) 86
Lonicera japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- BENCH 6
- CHAMISA (L) 14
Chrysothamnus nauseosus
1 Gal. 25sf
- FLOWERING BROOM (M) 61
Cytisus scoparius / Genista hispanica
1 Gal. 16sf
- AUTUMN SAGE (M) 33
Salvia greggii
1 Gal. 45f
- LAVENDER (M) 141
Lavandula angustifolia
1 Gal. 45f
- THREADGRASS (M) 71
Stipa tenuissima
1 Gal. 45f
- MILDFLOWER 182
1 Gal. 45f
- CREeping ROSEMARY (L) 174
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol Indicates 3 plants
- LADY BANK'S ROSE (M) 2
Rosa banksiae
5 Gal.
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity. Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

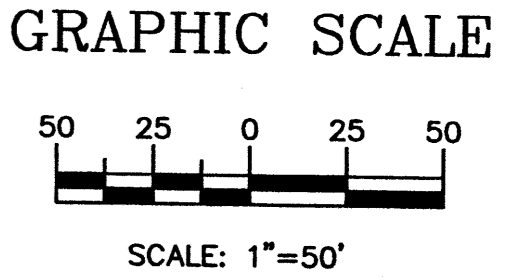
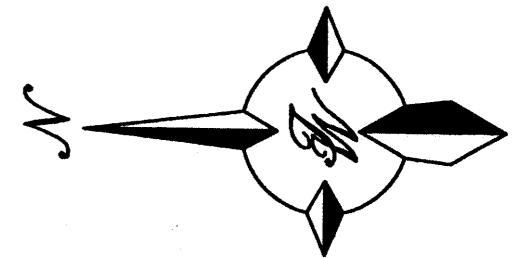
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.
Water and Power source shall be the responsibility of the Developer/Builder.

PARKING LOT TREE REQUIREMENTS
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required # 41 Provided # 72

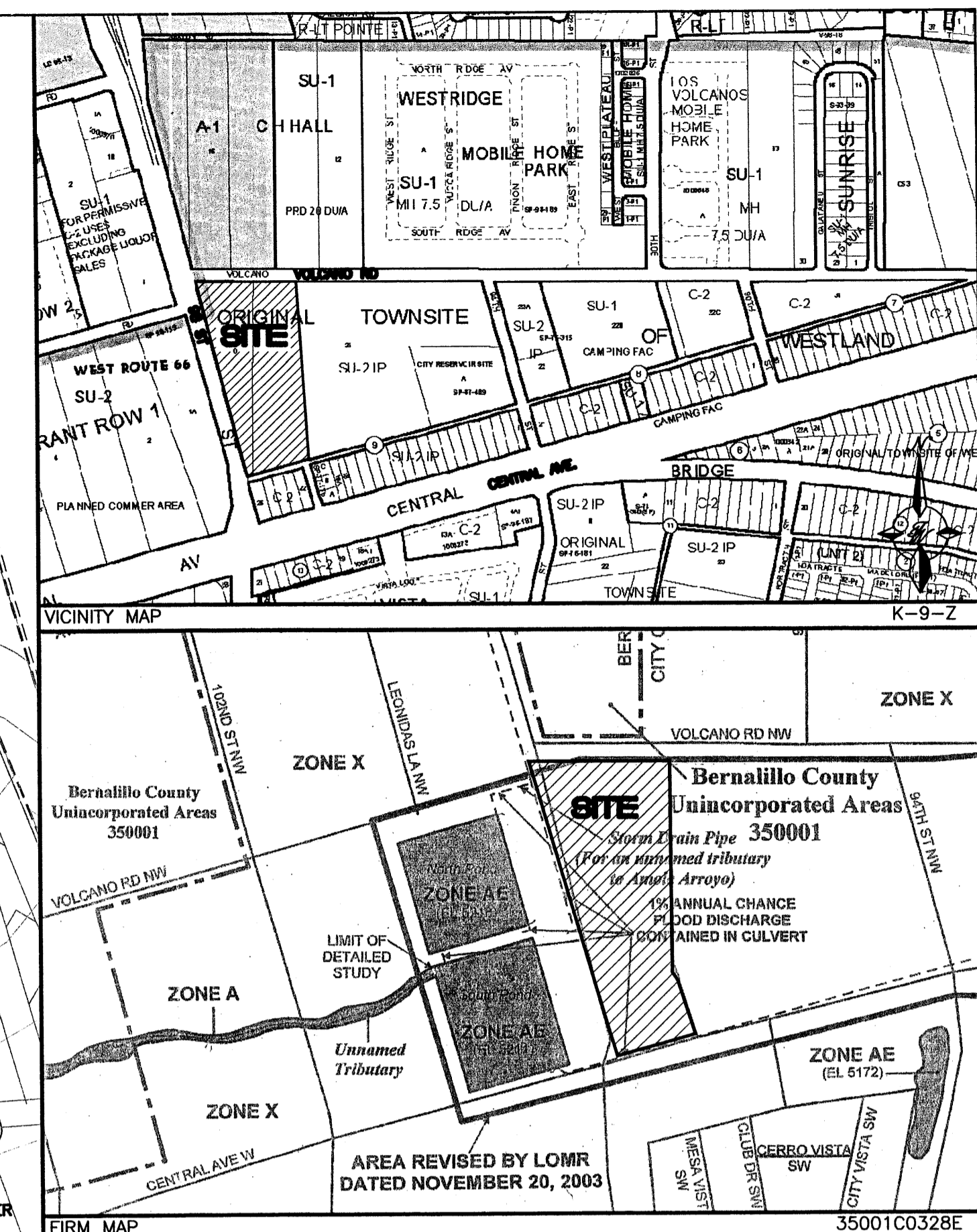
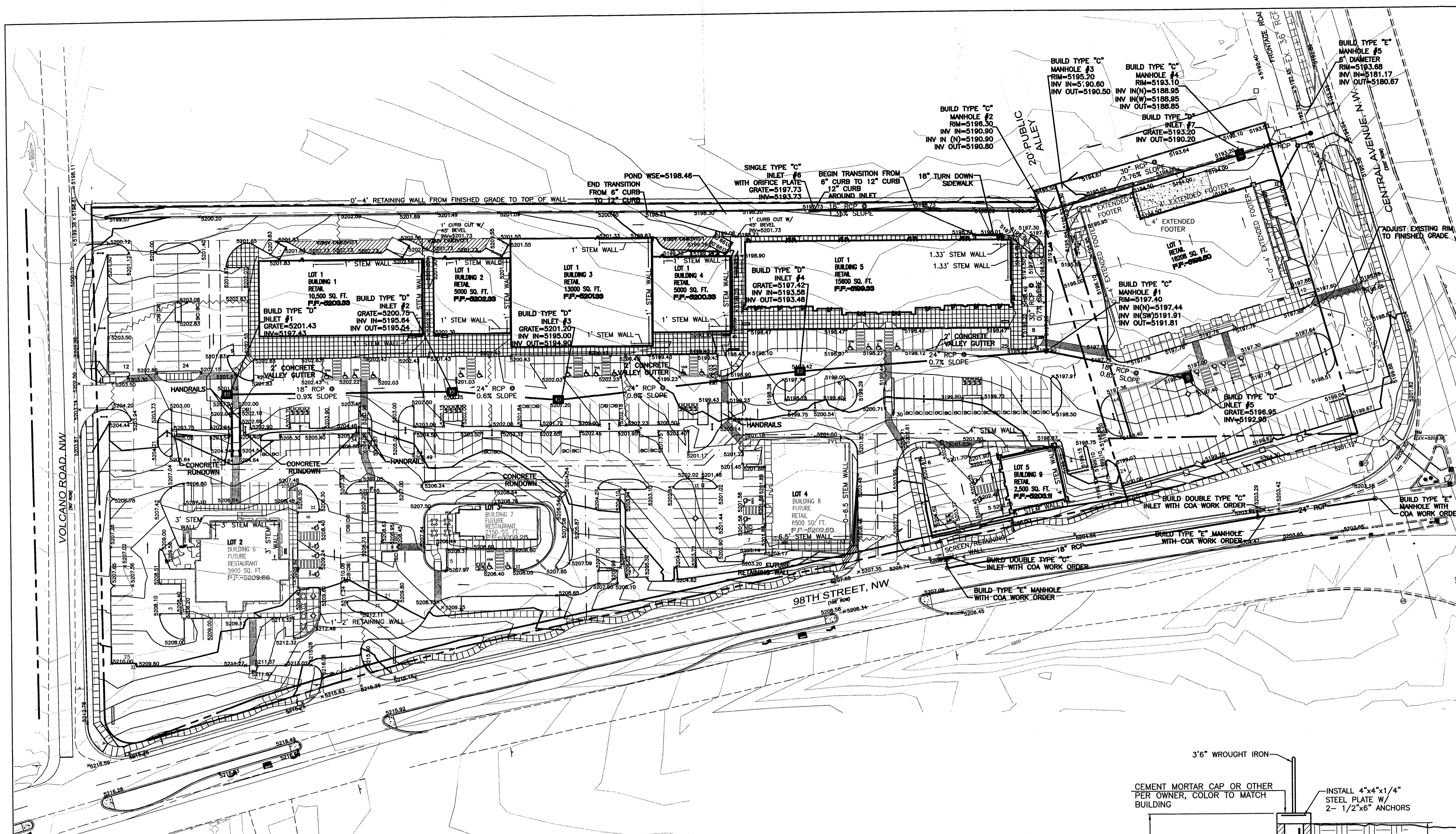
LANDSCAPE CALCULATIONS

TOTAL LOT AREA	350325	square feet
TOTAL BUILDINGS AREA	66150	square feet
OFFSITE AREA	7918	square feet
NET LOT AREA	249203	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	43814	square feet
TOTAL BED PROVIDED	57401	square feet
GROUND COVER REQ.	80%	square feet
TOTAL GROUND COVER REQUIREMENT	45921	square feet
TOTAL GROUND COVER PROVIDED	45980 (80.1%)	square feet
TOTAL LANDSCAPE PROVIDED	57401	square feet

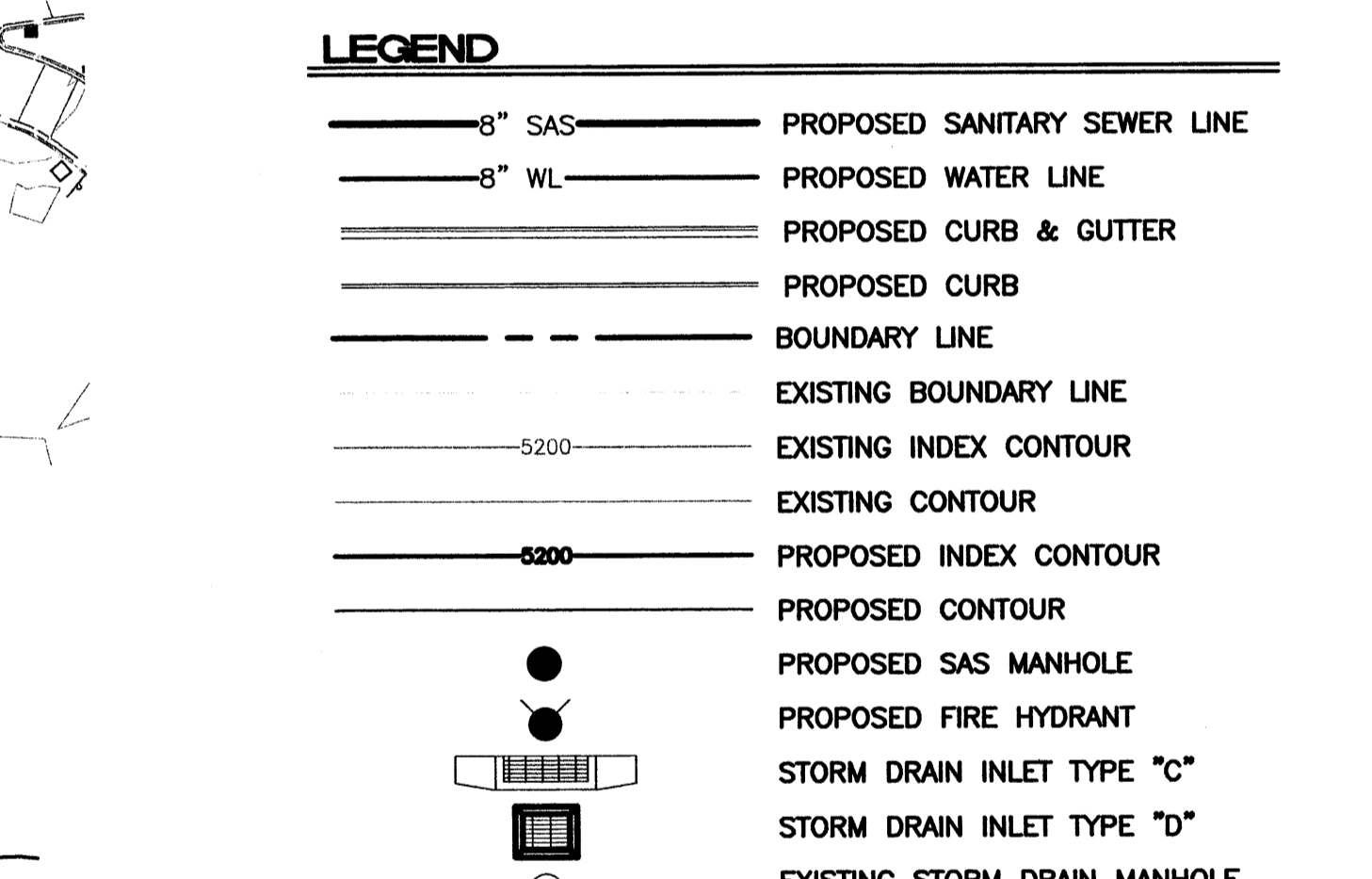


The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cm@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

<ul style="list-style-type: none"> 2-2-07 ADF 1-31-07 ADF 1-24-07 ADF 11-28-06 RMM 11-08-06 RMM 10-26-06 ADF 9-6-06 ADF 	98TH AND CENTRAL	DRAWN BY CJ
	LANDSCAPE PLAN	DATE 2/5/07
	<p style="text-align: center;">TIERRA WEST, LLC 8508 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p>	SHEET # 3
		JOB # 25066



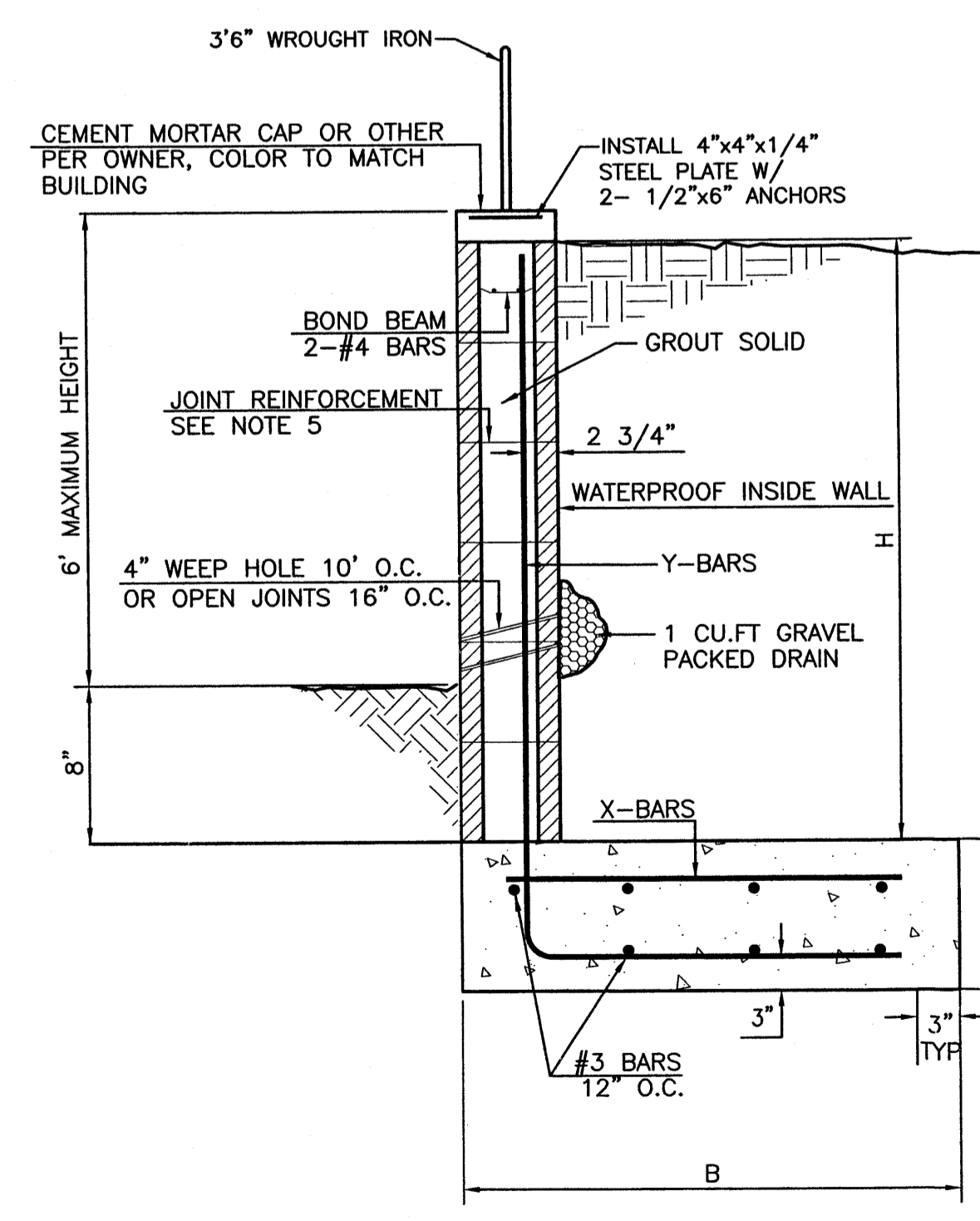
LEGAL DESCRIPTION:
 LOTS 22 THRU 26 AND PORTION OF LOT 27, BLOCK 9 AND TRACT O, ORIGINAL TOWNSITE OF WESTLAND, BERNALILLO COUNTY, NEW MEXICO



- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
 - 30 BAR DIAMETER LAPS TYPICAL.
 - DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
 - OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
 - OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
 - SOLID MASONRY CAP COURSE TYPICAL.
 - WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

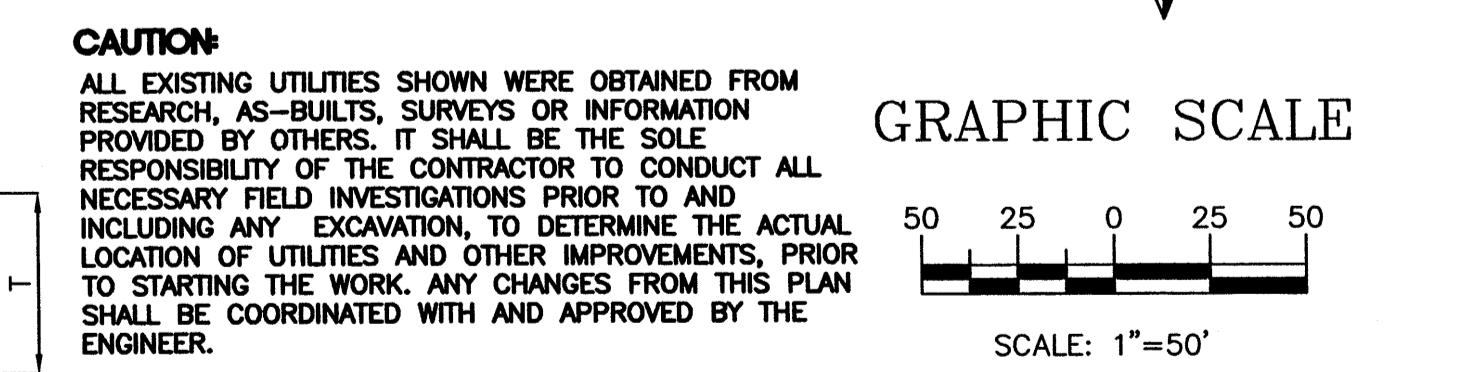
H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-9"	9"	#4 @ 24" O.C.	
3'-4"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.



'L' FOOTING RETAINING WALL DETAIL
 NTS

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

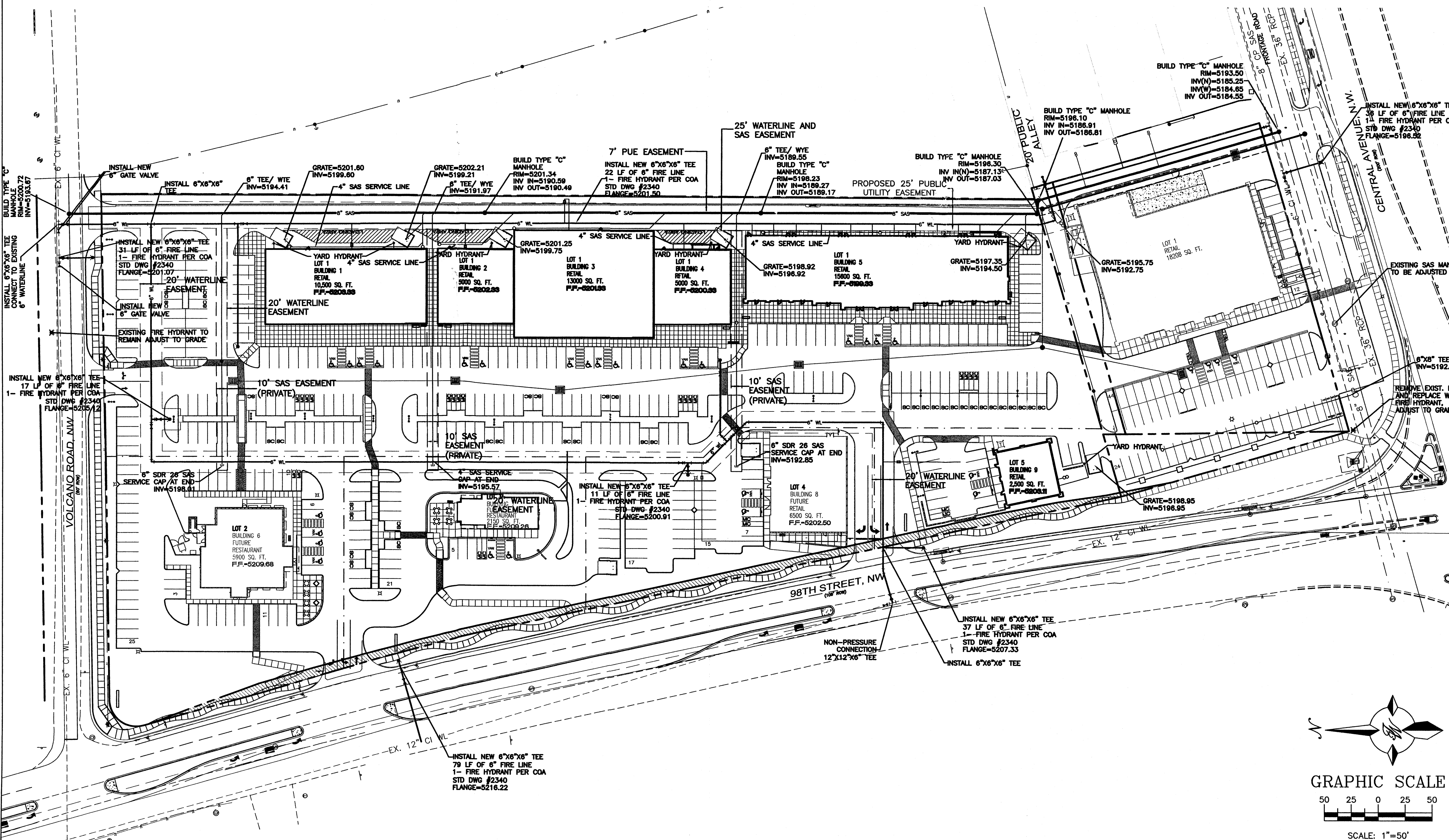
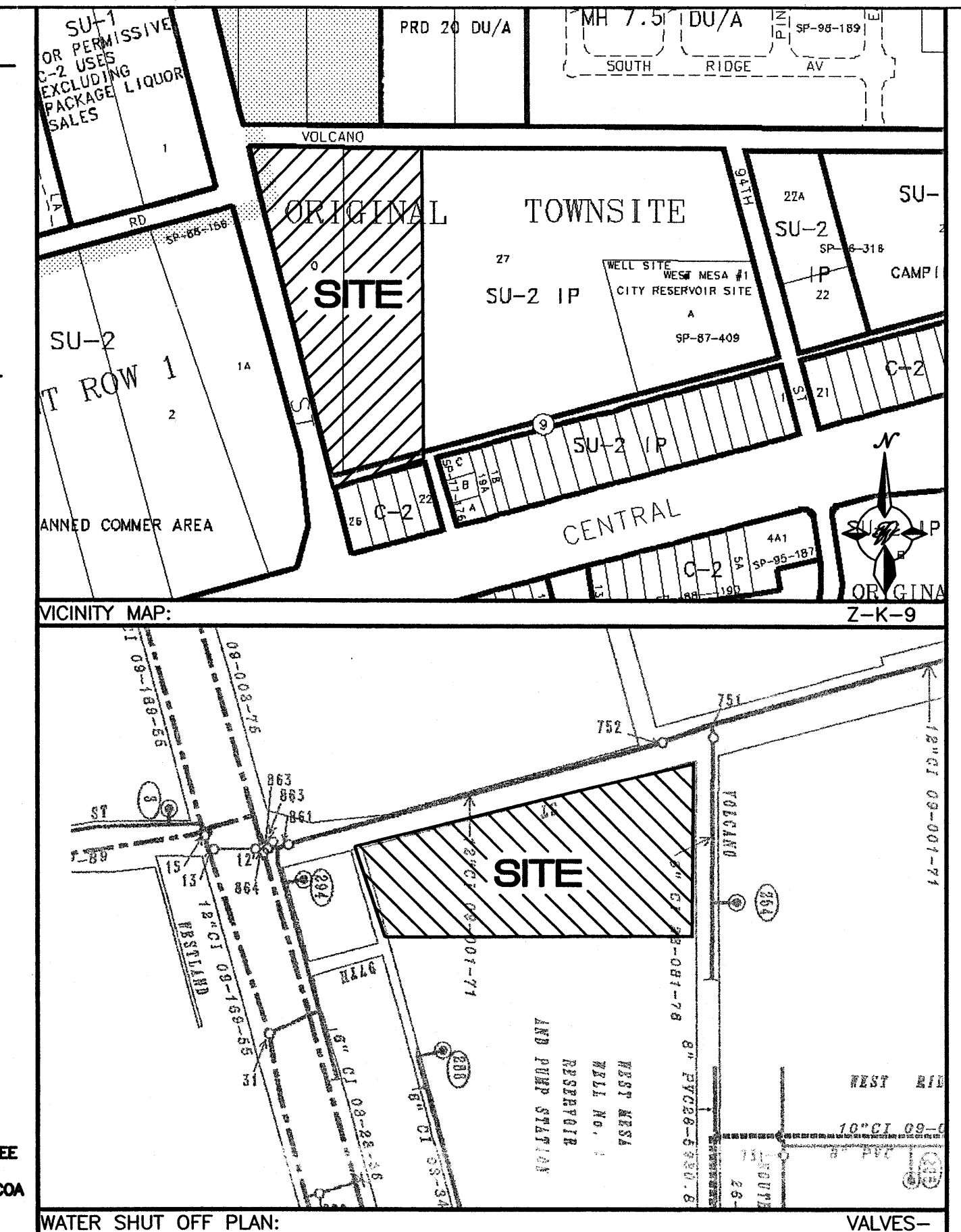
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



	NORTHEAST CORNER OF 98TH AND CENTRAL GRADING AND DRAINAGE PLAN	DRAWN BY EMT DATE 2-5-07 2566-GRB.dwg
		SHEET # 4 JOB # 25066

NOTICE TO CONTRACTORS

1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. THERE SHALL BE NO DIRECT CONNECTION TO CITY WATER SYSTEM. ALL CONNECTIONS ARE TO BE MADE THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE OF SUFFICIENT SIZE TO MEET THE FLUSHING STANDARDS. A FLUSHING SCHEME SHALL BE PROVIDED BY THE CONTRACTOR TO OUR OFFICE DEMONSTRATING THE REQUIRED VOLUME AND FLOW WILL CLEAN THE LINES.



