

VICINITY MAP
N.T.S.

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page K-9.

SUBDIVISION DATA

- Total number of existing Lots: 2
- Total number of Lots created: 3
- Gross Subdivision acreage: 1.5792 acres.

PURPOSE OF PLAT

The Purpose of this replat is to:

- Eliminate the existing interior lot line between Lots 3 and 4 and create three (3) new lots as shown hereon.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

DOCH 2013091276

08/15/2013 12:52 PM Page: 1 of 2
PLAT R. 325.00 B. 2013C P. 0099 M. Toulous Olivere, Bernalillo Co.



TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1009-057-075068-304-36 & 1009-057-070078-304-37
Krania LLC *[Signature]* 8/15/13
Bernalillo County Treasurer Date

LEGAL DESCRIPTION

Lots numbered Three (3) and Four (4) of Krania, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 18, 2007 in Plat Book 2007C, Page 194.

Said parcel contains 1.5792 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, LOTS 3-A, 3-B AND 4-A, KRANIA (BEING A REPLAT OF LOTS 3 AND 4, KRANIA) WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF LOTS 3 AND 4, KRANIA
KRANIA LLC,
a New Mexico limited liability company

By *[Signature]*
Pete Daskalos, Manager

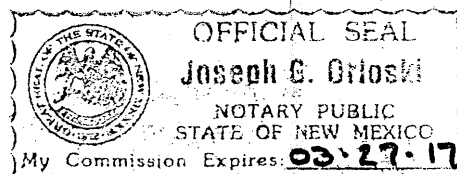
ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 24TH day of JUNE, 2013, by Pete Daskalos.

[Signature] My commission expires 03-27-17

Notary Public



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, from, and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a/ Century Link (QC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

LOTS 3-A, 3-B AND 4-A

KRANIA

(BEING A REPLAT OF LOTS 3 AND 4, KRANIA)

WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE 2013

PROJECT NUMBER: 1004354

PLAT APPROVAL

UTILITY APPROVALS:

| | |
|--------------------------------------------------------------|-------------------------|
| <i>[Signature]</i> Public Service Company of New Mexico | <u>7-22-13</u> Date |
| <i>[Signature]</i> New Mexico Gas Company | <u>7/9/2013</u> Date |
| <i>[Signature]</i> QWest Corporation d/b/a CenturyLink QC | <u>7/26/13</u> Date |
| <i>[Signature]</i> Comcast | <u>7/22/13</u> Date |

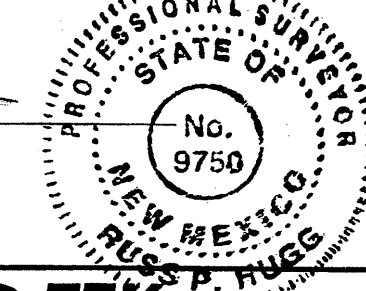
CITY APPROVALS:

| | |
|----------------------------------------------------------------------------|-------------------------|
| <i>[Signature]</i> City Surveyor Department of Municipal Development | <u>6-24-13</u> Date |
| <i>[Signature]</i> Real Property Division | Date |
| <i>[Signature]</i> Environmental Health Department | Date |
| <i>[Signature]</i> Traffic Engineering, Transportation Division | <u>07-24-13</u> Date |
| <i>[Signature]</i> ABCWUA | <u>07/24/13</u> Date |
| <i>[Signature]</i> Parks and Recreation Department | <u>7-24-13</u> Date |
| <i>[Signature]</i> AMAFCA | <u>7-24-13</u> Date |
| <i>[Signature]</i> City Engineer | <u>7-24-13</u> Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | <u>8-14-13</u> Date |

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

[Signature]
Russ P. Hugg
NMPS No. 9750
June 19, 2013



SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377

LOTS 3-A, 3-B AND 4-A KRANIA

(BEING A REPLAT OF LOTS 3 AND 4, KRANIA)

WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE 2013

EXISTING EASEMENT LEGEND

- (A) = Existing 7' Public Utility Easement granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (B) = Existing 20' Public Waterline Easement granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (C) = Existing 10' Private Sanitary Sewer Easement for the benefit Lots 3 and 4 to be maintained by same, granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (D) = Existing 10' Private Cross Lot Drainage, Access and Parking Easement for the benefit Lots 1 through 6 to be maintained by same, granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194

NEW EASEMENT LEGEND

- (E) = Public Water Easement granted to ABCWUA by this plat.
- (F) = 10' Private Sanitary Sewer Easement for the benefit Lot 3-B to be maintained by same, granted by plat this plat.
- (G) = 7' Public Utility Easement granted by this plat.

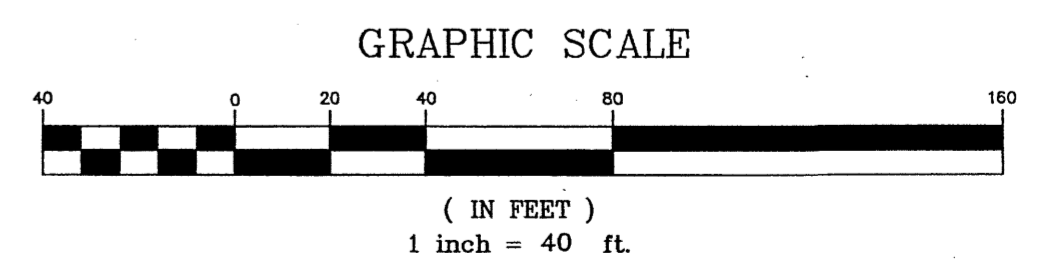
Albuquerque Control Station Monument "B-K9"
New Mexico State Plane Coordinates
(Central Zone) - NAD 83
Northing = 1,484,994.639
Easting = 1,492,463.769
Elevation = 5,250.166 (NAVD 1988)
Delta Alpha = -00'17"03.21"
Ground to Grid Factor = 0.999677891

EXISTING DECLARATION OF EASEMENTS:

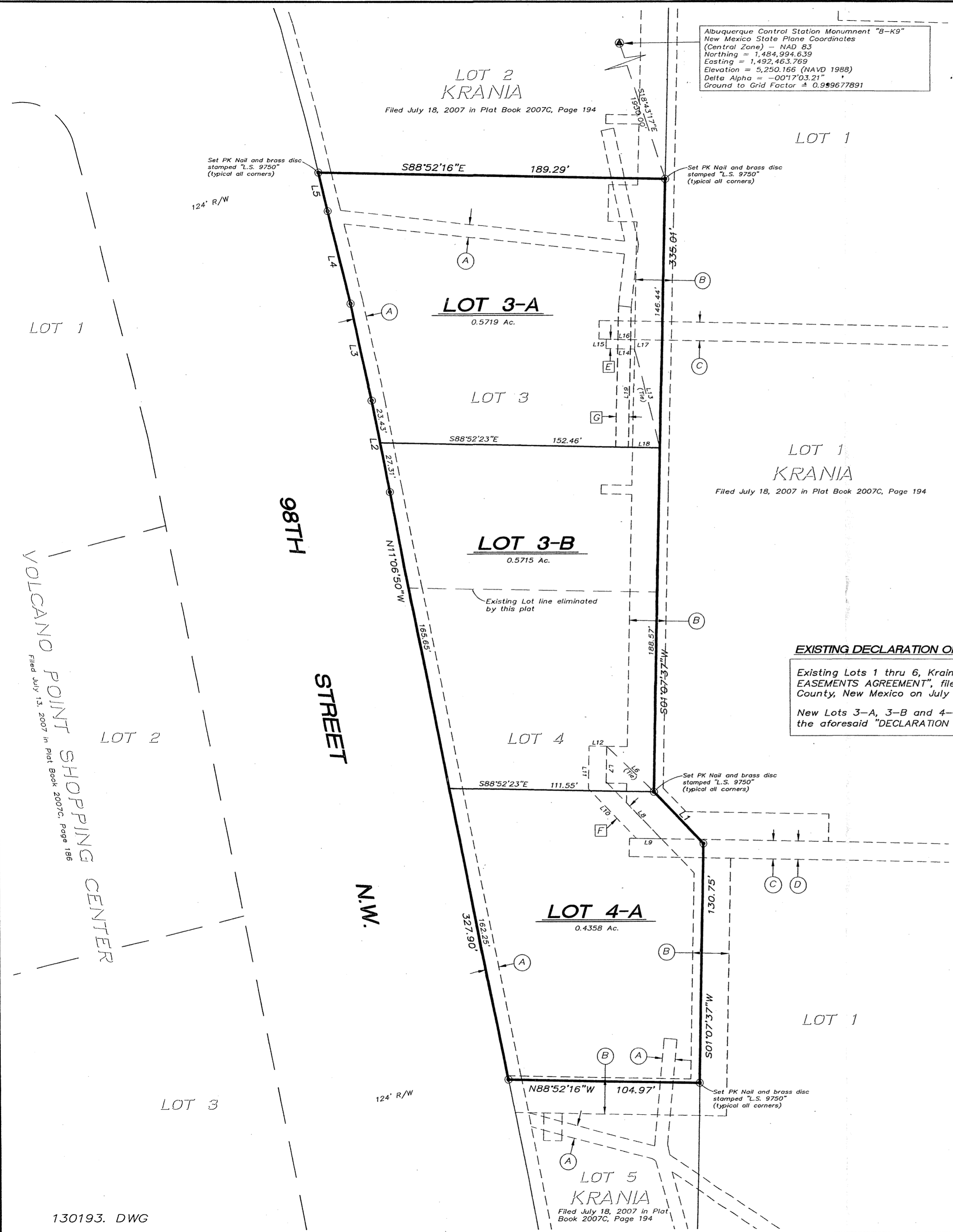
Existing Lots 1 thru 6, Krania are subject to that certain "DECLARATION OF EASEMENTS AGREEMENT", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 17, 2013 as Document Number 2013079778.
New Lots 3-A, 3-B and 4-A, Krania as shown hereon shall be subject to the aforesaid "DECLARATION OF EASEMENTS AGREEMENT".

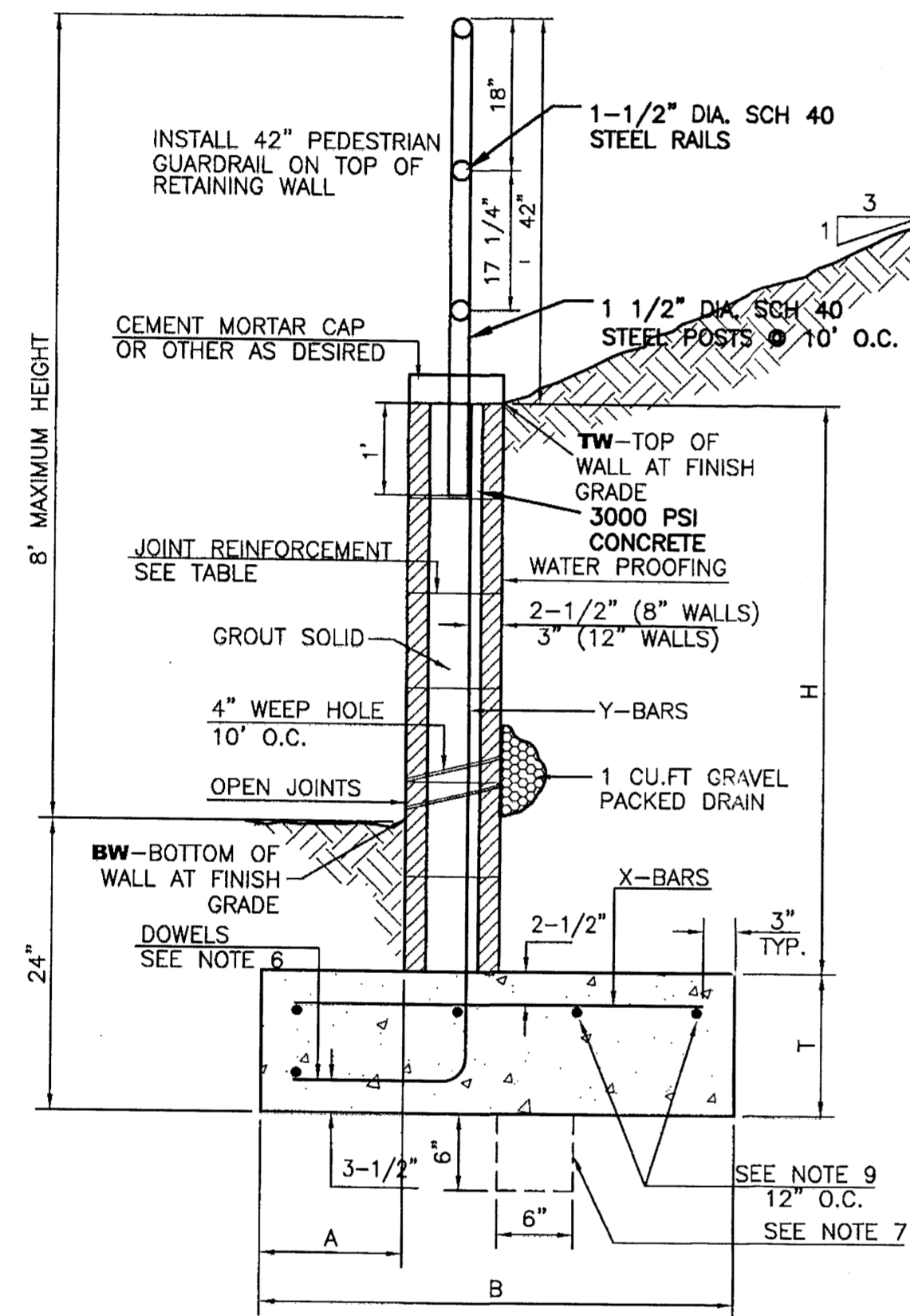
| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 39.34 | S43°52'23"E |
| L2 | 50.74 | N11°06'36"W |
| L3 | 54.21 | N12°29'27"W |
| L4 | 51.69 | N13°57'01"W |
| L5 | 21.70 | N13°57'59"W |
| L6 | 35.82 | S46°08'38"E |
| L7 | 19.19 | S01°07'37"W |
| L8 | 43.34 | S43°52'23"E |
| L9 | 13.57 | N88°52'23"W |
| L10 | 37.72 | N43°52'23"W |
| L11 | 23.16 | N01°07'37"E |
| L12 | 9.59 | S88°52'23"E |
| L13 | 55.82 | S14°26'56"E |
| L14 | 15.67 | N88°52'23"W |
| L15 | 5.12 | N01°07'37"E |
| L16 | 15.67 | S88°52'23"E |
| L17 | 5.12 | S01°07'37"W |
| L18 | 17.26 | N88°52'23"W |
| L19 | 76.38 | N01°07'37"E |

DOCH 2013091276
08/15/2013 12:52 PM Page 2 of 2
City/PLAT R: \$25.00 B: 2013C P: 0098 M
Toulious Olivere, Bernalillo Co.



SURV+TEK, INC.
Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366 Fax: 505-897-3377





RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

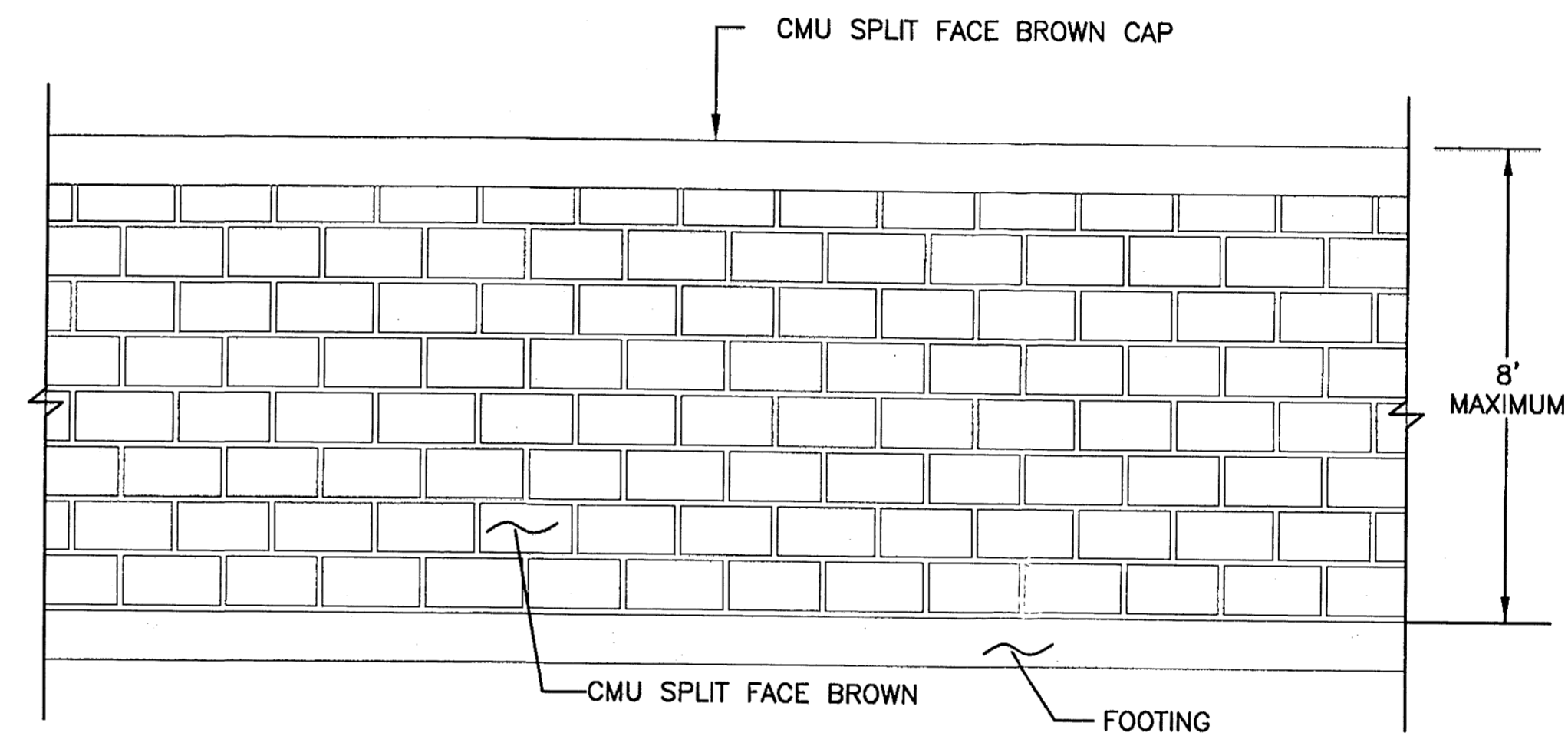
| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 2'-0" | 8" | 2'-0" | 9" | #4 @32" O.C. | |
| 2'-8" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 3'-4" | 8" | 2'-4" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-0" | 10" | 2'-8" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-8" | 12" | 3'-4" | 10" | #5 @32" O.C. | #4 @32" O.C. |
| 5'-4" | 14" | 3'-10" | 10" | #6 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 16" | 4'-8" | 12" | #6 @8" O.C. | #4 @16" O.C. |

12 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 5'-4" | 14" | 3'-8" | 10" | #6 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @16" O.C. |
| 6'-8" | 16" | 4'-6" | 12" | #6 @24" O.C. | #5 @24" O.C. |
| 7'-4" | 18" | 4'-10" | 12" | #6 @16" O.C. | #5 @16" O.C. |
| 8'-0" | 20" | 5'-4" | 12" | #7 @16" O.C. | #6 @16" O.C. |
| 8'-8" | 20" | 5'-8" | 12" | #7 @16" O.C. | #6 @16" O.C. |

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL DESIGN BASED ON GRADING PLAN PREPARED BY ADAMS ENGINEERING

RETAINING WALL- ELEVATION

NTS

| | | |
|--|------------------------------------------------------------------------------------------------|----------------------|
| | MC DONALD'S 98TH ST AND VOLCANO RD | DRAWN BY EMT |
| | RETAINING WALL DETAIL | DATE 03-20-08 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | SHEET # C4 |
| | RONALD R. BOHANNAN P.E. #7868 | JOB # 28002 |

PROPOSED DESIGN GUIDELINES

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

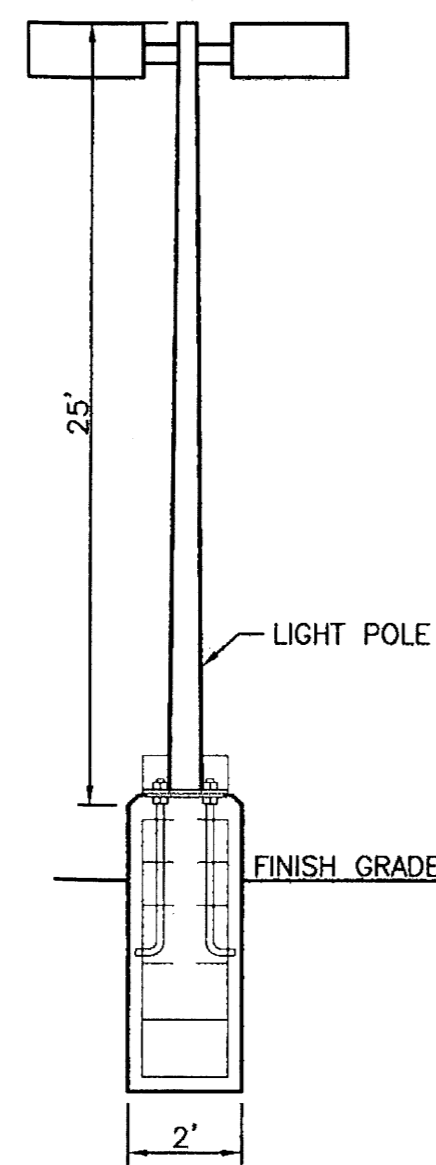
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
 - BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
 - NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
 - SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.

PROJECT NUMBER: 1004354
APPLICATION NUMBER: 02-00033

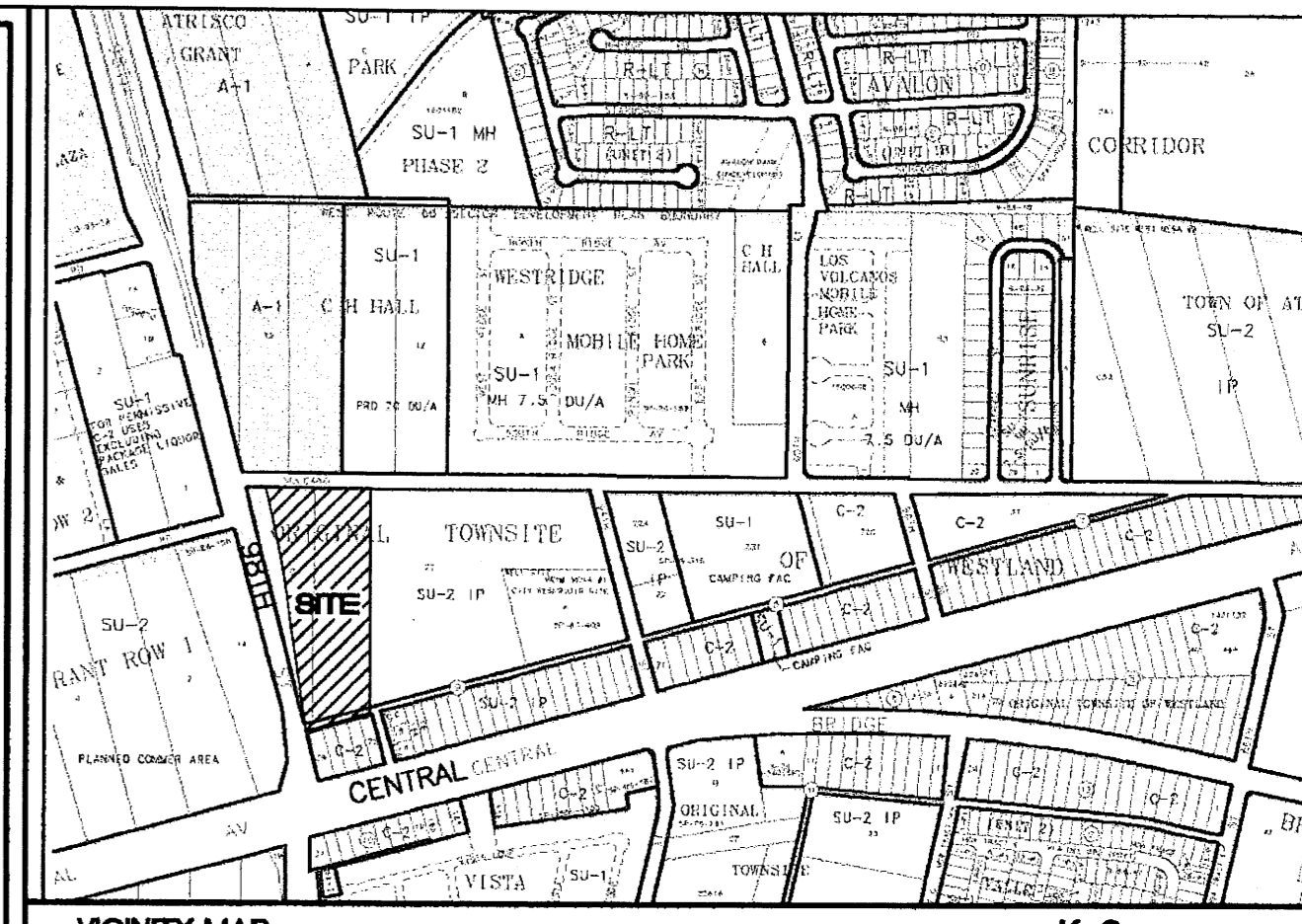
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-----------------------------------------------------------------|----------------|
| <i>[Signature]</i> Traffic Engineer, Transportation Division | 2/7/07 Date |
| <i>[Signature]</i> Water Utility Development | 2/7/07 Date |
| <i>[Signature]</i> Parks & Recreation Department | 2/7/07 Date |
| <i>[Signature]</i> City Engineer | 2/7/07 Date |
| N/A | |
| * Environmental Health Department (conditional) | |
| <i>[Signature]</i> Solid Waste Management | 7/5/07 Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | 7/5/07 Date |

* Environmental Health, if necessary

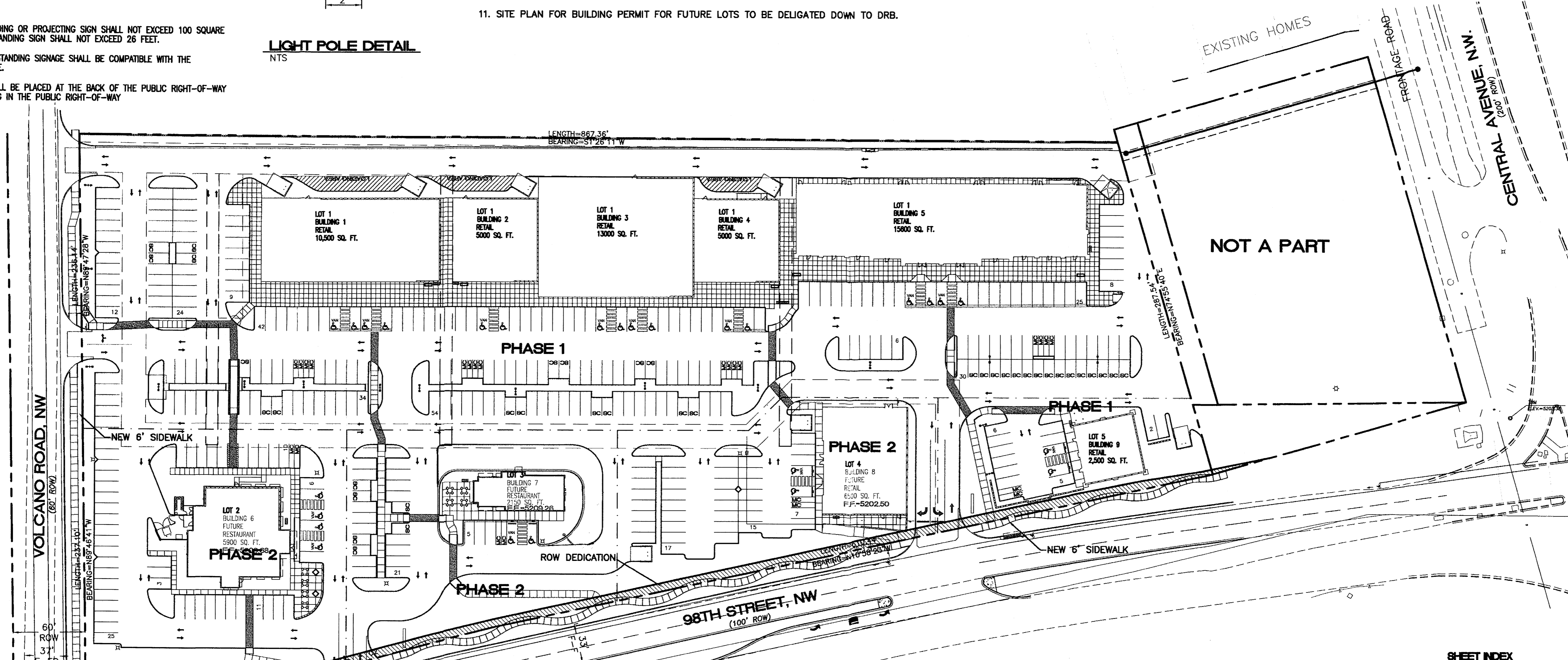


VICINITY MAP: K-9

LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

| | |
|---------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - | EASEMENT |
| ===== | EXISTING CURB AND GUTTER |
| ===== | CURB AND GUTTER |
| ===== | SCREEN WALL |
| ===== | RETAINING WALL |
| ===== | PROPOSED SIDEWALK |
| ===== | EXISTING BOUNDARY |
| ===== | CROSSWALK |
| ===== | BIKE RACK |
| ===== | PARKING LOT LIGHTING |
| ===== | ROW DEDICATION |



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

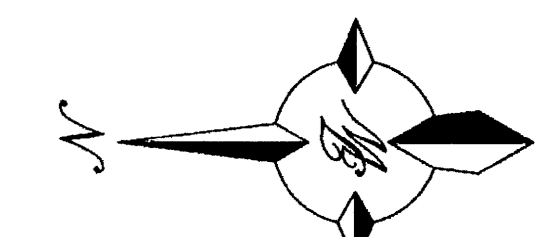
SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------|---------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 IP | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 IP | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 IP | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT | SU-2 IP | 48 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 2,150 | RESTAURANT | SU-2 IP | 18 | 21 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.791 | 6,500 | RETAIL | SU-2 IP | 33 | 39 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | 6 | 8.051 | 68,550 | | | 358 | 372 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | 24 | | | |

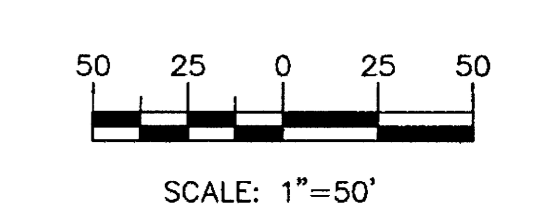
*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

- SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- DETAILS



GRAPHIC SCALE



ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

NORTHEAST CORNER OF 98TH AND CENTRAL

SITE PLAN FOR SUBDIVISION

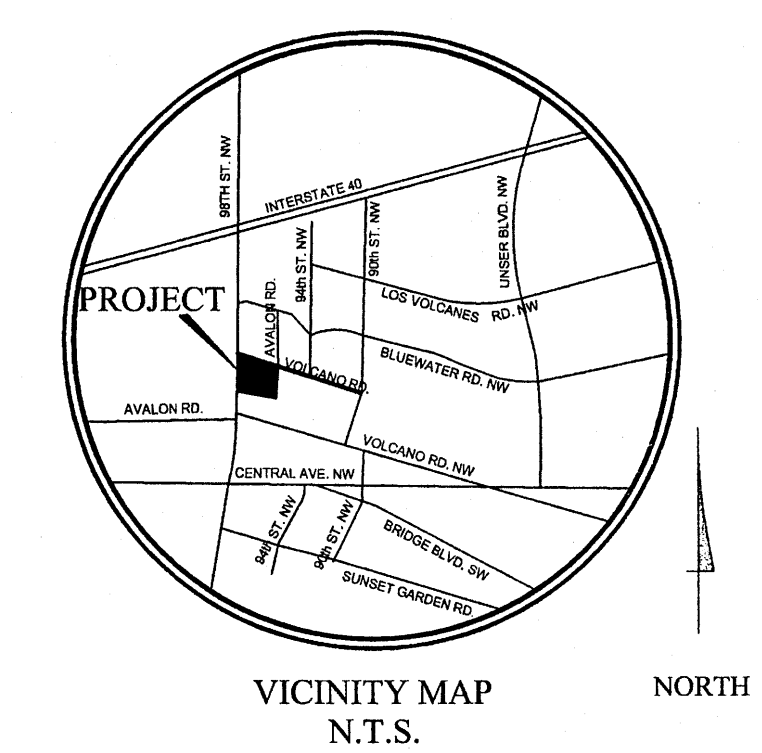
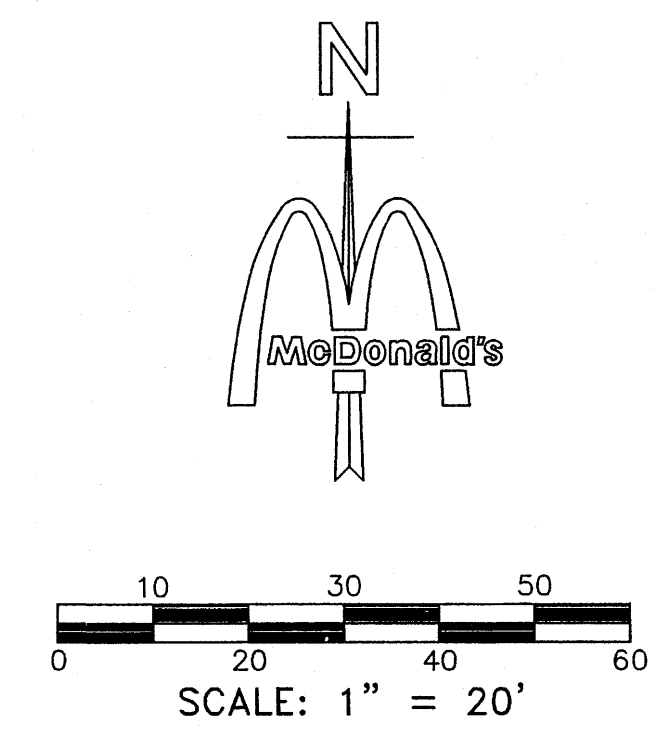
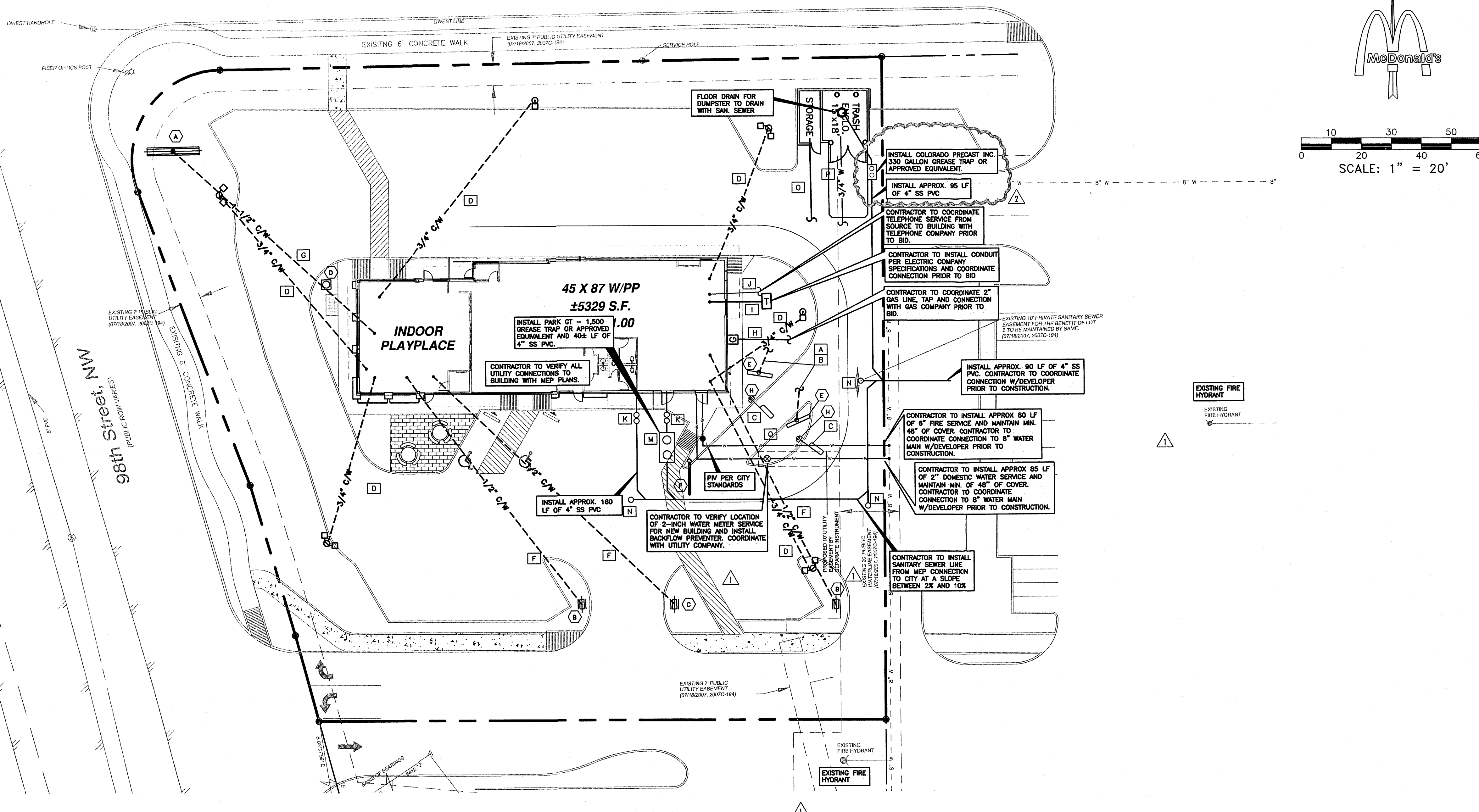
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: EMT
DATE: 2-5-07
2566-SPSE.dwg

SHEET # **2**

JOB # 25066

Volcano Road, NW
(60' PUBLIC ROW)



- GENERAL NOTES**
- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
 - BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
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 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK. FINISH WALK AND CURB ELEVATIONS SHALL BE 8" ABOVE FINISH PAVEMENT. FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
 - IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
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 - DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
 - ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

PAVING SPECIFICATION

| | | | | |
|----------------------|----------|-------------------------------------|-----------|-------------------------------------|
| VERIFY W/MCDONALD'S: | ASPHALT: | <input checked="" type="checkbox"/> | CONCRETE: | <input checked="" type="checkbox"/> |
| CONTRACTOR TO BID: | ASPHALT: | <input checked="" type="checkbox"/> | CONCRETE: | <input checked="" type="checkbox"/> |

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

CONCRETE & ASPHALT

- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
- 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
- CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

SCARIFY:

- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
- THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PLAN APPROVALS

| REGIONAL MGR. | CONSTR. MGR. | OPERATIONS DEPT. | REAL ESTATE DEPT. | CONTRACTOR | OWNER |
|---------------|--------------|------------------|-------------------|------------|-------|
| | | | | | |

DATE: _____

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LOT NUMBERED TWO (2) OF THE PLAT OF 8500-A JEFFERSON STREET, NE ALBUQUERQUE, NEW MEXICO 505-856-5700 DATE: OCTOBER 09, 2007

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194

PLAN SCALE: 1" = 20'

KRANIA ADDITION
STREET ADDRESS

SEC OF VOLCANO RD. & 98TH ST. NW

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO COUNTY SURVEY: AS-BUILT ABSTRACT NO. _____

L/C NUMBER: 030-0226 CORPORATE DWG. NAME: UTILITY PLAN

Adams ENGINEERING
32408

McDONALD'S
SEC OF VOLCANO RD. & 98TH ST. NW
ALBUQUERQUE, NEW MEXICO

G. Robert Adams
NEW MEXICO
LICENSED PROFESSIONAL ENGINEER
15142

OFFICE: GREATER SOUTHWEST REGION
ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

DATE: _____

STATUS: _____ DATE: _____ BY: _____

DATE DRAWN: _____ RL

PLAN CHECKED: _____ BLS

AS-BUILT

C8

UTILITY NOTE SCHEDULE

| MARK | MARK DESCRIPTION |
|------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A | 2" CONDUIT TO MENU BOARD FOR CONTROLS |
| B | 1/2" CONDUIT FROM BUILDING ELECTRIC PANEL TO MENU BOARD |
| C | 3/4" CONDUIT W/ LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION |
| D | 3/4" CONDUIT WITH WIRE (SITE LIGHTING) |
| F | 1/2" CONDUIT WITH WIRE (DIRECTIONAL SIGNAGE) |
| G | 1 1/2" EMPTY CONDUIT WITH WIRE (ROAD SIGN) |
| H | 2" GAS LINE-VERIFY IN FIELD SIZE AND TAP LOCATION |
| I | PROPOSED ELECTRIC TRANSFORMER (3" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE, UNDERGROUND TELEPHONE SERVICE TO SITE (GENERAL CONTRACTOR TO VERIFY CONNECTION LOCATION)) |
| K | TWO-WAY SANITARY SEWER CLEANOUT |
| M | 1,500 GALLON GREASE TRAP PER GOVERNING AUTHORITY SPECIFICATIONS |
| N | SANITARY SEWER CLEANOUT WITH CAST IRON COVER |
| O | 3/4" CONDUIT WITH WIRE (TO T.E. STORAGE) |
| P | 3/4" WATER SERVICE TO TRASH ENCLOSURE |
| Q | BACK FLOW PREVENTER |

***** LOOP DETECTORS *****

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

***** LOT LIGHTING *****

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

SIGN SCHEDULE

| NO. | MARK | MARK DESCRIPTION |
|-----|------|-----------------------------------|
| 1 | A | PROPOSED PYLON SIGN |
| 2 | B | 90-5 DIR. SIGN "THANK YOU"/"EXIT" |
| 1 | C | 90-5 DIR. SIGN "WELCOME"/"ENTER" |
| 1 | D | FLAG POLE 50' HIGH MAX. |
| 2 | E | FP-43 MENU BOARD ELEVATIONS |
| 1 | F | GATEWAY SIGN |
| 0 | G | 90-10 TRI-VIEW PRE-SELL BOARD |
| 2 | H | CUSTOMER ORDER DISPLAY |

****NOTICE TO CONTRACTORS - UTILITIES****

These plans are subject to review & approval by JURISDICTIONAL ENTITIES.

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

***** SANITARY SEWER NOTE *****

The Contractor shall verify location and flowline of existing manholes to be used, and shall install sanitary sewer line at minimum slopes per governing authority's design specifications.

***** UTILITY GENERAL CONDITIONS *****

All utility and electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.

****NOTICE TO CONTRACTORS - UTILITIES****

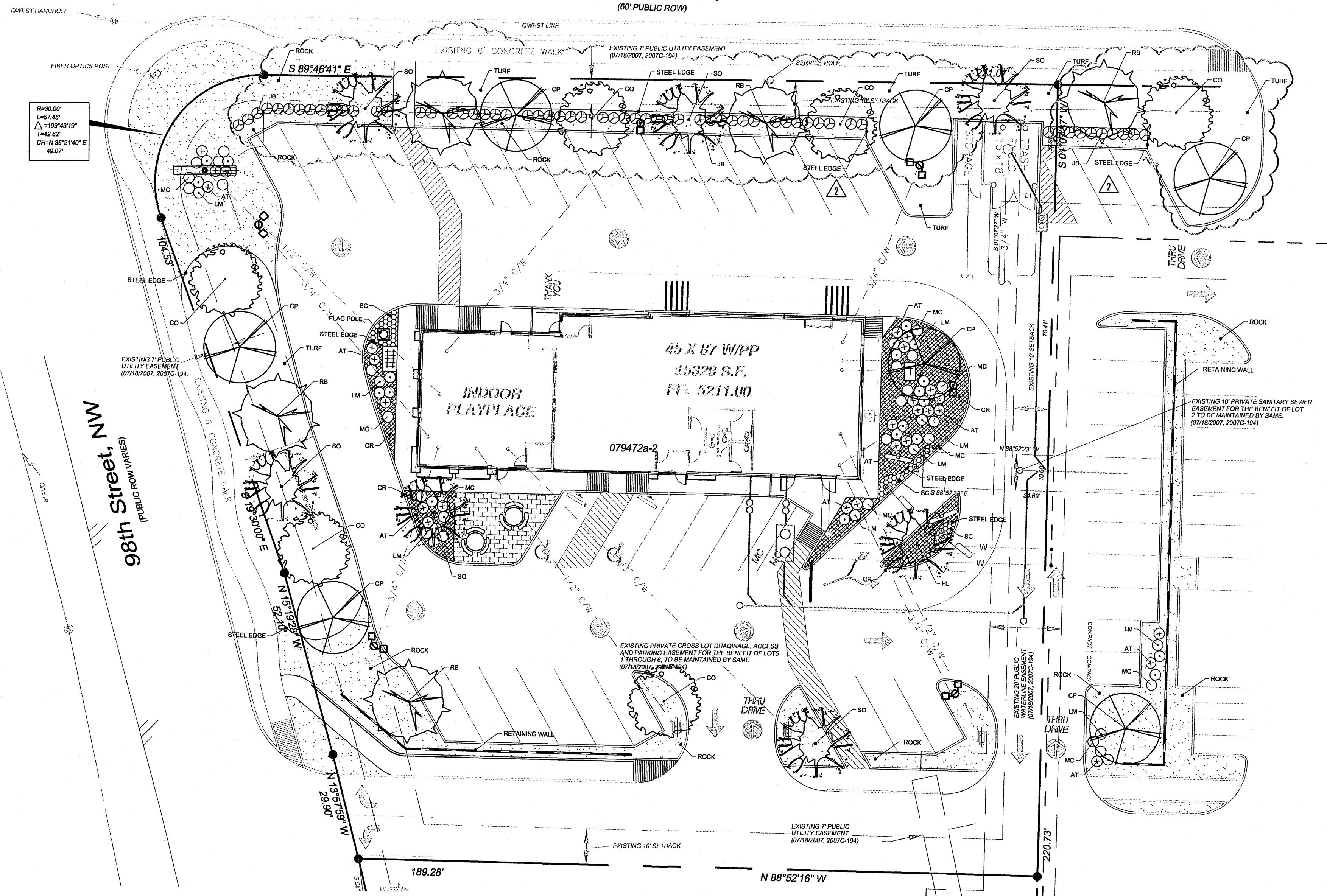
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UTILITY CONTACTS

COMPANY: PNM-ELECTRIC AND GAS SERVICES
CONTACT: KELLY GRAGG
PHONE: 505-241-3499

COMPANY: ABCWUA
CONTACT: ROGER GREEN
PHONE: 505-924-3999

COMPANY: QWEST CORPORATION
CONTACT: BEVERLY YOUNG
PHONE: 505-245-5934



COMPLIANCE WITH WATER CONSERVATION

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provision of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

LANDSCAPE REQUIREMENTS for the City of Albuquerque

Section 14-16-3-10

(E) Landscaping Area Requirements

- The total landscaped area required for each development shall equal not less than 15% of the net lot area.
- Clear sight areas satisfactory to the Planning Director shall be maintained at all exits of parking areas.

(C) Special Landscaping Standards

- Off-Street Parking Area Landscaping. Trees are required in and around off-street parking areas to provide shade and relieve the adverse visual impact of large expanses of pavement and parked cars. Quantity and distribution of trees shall be as follows:
 - One tree is required per ten parking spaces;
 - No parking space may be more than 100 feet from a tree trunk;
 - The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree;
 - At least 75% of the required parking areas shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
- Street Trees. Reference 5-6-2-5 Street Tree Policies.
- Required Vegetative Ground Cover. All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials, such as grasses, vines, spreading shrubs, or flowers, over at least 75% of the required landscape area. Coverage will be calculated from the mature spread of the plants.

LANDSCAPE PROJECT NOTES

Landscape maintenance shall be the responsibility of the property owner. Refer to Sitework Specifications for all information needed for Landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All slopes and areas disturbed by construction, except those occupied by buildings, structures, paving or identified as surface rock shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the contractor shall provide topsoil, approved by the owner. The area shall then be seeded, fertilized, mulched, watered and maintained until hardy grass growth is established in all areas. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the contractor at no additional cost to the owner.

All landscaped areas will be irrigated with an underground automatic system. Refer to the irrigation plans and details for the location of the controller, irrigation meter, and steves.

Quantities shown on these plans are for information only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five (5') feet from any utility line or sidewalk and outside utility easements with a clear ten (10') feet around fire hydrants.

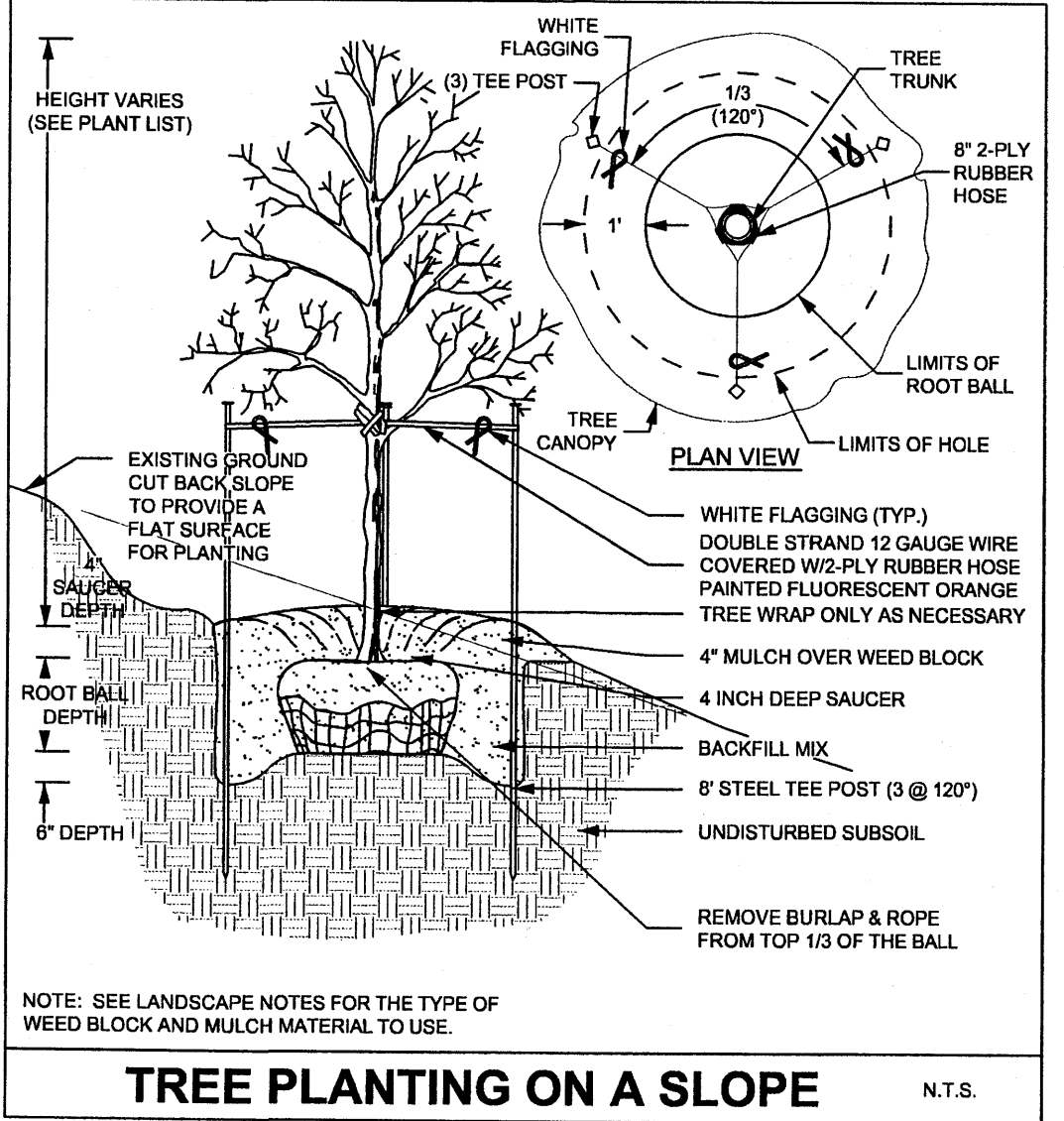
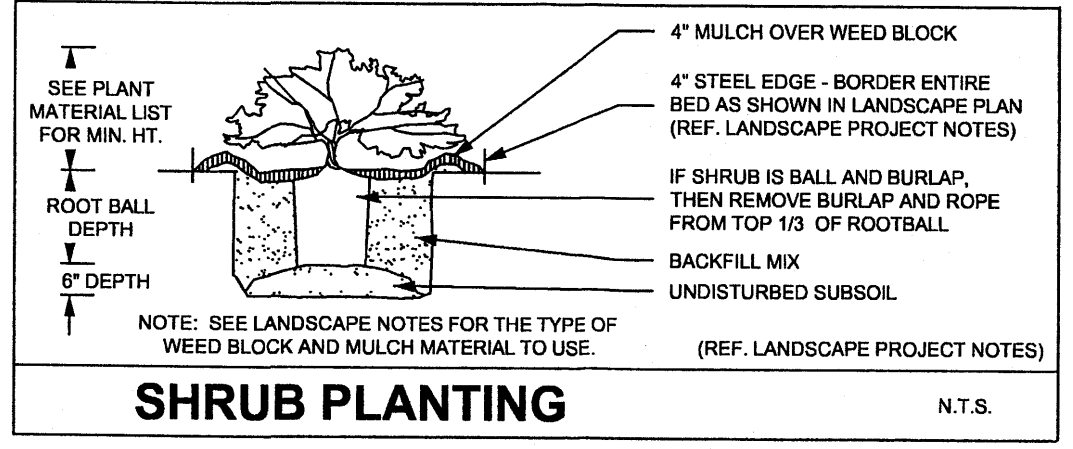
All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however, ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by four (4") inch steel edging as approved by the owner unless bed is bordered by concrete. Terminate edging flush with paved surface.

Shredded hardwood mulch shall be used as a four (4") inch dressing in all plant beds and around all trees over 10 mil "weedblock" fabric by "Easy Gardener" or equal. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Areas labeled and identified as rock shall be beige in color as locally available and have a diameter not to exceed one and one-half inches (1 1/2"). Contractor shall install to a uniform depth of three inches (3").