LEGEND

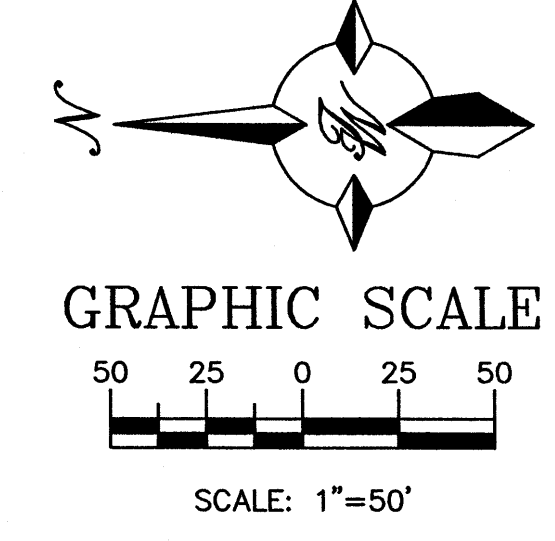
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- 8" SAS --- PROPOSED SANITARY SEWER LINE
- 8" WL --- PROPOSED WATER LINE
- --- PROPOSED CURB & GUTTER
- --- BOUNDARY LINE
- --- EXISTING BOUNDARY LINE
- --- PROPOSED SAS MANHOLE
- --- PROPOSED FIRE HYDRANT
- --- STORM DRAIN INLET
- --- DOUBLE CLEAN OUTS
- --- PROPOSED LIGHT POLE

GENERAL NOTES:

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. 3/4" FROST PROOF YARD HYDRANTS TYPICAL AT ALL DUMPSTER LOCATIONS. MINIMUM 3' BURY.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
9. REFER TO PLUMBING PLANS FOR EXACT WATER AND SEWER SERVICES TO BUILDING.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	89TH AND CENTRAL	DRAWN BY EMT
	MASTER UTILITY PLAN	DATE 2-5-07
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # 5	2566-MUB.dwg
RONALD R. BOHANNON P.E. #7868	JOB # 25066	

KEYED NOTES

1. QUEEN SIZE BRICK, COLOR: MEDIUM BRICK RED
2. QUEEN SIZE BRICK, SOLDIER COURSE, COLOR: MEDIUM BRICK RED
3. ROOF PARAPET WITH METAL CAP FLASHING, COLOR: GALVALUM
4. PILASTER WITH METAL CAP, COLOR: GALVALUM
5. ALUMINUM STOREFRONT
6. STEEL CANOPY, COLOR: GALVALUM, STEEL CANOPY BRACKETS, COLOR: MEDIUM RED TO MATCH BRICK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. WALL PACK
10. GRANITE TILE INLAY, COLOR: TAN
11. CONTROL JOINT
12. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
13. BUILDING MOUNTED SIGN, COLOR: NEUTRAL COLORS TO BE APPROVED BY LANDLORD
14. 8" (BRUSHED ALUMINUM) BUILDING ADDRESS IDENTIFICATION NUMBERS
15. GUTTER, COLOR: TO MATCH GALVALUM
16. DOWNSPOUT/OUTLET, COLOR: TO MATCH GALVALUM
17. DOWNSPOUT/OUTLET SLEEVE, COLOR: TO MATCH GALVALUM
18. FINISH FLOOR LINE
19. QUEEN SIZE BRICK, COLOR: TAN

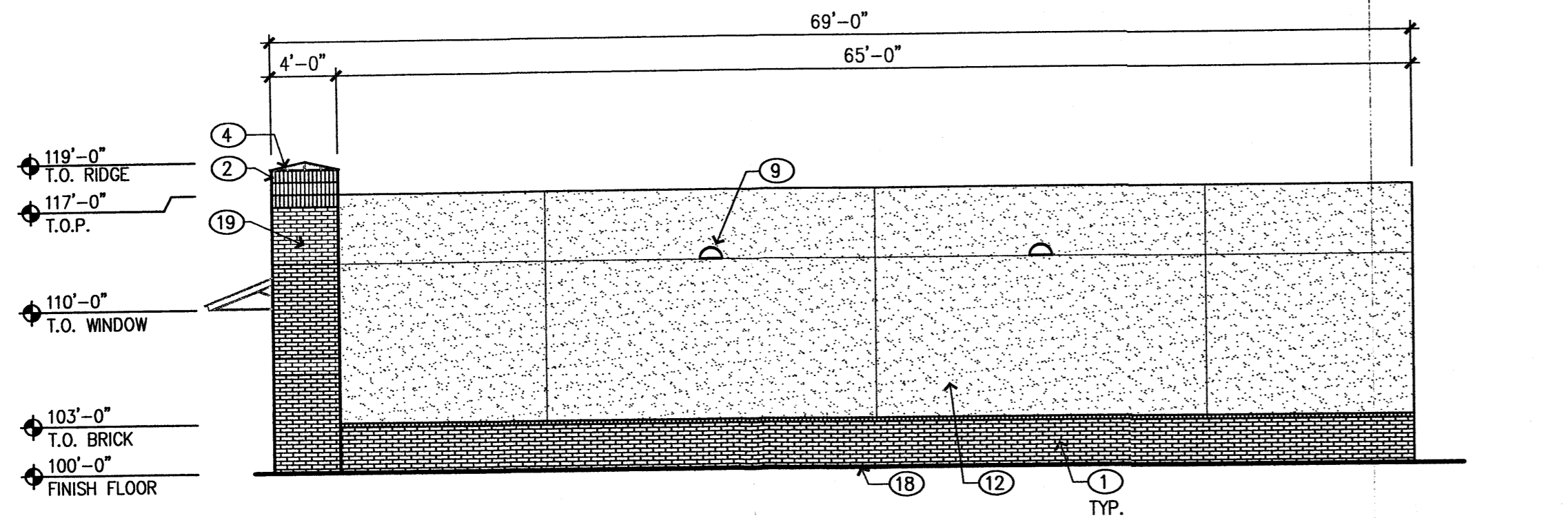
SIGNAGE

1. LARGE SIGNAGE TOTAL AREA: 42sf
2. SMALL SIGNAGE TOTAL AREA: 25sf

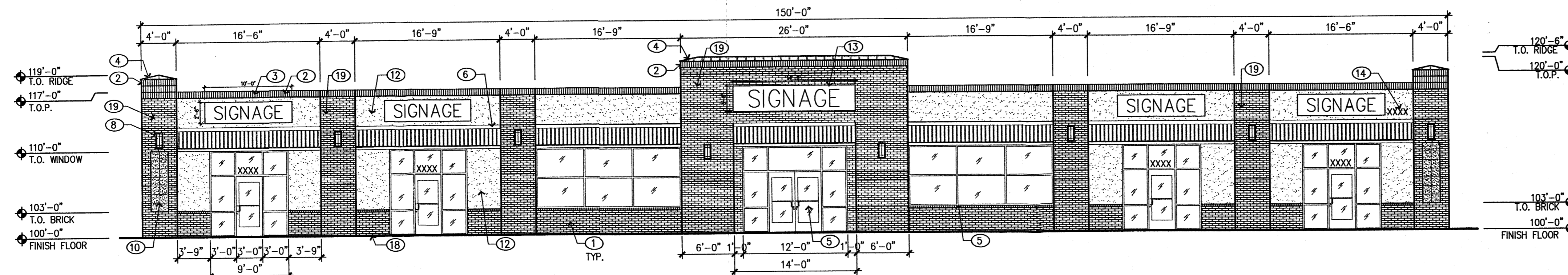
Pad Site Design Standards

The pad sites for this development will be developed separately from the six main buildings that are fully described herein. To provide consistency in quality across the entire site, the following design standards shall be applied to the future development of the pad sites. These standards shall be enforceable by the Development Review Board. The creation of a quality architectural environment is a primary goal of these design standards.

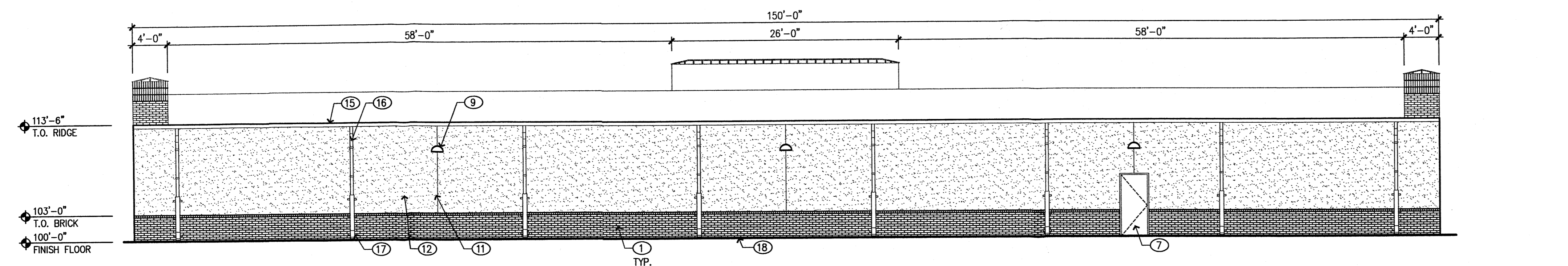
1. Pad development shall conform to the requirements stated in the City of Albuquerque Zone Code.
2. Building materials and colors shall be the same as those used on the main buildings, with similar detailing of wall surfaces, pilasters, awnings, and fenestration. Alternative materials of similar quality may be considered by the DRB, but approval is at their discretion.
3. Accent colors for trim may be based on those used on the main buildings, but may also be based on the corporate branding colors of the pad occupants.
4. Buildings shall have equal architectural emphasis on all sides, including service areas, unless screened with walls having the same design elements as the buildings.
5. Service areas shall be screened with walls having the same design elements and materials as the buildings.
6. Entrance areas shall be shaded by awnings or portals to provide shelter for patrons entering the buildings.
7. Restaurants shall provide plazas or outdoor dining areas with a minimum dimension of 15' and a minimum area of 300 square feet. These areas shall be shaded by building elements or shade trees, and shall have seating in the form of benches or outdoor dining furniture.
8. Consistency in lighting design is a primary goal of these design standards. In order to enhance security and visual aesthetics, careful consideration of site lighting design is required to maximize public safety while minimizing glare both on site and on adjacent properties. Lighting design shall comply with the City of Albuquerque Zoning Code, Section 14-16-3-9, Area Lighting Regulations, and the State Statute on Dark Skies. Parking area lighting shall be provided with fixtures of a similar design, color and height for all tracts within the development. Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Light poles shall be a maximum height of 25'. Light poles within 100' of residential zoning shall be limited to 16' high.
9. Signage: The goal is to provide consistency in appearance and quality and complements the visual character of the development. All signs shall comply with section 14-16-3-5 General Sign Regulations of the Comprehensive Zoning Code. Building mounted signs shall not exceed six percent of the facade area on which they are mounted.
10. Signage: The use of neon in signs and as architectural decoration on the buildings is encouraged.



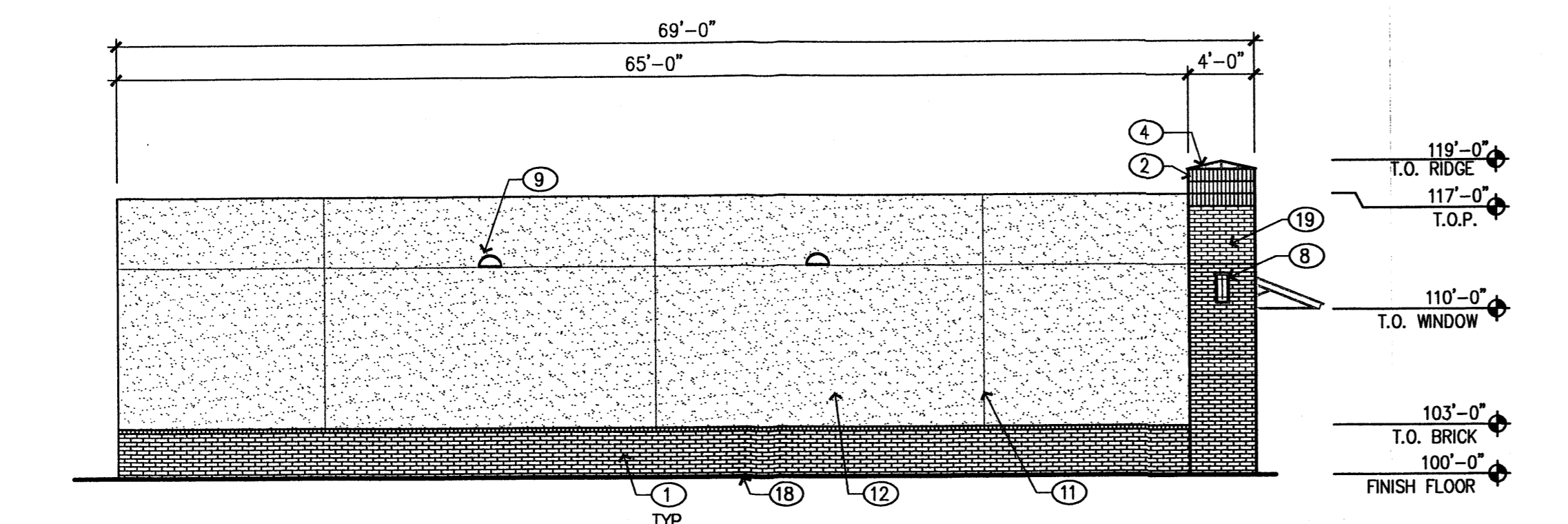
**1 SOUTH ELEVATION
LOOKING NORTH**



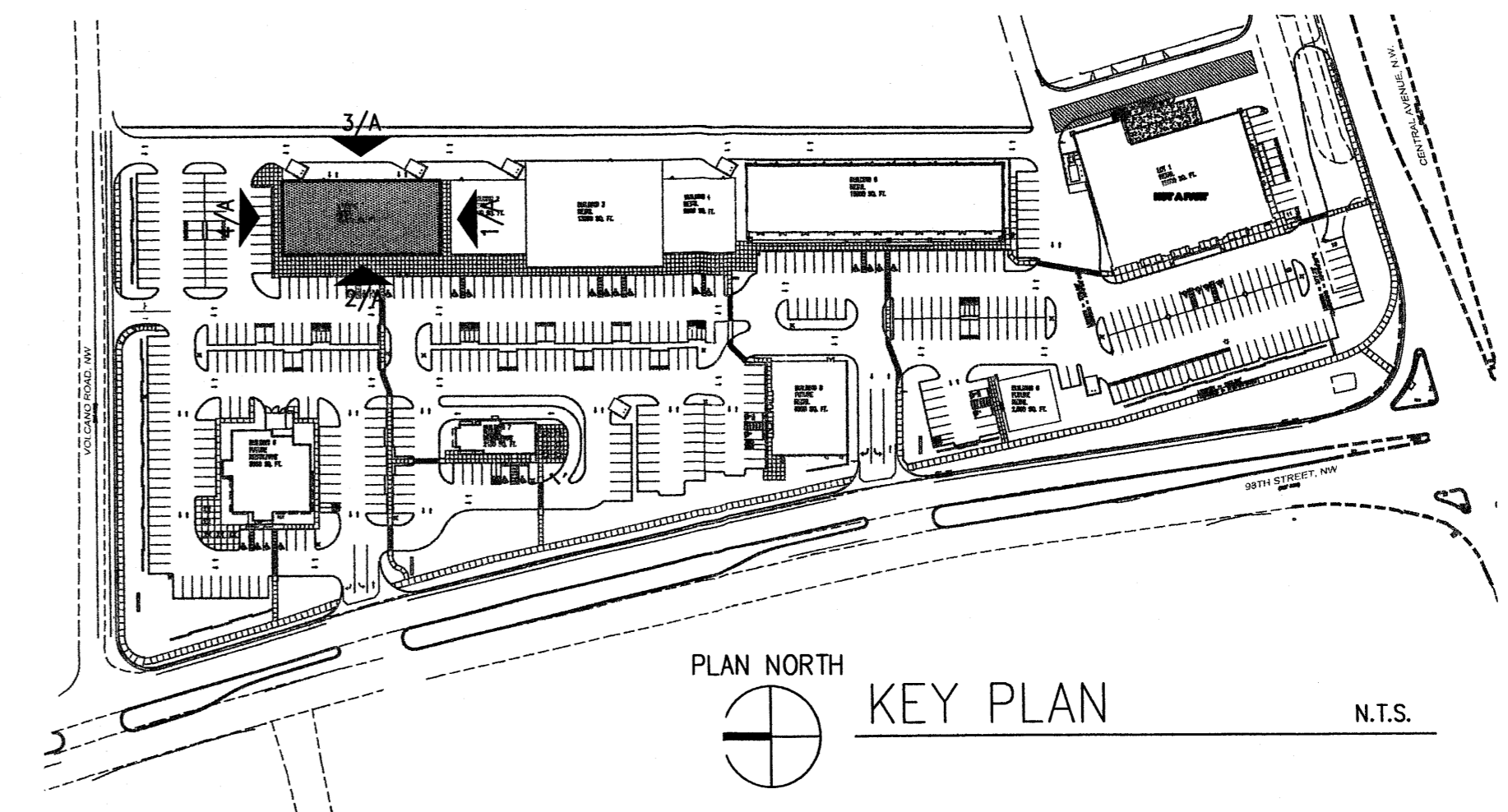
**2 WEST ELEVATION
LOOKING EAST**



**3 EAST ELEVATION
LOOKING WEST**



**4 NORTH ELEVATION
LOOKING SOUTH**



REVISIONS

- ▲ 9/21/06 EPC Comment Modifications
- ▲
- ▲
- ▲
- ▲

DRAWN BY	
REVIEWED BY	
DATE	2-5-07
PROJECT NO.	06067
DRAWING NAME	BUILDING 1 EXTERIOR ELEVATIONS

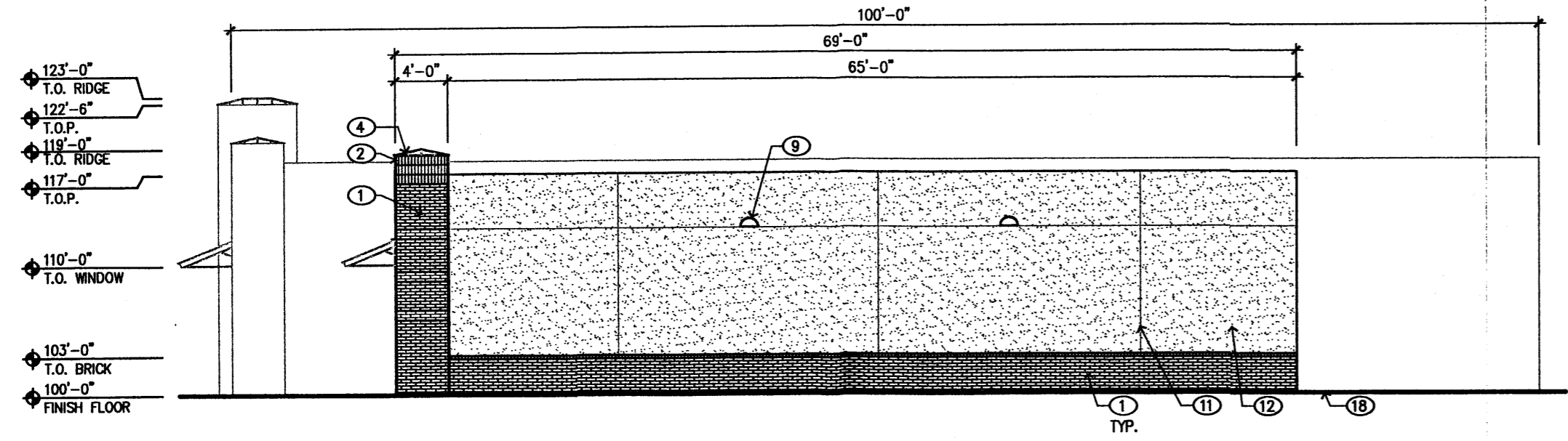
SHEET NO.