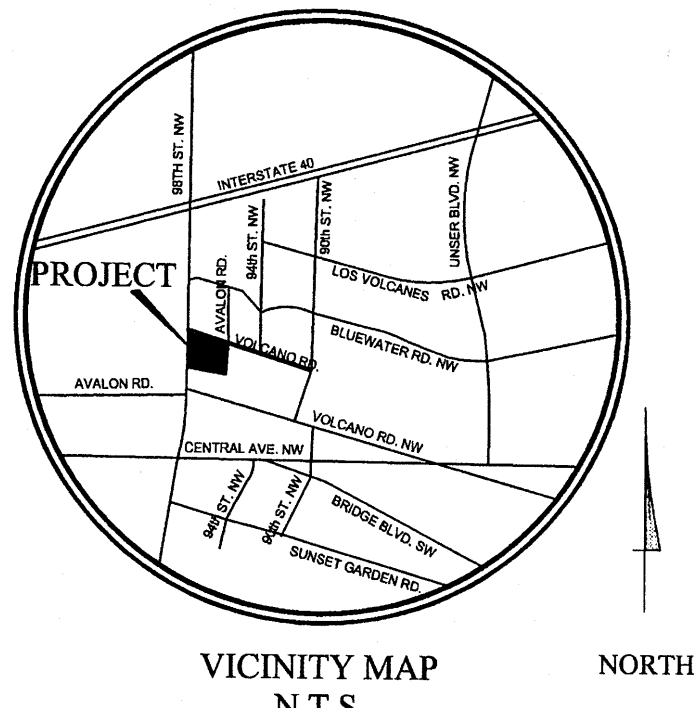
Plant Material List City of Albuquerque, NM

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD |
|------|-------|----------------------------------------------------------------|--------------------------------|-------|---------|-----------|----------|--------|
| CP | 8 | Chinese Pistache <i>Pistacia chinensis</i> | N/A | Cont. | 2" cal. | 8' min. | 3' min. | |
| SO | 7 | Shumard Oak <i>Quercus shumardii</i> | N/A | Cont. | 2" cal. | 8' min. | 3' min. | |
| RB | 5 | Red Bud <i>Cercis canadensis</i> | N/A | Cont. | 2" cal. | 6-8' min. | 3' min. | |
| CO | 6 | Chinquapin Oak <i>Quercus muhlenbergii</i> | N/A | Cont. | 2" cal. | 8' min. | 3' min. | |
| MC | 35 | Moonbeam Coreopsis <i>Coreopsis verticillata 'Moonbeam'</i> | 36" | Cont. | 5 gal. | 18" min. | 2' min. | |
| LM | 32 | Littleleaf Mountain Mahogany <i>Cercocarpus intricatus</i> | 36" | Cont. | 5 gal. | 3' min. | 3' min. | |
| AT | 27 | Big Sage <i>Artemisia tridentata</i> | 36" | Cont. | 5 gal. | 2' min. | 2' min. | |
| JB | 54 | Japanese Boxwood <i>Buxus microphylla ssp. japonica</i> | 36" | Cont. | 5 gal. | 30" min. | 22" min. | |
| CR | 1,047 | Creeping Rosemary <i>Rosmarinus officinalis 'Prostrata'</i> | 18" | Cont. | 1 gal. | 8" min. | 10" min. | |
| SC | 172 | Seasonal Color | N/A | Cont. | 4" pot | N/A | N/A | |

In Accordance to the Current Edition of the American Society of Nursery Standards

LANDSCAPE CALCULATIONS for the City of Albuquerque

| | REQUIRED | PROVIDED | % REQ. | % PROV. |
|-------------------------------------------------|----------|-----------|--------|---------|
| NET LOT AREA | N/A | 48,667 SF | N/A | N/A |
| LANDSCAPE AREA (15% of Net Lot Area) | 7,300 SF | 11,934 SF | 15% | 24.5% |
| PARKING TREES (1 Tree per 10 Spaces) (38/10) | 3.9 | 6 | N/A | N/A |
| STREET TREES (1 PER 30 L.F.) (480L.F./30) | 16 | 16 | N/A | N/A |
| VEGETATIVE GROUND COVER (75% of Req. Landscape) | 5,475 SF | 6,497 SF | 75% | 89% |



- GENERAL NOTES**
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 - 34" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
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PAVING SPECIFICATION

VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:

CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

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SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THE PLAT OF 5500-A JEFFERSON STREET, NE ALBUQUERQUE, NEW MEXICO BERNALILLO COUNTY, NEW MEXICO 505-856-5700

DATE: OCTOBER 09, 2007 DOC. NO. 2007104991 IN PLAT BOOK 2007C, PAGE 194

PLAN SCALE: 1" = 20'

ADDITION

KRANIA ADDITION

STREET ADDRESS

SEC OF VOLCANO RD. & 98TH ST. NW

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO COUNTY SURVEY: ABSTRACT NO. ---

LC NUMBER: 030-0226 CORPORATE DWG. NAME: LANDSCAPE PLAN

L1.0

Adams ENGINEERING

STATE OF NEW MEXICO REGISTERED LANDSCAPE ARCHITECT BEN R. HENRY 334 3-31-08

McDONALD'S

SEC OF VOLCANO RD. & 98TH ST. NW ALBUQUERQUE, NEW MEXICO

McDONALD'S L.C. 030-0226 ADAMS ENGINEERING No. 2006-256

| REV | DATE | DESCRIPTION | BY | ISSUE REF. |
|-----|---------|---------------|-----|------------|
| 1 | 3/20/08 | City Comments | RRP | |
| 2 | 3/31/08 | City Comments | RRP | |

OFFICE: GREATER SOUTHWEST REGION ADDRESS: KRIOC DRIVE - OAK BROOK, ILLINOIS 60521

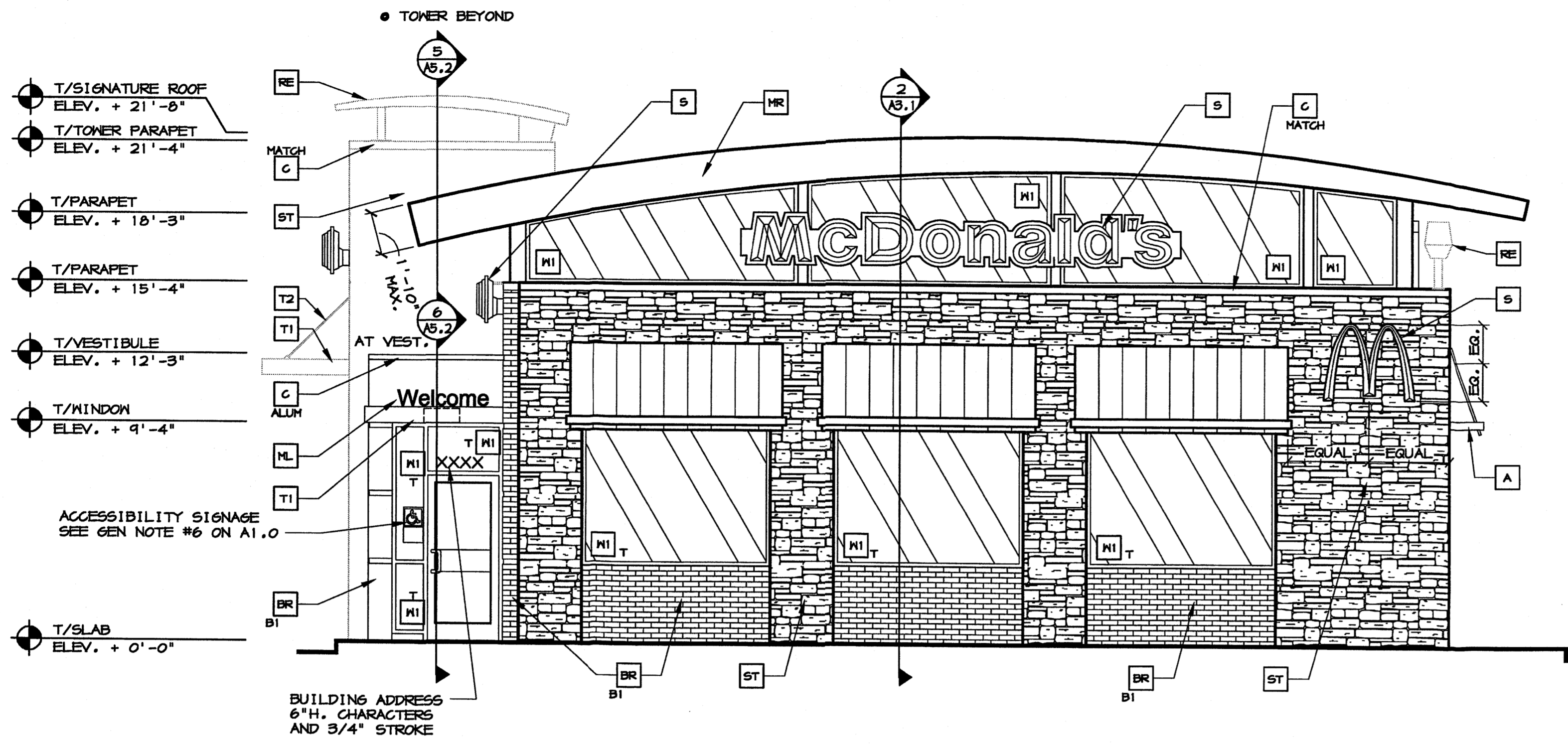
DATE: 03/31/08

STATUS: AS-BUILT

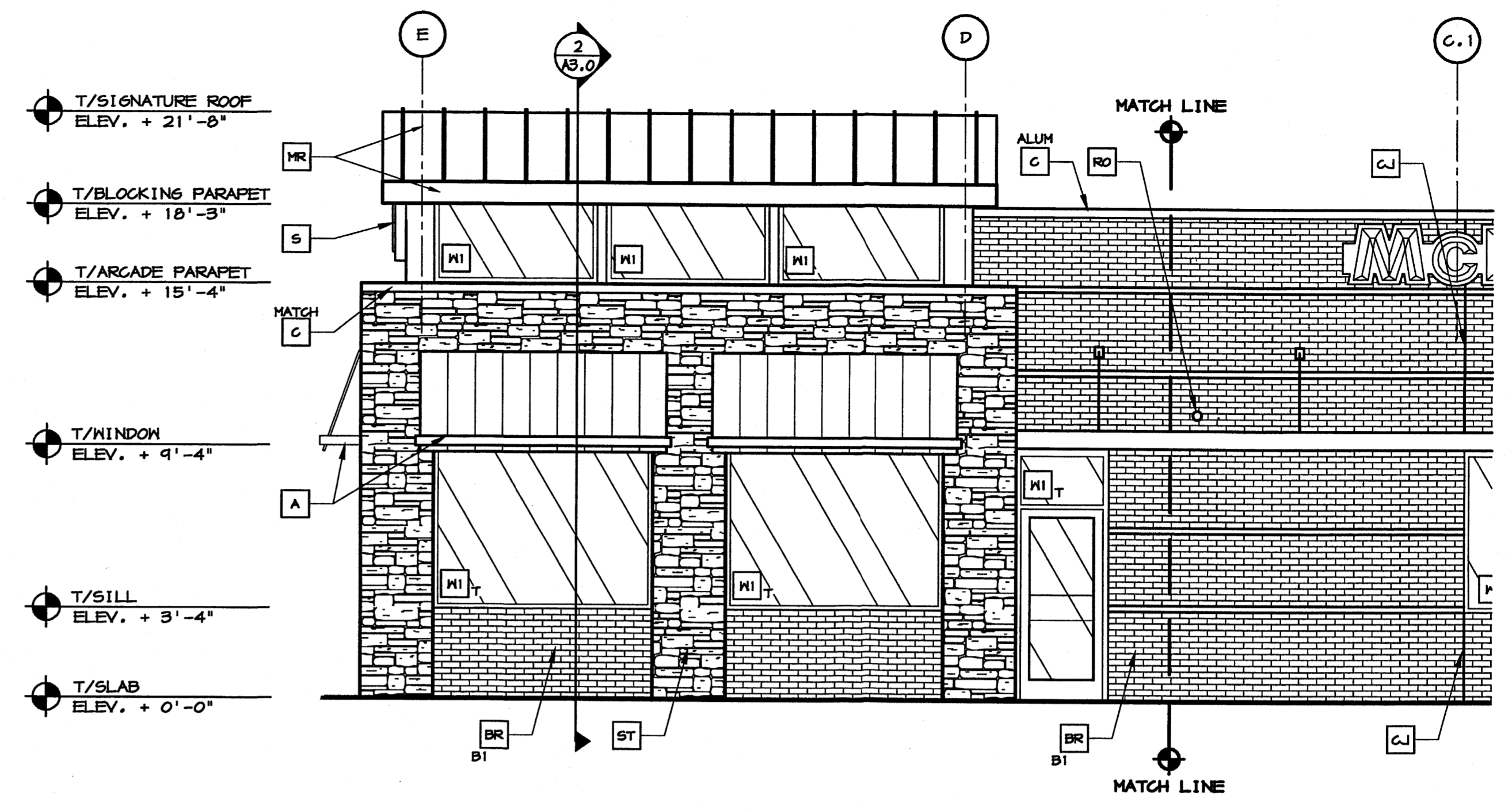
DATE DRAWN: 03.31.2008 BY: RRP

PLAN CHECKED: 03.31.2008 BY: BRH

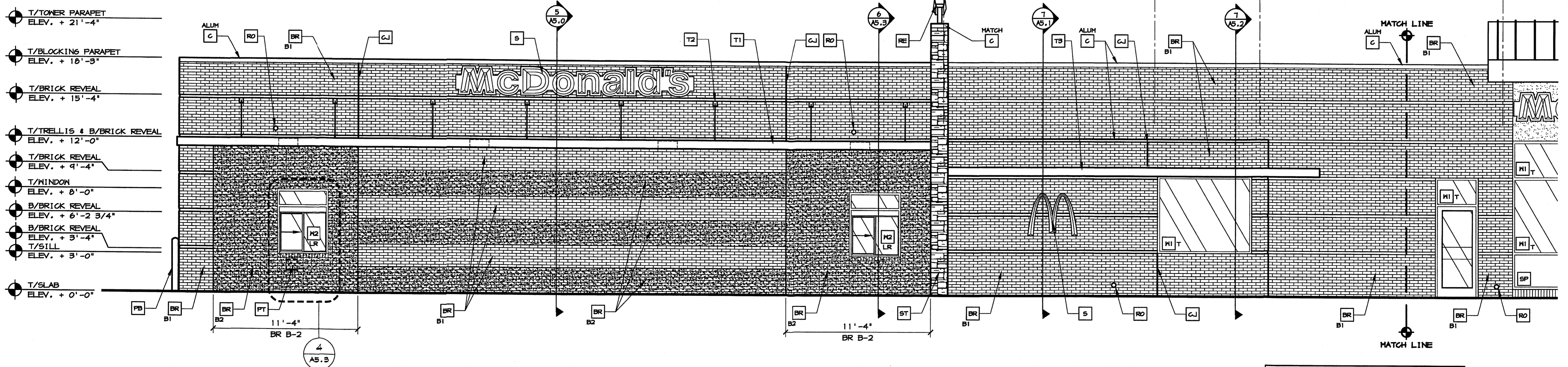
FILENAME: L1.0 Landscape Plan.dwg PLOT DATE: Monday, March 31, 2008 PLOT TIME: 10:54:47 AM PLOTTER: HP 6000 A4/2400x350



1 FRONT ELEVATION
A2.0 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"
(SEE ELEVATION 1/A2.1 FOR CONTINUATION OF ELEVATION)



3 DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"
(SEE ELEVATION 2/A2.1 FOR CONTINUATION OF ELEVATION)

STRUCTURAL NOTE:
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

KEY NOTES:
A METAL ANNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 129C AND 109C
BR FACEBRICK
B1 COLOR: "RUBI60 RED VELOUR" BY BELDEN OR EQUAL
B2 "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL

C METAL COPING - COLOR = ALUMINUM
C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
CJ CONTROL JOINT, SEE DETAIL T/A4.1
D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

EI EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER
FB G02 FILL BOX (E09M SCHEDULE ITEM 49.00) G02
FB OPTIONAL BULK OIL FILL BOX (E09M SCHEDULE ITEM 700.10) - CONFIRM USE WITH MCD PROJECT MANAGER
L LIGHT FIXTURE (WALL SCORGE) - SEE ELECTRICAL

HL METAL LETTERING - BY OTHERS
HR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW" - PANTONE COLOR #109U
PB PIPE BOLLARD - PAINTED YELLOW
PT PASS-THRU COIN COLLECTOR - OPTIONAL (R#46)
RE ROOF GAP ELEMENT BY OTHERS

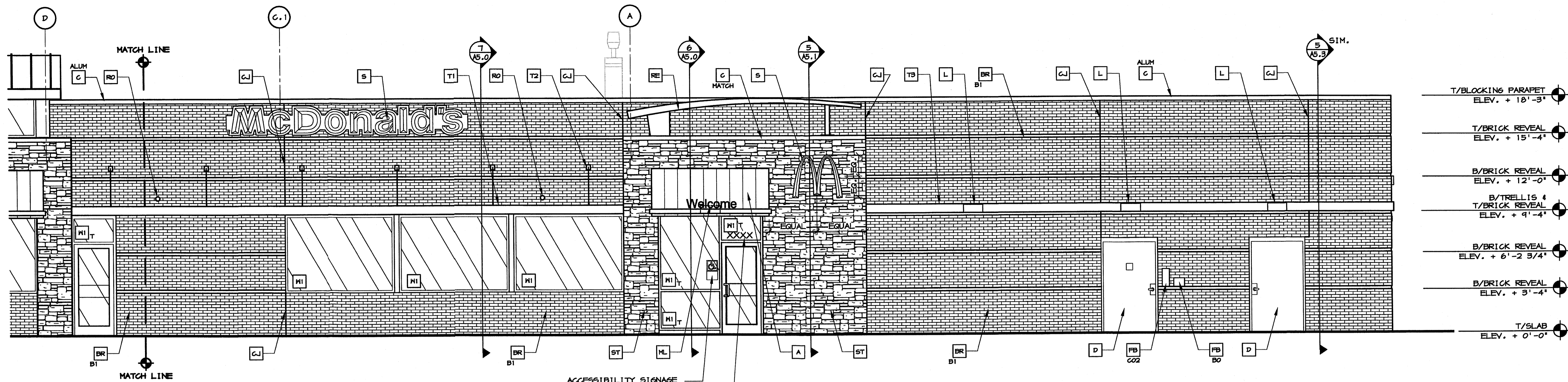
RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
SP SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0, COLOR TO MATCH WINDOW FRAMES
ST CULTURED STONE ARCADE BY OWENS CORNING COLOR: CORBIEFIELD-AUSTIN (C9V-3095) CONTACT: NANCY HUTCHINSON 950-725-0939

T1 ALUMINUM TRELLIS
T2 TRELLIS TIE-BACK
T3 2" x 0" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
MI EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0
T = TEMPERED GLASS

DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER
OPTIONS INCLUDE:
TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM & 432 50 IN MAX SERVICE OPENING (WHERE READ BY CODE)
SLIDE DIRECTION:
RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

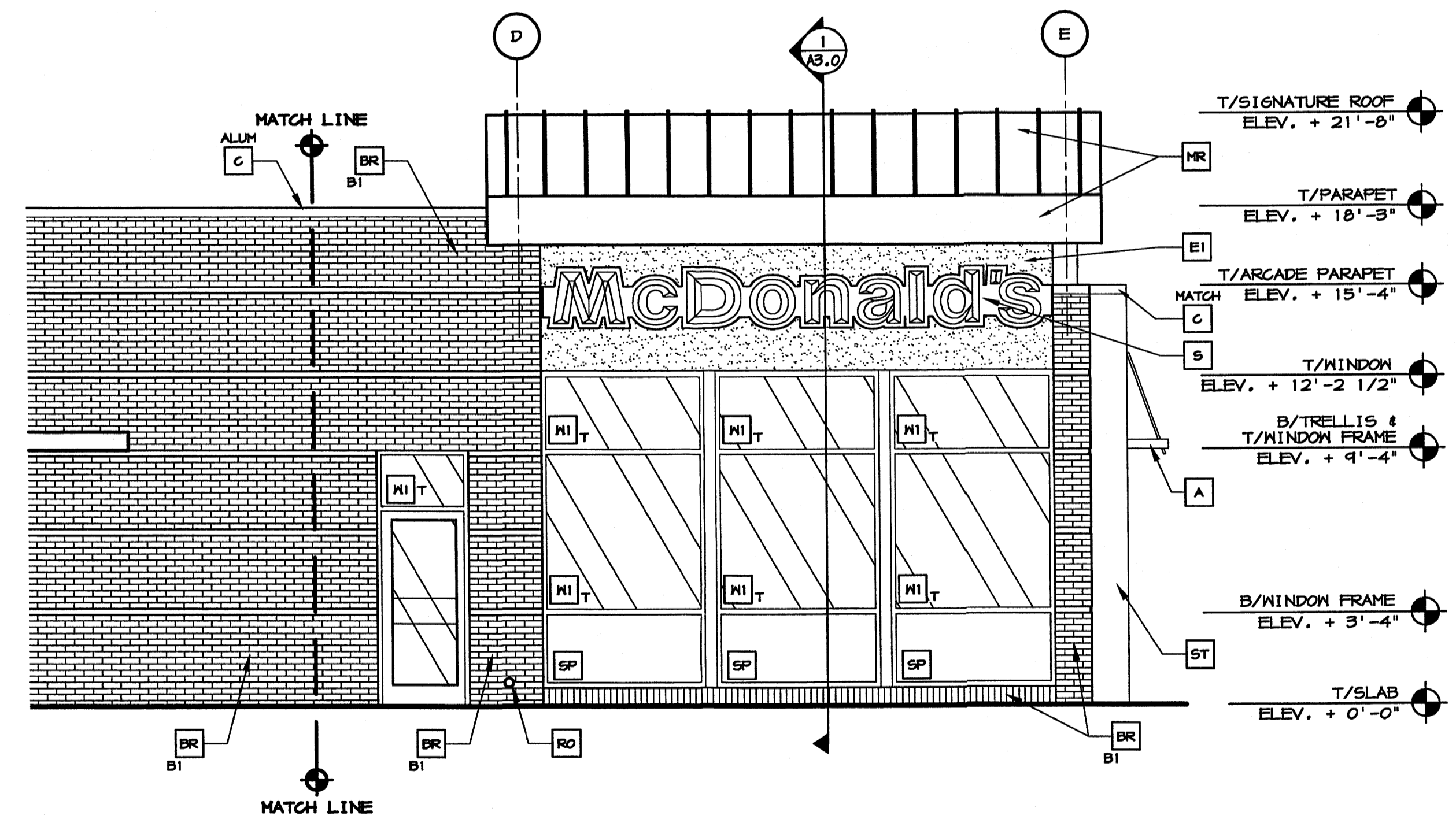
K:\D\WEST- GREATERSONEST\030-0226-00-0 ALBUQUERQUE CENTRAL\4587TP-WOOD-A2-0_A2-1.DWG 10-19-2007 04:16

| PREPARED FOR: McDonald's USA, LLC PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE COPIED OR REPRODUCED FOR USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH ITS LEASE DATE AND IS NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS WITHOUT THE APPROVAL OF THE ARCHITECT OR ENGINEER IS PROHIBITED. 2111 McDonald's Drive Oak Brook, IL 60521 | | | | | | | | | | | | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|------|-------------|--|--|--|--|--|--|--|--|--|--|--|--|
| DRAWN BY: CG STD ISSUE DATE: APRIL 2007 REVISIONS: M.C. DATE ISSUED: OCT 19, 07 SITE ADDRESS: ALBUQUERQUE, NM | TITLE: 2007 STANDARD BUILDING 4587TP-WOOD BUILDING DESCRIPTION: WOOD BEARING WALLS M4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY SHEET NO. 030-0226.00.0 A2.0 ELEVATIONS | | | | | | | | | | | | | | | |
| PREPARED BY: Michael B. Ebanks Registered Architect 2111 McDonald's Drive Oak Brook, IL 60521 | REVISIONS TABLE: <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> | NO. | DATE | DESCRIPTION | | | | | | | | | | | | |
| NO. | DATE | DESCRIPTION | | | | | | | | | | | | | | |
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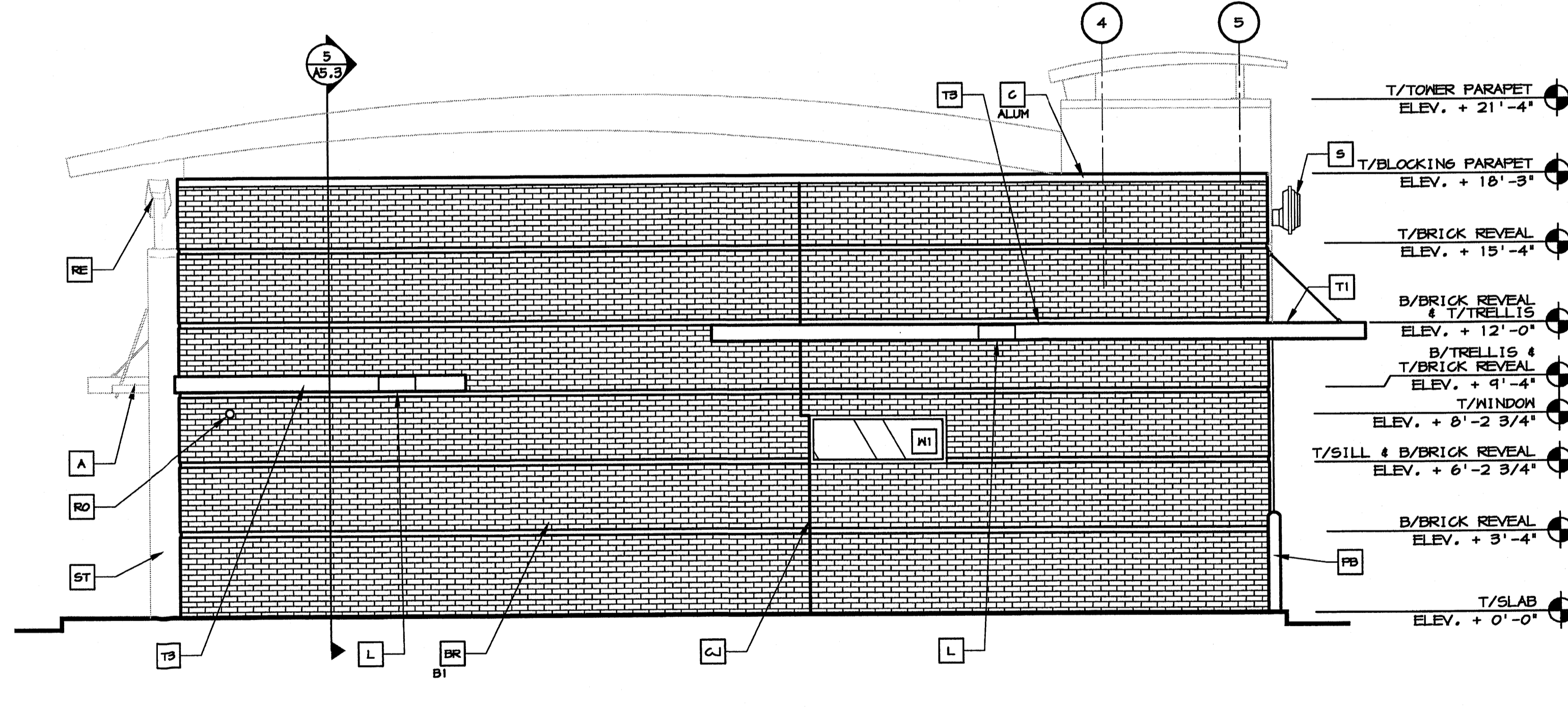


1 NON DRIVE-THRU ELEVATION
 A2.1 1/4" = 1'-0"
 (SEE ELEVATION 2/A2.0 FOR CONTINUATION OF ELEVATION)

ACCESSIBILITY SIGNAGE
 SEE GEN NOTE #6 ON A1.0
 BUILDING ADDRESS 6"H.
 CHARACTERS AND 3/4"
 STROKE



2 DRIVE THRU ELEVATION
 A2.1 1/4" = 1'-0"
 (SEE ELEVATION 3/A2.0 FOR CONTINUATION OF ELEVATION)



3 REAR ELEVATION
 A2.1 1/4" = 1'-0"

STRUCTURAL NOTE:
 UNIBODY FASCIA SIGN MALL SUPPORTS TO BE
 VERIFIED WITH McDONALD'S AREA CONSTRUCTION
 MANAGER AND COORDINATED WITH SIGN
 MANUFACTURER.

KEY NOTES:

- A METAL ANNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 104C
- BR FACEBRICK
- B1 COLOR: "RUB160 RED VELOUR" BY BELDEN OR EQUAL
- B2 "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL
- C METAL COPING - COLOR = ALUMINUM
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- CJ CONTROL JOINT, SEE DETAIL T/A4.1
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E1 EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER
- FB CO2 FILL BOX (ESFM SCHEDULE ITEM 44.00)
- FB CO2 OPTIONAL BULK OIL FILL BOX (ESFM SCHEDULE ITEM 100.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (MALL SCANCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- HR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #109U"
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU GOIN COLLECTOR - OPTIONAL (R#4C)
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- SP SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0. COLOR TO MATCH WINDOW FRAMES
- ST CULTURED STONE ARCADE BY OHENS CORNING COLOR: COBBLEFIELD-AUSTIN (C9V-2035) CONTACT: NANCY HUTCHINSON 330-725-0933
- TI ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- T3 2" x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- HI EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0
- T = TEMPERED GLASS
- H2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER
- TRANSOM (SHOWN): AIR CURTAIN; FLY/FAN/TRANSOM # 432 50 IN MAX SERVICE OPENING (WHERE READ BY CODE)
- SLIDE DIRECTION:
 RL = RIGHT TO LEFT
 LR = LEFT TO RIGHT

STATE OF NEW YORK
 MICHAEL B. EBANKS
 NO. 004110
 REGISTERED ARCHITECT

PREPARED FOR:
McDonald's USA, LLC
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.

PREPARED BY:
Michael B. Ebanks
 Registered Architect
 2111 McDonald's Drive
 Oak Brook, IL 60521

DATE: _____
 REV: _____
 DESCRIPTION: _____
 BY: _____

DRAWN BY: 66
 STD ISSUE DATE: APRIL 2007
 REVIEWED BY: M.C.
 DATE ISSUED: OCT 19, 07

TITLE: 2007 STANDARD BUILDING 4587FP-WOOD/WOOD BUILDING
 DESCRIPTION: HOOD BEARING WALLS 4x4" BRICK EXTERIOR FINISH HOOD ROOF TRUSS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY

SHEET NO: 030-0226.00.0
A2.1
 ELEVATIONS

ALBUQUERQUE, NM
 5081-1 CENTRAL
 505-2226

OWNER INFORMATION

MCDONALD'S
 511 EAST CARPENTER FREEWAY
 SUITE 375
 IRVING, TX 75206
 (972) 859-5346
 CONTACT: JIMMY LOPEZ

***** GENERAL CONDITIONS *****

ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE

***** LOOP DETECTORS *****

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

***** STOP! CALL BEFORE YOU DIG! *****

As required by New Mexico One Call System, Contractor must contact "NMOC" (800-324-ALERT (2537) at least two days prior to any excavation operations being performed. It is the Contractor's responsibility to contact New Mexico One Call System.

BENCHMARK DESCRIPTION

- CITY OF ALBUQUERQUE SURVEY CONTROL 1 3/4" METALLIC DISK, STAMPED "ACS BM, 12-K9", EPOXYED TO TOP OF CONCRETE MANHOLE WITH A SLAB TOP INLET, NW QUADRANT OF 88TH ST. AND VOLCANO RD., N.W. ELEVATION = 5217.106 NGVD 1929 2ND-ORDER/1ST CLASS

***** NOTICE TO CONTRACTOR *****

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF. SHEET TE-1 WITH 7" THICK x 12' x 25' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S).
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING SIGNAGE IN PLACE.
- THE LOCATION OF THE MENU BOARD AND PRE SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE MCDONALD'S ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ALL UTILITIES, CURBS, PAVEMENT, ETC., TO CONDITIONS EQUAL OR BETTER THAN EXISTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORING ALL MATERIALS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ON SITE STAGING AREA AND SHALL NOT STAGE OR STORE MATERIALS OFF SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE ELECTRIC COMPANY THE EXACT LOCATIONS OF THE TRANSFORMER.

STANDARD ACCESSIBILITY REQUIREMENTS

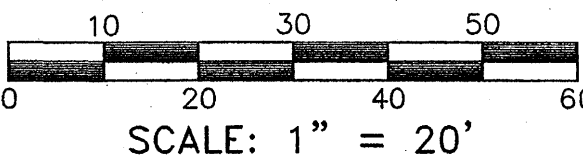
- PARKING:**
- (A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 8' WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
 - (B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "AN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 60" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.
 - (C) ALL ACCESSIBLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 86" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
- RAMP:**
- (D) RAMP EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMP.
 - (E) RAMP SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE. RAMP SHALL ALSO CONTAIN EITHER TRUNCATED DOMES OR 1/2" x 1/2" x 1/2" WIDE AND 1/2" - 2/3" O.C., ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT AND REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
 - (F) BOTTOM LANDINGS FOR RAMP SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL. MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.
- RETURN-CURB RAMP WITH MAX SLOPE 1:12**
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- (H) 36" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)
 - (I) NEW SIDEWALK (MIN 3') TO PUBLIC WALK (MIN. SLOPE 1:20)
 - (J) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
 - (K) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

***** LOT LIGHTING *****

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

SITE INFORMATION

| | |
|------------------------------------|-----------------------------|
| TOTAL LAND AREA: | 1,117 A.C. (48,667 SF) |
| CURRENT ZONING: | SU2-PCA |
| EXISTING USE: | VACANT RESTAURANT |
| PROPOSED USE: | RESTAURANT |
| APPROXIMATE BUILDING AREA: | 5,329 SF |
| BUILDING LOT COVERAGE: | 10.95% (5,329 SF/48,667 SF) |
| BUILDING HEIGHT: | 21'-4" |
| BUILDING REQUIRED PARKING: | 1 PER 3 SEATS |
| PARKING REQUIRED: | 46 |
| PARKING PROVIDED: | 46 |
| HANDICAP PARKING PROVIDED: | 2 |
| MOTORCYCLE PARKING PROVIDED: | 2 |
| HANDICAP PERCENTAGE OF OPEN SPACE: | 18.64% (9,559 SF/48,667 SF) |



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

CONTRACTOR TO VOID STORM PIPING PLAN ON SHEET P1.2 OF ARCHITECTURALS. CITY/STATE DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

NOTE
 Contractor shall contact local waste collection company, prior to trash enclosure construction, to verify that truck servicing site is (front) loading. If company does not offer this type of loading, contractor is to notify Adams Engineering immediately for a revised trash enclosure layout

CONSTRUCTION SCHEDULE

| MARK | MARK DESCRIPTION |
|------|-----------------------------------------------------------------------------------------------------------------------|
| 1 | 6"x6" MONOLITHIC CURB (TYP.) PERIMETER OF SITE |
| 2 | 6"x6" VERTICAL CURB WITH GUTTER AT DRIVE-THRU SIDE ONLY |
| 4 | DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) |
| 5 | H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE |
| 6 | PROPOSED CONCRETE WHEEL STOP (5 TOTAL) |
| 7 | PROPOSED STAMPED CONCRETE SIDEWALK |
| 8 | FUTURE CURB |
| 9 | PRE TREAT FOR TERMITE CONTROL |
| 10 | PAVING SYMBOLS |
| 11 | 3"-2" PVC ROOF DRAINS FROM D.S. TO OUT FLOW AT CURB/BLDG. |
| 13 | PROPOSED GAS METER LOCATION |
| 14 | PROPOSED 2-INCH WATER METER |
| 16 | LANDSCAPE CONTRACTOR TO FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS |
| 17 | TRANSFORMER LOCATION |
| 18 | PROPOSED HANDICAP ACCESSIBLE ROUTE |
| 20 | LIGHT POLE |

RETAINING / SCREEN WALL NOTE

Retaining walls and screening walls shown hereon are approximate locations and are shown for graphical representation purposes only. The actual design, location, selection of materials, structural engineering, geotechnical engineering, construction observation, staking, testing and structural or geotechnical review shall be performed by others as selected by the owner and/or developer. ADAMS Engineering shall in no way have any responsibility as it relates to the retaining walls or screening walls associated with this project.

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

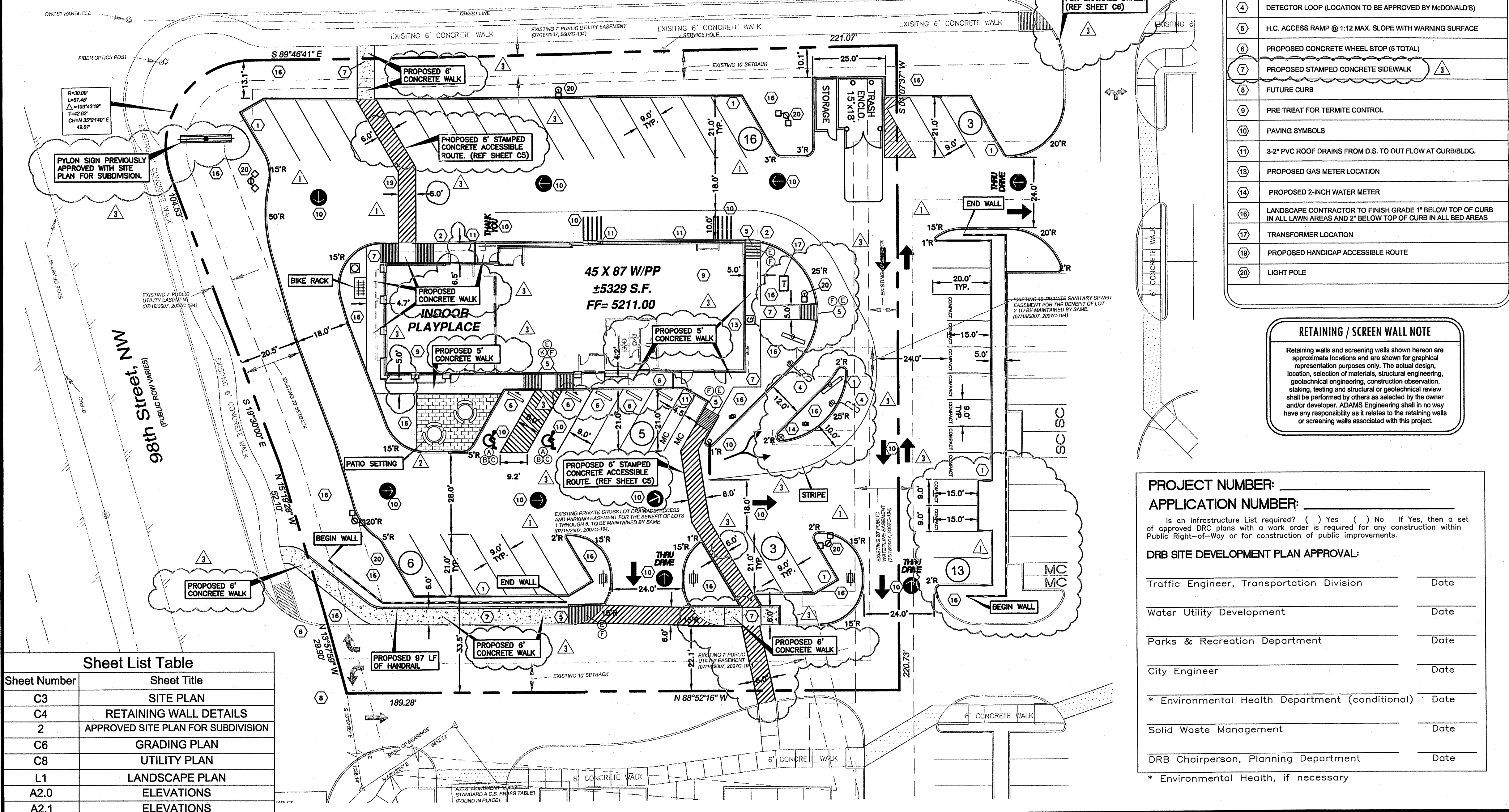
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

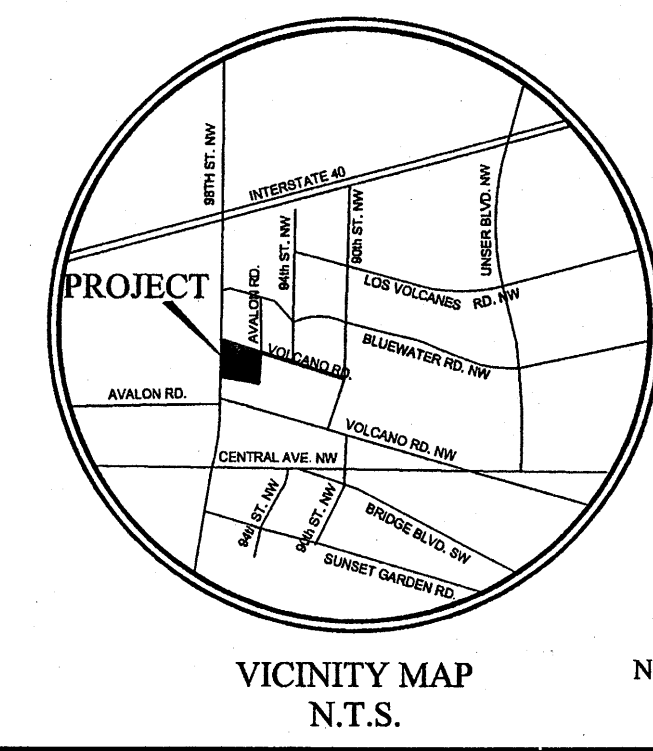
* Environmental Health, if necessary

Volcano Road, NW
 (80' PUBLIC ROW)



Sheet List Table

| Sheet Number | Sheet Title |
|--------------|------------------------------------|
| C3 | SITE PLAN |
| C4 | RETAINING WALL DETAILS |
| 2 | APPROVED SITE PLAN FOR SUBDIVISION |
| C6 | GRADING PLAN |
| C8 | UTILITY PLAN |
| L1 | LANDSCAPE PLAN |
| A2.0 | ELEVATIONS |
| A2.1 | ELEVATIONS |



GENERAL NOTES

- Common storm drainage, pedestrian, utility and access across new tracts is granted by this site plan and will be granted on the replat.
- Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance water waste management is the sole responsibility of the property owner.
- Minimum landscape shall be 15% of the impervious surface less building area.
- Proof equipment shall be below parapet height and screened from view from the property lines of this site. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
- Light poles shall be a maximum of 25' feet with full cut light fixtures. Light fixtures shall be a maximum of 25' with full cut shields on fixtures so that no fugitive light shall escape beyond the property line. The light fixtures shall be fully shielded with horizontal lamps. Light poles with 100' of residential zoning shall be limited to 16' high. Site lighting will meet guidelines as set forth in the night sky ordinance. Light pole locations shown on plan are for reference only. Please refer to architectural plans for locations.
- There shall be no backlit, plastic or vinylawnings or illuminated plastic banding on signage.
- No freestanding cell towers or antenna shall be permitted. Any wireless communications facilities shall be integrated in the building architecture.
- Setbacks: The front setback shall remain free of buildings and permanent structures other than on premise signs. No buildings or structures, other than walls or fences shall be permitted in the side or rear yard setback if there are no solid walls or fences along the rear property line; a 10 ft landscape buffer is required. There shall be a front and corner side yard setback of not less than 5 feet and a setback of 11 ft from the junction of a driveway or alley and a public sidewalk or planned public sidewalk location.
- Building cannot exceed the heights as specified by the SU-2 1P City zoning code.
- The heights of structures shall comply with the requirements of the zoning code, except no structure shall exceed 40' in height.
- Bus route 54 runs from 98th street, NW to Central Avenue, N.W.
- No adult establishments will be built on this site.
- Approval of site plan for building permit for lots 2, 3, and 4 to be delegated to DRB.

PAVING SPECIFICATION

| | | |
|----------------------|----------------------------------------------|-----------------------------------------------|
| VERIFY W/MCDONALD'S: | ASPHALT: <input checked="" type="checkbox"/> | CONCRETE: <input checked="" type="checkbox"/> |
| CONTRACTOR TO BID: | ASPHALT: <input checked="" type="checkbox"/> | CONCRETE: <input checked="" type="checkbox"/> |

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

- CONCRETE & ASPHALT**
- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
 - 8" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
 - CONTROL JOINTS SHALL BE PLACED 16' CENTER TO CENTER.
 - CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

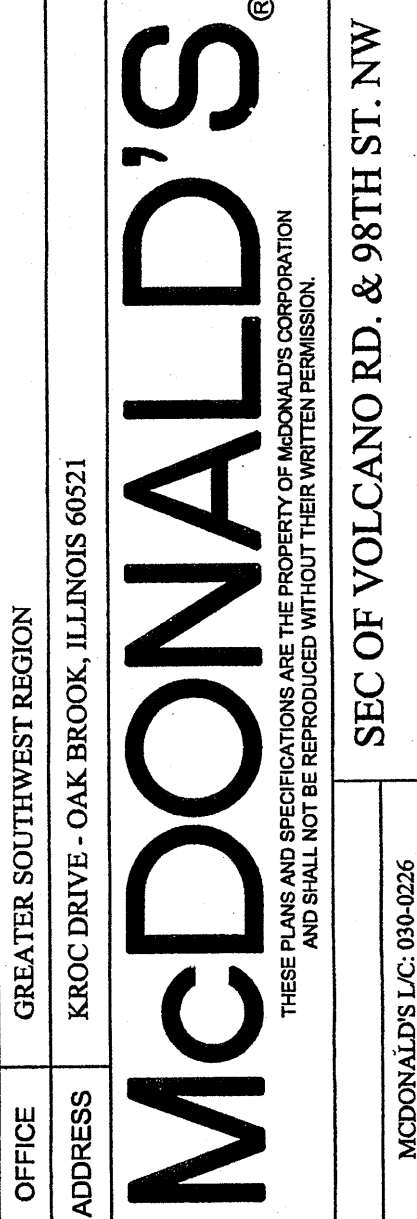
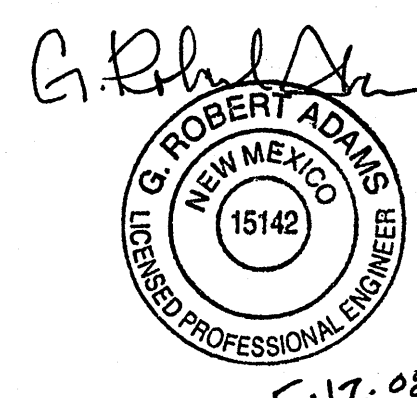
- SCARIFF:**
- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
 - THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

- MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

| | |
|---------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PREPARED BY: PRECISION SURVEYS, INC. | LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 505-556-5700 DATE: OCTOBER 09, 2007 DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 154 |
| PLAN SCALE: 1" = 20' | ADDITION |
| KRANIA ADDITION | STREET ADDRESS |
| SEC OF VOLCANO RD. & 98TH ST. NW | CITY STATE |
| ALBUQUERQUE NEW MEXICO | STATUS DATE BY |
| COUNTY: SURVEY: ABSTRACT NO. | DATE DRAWN |
| L/C NUMBER: 030-0226 | PLAN CHECKED |
| CORPORATE DWG. NAME | AS-BUILT |
| SITE PLAN FOR BUILDING PERMIT | |



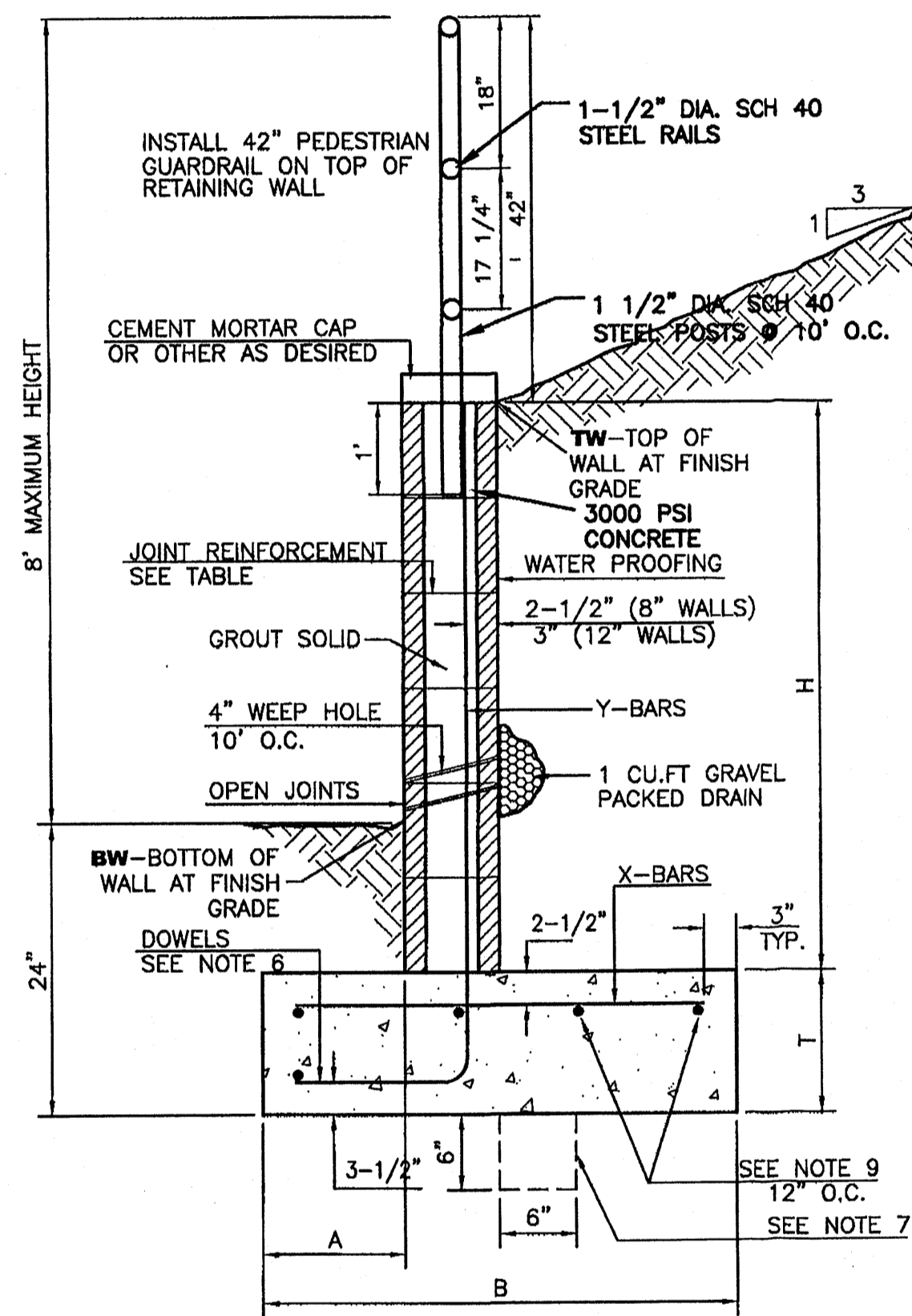
PLAN APPROVALS

| REGIONAL MGR. | CONST. MGR. | OPERATIONS DEPT. | REAL ESTATE DEPT. | CONTRACTOR | OWNER |
|---------------|-------------|------------------|-------------------|------------|-------|
| | | | | | |

CO-SIGN SIGNATURES

| | | |
|--|--|--|
| | | |
|--|--|--|

C3



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

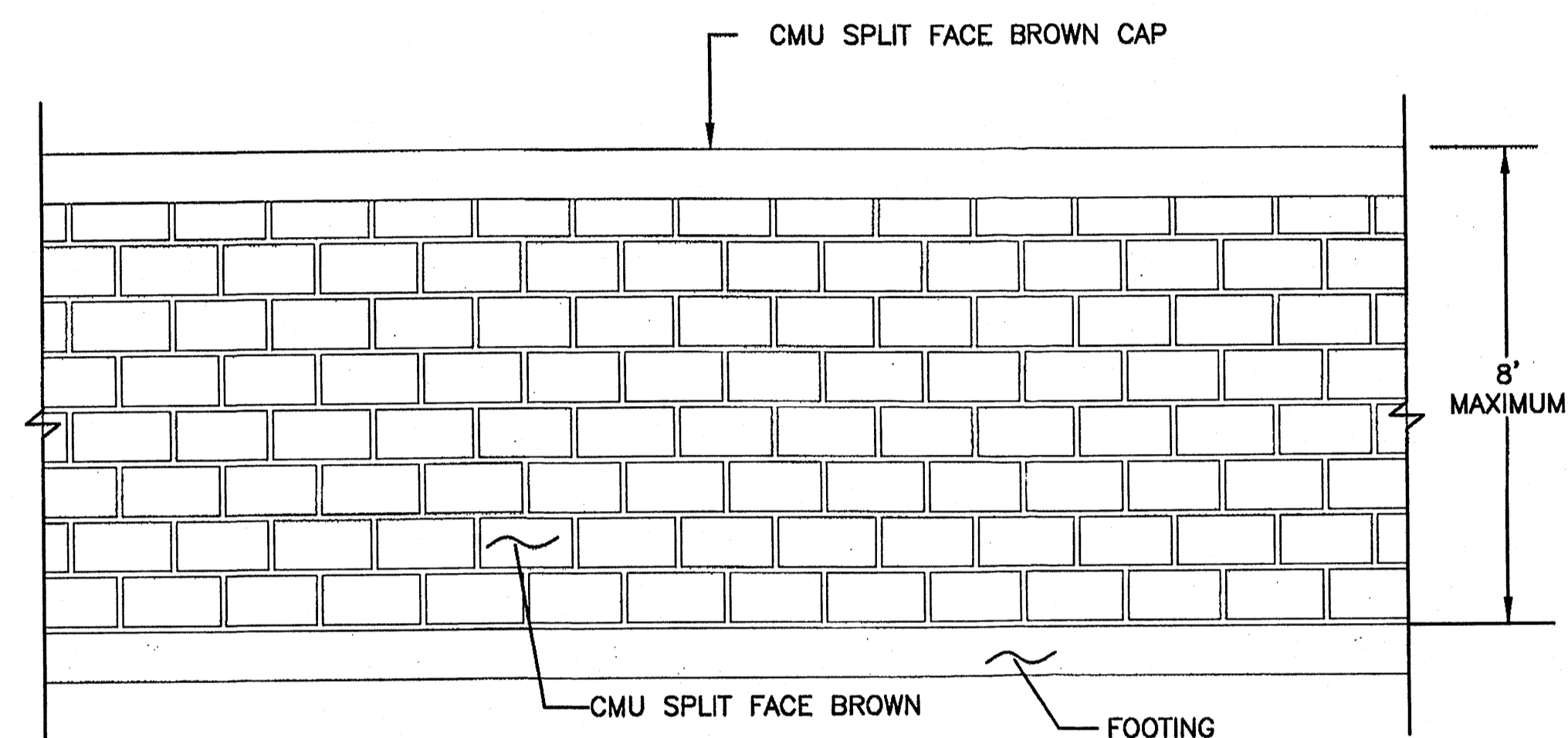
| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 2'-0" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 2'-8" | 8" | 2'-0" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 3'-4" | 8" | 2'-4" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-0" | 10" | 2'-8" | 9" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-8" | 12" | 3'-4" | 10" | #5 @32" O.C. | #4 @32" O.C. |
| 5'-4" | 14" | 3'-10" | 10" | #6 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 16" | 4'-8" | 12" | #6 @8" O.C. | #4 @16" O.C. |

12 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | Y-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 5'-4" | 14" | 3'-8" | 10" | #6 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @16" O.C. |
| 6'-8" | 16" | 4'-6" | 12" | #6 @24" O.C. | #5 @24" O.C. |
| 7'-4" | 18" | 4'-10" | 12" | #6 @16" O.C. | #5 @16" O.C. |
| 8'-0" | 20" | 5'-4" | 12" | #7 @16" O.C. | #6 @16" O.C. |
| 8'-8" | 20" | 5'-8" | 12" | #7 @16" O.C. | #6 @16" O.C. |

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 18'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL DESIGN BASED ON GRADING PLAN PREPARED BY ADAMS ENGINEERING

RETAINING WALL- ELEVATION

NTS

| | | |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------|------------------|
| | MC DONALD'S 98TH ST AND VOLCANO RD | DRAWN BY EMT |
| | RETAINING WALL DETAIL | DATE 03-20-08 |
| TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 | SHEET # C4 | JOB # 28002 |
| RONALD R. BOHANNAN P.E. #7868 | | |

PROPOSED DESIGN GUIDELINES

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

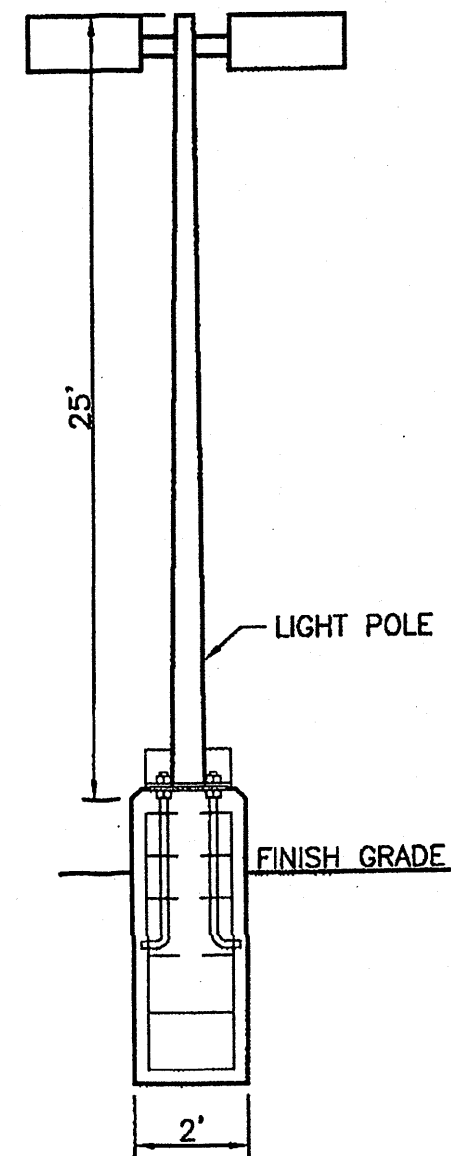
ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 28 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA. ALL LANDSCAPE AREAS SHALL ACHIEVE 80% LIVE GROUND COVER.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.
12. NO PACKAGE LIQUOR SALES ON THIS SITE