KEYED NOTES

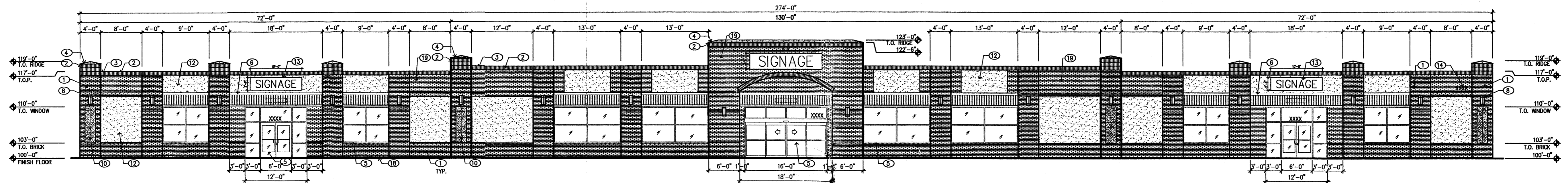
1. QUEEN SIZE BRICK, COLOR: MEDIUM BRICK RED
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4. PILASTER WITH METAL CAP, COLOR: GALVALUM
5. ALUMINUM STOREFRONT
6. STEEL CANOPY, COLOR: GALVALUM, STEEL CANOPY BRACKETS, COLOR: MEDIUM RED TO MATCH BRICK
7. HOLLOW METAL DOOR PAINTED TO MATCH ADJACENT STUCCO
8. WALL SCONCE
9. WALL PACK
10. GRANITE TILE INLAY, COLOR: TAN
11. CONTROL JOINT
12. TWO-COAT SYNTHETIC STUCCO SYSTEM, COLOR: TAN
13. BUILDING MOUNTED SIGN, COLOR: NEUTRAL COLORS TO BE APPROVED BY LANDLORD
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17. DOWNSPOUT/OUTLET SLEEVE, COLOR: TO MATCH GALVALUM
18. FINISH FLOOR LINE
19. QUEEN SIZE BRICK, COLOR: TAN

SIGNAGE

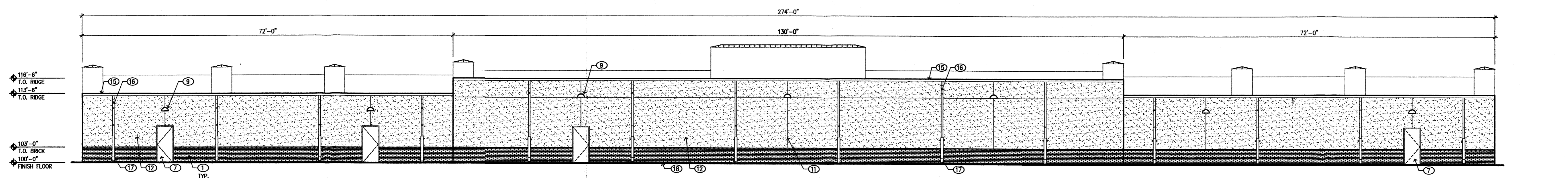
1. LARGE SIGNAGE TOTAL AREA: 42sf
2. SMALL SIGNAGE TOTAL AREA: 25sf



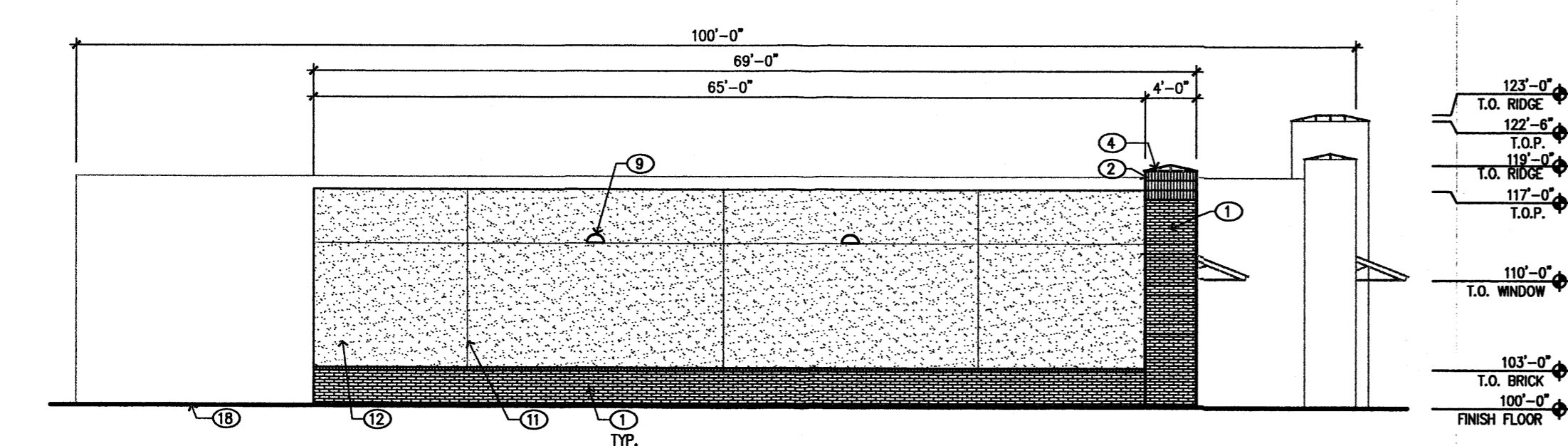
**1 SOUTH ELEVATION
LOOKING NORTH**



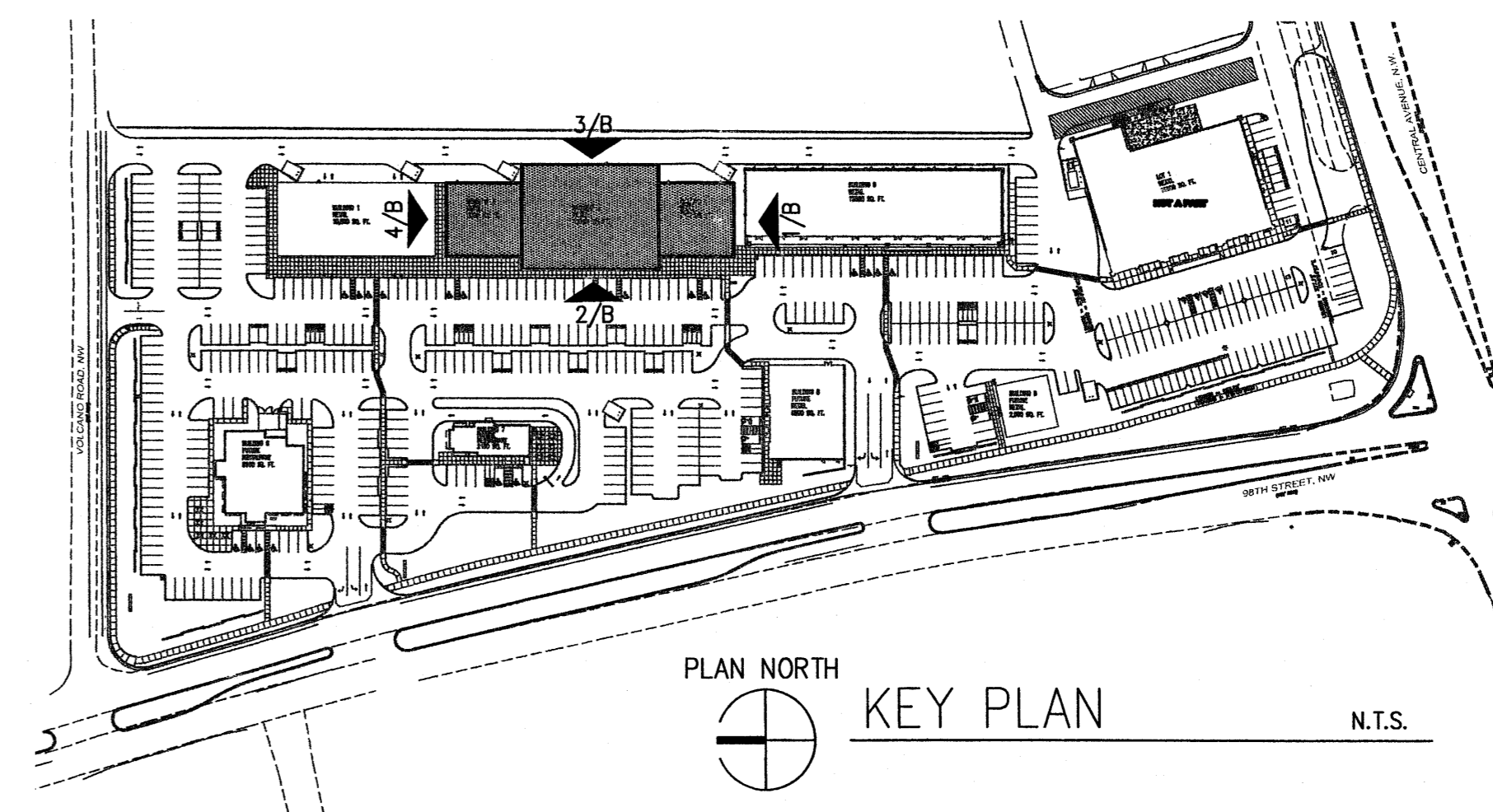
**2 WEST ELEVATION
LOOKING EAST**



**3 EAST ELEVATION
LOOKING WEST**



**4 NORTH ELEVATION
LOOKING SOUTH**



PLAN NORTH
KEY PLAN

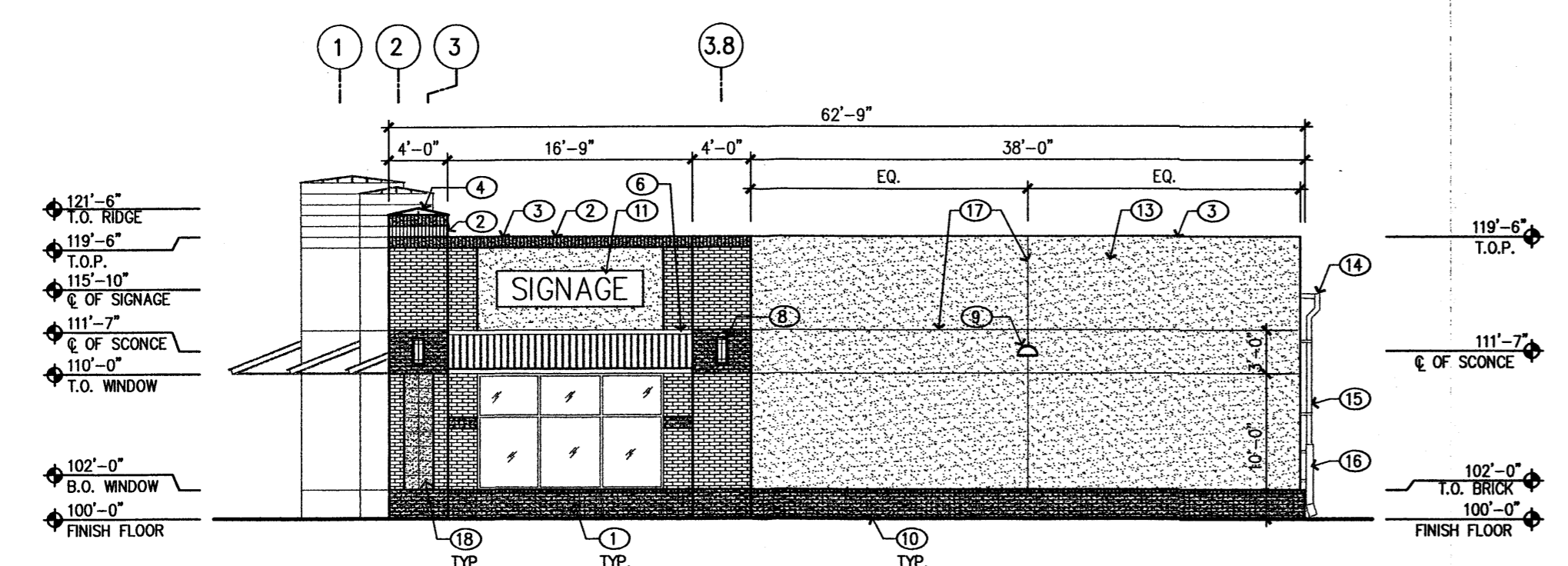
N.T.S.

GENERAL NOTES

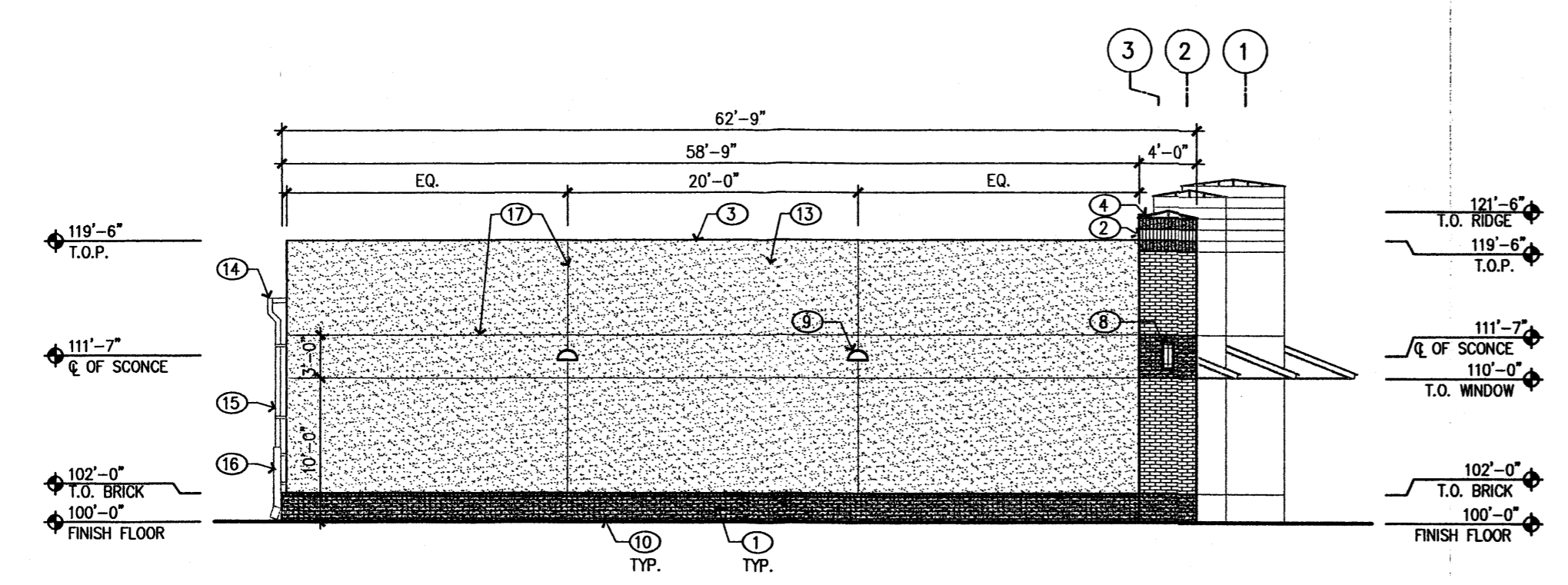
- DIMENSIONS SHOWN ON ELEVATIONS ARE BASED UPON A 3/4" x 2 13/16" x 8 5/8" QUEEN SIZE BRICK. CONTRACTOR TO PROVIDE WEEP HOLES AT LOCATIONS AS NEEDED TO ALLOW MOISTURE TO DRAIN FROM BEHIND MASONRY.
- BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE CITY OF ALBUQUERQUE ZONE CODE. ALL SIGNAGE TO COMPLY WITH LOCAL ORDINANCES.
- BUILDING MOUNTED SIGNS TO BE PROVIDED AND INSTALLED BY TENANT'S CONTRACTOR. ALL SIGNAGE TO COMPLY WITH LOCAL ORDINANCES. SUBMIT LETTER COLORS TO OWNER AND ARCHITECT FOR FINAL APPROVAL PRIOR TO MANUFACTURING.
- REFER TO FLOOR PLAN SHEET A111, FOR DOOR AND WINDOW TYPES AND LOCATIONS

KEYED NOTES

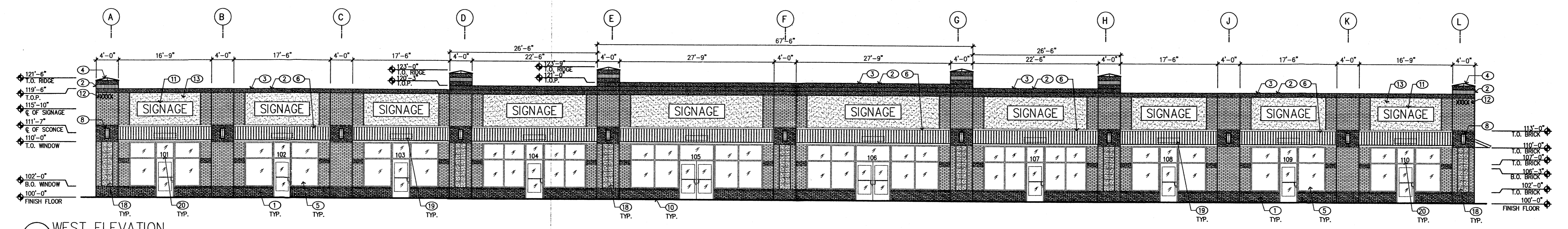
- QUEEN SIZE BRICK, COLOR TO BE SELECTED BY OWNER
- QUEEN SIZE BRICK, SOLDIER COURSE, COLOR TO BE SELECTED BY OWNER
- ROOF PARAPET WITH METAL CAP FLASHING, RE: A201
- PILASTER WITH METAL CAP, RE: A201
- ALUMINUM STOREFRONT AS SHOWN IN DOOR/WINDOW SCHEDULE, RE: A501
- STEEL CANOPY WITH METAL DECK ABOVE WITH STEEL CANOPY BRACKETS, PAINT, COLOR: TO BE SELECTED BY OWNER, RE: A401
- DOOR AS SHOWN IN DOOR/WINDOW SCHEDULE, PAINT TO MATCH ADJACENT STUCCO
- WALL SCONCE, RE: ELECTRICAL
- WALL PACK, RE: ELECTRICAL
- FINISH FLOOR LINE
- BUILDING MOUNTED SIGN, PROVIDE J-BOX FOR FUTURE SIGNAGE, REFER TO GENERAL NOTES
- 8" BUILDING ADDRESS IDENTIFICATION NUMBERS, STYLE AND FONT TYPE TO BE SELECTED BY OWNER
- TWO-COAT SYNTHETIC STUCCO SYSTEM OVER METAL LATH, WATERPROOF MEMBRANE AND 5/8" SHEATHING, COLOR TO BE SELECTED BY OWNER
- GUTTER, COLOR TO BE SELECTED BY OWNER, RE: A201
- DOWNSPOUT/OUTLET, COLOR TO BE SELECTED BY OWNER, RE: A201
- DOWNSPOUT/OUTLET SLEEVE, COLOR TO BE SELECTED BY OWNER, RE: A201. PROVIDE BLOCKING IN WALL FOR DOWNSPOUT/OUTLET SLEEVE WALL BRACKETS.
- CONTROL JOINT
- GRANITE TILE INLAY, COLOR TO BE SELECTED BY OWNER
- WALL SCONCE BENEATH STEEL CANOPY, RE: ELECTRICAL
- SUITE ADDRESS LETTERING: 6" WHITE, VINYL



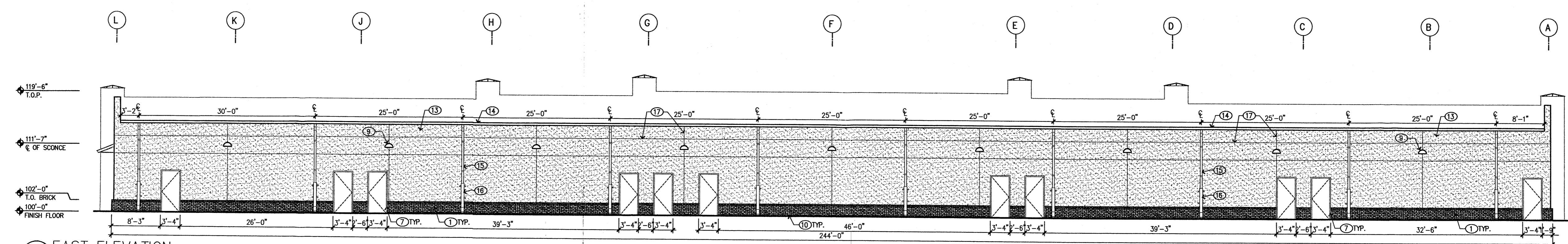
(A1) SOUTH ELEVATION
LOOKING NORTH
1/8" = 1'-0"



(B1) NORTH ELEVATION
LOOKING SOUTH
1/8" = 1'-0"



(D1) WEST ELEVATION
LOOKING EAST
1/8" = 1'-0"



(E1) EAST ELEVATION
LOOKING WEST
1/8" = 1'-0"

Proposed Buildings:
1, 2, 3, 4, 5, 9
98th & Central
Albuquerque, New Mexico 87121

REVISIONS

▲	
▲	
▲	
▲	
▲	

DRAWN BY
REVIEWED BY
DATE 2/5/07
PROJECT NO. 06067.200
DRAWING NAME
BUILDING 5
EXTERIOR
ELEVATIONS

Proposed Buildings:
1,2,3,4,5,9
98th & Central
Albuquerque, N.M. 87121

- △
- △
- △
- △
- △

DRAWN BY _____
REVIEWED BY _____
DATE 2-5-07
PROJECT NO. 06067
DRAWING NAME

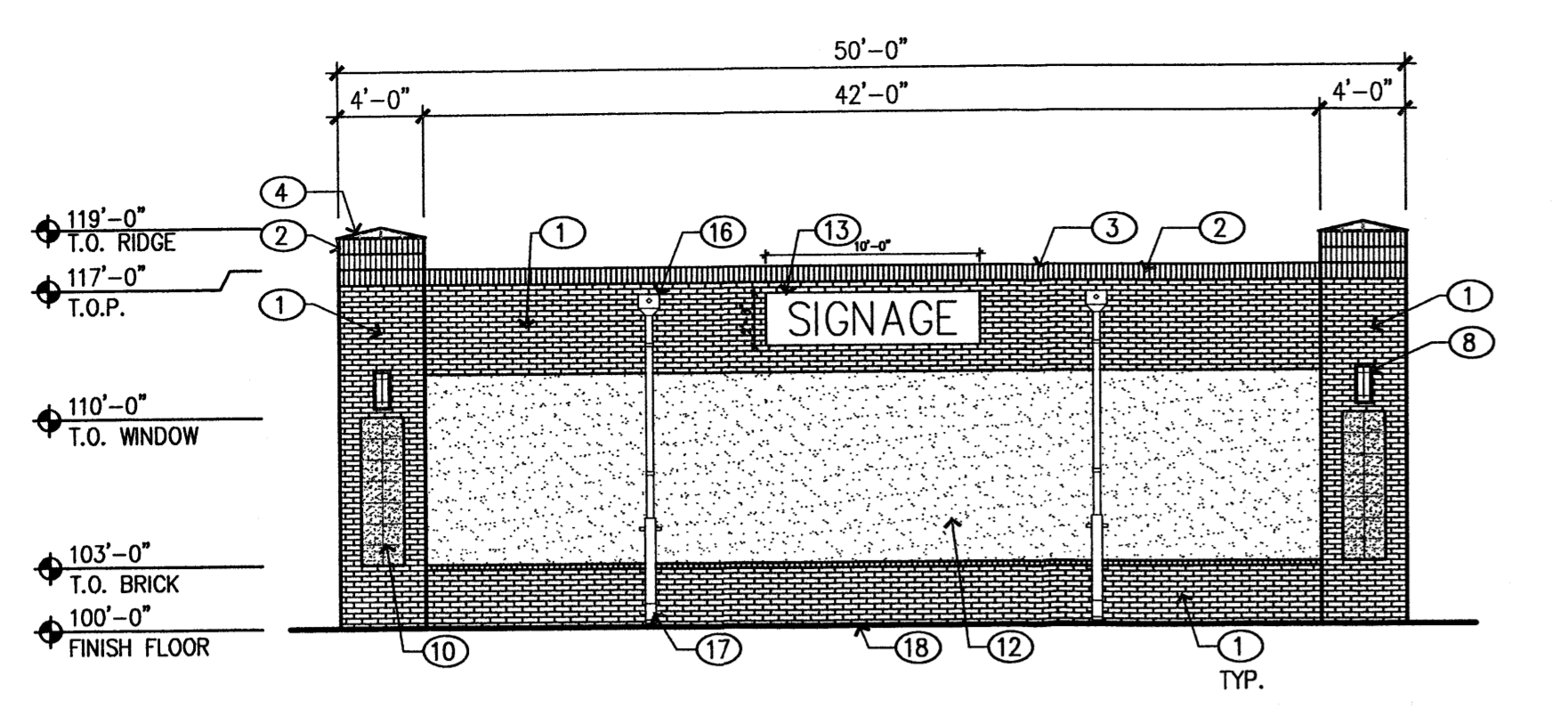
BUILDING 9
EXTERIOR
ELEVATIONS

KEYED NOTES

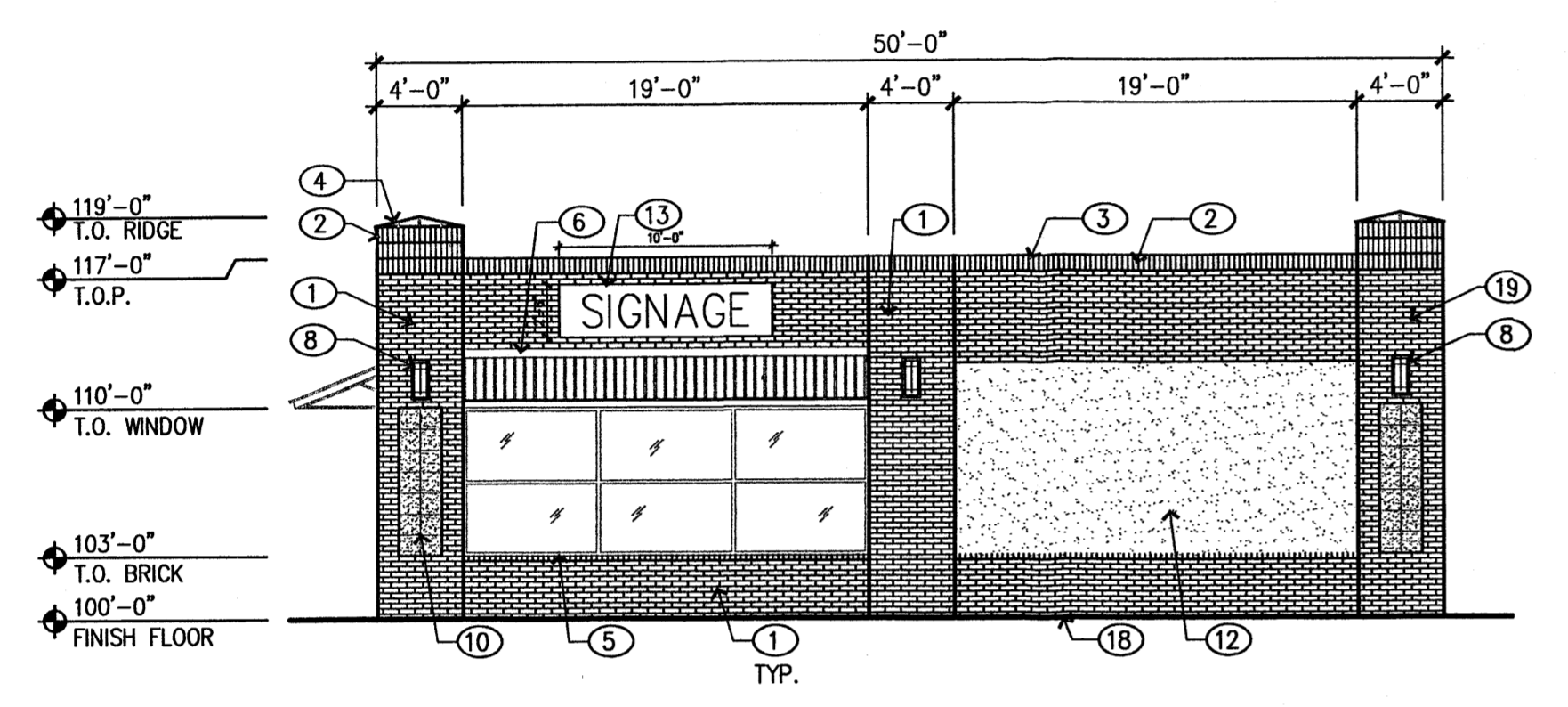
1. QUEEN SIZE BRICK, COLOR: MEDIUM BRICK RED
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17. DOWNSPOUT/OUTLET SLEEVE, COLOR: TO MATCH GALVALUM
18. FINISH FLOOR LINE
19. QUEEN SIZE BRICK, COLOR: TAN

SIGNAGE

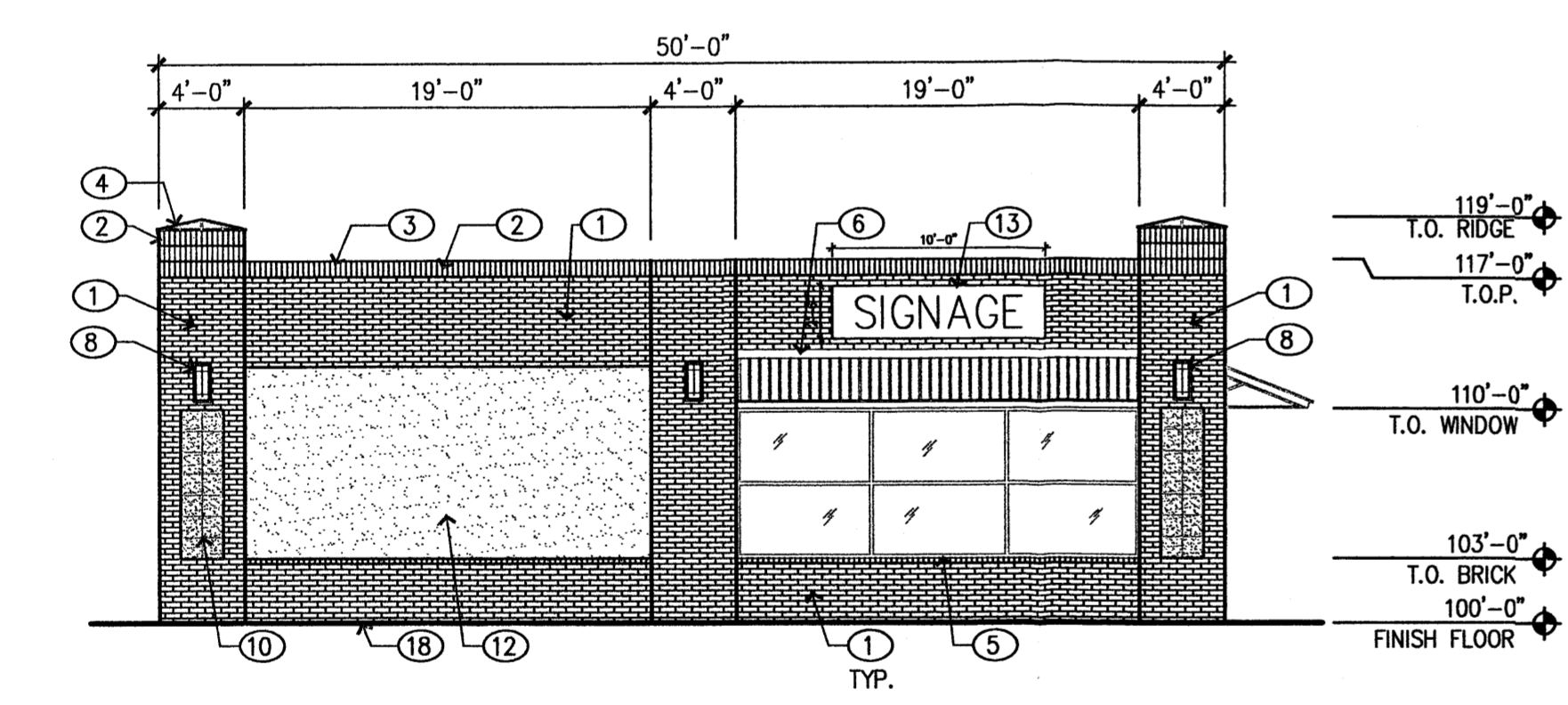
1. SMALL SIGNAGE TOTAL AREA: 25sf



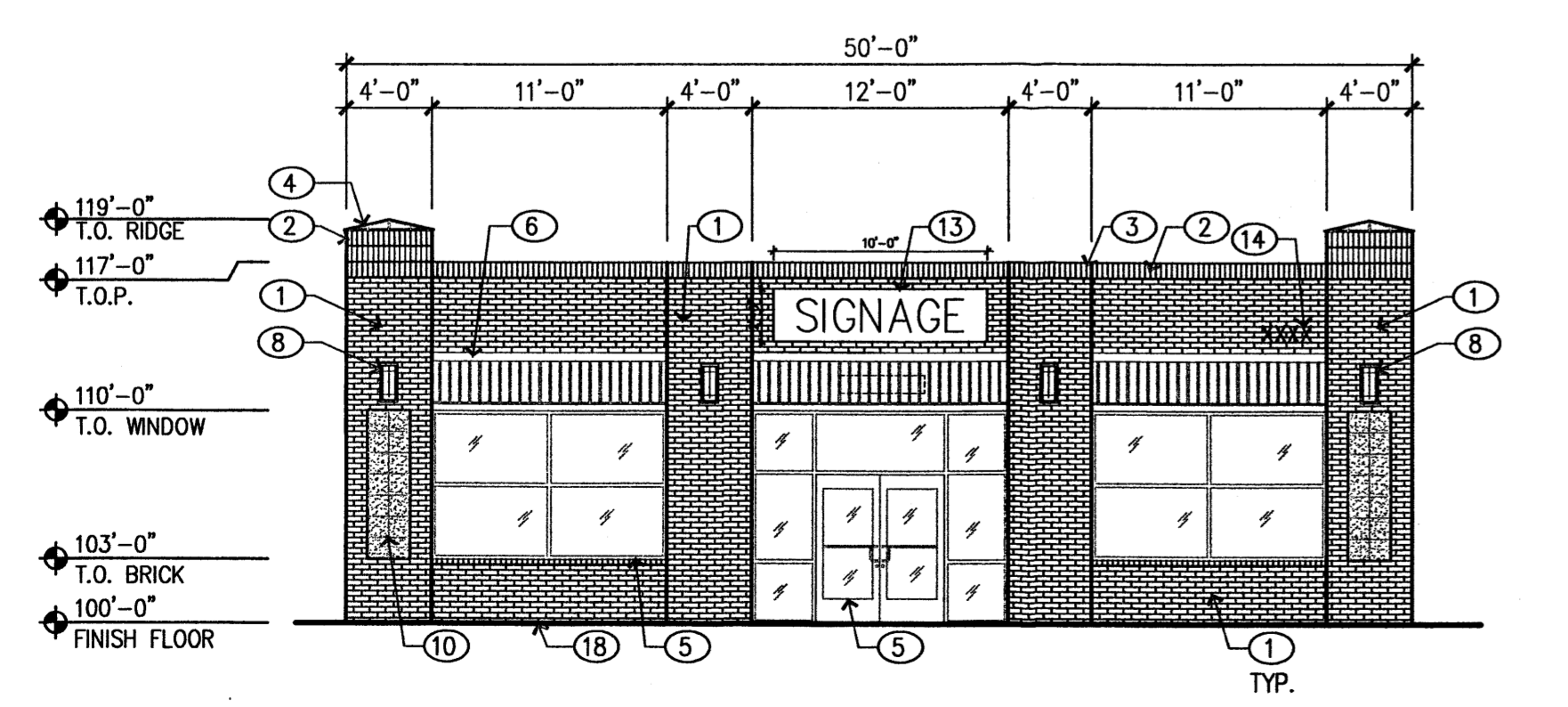
1 SOUTH ELEVATION
LOOKING NORTH



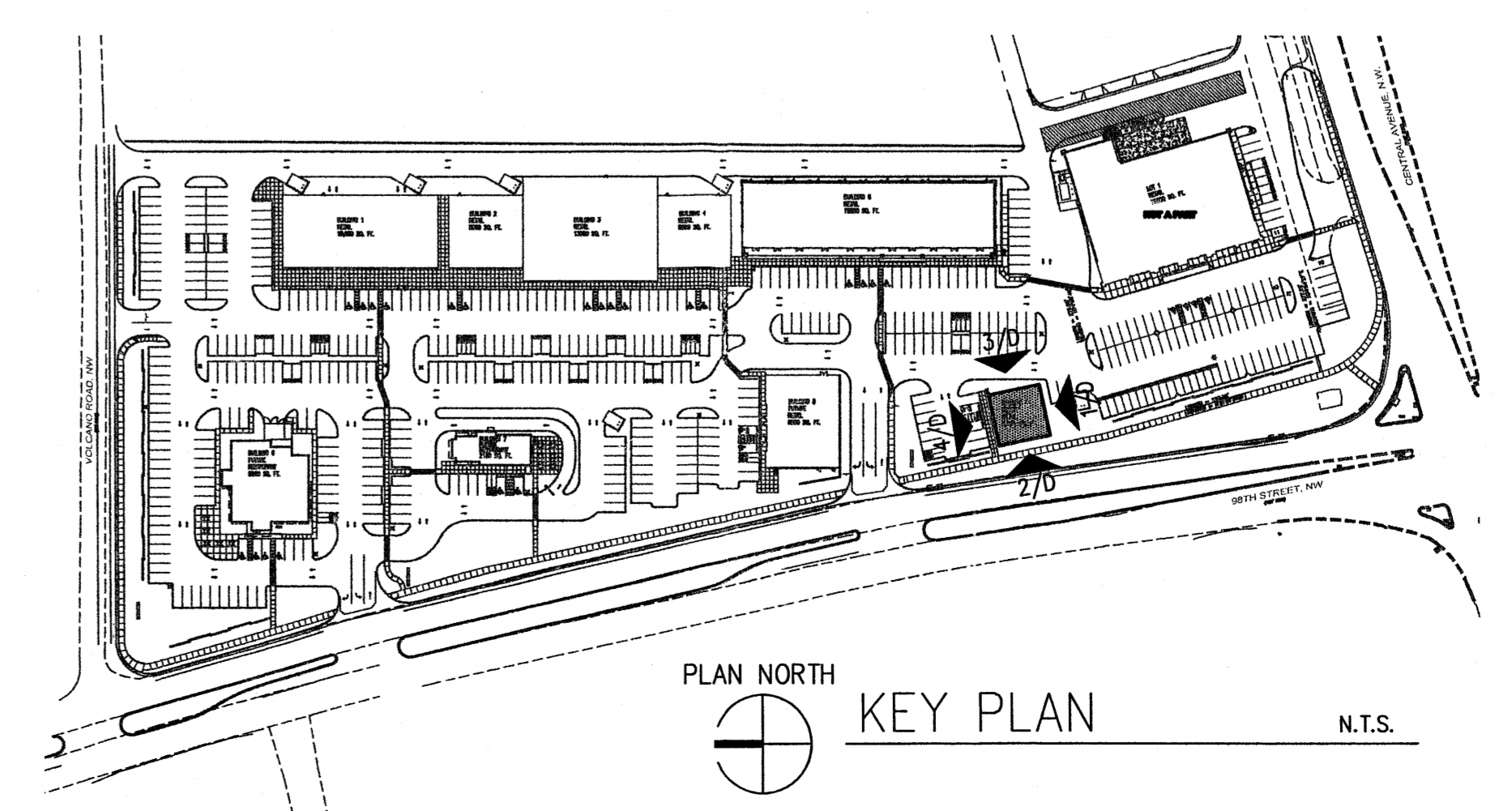
2 WEST ELEVATION
LOOKING EAST



3 EAST ELEVATION
LOOKING WEST

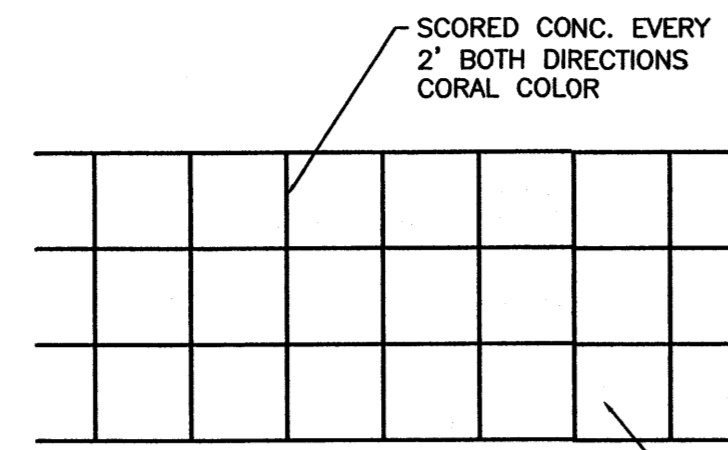


4 NORTH ELEVATION
LOOKING SOUTH

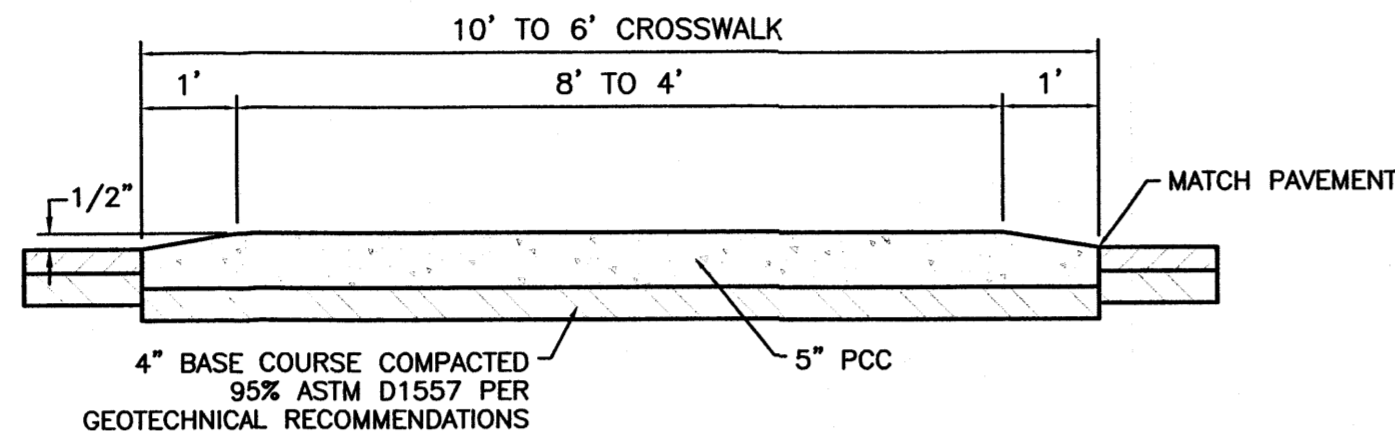


PLAN NORTH
KEY PLAN

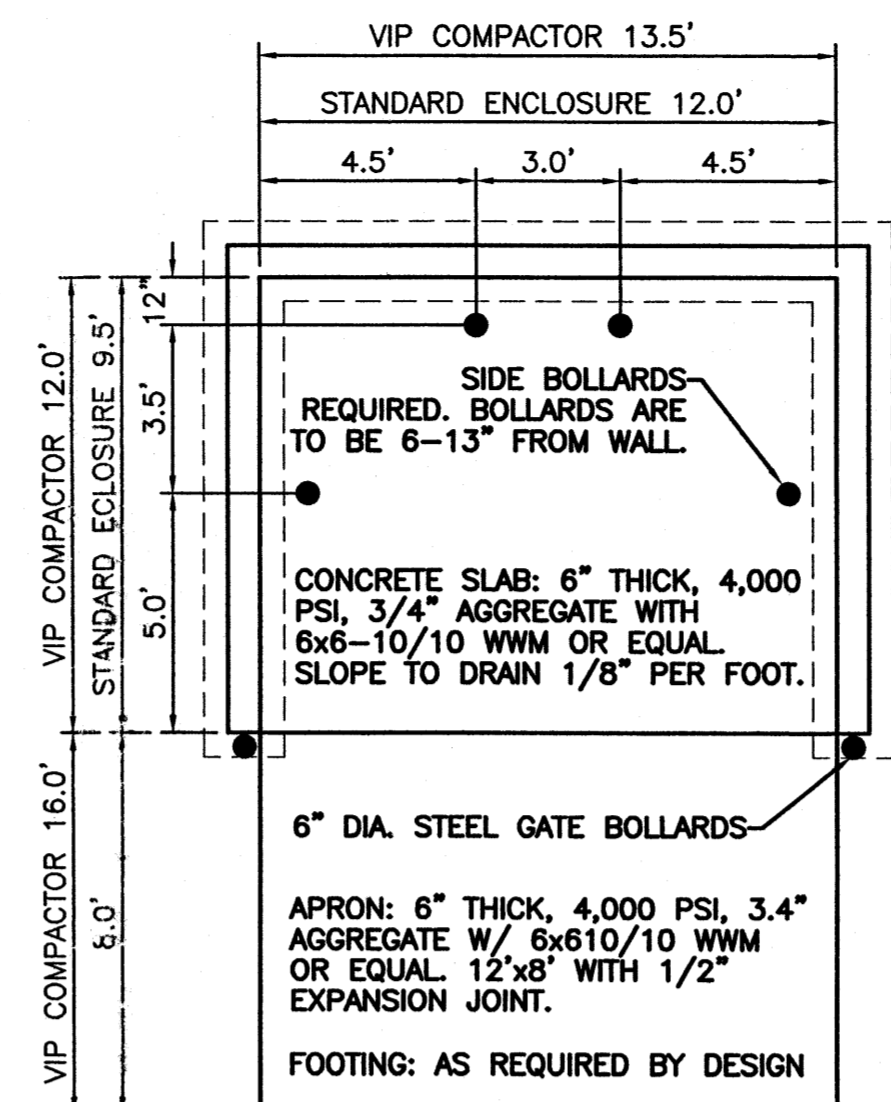
N.T.S.



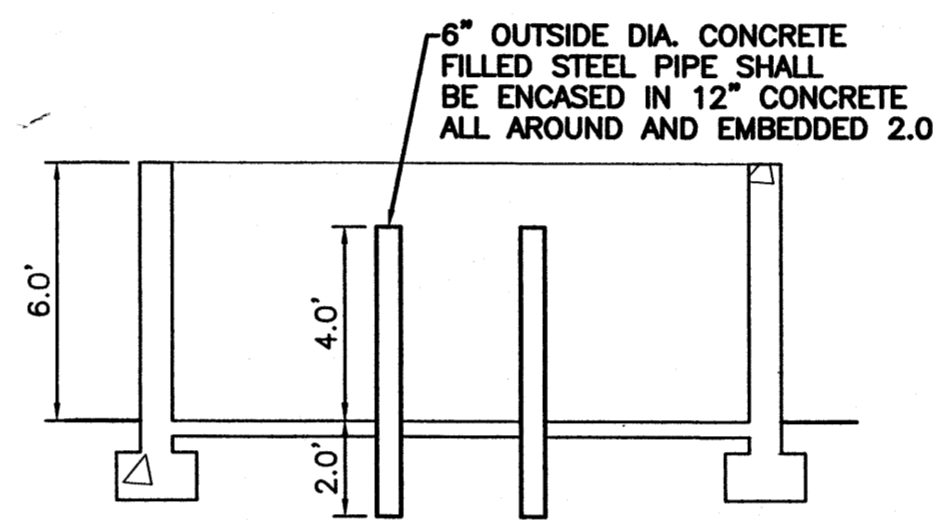
CROSSWALK PLAN VIEW



RAISED CROSSWALK
SCALE: 1/2"=1'

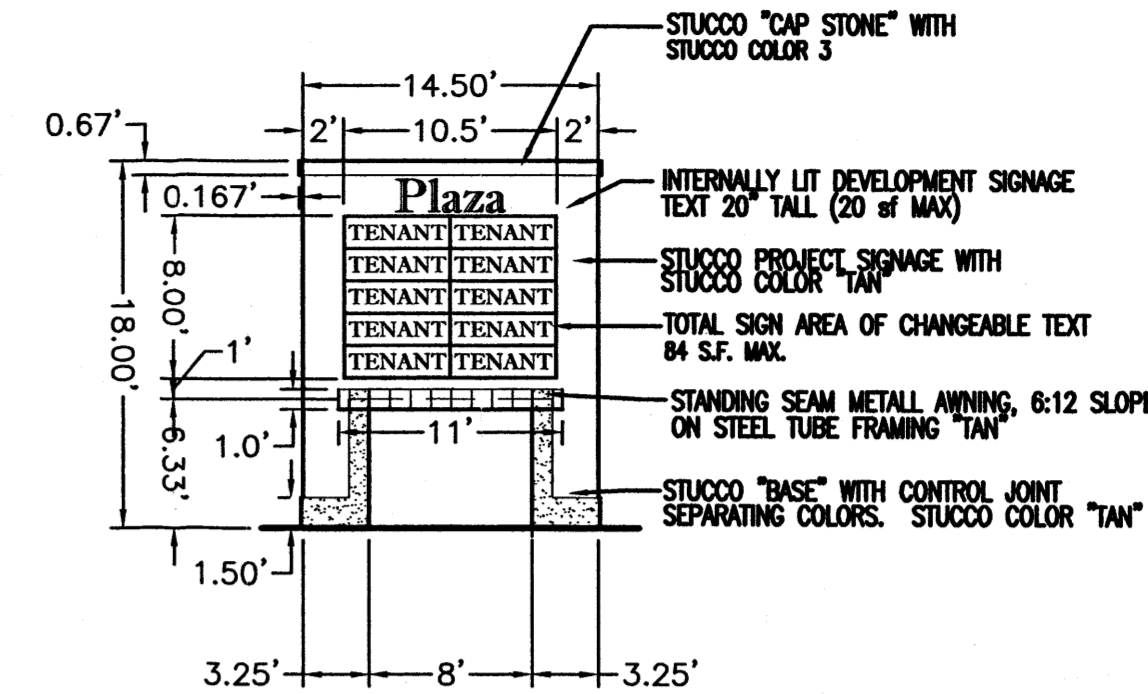


DUMPSTER ENCLOSURE DETAIL
APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)