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

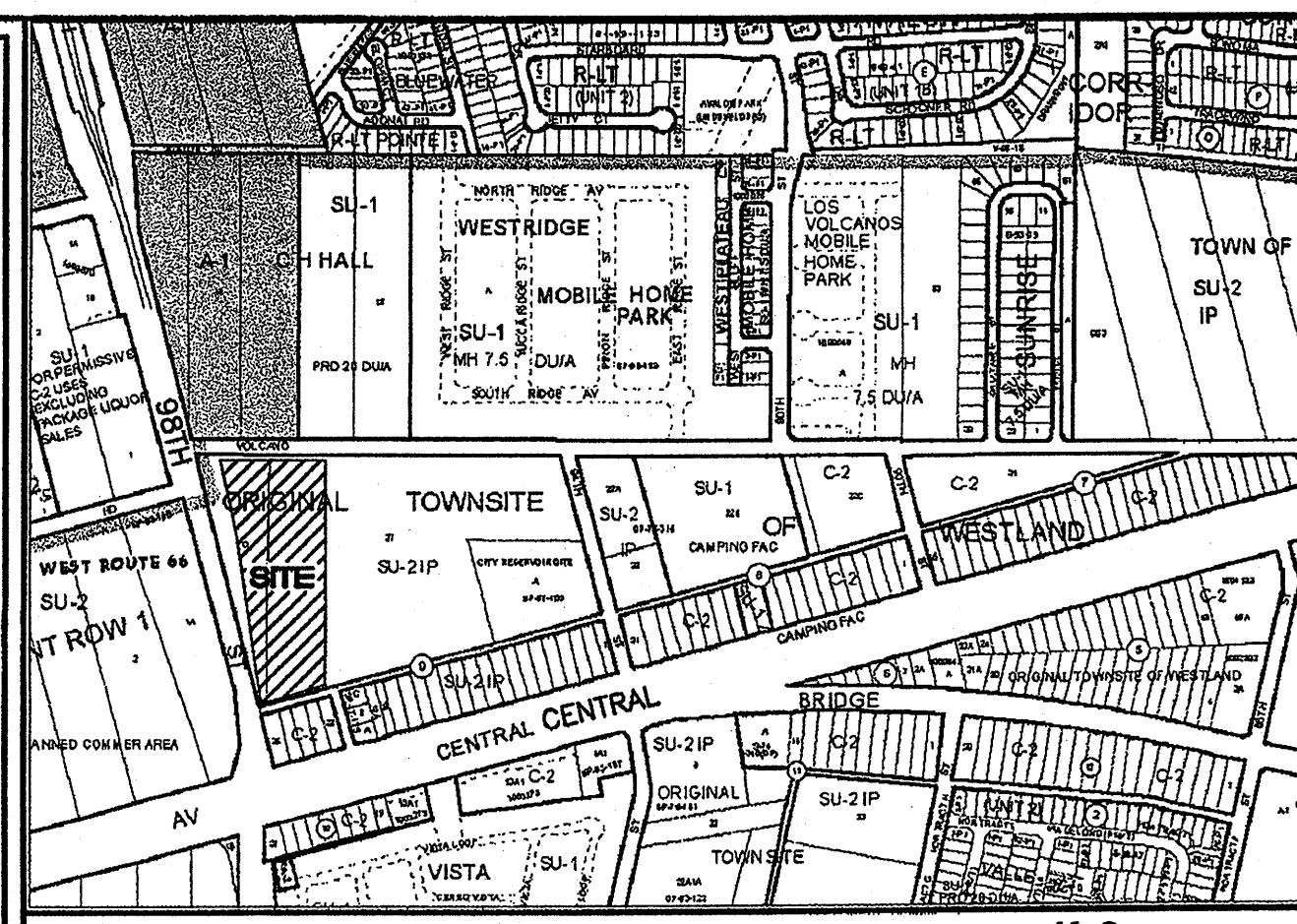
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary



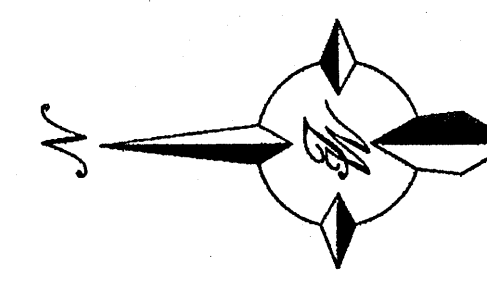
VICINITY MAP:

LEGAL DESCRIPTION:

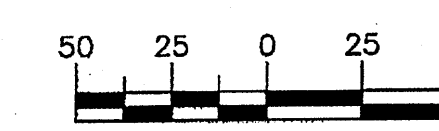
PORTIONS OF LOT 27, BLOCK 9, TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

LEGEND

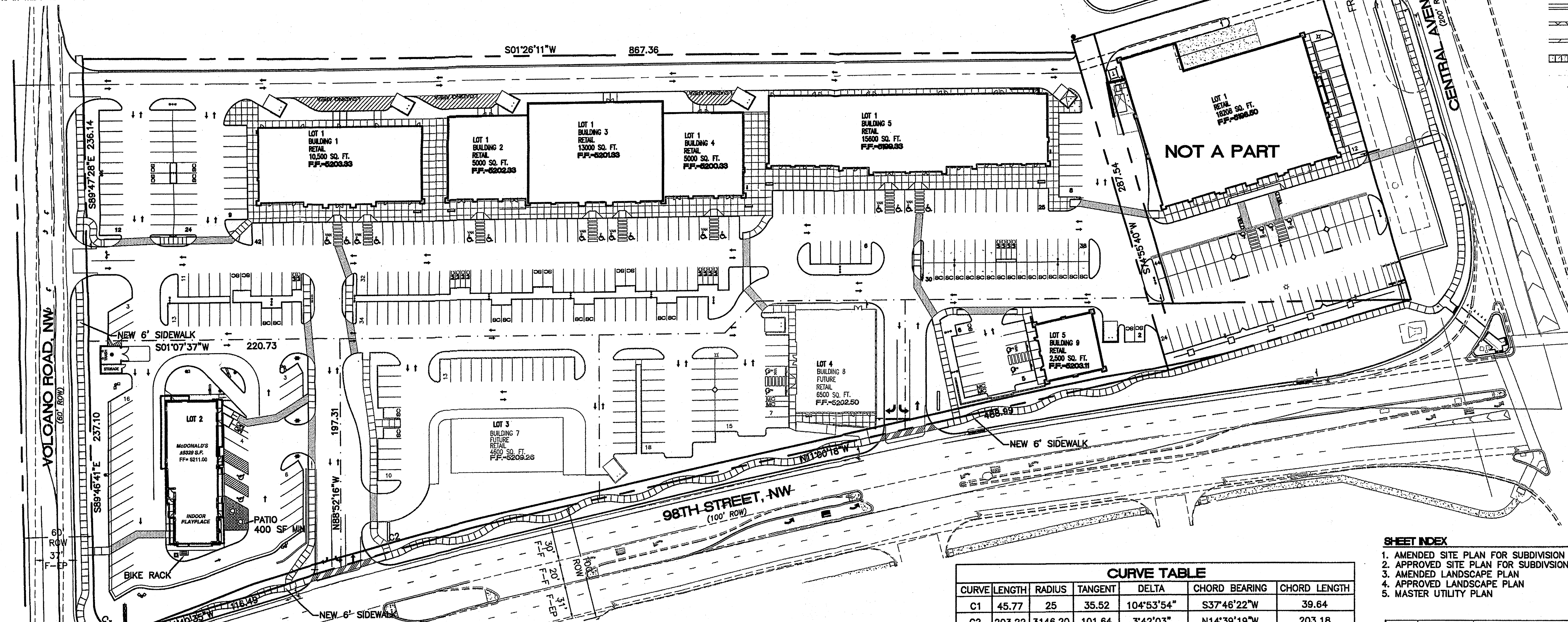
- BOUNDARY LINE
- - - EASEMENT
- - - - - EXISTING CURB AND GUTTER
- ==== CURB AND GUTTER
- ===== SCREEN WALL
- ===== RETAINING WALL
- ===== PROPOSED SIDEWALK
- - - - - EXISTING BOUNDARY
- ===== CROSSWALK
- ===== BIKE RACK
- ===== PARKING LOT LIGHTING



GRAPHIC SCALE



SCALE: 1"=50'



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | EXISTING ZONING | PROPOSED ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|-------------------------|-----------------|-----------------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 IP | PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | 1 | | 5,000 | RETAIL | SU-2 IP | PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | | 13,000 | RETAIL | SU-2 IP | PCA | 65 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | 1 | | 5,000 | RETAIL | SU-2 IP | PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | 1 | 15,800 | RETAIL | SU-2 IP | PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' | |
| 6 | 2 | 1.147 | 5,329 | RESTAURANT W/DRIVE-THRU | SU-2 IP | PCA | 38 | 48 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 4,600 | RETAIL | SU-2 IP | PCA | 23 | 23 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.790 | 6,500 | RETAIL | SU-2 IP | PCA | 33 | 41 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | PCA | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | | 8.052 | 65,579 | | | | 344 | 385 | 21 | 28 | 9 | 13 | 17 | 45 | 16 | 24 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

- SHEET INDEX**
1. AMENDED SITE PLAN FOR SUBDIVISION
 2. APPROVED SITE PLAN FOR SUBDIVISION
 3. AMENDED LANDSCAPE PLAN
 4. APPROVED LANDSCAPE PLAN
 5. MASTER UTILITY PLAN

| NO. | DATE | REMARKS | BY |
|-------------------------------------------------------------------------------------------------------------|------|---------|---------------------------------------------------------------------------------------------------------------------|
| REVISIONS | | | |
| <p>NORTHEAST CORNER OF 98TH AND CENTRAL</p> <p>AMENDED SITE PLAN FOR SUBDIVISION</p> | | | <p>DRAWN BY: B/JF</p> <p>DATE: 4-8-08</p> <p>2784-SPSE.DWG</p> |
| <p>TERRA WEST, LLC</p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100</p> | | | <p>SHEET #</p> <p style="text-align: center; font-size: 24pt;">1</p> <p>JOB #</p> <p>27064</p> |
| <p>RONALD R. BOHANNAN P.E. #7868</p> | | | |

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

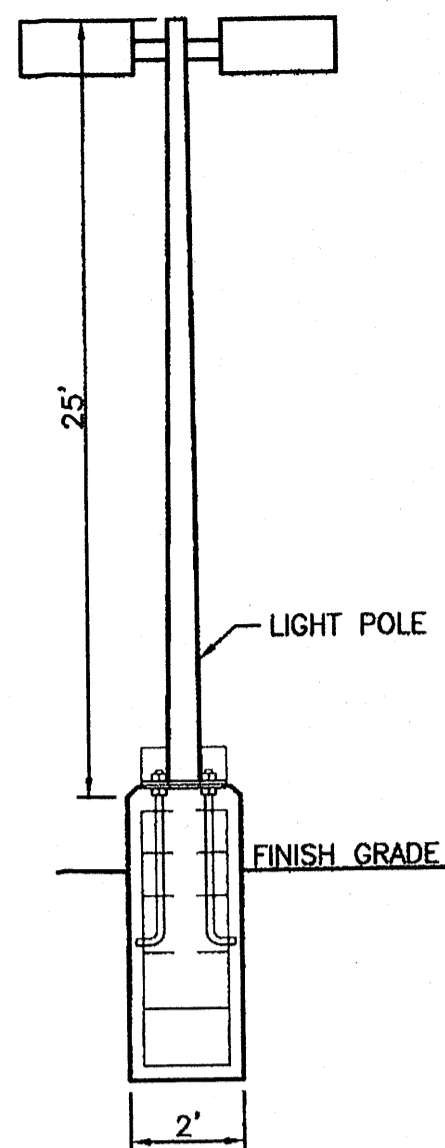
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLEMENT THE EXISTING BUILDINGS.

SIGNAGE:

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELGATED DOWN TO DRB.

PROJECT NUMBER: 1004354

APPLICATION NUMBER: 02-00033

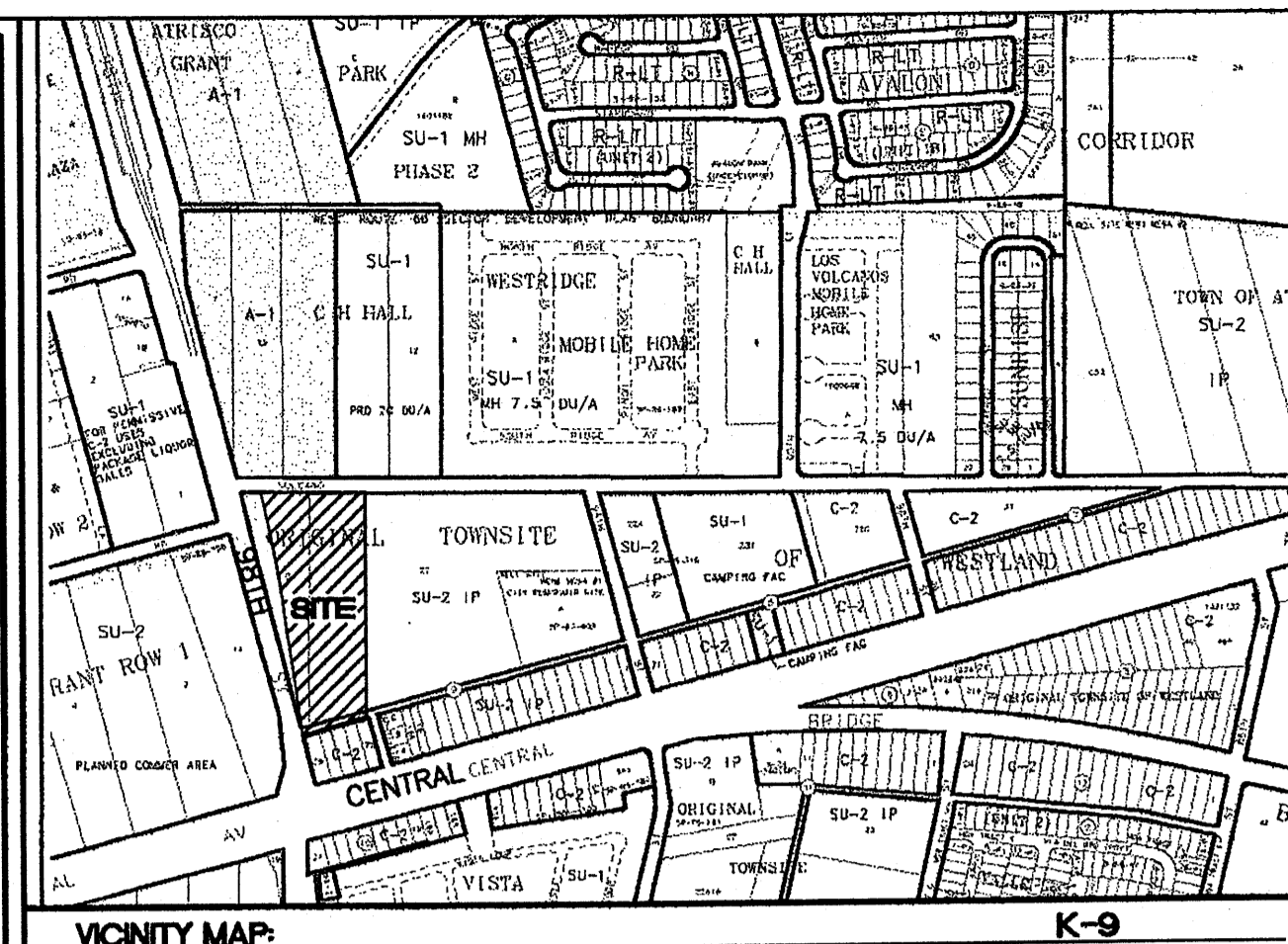
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|--------|
| <i>[Signature]</i> | 2-7-07 |
| Traffic Engineer, Transportation Division | Date |
| <i>[Signature]</i> | 2/7/07 |
| Water Utility Development | Date |
| <i>[Signature]</i> | 2/7/07 |
| Parks & Recreation Department | Date |
| <i>[Signature]</i> | 2/7/07 |
| City Engineer | Date |
| <i>[Signature]</i> | |
| * Environmental Health Department (conditional) | Date |
| <i>[Signature]</i> | 7/5/07 |
| Solid Waste Management | Date |
| <i>[Signature]</i> | 7/6/07 |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

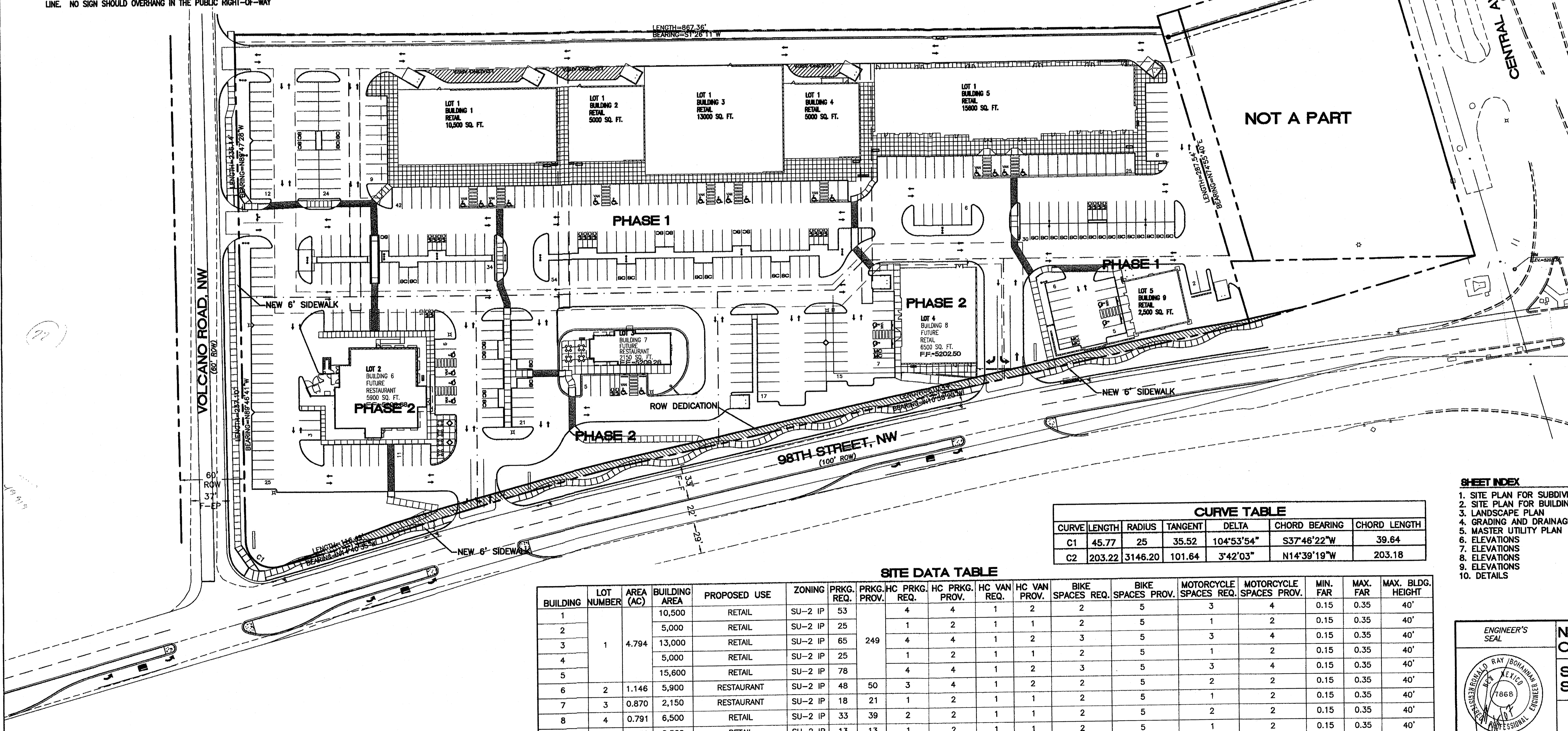


LEGAL DESCRIPTION:

PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

- BOUNDARY LINE
- - - - EASEMENT
- EXISTING CURB AND GUTTER
- ==== CURB AND GUTTER
- ==== SCREEN WALL
- ==== RETAINING WALL
- ▨ PROPOSED SIDEWALK
- ▨ EXISTING BOUNDARY
- ▨ CROSSWALK
- ▨ BIKE RACK
- ▨ PARKING LOT LIGHTING
- ▨ ROW DEDICATION



| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

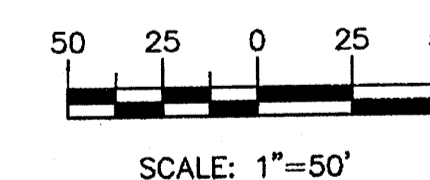
| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. HC PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------|---------|------------|----------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 IP | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 IP | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 IP | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT | SU-2 IP | 48 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 2,150 | RESTAURANT | SU-2 IP | 18 | 21 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.791 | 6,500 | RETAIL | SU-2 IP | 33 | 39 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | 6 | 8.051 | 68,550 | | | | 358 | 372 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN
4. GRADING AND DRAINAGE PLAN
5. MASTER UTILITY PLAN
6. ELEVATIONS
7. ELEVATIONS
8. ELEVATIONS
9. ELEVATIONS
10. DETAILS

GRAPHIC SCALE



ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

NORTHEAST CORNER OF 98TH AND CENTRAL
SITE PLAN FOR SUBDIVISION

TIERRA WEST, LLC
8508 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY
EMT
DATE
2-5-07
2566-SPSE.dwg
SHEET #
1
JOB #
25066

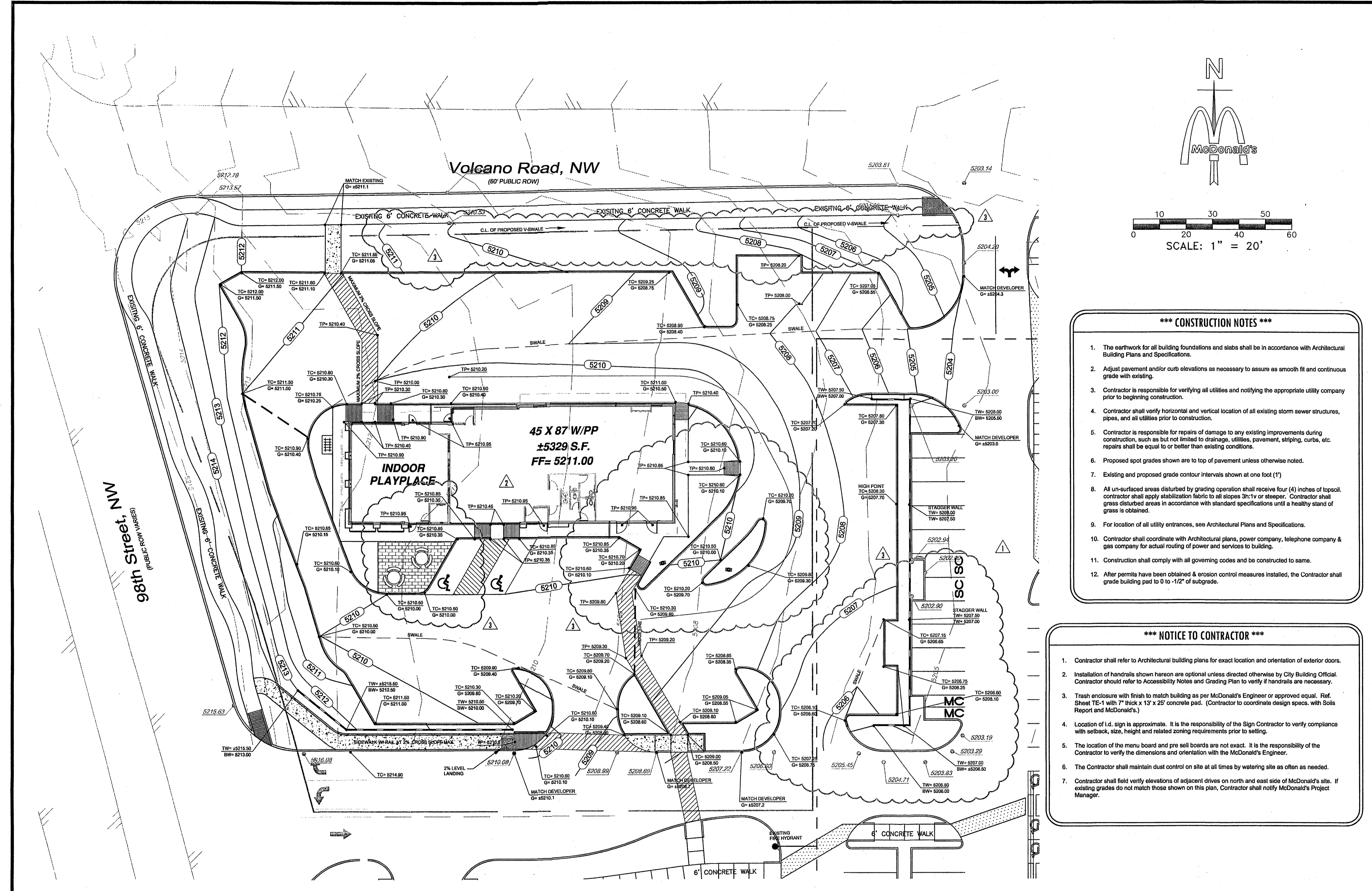
FILE NAME: GRADING PLAN.dwg PLOT DATE: Monday, May 12, 2008 PLOT TIME: 12:18:34 PM PLOTTER: HP 8000 A4/CAD/PLT

PLotted BY: Chad Engert

PROJECT: 030-0226

PROJECT: 030-0226

PROJECT: 030-0226

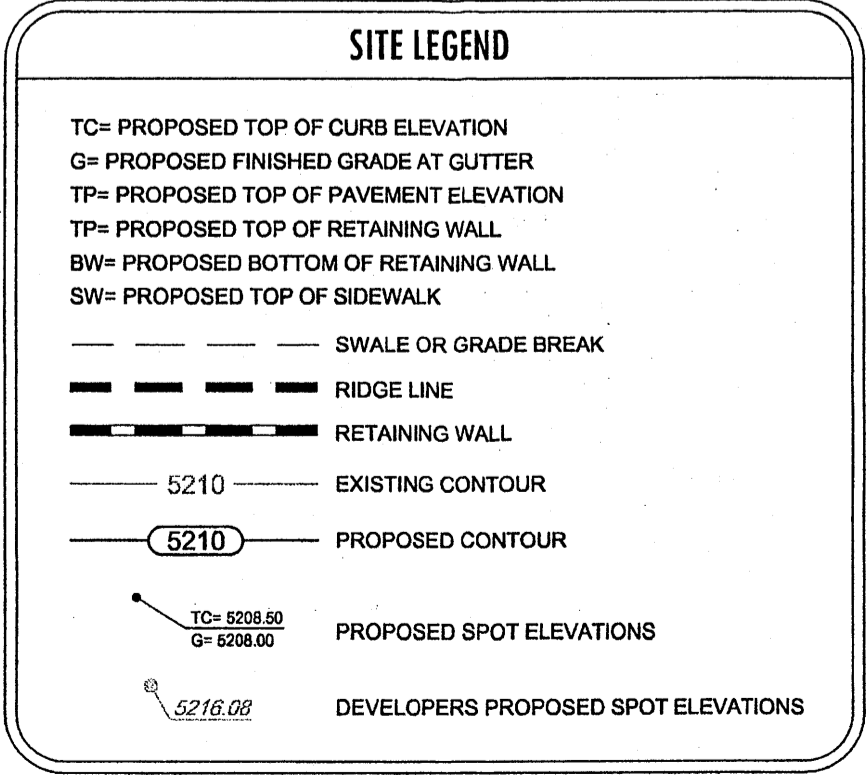


***** CONTRACTOR NOTE *****

- CONTRACTOR SHALL CONFIRM PROPOSED GRADES ALONG THE PERIMETER WITH THE SITE DEVELOPER. ALTERATIONS TO THE SOUTH SIDEWALK SHALL NOT EXCEED 5% WITH A 2% CROSS SLOPE MAXIMUM.
- HANDRAILS ARE ANTICIPATED AND SHOWN.
- CONTRACTOR SHALL MODIFY RETAINING WALL LIMITS AS SITE CONDITIONS ALLOW.

GRADING COMPLIANCE NOTE

THIS SITE COMPLIES WITH THE APPROVED GRADING PLAN FOR KRANIA SUBDIVISION - NE CORNER 98TH & CENTRAL, STAMP DATE 5-24-07 (K9/D30).



- *** CONSTRUCTION NOTES *****
- The earthwork for all building foundations and slabs shall be in accordance with Architectural Building Plans and Specifications.
 - Adjust pavement and/or curb elevations as necessary to assure a smooth fit and continuous grade with existing.
 - Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
 - Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
 - Contractor is responsible for repairs of damage to any existing improvements during construction, such as but not limited to drainage, utilities, pavement, striping, curbs, etc. repairs shall be equal to or better than existing conditions.
 - Proposed spot grades shown are to top of pavement unless otherwise noted.
 - Existing and proposed grade contour intervals shown at one foot (1').
 - All un-surfaced areas disturbed by grading operation shall receive four (4) inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3:1v or steeper. Contractor shall grass disturbed areas in accordance with standard specifications until a healthy stand of grass is obtained.
 - For location of all utility entrances, see Architectural Plans and Specifications.
 - Contractor shall coordinate with Architectural plans, power company, telephone company & gas company for actual routing of power and services to building.
 - Construction shall comply with all governing codes and be constructed to same.
 - After permits have been obtained & erosion control measures installed, the Contractor shall grade building pad to 0 to -1/2" of subgrade.

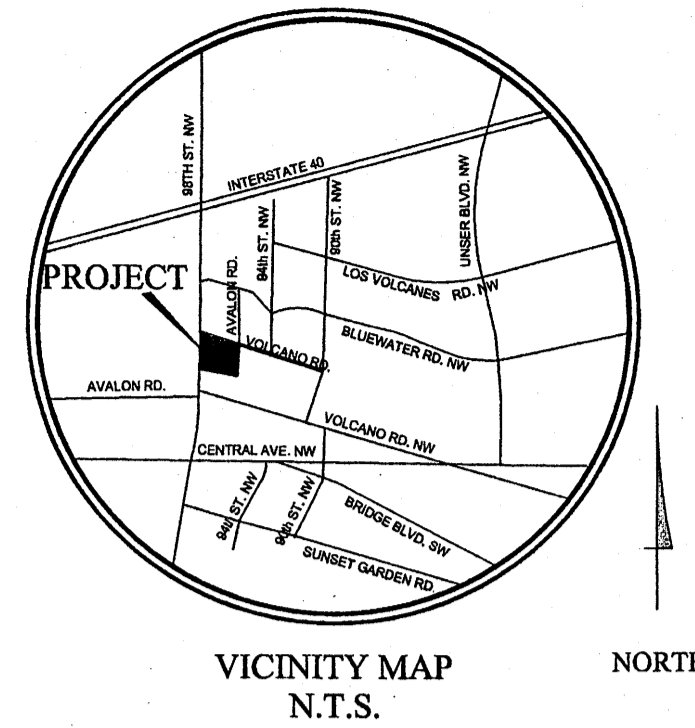
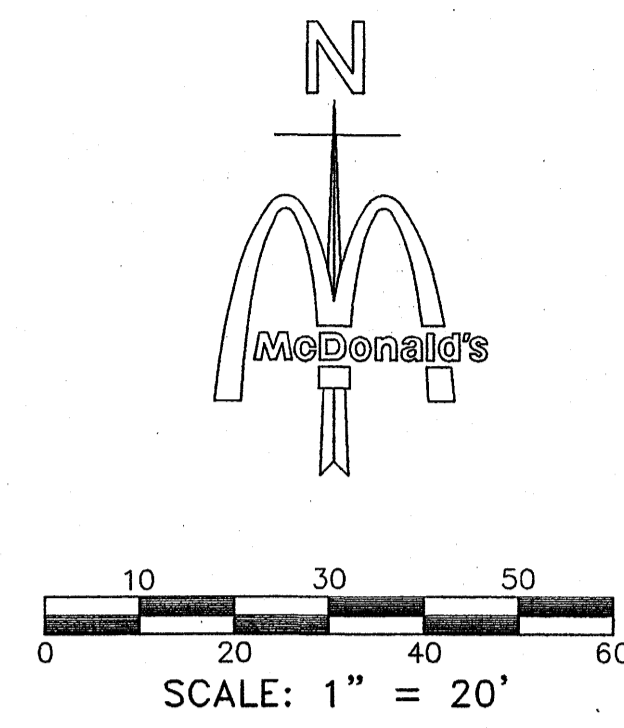
- *** NOTICE TO CONTRACTOR *****
- Contractor shall refer to Architectural building plans for exact location and orientation of exterior doors.
 - Installation of handrails shown hereon are optional unless directed otherwise by City Building Official. Contractor should refer to Accessibility Notes and Grading Plan to verify if handrails are necessary.
 - Trash enclosure with finish to match building as per McDonald's Engineer or approved equal. Ref. Sheet TE-1 with 7" thick x 13' x 25' concrete pad. (Contractor to coordinate design specs. with Soils Report and McDonald's.)
 - Location of i.d. sign is approximate. It is the responsibility of the Sign Contractor to verify compliance with setback, size, height and related zoning requirements prior to setting.
 - The location of the menu board and pre sell boards are not exact. It is the responsibility of the Contractor to verify the dimensions and orientation with the McDonald's Engineer.
 - The Contractor shall maintain dust control on site at all times with watering site as often as needed.
 - Contractor shall field verify elevations of adjacent drives on north and east side of McDonald's site. If existing grades do not match those shown on this plan, Contractor shall notify McDonald's Project Manager.

CONTRACTOR TO VOID STORM PIPING PLAN ON SHEET PL-2 OF ARCHITECTURALS. CITY/STATE DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

ALL HANDICAP ACCESSIBLE RAMPS MUST BE DESIGNED AND BUILT PER ADA STANDARDS.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

- BENCHMARK DESCRIPTION**
- CITY OF ALBUQUERQUE SURVEY CONTROL 1 3/4" METALLIC DISK, STAMPED "ACS BM, 12-K9", EPOXYED TO TOP OF CONCRETE MANHOLE WITH A SLAB TOP INLET, NW QUADRANT OF 98TH ST. AND VOLCANO RD., N.W. ELEVATION = 5217.106 NGVD 1929 2ND-ORDER/1ST CLASS



- GENERAL NOTES**
- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
 - BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
 - FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
 - FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
 - IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
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 - DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
 - ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

PAVING SPECIFICATION

| | | | | |
|--------------------|---------|-------------------------------------|----------|-------------------------------------|
| VERIFY MCDONALD'S: | ASPHALT | <input checked="" type="checkbox"/> | CONCRETE | <input checked="" type="checkbox"/> |
| CONTRACTOR TO BID: | ASPHALT | <input checked="" type="checkbox"/> | CONCRETE | <input checked="" type="checkbox"/> |

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. (SEPTEMBER 2007) PROJECT NO. 07-214

- CONCRETE & ASPHALT**
- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
 - 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
 - CONTROL JOINTS SHALL BE PLACED 15' TO CENTER.
 - CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.
- SCARIFY:**
- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
 - THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

- NOTE:**
- MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LOT NUMBER TWO (2) OF THE PLAT OF 5509.4 BUFFERS STREET, NE LOTS 1, 2, 3, 4, 5 AND KRANIA, ALBUQUERQUE, ALBUQUERQUE, NEW MEXICO BERNALILLO COUNTY, NEW MEXICO

DATE: OCTOBER 09, 2007

LEGAL DESCRIPTION: LOT NUMBER TWO (2) OF THE PLAT OF 5509.4 BUFFERS STREET, NE LOTS 1, 2, 3, 4, 5 AND KRANIA, ALBUQUERQUE, ALBUQUERQUE, NEW MEXICO BERNALILLO COUNTY, NEW MEXICO

DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194

PLAN SCALE: 1" = 20'

KRANIA ADDITION

STREET ADDRESS: SEC OF VOLCANO RD. & 98TH ST. NW

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO COUNTY SURVEY: ABSTRACT NO. 030-0226

CORPORATE DWG. NAME: GRADING PLAN

| | | | | |
|----------|----------|------------------|-----|------------|
| REVISION | DATE | DESCRIPTION | BY | ISSUE REF. |
| 1 | 03/03/08 | CITY COMMENTS | BLS | --- |
| 2 | 03/20/08 | CITY COMMENTS | RL | --- |
| 3 | 05/12/08 | PER DBR COMMENTS | BLS | --- |

Adams ENGINEERING

SEC OF VOLCANO RD. & 98TH ST. NW ALBUQUERQUE, NEW MEXICO

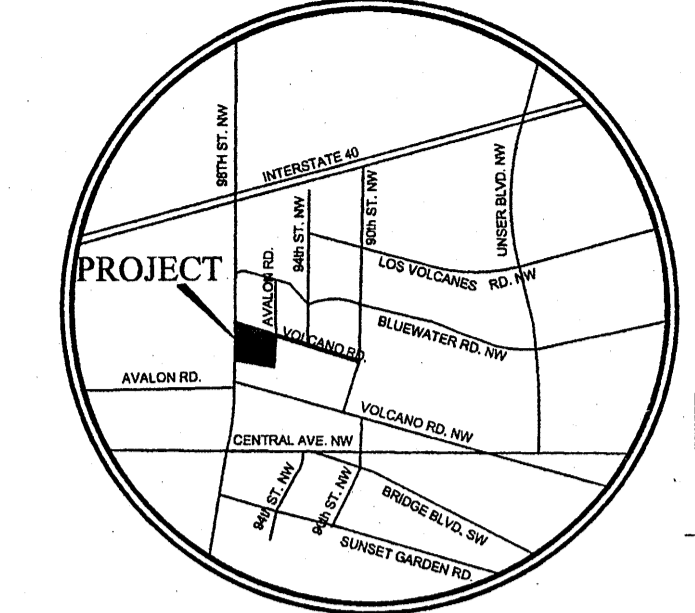
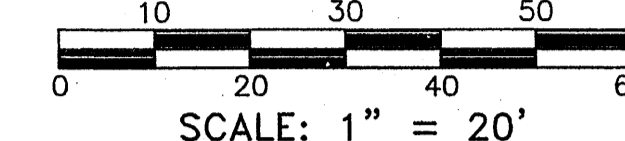
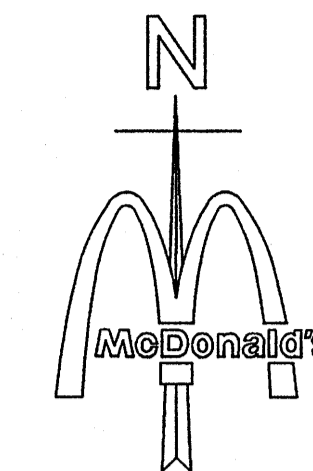
McDONALD'S

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER

STATUS: AS-BUILT DATE DRAWN: 11/25/07 DATE CHECKED: 11/25/07 BY: CHL BLS

C6

Volcano Road, NW
(60' PUBLIC ROW)



VICINITY MAP
N.T.S.
NORTH

GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
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- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
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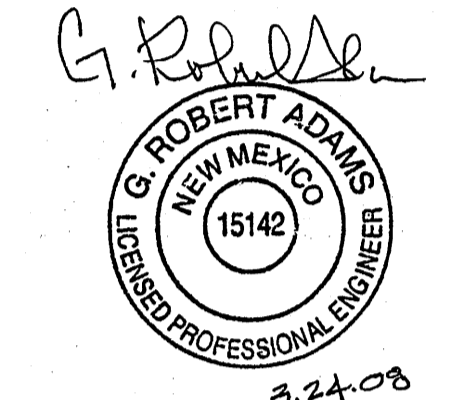
| | |
|----------------------|-----------------------------------------------------------------------------------------------------------------|
| PAVING SPECIFICATION | VERIFY W/MCDONALD'S: ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/> |
| | CONTRACTOR TO BID: ASPHALT: <input checked="" type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/> |

NOTE: PAVING AND SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

- CONCRETE & ASPHALT**
- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
 - 8" CONCRETE SUBGRADE PER GEOTECHNICAL REPORT
 - CONTROL JOINTS SHALL BE PLACED 10' CENTER TO CENTER.
 - CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.
- SCAFFRY:**
- SCAFFRY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
 - THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.
- NOTE:**
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| SURVEY INFORMATION | | |
|---------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|
| PREPARED BY: PRECISION SURVEYS, INC. 8500-A JEFFERSON STREET, NE ALBUQUERQUE, NEW MEXICO 505-856-9700 DATE: OCTOBER 09, 2007 | LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194 | |
| PLAN SCALE: 1" = 20' | | |
| ADDITION KRANIA ADDITION STREET ADDRESS | | |
| SEC OF VOLCANO RD. & 98TH ST. NW | | |
| CITY | STATE | |
| ALBUQUERQUE | NEW MEXICO | |
| COUNTY: | SURVEY: | ABSTRACT NO. |
| BERNALILLO COUNTY | --- | --- |
| L/C NUMBER: | CORPORATE DWG. NAME | |
| 030-0226 | UTILITY PLAN | |

| REV | DATE | DESCRIPTION | BY | ISSUE REF |
|-----|----------|---------------|----|-----------|
| 1 | 03/03/08 | CITY COMMENTS | RL | |
| 2 | 03/19/08 | CITY COMMENTS | RL | |



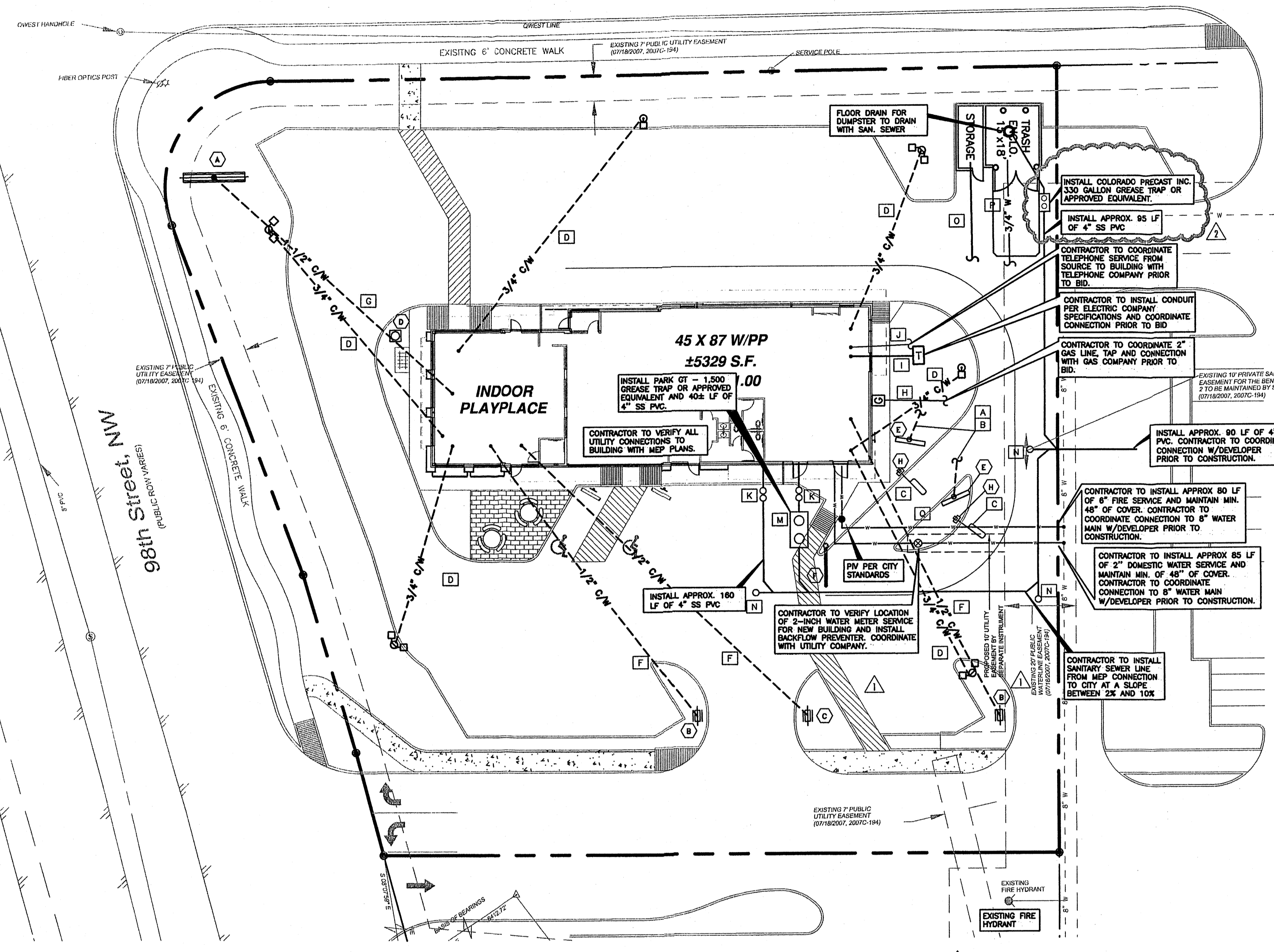
McDONALD'S
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

SEC OF VOLCANO RD. & 98TH ST. NW
ALBUQUERQUE, NEW MEXICO

OFFICE: GREATER SOUTHWEST REGION
ADDRESS: KKOC DRIVE - OAK BROOK, ILLINOIS 60521

McDONALD'S L.C. 030-0226
ADAMS ENGINEERING No. 2006-2456

| | | |
|-------------------|------|-----|
| REGIONAL MGR. | DATE | BY |
| CONST. MGR. | | |
| OPERATIONS DEPT. | | |
| REAL ESTATE DEPT. | | |
| CONTRACTOR | | |
| OWNER | | |
| STATUS | DATE | BY |
| PLAN CHECKED | | RLS |
| AS-BUILT | | |
| C8 | | |



| MARK | MARK DESCRIPTION |
|------|------------------------------------------------------------------------------------------|
| A | 2" CONDUIT TO MENU BOARD FOR CONTROLS |
| B | 1/2" CONDUIT FROM BUILDING ELECTRIC PANEL TO MENU BOARD |
| C | 3/4" CONDUIT W/ LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION |
| D | 3/4" CONDUIT WITH WIRE (SITE LIGHTING) |
| F | 1/2" CONDUIT WITH WIRE (DIRECTIONAL SIGNAGE) |
| G | 1 1/2" EMPTY CONDUIT WITH WIRE (ROAD SIGN) |
| H | 2" GAS LINE-VERIFY IN FIELD SIZE AND TAP LOCATION |
| I | PROPOSED ELECTRIC TRANSFORMER (3) 3" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE. |
| J | UNDERGROUND TELEPHONE SERVICE TO SITE (GENERAL CONTRACTOR TO VERIFY CONNECTION LOCATION) |
| K | TWO-WAY SANITARY SEWER CLEANOUT |
| M | 1,500 GALLON GREASE TRAP PER GOVERNING AUTHORITY SPECIFICATIONS |
| N | SANITARY SEWER CLEANOUT WITH CAST IRON COVER |
| O | 3/4" CONDUIT WITH WIRE (TO T.E. STORAGE) |
| P | 3/4" WATER SERVICE TO TRASH ENCLOSURE |
| Q | BACK FLOW PREVENTER |

***** LOOP DETECTORS *****
CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

***** LOT LIGHTING *****
CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

| NO. | MARK | MARK DESCRIPTION |
|-----|------|-----------------------------------|
| 1 | (A) | PROPOSED PYLON SIGN |
| 2 | (B) | 90-5 DIR. SIGN "THANK YOU"/"EXIT" |
| 1 | (C) | 90-5 DIR. SIGN "WELCOME"/"ENTER" |
| 1 | (D) | FLAG POLE 50' HIGH MAX. |
| 2 | (E) | FP-43 MENU BOARD ELEVATIONS |
| 1 | (F) | GATEWAY SIGN |
| 0 | (G) | 90-10 TRI-VIEW PRE-SELL BOARD |
| 2 | (H) | CUSTOMER ORDER DISPLAY |

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

***** SANITARY SEWER NOTE *****

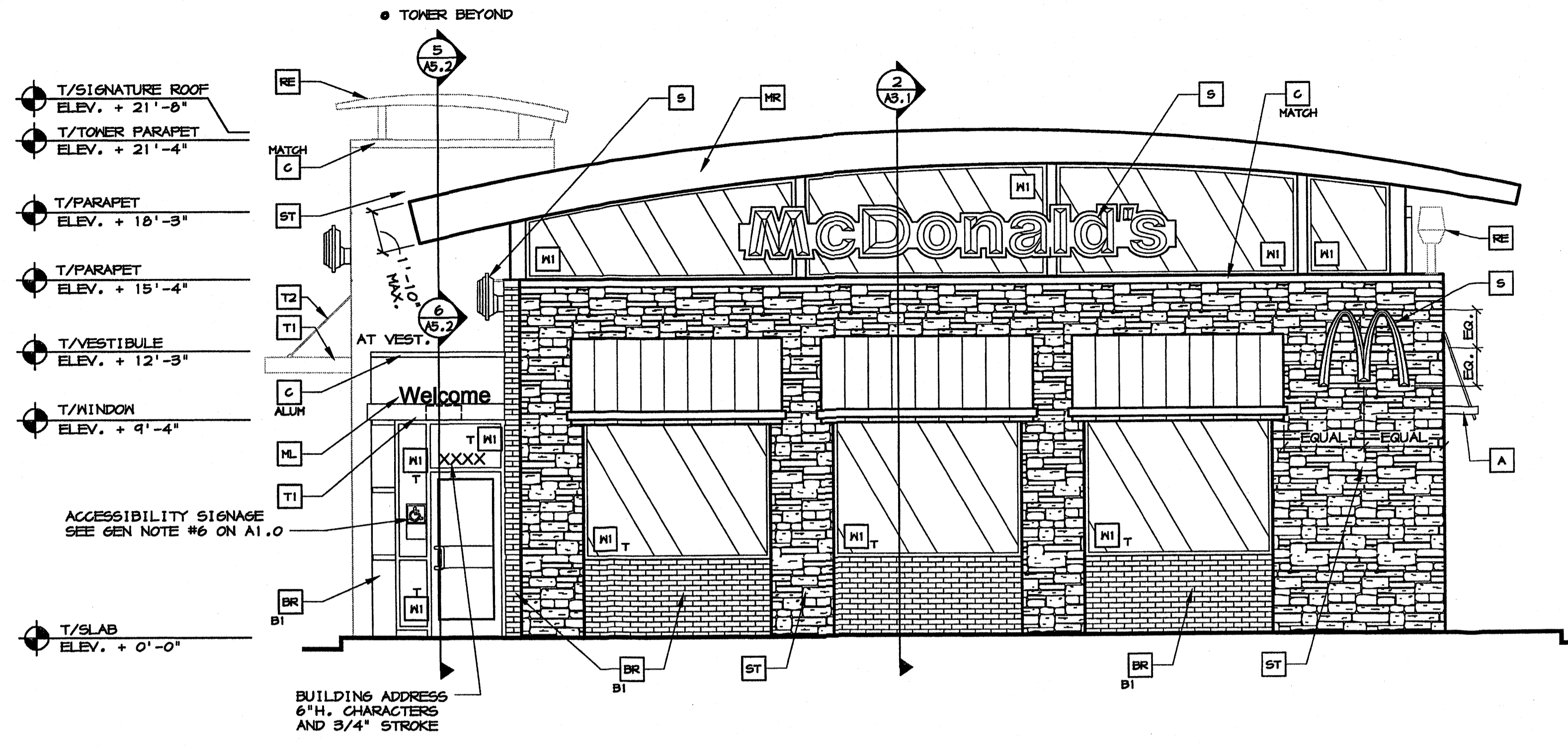
The Contractor shall verify location and flowline of existing manholes to be used, and shall install sanitary sewer line at minimum slopes per governing authority's design specifications.