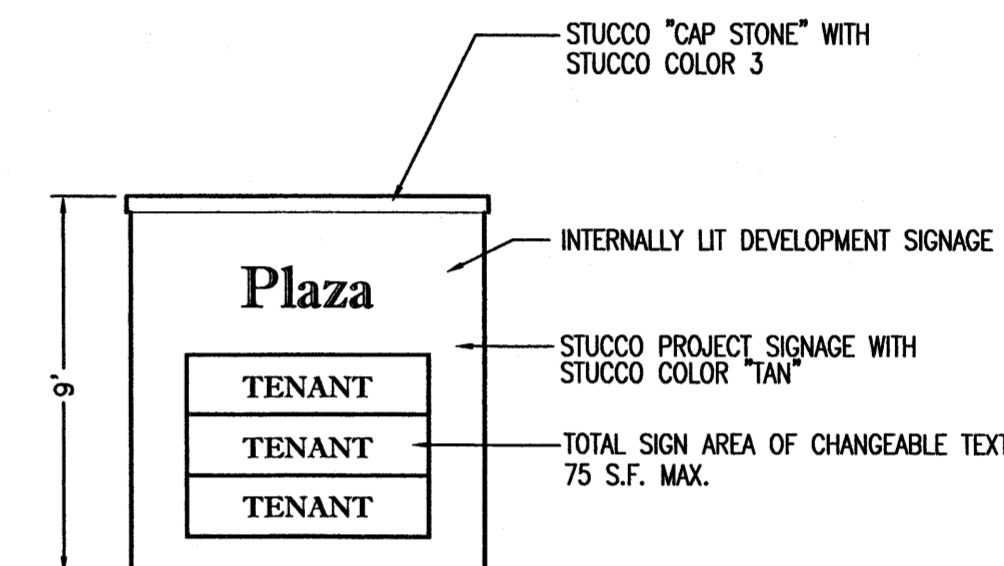


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

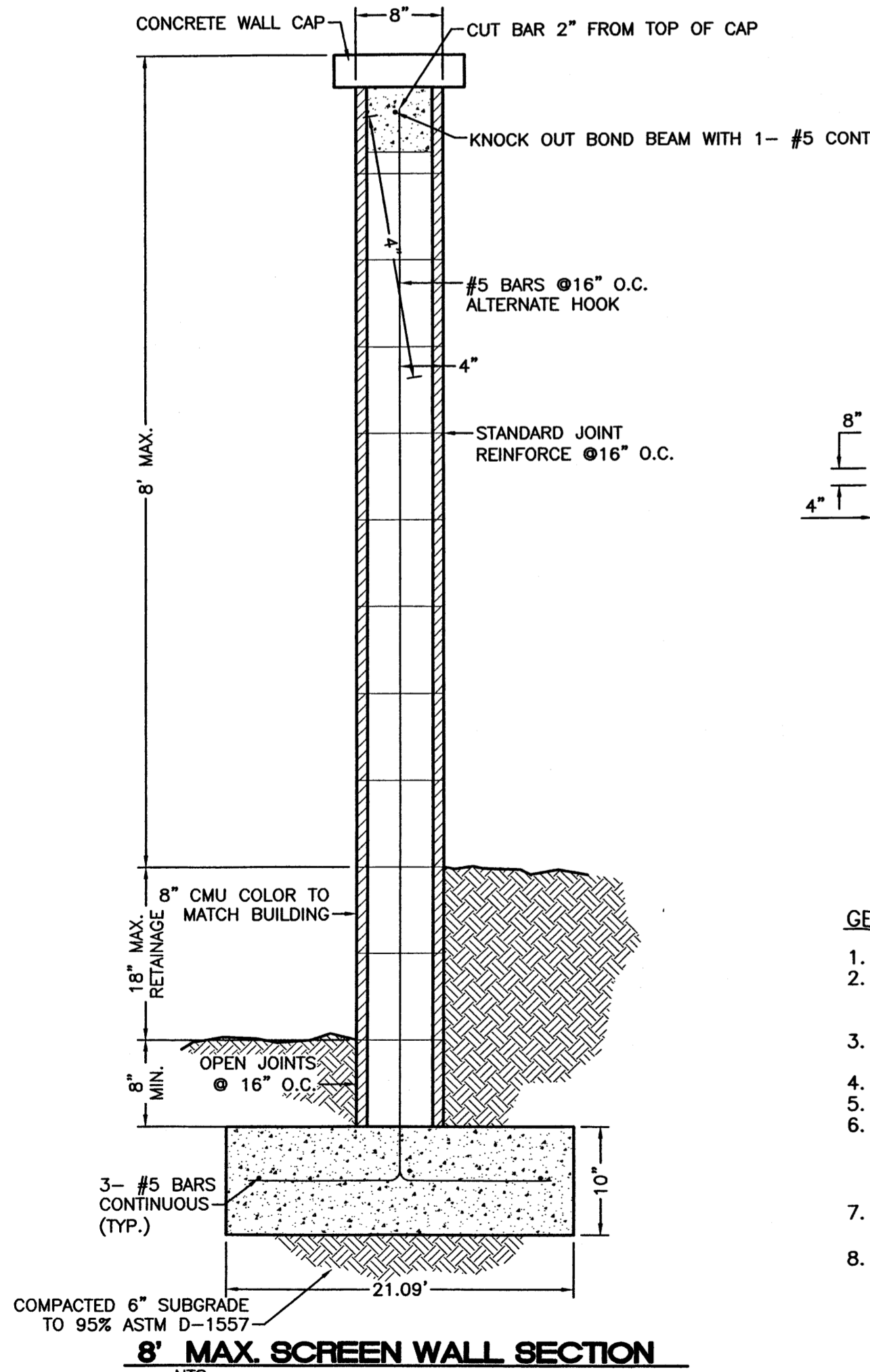
DUMPSTER ENCLOSURE DETAIL
NTS



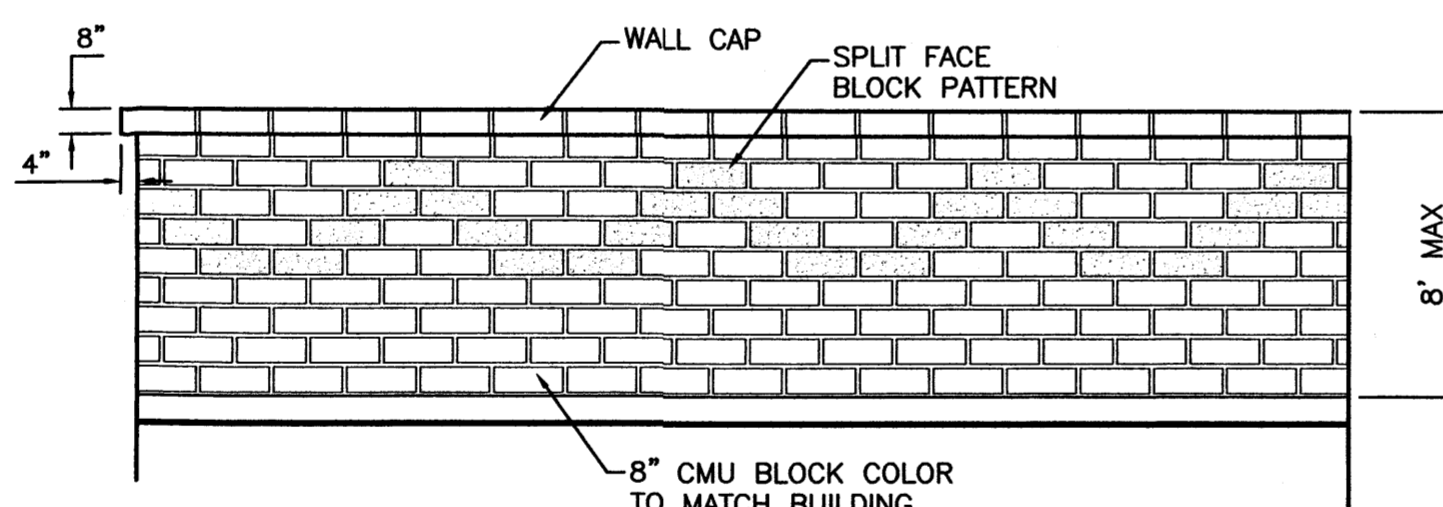
PLAZA SIGN DETAIL
NTS



MONUMENT SIGN DETAIL
NOT TO SCALE

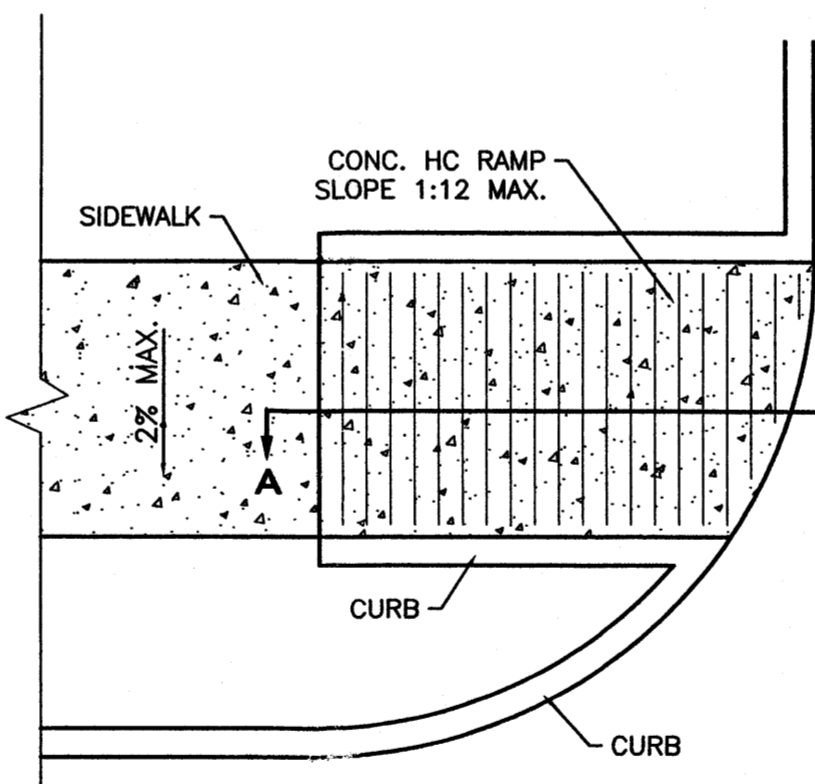


8' MAX. SCREEN WALL SECTION
NTS

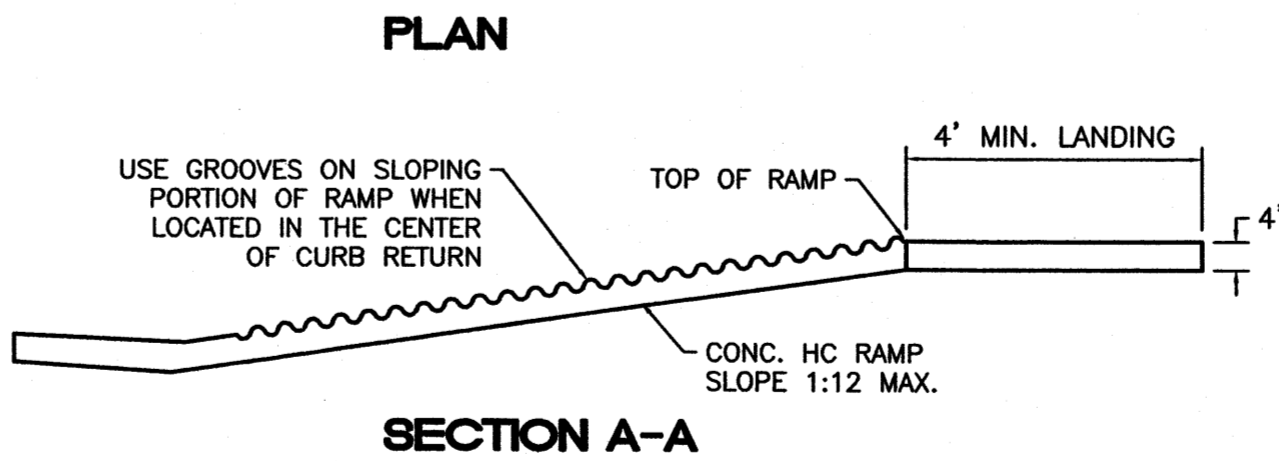


SCREEN WALL ELEVATION
NTS

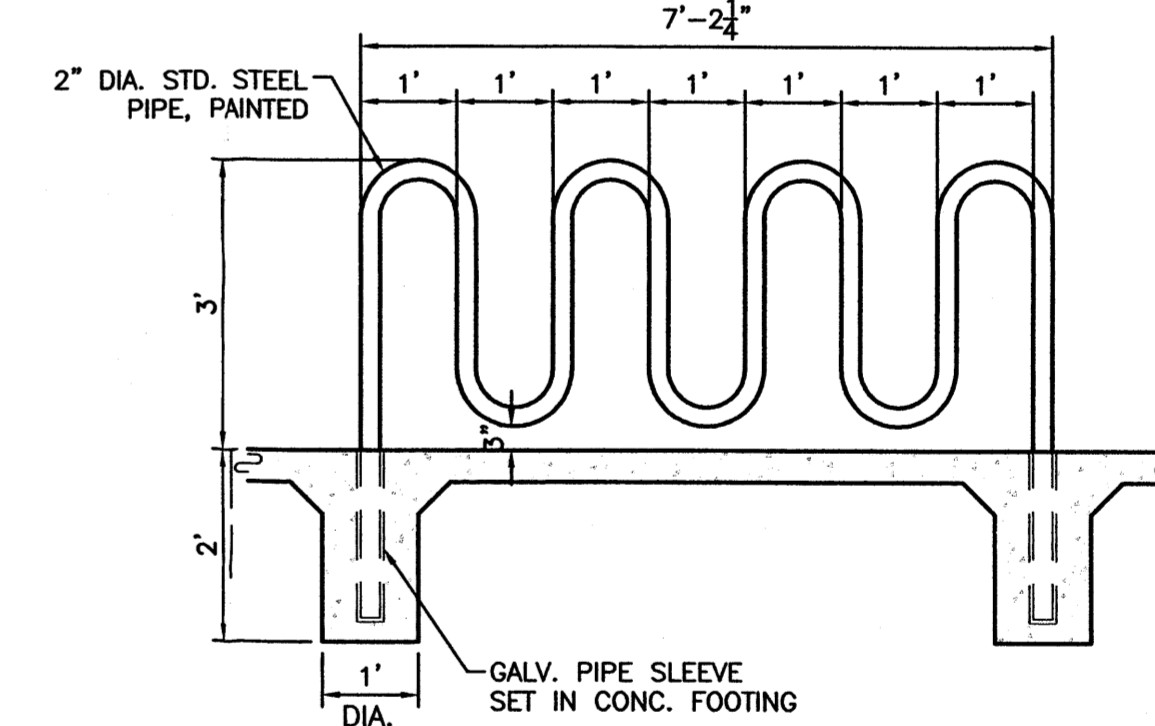
- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 8. ALL SPLICES SHALL OVERLAP 30 BAR DIA. MINIMUM.



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
 3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
 4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
 5. CONSTRUCT PER A.D.A. STANDARDS.

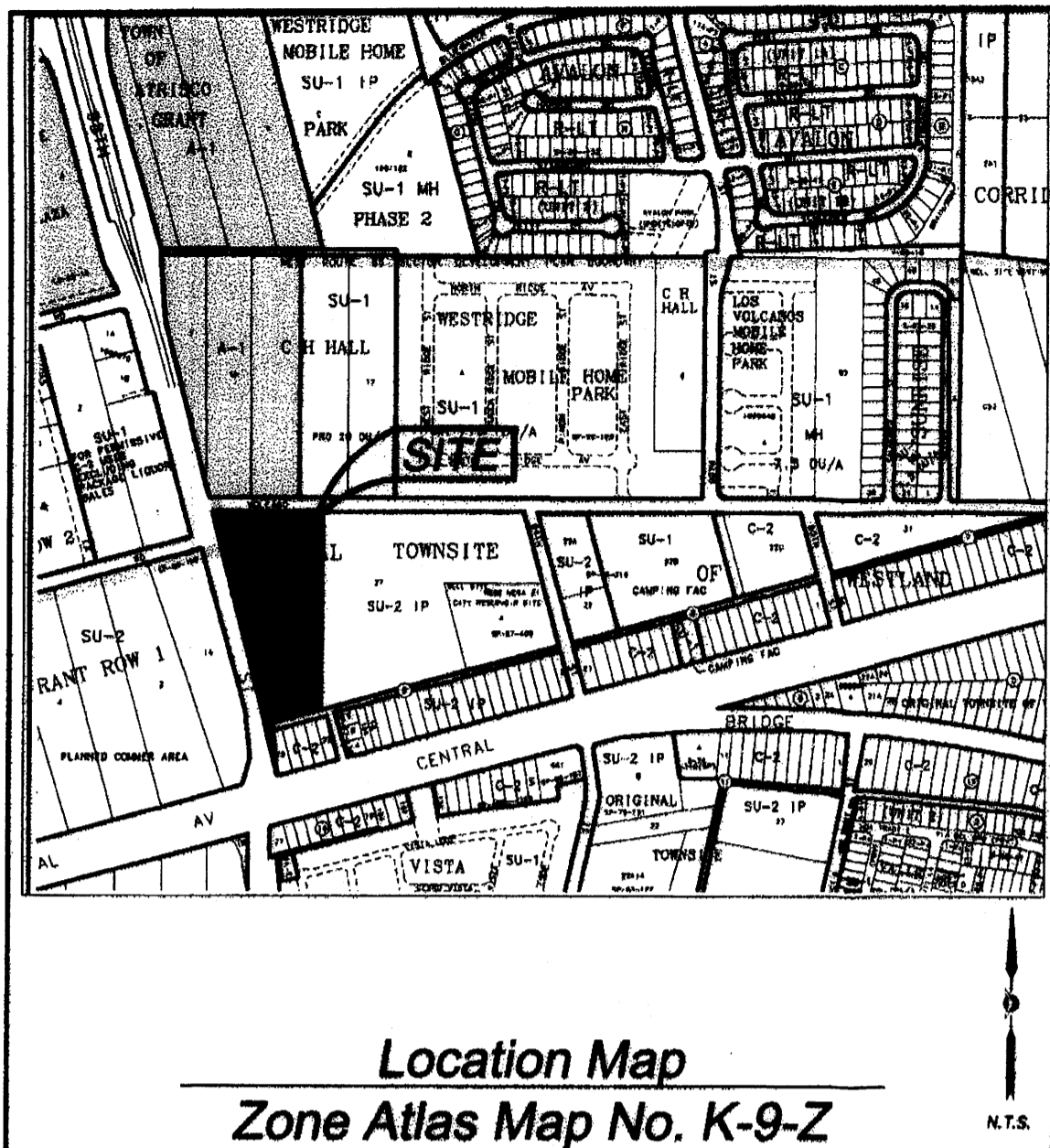


UNIDIRECTIONAL HC RAMP
SCALE: NTS



BIKE RACK DETAIL
SCALE: 1/2"=1'

<p>RONALD R. BOHANNAN P.E. #7868</p>	NORTHEAST CORNER OF 98TH AND CENTRAL	<i>DRAWN BY</i> EMT
	DETAILS	<i>DATE</i> 2-5-07
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2566-DET.DWG
		<i>SHEET #</i> 10
		<i>JOB #</i> 25066



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 8.2088 ACRES±
 ZONE ATLAS INDEX NO: K-9-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 6
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2006, FIELD VERIFIED JULY 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE REMAINING PORTIONS OF THE EXISTING TWO TRACTS INTO SIX NEW LOTS, DEDICATE ROW AND TO GRANT EASEMENTS.

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2008510305

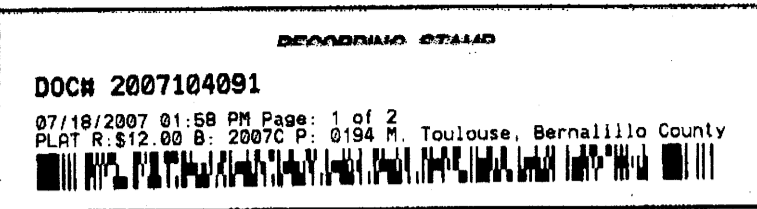
Easements

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Plat of
 Lots 1, 2, 3, 4, 5, and 6
Krania
 Albuquerque, Bernalillo County, New Mexico
 January 2007

Project No. 1004354

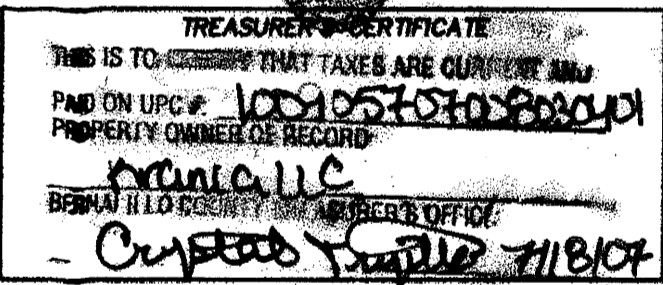
Application No. 07DRB-00032

Utility Approvals

<i>Leah M. Metz</i>	7-16-07
PNM ELECTRIC SERVICES	DATE
<i>Leah M. Metz</i>	7-16-07
PNM GAS SERVICES	DATE
<i>Daniel R. Bule</i>	7/18/07
QWEST TELECOMMUNICATIONS	DATE
<i>Bonnie W. Barber</i>	7-16-07
COMCAST	DATE
NEW MEXICO UTILITIES	DATE

City Approvals

<i>M. B. Jant</i>	1-11-07
CITY SURVEYOR	DATE
<i>N/A</i>	7/11/07
REAL PROPERTY DIVISION	DATE
<i>N/A</i>	7/11/07
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>SP 10</i>	7-11-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Ronald Green</i>	7-11-07
WATER UTILITY DEPARTMENT ABCWUA	DATE
<i>Christina Sandoval</i>	7/11/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley A. Bingham</i>	7/11/07
AMAFCA	DATE
<i>Bradley A. Bingham</i>	7/11/07
CITY ENGINEER	DATE
<i>S. Martinez</i>	7/11/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 01/09/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



8500-A Jefferson Street, NE
 Albuquerque, NM 87113
 866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Legal Description

A TRACT OF LAND LYING AND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE REMAINING PORTION OF TRACT LETTERED "O" AS DESCRIBED IN QUITCLAIM DEED RECORDED ON JUNE 12, 1959, IN BOOK D486, PAGE 65, DOCUMENT NUMBER 21744, RECORDS OF BERNALILLO COUNTY, NEW MEXICO AND THE REMAINING WESTERLY PORTION OF LOT NUMBERED TWENTY-SEVEN (27), IN BLOCK NUMBERED TWENTY-NINE (29) OF THE ORIGINAL TOWNSITE OF WESTLAND AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1935, IN MAP BOOK D, FOLIO 53, SAID REMAINING PORTION AS DESCRIBED IN LEASE DEED RECORDED ON MARCH 02, 1942, IN VOLUME "6" LEASES, PAGE 445, RECORDS OF BERNALILLO COUNTY, NEW MEXICO SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE--NORTH AMERICAN DATUM OF 1927) GRID BEARINGS AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 98TH STREET, NW AND THE NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "10-L9" BEARS S 30°05'14" W, A DISTANCE OF 99.07 FEET;

THENCE FROM SAID BEGINNING POINT, ALONG SAID EAST RIGHT OF WAY LINE, N 14°59'24" W, A DISTANCE OF 223.96 FEET TO AN ANGLE POINT MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 10°58'23" W, A DISTANCE OF 610.44 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING, A RADIUS OF 3146.20 FEET, AND ARC LENGTH OF 203.22 FEET, A DELTA ANGLE OF 03°42'03" A CHORD BEARING OF N 14°39'19" W, AND A CHORD DISTANCE OF 203.18 FEET TO A POINT OF TANGENCY MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 14°40'35" W, A DISTANCE OF 149.02 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" LYING ON THE INTERSECTION OF SAID EAST RIGHT OF WAY LINE OF 98TH STREET, N.W. AND THE SOUTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W.;

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE OF VOLCANO ROAD, NW, S 89°46'41" E, A DISTANCE OF 269.62 FEET TO AN ANGLE POINT MARKED BY A FOUND 1" IRON PIPE;

THENCE S 89°47'28" E, A DISTANCE OF 236.14 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND PK NAIL INSIDE A 3" IRON PIPE;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 01°26'11" W, A DISTANCE OF 867.36 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 1/2" REBAR;

THENCE S 74°55'40" W, A DISTANCE OF 227.31 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" REBAR WITH YELLOW PLASTIC CAP THENCE S 00°20'45" W, A DISTANCE OF 20.88 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" IRON PIPE;

THENCE S 00°18'25" W, A DISTANCE OF 207.36 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 8.2088 ACRES± (357,581 SQ. FT.±) MORE OR LESS, NOW COMPRISING LOTS 1, 2, 3, 4, 5 AND 6, KRANIA.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL AND PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Peggy Daskalos 1/9/07
 PEGGY DASKALOS
 KRANIA, LLC

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)

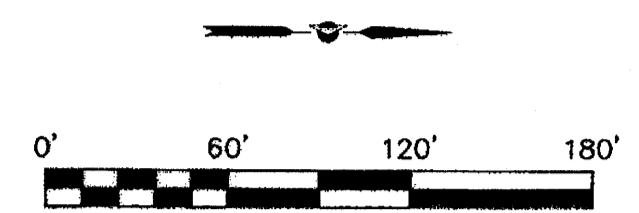
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF January, 2007 BY PEGGY DASKALOS, KRANIA, LLC



BY *Michele B. Ortiz* 8/11/10
 MY COMMISSION EXPIRES: 8/11/10
 NOTARY PUBLIC

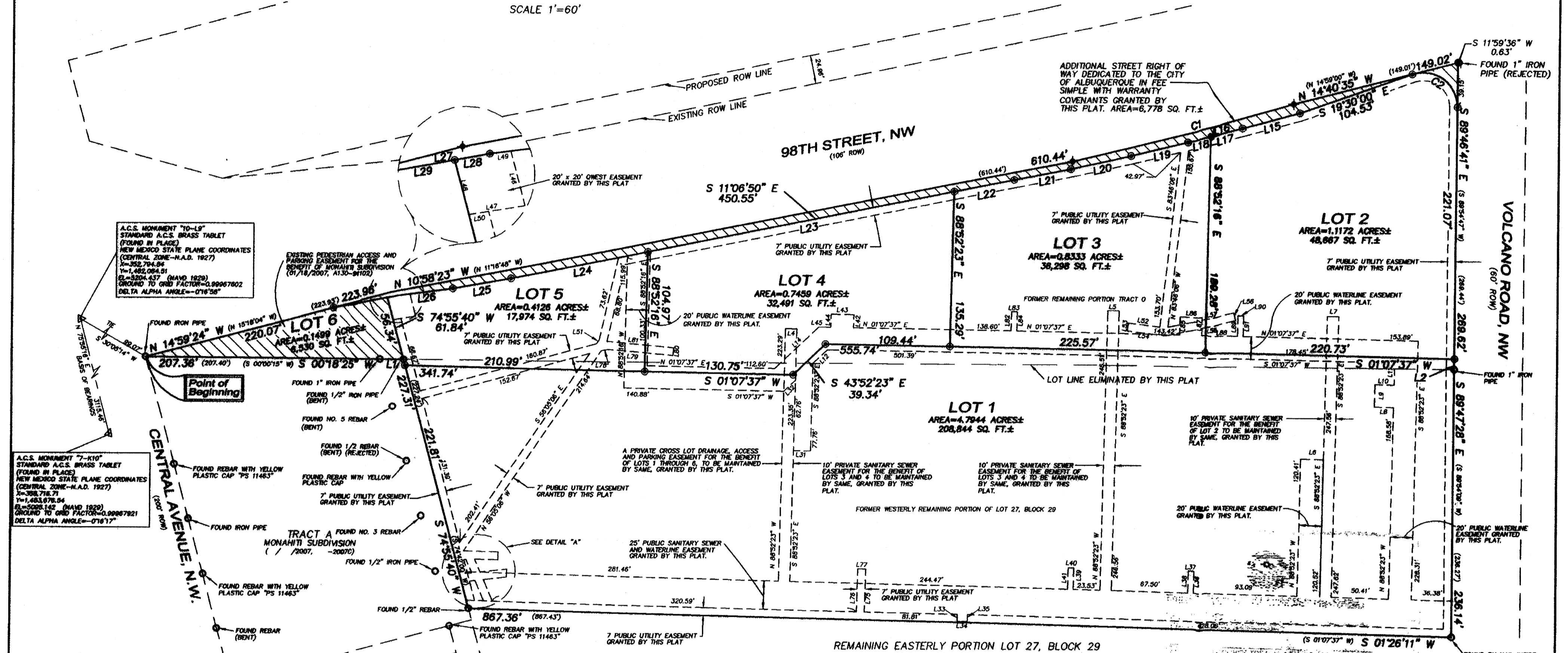
Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11983" SET THIS SURVEY
- ✦ CALCULATED POINT NOT SET



RECORDING STAMP
 DOCH 2007104091
 07/19/2007 01:58 PM Page: 2 of 2
 PLAT R-512.00 B: 2007C P: 0194 M. Toulouse, Bernalillo County

Plat of
Lots 1, 2, 3, 4, 5, and 6
Krania
 Albuquerque, Bernalillo County, New Mexico
 June 2007



A.C.S. MONUMENT "10-19" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=352,704.84 Y=1,402,098.51 EL=3204.437 (MAYD 1929) GROUND TO GRID FACTOR=0.99967802 DELTA ALPHA ANGLE=-076°38'

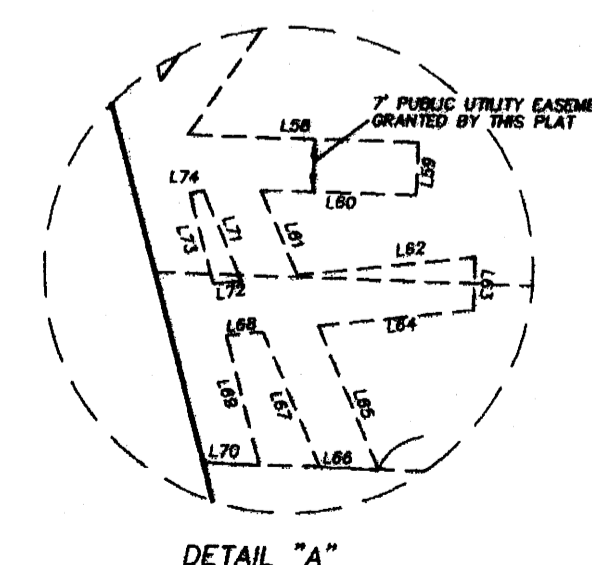
A.C.S. MONUMENT "7-110" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=358,718.71 Y=1,403,078.34 EL=3208.142 (MAYD 1929) GROUND TO GRID FACTOR=0.99967821 DELTA ALPHA ANGLE=-076°17'

Line Table

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 00°20'45" W (S 06°00'16" E)	20.88' (21.06')	L31	N 01°07'37" E	15.00'	L62	N 06°35'03" W	23.57'
L2	N 89°46'41" W	9.40'	L32	S 43°52'23" E	14.35'	L63	N 88°52'23" W	7.06'
L3	N 14°59'24" W	3.90'	L33	N 88°52'23" W	6.27'	L64	N 06°35'03" W	20.49'
L4	S 01°07'37" W	10.00'	L34	S 01°07'12" W	9.00'	L65	N 66°29'35" E	20.54'
L5	S 01°07'37" W	10.00'	L35	S 88°52'23" E	6.22'	L66	S 01°26'11" W	7.72'
L6	N 01°07'37" E	20.00'	L36	N 88°52'22" W	19.28'	L67	N 66°29'35" E	19.41'
L7	S 01°07'37" W	10.00'	L37	S 01°07'37" W	5.00'	L68	S 06°35'03" E	4.83'
L8	S 01°07'37" W	17.00'	L38	S 88°52'22" E	19.24'	L69	S 74°55'40" W	17.68'
L9	N 88°52'23" W	20.00'	L39	N 88°52'23" W	18.69'	L70	S 01°26'11" W	7.30'
L10	N 01°07'37" E	17.00'	L40	S 01°07'38" W	5.00'	L71	N 66°29'35" E	13.02'
L11	N 88°52'23" W	19.63'	L41	S 88°52'23" E	18.67'	L72	S 06°35'03" E	3.74'
L12	S 43°52'23" E	17.83'	L42	N 88°52'23" W	11.32'	L73	S 74°55'40" W	12.40'
L13	N 11°06'50" W	20.47'	L43	S 01°07'37" E	20.00'	L74	N 12°55'21" W	1.79'
L14	N 43°52'23" W	53.39'	L44	S 88°52'23" E	11.32'	L75	N 88°40'59" W	37.66'
L15	S 15°19'28" E	52.10'	L45	N 01°07'37" E	10.51'	L76	N 01°19'01" E	7.00'
L16	S 13°57'59" E	51.61'	L46	S 75°12'33" W	20.00'	L77	N 88°40'59" W	37.67'
L17	S 13°57'59" E	29.90'	L47	S 09°23'28" E	20.00'	L78	N 11°31'50" W	6.04'
L18	S 13°57'59" E	21.71'	L48	S 74°55'40" W	20.00'	L79	N 05°29'42" E	57.42'
L19	S 13°57'01" E	51.69'	L49	N 07°37'42" W	7.51'	L80	S 84°30'18" E	7.00'
L20	S 12°29'27" E	54.21'	L50	S 09°23'28" E	7.03'	L81	N 05°29'42" E	59.10'
L21	S 11°06'36" E	50.74'	L51	N 56°05'06" W	4.18'	L82	S 88°52'23" E	16.84'
L22	S 11°06'50" E	53.66'	L52	S 06°41'27" W	28.20'	L83	S 01°07'37" W	5.00'
L23	S 11°06'50" E	274.23'	L53	S 83°18'33" E	7.00'	L84	N 88°52'23" W	16.84'
L24	S 11°06'50" E	122.66'	L54	S 06°41'27" W	34.41'	L85	N 88°52'23" W	15.90'
L25	S 10°04'56" E	51.87'	L55	S 12°06'37" E	64.79'	L86	N 01°07'37" E	20.00'
L26	S 07°37'42" E	45.69'	L56	N 77°53'23" E	7.00'	L87	S 88°52'23" E	15.90'
L27	S 10°29'10" E	62.16'	L57	S 12°06'37" E	61.57'	L88	N 01°07'37" E	33.25'
L28	S 10°29'10" E	12.59'	L58	S 01°14'57" W	30.34'	L89	N 88°52'23" W	18.20'
L29	S 10°29'10" E	49.57'	L59	S 88°45'03" E	7.00'	L90	N 01°07'37" E	5.00'
L30	N 14°40'35" W	6.35'	L60	S 01°14'57" W	20.39'	L91	S 88°52'23" E	18.20'
			L61	N 66°29'35" E	12.27'			

Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	3146.20' (3146.20')	203.22' (203.18')	03°42'03" (03°42'03")	101.84' (101.84')	203.18' (1497'41" E)	S 14°39'19" E (203.18')
C2	30.00'	57.45'	109°43'19"	42.62'	49.07'	N 35°21'40" E

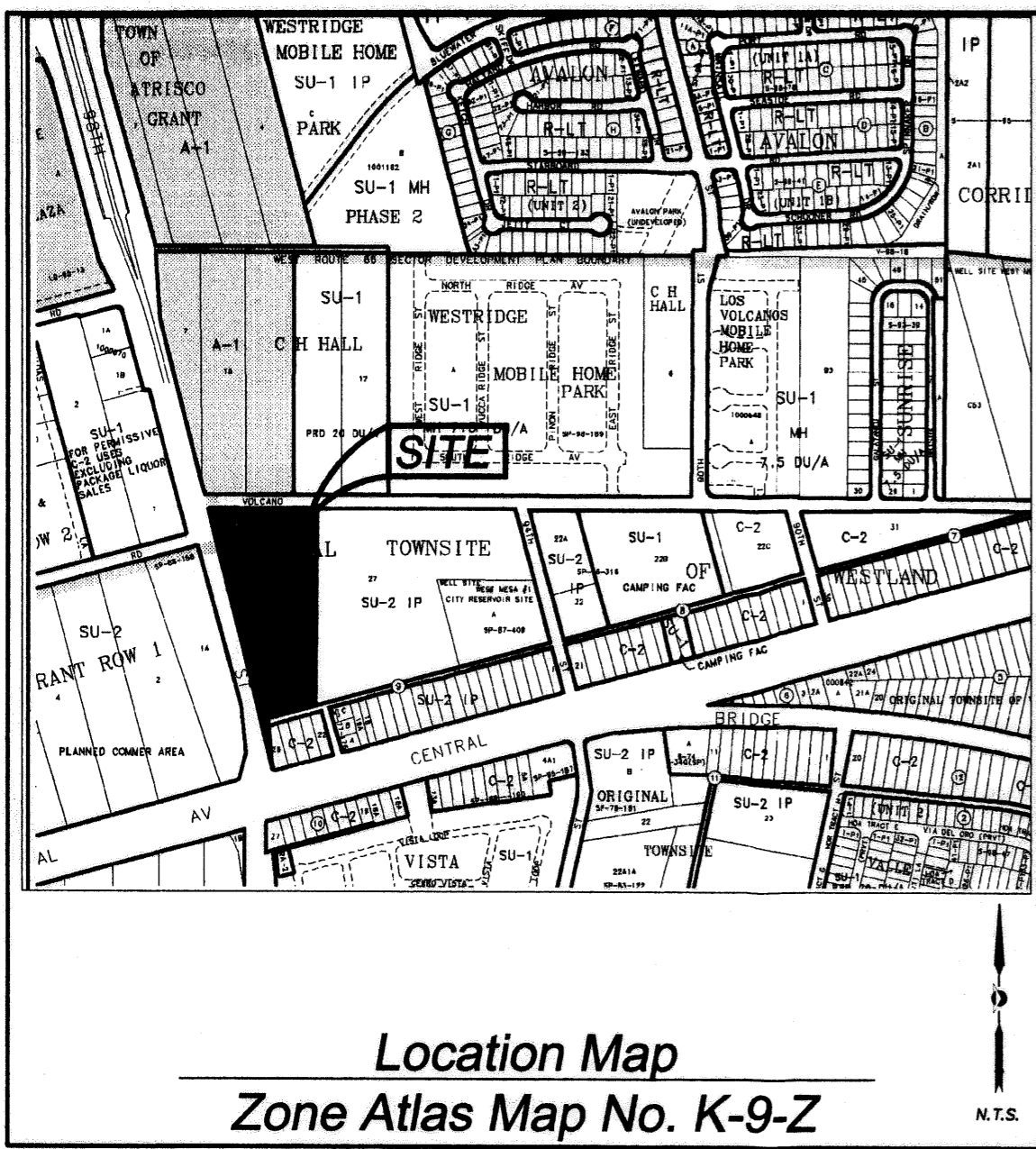


PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

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Location Map
Zone Atlas Map No. K-9-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 8.2088 ACRES±
 ZONE ATLAS INDEX NO: K-9-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 6
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2006, FIELD VERIFIED JULY 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE REMAINING PORTIONS OF THE EXISTING TWO TRACTS INTO SIX NEW LOTS, DEDICATE ROW AND TO GRANT EASEMENTS.

Notes:

- MISC. DATA: ZONING SU-2 IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006510305.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE REMAINING PORTION OF TRACT LETTERED "O" AS DESCRIBED IN QUITCLAIM DEED RECORDED ON JUNE 12, 1959, IN BOOK D486, PAGE 65, DOCUMENT NUMBER 21744, RECORDS OF BERNALILLO COUNTY, NEW MEXICO AND THE REMAINING WESTERLY PORTION OF LOT NUMBERED TWENTY-SEVEN (27), IN BLOCK NUMBERED TWENTY-NINE (29) OF THE ORIGINAL TOWNSITE OF WESTLAND AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1935, IN MAP BOOK D, FOLIO 53, SAID REMAINING PORTION AS DESCRIBED IN LEASE DEED RECORDED ON MARCH 02, 1942, IN VOLUME "6" LEASES, PAGE 445, RECORDS OF BERNALILLO COUNTY, NEW MEXICO SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) GRID BEARINGS AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 98TH STREET, NW AND THE NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "10-L9" BEARS S 30°05'14" W, A DISTANCE OF 99.07 FEET;

THENCE FROM SAID BEGINNING POINT, ALONG SAID EAST RIGHT OF WAY LINE, N 14°59'24" W, A DISTANCE OF 223.96 FEET TO AN ANGLE POINT MARKED BY SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 10°58'23" W, A DISTANCE OF 610.44 FEET TO A POINT OF CURVATURE MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING, A RADIUS OF 3146.20 FEET, AND ARC LENGTH OF 203.22 FEET, A DELTA ANGLE OF 03°42'03" A CHORD BEARING OF N 14°39'19" W, AND A CHORD DISTANCE OF 203.18 FEET TO A POINT OF TANGENCY MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 14°40'35" W, A DISTANCE OF 149.02 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" LYING ON THE INTERSECTION OF SAID EAST RIGHT OF WAY LINE OF 98TH STREET, N.W. AND THE SOUTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W.;

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE OF VOLCANO ROAD, NW, S 89°46'41" E, A DISTANCE OF 269.62 FEET TO AN ANGLE POINT MARKED BY A FOUND 1" IRON PIPE; THENCE S 89°47'28" E, A DISTANCE OF 236.14 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND PK NAIL INSIDE A 3" IRON PIPE;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 01°26'11" W, A DISTANCE OF 867.36 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND 1/2" REBAR;

THENCE S 74°55'40" W, A DISTANCE OF 227.31 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" REBAR WITH YELLOW PLASTIC CAP THENCE S 00°20'45" W, A DISTANCE OF 20.88 FEET TO AN ANGLE POINT MARKED BY A FOUND 1/2" IRON PIPE;

THENCE S 00°18'25" W, A DISTANCE OF 207.36 FEET TO THE POINT OF BEGINNING, HAVING AN AREA OF 8,2088 ACRES± (357,581 SQ. FT.±) MORE OR LESS, NOW COMPRISING LOTS 1, 2, 3, 4, 5 AND 6, KRANIA.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Peggy Daskalos
 PEGGY DASKALOS
 KRANIA, LLC

1/9/07
 DATE

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF January, 2007 BY PEGGY DASKALOS, KRANIA, LLC

BY *Michele B. Ortiz* MY COMMISSION EXPIRES: 8/11/10
 NOTARY PUBLIC

#8

Plat of
 Lots 1, 2, 3, 4, 5, and 6

Krania

Albuquerque, Bernalillo County, New Mexico
 January 2007

Project No. _____

Application No. _____

Utility Approvals: **PRELIMINARY PLAT APPROVED BY DRB**

PNM ELECTRIC SERVICES ON 02/07/07 DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

NEW MEXICO UTILITIES _____ DATE _____

City Approvals: *[Signature]* 1-11-07
 CITY SURVEYOR _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

ENVIRONMENTAL HEALTH DEPARTMENT _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

WATER UTILITY DEPARTMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 01/09/2007
 LARRY W. MEDRANO
 N.M.P.S. No. 11993 DATE



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

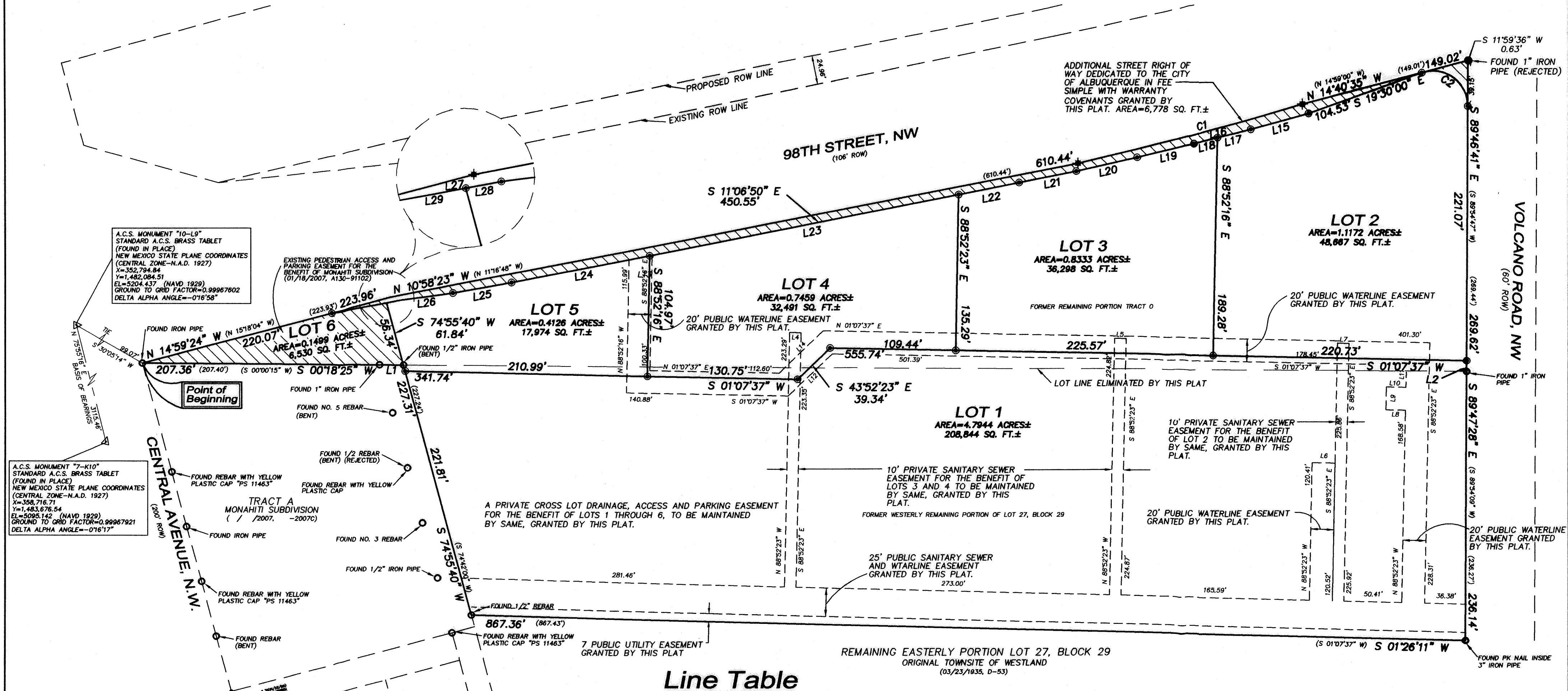
866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

RECORDING STAMP

Plat of
 Lots 1, 2, 3, 4, 5, and 6
Krania
 Albuquerque, Bernalillo County, New Mexico
 January 2007

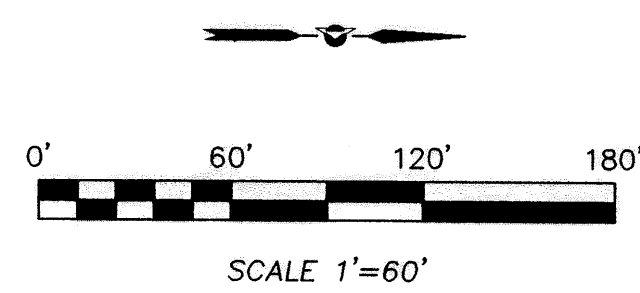


Line Table

LINE	BEARING	DISTANCE
L1	S 00°20'45" W (S 00°00'19" E)	20.88' (21.06')
L2	N 89°48'41" W	9.40'
L3	N 14°59'24" W	3.90'
L4	S 01°07'37" W	10.00'
L5	S 01°07'37" W	10.00'
L6	N 01°07'37" E	20.00'
L7	S 01°07'37" W	10.00'
L8	S 01°07'37" W	17.00'
L9	N 88°52'23" W	20.00'
L10	N 01°07'37" E	17.00'
L11	N 88°52'23" W	19.63'
L12	S 43°52'23" E	53.39'
L13	N 11°06'50" W	20.47'
L14	N 43°52'23" W	53.39'
L15	S 15°19'28" E	52.10'
L16	S 13°57'59" E	51.61'
L17	S 13°57'59" E	29.90'
L18	S 13°57'59" E	21.71'
L19	S 13°57'01" E	51.69'
L20	S 12°29'27" E	54.21'
L21	S 11°06'36" E	50.74'
L22	S 11°06'50" E	53.66'
L23	S 11°06'50" E	274.23'
L24	S 11°06'50" E	122.66'
L25	S 10°04'56" E	51.87'
L26	S 07°37'42" E	45.69'
L27	S 10°29'10" E	62.16'
L28	S 10°29'10" E	12.59'
L29	S 10°29'10" E	49.57'
L30	N 14°40'35" W	6.35'

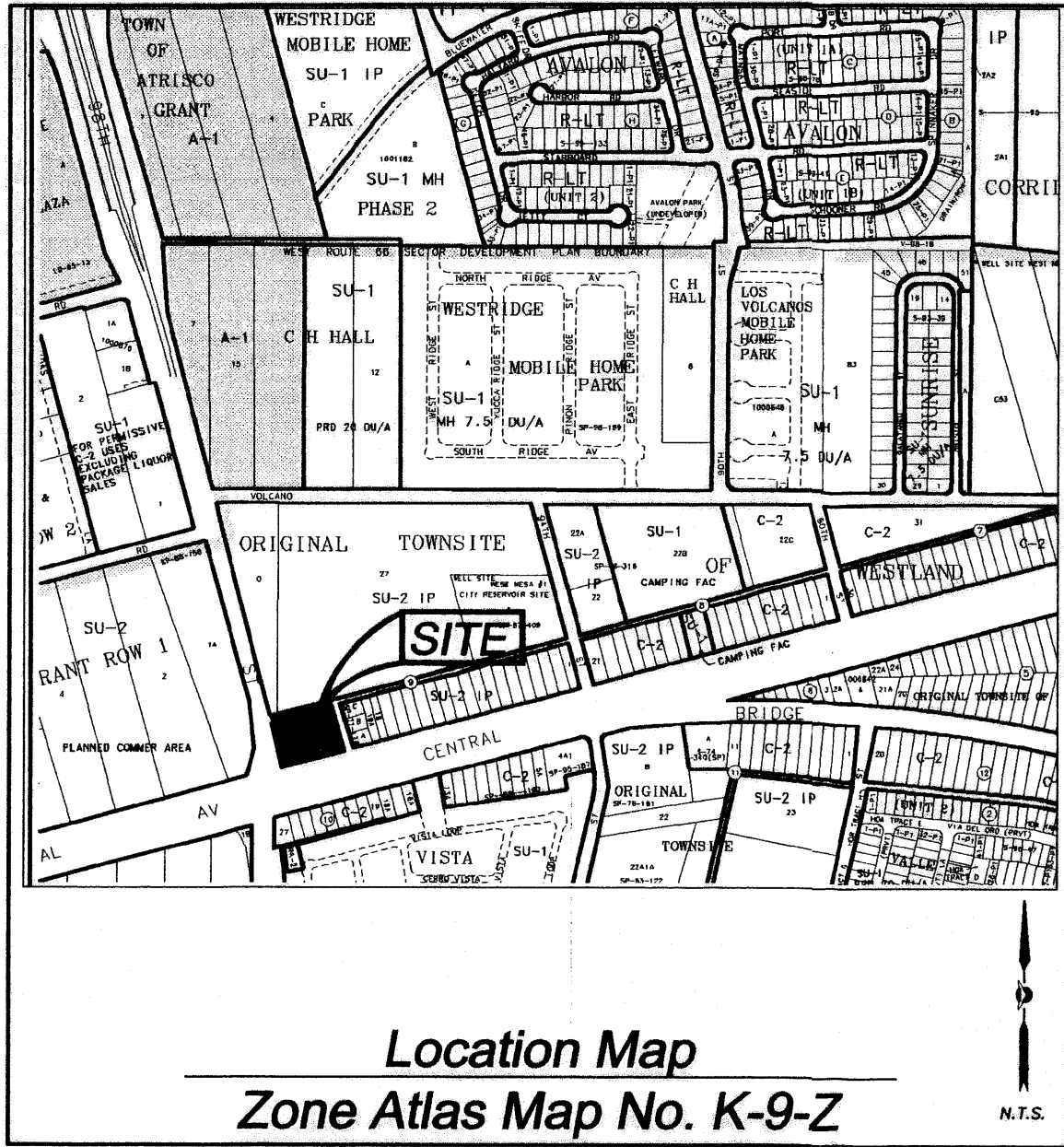
Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	3146.20'	203.22'	03°42'03"	101.64'	203.18'	S 14°39'19" E
	(3146.20')	(203.18')	(03°42'03")		(S 14°37'44" E)	(203.18')
C2	30.00'	57.45'	109°43'19"	42.62'	49.07'	N 35°21'40" E



PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113
 866.422.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



Location Map
Zone Atlas Map No. K-9-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: AREA=1.3566 ACRES±
 ZONE ATLAS INDEX NO: K-9-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2006, FIELD VERIFIED JULY 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO VACATE THE EXISTING ALLEY (06DRB-01541 MAJOR VACATION OF PUBLIC EASEMENTS) AND TO REPLAT THE EXISTING FIVE TRACTS AND VACATED ALLEY INTO ONE NEW TRACT.