***** UTILITY GENERAL CONDITIONS *****

All utility and electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.

| COMPANY | CONTACT | PHONE |
|-------------------------------|---------------|--------------|
| PNM-ELECTRIC AND GAS SERVICES | KELLY GRAGG | 505-241-3490 |
| ABCWUA | ROGER GREEN | 505-924-3989 |
| QWEST CORPORATION | BEVERLY YOUNG | 505-245-5934 |

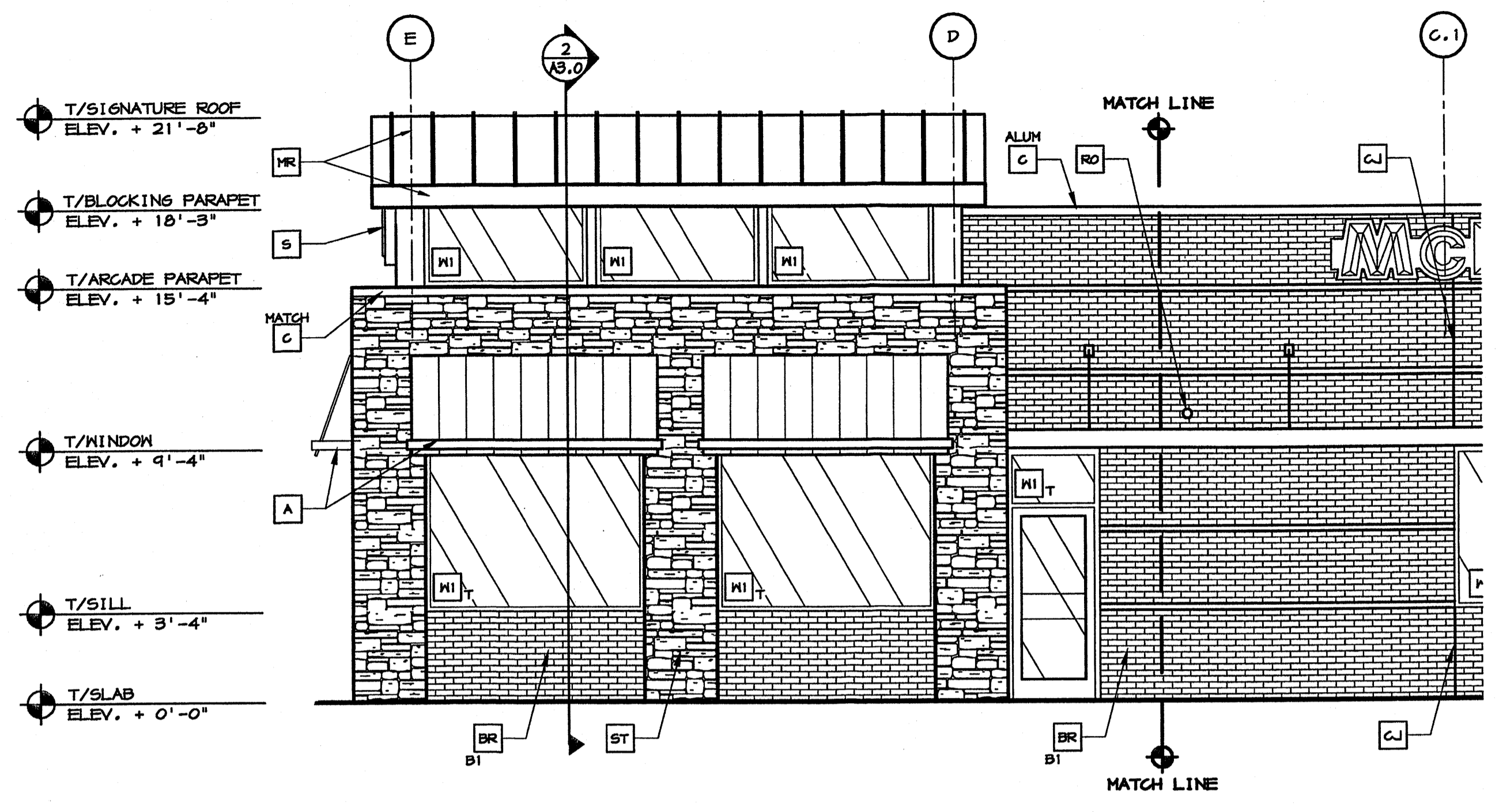
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PLOT DATE: Thursday, March 20, 2008
PLOTTER: HP 8000 AUCAD.ctb
FULL PATH: I:\projects\2006\0300\2006-296\dwg\Utility\Utility.dwg



- T/SIGNATURE ROOF
ELEV. + 21'-0"
- T/TONER PARAPET
ELEV. + 21'-4"
- T/PARAPET
ELEV. + 18'-3"
- T/PARAPET
ELEV. + 15'-4"
- T/VESTIBULE
ELEV. + 12'-3"
- T/WINDOW
ELEV. + 9'-4"
- T/SLAB
ELEV. + 0'-0"

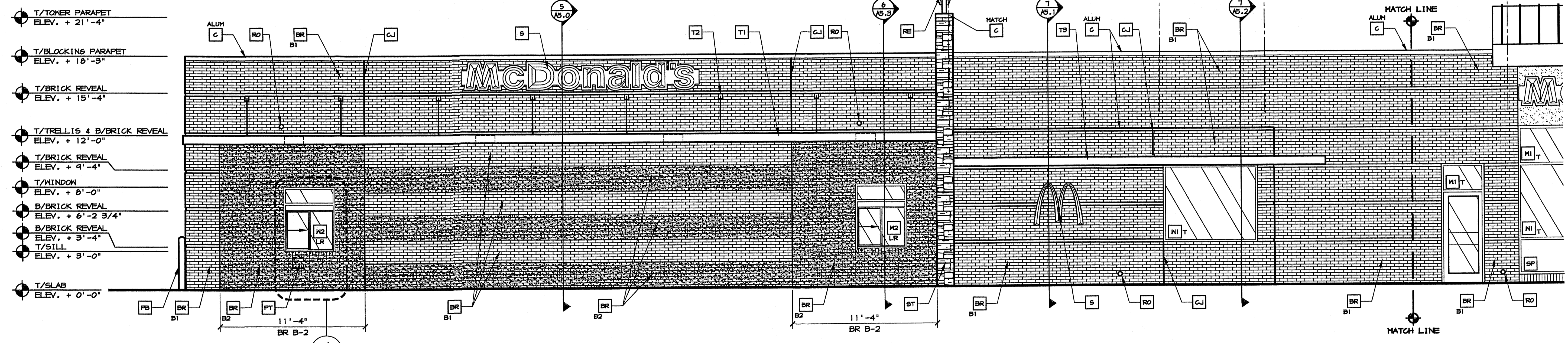
BUILDING ADDRESS
6" H. CHARACTERS
AND 3/4" STROKE

1 FRONT ELEVATION
A2.0 1/4" = 1'-0"



- T/SIGNATURE ROOF
ELEV. + 21'-0"
- T/BLOCKING PARAPET
ELEV. + 18'-3"
- T/ARCADE PARAPET
ELEV. + 15'-4"
- T/WINDOW
ELEV. + 9'-4"
- T/SILL
ELEV. + 3'-4"
- T/SLAB
ELEV. + 0'-0"

2 NON DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"
(SEE ELEVATION 1/A2.1 FOR CONTINUATION OF ELEVATION)



- T/TONER PARAPET
ELEV. + 21'-4"
- T/BLOCKING PARAPET
ELEV. + 18'-3"
- T/BRICK REVEAL
ELEV. + 15'-4"
- T/TRELLIS & B/BRICK REVEAL
ELEV. + 12'-0"
- T/BRICK REVEAL
ELEV. + 9'-4"
- T/WINDOW
ELEV. + 8'-0"
- B/BRICK REVEAL
ELEV. + 6'-2 3/4"
- B/BRICK REVEAL
ELEV. + 3'-4"
- T/SILL
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"

3 DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"
(SEE ELEVATION 2/A2.1 FOR CONTINUATION OF ELEVATION)

STRUCTURAL NOTE:
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

KEY NOTES:

- A METAL ANNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 129C AND 104C
- BR FACEBRICK
- B1 COLOR: B1 = "RUBI60 RED VELOUR" BY BELDEN OR EQUAL B2 = "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL
- C METAL COPING - COLOR = ALUMINUM
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- CJ CONTROL JOINT, SEE DETAIL 7/A4.1
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EI EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER
- CO2 CO2 FILL BOX (EQPM SCHEDULE ITEM 44.00)
- FB OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 100.10) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- NR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #104U"
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (R#4C)
- RE ROOF CAP ELEMENT BY OTHERS ROOF CAP MATERIAL: PLASTIC
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- SP SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0. COLOR TO MATCH WINDOW FRAMES
- ST CULTURED STONE ARCADE BY OWENS CORNING COLOR: COBBLEFIELD-AUSTIN (GSV-2035) CONTACT: NANCY HUTCHINSON 350-125-0333
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- TB 2' x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- MI EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0
- T = TEMPERED GLASS
- H2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER. TRANSOM (SHOWN) AIR CURTAIN: FLYPAN/TRANSOM # 432 56 IN MAX SERVICE OPENING (WHERE REQD BY CODE)
- SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

STATE OF NEW HAMPSHIRE REGISTERED ARCHITECT MICHAEL B. EBANKS NO. 000115

© 2007 McDonald's USA, LLC
McDonald's USA, LLC
 Registered Architect
 2111 McDonald's Drive
 Oak Brook, IL 60521

PREPARED FOR: 2007 STANDARD BUILDING 458-TFP-WOOD BUILDING
 DESCRIPTION: DRIVE-THRU WOOD ROOF TRUSS FRAMING
 STONE EXTERIOR FINISH ARCADE/ENTRY

DATE ISSUED: OCT 19, 07
 SITE ADDRESS: 090-0226 19th & CENTRAL

REVISIONS:

| REV | DATE | DESCRIPTION |
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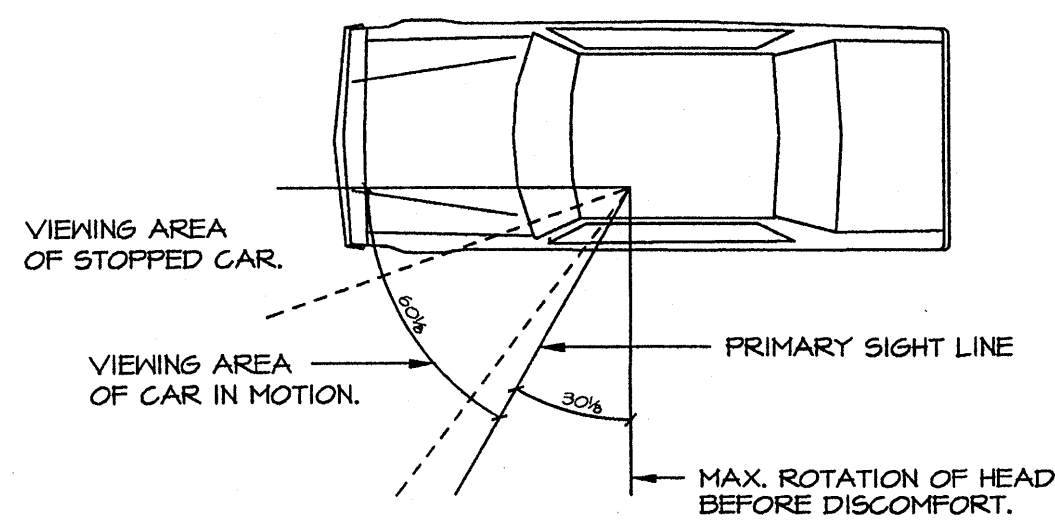
BY: _____

SHEET NO. **A2.0**
 ELEVATIONS

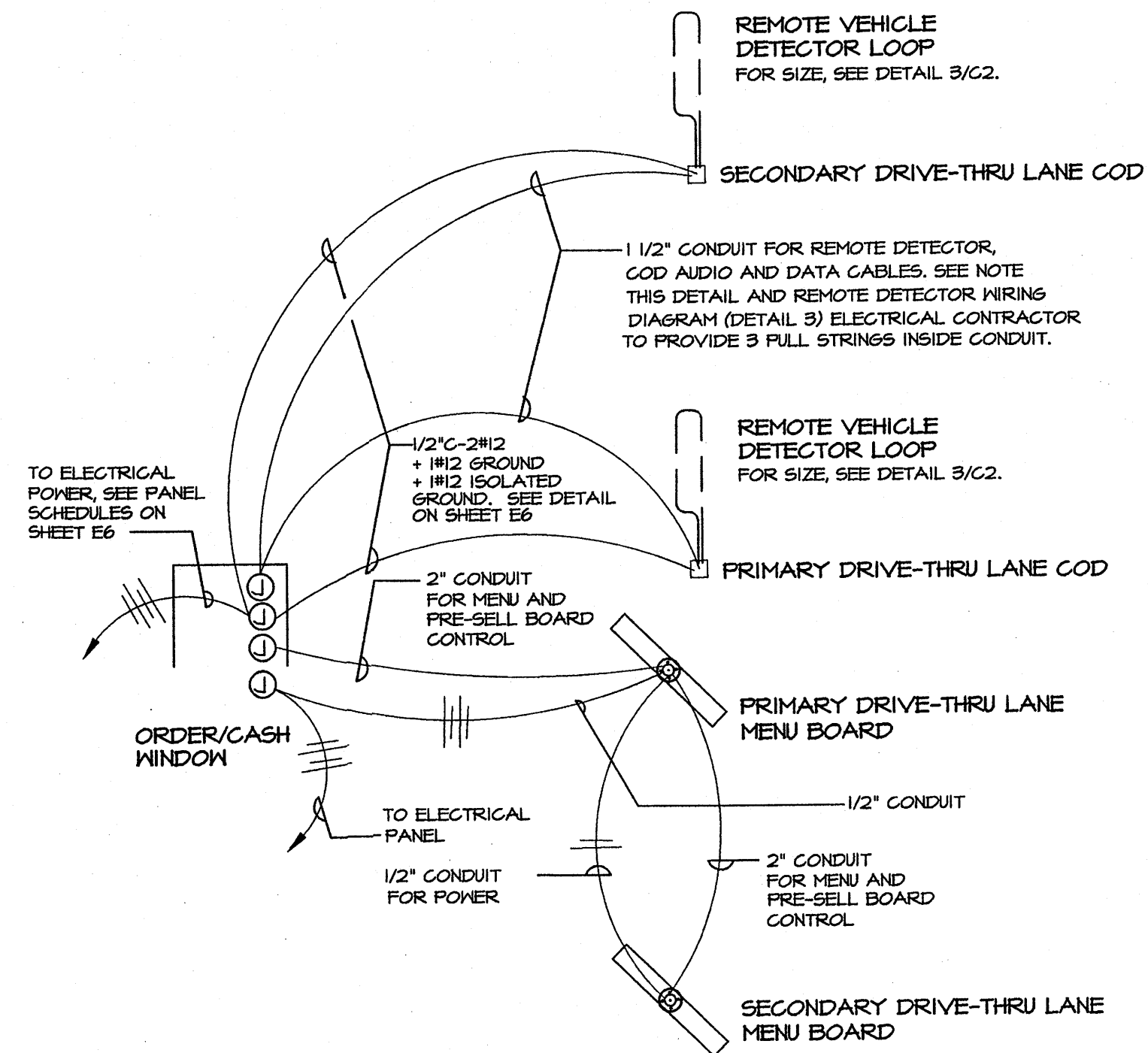
K:\D\PROJECTS\GREATERWEST\090-0226-00-0 ALBUQUERQUE CENTRAL\458-TFP-WOOD-BUILDING-1.DWG 10-19-2007 09:16

GENERAL NOTES:

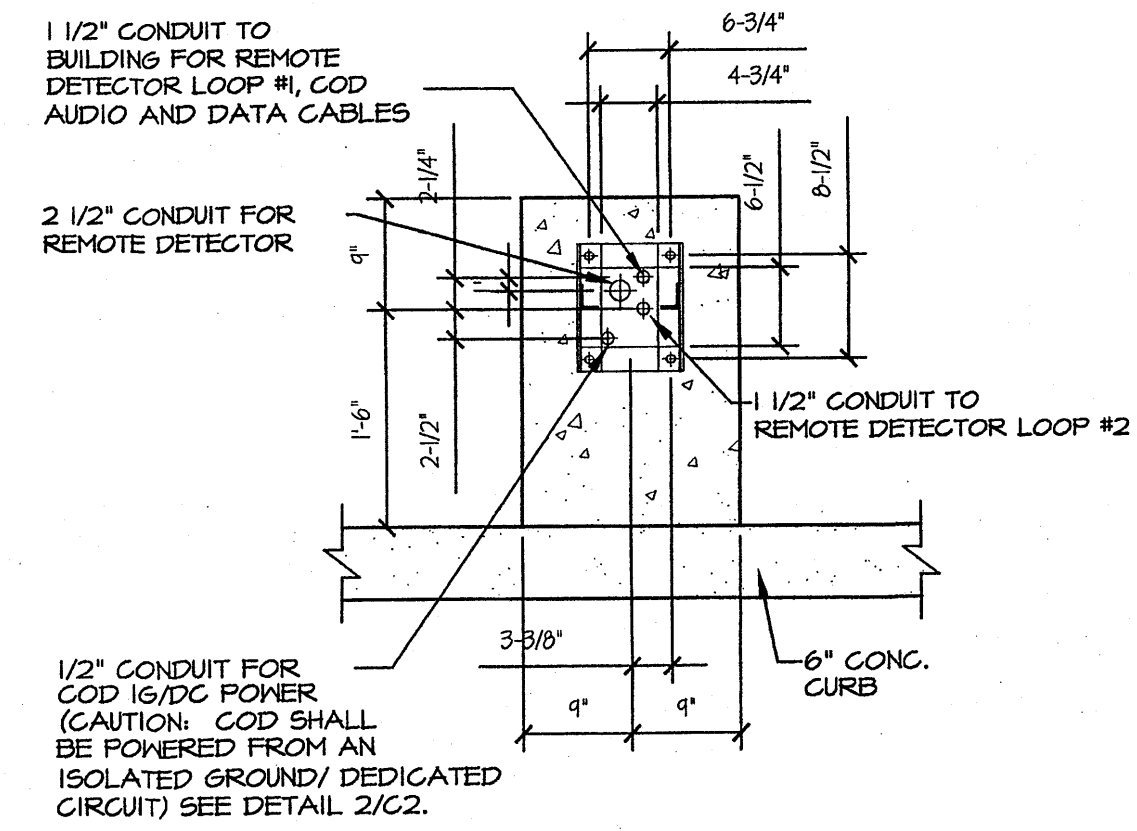
- 1. THE LOCATION AND ORIENTATION OF MENU BOARDS AND PRE-SELLS WERE DETERMINED BY THE SIGHT LINES OF THE CARS SHOWN. THE CARS WERE POSITIONED ACCORDING TO THE MAX. AMOUNT OF CARS DURING A PEAK PERIOD. ALL DIMENSIONS SHOWN ARE BASED UPON PROTOTYPICAL LAYOUTS SHOWN. ACTUAL DIMENSIONS TO BE BASED ON SITE SPECIFIC CONFIGURATIONS AND THE REQUIREMENTS OF NOTE 2.
- 2. MENU BOARD IS ORIENTATED FOR VIEWING BY PRIMARY CAR (ORDERING) AND SECONDARY CAR (NEXT TO ORDER).
- 3. PROVIDE TWO CIRCUITS FOR MENU BOARD AND PRE-SELL BOARDS. ONE CIRCUIT FOR LIGHTS AND ONE CIRCUIT WITH LOCK FOR MOTOR AND CONTROLLER. REFER TO SHEET E1 FOR TERMINATION OF CONDUIT RUNS INSIDE BUILDING.
- 4. ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.



1 VEHICLE SIGHT LINES
SD1 NOT TO SCALE

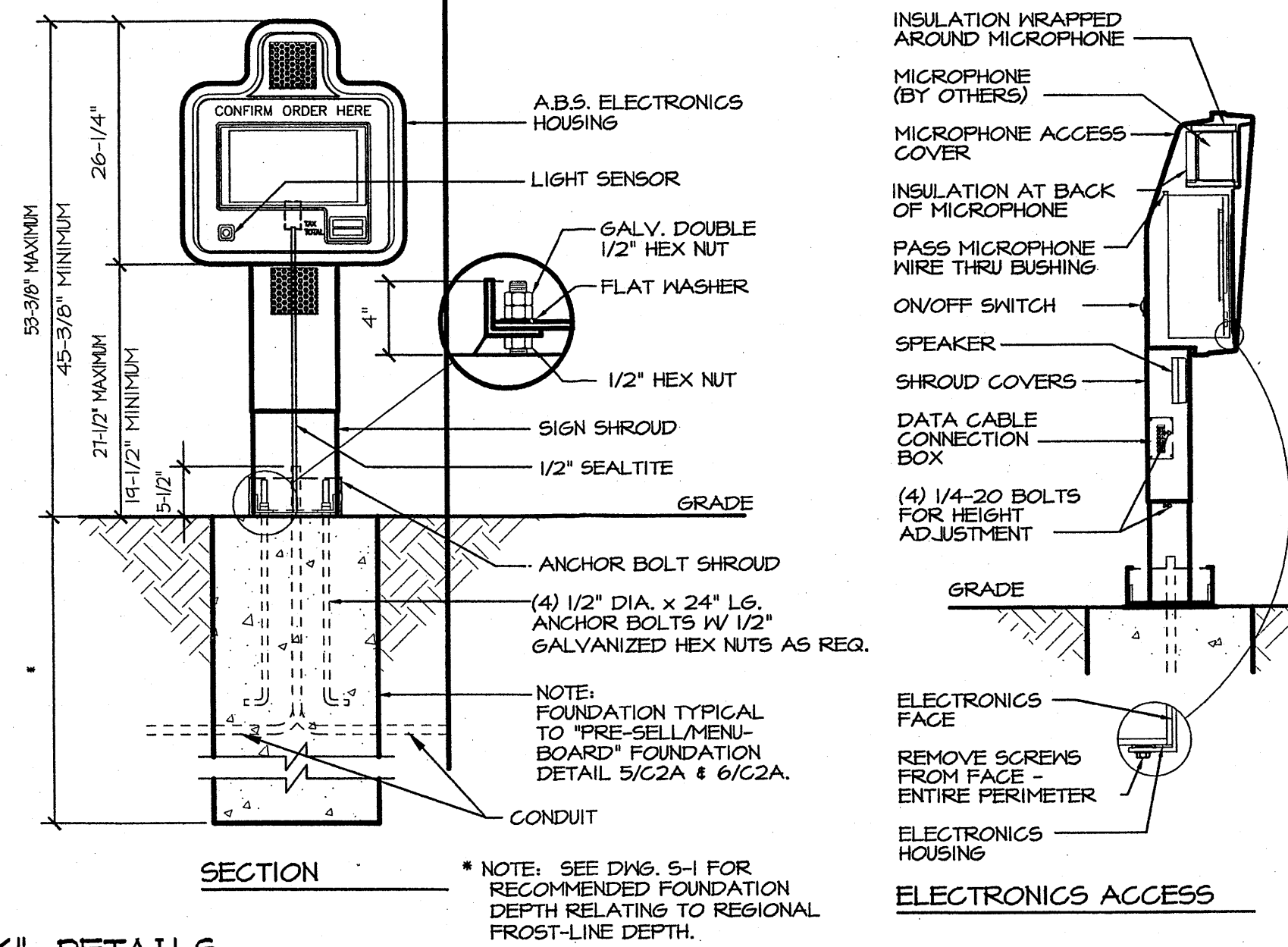


2 DRIVE THRU SITE WIRING DIAGRAM
(COD AND SPEAKER POST)
SD1



PLAN
NOTES:
• OPENING IN BASE PLATE - CONDUIT MUST BE LOCATED WITHIN THIS OPENING
1. CARE MUST BE TAKEN TO AVOID GETTING ANY CONCRETE ON THREADS OF ANCHOR BOLTS
2. AFTER SIGN IS LEVELED AND BOLTED INTO PLACE, FILL ENTIRE AREA UNDER PLATE WITH EMBECO #636 NON-SHRINK METALLIC NON-RUST GROUT.

3 (COD) "CUSTOMER ORDER DISPLAY" DETAILS
SD1 NOT TO SCALE



| REV | DATE | DESCRIPTION |
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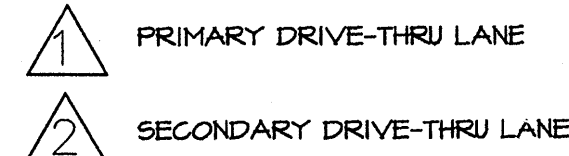
NEW MEXICO
15142
REGISTERED PROFESSIONAL ENGINEER

5.12.03

| | | | | |
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| DROWN BY | PROT. ISSUED | REVIEWED BY | DATE REVIEWED | DATE ISSUED |
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SITE ADDRESS: SEC OF VOLCANO RD. NW & 95TH STREET NW, ALBUQUERQUE, NEW MEXICO

- 1 FP-43 MENU BOARD MIN 2'-0" CLEAR FROM FACE OF CURB
- 2 SITE SPECIFIC
- 3 FP-43 MENU BOARD 18" MIN. CLEAR FROM FACE OF CURB
- 4 DETECTOR LOOP TO BE 2'-0" IN FRONT OF MIDPOINT OF C.O.D. SEE COD LOCATIONS AND MENU BOARDS NOTE #8
- 5 AUGER FOOTINGS TIGHT TO BACKSIDE OF CURB



TYPICAL BOLLARD LOCATION
NOT TO SCALE

COD or Speaker Locations and Menu Boards Notes:

- 1. The first COD or speaker position should be a minimum of 60' from the center of the cash booth. 100' to 120' is desired for optimum positioning. 60' should be utilized only in tight lot configurations. When 60' is used, one must be able to fit three cars in the lane and a fourth at one of the COD's. The rear of the third car must prevent a new vehicle from reaching the COD they previously occupied.
- 2. The primary lane COD is a minimum of 60' (+/- of up to 5') to ensure correct sequencing (this must increase in 20 ft. increments to ensure proper stacking and sequencing). The measurement from tip of the island to the centerline of the COD must be within 10' to 13' to ensure proper sequencing. The third car must prevent a new vehicle from reaching the COD it previously occupied.
- 3. The primary lane menu board is placed according to plan and angled to give optimal view to the car at the COD and the immediate vehicle behind. The menu board edge closest to the customer should not be any closer than 24" from the face of curb (further if it improves the visibility of both cars).
- 4. The secondary lane menu board is placed near the tip of the island. The optimum distance from curb face to the edge of the menu board is 18". This allows the cars to turn easily and not swing too wide. The center of the menuboard footing is approx. 7'-6" from the tip of the island. The last panel on the menu board may not be easily seen however, it is imperative for the sequencing of vehicles. As in the primary lane, the COD is located 10' to 13' from tip of the island.
- 5. The center island area for the menu board must be wide enough to accommodate an FP-43, tri-view menuboard. Please contact your regional construction manager to receive a copy of the standard templates available today.
- 6. There must be two menu boards. If space is limited, then one menu board may have a built-in COD. The menu board must be parallel to the face of curb. The built-in COD menu board should be in the secondary lane. This necessitates one or two pre-sell boards at the second car position.
- 7. The merge point must be less than a car length from the speaker to prevent a new vehicle from reaching the COD if the first car has not reached the merge point.
- 8. The detector loop in the primary lane is located forward of the center line of the COD. The secondary lane detector loop is located 2' forward from the center line of the COD. Both loops are flipped to receive optimum signal from a vehicle in front of the COD. Refer to site details.

WELCOME POINT "GATEWAY" SIGN WITH (2) 11'-0" ARMS AND "2 AT A TIME ANYTIME" SIGN TO BE PLACED AT BEGINNING OF DOUBLE DRIVE-THRU LANE REFER TO DETAIL THIS SHEET

CENTER ISLAND AREA SEE COD LOCATIONS AND MENU BOARDS NOTE #5.

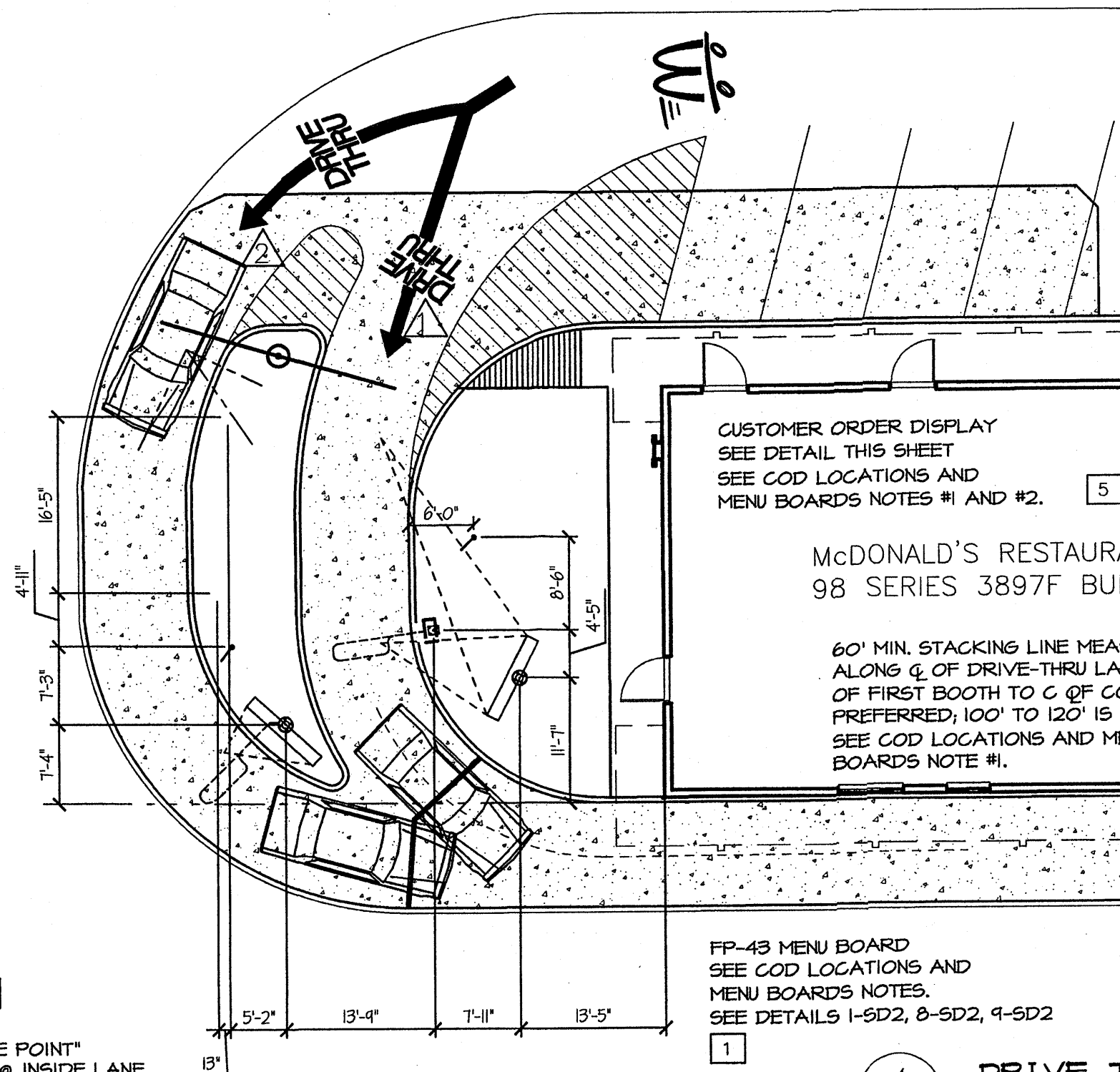
PRE-SELL BOARD 18" MIN FROM FACE OF CURB (TYP. FOR 2) SEE DETAILS 1-SD1, 7-SD1, 9-SD1

"PLEASE HAVE ORDER READY" BOLLARD SIGN (TYP. FOR 2) SEE DETAIL THIS SHEET

VEHICLE DETECTOR LOOP (TYP. FOR 2) SEE DETAIL 4-SD2 SEE COD LOCATIONS AND MENU BOARDS NOTES. 4

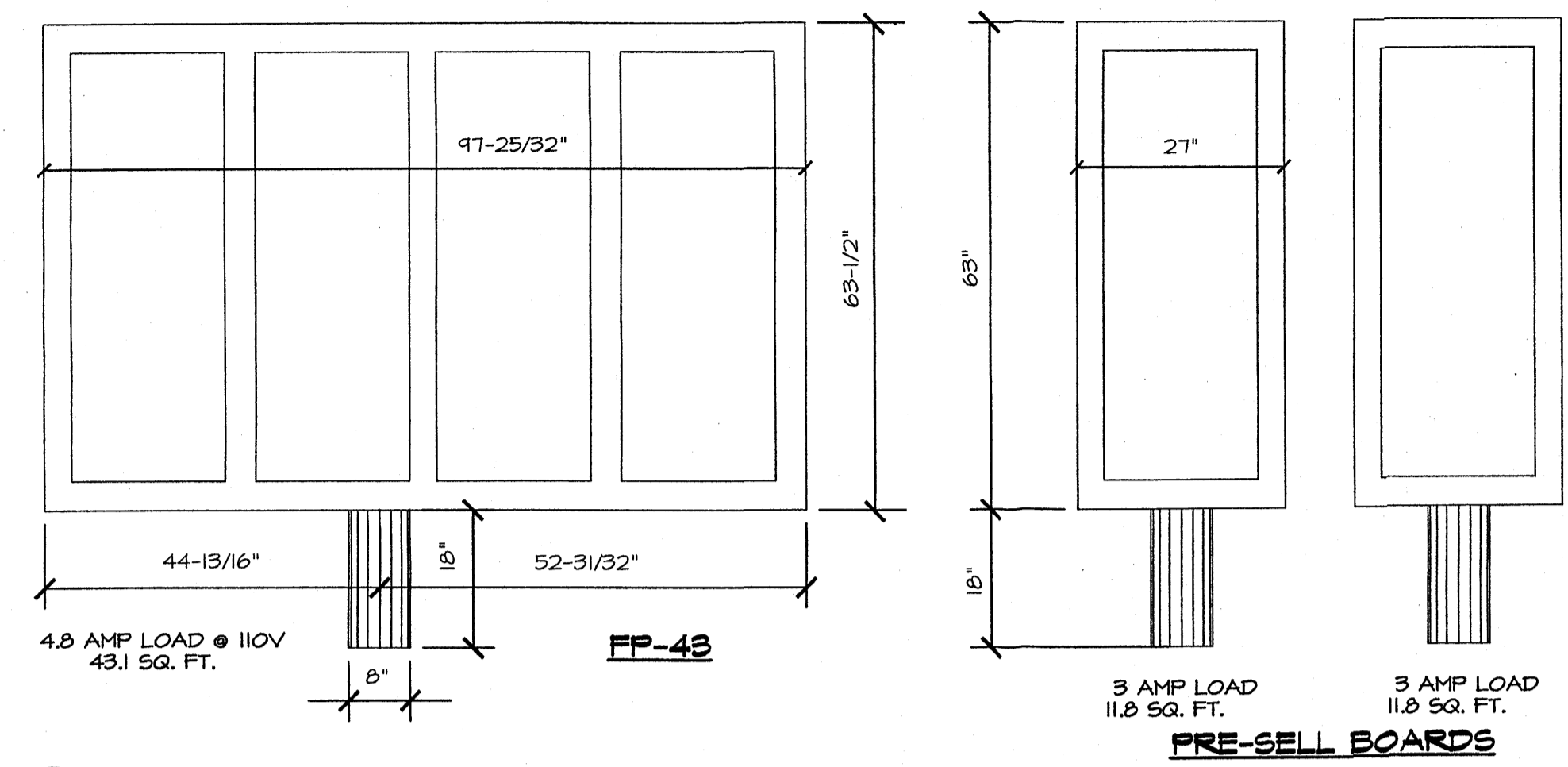
FP-43 MENU BOARD WITH INTEGRATED COD SEE COD LOCATIONS AND MENU BOARDS NOTES. 3

DRIVE-THRU "MERGE POINT" PASSENGER DOOR @ INSIDE LANE DRIVER'S DOOR @ OUTSIDE LANE SEE COD LOCATIONS AND MENU BOARDS NOTE #7.

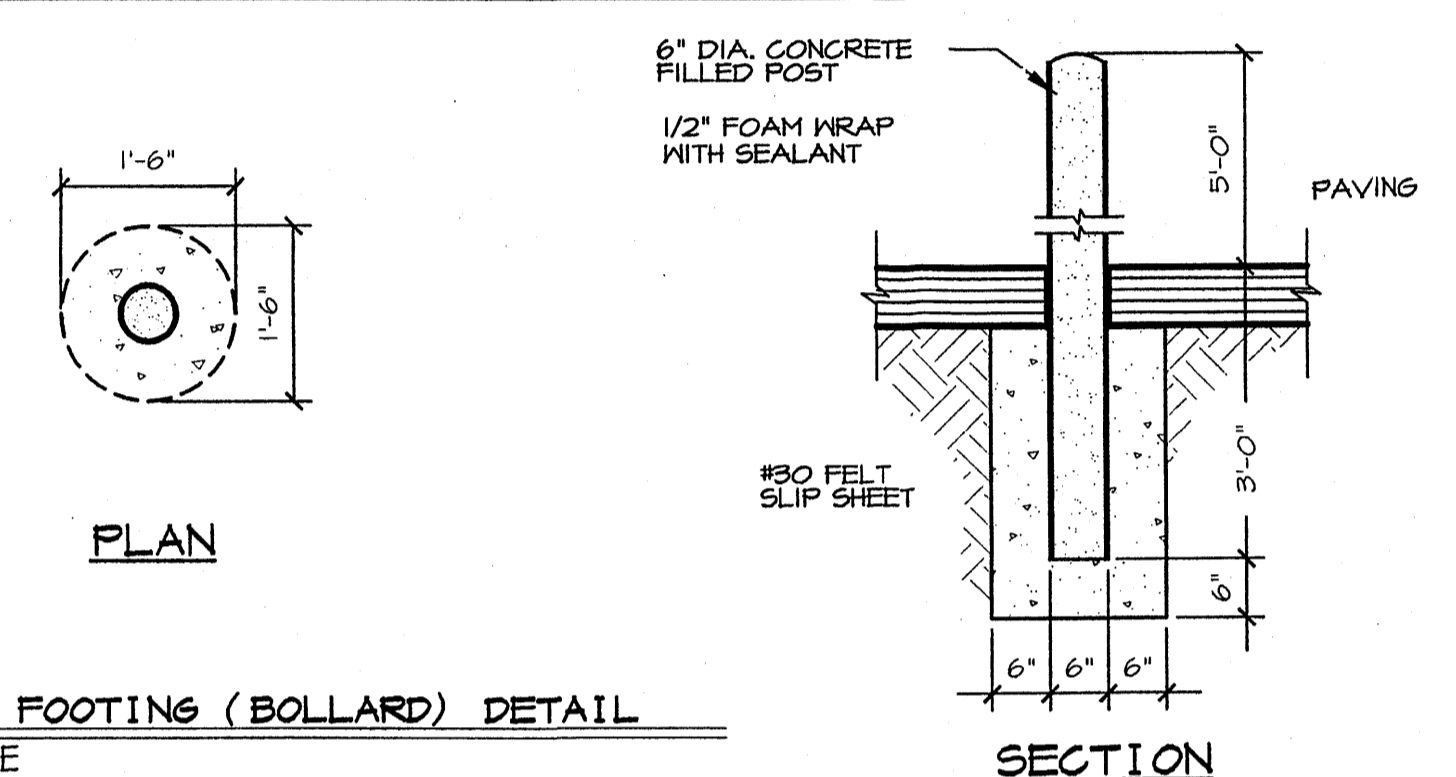


NOTE: FOR REFERENCE ONLY. VERIFY FINAL LAYOUT WITH CIVIL DRAWINGS AND MCDONALD'S PROJECT MANAGER.

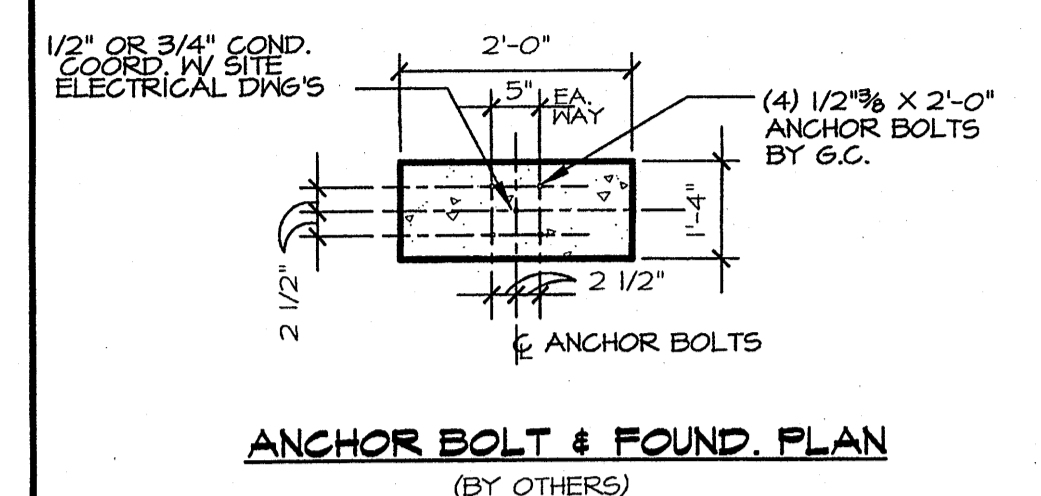
NOTE:
THIS SHEET IS FOR CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST INSTALLATIONS ONLY. THESE DETAILS ARE NOT FOR USE WITH THE FACE DRIVE THRU OPERATING SYSTEM. VERIFY THE INSTALLATION OF CUSTOMER ORDER DISPLAY AND / OR SPEAKER POST WITH THE PROJECT MANAGER.



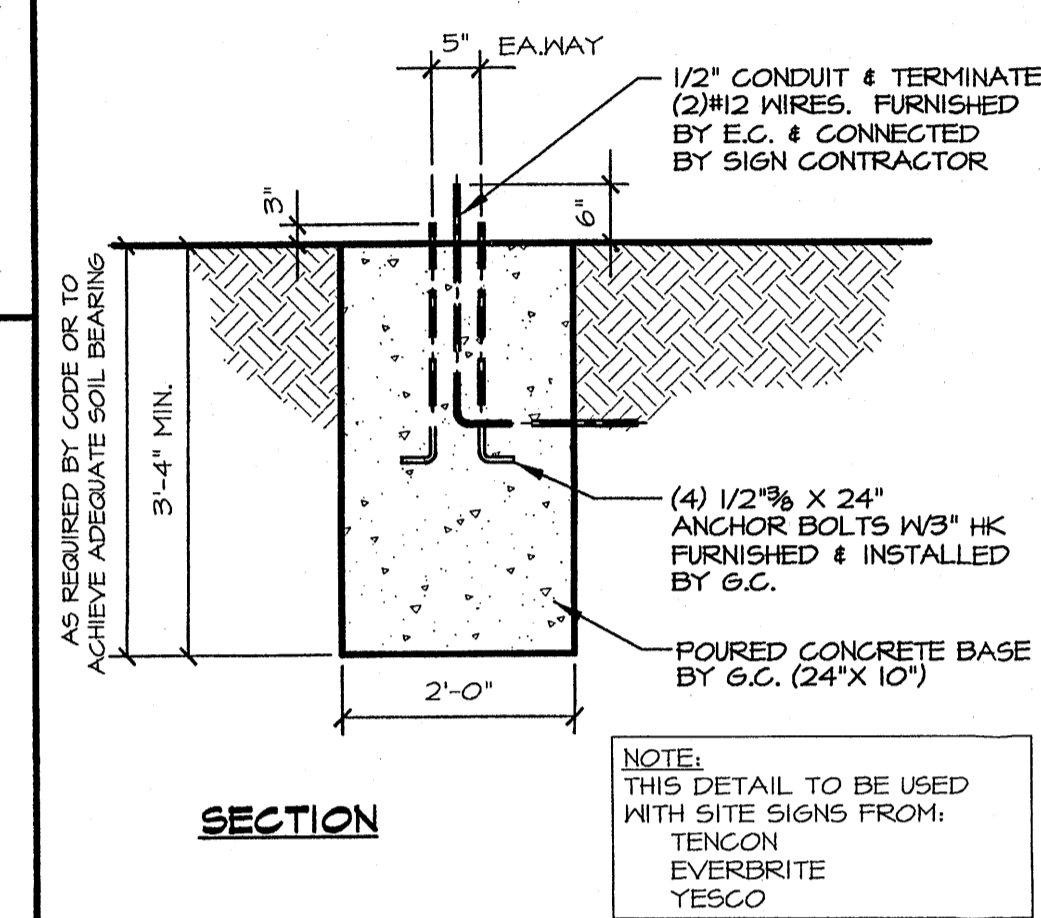
1 MENU BOARD ELEVATIONS
SD2 NOT TO SCALE



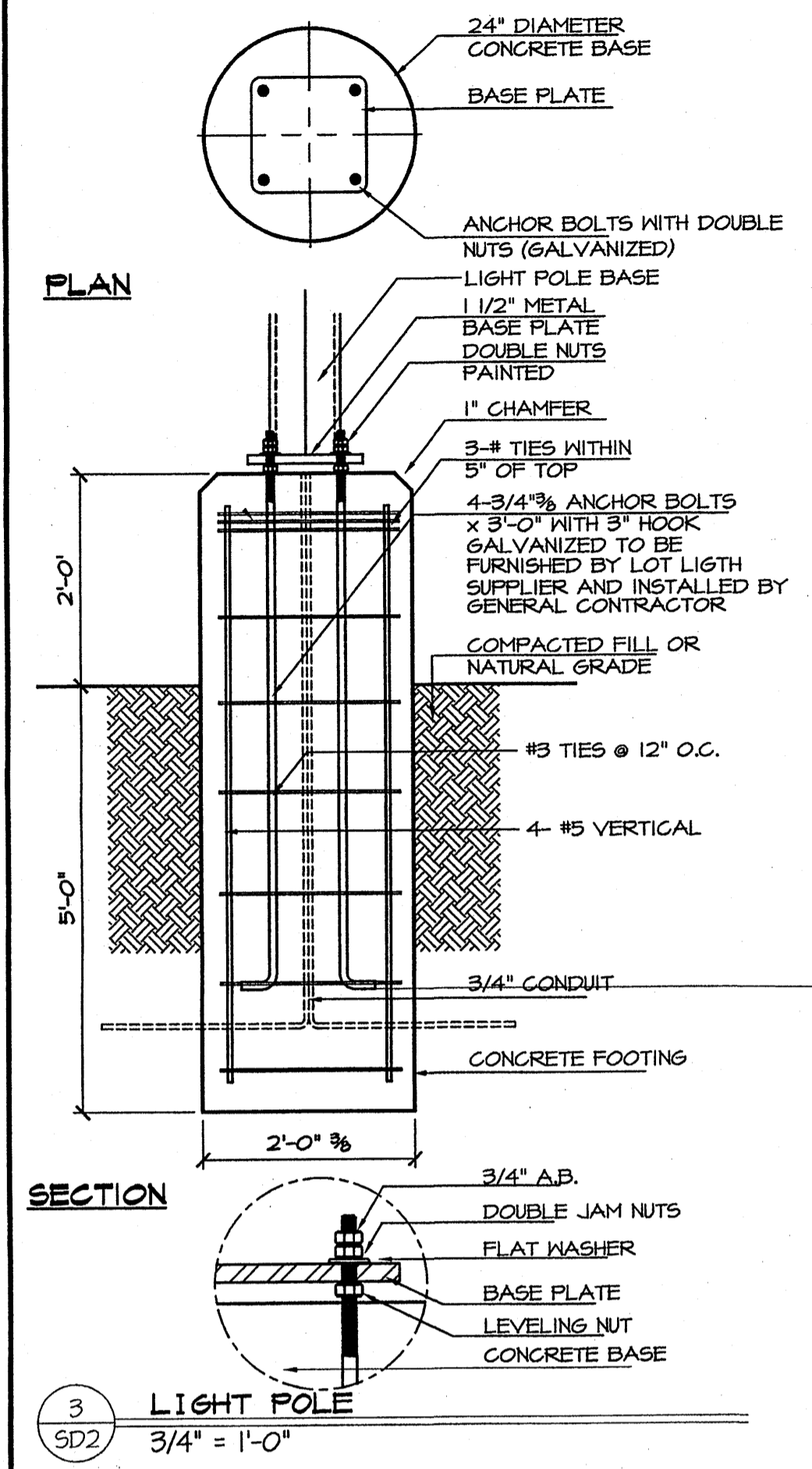
4 D/T POST FOOTING (BOLLARD) DETAIL
SD2 NOT TO SCALE



ANCHOR BOLT & FOUND. PLAN
(BY OTHERS)



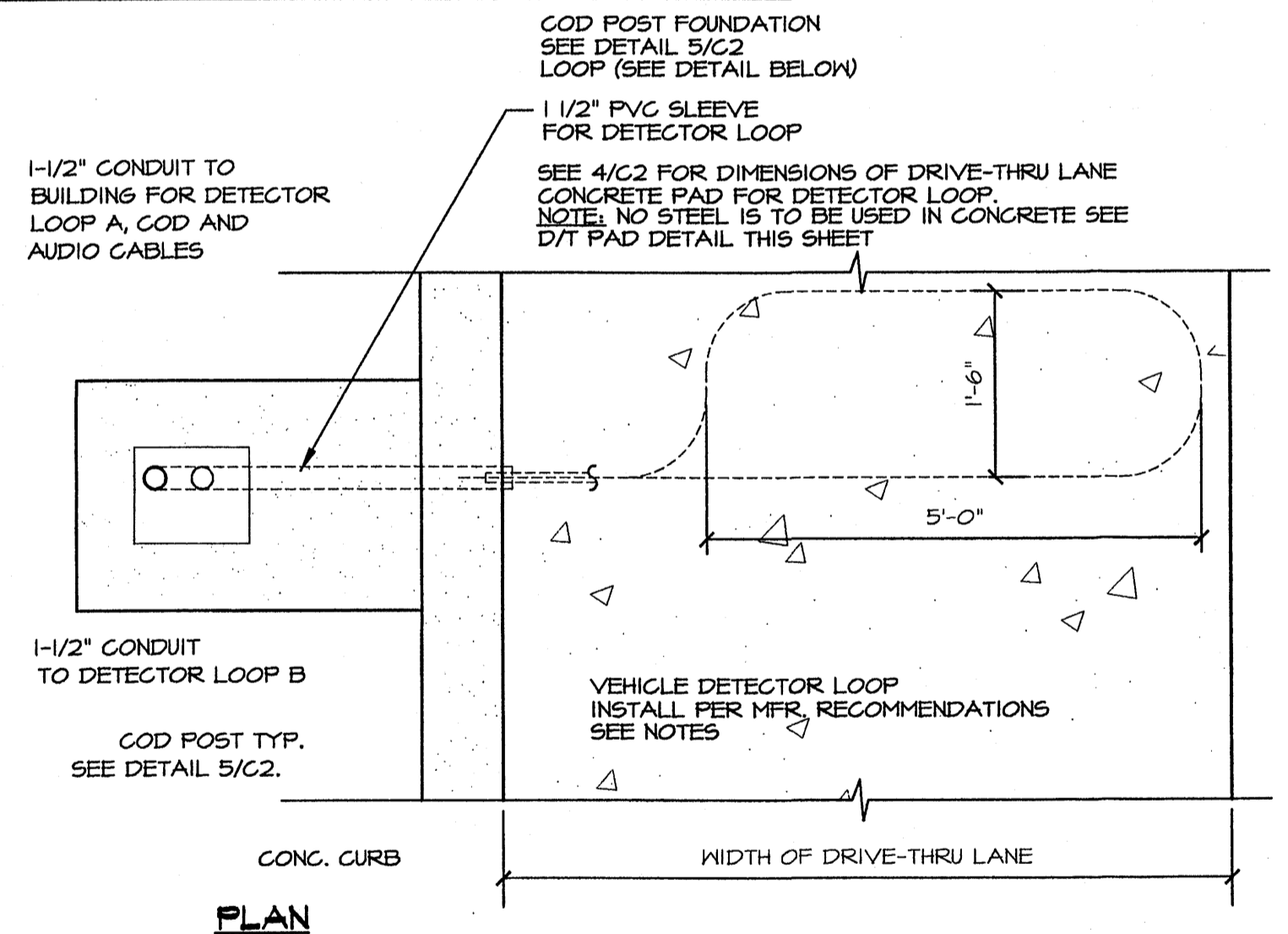
2 DIRECTION SIGN FTG. DETAIL
SD2 3/4" = 1'-0"



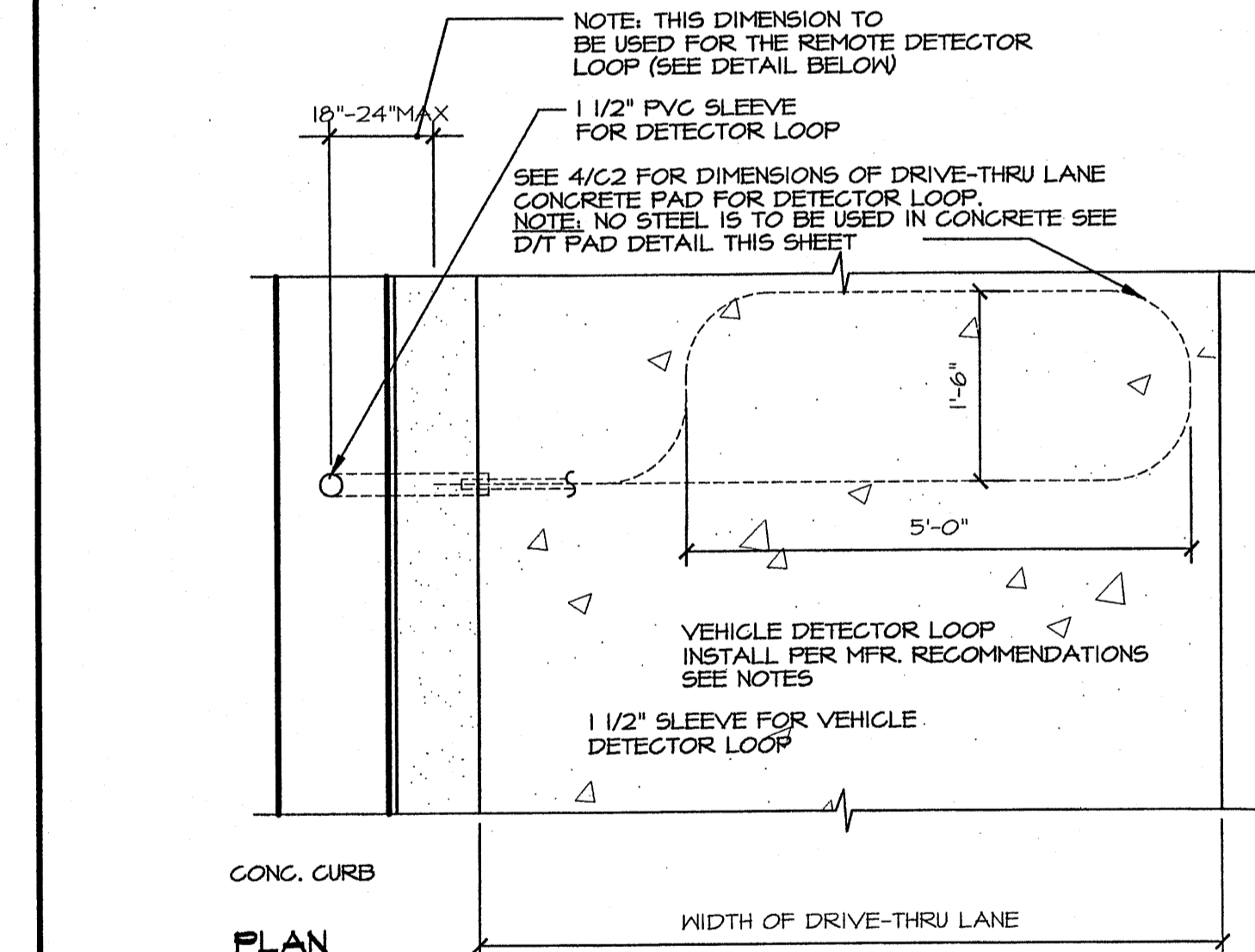
3 LIGHT POLE
SD2 3/4" = 1'-0"

NOTES:

- G.C. TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
- GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
- #12 GREEN GROUNDING CONDUCTOR MUST BE RUN WITH CIRCUIT CONDUCTORS FROM GROUND BUS IN PANEL LP TO ALL MENU BOARDS AND REFERENCE BOARDS.
- ALL UNDERGROUND CONDUIT FOR AUDIO TO BE P.V.C. NO METAL ALLOWED.
- DIRECTIONAL SIGN FOOTING DETAIL, 2/SD2 TO BE USED FOR ALL ENTER/EXIT/HELLO WELCOME SIGNS AND DRIVE THRU DIRECTIONAL SIGNAGE. COORDINATE WITH THE SITE PLANS AND MCDONALD'S PROJECT MANAGER FOR THE EXACT LOCATION, ORIENTATION AND NUMBER OF SIGNS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH THE OTHER TRADES.
- ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED BY THE CONTRACTOR.

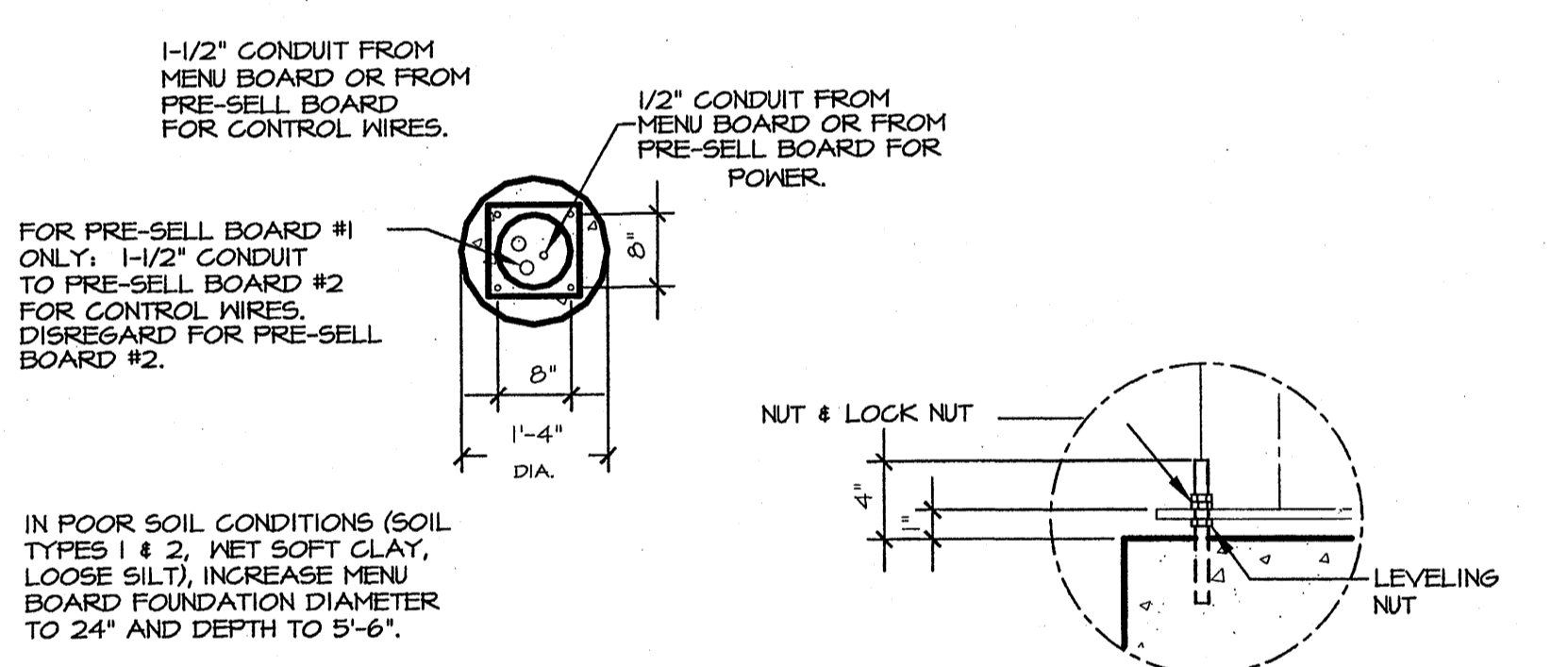


5 DETECTOR LOOP DETAIL AT C.O.D.
SD2 NOT TO SCALE

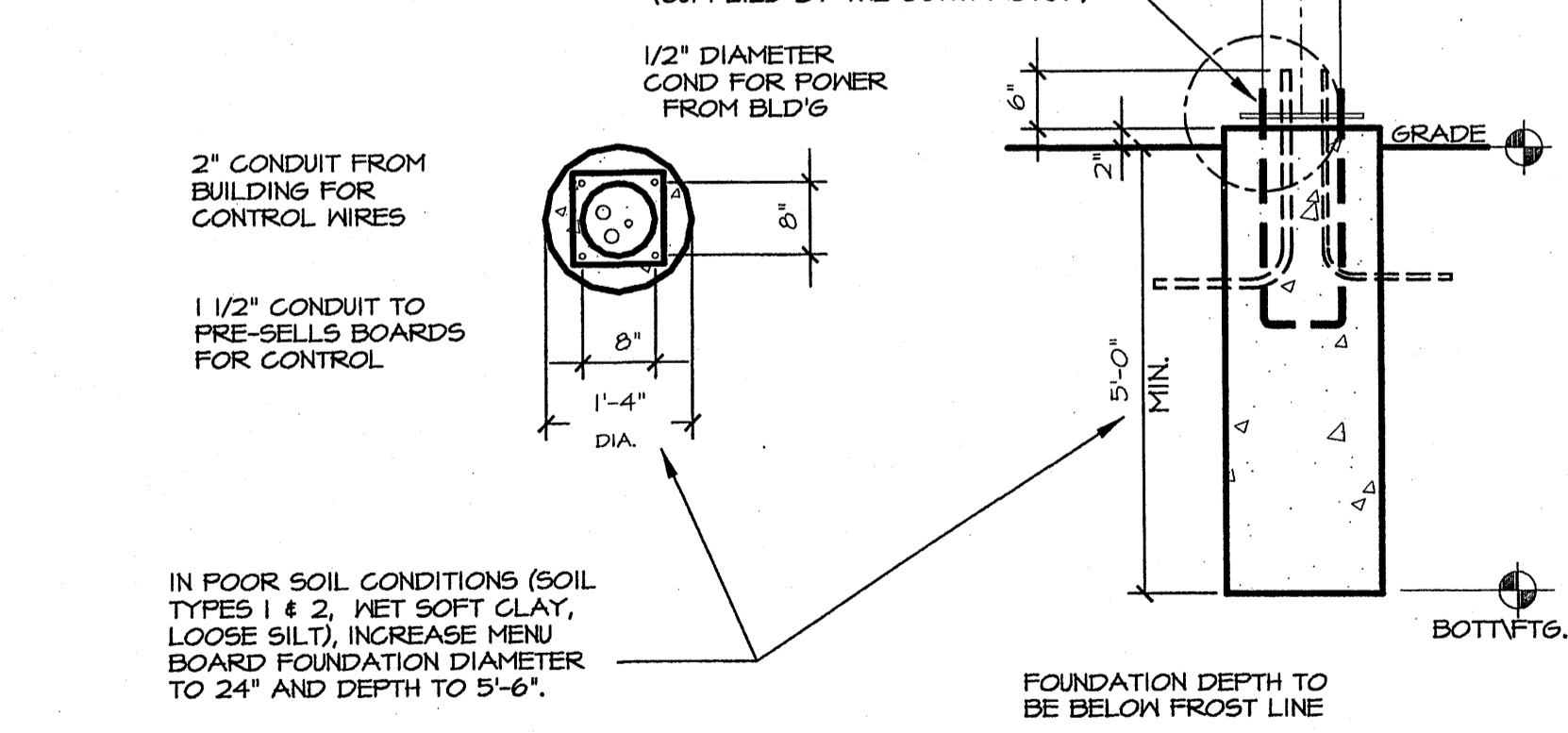


6 DETECTOR LOOP DETAIL AT DRIVE THRU WINDOW
SD2 NOT TO SCALE

DETECTOR LOOP:
DISTRIBUTOR: INDICATOR CONTROLS CORP.
3000 EAST LAS HERMANAS STREET,
RANCHO DOMINGUEZ, CALIFORNIA 90221
CONTACT: (800)133-1812 FOR ORDERING
OR (310)603-8825 GREG ODION FOR SERVICE
MATERIAL: POLYVINYLCHLORIDE TUBING 1/2
I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF
THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-
IN IS PRE-TWISTED AT FACTORY.
CONSTRUCTION: FORMED WITH ONE CONTINUOUS
LENGTH OF PVC WITH NO SHARP CORNERS AS IN
DRAWING ABOVE. WIRE LOOPED, FORMED &
PIGTAILED AS ILLUSTRATED ON THIS SHEET.
NOTE: DO NOT USE REINFORCEMENT RODS BELOW
LOOP. KEEP ALL REBARS AND SCREENING AT
LEAST 2 FEET AWAY FROM LOOP.