Notes:

- MISC. DATA: ZONING C-2
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006293119

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

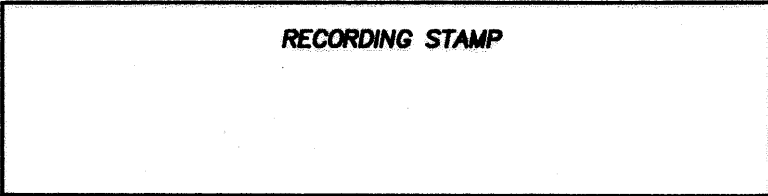
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

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- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Plat of
Tract A
Monahiti Subdivision

Albuquerque, Bernalillo County, New Mexico
November 2006

Project No. 1004354

Application No. 06DRB-01426

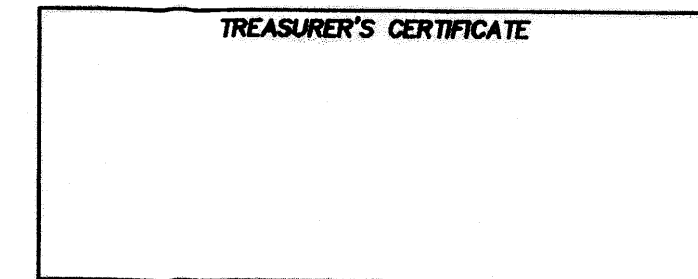
Utility Approvals

<i>Larry D. Marks</i>	2-6-07
PNM ELECTRIC SERVICES	DATE
<i>Larry D. Marks</i>	2-6-07
PNM GAS SERVICES	DATE
<i>Scott R. ...</i>	1/19/07
QWEST TELECOMMUNICATIONS	DATE
<i>Scott R. ...</i>	1-22-07
COMCAST	DATE
NEW MEXICO UTILITIES	DATE

City Approvals

<i>John B. ...</i>	12-11-06
CITY SURVEYOR	DATE
N/A	
REAL PROPERTY DIVISION	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>William G. Baker</i>	2/7/07
WATER UTILITY DEPARTMENT	DATE
<i>Christina Sandoval</i>	2/7/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley S. Bingham</i>	2/7/07
AMAFCA	DATE
<i>Bradley S. Bingham</i>	2/7/07
CITY ENGINEER	DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 12/05/06
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE



8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX

Legal Description

A TRACT OF LAND LYING AND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED TWENTY TWO (22) THROUGH TWENTY SIX (26) INCLUSIVE, IN BLOCK NUMBERED NINE (9) OF THE ORIGINAL TOWNSITE OF WESTLAND AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1935, IN MAP BOOK D, FOLIO 53, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) GRID BEARINGS AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 98TH STREET, NW AND THE NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT BEARS S 30°05'14" W, A DISTANCE OF 99.07 FEET;

THENCE FROM SAID BEGINNING POINT, LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°18'25" E, A DISTANCE OF 207.36 FEET TO AN ANGLE POINT MARKED BY FOUND 1" IRON PIPE;

THENCE N 00°20'45" E, A DISTANCE OF 20.88 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NUMBER 5 REBAR (BENT);

THENCE N 75°55'40" E, A DISTANCE OF 238.06 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 15°08'09" E, A DISTANCE OF 219.96 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON SAID NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 10283";

THENCE S 74°36'14" W, A DISTANCE OF 50.35 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR (BENT);

THENCE S 75°14'15" W, ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT FIVE COURSES, A DISTANCE OF 49.69 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 74°36'30" W, A DISTANCE OF 50.27 FEET TO AN ANGLE POINT MARKED BY A FOUND IRON PIPE;

THENCE S 75°06'03" W, A DISTANCE OF 49.75 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 74°57'05" W, A DISTANCE OF 98.80 FEET TO THE POINT OF BEGINNING HAVING AN AREA OF 1.3566 ACRES (59,095 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT "A", MONAHITI SUBDIVISION.

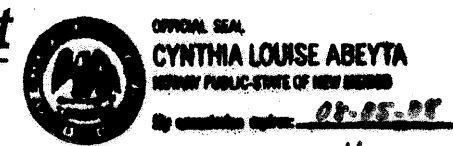
Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Pete Daskalos 12/5/06
PETE DASKALOS
MONAHITI, LLC
DATE

Acknowledgment

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)



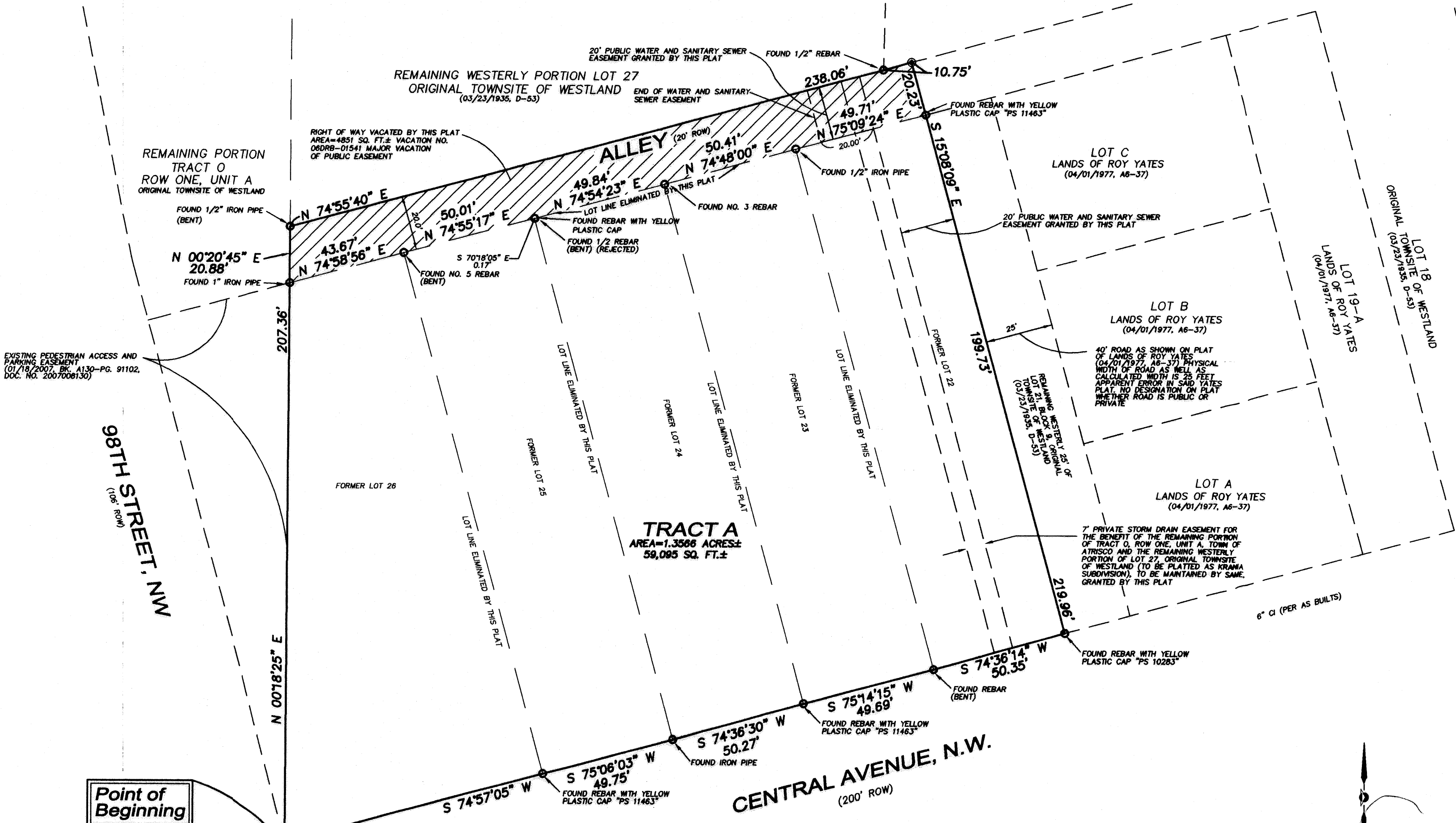
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF December, 2006 BY PETE DASKALOS, MONAHITI, LLC

BY *Cynthia Louise Abeyta* MY COMMISSION EXPIRES: 08-25-2008
NOTARY PUBLIC

C:\Plats\2006\068353P.dwg - 12/05/2006 8:11:17 AM

RECORDING STAMP

Plat of
Tract A
Monahiti Subdivision
 Albuquerque, Bernalillo County, New Mexico
 January 2007



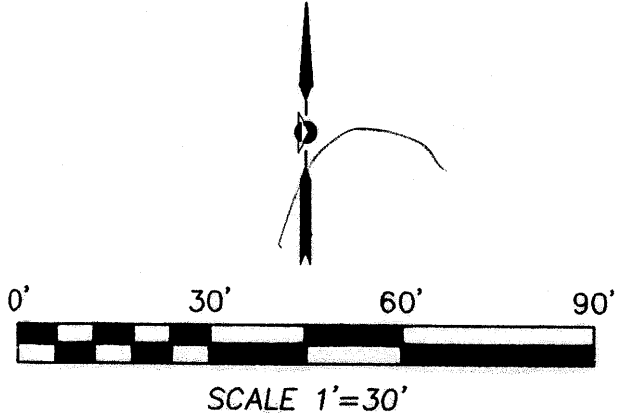
EXISTING PEDESTRIAN ACCESS AND PARKING EASEMENT (01/19/2007, BK. A130-PG. 91102, DOC. NO. 2007006130)

Point of Beginning

A.C.S. MONUMENT "10-L9" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=352,794.84 Y=1,482,084.51 EL=5204.437 (NAVD 1929) GROUND TO GRID FACTOR=0.99987602 DELTA ALPHA ANGLE=-0°16'58"

A.C.S. MONUMENT "7-K10" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=358,716.71 Y=1,483,676.54 EL=5085.142 (NAVD 1929) GROUND TO GRID FACTOR=0.99987921 DELTA ALPHA ANGLE=-0°16'17"

CROSS LOT ACCESS, DRAINAGE, AND PARKING EASEMENT FOR THE BENEFIT OF THE REMAINING PORTION OF TRACT O, ROW ONE, UNIT A, TOWN OF ATRISCO AND THE REMAINING WESTERLY PORTION OF LOT 27, ORIGINAL TOWNSITE OF WESTLAND (TO BE PLATTED AS KRAMA SUBDIVISION), TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT



Line Table

LINE	BEARING	DISTANCE
L1	S 14°50'36" E	20.19'
L2	N 75°09'24" E	10.85'

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
 Albuquerque, NM 87113

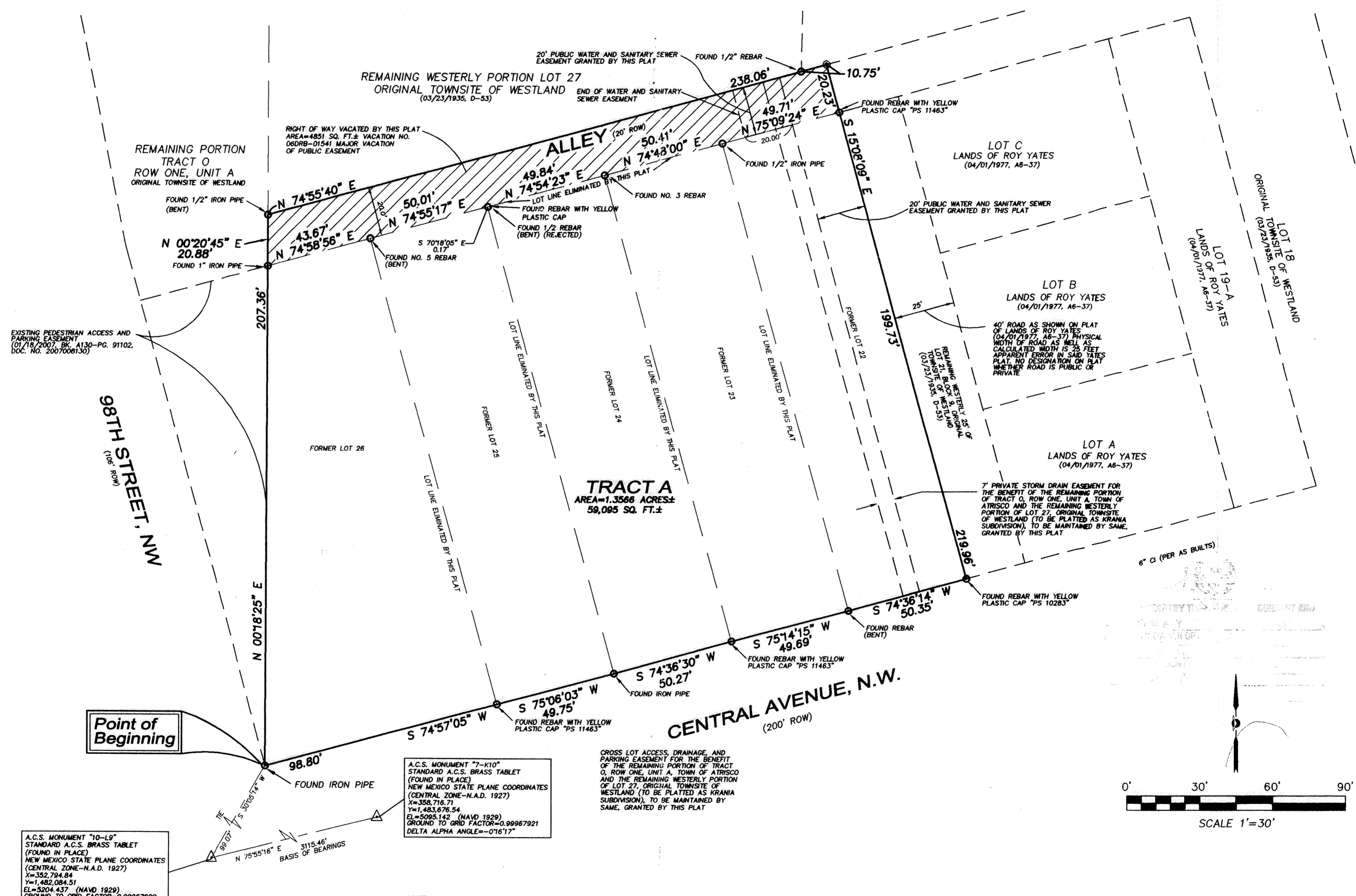
866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

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RECORDING STAMP

2887835889
6618756
Page: 2 of 2
03/06/2007 02:12P
Maggie Toulouse Bern. Co. PLRT R 12.00 Bk-2087C Pg-53

Plat of
Tract A
Monahiti Subdivision
Albuquerque, Bernalillo County, New Mexico
January 2007



EXISTING PEDESTRIAN ACCESS AND PARKING EASEMENT (01/18/2007 BK. A130-PG. 91102, DOC. NO. 2007006130)

98TH STREET, NW
(100' ROW)

TRACT A
AREA=1.3586 ACRES±
59,095 SQ. FT.±

LOT B
LANDS OF ROY YATES
(04/01/1977, A6-37)

LOT A
LANDS OF ROY YATES
(04/01/1977, A6-37)

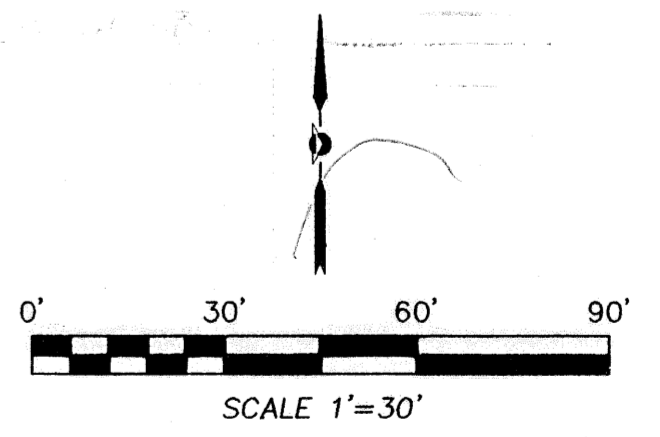
7' PRIVATE STORM DRAIN EASEMENT FOR THE BENEFIT OF THE REMAINING PORTION OF TRACT O, ROW ONE, UNIT A, TOWN OF ATRISCO AND THE REMAINING WESTERLY PORTION OF LOT 27, ORIGINAL TOWNSITE OF WESTLAND (TO BE PLATTED AS KRANIA SUBDIVISION), TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.

Point of Beginning

A.C.S. MONUMENT "10-19" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=352,794.84 Y=1,482,084.51 EL=5204.437' (NAVD 1929) GROUND TO GRID FACTOR=0.99967602 DELTA ALPHA ANGLE=-0°16'58"

A.C.S. MONUMENT "7-110" STANDARD A.C.S. BRASS TABLE (FOUND IN PLACE) NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1927) X=358,716.71 Y=1,483,676.54 EL=5095.142' (NAVD 1929) GROUND TO GRID FACTOR=0.99967921 DELTA ALPHA ANGLE=-0°16'17"

CROSS LOT ACCESS, DRAINAGE, AND PARKING EASEMENT FOR THE BENEFIT OF THE REMAINING PORTION OF TRACT O, ROW ONE, UNIT A, TOWN OF ATRISCO AND THE REMAINING WESTERLY PORTION OF LOT 27, ORIGINAL TOWNSITE OF WESTLAND (TO BE PLATTED AS KRANIA SUBDIVISION), TO BE MAINTAINED BY SAME, GRANTED BY THIS PLAT.



Line Table

LINE	BEARING	DISTANCE
L1	S 14°50'36" E	20.19'
L2	N 75°09'24" E	10.85'

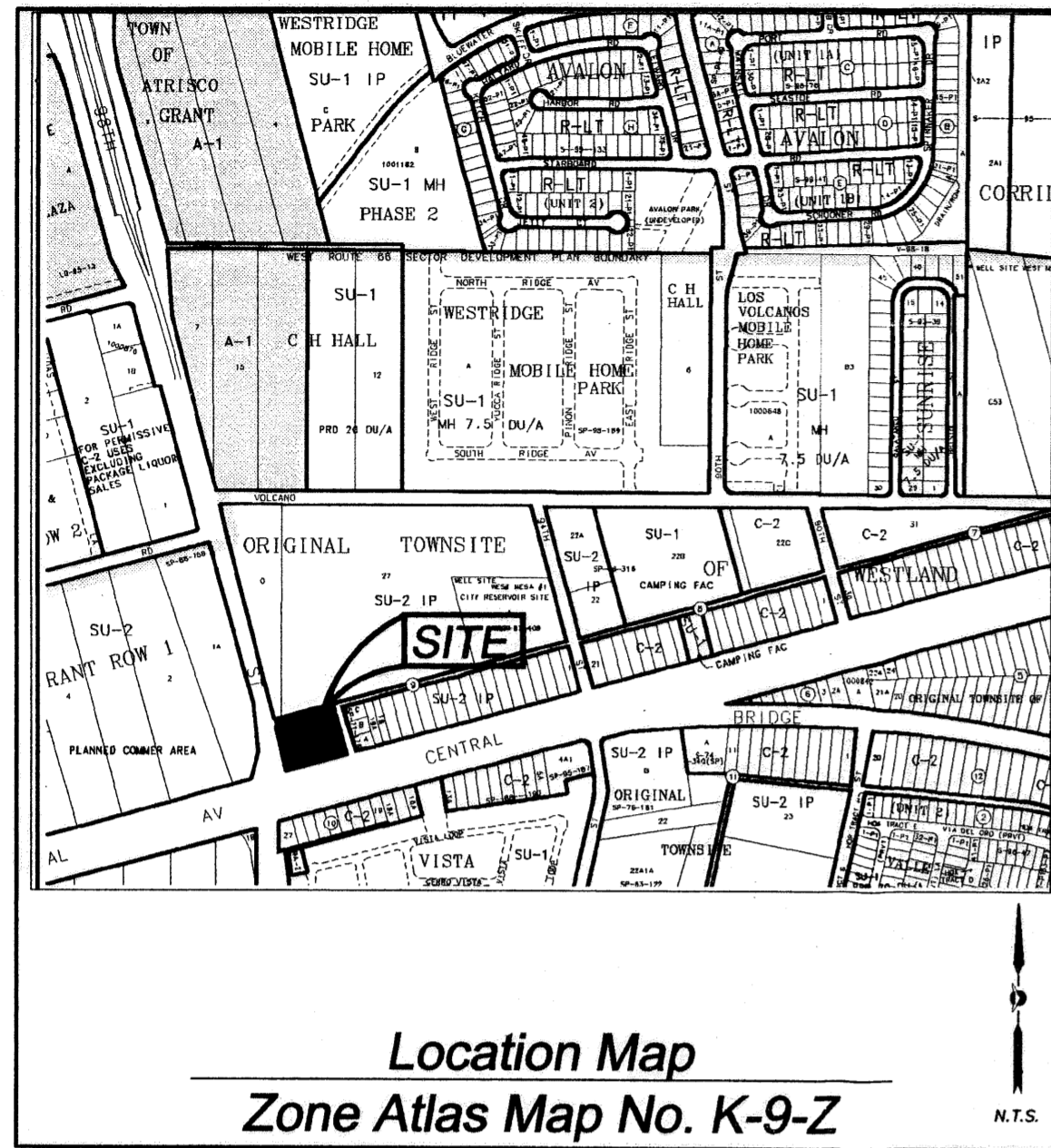
Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY

PRECISION SURVEYS, INC.

8500-A Jefferson Street, NE
Albuquerque, NM 87113

866.442.8011 TOLL FREE
505.856.5700 PHONE
505.856.7900 FAX



Subdivision Data:
 GROSS SUBDIVISION ACREAGE: AREA=1.3566 ACRES±
 ZONE ATLAS INDEX NO: K-9-Z
 NO. OF TRACTS CREATED: 1
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: APRIL 2006, FIELD VERIFIED JULY 2006

Disclosure Statement:

THE PURPOSE OF THIS PLAT IS TO VACATE THE EXISTING ALLEY (06DRB-01541 MAJOR VACATION OF PUBLIC EASEMENTS) AND TO REPLAT THE EXISTING FIVE TRACTS AND VACATED ALLEY INTO ONE NEW TRACT.