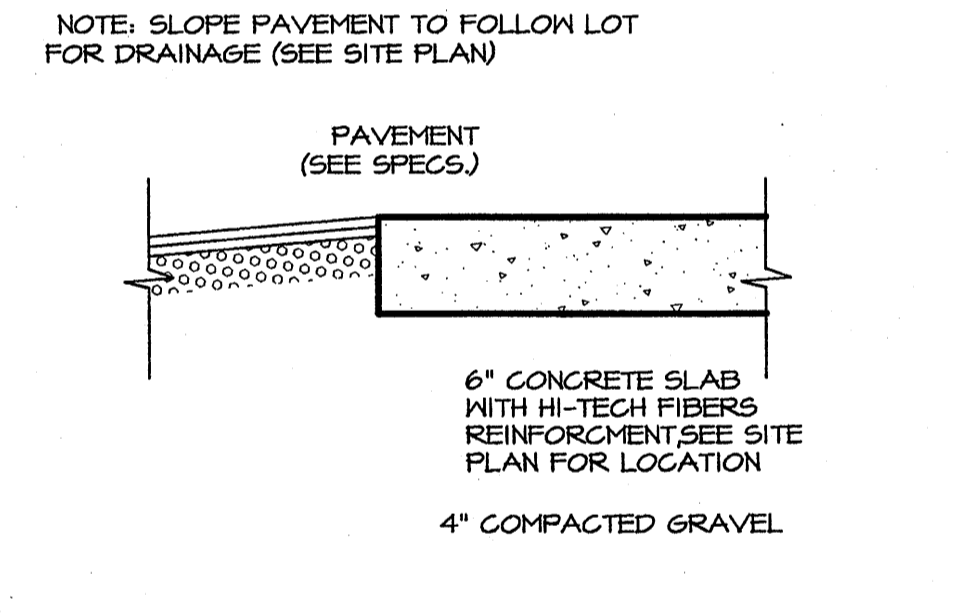
7 PRE-SELL BOARD PLAN
SD2 3/4" = 1'-0"



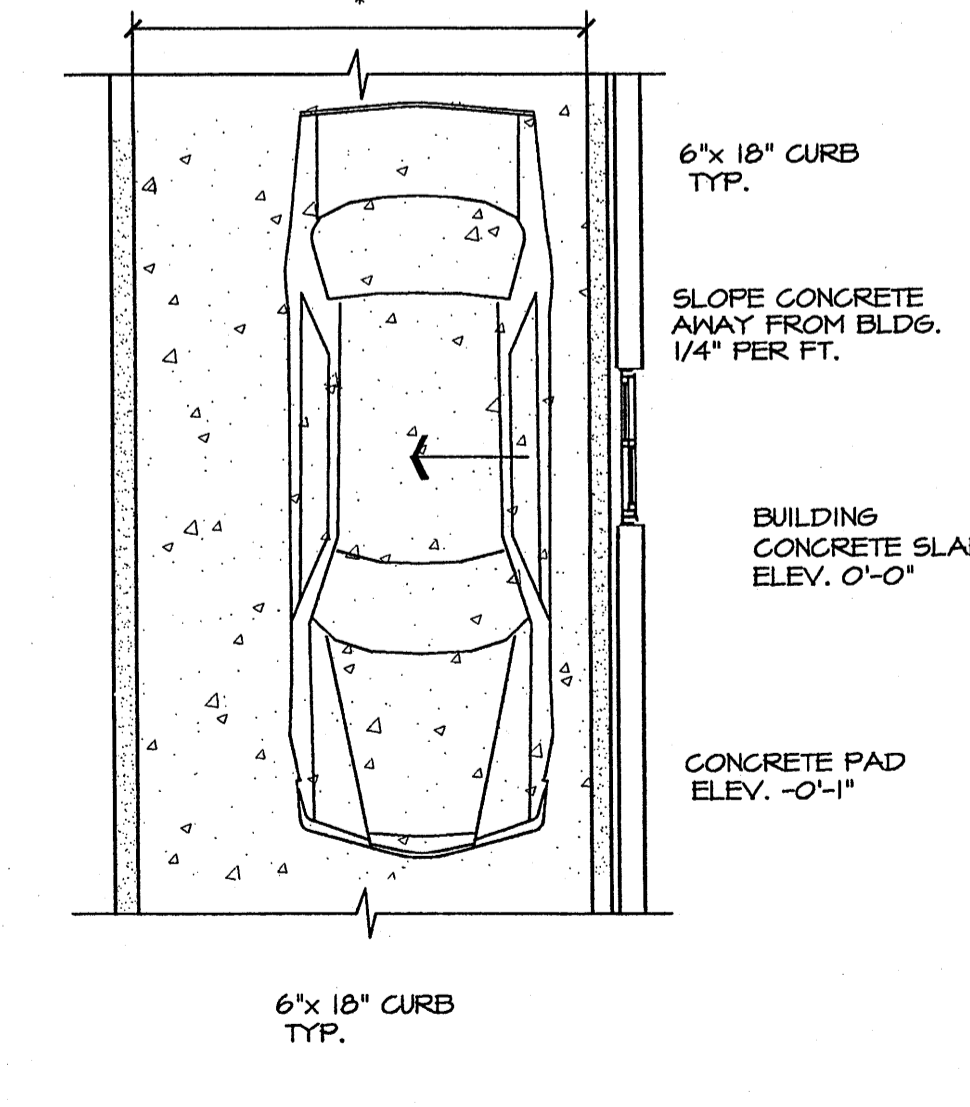
8 MENU BOARD PLAN
SD2 3/4" = 1'-0"

9 MENU/PRE-SELL BOARD SECTION
SD2 3/4" = 1'-0"

FP48 MENU BOARD & PRE-SELL FOUNDATION DETAILS



10 D/T AND TRASH CORRAL PAD DETAIL
SD2 1-1/2" = 1'-0"



11 D/T CONCRETE PAD
SD2 1/4" = 1'-0"

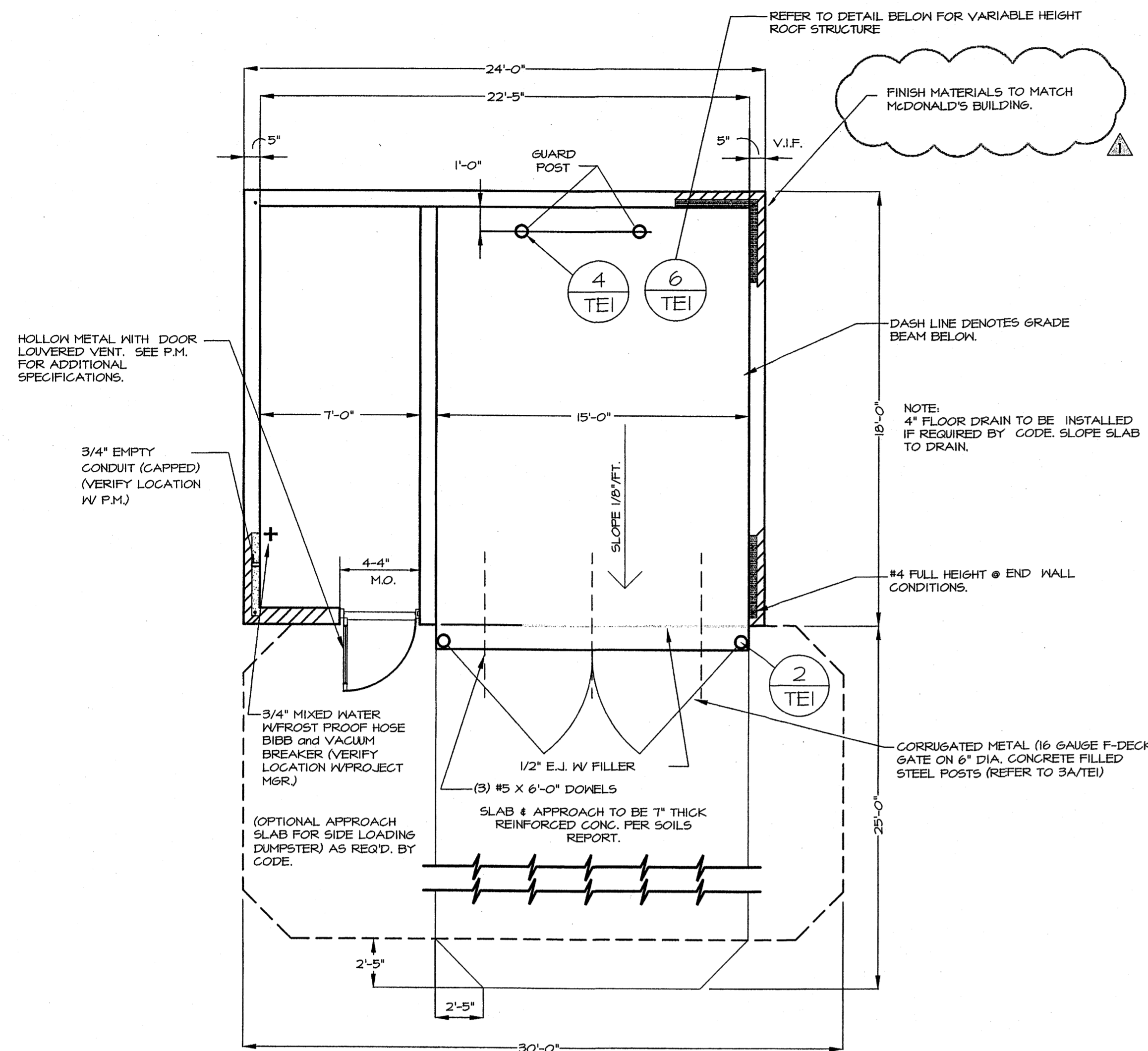
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R. G. ADAMS
 5/2/08
 LICENSED PROFESSIONAL ENGINEER

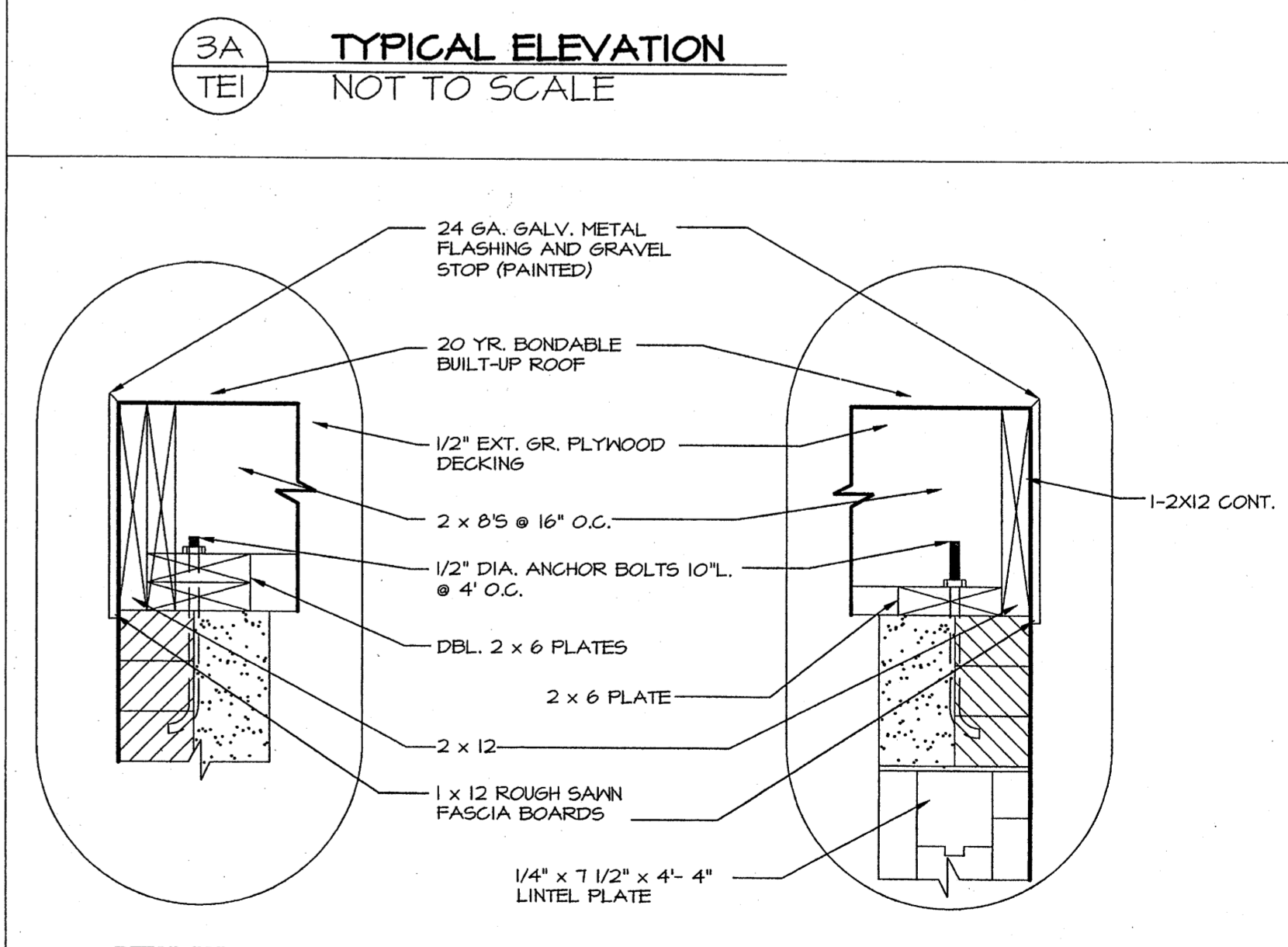
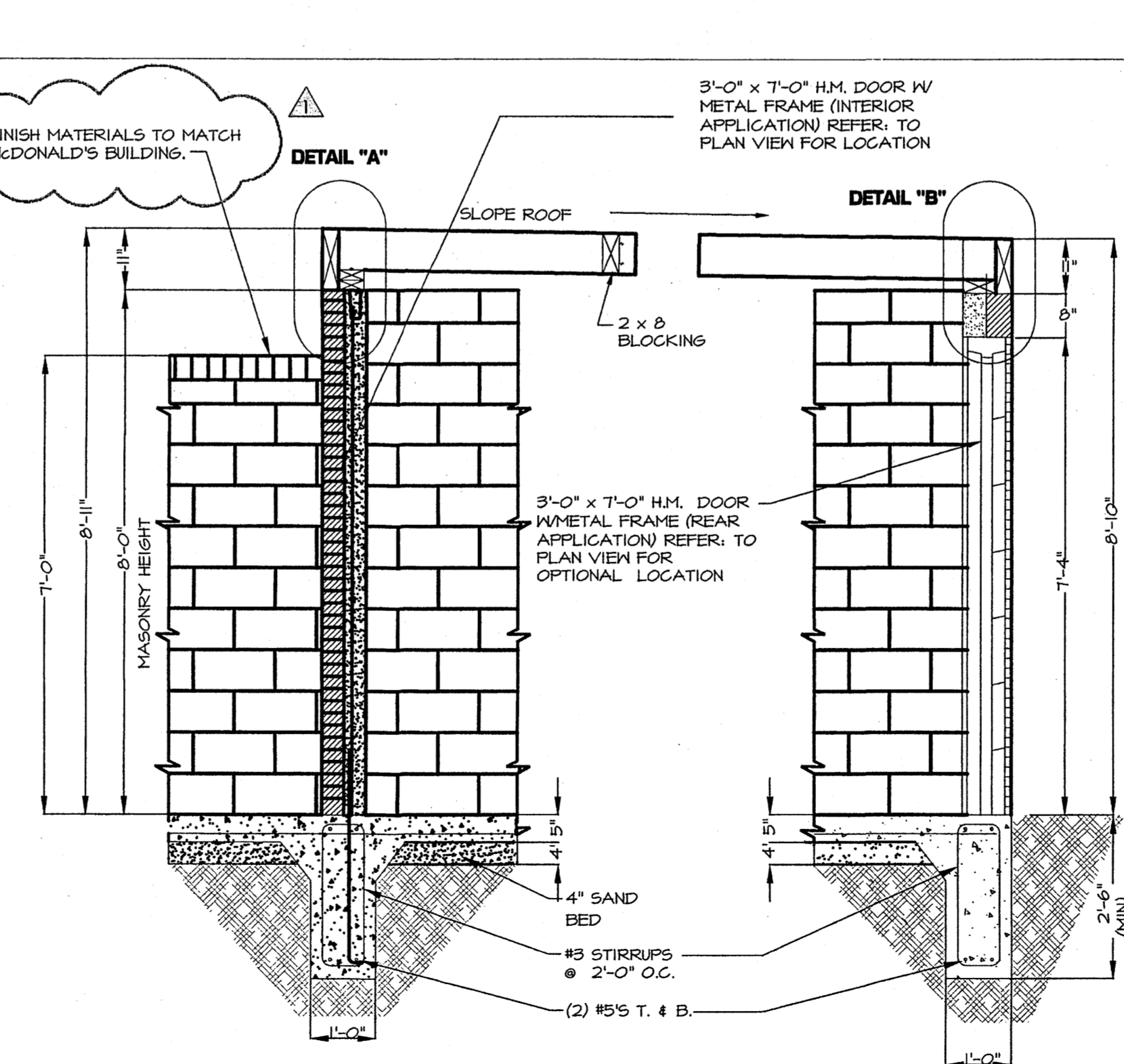
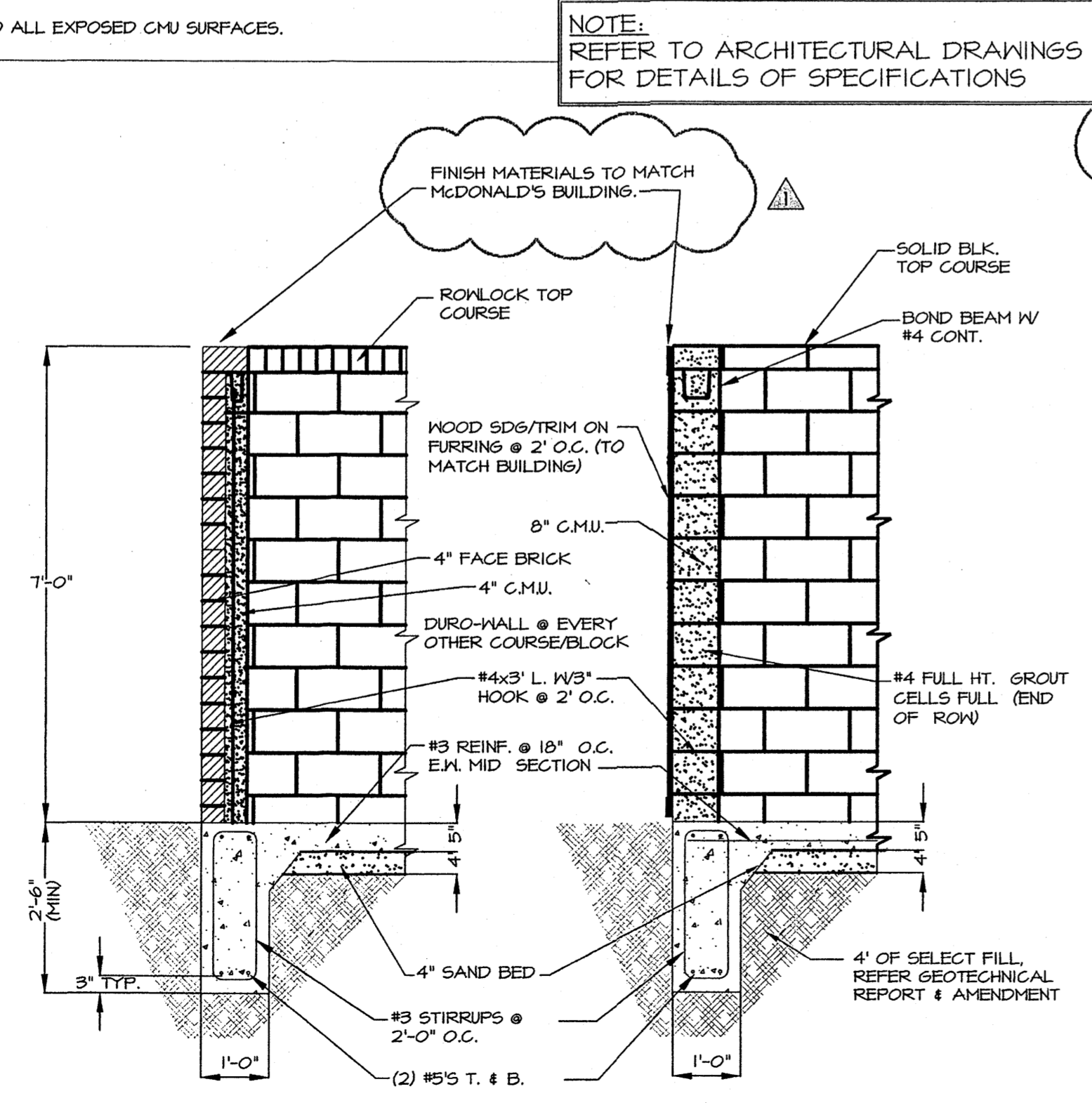
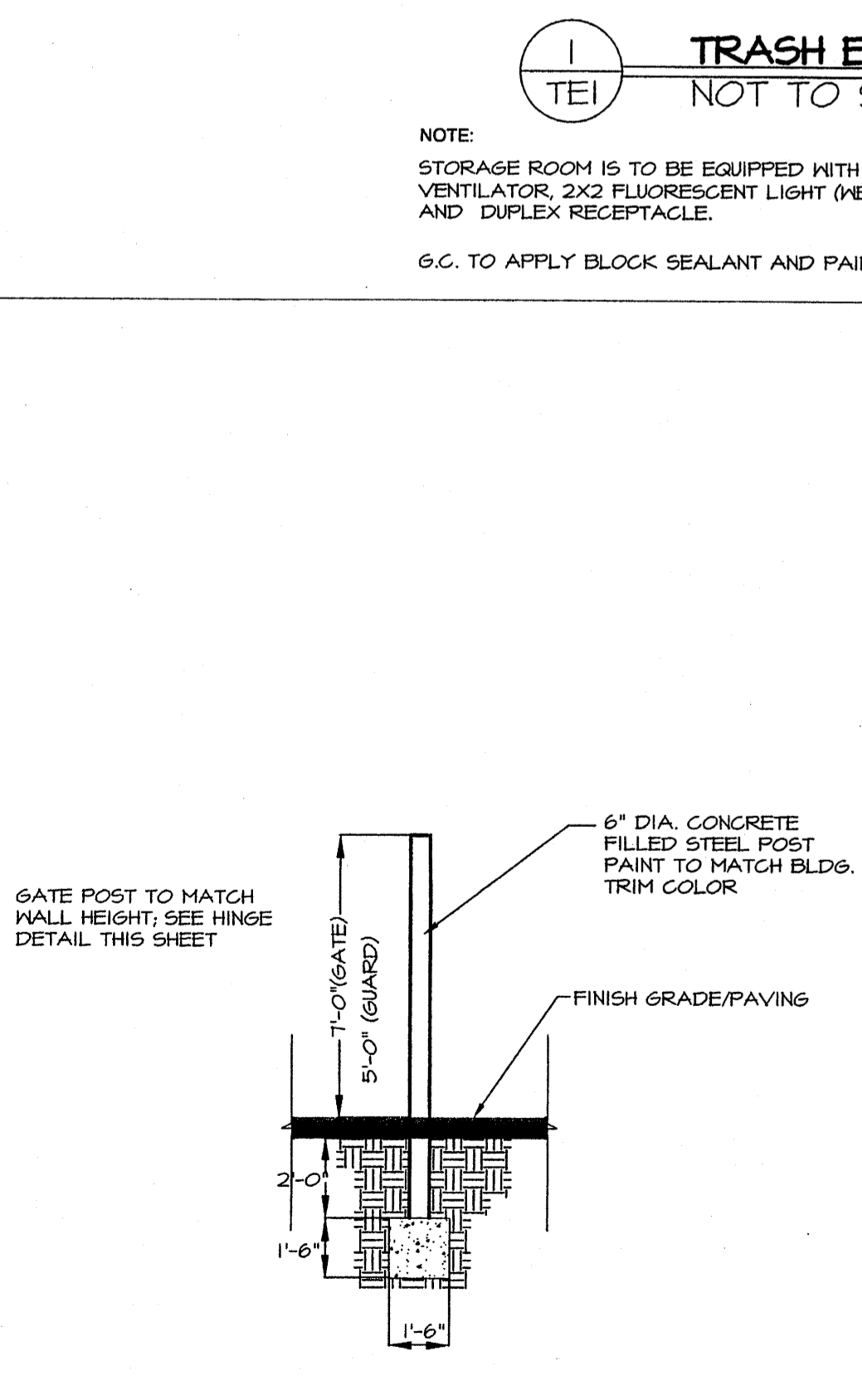
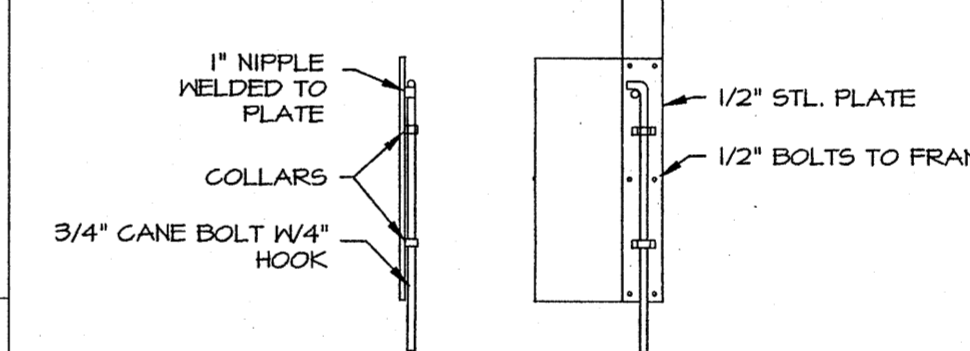
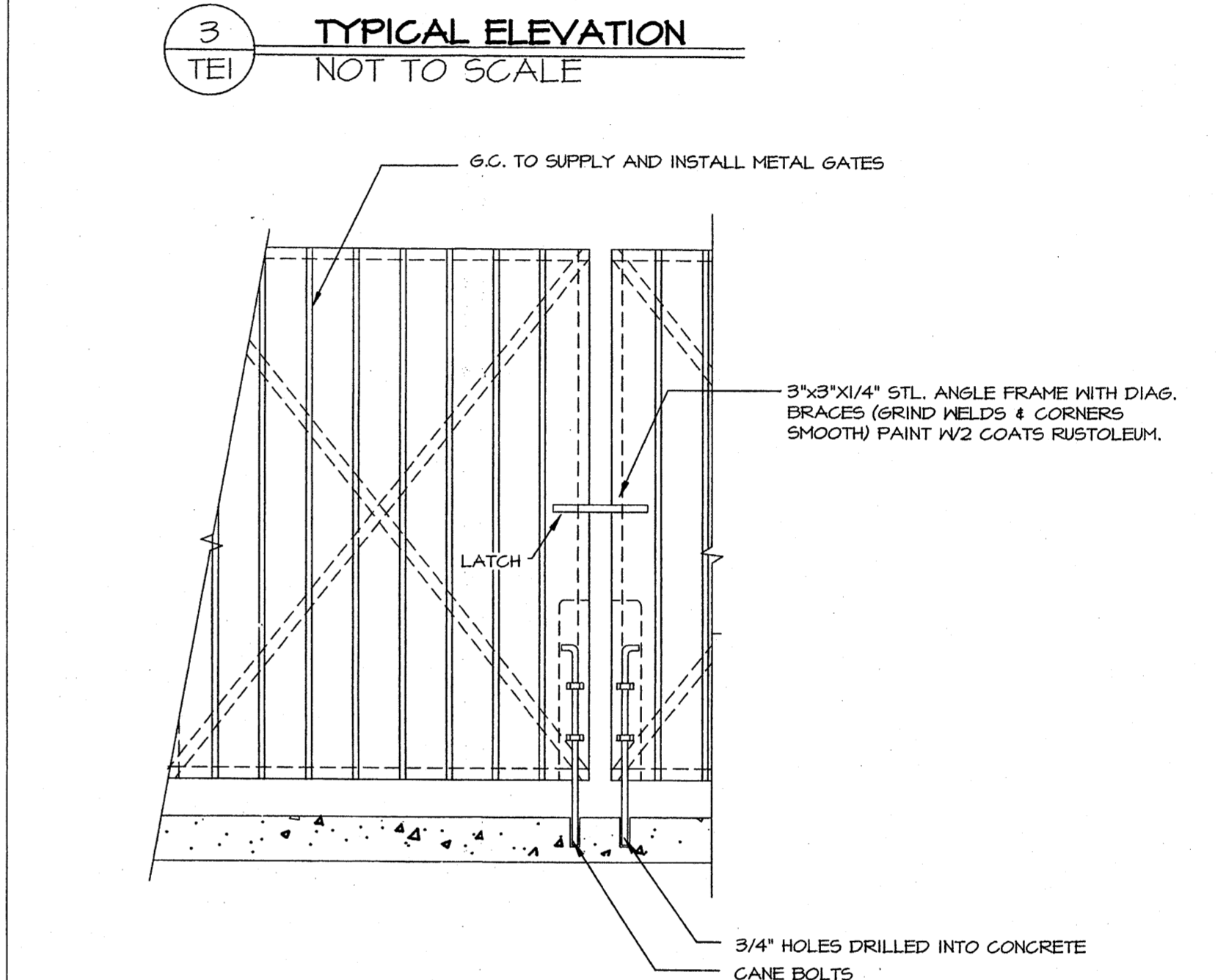
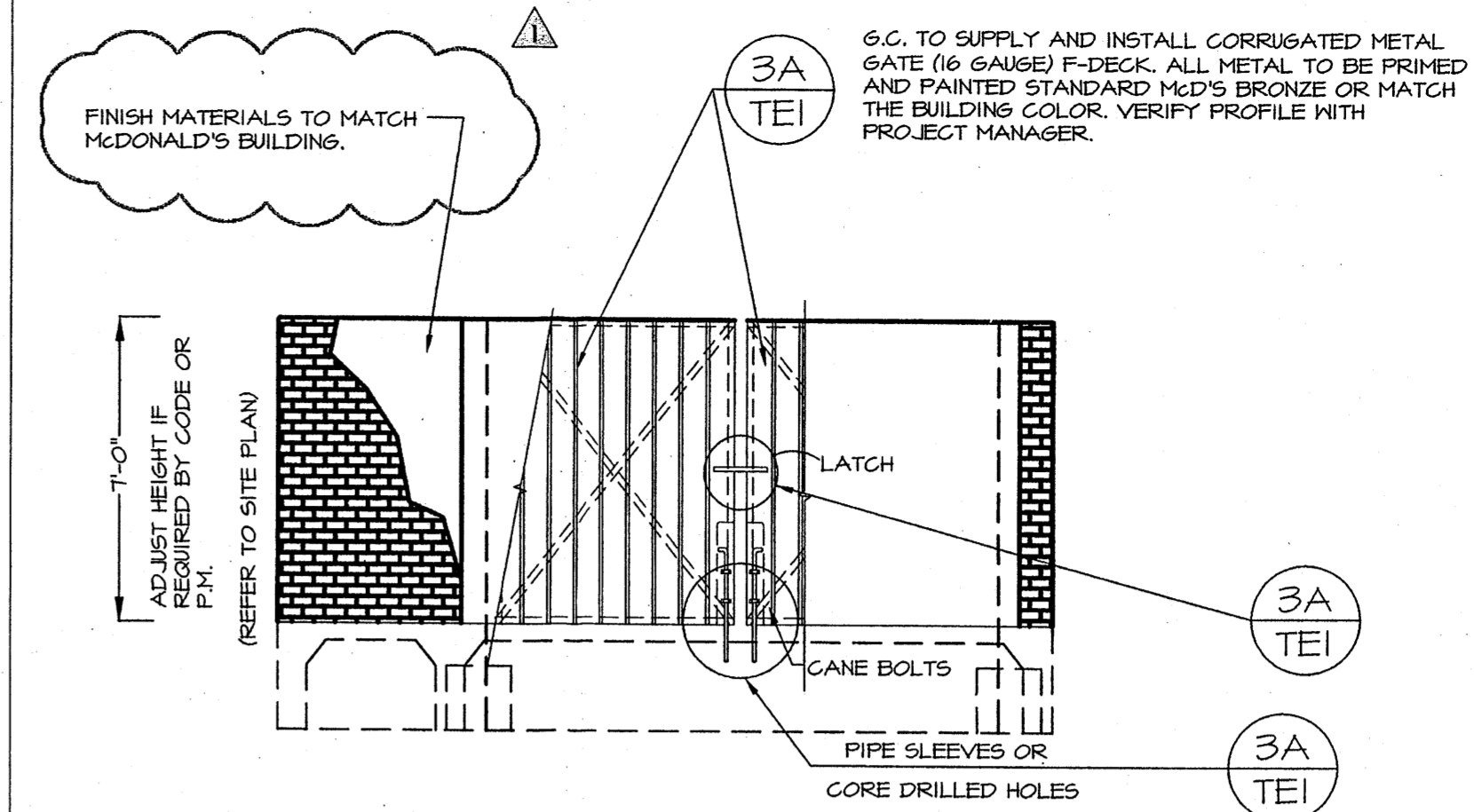
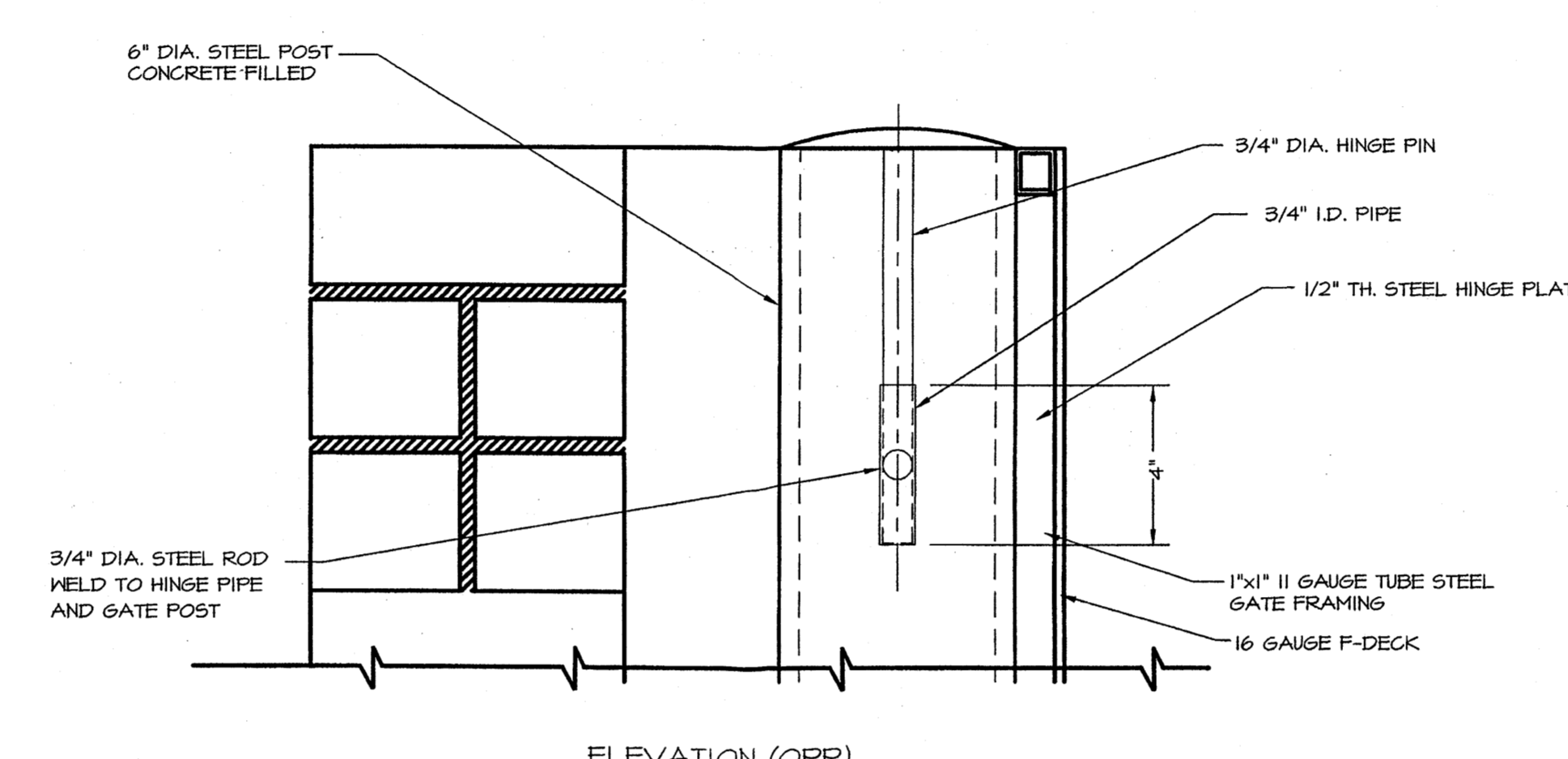
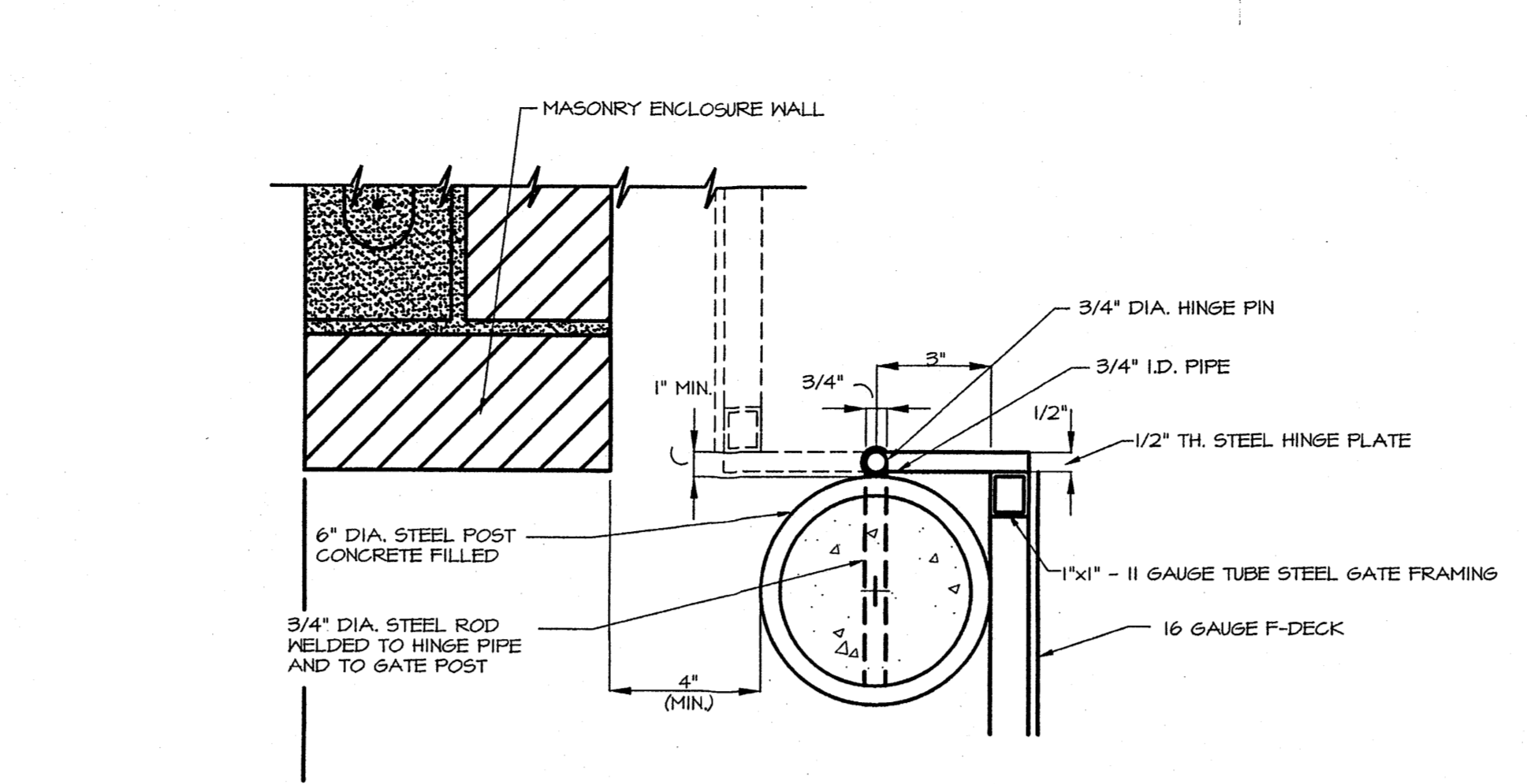
DRAWN BY: MCDONALD'S CORPORATION
 PHOTO. ISSUED: OAK BROOK, ILLINOIS 60021
 REVISIONS AND SPECIFICATIONS ARE THE PROPRIETARY PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES FOR THE USE OF THESE DRAWINGS FOR ANY PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES FOR THE USE OF THESE DRAWINGS FOR ANY PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES FOR THE USE OF THESE DRAWINGS FOR ANY PROJECT.

| TITLE | DESCRIPTION | CODE | DATE |
|-------|-------------|------|------|
| SD-2 | DETAIL | | |

SEC OF VOLCANO RD, NM & 48TH STREET NW, ALBUQUERQUE, NEW MEXICO
 SITE ADDRESS:



NOTE:
STORAGE ROOM IS TO BE EQUIPPED WITH A "WHIRLY BIRD" ROOF VENTILATOR, 2X2 FLUORESCENT LIGHT (WEATHER TIGHT) W/ SWITCH AND "DUPLEX" RECEPTACLE.
G.C. TO APPLY BLOCK SEALANT AND PAINT TO ALL EXPOSED CMU SURFACES.



| | | | |
|--------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|-------------|-------------------|
| BY | BLS | DATE | 05/12/08 |
| REV | 1 | DATE | |
| DESCRIPTION | PER DSB COMMENTS | | |
| | | | |
| McDonald's Corporation <small>KRCC DRIVE - ONE BRICK ILLINOIS 60521 © 1987 McDonald's Corporation</small> | | | |
| DRIVEN BY | PROT. ISSUED | REVIEWED BY | DATE REVIEWED |
| DATE ISSUED | | | |
| TITLE | TRASH-ENCLOSURE SIDE-STORAGE-ROOM | DESCRIPTION | WOOD ROOF FRAMING |
| SHEET NO. | TEI | CODE | DETAIL |
| SITE ID | PROTOTYPE | DATE ISSUED | |

OWNER INFORMATION
MCDONALDS
 511 EAST CARPENTER FREEWAY
 SUITE 375
 IRVING, TX 75206
 (972) 869-5346
 CONTACT: JIMMY LOPEZ

***** GENERAL CONDITIONS *****
 ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE

***** LOOP DETECTORS *****
 CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

***** STOP! CALL BEFORE YOU DIG! *****
 As required by New Mexico One Call System, Contractor must contact "NMCC" (800-324-ALERT (2537)) at least two days prior to any excavation operations being performed. It is the Contractor's responsibility to contact New Mexico One Call System.

BENCHMARK DESCRIPTION

1. CITY OF ALBUQUERQUE SURVEY CONTROL 1 3/4" METALLIC DISK, STAMPED "ACB BM, 12-K9", EPOXIED TO TOP OF CONCRETE MANHOLE WITH A SLAB TOP INLET, NW QUADRANT OF 88TH ST. AND VOLCANO RD., N.W. ELEVATION = 5217.106 NGVD 1929 2ND-ORDER/1ST CLASS

***** NOTICE TO CONTRACTOR *****

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
2. INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
3. TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF: SHEET TE-1 WITH 7" THICK x 13' x 25' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S.)
4. LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING SIGNAGE IN PLACE.
5. THE LOCATION OF THE MENU BOARD AND PRE SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE MCDONALD'S ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ALL UTILITIES, CURBS, PAVEMENT, ETC., TO CONDITIONS EQUAL OR BETTER THAN EXISTING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORING ALL MATERIALS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ON SITE STAGING AREA AND SHALL NOT STAGE OR STORE MATERIALS OFF SITE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE ELECTRIC COMPANY THE EXACT LOCATIONS OF THE TRANSFORMER.

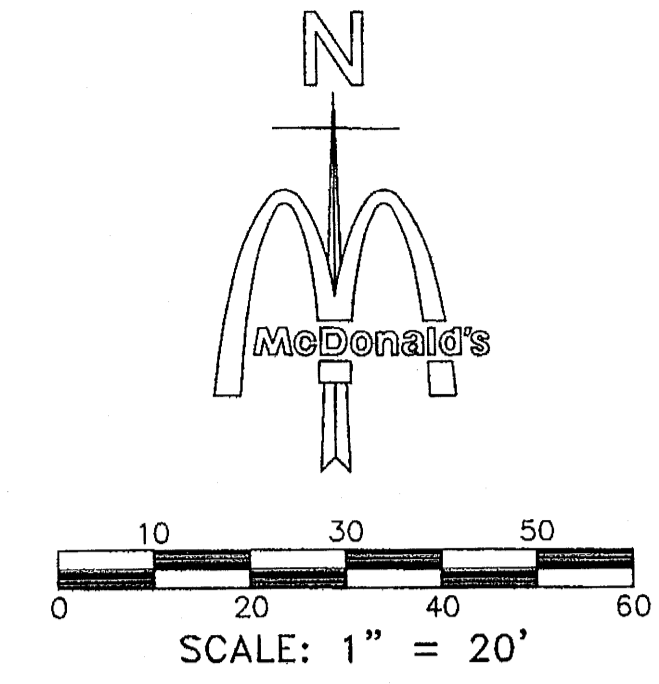
STANDARD ACCESSIBILITY REQUIREMENTS

- PARKING:**
- (A) ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
 - (B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 67" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.
 - (C) ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
- RAMP:**
- (D) RAMPS EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
 - (E) RAMPS SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE RAMPS SHALL ALSO CONTAIN EITHER TRUNCATED DOMES OR 1/2" x 1/2" x 3/4" WIDE AND 3/4" - 2" O.C. ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT AND REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES (OR PAINT STRIPE)
 - (F) BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL, MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.
 - (G) RETURN-CURB RAMP WITH MAX SLOPE 1:12
- SIDEWALKS AND ACCESSIBLE ROUTES:**
- (H) 36" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)
 - (J) NEW SIDEWALK (MIN 3') TO PUBLIC WALK (MIN. SLOPE 1:20)
 - (L) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
 - (K) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

***** LOT LIGHTING *****
 CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

SITE INFORMATION

TOTAL LAND AREA: 1.117 A.C. (46,667 SF)
 CURRENT ZONING: SU2-PCA
 VACANT RESTAURANT
 PROPOSED USE: RESTAURANT
 APPROXIMATE BUILDING AREA: -5,329 SF
 BUILDING LOT COVERAGE: 10.95% (5,329 SF/48,667 SF)
 BUILDING HEIGHT: 21'-4"
 1 PER 4 SEATS 112/3
 BUILDING REQUIRED PARKING: 28 38
 PARKING PROVIDED: 49
 HANDICAP PARKING REQUIRED: 2
 HANDICAP PARKING PROVIDED: 3
 PERCENTAGE OF OPEN SPACE: 19.64% (9,559 SF/48,667 SF)



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

CONTRACTOR TO VOID STORM PIPING PLAN ON SHEET P1.2 OF ARCHITECTURALS. CITY/STATE DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

CONSTRUCTION SCHEDULE

| MARK | MARK DESCRIPTION |
|------|-----------------------------------------------------------------------------------------------------------------------|
| 1 | 6"x6" MONOLITHIC CURB (TYP.) PERIMETER OF SITE |
| 2 | 6"x6" VERTICAL CURB WITH GUTTER AT DRIVE-THRU SIDE ONLY |
| 3 | DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) |
| 4 | H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE |
| 5 | PROPOSED CONCRETE WHEEL STOP (3 TOTAL) |
| 6 | PROPOSED SIDEWALK |
| 7 | FUTURE CURB |
| 8 | PRE TREAT FOR TERMITE CONTROL |
| 9 | PAVING SYMBOLS |
| 10 | 3-2" PVC ROOF DRAINS FROM D.S. TO OUT FLOW AT CURB/BLDG. |
| 11 | PROPOSED GAS METER LOCATION |
| 12 | PROPOSED WATER METER |
| 13 | LANDSCAPE CONTRACTOR TO FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS |
| 14 | TRANSFORMER LOCATION |
| 15 | PROPOSED HANDICAP ACCESSIBLE ROUTE |

RETAINING / SCREEN WALL NOTE
 Retaining walls and screening walls shown hereon are approximate locations and are shown for graphical representation purposes only. The actual design, location, selection of materials, structural engineering, geotechnical engineering, construction observation, staking, testing and structural or geotechnical review shall be performed by others as selected by the owner and/or developer. ADAMS Engineering shall in no way have any responsibility as it relates to the retaining walls or screening walls associated with this project.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

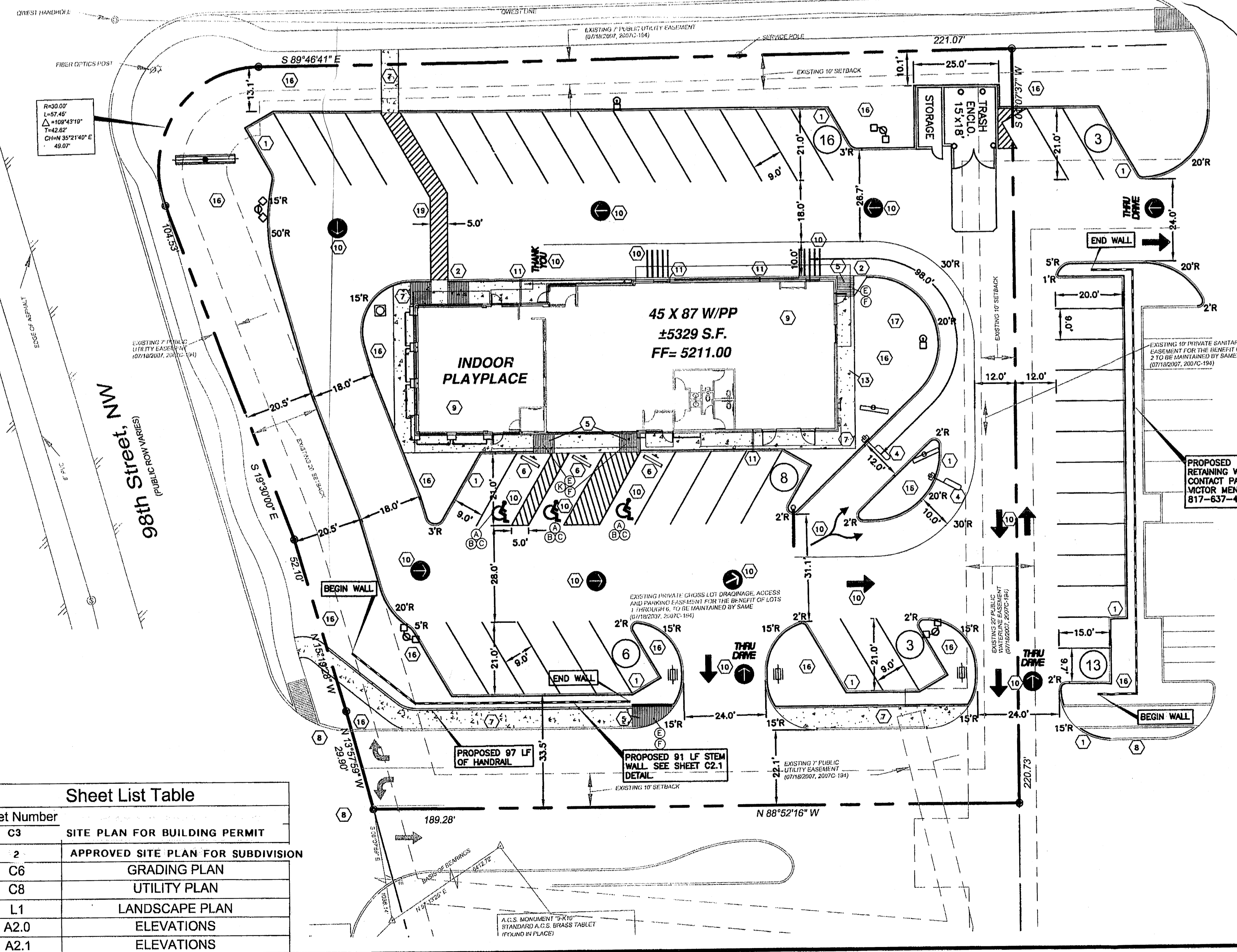
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |
| * Environmental Health, if necessary | |

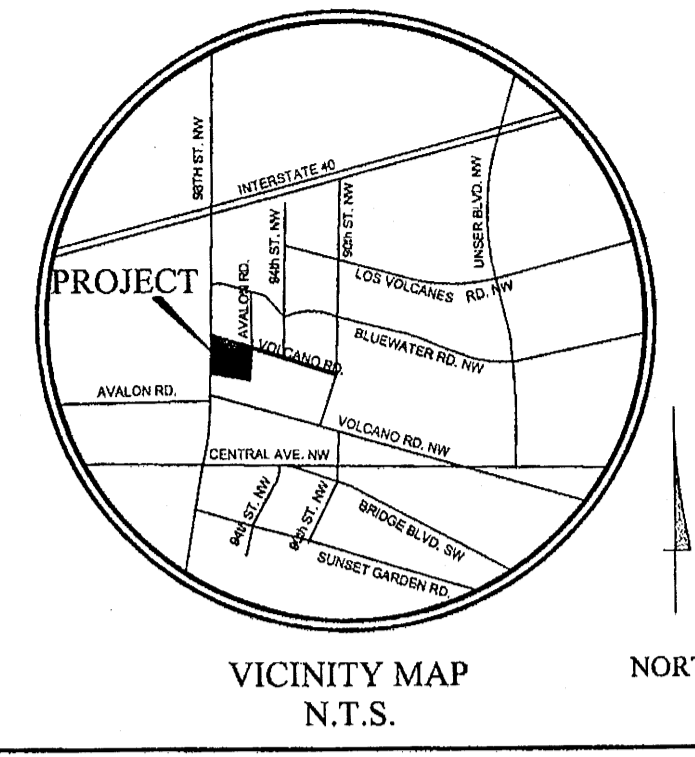
NOTE
 Contractor shall contact local waste collection company, prior to trash enclosure construction, to verify that truck servicing site is (front) loading. If company does not offer this type of loading, contractor is to notify Adams Engineering immediately for a revised trash enclosure layout.

Volcano Road, NW
 (80' PUBLIC ROW)



Sheet List Table

| Sheet Number | DESCRIPTION |
|--------------|------------------------------------|
| C3 | SITE PLAN FOR BUILDING PERMIT |
| 2 | APPROVED SITE PLAN FOR SUBDIVISION |
| C6 | GRADING PLAN |
| C8 | UTILITY PLAN |
| L1 | LANDSCAPE PLAN |
| A2.0 | ELEVATIONS |
| A2.1 | ELEVATIONS |



GENERAL NOTES

1. Common storm drainage, pedestrian, utility and access across new tracts is granted by this site plan and will be granted on the replat.
2. Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance water waste management is the sole responsibility of the property owner.
3. Minimum landscape shall be 15% of the impervious surface less building area.
4. Proof equipment shall be below parapet height and screened from view from the property lines of this site. All ground mounted equipment shall be screened by screen walls with top of equipment below top of screen wall.
5. Light poles shall be a maximum of 25' feet with full cut off light fixtures. Light fixtures shall be a maximum of 25' with full cut off shields on fixtures so that no fugitive light shall escape beyond the property line. The light fixtures shall be fully shielded with horizontal lamps. Light poles with 100' of residential zoning shall be limited to 16' high. Site lighting will meet guidelines as set forth in the night sky ordinance. Light pole locations shown on plan are for reference only. Please refer to architectural plans for locations.
6. There shall be no backlit, plastic or vinyl awnings or illuminated plastic banding on signage.
7. No freestanding cell towers or antenna shall be permitted. Any wireless communications facilities shall be integrated in the building architecture.
8. Setbacks: The front setback shall remain free of buildings and permanent structures other than on premise signs. No buildings or structures, other than walls or fences shall be permitted in the side or rear yard setback if there are no solid walls or fences along the rear property line; a 10 foot landscape buffer is required. There shall be a front and corner side yard setback of not less than 5 feet and a setback of 11 feet from the junction of a driveway or alley and a public sidewalk or planned public sidewalk location.
9. Building cannot exceed the heights as specified by the SU-2 1P City zoning code.
10. The heights of structures shall comply with the requirements of the zoning code, except no structure shall exceed 40' in height.
11. Bus route 54 runs from 98th Street, NW to Central Avenue, N.W.
12. No adult establishments will be built on this site.
13. Approval of site plan for building permit for lots 2, 3, and 4 to be delegated to DRB.

PAVING SPECIFICATION

VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:
 CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

CONCRETE & ASPHALT

- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPER TRAFFIC. THE DUMPER TRAFFIC SHALL BE 7" MIN.
- 8" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
- CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ± 1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

SCARIFY:

- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 690) MAX. DRY DENSITY.
- THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:
 MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, ALBUQUERQUE, NEW MEXICO BERNILLO COUNTY, NEW MEXICO 505-856-5700 DATE: OCTOBER 09, 2007 DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194

LEGAL DESCRIPTION:
 ADDITION
KRANIA ADDITION
 STREET ADDRESS
SEC OF VOLCANO RD. & 98TH ST. NW
 CITY STATE
ALBUQUERQUE NEW MEXICO

COUNTY: ALBUQUERQUE ABSTRACT NO. _____

L/C NUMBER: 030-0226 CORPORATE DWG. NAME
SITE PLAN FOR BUILDING PERMIT

Adams ENGINEERING
 15142
 1-24-08

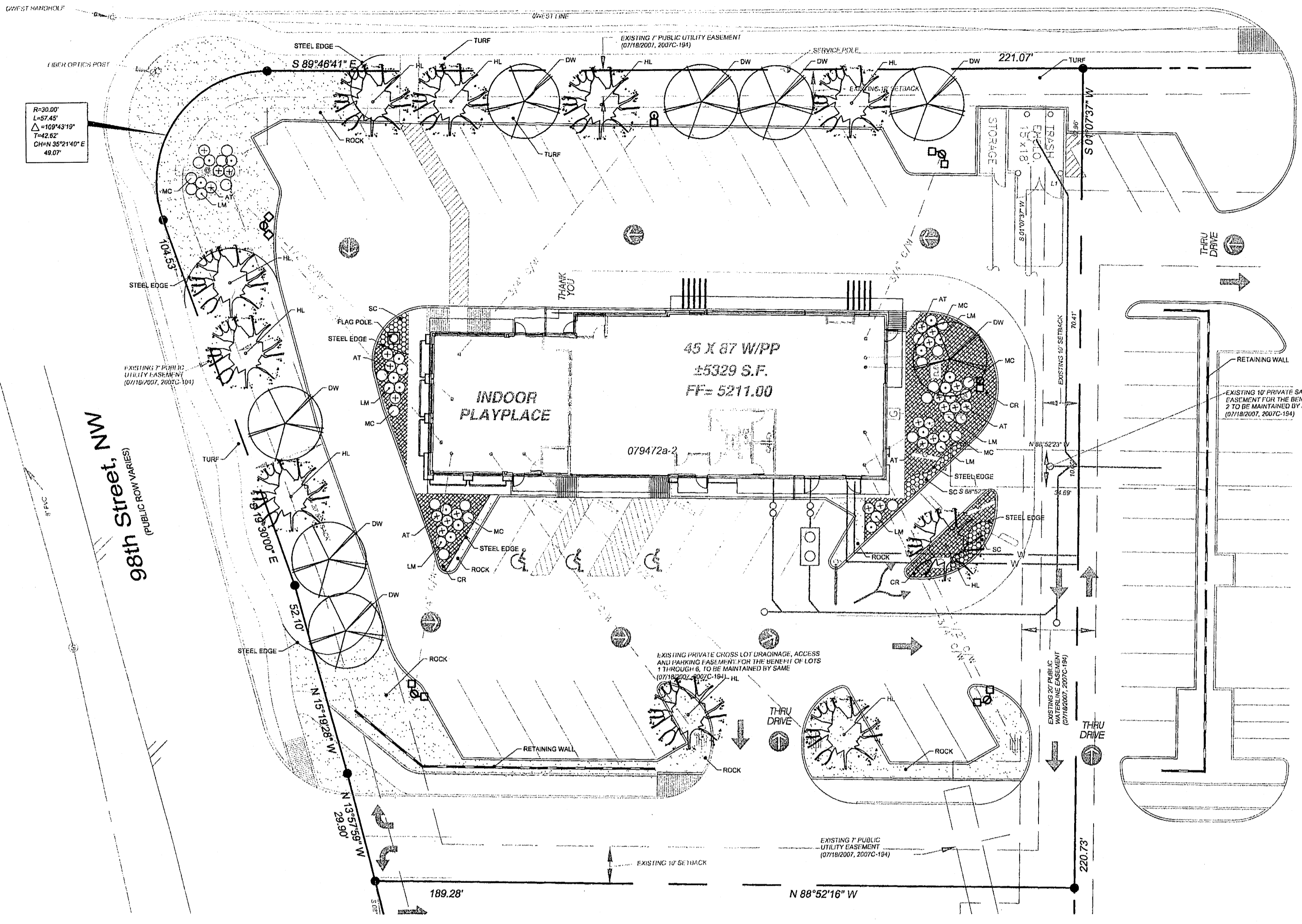
MCDONALD'S
 SEC OF VOLCANO RD. & 98TH ST. NW
 ALBUQUERQUE, NEW MEXICO

OFFICE: GREATER SOUTHWEST REGION
 ADDRESS: KRACK DRIVE - OAK BROOK, ILLINOIS 60521

DATE: _____
 SIGNATURE (2 REQUIRED): _____
 CO-SIGN SIGNATURES: _____

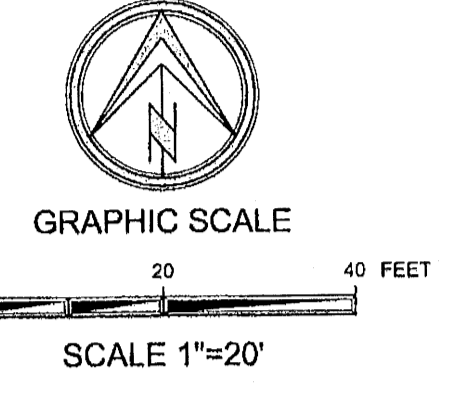
STATUS: _____ DATE: _____ BY: _____
 PLAN CHECKED: _____ RL: _____
 AS-BUILT

C3



98th Street, NW
(PUBLIC ROW VARIES)

R=30.00
L=47.40
A=102.431°
T=42.82
CH=357.107°E
48.07



COMPLIANCE WITH WATER CONSERVATION

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provision of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

LANDSCAPE REQUIREMENTS for the City of Albuquerque

- Section 14-16-3-10
- (E) Landscaping Area Requirements
- The total landscaped area required for each development shall equal not less than 15% of the net lot area.
 - Clear sight areas satisfactory to the Planning Director shall be maintained at all exits of parking areas.
- (G) Special Landscaping Standards
- Off-Street Parking Area Landscaping. Trees are required in and around off-street parking areas to provide shade and relieve the adverse visual impact of large expanses of pavement and parked cars. Quantity and distribution of trees shall be as follows:
 - One tree is required per ten parking spaces;
 - No parking space may be more than 100 feet from a tree trunk;
 - The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree;
 - At least 75% of the required parking areas shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
 - Street trees. Reference 6-6-2-5 Street tree Policies.
 - Required Vegetative Ground Cover. All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials, such as grasses, vines, spreading shrubs, or flowers, over at least 75% of the required landscape area. Coverage will be calculated from the mature spread of the plants.

LANDSCAPE PROJECT NOTES

Landscape maintenance shall be the responsibility of the property owner.

Refer to Sitework Specifications for all information needed for Landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All slopes and areas disturbed by construction, except those occupied by buildings, structures, paving or identified as surface rock shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the contractor shall provide topsoil, approved by the owner. The area shall then be seeded, fertilized, mulched, watered and maintained until hardy grass growth is established in all areas. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the contractor at no additional cost to the owner.

All landscaped areas will be irrigated with an underground automatic system. Refer to the irrigation plans and details for the location of the controller, irrigation meter, and sleeves.

Quantities shown on these plans are for information only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five (5') feet from any utility line or sidewalk and outside utility easements with a clear ten (10') feet around fire hydrants.

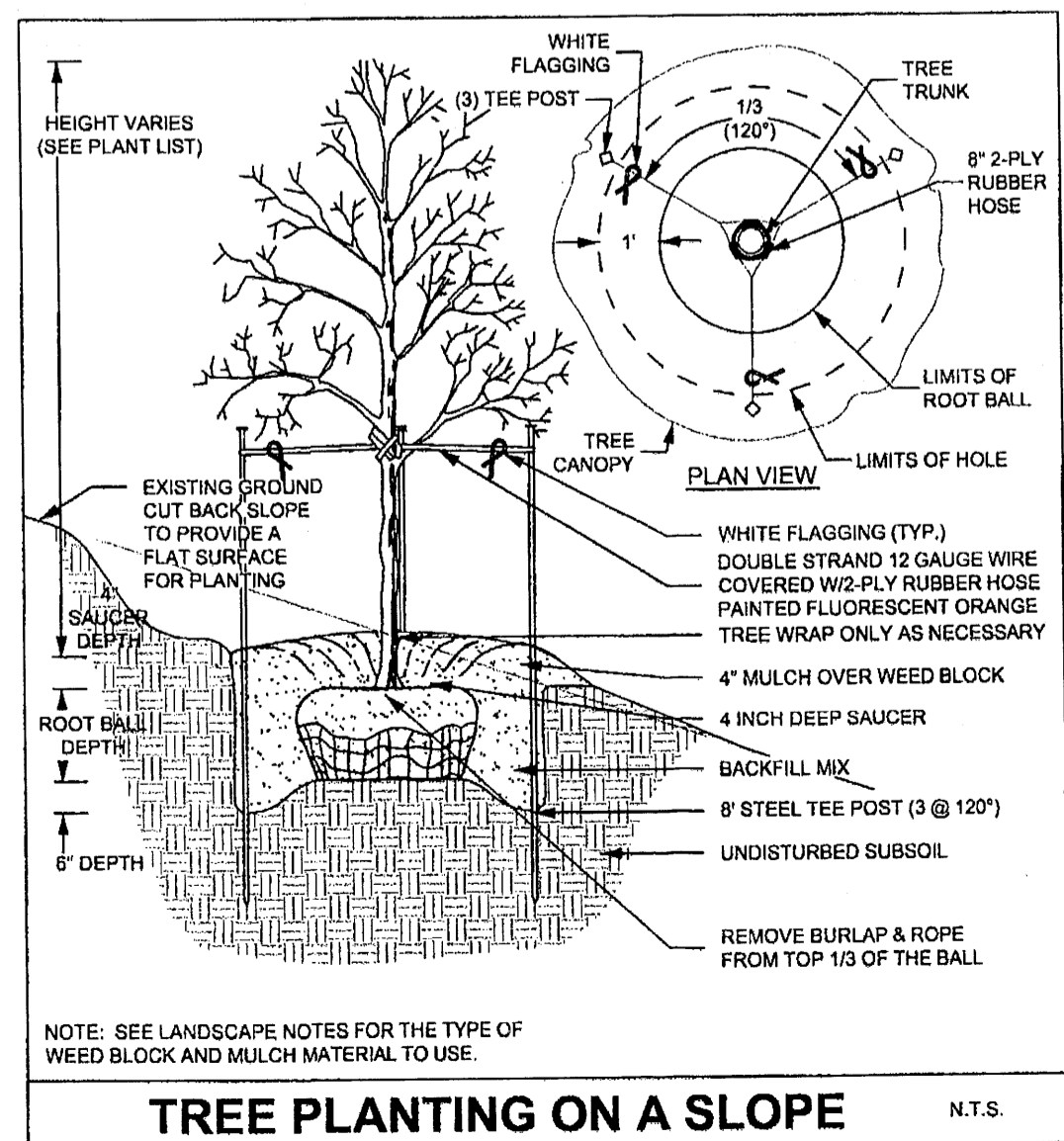
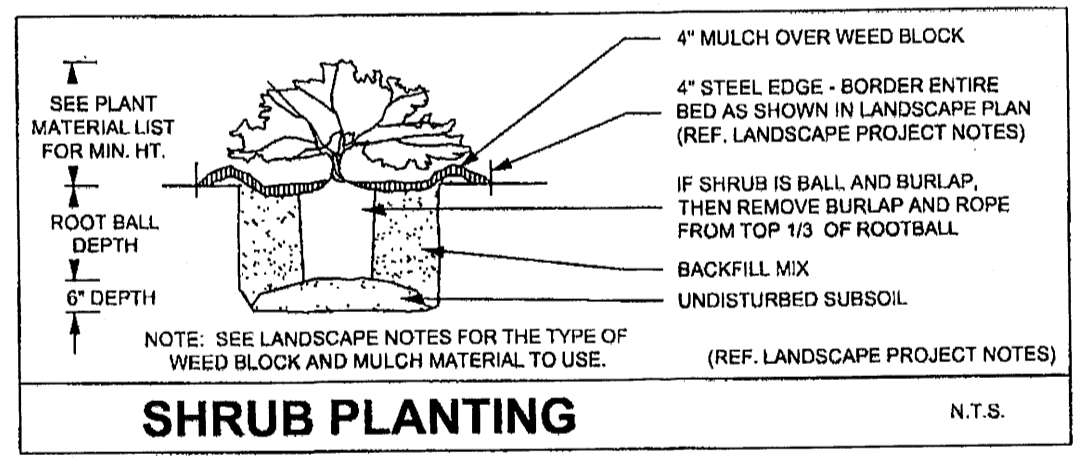
All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred; however, ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by four (4") inch steel edging as approved by the owner unless bed is bordered by concrete. Terminate edging flush with paved surface.

Shredded hardwood mulch shall be used as a four (4") inch dressing in all plant beds and around all trees over 10' mill "weedblock" fabric by "Easy Gardener" or equal. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

Areas labeled and identified as rock shall be beige in color as locally available and have a diameter not to exceed one and one-half inches (1 1/2"). Contractor shall install to a compacted depth of three inches (3").



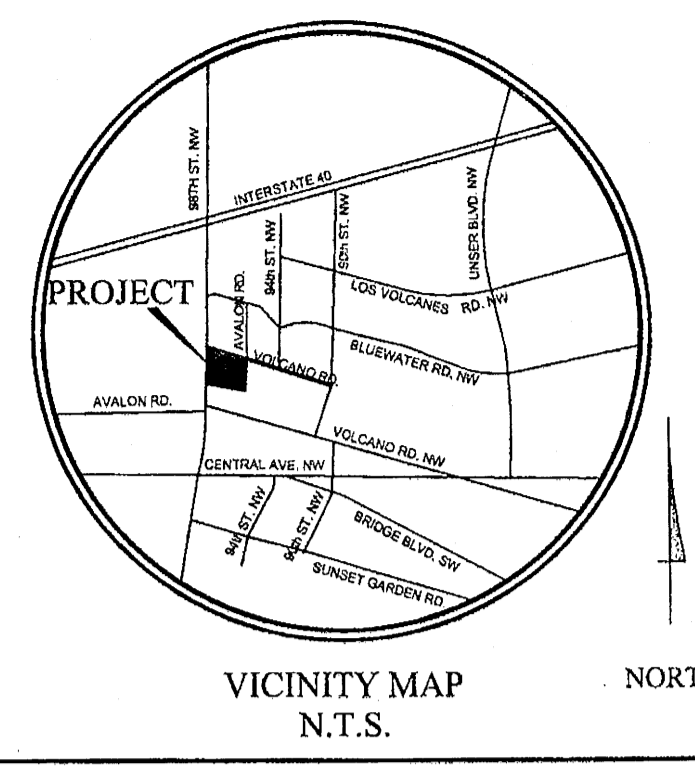
Plant Material List City of Albuquerque, NM

| SYM. | KEY | QTY. | COMMON NAME SCIENTIFIC NAME | O.C. | ROOT | SIZE | HEIGHT | SPREAD |
|------|--------------|-----------------------------------------------------------|--------------------------------|-------|---------|----------|----------|--------|
| DW | 9 | Desert Willow Chippalis linearis | N/A | Cont. | 2' cal. | 10' min. | 3' min. | |
| HL | 10 | Sunburst Honey Locust Gleditsia tricanthos 'Sunbursts' | N/A | Cont. | 2' cal. | 10' min. | 3' min. | |
| MC | 22 | Moonbeam Coreopsis Coreopsis verticillata 'Moonbeam' | 36" | Cont. | 5 gal. | 18' min. | 2' min. | |
| LM | 27 | Littleleaf Mountain Mahogany Cercocarpus intricatus | 36" | Cont. | 5 gal. | 3' min. | 3' min. | |
| AT | 25 | Big Sage Artemisia tridentata | 36" | Cont. | 5 gal. | 2' min. | 2' min. | |
| CR | 1,047 sq.ft. | Crawling Rosemary Rosmarinus officinalis 'Prostrata' | 18" | Cont. | 1 gal. | 8' min. | 10' min. | |
| SC | 172 sq.ft. | Seasonal Color | N/A | Cont. | 4" pot | N/A | N/A | |

In Accordance to the Current Edition of the American Society of Nursery Standards

LANDSCAPE CALCULATIONS for the City of Albuquerque

| | REQUIRED | PROVIDED | % REQ. | % PROV. |
|-------------------------------------------------|----------|-----------|--------|---------|
| NET LOT AREA | N/A | 48,667 SF | N/A | N/A |
| LANDSCAPE AREA (15% of Net Lot Area) | 7,300 SF | 11,602 SF | 15% | 24% |
| PARKING TREES (1 Tree per 10 Spaces) (36/10) | 3.6 | 4 | N/A | N/A |
| STREET TREES (1 EVERY 30 L.F.)(411L.F./30) | 13.7 | 14 | N/A | N/A |
| VEGETATIVE GROUND COVER (75% of Req. Landscape) | 5,475 SF | 6,197 SF | 75% | 84.9% |



- GENERAL NOTES**
- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
 - BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR.
 - BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMIC INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
 - FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
 - FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
 - IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
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 - DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
 - ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

PAVING SPECIFICATION

| | | | | |
|----------------------|----------|--------------------------|-----------|--------------------------|
| VERIFY W/MCDONALD'S: | ASPHALT: | <input type="checkbox"/> | CONCRETE: | <input type="checkbox"/> |
| CONTRACTOR TO BID: | ASPHALT: | <input type="checkbox"/> | CONCRETE: | <input type="checkbox"/> |

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

- CONCRETE & ASPHALT**
- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
 - 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
 - CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
 - CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.
- SCARIFY:**
- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 998) MAX. DRY DENSITY.
 - THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.
- NOTE:**
- MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

| | |
|-----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
| PREPARED BY: PRECISION SURVEYS, INC. | LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6, KRAMIA, ALBUQUERQUE, ALBUQUERQUE COUNTY, NEW MEXICO |
| 505-256-3700 DATE: OCTOBER 09, 2007 | DOC. NO. 20071040691 IN PLAT BOOK 2007C, PAGE 194 |

PLAN SCALE: 1" = 20'
ADDITION

KRAMIA ADDITION
STREET ADDRESS

SEC OF VOLCANO RD. & 98TH ST. NW

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: ALBUQUERQUE SURVEY: ABSTRACT NO.

ALBUQUERQUE COUNTY

UC NUMBER: 030-0226 CORPORATE DWG. NAME: LANDSCAPE PLAN

Adams ENGINEERING
3600 Central Ave. NE, Suite 100 • Albuquerque, New Mexico 87110-1000

BEN R. HENRY
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
1-24-08

MCDONALD'S

SEC OF VOLCANO RD. & 98TH ST. NW
ALBUQUERQUE, NEW MEXICO

MCDONALD'S L.L.C. 030-0226
ADAMS ENGINEERING No. 2006-296

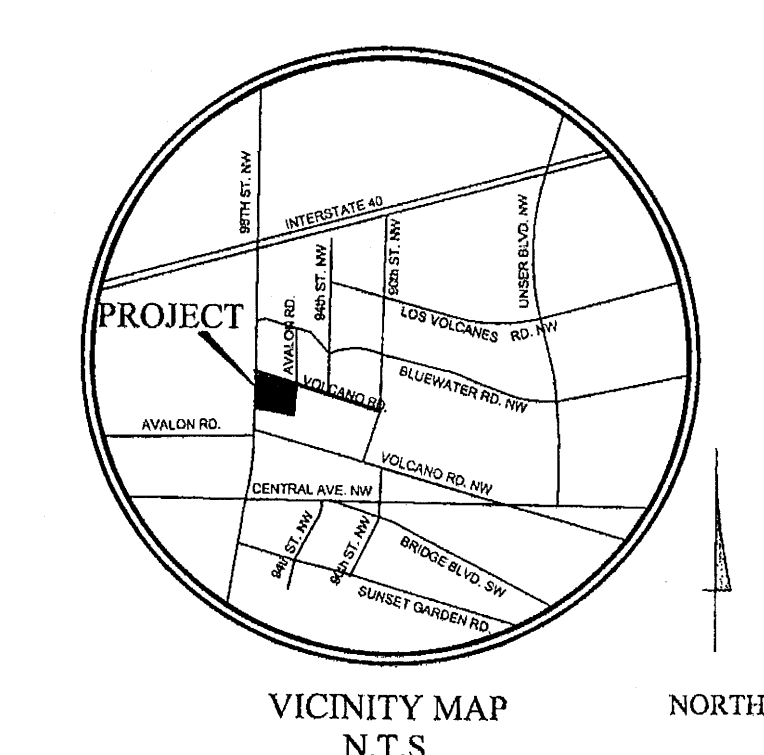
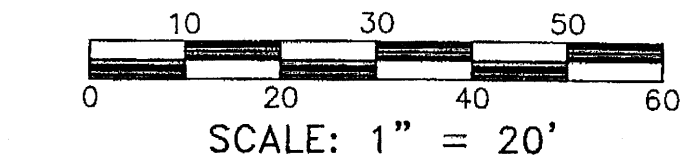
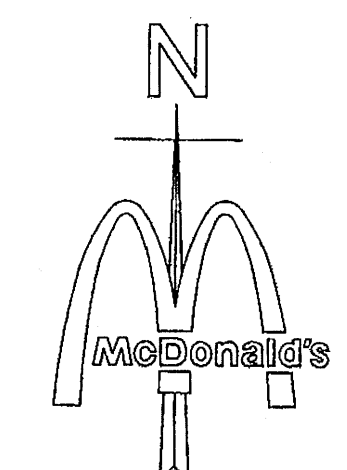
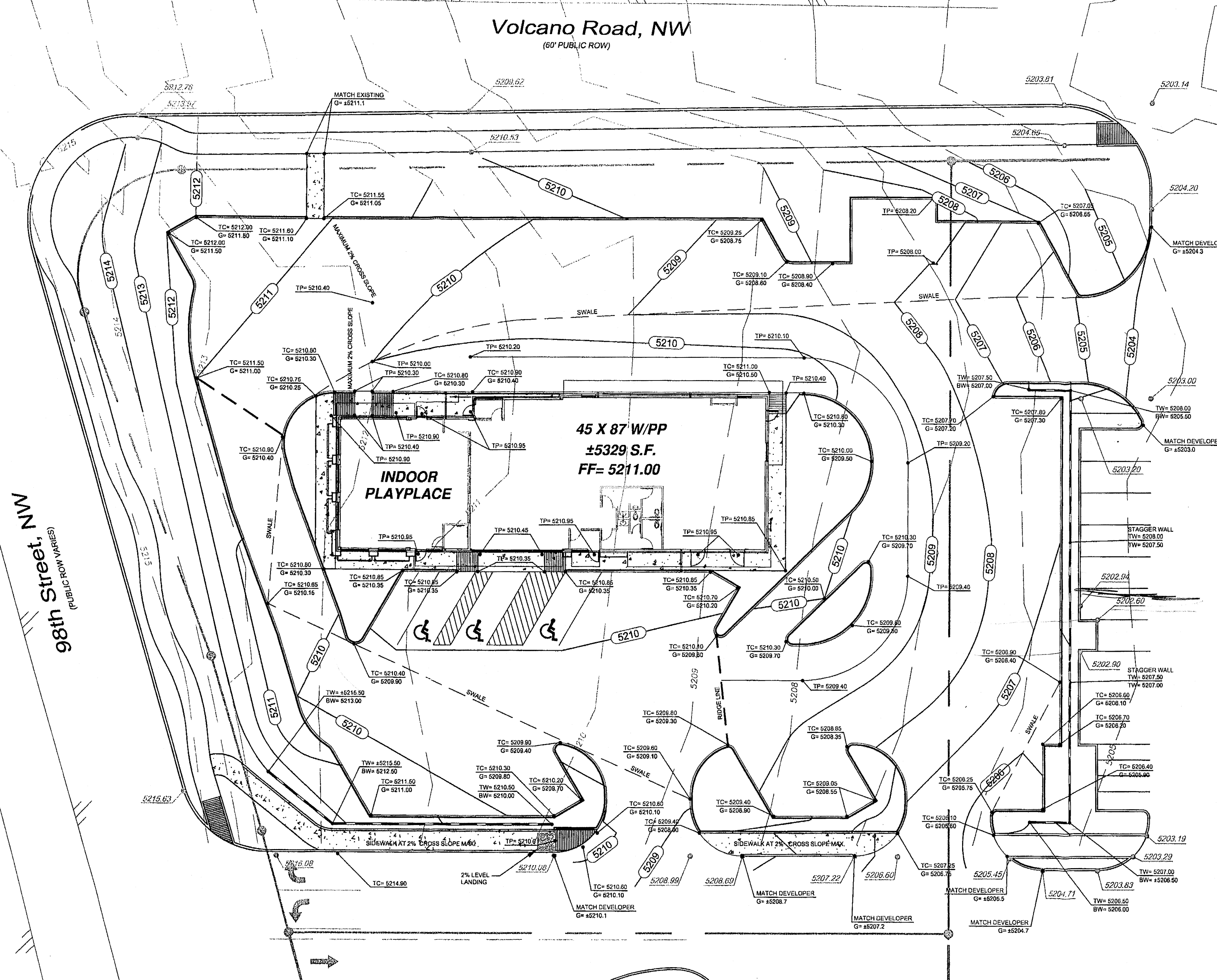
| REV | DATE | DESCRIPTION | BY | ISSUE REF. |
|-----|------|-------------|----|------------|
| | | | | |

| PLAN APPROVALS | DATE | BY |
|----------------|------|----|
| | | |

| REGIONAL MGR. | CONST. MGR. | OPERATIONS DEPT. | REAL ESTATE DEPT. | CONTRACTOR | OWNER |
|---------------|-------------|------------------|-------------------|------------|-------|
| | | | | | |

| STATUS | DATE | BY |
|--------------|----------|-----|
| DATE DRAWN | 11.25.07 | BRP |
| PLAN CHECKED | 11.27.07 | BRH |
| AS-BUILT | | |

L1.0



VICINITY MAP
N.T.S.

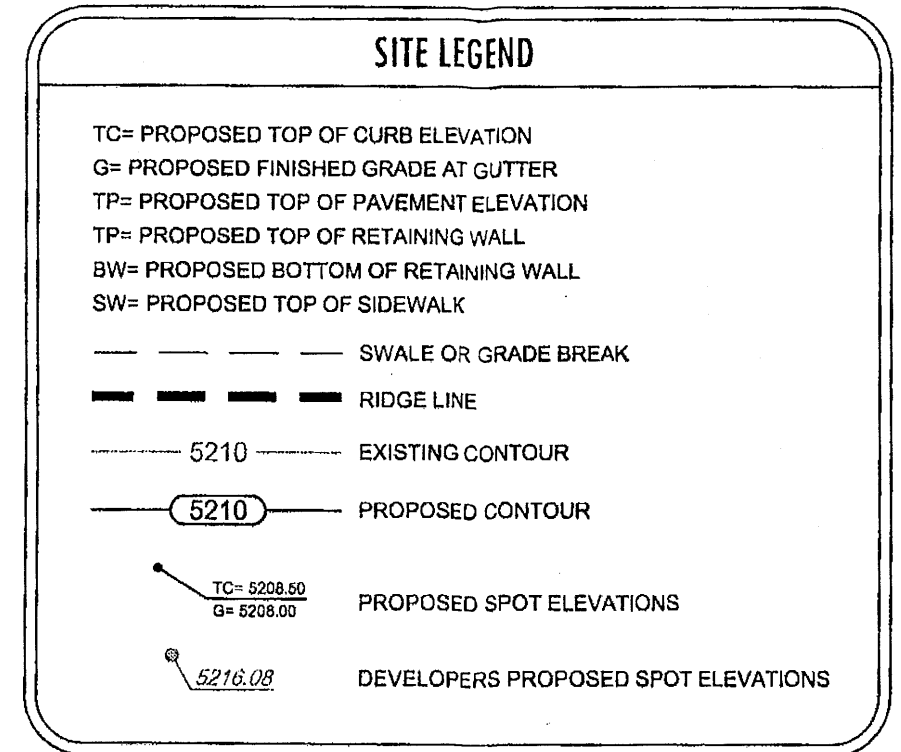
GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
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- ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

- *** CONSTRUCTION NOTES ***
- The earthwork for all building foundations and slabs shall be in accordance with Architectural Building Plans and Specifications.
 - Adjust pavement and/or curb elevations as necessary to assure a smooth fit and continuous grade with existing.
 - Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
 - Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
 - Contractor is responsible for repairs of damage to any existing improvements during construction, such as but not limited to drainage, utilities, pavement, striping, curbs, etc. repairs shall be equal to or better than existing conditions.
 - Proposed spot grades shown are to top of pavement unless otherwise noted.
 - Existing and proposed grade contour intervals shown at one foot (1')
 - All un-surfaced areas disturbed by grading operation shall receive four (4) inches of topsoil. contractor shall apply stabilization fabric to all slopes 3:1 or steeper. Contractor shall grass disturbed areas in accordance with standard specifications until a healthy stand of grass is obtained.
 - For location of all utility entrances, see Architectural Plans and Specifications.
 - Contractor shall coordinate with Architectural plans, power company, telephone company & gas company for actual routing of power and services to building.
 - Construction shall comply with all governing codes and be constructed to same.

- *** NOTICE TO CONTRACTOR ***
- Contractor shall refer to Architectural building plans for exact location and orientation of exterior doors.
 - Installation of handrails shown hereon are optional unless directed otherwise by City Building Official. Contractor should refer to Accessibility Notes and Grading Plan to verify if handrails are necessary.
 - Trash enclosure with finish to match building as per McDonald's Engineer or approved equal. Ref. Sheet TE-1 with 7" thick x 13" x 25" concrete pad. (Contractor to coordinate design specs. with Soils Report and McDonald's.)
 - Location of l.d. sign is approximate. It is the responsibility of the Sign Contractor to verify compliance with setback, size, height and related zoning requirements prior to setting.
 - The location of the menu board and pre sell boards are not exact. It is the responsibility of the Contractor to verify the dimensions and orientation with the McDonald's Engineer.
 - The Contractor shall maintain dust control on site at all times by watering site as often as needed.
 - Contractor shall field verify elevations of adjacent drives on north and east side of McDonald's site. If existing grades do not match those shown on this plan, Contractor shall notify McDonald's Project Manager.

- *** CONTRACTOR NOTE ***
- CONTRACTOR SHALL CONFIRM PROPOSED GRADES ALONG THE PERIMETER WITH THE SITE DEVELOPER. ALTERATIONS TO THE SOUTH SIDEWALK SHALL NOT EXCEED 5% WITH A 2% CROSS SLOPE MAXIMUM.
 - HANDRAILS ARE ANTICIPATED AND SHOWN.
 - CONTRACTOR SHALL MODIFY RETAINING WALL LIMITS AS SITE CONDITIONS ALLOW.



CONTRACTOR TO VOID STORM PIPING PLAN ON SHEET P1.2 OF ARCHITECTURALS. CITY/STATE DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

ALL HANDICAP ACCESSIBLE RAMPS MUST BE DESIGNED AND BUILT PER ADA STANDARDS.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

- BENCHMARK DESCRIPTION
- CITY OF ALBUQUERQUE SURVEY CONTROL 1.34" METALLIC DISK, STAMPED "ACS BM, 12-K9", EPOXIED TO TOP OF CONCRETE MANHOLE WITH A SLAB TOP INLET, NW QUADRANT OF 98TH ST. AND VOLCANO RD., N.W. ELEVATION = 5217.108 NGVD 1928 2ND-ORDER/1ST CLASS

PAVING SPECIFICATION

| | | | | |
|----------------------|----------|-------------------------------------|-----------|-------------------------------------|
| VERIFY W/MCDONALD'S: | ASPHALT: | <input checked="" type="checkbox"/> | CONCRETE: | <input checked="" type="checkbox"/> |
| CONTRACTOR TO BID: | ASPHALT: | <input checked="" type="checkbox"/> | CONCRETE: | <input checked="" type="checkbox"/> |

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY: APEX GEOSCIENCE INC. SEPTEMBER 2007 PROJECT NO. 107-214

- CONCRETE & ASPHALT
- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
 - 5" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
 - CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
 - CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.
- SCARIFY:
- SCARIFY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
 - THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.
- NOTE:
- McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LOT NUMBERED TWO (2) OF THE LOT OF 8500-A JEFFERSON STREET, NE ALBUQUERQUE, NEW MEXICO 87114-3700 DATE: OCTOBER 09, 2007

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194

PLAN SCALE: 1" = 20'

ADDITION
KRANIA ADDITION
STREET ADDRESS
SEC OF VOLCANO RD. & 98TH ST. NW

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO COUNTY SURVEY: ABSTRACT NO.

L/C NUMBER: 030-0226 CORPORATE DWG. NAME: GRADING PLAN

| | | |
|-------------------|----------|-----|
| REGIONAL MGR. | DATE | BY |
| CONST. MGR. | 11/25/07 | CHI |
| OPERATIONS DEPT. | 11/25/07 | BLS |
| REAL ESTATE DEPT. | | |
| CONTRACTOR OWNER | | |

Adams ENGINEERING
301 1st St. NE, Albuquerque, NM 87102-2000

15142
1-24-08

McDONALD'S
SEC OF VOLCANO RD. & 98TH ST. NW
ALBUQUERQUE, NEW MEXICO

McDONALD'S I.C. 030-0226
ADAMS ENGINEERING No. 2006-246

| REV | DATE | DESCRIPTION | BY | ISSUE REF. |
|-----|------|-------------|----|------------|
| | | | | |

PLAN APPROVALS

SIGNATURE (IF REQUIRED)

CO-SIGN SIGNATURES

STATUS

DATE

BY

AS-BUILT

C6

PROPOSED DESIGN GUIDELINES

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

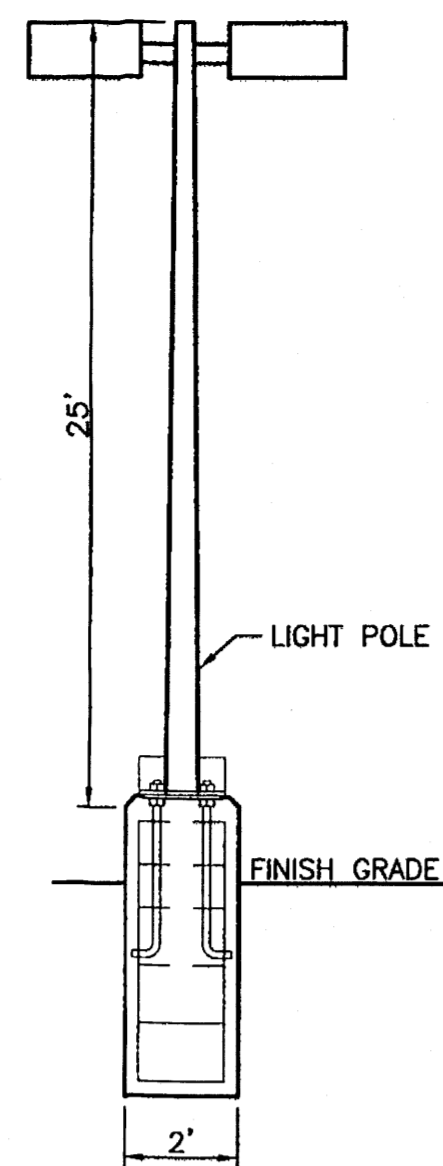
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELGATED DOWN TO DRB.

PROJECT NUMBER: 1004354
APPLICATION NUMBER: 02-00033

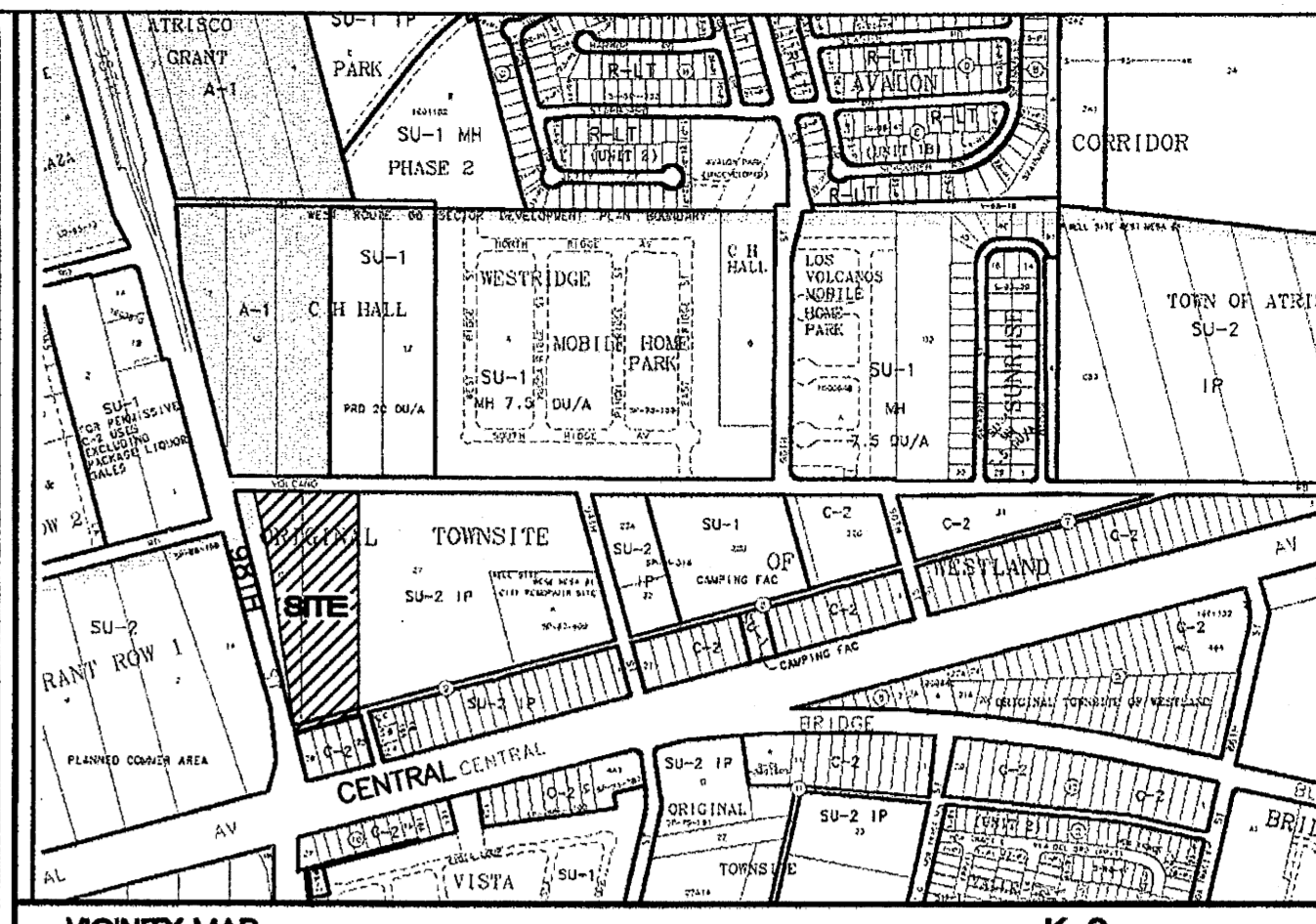
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes (X) No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-----------------------------------------------------------------|-----------------|
| <i>John A. []</i> Traffic Engineer, Transportation Division | 2/7/07 Date |
| <i>William G. []</i> Water Utility Development | 2/7/07 Date |
| <i>Christine []</i> Parks & Recreation Department | 2/7/07 Date |
| <i>Bradley L. []</i> City Engineer | 2/7/07 Date |
| <i>N/A</i> * Environmental Health Department (conditional) | Date |
| <i>Michael []</i> Solid Waste Management | 7/5/07 Date |
| <i>D. []</i> DRB Chairperson, Planning Department | 7/05/07 Date |

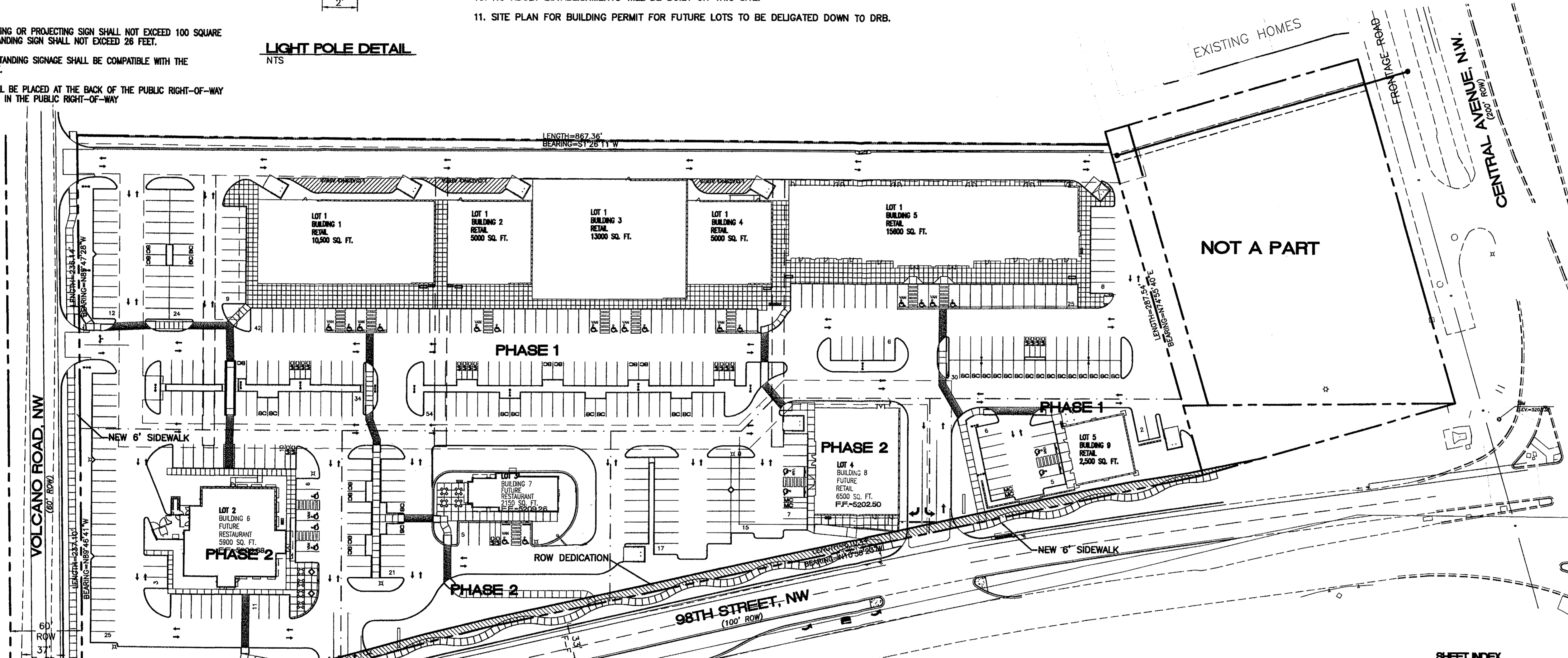
* Environmental Health, if necessary



VICINITY MAP: K-9
LEGAL DESCRIPTION: PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

| | |
|-----------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - - | EASEMENT |
| --- | EXISTING CURB AND GUTTER |
| --- | CURB AND GUTTER |
| --- | SCREEN WALL |
| --- | RETAINING WALL |
| --- | PROPOSED SIDEWALK |
| --- | EXISTING BOUNDARY |
| --- | CROSSWALK |
| --- | BIKE RACK |
| --- | PARKING LOT LIGHTING |
| --- | ROW DEDICATION |



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

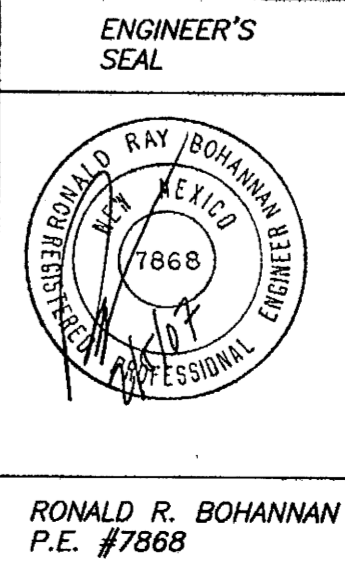
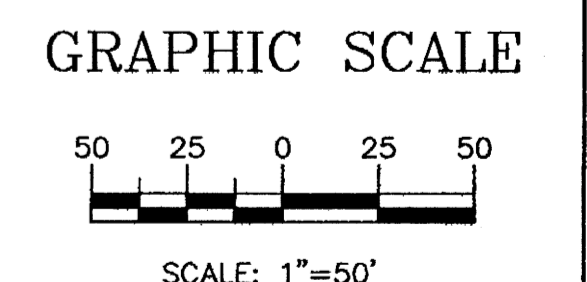
SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------|---------|------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 IP | 53 | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 IP | 25 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | | | 13,000 | RETAIL | SU-2 IP | 65 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 IP | 25 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 IP | 78 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT | SU-2 IP | 48 | 50 | 3 | 4 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 2,150 | RESTAURANT | SU-2 IP | 18 | 21 | 1 | 2 | 1 | 1 | 2 | 5 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.791 | 6,500 | RETAIL | SU-2 IP | 33 | 39 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 0.15 | 0.35 | 40' |
| 6 | 6 | 8.051 | 68,550 | | | 358 | 372 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | 0.15 | 0.35 | 40' |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

- SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- ELEVATIONS
- DETAILS



ENGINEER'S SEAL

NORTHEAST CORNER OF 98TH AND CENTRAL

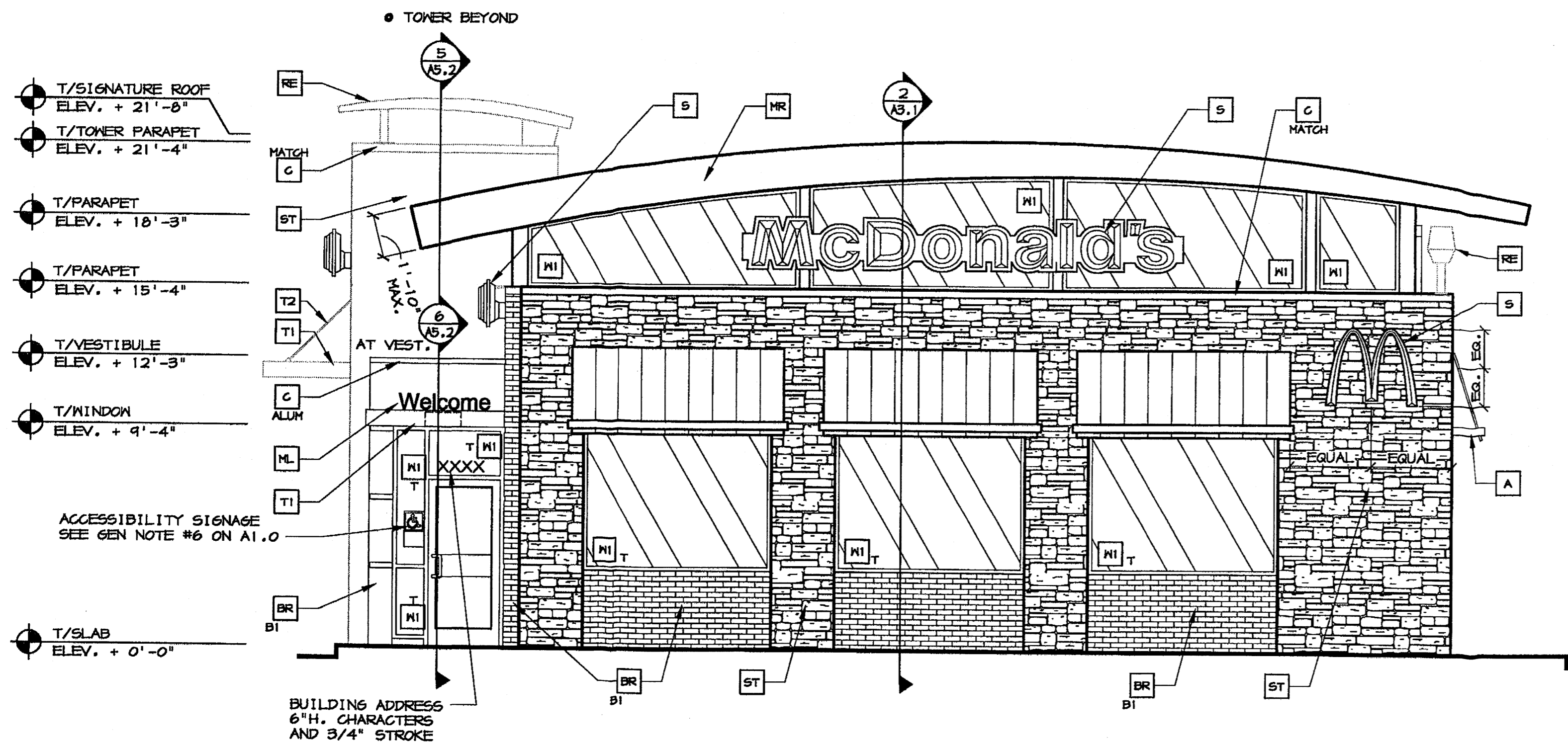
SITE PLAN FOR SUBDIVISION

TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

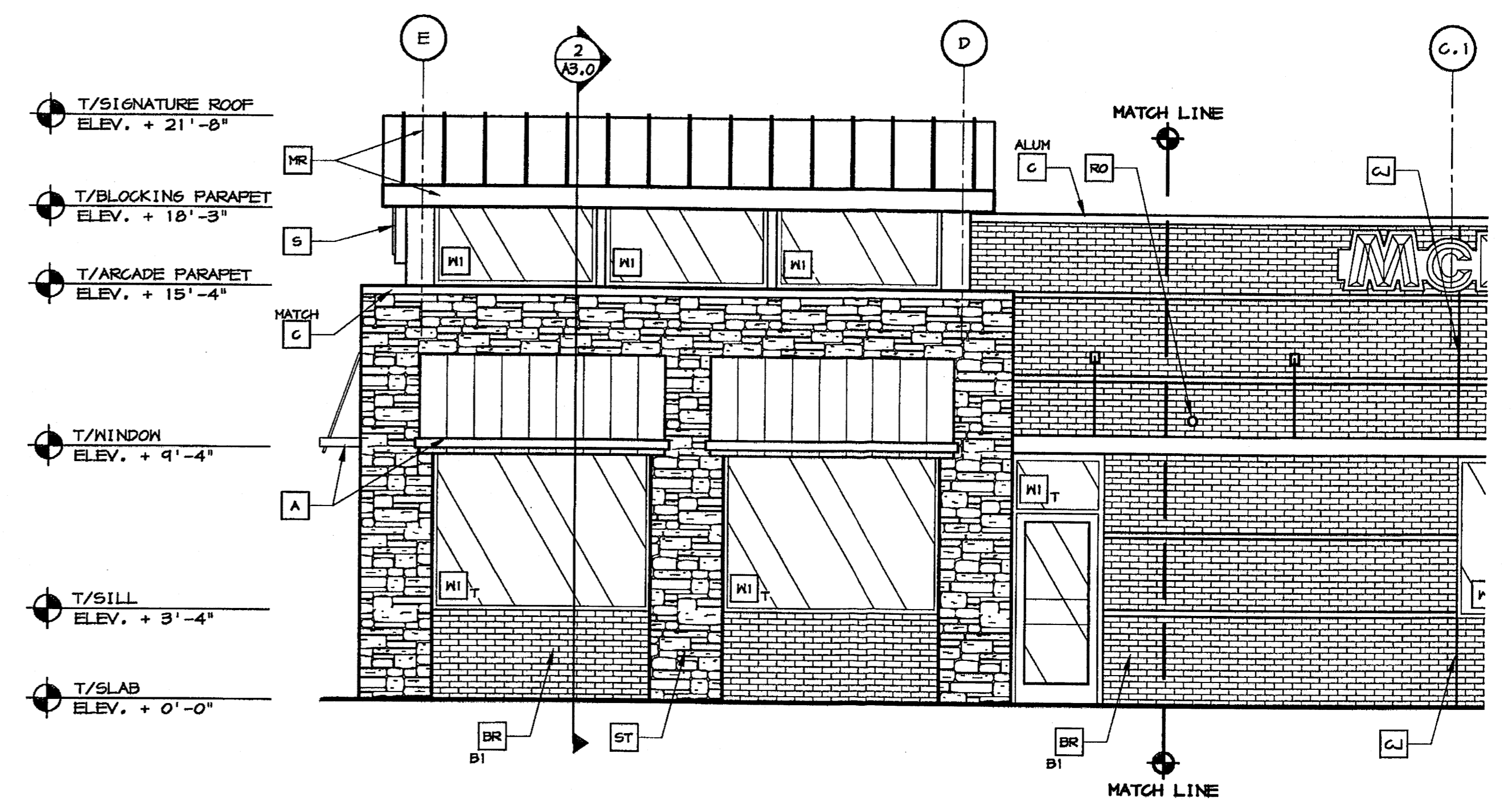
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DATE: 2-5-07
2566-SPSE.dwg

SHEET #
2

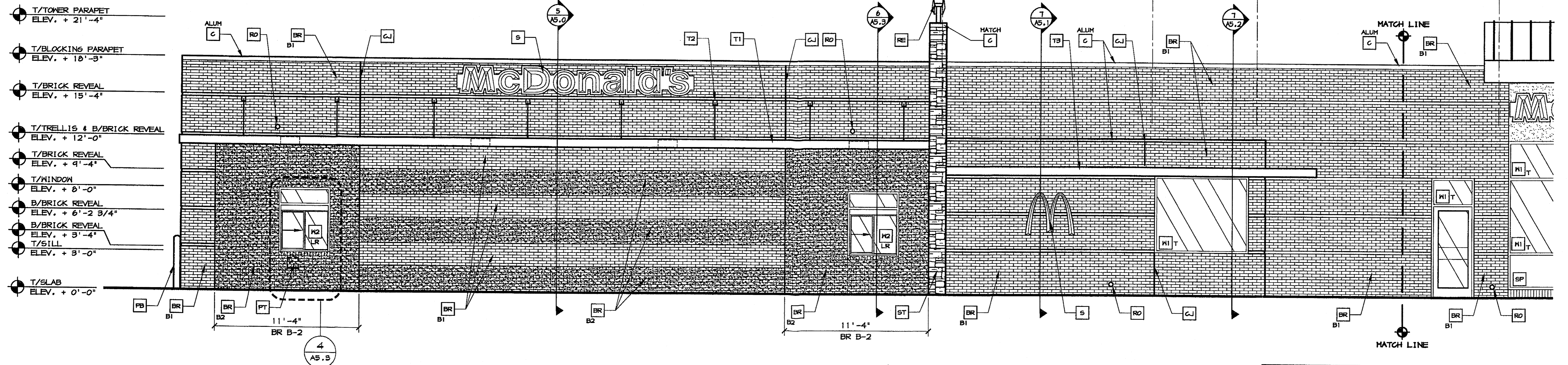
JOB #
25066



1 FRONT ELEVATION
 A2.0 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION
 A2.0 1/4" = 1'-0"
 (SEE ELEVATION 1/A2.1 FOR CONTINUATION OF ELEVATION)