Notes:

- MISC. DATA: ZONING C-2
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2006293119

Easements

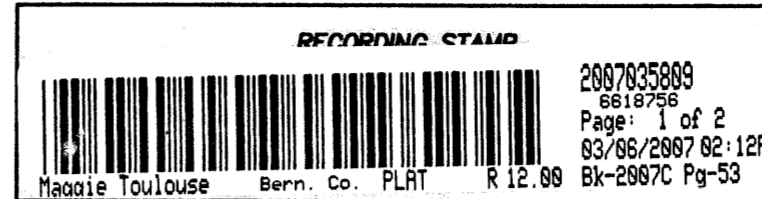
THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - QUEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Plat of
 Tract A
Monahiti Subdivision
 Albuquerque, Bernalillo County, New Mexico
 November 2006

Project No. 1004354

Application No. 06DRB-01426

Utility Approvals

<i>Lee D. Marks</i>	2-6-07
PNM ELECTRIC SERVICES	DATE
<i>Lee D. Marks</i>	2-6-07
PNM GAS SERVICES	DATE
<i>Lee D. Marks</i>	1/19/07
QUEST TELECOMMUNICATIONS	DATE
<i>Lee D. Marks</i>	1-22-07
COMCAST	DATE
<i>Lee D. Marks</i>	2/06/07
NEW MEXICO UTILITIES	DATE

City Approvals

<i>Lee D. Marks</i>	12-11-06
CITY SURVEYOR	DATE
<i>Lee D. Marks</i>	3-6-07
REAL PROPERTY DIVISION	DATE
N/A	
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>Lee D. Marks</i>	3-6-07
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
<i>Lee D. Marks</i>	2/7/07
WATER UTILITY DEPARTMENT	DATE
<i>Lee D. Marks</i>	2/7/07
PARKS AND RECREATION DEPARTMENT	DATE
<i>Lee D. Marks</i>	2/7/07
AMAFCA	DATE
<i>Lee D. Marks</i>	2/7/07
CITY ENGINEER	DATE
<i>Lee D. Marks</i>	2/06/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

TREASURER'S CERTIFICATE
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # *06DRB-01541* PROPERTY OWNER OF RECORD: *MONAHITI LLC*
 BERNALILLO COUNTY TREASURER'S OFFICE
Lee D. Marks 3/6/07

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Lee D. Marks 12/05/06
 LARRY W. MEDRANO
 N.M.P.S. No. 11993
 DATE



8500-A Jefferson Street, NE
 Albuquerque, NM 87113

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX

Legal Description

A TRACT OF LAND LYING AND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED TWENTY TWO (22) THROUGH TWENTY SIX (26) INCLUSIVE, IN BLOCK NUMBERED NINE (9) OF THE ORIGINAL TOWNSITE OF WESTLAND AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 23, 1935, IN MAP BOOK D, FOLIO 53, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) GRID BEARINGS AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF DESCRIBED TRACT LYING ON THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF 98TH STREET, NW AND THE NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT BEARS S 30°05'14" W, A DISTANCE OF 99.07 FEET;

THENCE FROM SAID BEGINNING POINT, LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°18'25" E, A DISTANCE OF 207.36 FEET TO AN ANGLE POINT MARKED BY FOUND 1" IRON PIPE;

THENCE N 00°20'45" E, A DISTANCE OF 20.88 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND NUMBER 5 REBAR (BENT);

THENCE N 75°55'40" E, A DISTANCE OF 238.06 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 15°08'09" E, A DISTANCE OF 219.96 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT LYING ON SAID NORTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 10283";

THENCE S 74°36'14" W, A DISTANCE OF 50.35 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR (BENT);

THENCE S 75°14'15" W, ALONG SAID NORTH RIGHT OF WAY LINE FOR THE NEXT FIVE COURSES, A DISTANCE OF 49.69 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 74°36'30" W, A DISTANCE OF 50.27 FEET TO AN ANGLE POINT MARKED BY A FOUND IRON PIPE;

THENCE S 75°06'03" W, A DISTANCE OF 49.75 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH YELLOW PLASTIC CAP "PS 11463";

THENCE S 74°57'05" W, A DISTANCE OF 98.80 FEET TO THE POINT OF BEGINNING HAVING AN AREA OF 1.3566 ACRES (59,095 SQUARE FEET) MORE OR LESS, NOW COMPRISING TRACT "A", MONAHITI SUBDIVISION.

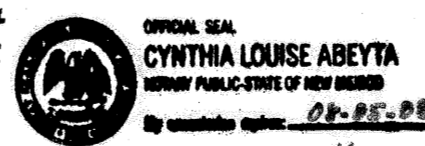
Free Consent

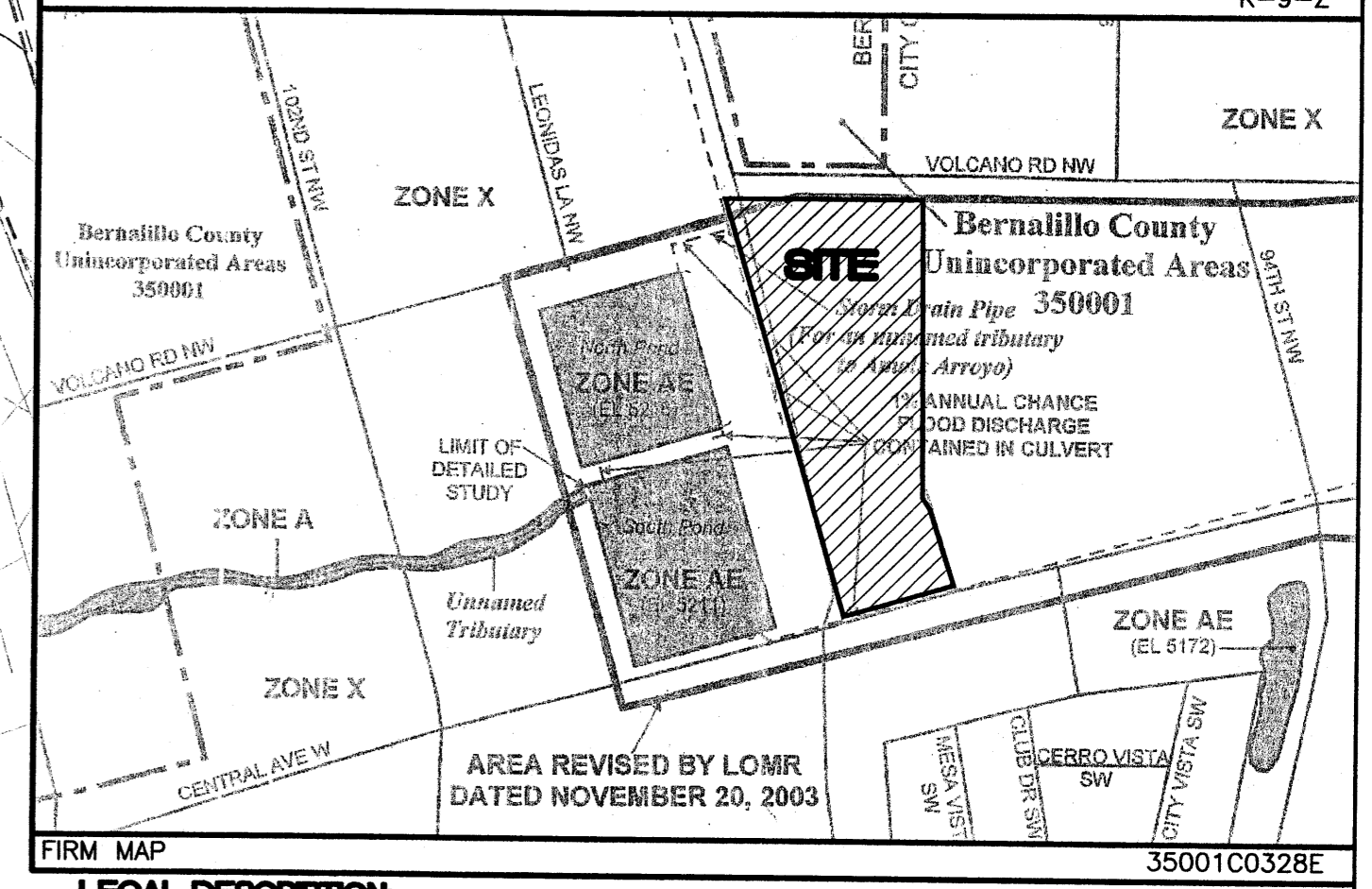
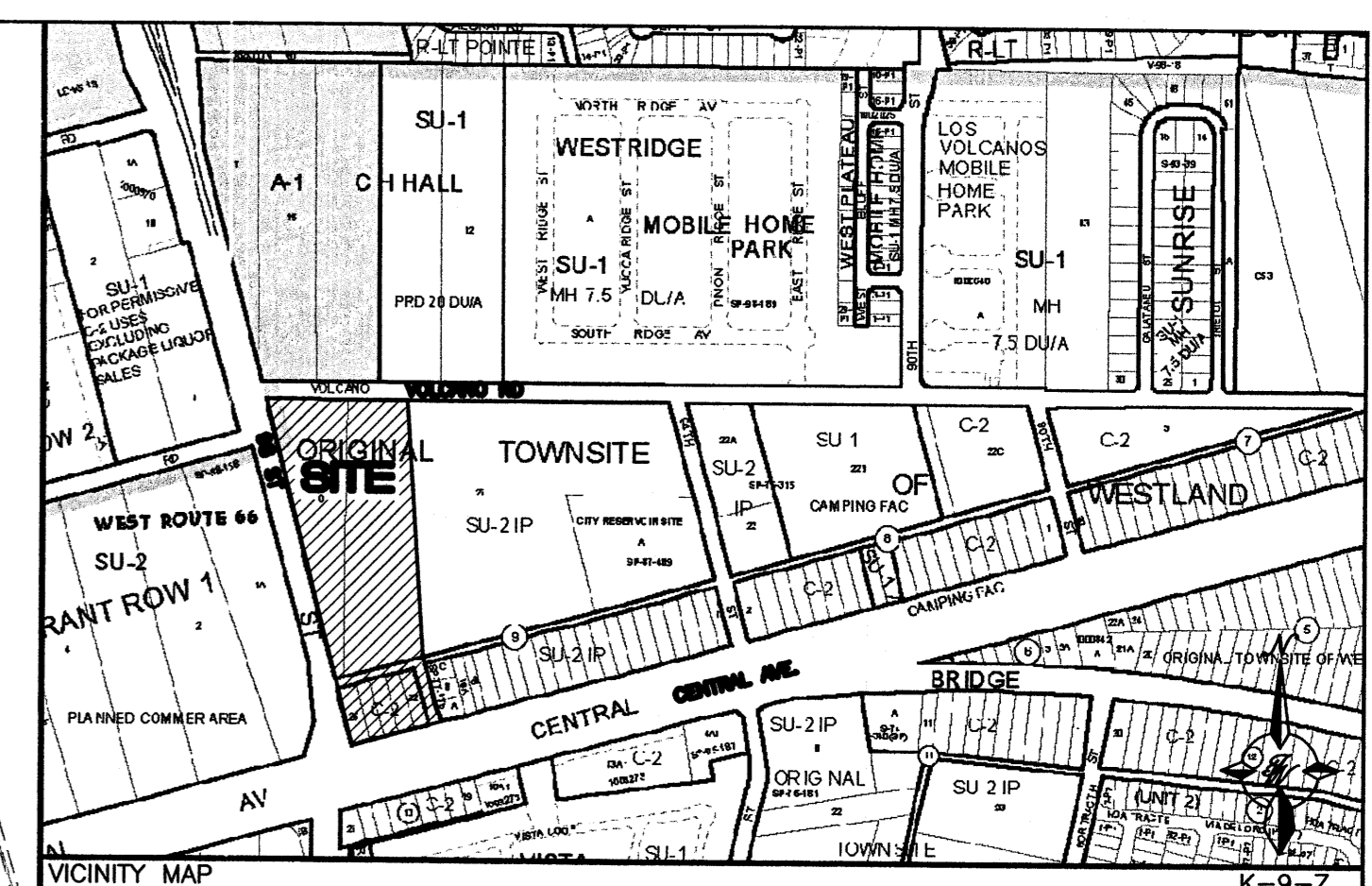
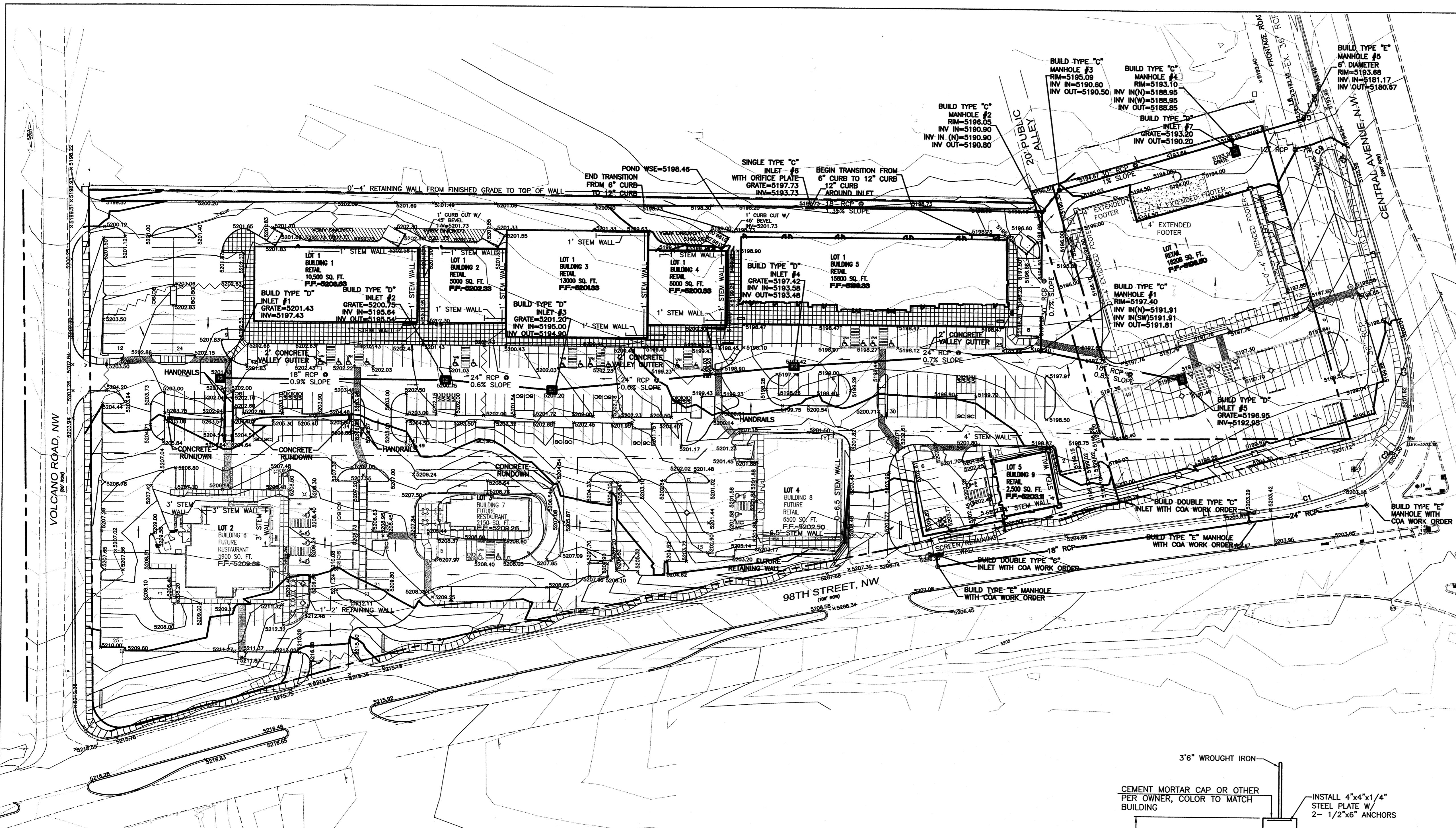
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Pete Daskalos 12/5/06
 PETE DASKALOS
 MONAHITI, LLC
 DATE

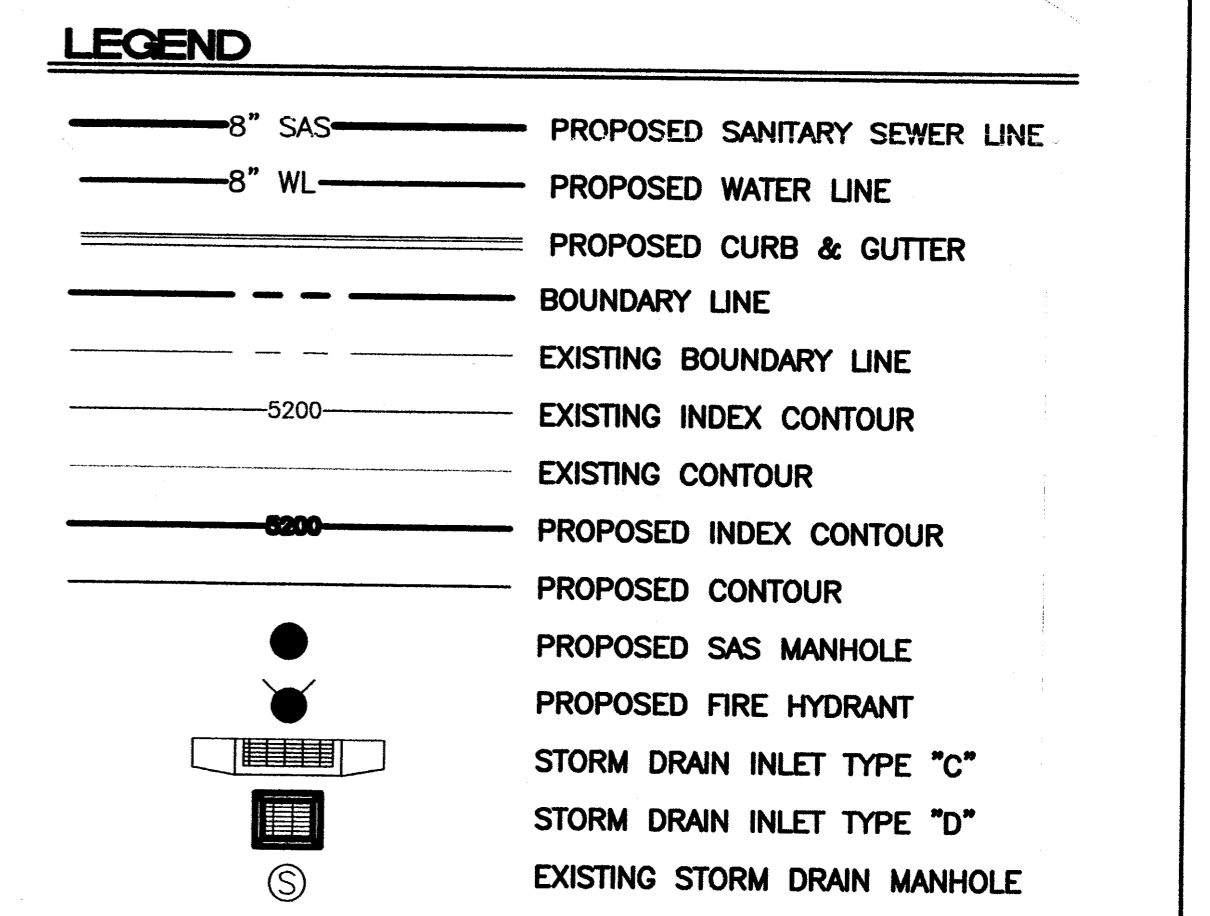
Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF December, 2006 BY
 PETE DASKALOS, MONAHITI, LLC
 BY *Cynthia Louise Abeyta* MY COMMISSION EXPIRES: 08-05-2008
 NOTARY PUBLIC





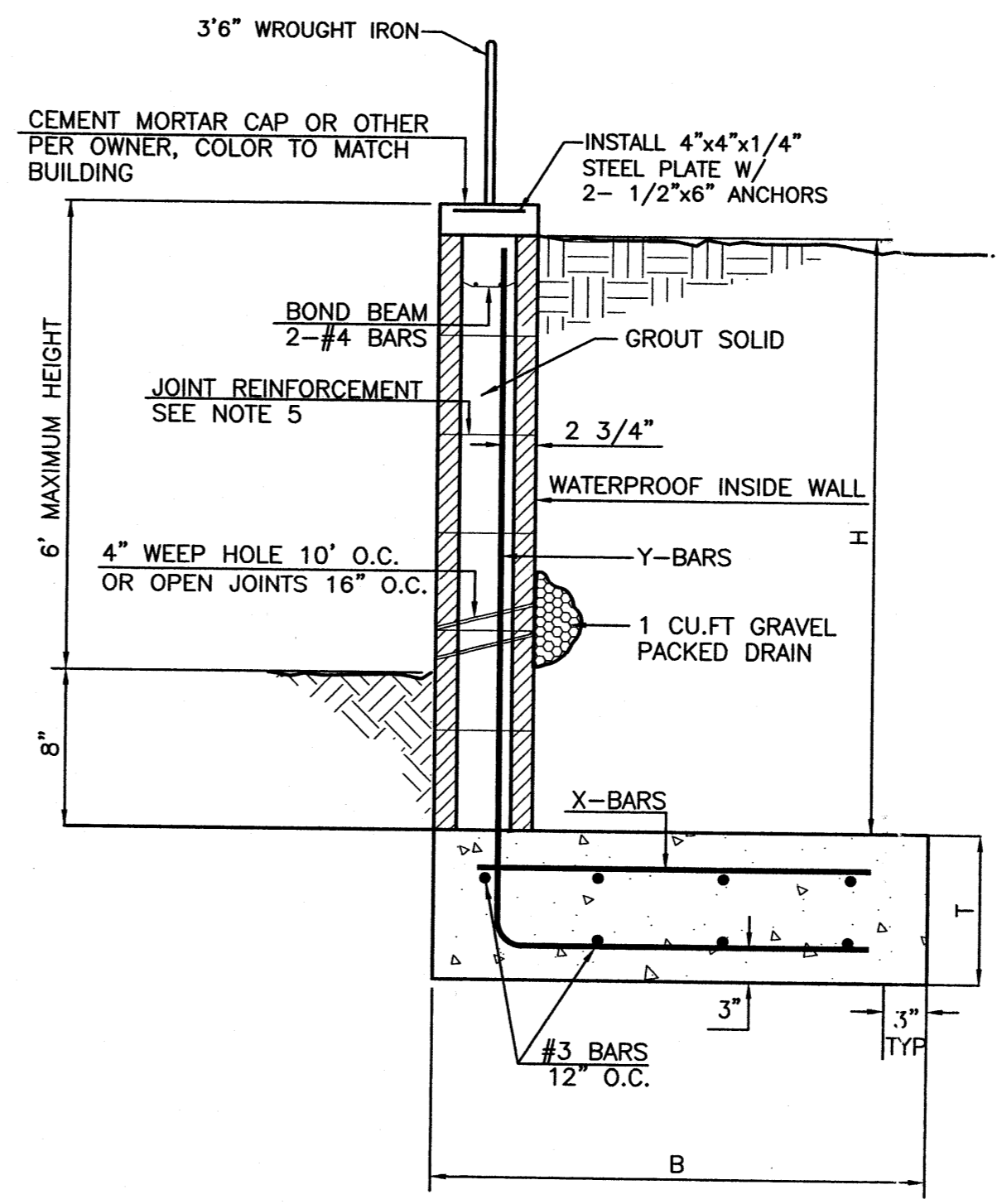
LEGAL DESCRIPTION:
 LOTS 22 THRU 26 AND PORTION OF LOT 27, BLOCK 9 AND TRACT O, ORIGINAL TOWNSITE OF WESTLAND, BERNALILLO COUNTY, NEW MEXICO



- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
 7. 30 BAR DIAMETER LAPS TYPICAL.
 8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
 9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
 10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
 11. SOLID MASONRY CAP COURSE TYPICAL.
 12. WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

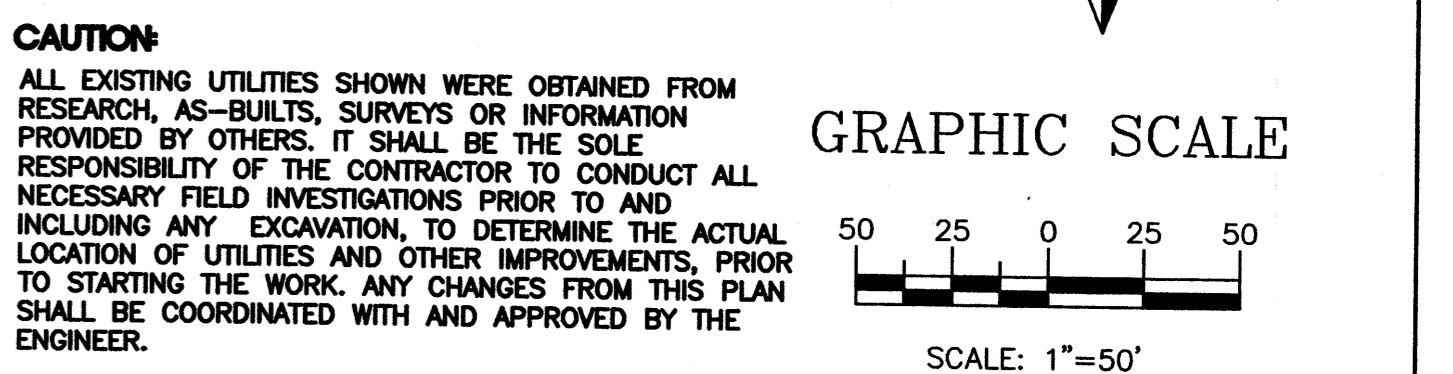
H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.



"L" FOOTING RETAINING WALL DETAIL
 NTS

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	NORTHEAST CORNER OF 98TH AND CENTRAL	DRAWN BY EMT
	GRADING AND DRAINAGE PLAN	DATE 11-29-06
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2566-GRB.DWG	SHEET # 4
RONALD R. BOHANNAN P.E. #7868		JOB # 25066