3 DRIVE-THRU ELEVATION
 A2.0 1/4" = 1'-0"
 (SEE ELEVATION 2/A2.1 FOR CONTINUATION OF ELEVATION)

STRUCTURAL NOTE:
 UNIBODY FASCIA SIGN MALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 125C AND 104C
- BR FACEBRICK
- C METAL COPING - COLOR = ALUMINUM
- C CONTROL JOINT, SEE DETAIL 7/A4.1
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EI EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER
- FB CO2 FILL BOX (EGFM SCHEDULE ITEM 44.00)
- FB OPTIONAL BULK OIL FILL BOX (EGFM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (MALL SCENCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- MR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE *YELLOW - PANTONE COLOR #104U*
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (R#4C)
- RE ROOF GAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- SP SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0, COLOR TO MATCH WINDOW FRAMES
- ST CULTURED STONE ARCADE BY OWENS CORNING COLOR: COBBLEFIELD-AUSTIN (COV-2099) CONTACT: NANCY HUTCHINSON 530-125-0333
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- T3 2' x 8" WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- MI EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET AS.0
- T TEMPERED GLASS
- DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER
- TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM # 432 SQ IN MAX SERVICE OPENING (WHERE REGD BY CODE)
- SLIDE DIRECTION:
 RL = RIGHT TO LEFT
 LR = LEFT TO RIGHT

DRAWN BY: 66
 STD ISSUE DATE: APRIL 2007
 REVISED BY: M.C.
 DATE ISSUED: OCT 19, 07
 513 STATE ST. ALBUQUERQUE, NM 87202-2226 9801 & CENTRAL

TITLE: 2007 STANDARD BUILDING 458 TFP-WOOD/NOOD BUILDING
 DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRELLIS FRAMING STONE EXTERIOR FINISH ARCADE/ENTRY 513 STATE ST. ALBUQUERQUE, NM 87202-2226 9801 & CENTRAL

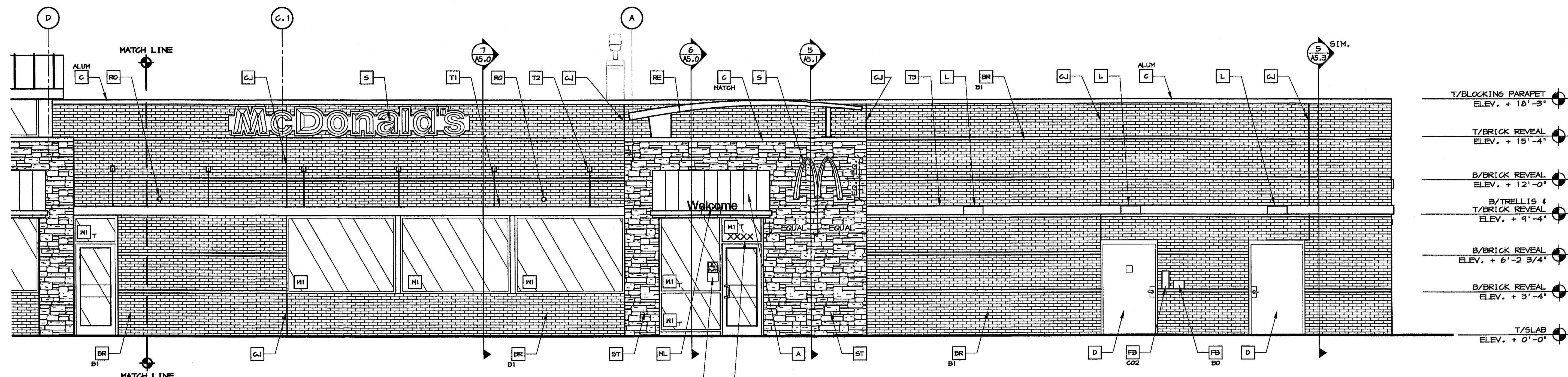
SHEET NO: 030-0226.00.0
A2.0
 ELEVATIONS

PREPARED FOR: McDonald's USA, LLC
 PREPARED BY: Michael B. Ebanks, Registered Architect
 2414 McDonald's Blvd
 Oak Brook, IL 60521

| NO. | REV. | DATE | DESCRIPTION | BY |
|-----|------|------|-------------|----|
| | | | | |

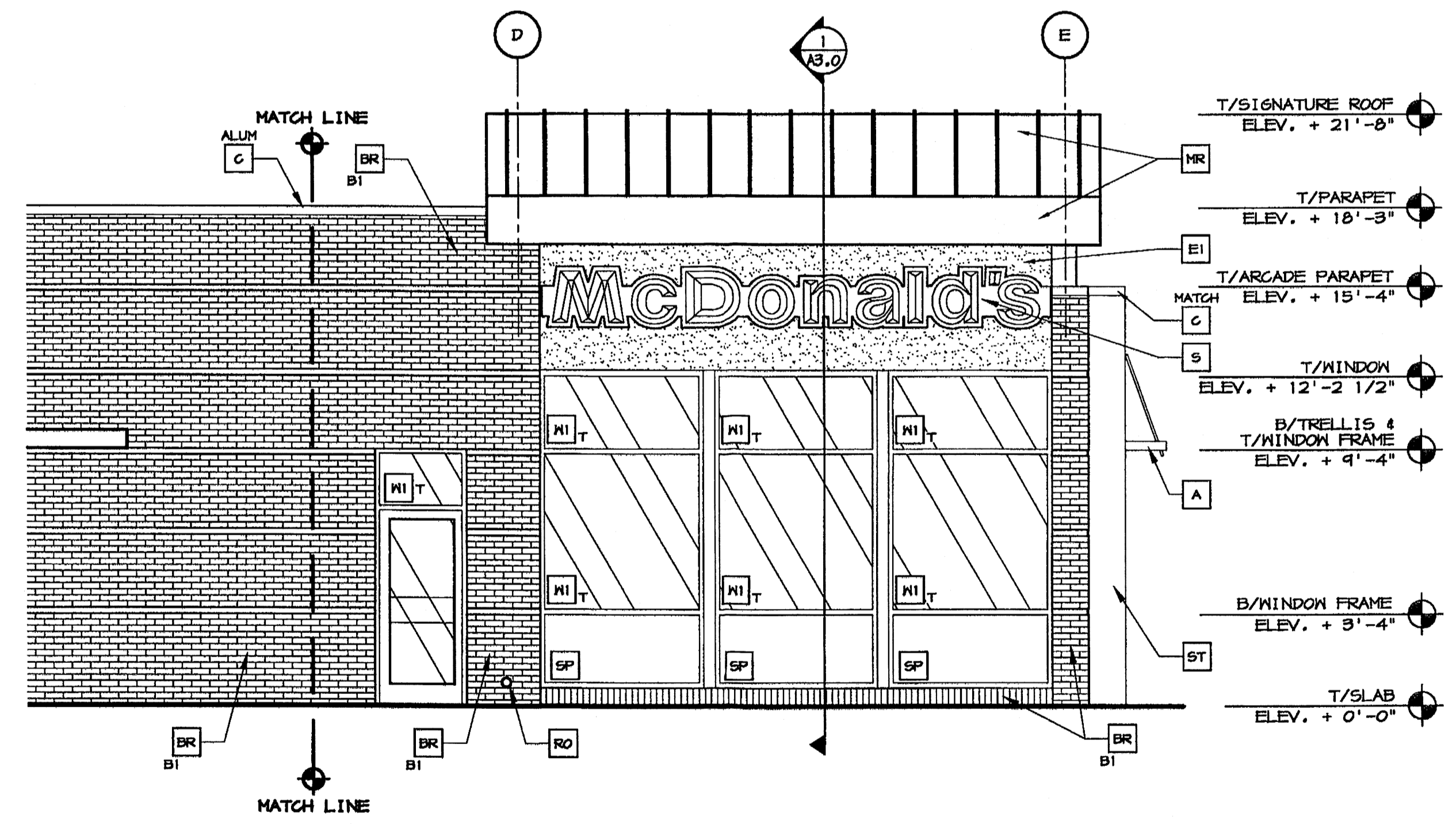
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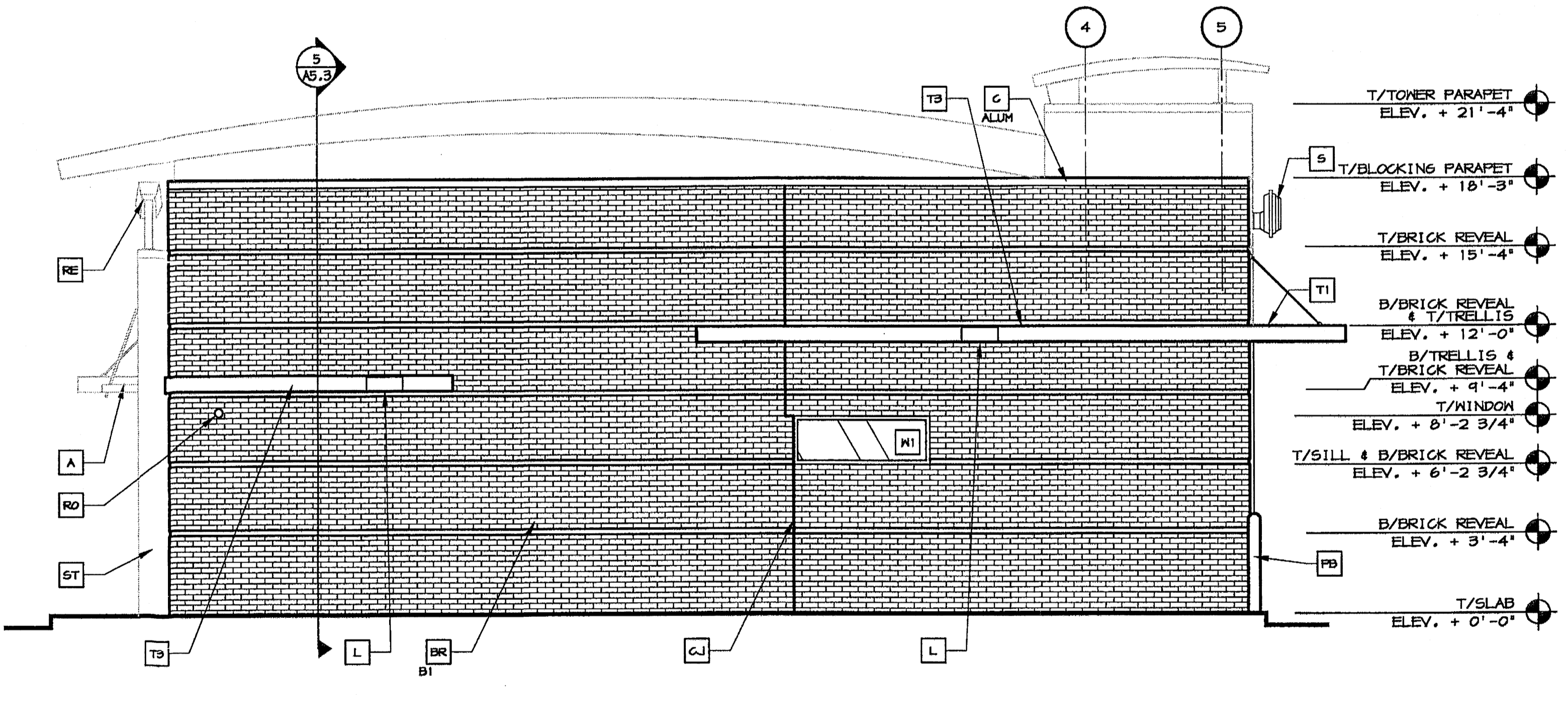


1 NON DRIVE-THRU ELEVATION
 A2.1 1/4" = 1'-0"
 (SEE ELEVATION 2/A2.0 FOR CONTINUATION OF ELEVATION)

ACCESSIBILITY SIGNAGE
 SEE GEN NOTE #6 ON A1.0
 BUILDING ADDRESS 6"H.
 CHARACTERS AND 3/4"
 STROKE



2 DRIVE THRU ELEVATION
 A2.1 1/4" = 1'-0"
 (SEE ELEVATION 3/A2.0 FOR CONTINUATION OF ELEVATION)



3 REAR ELEVATION
 A2.1 1/4" = 1'-0"

STRUCTURAL NOTE:
 UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

- KEY NOTES:**
- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 129C AND 104C
 - BR FACEBRICK
 - B1 COLOR: RUBI60 RED VELOUR® BY BELDEN OR EQUAL
 - B2 "MODULAR MIDLAND BLEND A" BY BELDEN OR EQUAL
 - C METAL COPING - COLOR = ALUMINUM
 - G METAL COPINGS - COLOR TO MATCH SURROUNDING MATERIAL
 - GJ CONTROL JOINT, SEE DETAIL 7/A4.1
 - D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- EI EXT. INSULATION FINISH SYSTEM (E.I.F.S.) COLOR = BENJAMIN MOORE 2125-30 GRAY SHOWER
- FB CO2 FILL BOX (EQPM SCHEDULE ITEM 44.00)
- FB CO2 OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL

- ML METAL LETTERING - BY OTHERS
- NR METAL ROOF - STANDING SEAM W/ALUMINUM FINISH FASCIA TRIM, COLOR TO BE "YELLOW - PANTONE COLOR #109U"
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (RPH4C)
- RE ROOF CAP ELEMENT BY OTHERS

- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- SP SPANDREL PANEL SET IN AN EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0, COLOR TO MATCH WINDOW FRAMES
- ST CULTURED STONE ARCADE BY OWENS CORNING COLOR: COBBLEFIELD-AUSTIN (C9V-2095) CONTACT: NANCY HUTCHINSON 530-725-0333

- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- TB 2" x 8" WALL FASCIA - REFER TO SIM, DETAIL 3 ON SHEET A5.1
- M1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
- T = TEMPERED GLASS

- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- TB 2" x 8" WALL FASCIA - REFER TO SIM, DETAIL 3 ON SHEET A5.1
- M1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
- T = TEMPERED GLASS

DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER
 OPTIONS INCLUDE:
 TRANSOM (SHOWN); AIR CURTAIN; FLYFAN/TRANSOM & 432 50 IN MAX SERVICE OPENING (WHERE REQD BY CODE)
 SLIDE DIRECTION:
 RL = RIGHT TO LEFT
 LR = LEFT TO RIGHT

| | | | | | | | |
|---------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|------|-------------|---|------------|-----------------------------------------------------------------------|
| PREPARED BY: | Michael B. Ebanks Registered Architect 2111 McDonald's Drive Oak Brook, IL 60521 | | | | | | |
| DATE: | | | | | | | |
| REV: | | | | | | | |
| DESCRIPTION: | | | | | | | |
| TITLE: | 2007 STANDARD BUILDING 4587TP-WOOD/WOOD BUILDING | | | | | | |
| SHEET NO.: | A2.1 ELEVATIONS | | | | | | |
| DATE: | APRIL 2007 | | | | | | |
| REVISIONS: | <table border="1"> <tr> <td>NO.</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td>1</td> <td>OCT 15, 07</td> <td>WOOD BEARING WALLS 1/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING</td> </tr> </table> | NO. | DATE | DESCRIPTION | 1 | OCT 15, 07 | WOOD BEARING WALLS 1/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING |
| NO. | DATE | DESCRIPTION | | | | | |
| 1 | OCT 15, 07 | WOOD BEARING WALLS 1/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING | | | | | |
| SCALE: | 1/4" = 1'-0" | | | | | | |
| PROJECT NO.: | 030-0226.00.0 | | | | | | |
| SITE ADDRESS: | 4831 & CENTRAL ALBANY, NY | | | | | | |

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

****NOTICE TO CONTRACTORS - UTILITIES****

The Contractor is specifically cautioned that the location and/or elevation of any existing utilities as shown on these plans are based on records of the various utility companies, the governing municipality, and where possible, measurements taken in the field. The information provided is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on these plans.

***** SANITARY SEWER NOTE *****

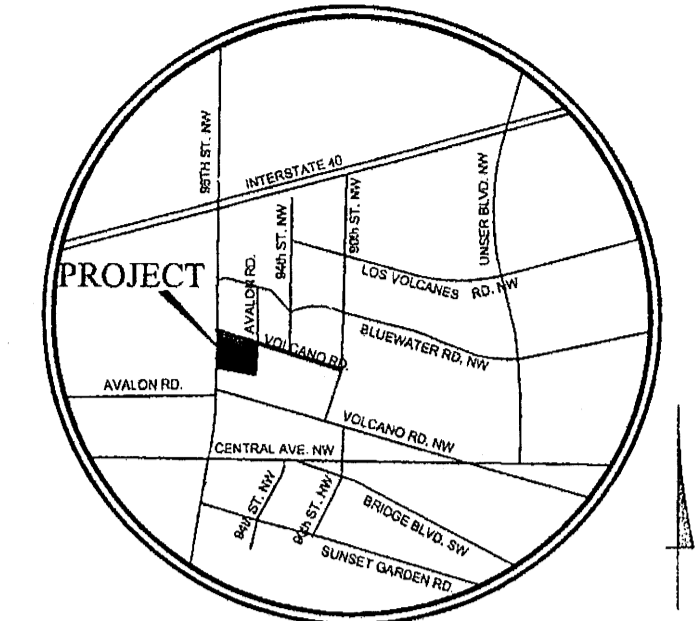
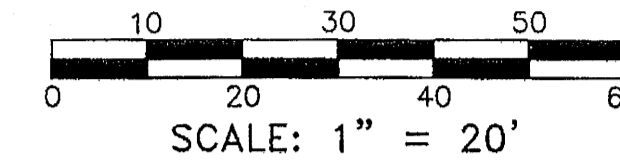
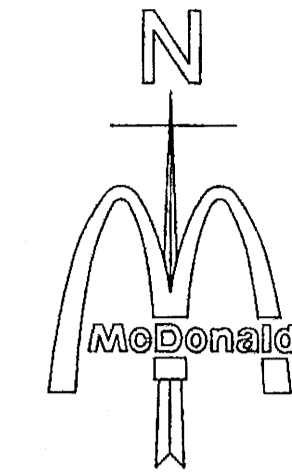
The Contractor shall verify location and flowline of existing manhole to be used, and shall install sanitary sewer line at minimum slopes per governing authority's design specifications.

***** UTILITY GENERAL CONDITIONS *****

All utility and electrical conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.

UTILITY CONTACTS

- COMPANY PNM-ELECTRIC AND GAS SERVICES
CONTACT: KELLY GRAGG
PHONE: 505-241-3490
- COMPANY CITY OF ALBUQUERQUE
CONTACT: ROGER GREEN
PHONE: 505-224-3889
- COMPANY QWEST CORPORATION
CONTACT: BEVERLY YOUNG
PHONE: 505-245-5934



GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- DOE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

***** LOOP DETECTORS *****

CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO SD2 FOR DETECTOR LOOP SPECIFICATIONS.

***** LOT LIGHTING *****

CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

UTILITY NOTE SCHEDULE

| MARK | MARK DESCRIPTION |
|------|------------------------------------------------------------------------------------------|
| A | 2" CONDUIT TO MENU BOARD FOR CONTROLS |
| B | 1/2" CONDUIT FROM BUILDING ELECTRIC PANEL TO MENU BOARD |
| C | 3/4" CONDUIT W/ LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION |
| D | 3/4" CONDUIT WITH WIRE (SITE LIGHTING) |
| F | 1/2" CONDUIT WITH WIRE (DIRECTIONAL SIGNAGE) |
| G | 1 1/2" EMPTY CONDUIT WITH WIRE (ROAD SIGN) |
| H | 2" GAS LINE-VERIFY IN FIELD SIZE AND TAP LOCATION |
| I | PROPOSED ELECTRIC TRANSFORMER |
| J | 3" CONDUIT FOR UNDERGROUND ELECTRIC SERVICE |
| K | UNDERGROUND TELEPHONE SERVICE TO SITE (GENERAL CONTRACTOR TO VERIFY CONNECTION LOCATION) |
| L | TWO-WAY SANITARY SEWER CLEANOUT |
| M | 1,500 GALLON GREASE TRAP PER GOVERNING AUTHORITY SPECIFICATIONS |
| N | SANITARY SEWER CLEANOUT WITH CAST IRON COVER |
| O | 3/4" CONDUIT WITH WIRE (TO T.E. STORAGE) |
| P | 3/4" WATER SERVICE TO TRASH ENCLOSURE |
| Q | BACK FLOW PREVENTER |

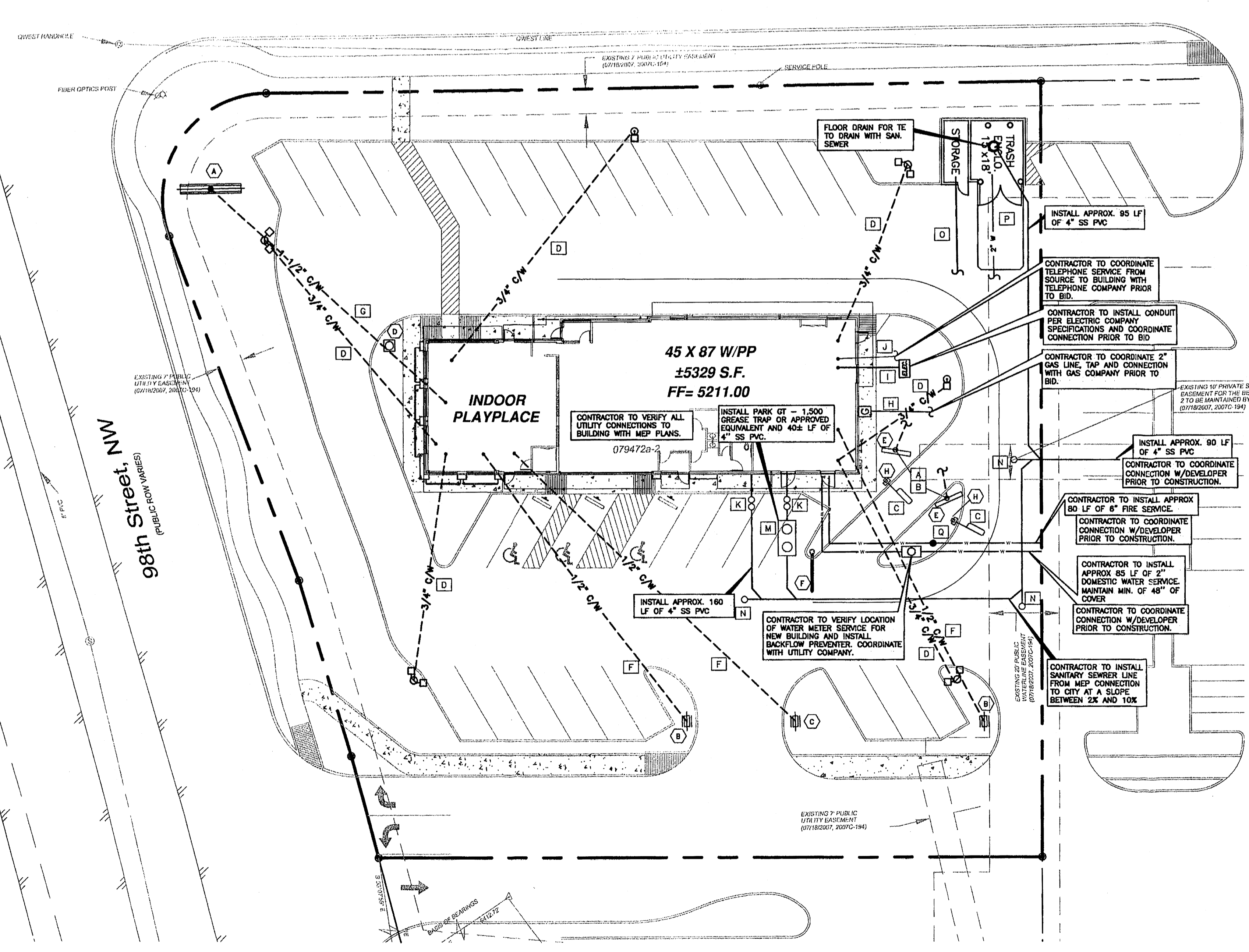
SIGN SCHEDULE

| NO. | MARK | MARK DESCRIPTION |
|-----|------|-----------------------------------|
| 1 | A | PROPOSED PYLON SIGN |
| 2 | B | 90-5 DIR. SIGN "THANK YOU" "EXIT" |
| 1 | C | 90-5 DIR. SIGN "WELCOME" "ENTER" |
| 1 | D | FLAG POLE 50' HIGH MAX. |
| 2 | E | FP-43 MENU BOARD ELEVATIONS |
| 1 | F | GATEWAY SIGN |
| 0 | G | 90-10 TRI-VIEW PRE-SELL BOARD |
| 2 | H | CUSTOMER ORDER DISPLAY |

Volcano Road, NW
(60' PUBLIC ROW)

98th Street, NW
(PUBLIC ROW (VARIES))

INDOOR PLAYPLACE
45 X 87 W/PP
±5329 S.F.
FF= 5211.00



PAVING SPECIFICATION VERIFY W/MCDONALD'S: ASPHALT: CONCRETE:
CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT SEPTEMBER 2007 PROJECT NO. 107-214

CONCRETE & ASPHALT

- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPER TRAFFIC. THE DUMPER APPROX SHALL BE 7" MIN.
- 8" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
- CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
- CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

SCAFFRY:

- SCAFFRY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
- THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

- McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

PREPARED BY: PRECISION SURVEYS, INC. LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THIS PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, ALBUQUERQUE, NEW MEXICO BERNALILLO COUNTY, NEW MEXICO
DATE: OCTOBER 09, 2007 DOC. NO. 2007104091 IN PLAT BOOK 2007C, PAGE 194

PLAN SCALE: 1" = 20'
ADDITION
KRANIA ADDITION
STREET ADDRESS
SEC OF VOLCANO RD. & 98TH ST. NW
CITY STATE
ALBUQUERQUE NEW MEXICO

COUNTY: BERNALILLO COUNTY SURVEY: ABSTRACT NO. L/C NUMBER: 030-0226 CORPORATE DWG. NAME: **UTILITY PLAN**

| | | | |
|------------|-------------|------|----|
| ISSUE REF. | DESCRIPTION | DATE | BY |
| | | | |
| | | | |

Adams ENGINEERING
15142
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
1-24-08

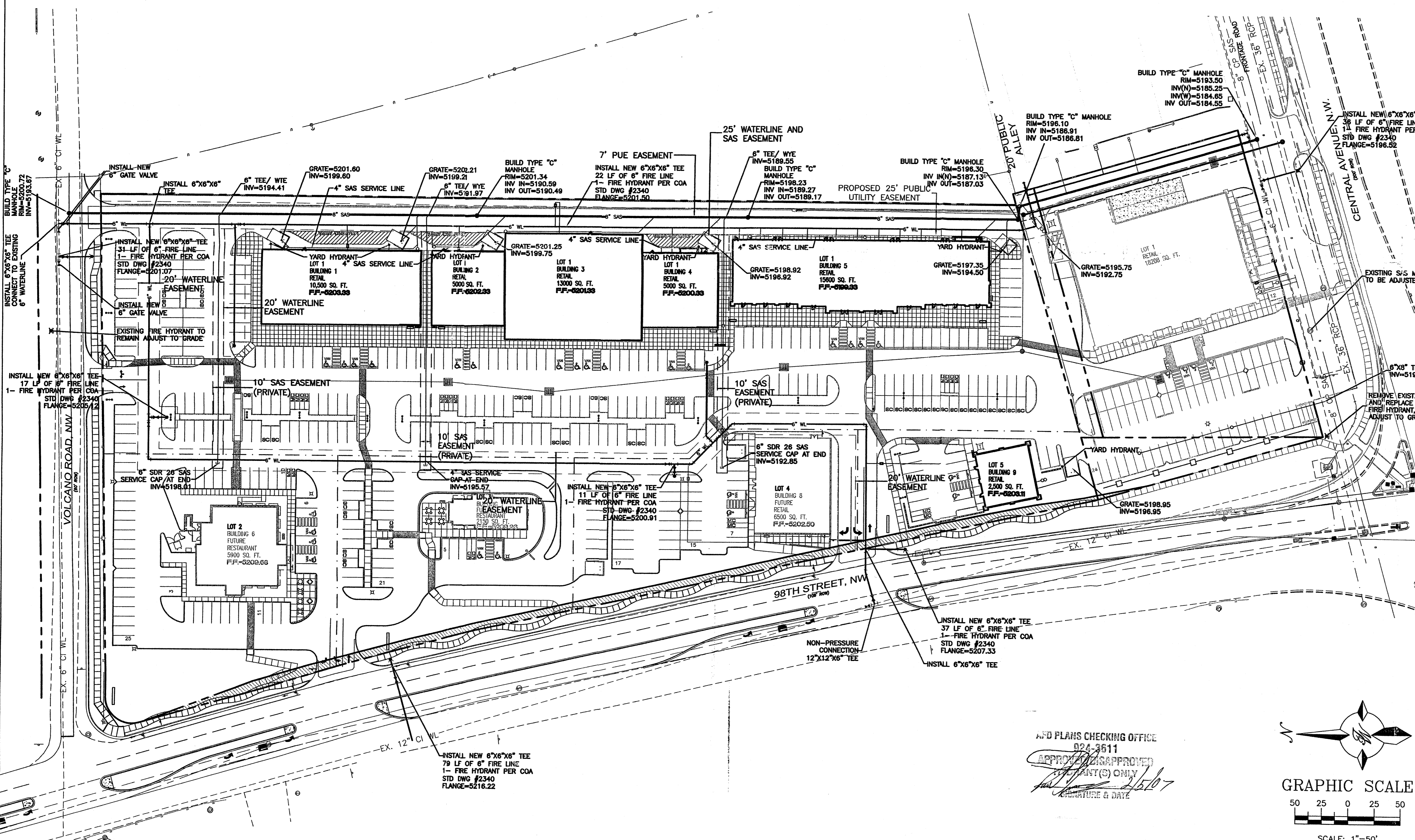
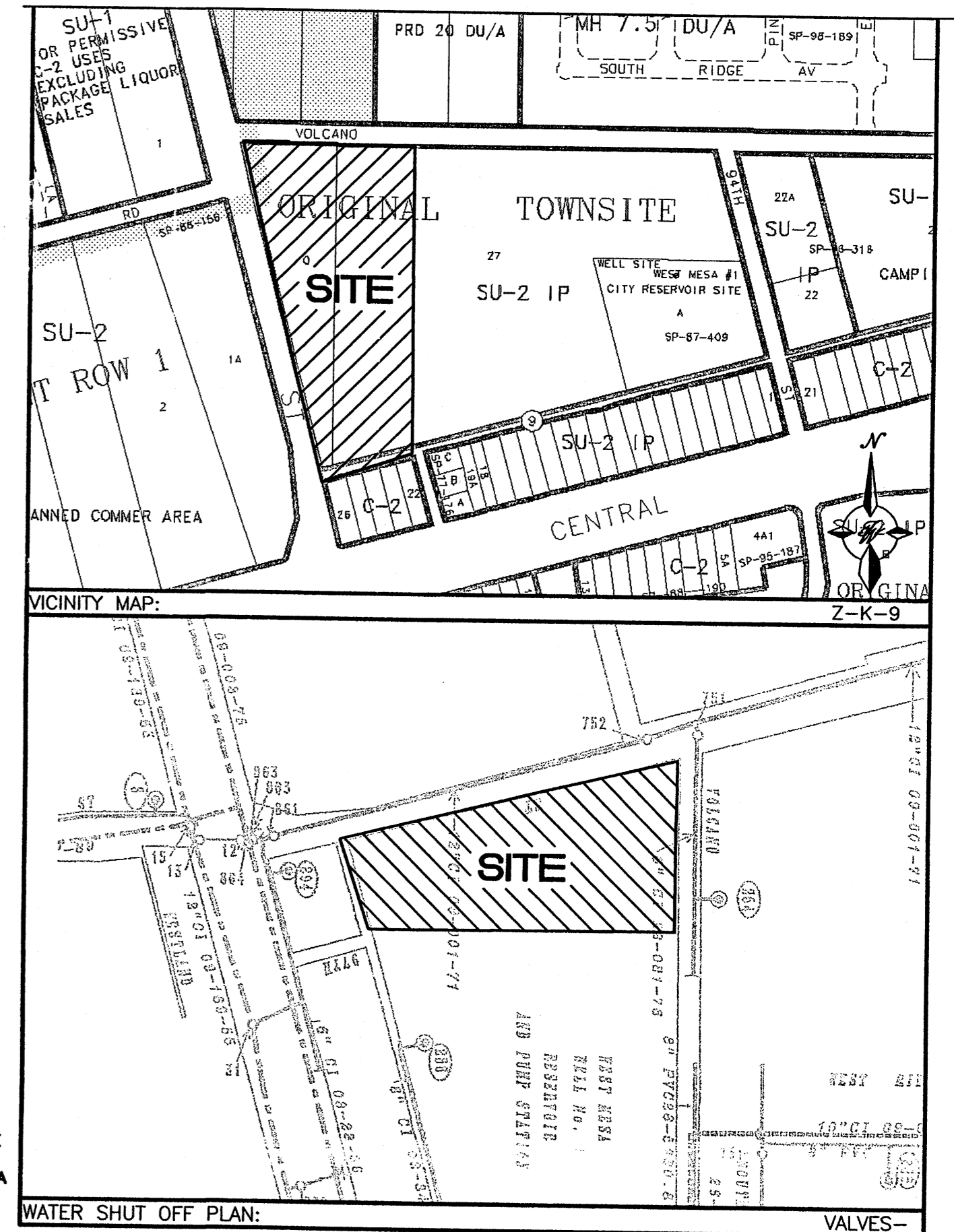
McDONALD'S
SEC OF VOLCANO RD. & 98TH ST. NW
ALBUQUERQUE, NEW MEXICO

| | |
|------------------------|-----------------------------------------|
| OFFICE | GREATER SOUTHWEST REGION |
| ADDRESS | KRIOC DRIVE - OAK BROOK, ILLINOIS 60521 |
| DATE | |
| PLAN APPROVALS | |
| SIGNATURE (2 REQUIRED) | |
| REGIONAL MGR. | |
| CONSTR. MGR. | |
| OPERATIONS DEPT. | |
| REAL ESTATE DEPT. | |
| CONTRACTOR | |
| OWNER | |
| STATUS | |
| DATE DRAWN | |
| PLAN CHECKED | |
| AS-BUILT | |

C8

NOTICE TO CONTRACTORS

1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. THERE SHALL BE NO DIRECT CONNECTION TO CITY WATER SYSTEM. ALL CONNECTIONS ARE TO BE MADE THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE OF SUFFICIENT SIZE TO MEET THE FLUSHING STANDARDS. A FLUSHING SCHEME SHALL BE PROVIDED BY THE CONTRACTOR TO OUR OFFICE DEMONSTRATING THE REQUIRED VOLUME AND FLOW WILL CLEAN THE LINES.



LEGEND

- - - - - EX. 8" SAS - - - - - EXISTING SANITARY SEWER LINE
- - - - - EX. 16" WL - - - - - EXISTING WATER LINE
- - - - - 8" SAS - - - - - PROPOSED SANITARY SEWER LINE
- - - - - 8" WL - - - - - PROPOSED WATER LINE
- - - - - PROPOSED CURB & GUTTER
- - - - - BOUNDARY LINE
- - - - - EXISTING BOUNDARY LINE
- - - - - - PROPOSED SAS MANHOLE
- - - - - - PROPOSED FIRE HYDRANT
- - - - - - STORM DRAIN INLET
- - - - - - DOUBLE CLEAN OUTS
- - - - - - PROPOSED LIGHT POLE

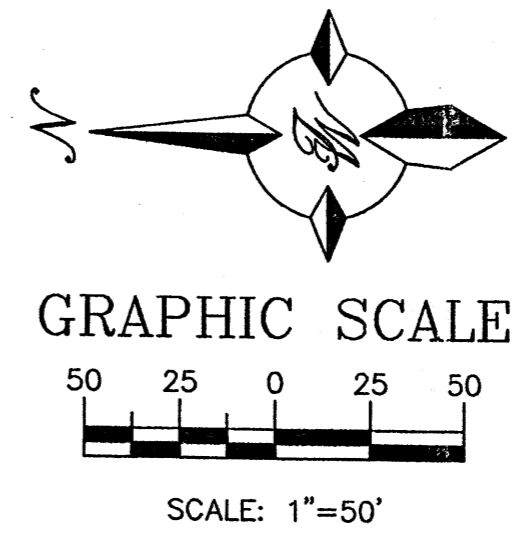
GENERAL NOTES:

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. 3/4" FROST PROOF YARD HYDRANTS TYPICAL AT ALL DUMPSTER LOCATIONS. MINIMUM 3" BURY.
6. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. LIGHT POLE LOCATIONS SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
9. REFER TO PLUMBING PLANS FOR EXACT WATER AND SEWER SERVICES TO BUILDING.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

APPROVED PLANS CHECKING OFFICE
 924-3611
 APPROVED FOR THE CONTRACTOR
 DATE: 1/10/07
 SIGNATURE & DATE



| | | |
|-----------------------------------------------------------------------------------------|----------------------------|---------------------------------------------------|
| ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 | 98TH AND CENTRAL | DRAWN BY EMT DATE 2-5-07 2566-MUB.dwg |
| | MASTER UTILITY PLAN | SHEET # 5 JOB # 25066 |
| TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | | |

OWNER INFORMATION
MCDONALD'S
 611 EAST CARPENTER FREEWAY
 SUITE 375
 IRVING, TX 75206
 (972) 869-5346
 CONTACT: JIMMY LOPEZ

*** GENERAL CONDITIONS ***
 ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE

*** LOOP DETECTORS ***
 CONTRACTOR TO REFER TO E1 ELECTRICAL ROUGH-IN PLAN FOR EXACT LOCATION OF LOOP DETECTOR AT DRIVE-THRU WINDOW. REFER TO S22 FOR DETECTOR LOOP SPECIFICATIONS.

*** STOP! CALL BEFORE YOU DIG! ***
 As required by New Mexico One Call System. Contractor must contact "NMO" (800-324-ALERT (2537) at least two days prior to any excavation operations being performed. It is the Contractor's responsibility to contact New Mexico One Call System.

BENCHMARK DESCRIPTION

- CITY OF ALBUQUERQUE SURVEY CONTROL 1 3/4" METALLIC DISK, STAMPED "ACS BM, 12-KP", EPOXYED TO TOP OF CONCRETE MANHOLE WITH A SLAB TOP INLET, NW QUADRANT OF 98TH ST. AND VOLCANO RD., N.W. ELEVATION = 5217.108 NGVD 1929 2ND-ORDER/1ST CLASS

*** NOTICE TO CONTRACTOR ***

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER MCDONALD'S ENGINEER OR APPROVED EQUAL. REF: SHEET TE-1 WITH 7" THICK X 12' X 25' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT AND MCDONALD'S)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SETBACK, SIZE, HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING SIGNAGE IN PLACE.
- THE LOCATION OF THE MENU BOARD AND PRE SELL BARRIERS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE MCDONALD'S ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ALL UTILITIES, CURBS, PAVEMENT, ETC., TO CONDITIONS EQUAL OR BETTER THAN EXISTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STORING ALL MATERIALS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ON SITE STAGING AREA AND SHALL NOT STAGE OR STORE MATERIALS OFF SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING WITH THE ELECTRIC COMPANY THE EXACT LOCATIONS OF THE TRANSFORMER.

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

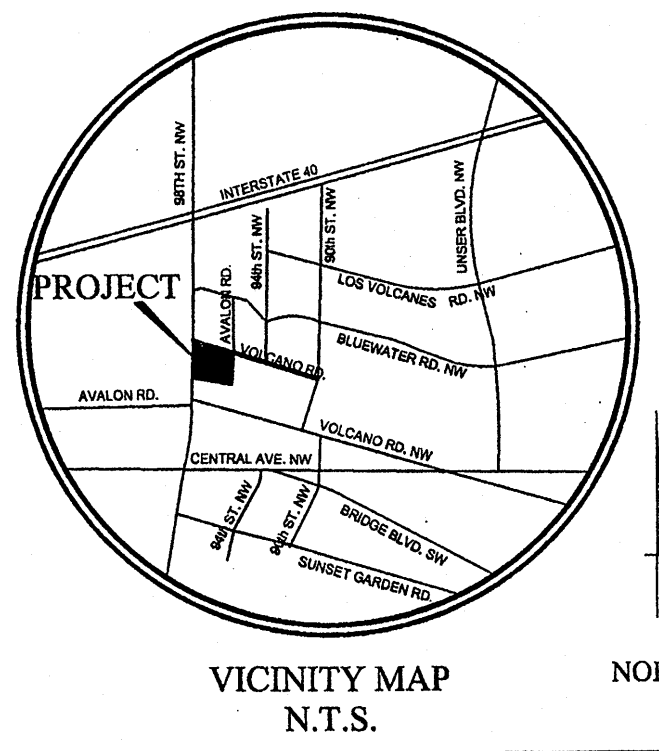
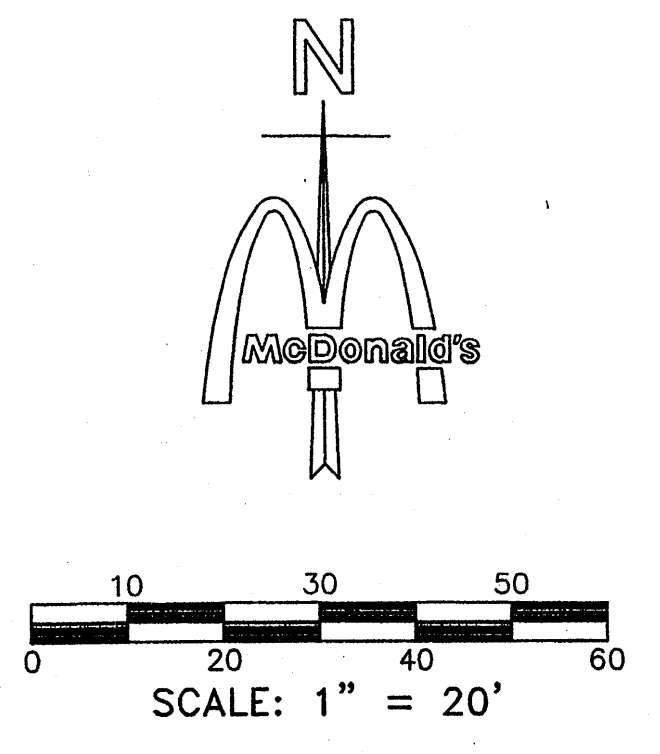
- ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS)
- EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 60" ABOVE GROUND SURFACE TO BOTTOM OF TEXT.
- ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES. ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

RAMPS:

- RAMPS EXCEEDING 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP AND SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- RAMPS SHALL HAVE A ROUGH (BROOM FINISH) SURFACE OR ABRASIVE TILE. RAMPS SHALL ALSO CONTAIN EITHER TRUNCATED DOMES OR 1/2" X 1/2" WIDE AND 1/4" - 2/8" O.C., ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) AND LIGHT AND REFLECTIVE VALUE MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
- BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 6'-0" LONG IN DIRECTION OF TRAVEL, MINIMUM. ALL LANDINGS SHALL BE AT LEAST AS LONG AS THE WIDTH OF THE RAMP THEY SERVE.
- RETURN-CURB RAMP WITH MAX SLOPE 1:12

SIDEWALKS AND ACCESSIBLE ROUTES:

- 36" MIN. ACCESS ROUTE (MAX. SLOPE 1:20)
- NEW SIDEWALK (MIN 3') TO PUBLIC WALK (MIN. SLOPE 1:20)
- CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
- LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)



*** LOT LIGHTING ***
 CONTRACTOR TO REFER TO SITE UTILITY PLAN FOR PRELIMINARY DESIGN LAYOUT. FINAL LAYOUT TO BE PROVIDED BY SECURITY LIGHTING. (800-544-4848)

SITE INFORMATION

| | |
|----------------------------|-----------------------------|
| TOTAL LAND AREA: | 1,117 A.C. (48,667 SF) |
| CURRENT ZONING: | SU2-PCA |
| EXISTING USE: | VACANT |
| PROPOSED USE: | RESTAURANT |
| APPROXIMATE BUILDING AREA: | -5,329 SF |
| BUILDING LOT COVERAGE: | 10.95% (5,329 SF/48,667 SF) |
| BUILDING HEIGHT: | 21'-4" |
| BUILDING REQUIRED PARKING: | 1 PER 4 SEATS |
| PARKING PROVIDED: | 28 |
| HANDICAP PARKING PROVIDED: | 49 |
| HANDICAP PARKING PROVIDED: | 3 |
| PERCENTAGE OF OPEN SPACE: | 19.64% (9,568 SF/48,667 SF) |

CONSTRUCTION SCHEDULE

| MARK | MARK DESCRIPTION |
|------|-----------------------------------------------------------------------------------------------------------------------|
| (1) | 6'X6" MONOLITHIC CURB (TYP.) PERIMETER OF SITE |
| (2) | 6'X6" VERTICAL CURB WITH GUTTER AT DRIVE-THRU SIDE ONLY |
| (3) | DETECTOR LOOP (LOCATION TO BE APPROVED BY MCDONALD'S) |
| (4) | H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE |
| (5) | PROPOSED CONCRETE WHEEL STOP (3 TOTAL) |
| (6) | PROPOSED SIDEWALK |
| (7) | FUTURE CURB |
| (8) | PRE TREAT FOR TERMITE CONTROL |
| (9) | PAVING SYMBOLS |
| (10) | 3-2" PVC ROOF DRAINS FROM D.S. TO OUT FLOW AT CURB/BLDG. |
| (11) | PROPOSED GAS METER LOCATION |
| (12) | PROPOSED WATER METER |
| (13) | LANDSCAPE CONTRACTOR TO FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS |
| (14) | TRANSFORMER LOCATION |
| (15) | PROPOSED HANDICAP ACCESSIBLE ROUTE |

NOTE
 Contractor shall contact local waste collection company, prior to trash enclosure construction, to verify that truck servicing site is (front) loading. If company does not offer this type of loading, contractor is to notify Adams Engineering immediately for a revised trash enclosure layout

RETAINING / SCREEN WALL NOTE
 Retaining walls and screening walls shown hereon are approximate locations and are shown for graphical representation purposes only. The actual design, location, selection of materials, structural engineering, geotechnical engineering, construction observation, staking, testing and structural or geotechnical review shall be performed by others as selected by the owner and/or developer. ADAMS Engineering shall in no way have any responsibility as it relates to the retaining walls or screening walls associated with this project.

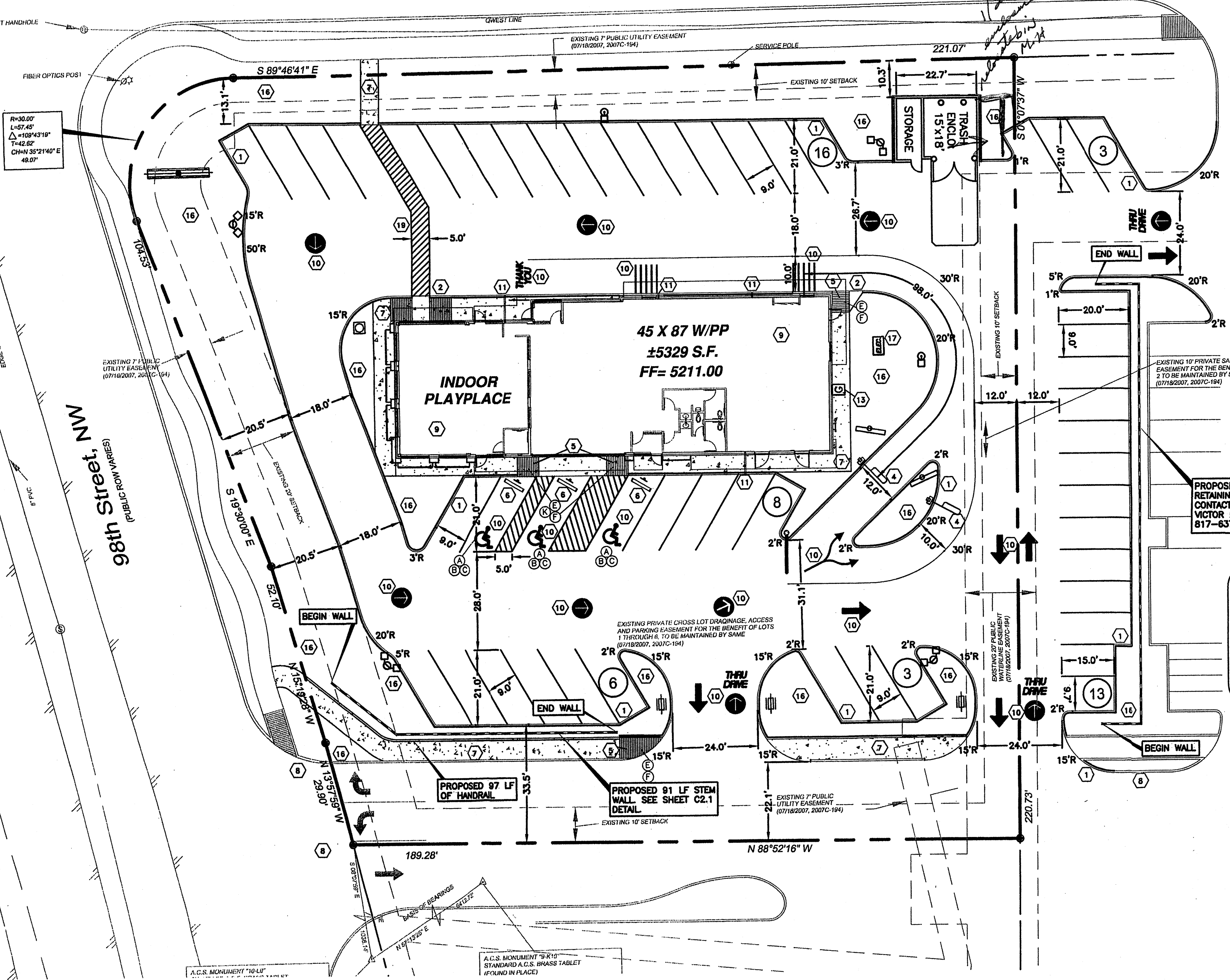
CITY OF ALBUQUERQUE
 "SOLID WASTE"
 MANAGEMENT DEPARTMENT
 APPROVED *(signature)*
 M.H.
 1/23/08

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

CONTRACTOR TO VOID STORM PIPING PLAN ON SHEET P1.2 OF ARCHITECTURALS. CITY/STATE DOES NOT HAVE PUBLIC STORM SEWER IN PLACE.

Volcano Road, NW
 (80' PUBLIC ROW)

98th Street, NW
 (PUBLIC ROW VARIES)



GENERAL NOTES

- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- FINISH GRADE TO BE ONE INCH (1") BELOW TOP OF CURB IN ALL LAWN AND TWO INCHES (2") BELOW TOP OF CURB IN ALL BED AREAS. FINISH GRADING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.
- ALL MATERIALS AND CONSTRUCTION WITHIN EASEMENTS AND R.O.W. SHALL CONFORM TO THE ALBUQUERQUE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.

PAVING SPECIFICATION

| | | |
|----------------------|----------------------------------------------|-----------------------------------------------|
| VERIFY W/MCDONALD'S: | ASPHALT: <input checked="" type="checkbox"/> | CONCRETE: <input checked="" type="checkbox"/> |
| CONTRACTOR TO BID: | ASPHALT: <input checked="" type="checkbox"/> | CONCRETE: <input checked="" type="checkbox"/> |

NOTE:
 ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:
 APEX GEOSCIENCE INC.
 SEPTEMBER 2007
 PROJECT NO. 107-214

CONCRETE & ASPHALT

- 5" MIN. THICKNESS FOR DRIVES AND 6" OR MORE IN AREAS SUBJECT TO TRUCK AND DUMPSTER TRAFFIC. THE DUMPSTER APRON SHALL BE 7" MIN.
- 8" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
- CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER.
- CONCRETE SHALL HAVE A MIN. 28-DAY COMPRESSIVE STRENGTH OF 3700 PSI CONTAINING A MIN. 5% ±1% ENTRAINED AIR WITH NO. 3 BARS AT 18" O.C.E.W.

SCAFFRY:

- SCAFFRY THE SUBGRADE TO A MIN. 8" AND COMPACT TO 95% OF THE STANDARD PROCTOR (ASTM D 698) MAX. DRY DENSITY.
- THE SUBGRADE SHALL BE COMPACTED AT MOISTURE CONTENTS AT OR ABOVE THE OPTIMUM MOISTURE CONTENT PER THE GEOTECH REPORT.

NOTE:

- MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

SURVEY INFORMATION

| | | |
|-----------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| PREPARED BY: PRECISION SURVEYS, INC. | LEGAL DESCRIPTION: LOT NUMBERED TWO (2) OF THE PLAT OF LOTS 1, 2, 3, 4, 5 AND 6 KRANIA, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO DOC. NO. 2007194991 IN PLAT BOOK 2007C, PAGE 194 DATE: OCTOBER 09, 2007 | |
| PLAN SCALE: 1" = 20' | | |
| ADDITION KRANIA ADDITION STREET ADDRESS SEC OF VOLCANO RD. & 98TH ST. NW | | |
| CITY ALBUQUERQUE | STATE NEW MEXICO | |
| COUNTY: BERNALILLO COUNTY | SURVEY: --- | ABSTRACT NO. --- |
| L/C NUMBER: 030-0226 | CORPORATE DWG. NAME SITE PLAN | |

| REV | DATE | DESCRIPTION | BY | ISSUE REF. |
|-----|------|-------------|----|------------|
| | | | | |
| | | | | |

Adams ENGINEERING
 PROFESSIONAL ENGINEERING FIRM

G. Robert Adams
 G. ROBERT ADAMS
 NEW MEXICO
 15142
 LICENSED PROFESSIONAL ENGINEER
 13-08

MCDONALD'S
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: GREATER SOUTHWEST REGION
 ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521
 SEC OF VOLCANO RD. & 98TH ST. NW
 ALBUQUERQUE, NEW MEXICO
 MCDONALD'S I.C. 090-0226
 ADAMS ENGINEERING No. 2006-256

| PLAN APPROVALS | SIGNATURE (2 REQUIRED) | DATE |
|-------------------|------------------------|------|
| REGIONAL MGR. | | |
| CONST. MGR. | | |
| OPERATIONS DEPT. | | |
| REAL ESTATE DEPT. | | |
| CONTRACTOR | | |
| OWNER | | |

| STATUS | DATE | BY |
|--------------|------|-----|
| DATE DRAWN | | RL |
| PLAN CHECKED | | RLS |
| AS-BUILT | | |

C3

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

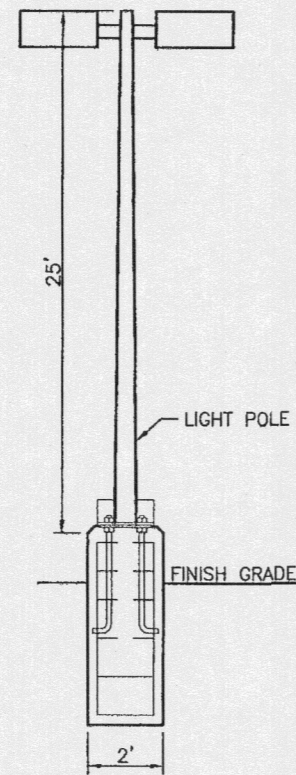
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLEMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY



LIGHT POLE DETAIL
NTS

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELGATED DOWN TO DRB.

PROJECT NUMBER: 1004354

APPLICATION NUMBER: 02-00033

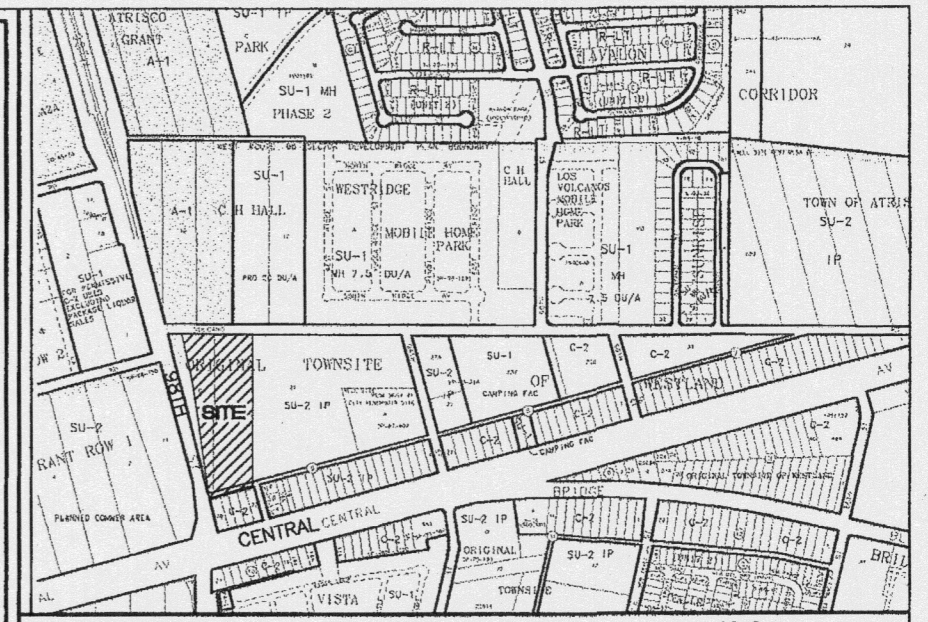
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes AT No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---------------------------------------------------------------------|----------------|
| <i>[Signature]</i> Traffic Engineer, Transportation Division | 2/7/07 Date |
| <i>[Signature]</i> Water Utility Development | 2/7/07 Date |
| <i>[Signature]</i> Parks & Recreation Department | 2/7/07 Date |
| <i>[Signature]</i> City Engineer | 2/7/07 Date |
| <i>[Signature]</i> Environmental Health Department (conditional) | Date |
| <i>[Signature]</i> Solid Waste Management | 7/5/07 Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | 7/5/07 Date |

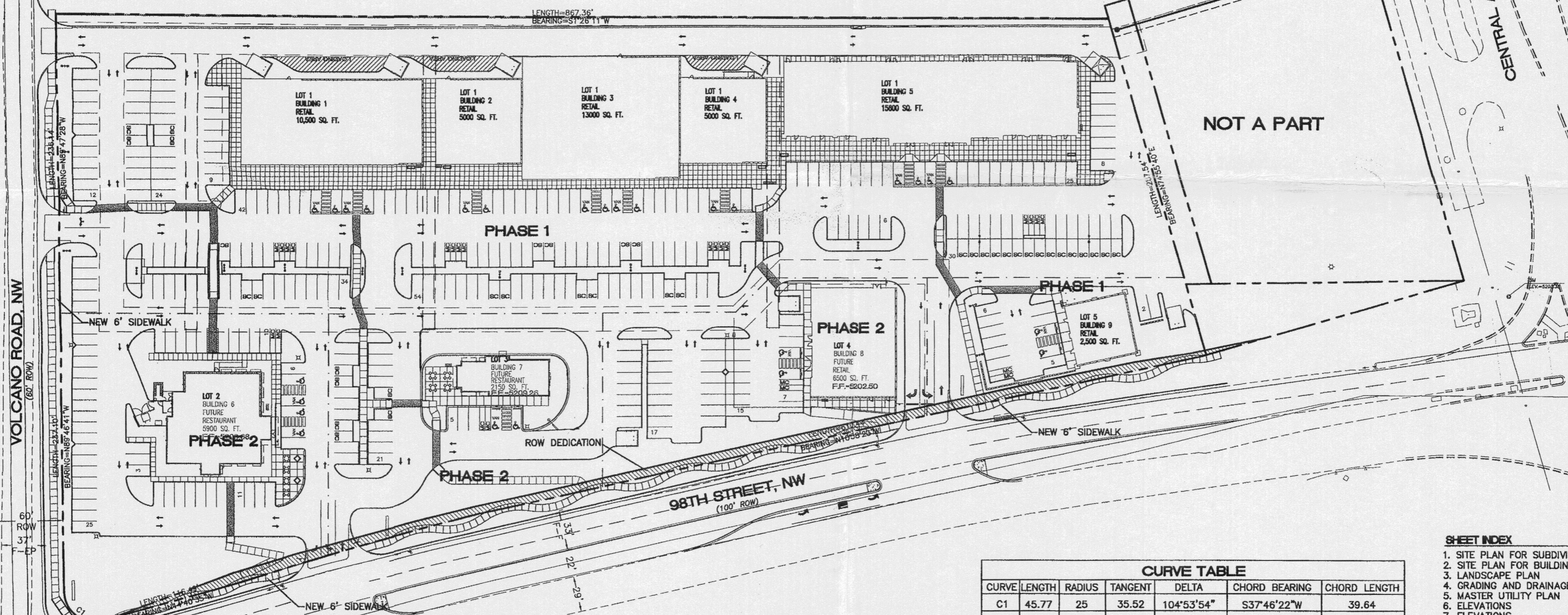
* Environmental Health, if necessary



VICINITY MAP: K-9
LEGAL DESCRIPTION: PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- - - EXISTING CURB AND GUTTER
- ==== CURB AND GUTTER
- ==== SCREEN WALL
- ==== RETAINING WALL
- ==== PROPOSED SIDEWALK
- ==== EXISTING BOUNDARY
- ==== CROSSWALK
- ==== BIKE RACK
- o-o-o PARKING LOT LIGHTING
- ==== ROW DEDICATION



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

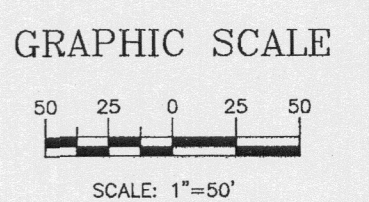
SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------|---------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 IP | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | 1 | | 5,000 | RETAIL | SU-2 IP | 25 | 249 | 1 | 2 | 1 | 1 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 3 | 1 | | 13,000 | RETAIL | SU-2 IP | 65 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | 1 | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | 1 | | 15,600 | RETAIL | SU-2 IP | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT | SU-2 IP | 48 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 2,150 | RESTAURANT | SU-2 IP | 18 | 21 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.791 | 6,500 | RETAIL | SU-2 IP | 33 | 39 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | 6 | 8.051 | 68,550 | | | 358 | 372 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | 24 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

SHEET INDEX

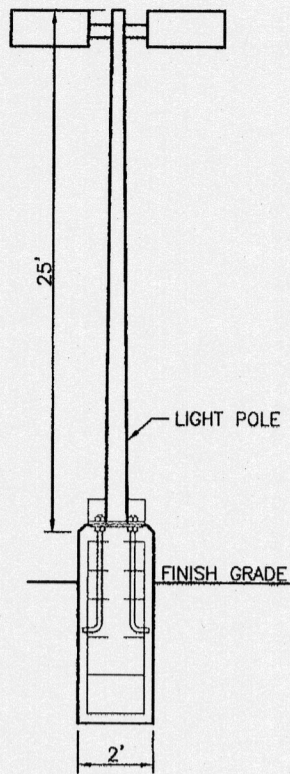
1. SITE PLAN FOR SUBDIVISION
2. SITE PLAN FOR BUILDING PERMIT
3. LANDSCAPE PLAN
4. GRADING AND DRAINAGE PLAN
5. MASTER UTILITY PLAN
6. ELEVATIONS
7. ELEVATIONS
8. ELEVATIONS
9. ELEVATIONS
10. DETAILS



| | | |
|-----------------------------------------------------------------------------------------|---------------------------------------------|-----------------|
| | NORTHEAST CORNER OF 98TH AND CENTRAL | DRAWN BY EMT |
| | SITE PLAN FOR SUBDIVISION | DATE 2-5-07 |
| TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100 | SHEET # 1 | 2566-SPSE.dwg |
| RONALD R. BOHANNAN P.E. #7868 | JOB # 25066 | |

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPEROUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUILDINGS CANNOT EXCEED THE HEIGHTS AS SPECIFIED BY THE SU-2 1P CITY ZONING CODE.
- THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
- BUS ROUTE 54 RUNS FROM 98TH STREET, NW TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, AND 4 TO BE DELEGATED TO DRB.



LIGHT POLE DETAIL
NTS

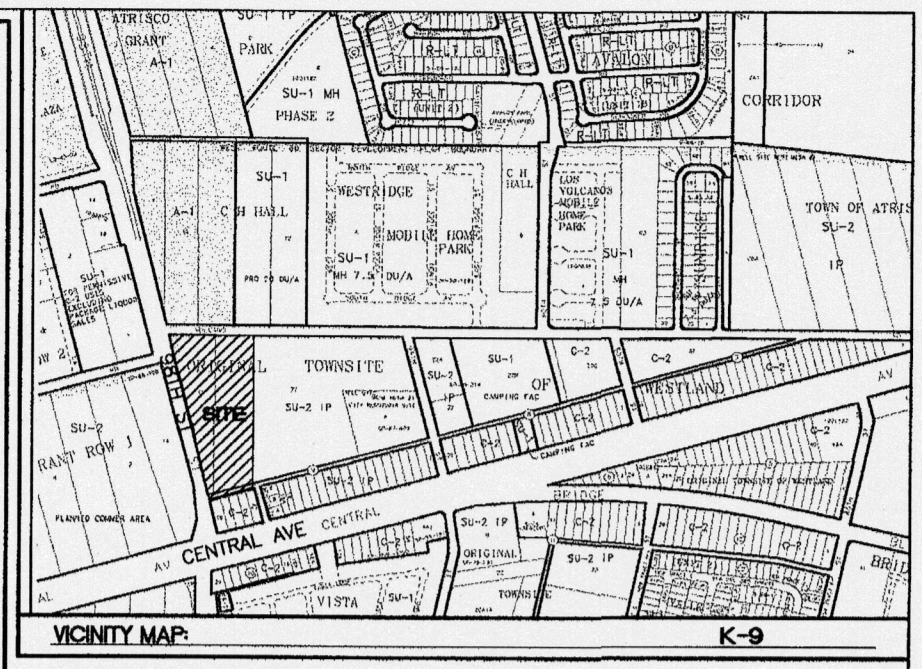
PROJECT NUMBER: 1004354
APPLICATION NUMBER: 17-00034

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? Yes No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|---------------------------------------------------------------------|-----------------|
| <i>[Signature]</i> Traffic Engineer, Transportation Division | 2-7-07 Date |
| <i>[Signature]</i> Water Utility Development | 2/7/07 Date |
| <i>[Signature]</i> Parks & Recreation Department | 2/7/07 Date |
| <i>[Signature]</i> City Engineer | 7/3/07 Date |
| <i>[Signature]</i> Environmental Health Department (conditional) | Date |
| <i>[Signature]</i> Solid Waste Management | 7/5/07 Date |
| <i>[Signature]</i> DRB Chairperson, Planning Department | 7/05/07 Date |

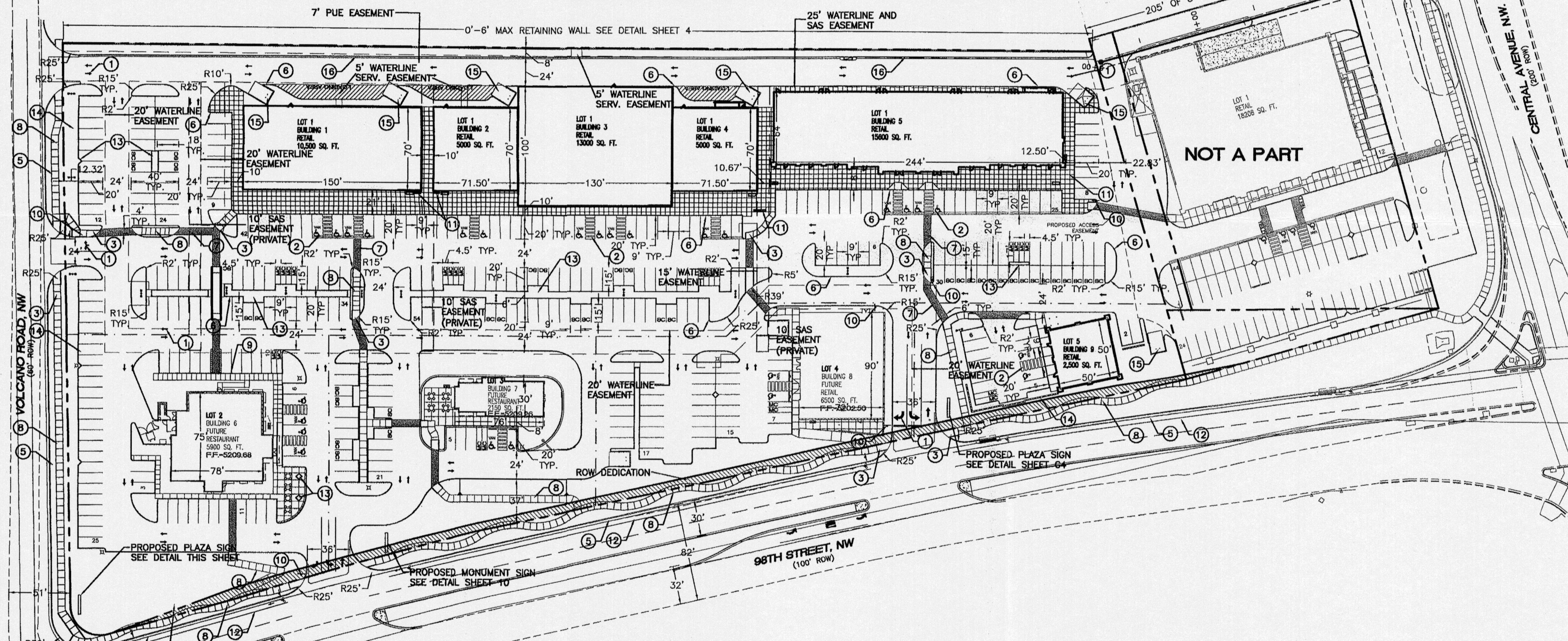


LEGAL DESCRIPTION:
TRACT OR ORIGINAL TOWNSITE OF WESTLAND

LEGEND

| | |
|---------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - | EASEMENT |
| --- | EXISTING CURB AND GUTTER |
| --- | CURB AND GUTTER |
| --- | SCREEN WALL |
| --- | RETAINING WALL |
| --- | PROPOSED SIDEWALK |
| --- | EXISTING BOUNDARY |
| --- | CROSSWALK |
| --- | BIKE RACK |
| --- | PARKING LOT LIGHTING |
| --- | BENCH |
| --- | ROW DEDICATION |

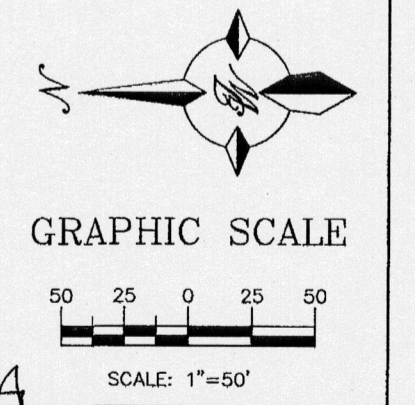
- KEYED NOTES:**
- PAINTED DIRECTIONAL ARROW TYPICAL.
 - ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" - INDICATES VAN ACCESSIBLE SPACE).
 - UNIDIRECTIONAL HC RAMP.
 - PROPOSED HC RAMP PER COA STD DWG #2441.
 - 8" STANDARD CURB AND GUTTER PER COA STD DWG #2415A.
 - 6" CONCRETE HEADER CURB
 - 6" WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK.
 - 6" CONCRETE SIDEWALK TYPICAL.
 - TRASH COMPACTOR
 - "STOP" SIGN. SEE PLAN FOR LOCATION.
 - 5 SPACE BIKE RACK TYPICAL.
 - NEW 6" BIKE PATH.
 - TREE PLANTER TYPICAL.
 - RETAINING WALL TAN CMU SEE SHEET 10.
 - DUMPSTER WITH ENCLOSURE SEE SHEET 10 FOR DETAILS.
 - 6" CONCRETE CURB AND GUTTER



SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------|---------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 IP | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 IP | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 IP | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 IP | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT | SU-2 IP | 48 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.870 | 2,150 | RESTAURANT | SU-2 IP | 18 | 21 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4 | 0.791 | 6,500 | RETAIL | SU-2 IP | 33 | 39 | 2 | 2 | 1 | 1 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 9 | 5 | 0.450 | 2,500 | RETAIL | SU-2 IP | 13 | 13 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | 6 | 8.051 | 68,550 | | | 358 | 372 | 21 | 26 | 9 | 13 | 17 | 45 | 16 | 24 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS



ENGINEER'S SEAL
[Seal]
RONALD R. BOHANNAN
P.E. #7868

KRANIA
NORTHEAST CORNER OF 98TH AND CENTRAL
SITE PLAN FOR BUILDING PERMIT
TIERRA WEST, LLC
8508 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100
DRAWN BY EMT
DATE 2-5-07
2566-SPB.dwg
SHEET # 2
JOB # 25066

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE. THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

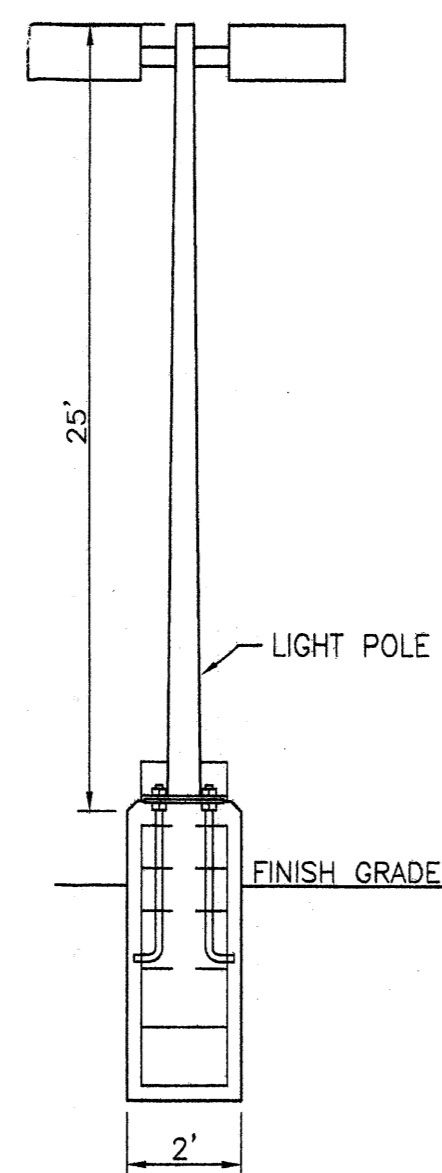
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLIMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND Pylon SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
- SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.
- NO PACKAGE LIQUOR SALES ON THIS SITE
- MAXIMUM NUMBER OF DRIVE-THRU BUSINESSES, LIMITED TO THREE (3).

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

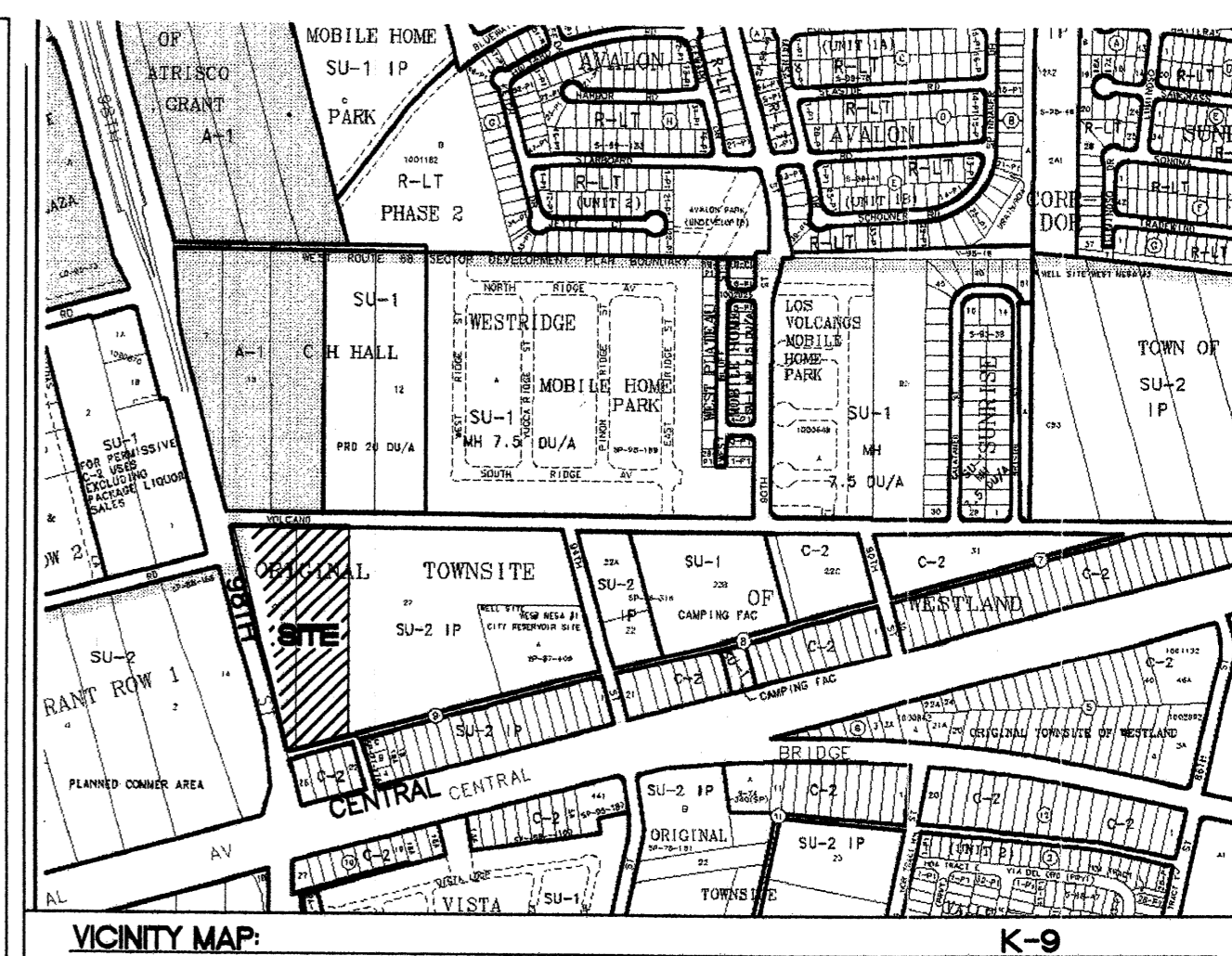
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

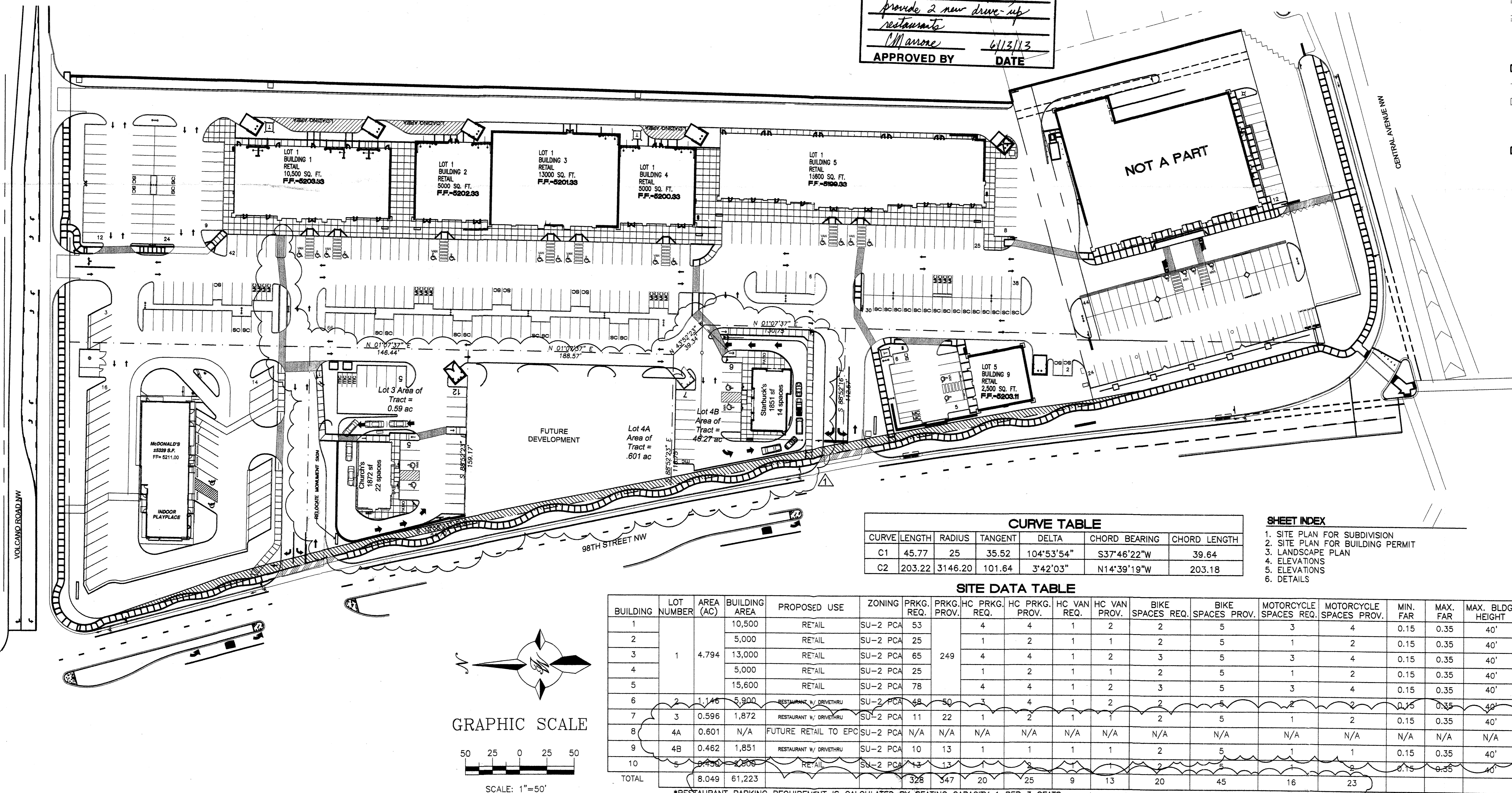


LEGAL DESCRIPTION:
 PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

| | |
|-----------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - - | EASEMENT |
| ===== | EXISTING CURB AND GUTTER |
| ===== | CURB AND GUTTER |
| ===== | SCREEN WALL |
| ===== | RETAINING WALL |
| ===== | PROPOSED SIDEWALK |
| ===== | EXISTING BOUNDARY |
| ===== | CROSS WALK |
| ===== | BIKE RACK |
| ===== | PROPOSED SIDEWALK |
| ===== | ROW DEDICATION |

ADMINISTRATIVE AMENDMENT
 FILE # 13.10223 PROJECT # 1004354
 subdivide 2 lots into 3
 provide 2 new drive up restaurants
 M. Amore 6/13/13
 APPROVED BY DATE

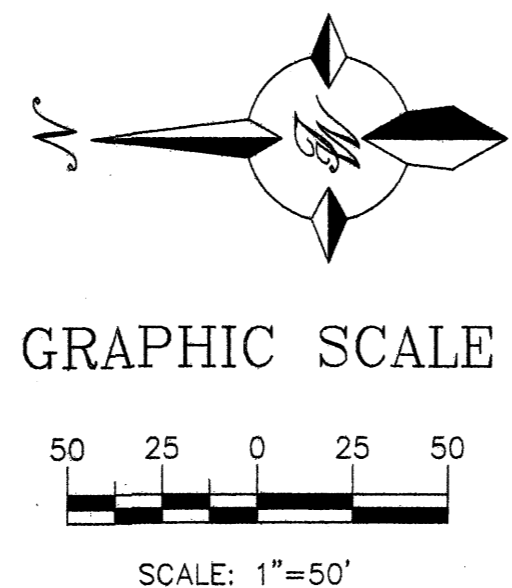


CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SHEET INDEX

| | |
|----|-------------------------------|
| 1. | SITE PLAN FOR SUBDIVISION |
| 2. | SITE PLAN FOR BUILDING PERMIT |
| 3. | LANDSCAPE PLAN |
| 4. | ELEVATIONS |
| 5. | ELEVATIONS |
| 6. | DETAILS |



SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------------------|----------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 68 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.596 | 1,872 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 11 | 22 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| 10 | 5 | 0.430 | 2,806 | RETAIL | SU-2 PCA | 14 | 13 | | | | | 2 | 5 | | | | | |
| TOTAL | | 8.049 | 61,223 | | | 326 | 347 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | 23 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

H+W
 architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.306.8238
 fax 505.508.4478
 email: hpluw@comcast.net

NORTHEAST CORNER OF
 98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
 AMENDED SITE PLAN
 FOR SUBDIVISION.

Date: May 8, 2013

Drawn: S.T.WILDER

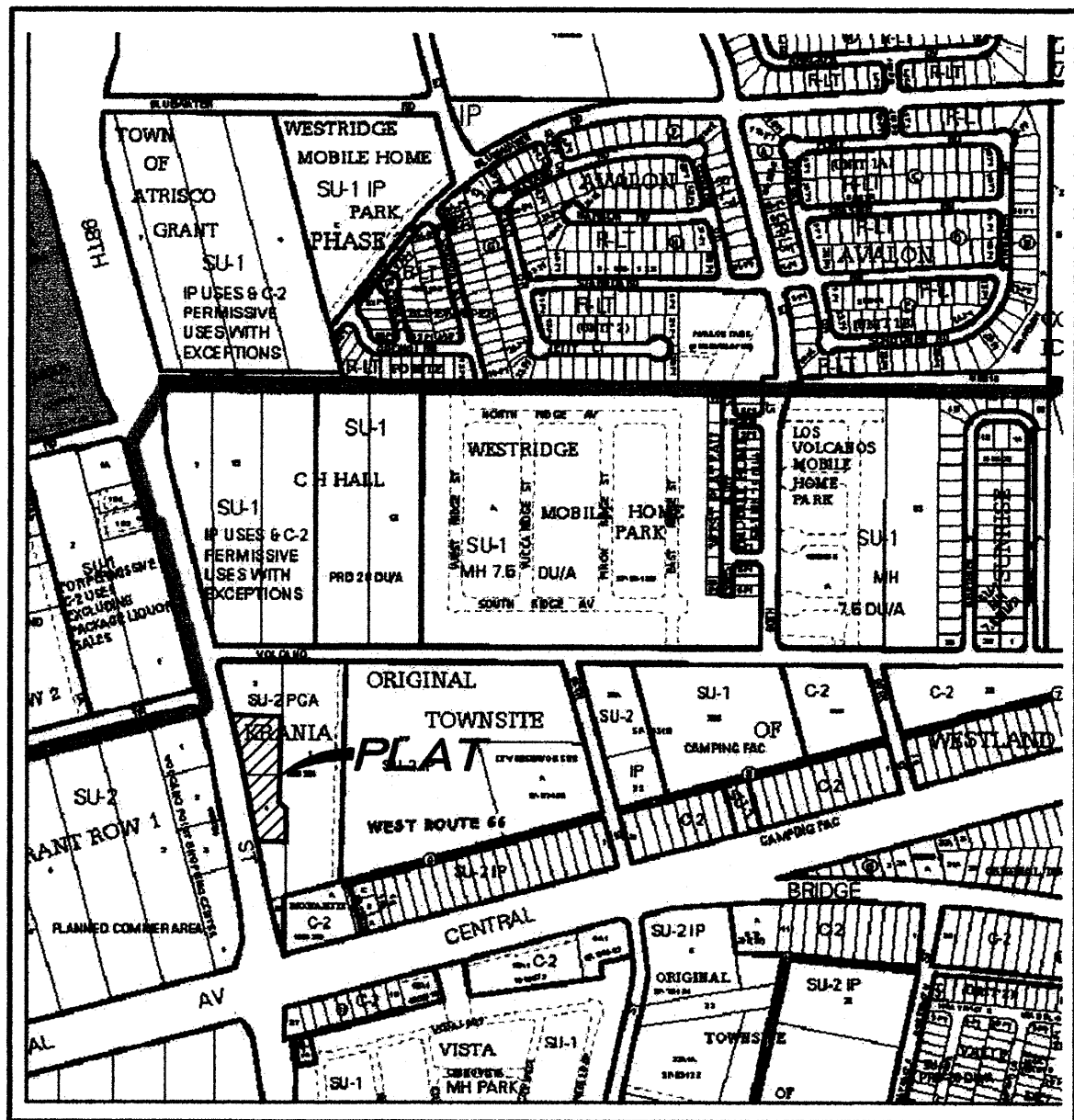
Checked: S.T.WILDER

Revision: 6/02/13

Seal:

JOB NUMBER: H28008

001



VICINITY MAP
N.T.S.

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 83).
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page K-9.

SUBDIVISION DATA

- Total number of existing Lots: 2
- Total number of Lots created: 3
- Gross Subdivision acreage: 1.5792 acres.

PURPOSE OF PLAT

The Purpose of this replat is to:

- Eliminate the existing interior lot line between Lots 3 and 4 and create three (3) new lots as shown hereon.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

Date

LEGAL DESCRIPTION

Lots numbered Three (3) and Four (4) of Krania, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on July 18, 2007 in Plat Book 2007C, Page 194.

Said parcel contains 1.5792 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATED and now comprising, LOTS 3-A, 3-B AND 4-A, KRANIA (BEING A REPLAT OF LOTS 3 AND 4, KRANIA) WITHIN THE TOWN OF ATRISCO GRANT IN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF LOTS 3 AND 4, KRANIA
KRANIA LLC,
a New Mexico limited liability company

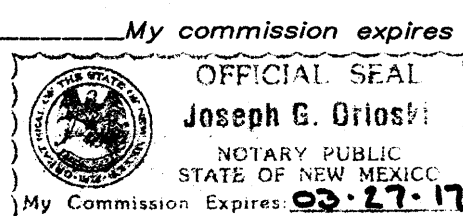
By *Pete Daskalos*
Pete Daskalos, Manager

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 24th day of JUNE, 2013, by Pete Daskalos.

Notary Public



PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation d/b/a/ Century Link (QC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

LOTS 3-A, 3-B AND 4-A

KRANIA

(BEING A REPLAT OF LOTS 3 AND 4, KRANIA)

WITHIN
THE TOWN OF ATRISCO GRANT
IN

PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE 2013

PROJECT NUMBER: _____

PLAT APPROVAL

UTILITY APPROVALS:

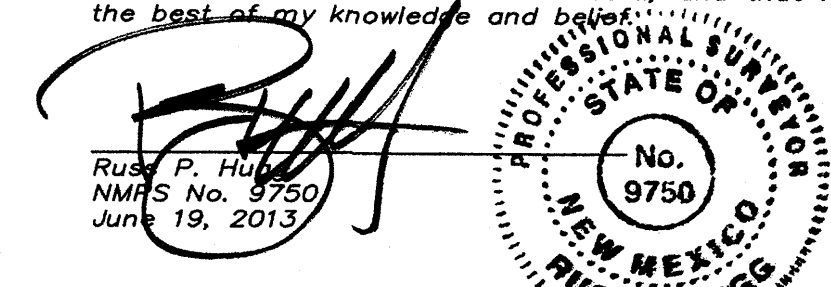
| | | |
|----------------------------------------|-------|------|
| Public Service Company of New Mexico | _____ | Date |
| New Mexico Gas Company | _____ | Date |
| QWest Corporation d/b/a CenturyLink QC | _____ | Date |
| Comcast | _____ | Date |

CITY APPROVALS:

| | | |
|-----------------------------------------------------------------------------|----------------|------|
| <i>Russ P. Hugg</i> City Surveyor Department of Municipal Development | <u>6-24-13</u> | Date |
| Real Property Division | _____ | Date |
| Environmental Health Department | _____ | Date |
| Traffic Engineering, Transportation Division | _____ | Date |
| ABCWUA | _____ | Date |
| Parks and Recreation Department | _____ | Date |
| AMAFCA | _____ | Date |
| City Engineer | _____ | Date |
| DRB Chairperson, Planning Department | _____ | Date |

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



SHEET 1 OF 2

SURV TEK, INC.

Consulting Surveyors Phone: 505-897-3366
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Fax: 505-897-3377

LOTS 3-A, 3-B AND 4-A KRANIA

(BEING A REPLAT OF LOTS 3 AND 4, KRANIA)
 WITHIN
 THE TOWN OF ATRISCO GRANT
 IN
 PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JUNE 2013

Albuquerque Control Station Monument "B-K9"
 New Mexico State Plane Coordinates
 (Central Zone) - NAD 83
 Northing = 1,484,994.639
 Easting = 1,492,463.769
 Elevation = 5,250.166 (NAVD 1988)
 Delta Alpha = -0017'03.21"
 Ground to Grid Factor = 0.999677891

LOT 1

VOLCANO POINT SHOPPING CENTER
 Filed July 13, 2007 in Plat Book 2007C, Page 186

LOT 2

LOT 3

LOT 2
KRANIA

Filed July 18, 2007 in Plat Book 2007C, Page 194

LOT 1

LOT 1
KRANIA

Filed July 18, 2007 in Plat Book 2007C, Page 194

LOT 3-A
0.5719 Ac.

LOT 3

LOT 3-B
0.5715 Ac.

LOT 4

LOT 4-A
0.4358 Ac.

LOT 1

LOT 5
KRANIA

Filed July 18, 2007 in Plat Book 2007C, Page 194

Set PK Nail and brass disc stamped "L.S. 9750" (typical all corners)

Set PK Nail and brass disc stamped "L.S. 9750" (typical all corners)

Set PK Nail and brass disc stamped "L.S. 9750" (typical all corners)

Set PK Nail and brass disc stamped "L.S. 9750" (typical all corners)

98TH STREET

N.W.

124' R/W

124' R/W

S88°52'16"E 189.29'

S88°52'23"E 152.46'

S88°52'23"E 111.55'

N88°52'16"W 104.97'

Existing Lot line eliminated by this plat

EXISTING EASEMENT LEGEND

- (A) = Existing 7' Public Utility Easement granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (B) = Existing 20' Public Waterline Easement granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (C) = Existing 10' Private Sanitary Sewer Easement for the benefit Lots 3 and 4 to be maintained by same, granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (D) = Existing 10' Private Cross Lot Drainage, Access and Parking Easement for the benefit Lots 1 through 6 to be maintained by same, granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194

NEW EASEMENT LEGEND

- (E) = Public Water Easement granted to ABCWUA by this plat.
- (F) = 10' Private Sanitary Sewer Easement for the benefit Lot 3-B to be maintained by same, granted by plat this plat.

LINE TABLE

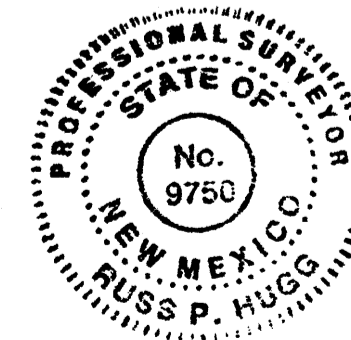
| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 39.34 | S43°52'23"E |
| L2 | 50.74 | N11°06'36"W |
| L3 | 54.21 | N12°29'27"W |
| L4 | 51.69 | N13°57'01"W |
| L5 | 21.70 | N13°57'59"W |



GRAPHIC SCALE



(IN FEET)
 1 inch = 40 ft.



SHEET 2 OF 2

SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

LOTS 3-A, 3-B AND 4-A KRANIA

(BEING A REPLAT OF LOTS 3 AND 4, KRANIA)

WITHIN
THE TOWN OF ATRISCO GRANT
IN
PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JUNE 2013

EXISTING EASEMENT LEGEND

- (A) = Existing 7' Public Utility Easement granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (B) = Existing 20' Public Waterline Easement granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (C) = Existing 10' Private Sanitary Sewer Easement for the benefit Lots 3 and 4 to be maintained by same, granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194
- (D) = Existing 10' Private Cross Lot Drainage, Access and Parking Easement for the benefit Lots 1 through 6 to be maintained by same, granted by plat filed July 18, 2007 in Plat Book 2007C, Page 194

NEW EASEMENT LEGEND

- (E) = Public Water Easement granted to ABCWUA by this plat.
- (F) = 10' Private Sanitary Sewer Easement for the benefit Lot 3-B to be maintained by same, granted by plat this plat.

EXISTING DECLARATION OF EASEMENTS:

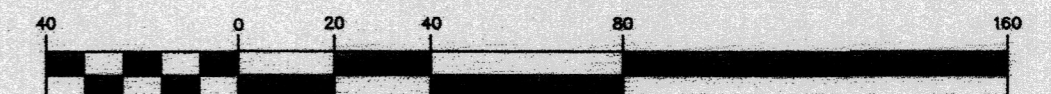
Existing Lots 1 thru 6, Krania are subject to that certain "DECLARATION OF EASEMENTS AGREEMENT", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 17, 2013 as Document Number 2013079778.

New Lots 3-A, 3-B and 4-A, Krania as shown hereon shall be subject to the aforesaid "DECLARATION OF EASEMENTS AGREEMENT".

LINE TABLE

| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 39.34 | S43°52'23"E |
| L2 | 50.74 | N11°06'36"W |
| L3 | 54.21 | N12°29'27"W |
| L4 | 51.69 | N13°57'01"W |
| L5 | 21.70 | N13°57'59"W |

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

SHEET 2 OF 2

SURV●TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

Albuquerque Control Station Monument "B-K9"
New Mexico State Plane Coordinates
(Central Zone) - NAD 83
Northing = 1,484,994.639
Easting = 1,492,463.789
Elevation = 5,250.166 (NAVD 1988)
Delta Alpha = -00°17'03.21"
Ground to Grid Factor = 0.999677891

LOT 2
KRANIA

Filed July 18, 2007 in Plat Book 2007C, Page 194

LOT 1

LOT 3-A

0.5719 Ac.

LOT 3

S88°52'23"E 152.46'

LOT 1
KRANIA

Filed July 18, 2007 in Plat Book 2007C, Page 194

LOT 3-B

0.5715 Ac.

Existing Lot line eliminated by this plat

LOT 4

S88°52'23"E 111.55'

LOT 4-A

0.4358 Ac.

N88°52'16"W 104.97'

LOT 5
KRANIA

Filed July 18, 2007 in Plat Book 2007C, Page 194

Set PK Nail and brass disc stamped "L.S. 9750" (typical all corners)

124' R/W

Set PK Nail and brass disc stamped "L.S. 9750" (typical all corners)

LOT 1

VOLCANO POINT SHOPPING CENTER
Filed July 13, 2007 in Plat Book 2007C, Page 186

LOT 2

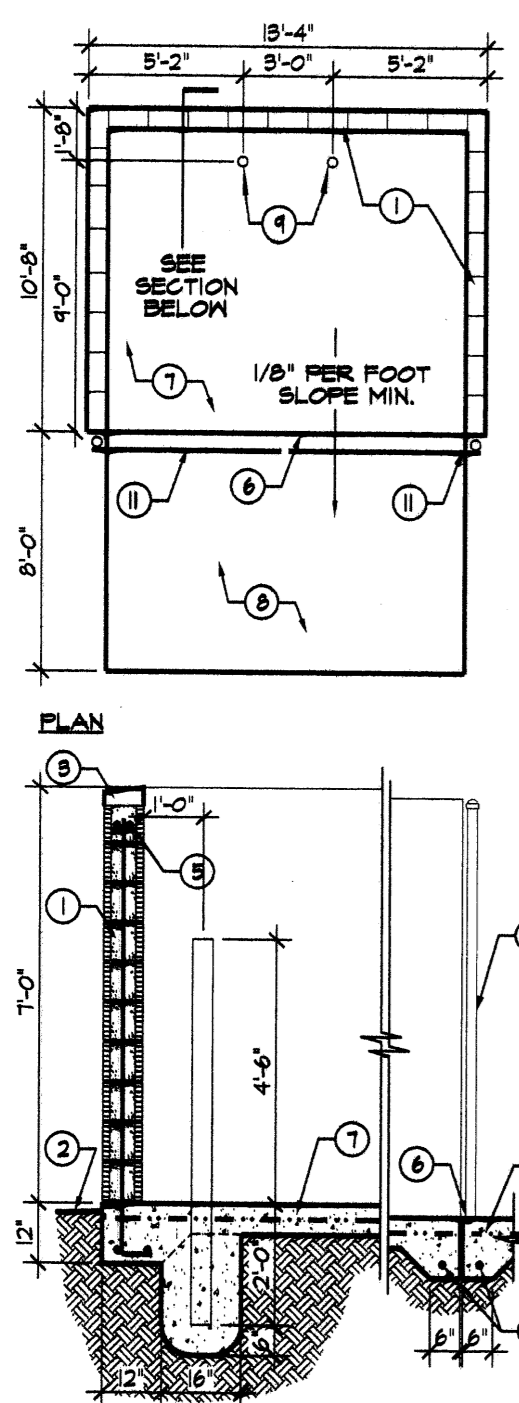
98TH STREET

STREET

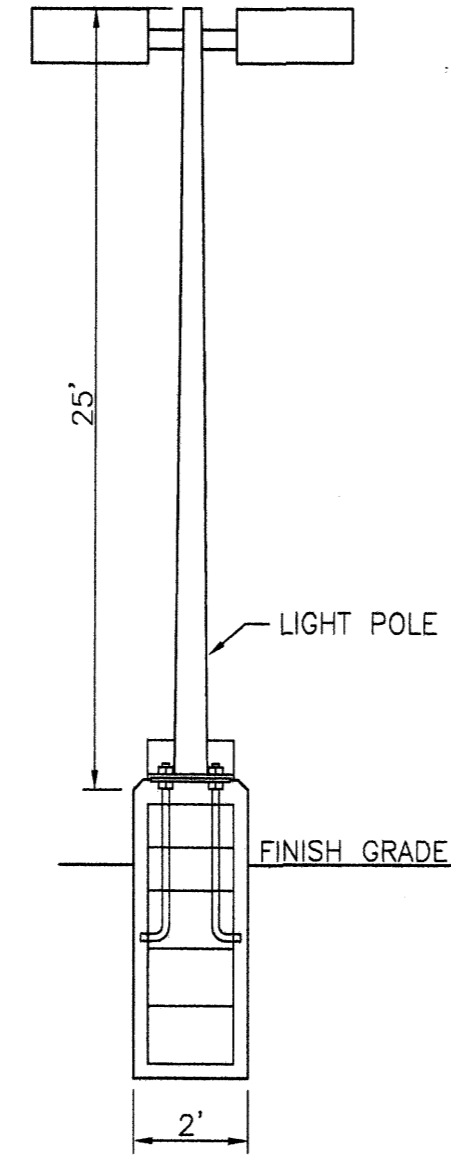
N.W.

LOT 3

124' R/W



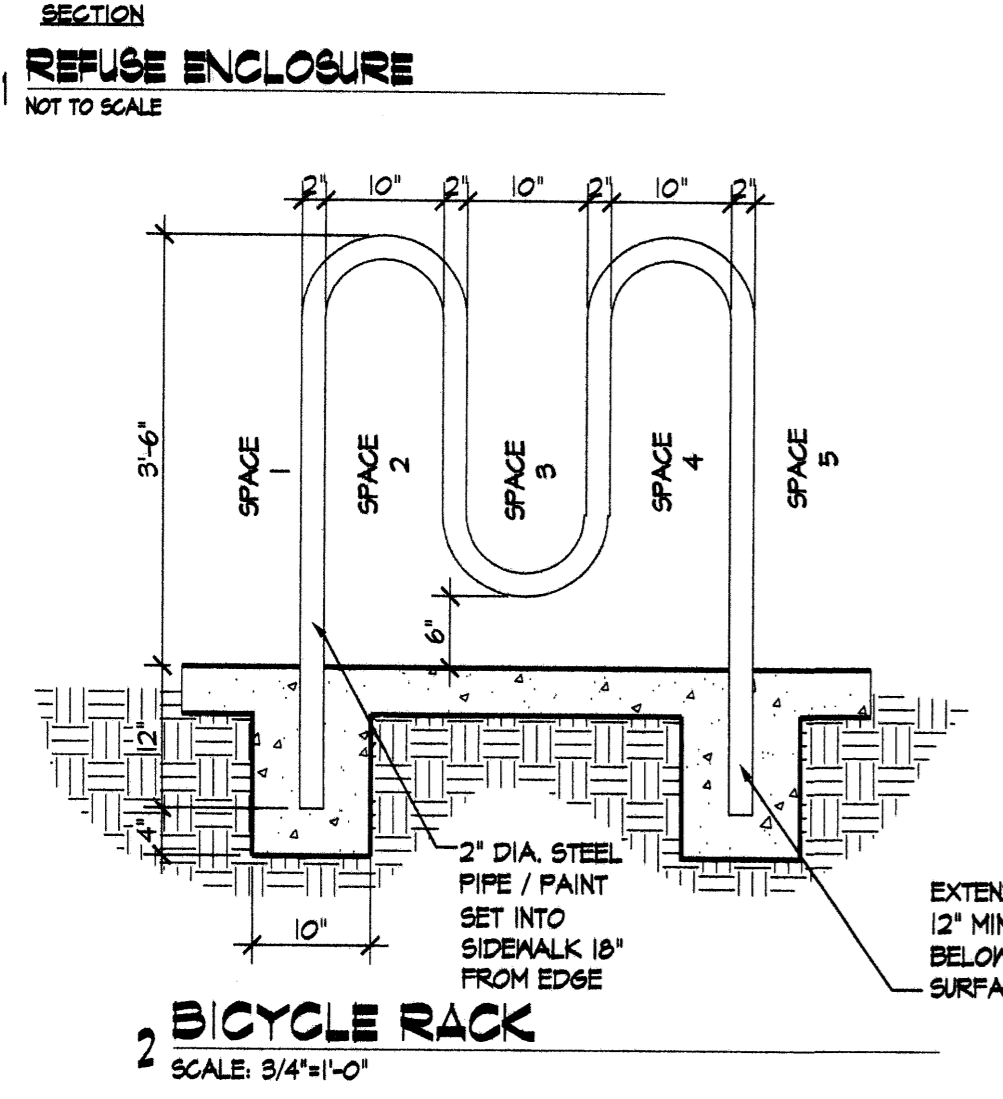
- REFUGE NOTES**
- 3" SPLIT FACE CMU BLOCK WALL FINISH - COLOR TO MATCH BLDG.
 - FINISH GRADE
 - MASONRY CAP
 - 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS 2- #5 BARS @ BOTTOM OF 12" TURNDOWNS
 - 2- #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL. SPLIT REIN. FORCED CELLS DURAWALL @ 16" O.C. HORIZONTAL
 - 1/2" EXPANSION JOINT MATERIAL
 - 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 MM W/ 6" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
 - 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6X6 - 10X10 MM W/ 6" TURNDOWN EDGES (W/ 1-#5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-4" DEEP CONC. FOOTING. PAINT TO MATCH ENCLOSURE COLOR
 - ASPHALT PAVING - SEE PAVING SECTION
 - WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY



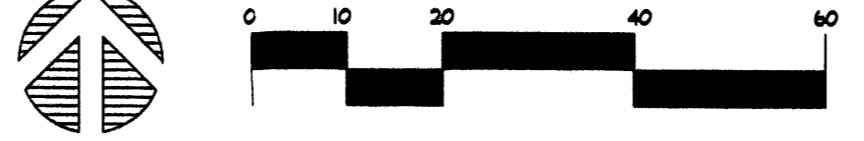
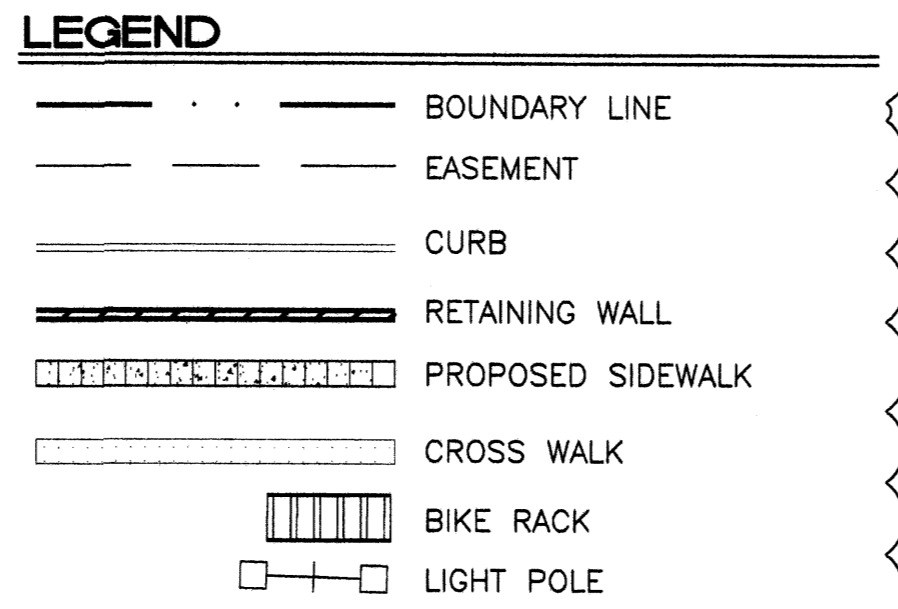
LIGHT POLE DETAIL
NTS

ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE-SHIELDS SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



BICYCLE RACK
SCALE: 3/4"=1'-0"

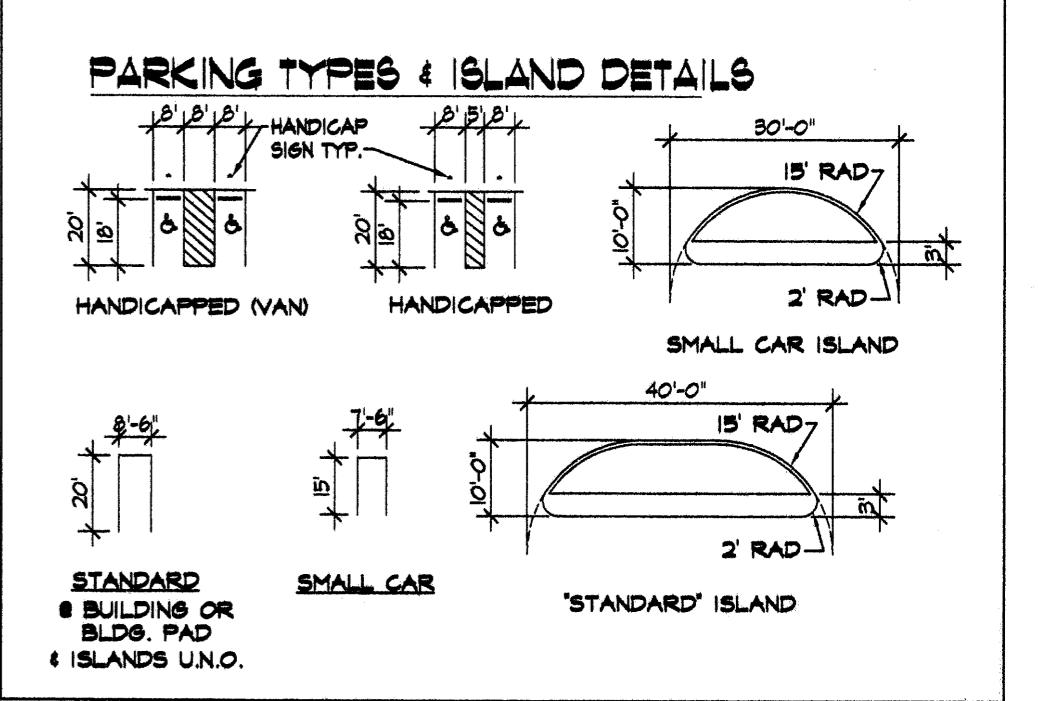


3 SITE - LOT 3
1"=20'-0"

RADIUS LEGEND

- ① 2' RADIUS
- ② 3' RADIUS
- ③ 4' RADIUS
- ④ 5' RADIUS
- ⑤ 10' RADIUS
- ⑥ 15' RADIUS
- ⑦ 20' RADIUS
- ⑧ 25' RADIUS
- ⑨ 31' RADIUS
- ⑩ 65' RADIUS

- KEYED NOTES**
- HANDICAP SIGN - 2 REQUIRED. - SEE DETAIL
 - LIGHT POLE - SEE DETAIL
 - NEW CONCRETE PERMACURB TYPICAL
 - NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE
 - NEW PARKING BUMPER - 2 REQUIRED
 - STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION
 - BIKE RACK - SEE DETAIL
 - SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN AND HAVE TRUNCATED DOMES.
 - NEW REFUGE ENCLOSURE, SEE DETAIL.
 - NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS.
 - EXISTING TELEPHONE/CABLE PEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
 - CMU RETAINING WALL
 - EXISTING SIDEWALK
 - EXTRUDED ASPHALT CURB
 - FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 - GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 - DO NOT ENTER POLE MOUNTED SIGN
- GENERAL NOTES**
- VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
 - ALL STREETSCAPE LANDSCAPING TO BE MAINTAINED BY THE OWNER



H+W
architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplu@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT**

Date: June 4, 2013

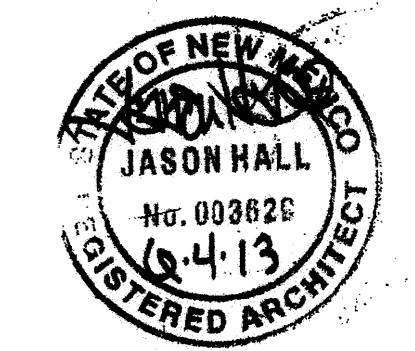
Drawn: S.T.WILDER

Checked: S.T.WILDER

Revision:

△ 8/1/13

Seal:



JOB NUMBER: H28008

⊕ S01

BUILDING LEGEND

| | |
|-----------------------|------------------------------------------------------------------------------------------------------|
| OFFICE BUILDING | 6842 SQ.FT. |
| PARKING REQUIRED: | RESTAURANT = ONE PER 4 SEATS = 11 SPACES (2 H.C. SPACES) |
| PARKING PROVIDED: | 22 SPACES PROVIDED (2 H.C. SPACES PROVIDED) |
| MOTORCYCLE PARKING: | 1 REQUIRED |
| BICYCLE PARKING: | 4 PROVIDED 4 SPACES NEEDED 5 SPACES PROVIDED |
| LANDSCAPING REQUIRED: | BLDG. SITE = 25,100 S.F. - 1,872 S.F. (BLDG. AREA) = 23,228 S.F. NET LOT AREA * 15 = 351,420 S.F. |
| LANDSCAPING PROVIDED: | 5512 S.F. |

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

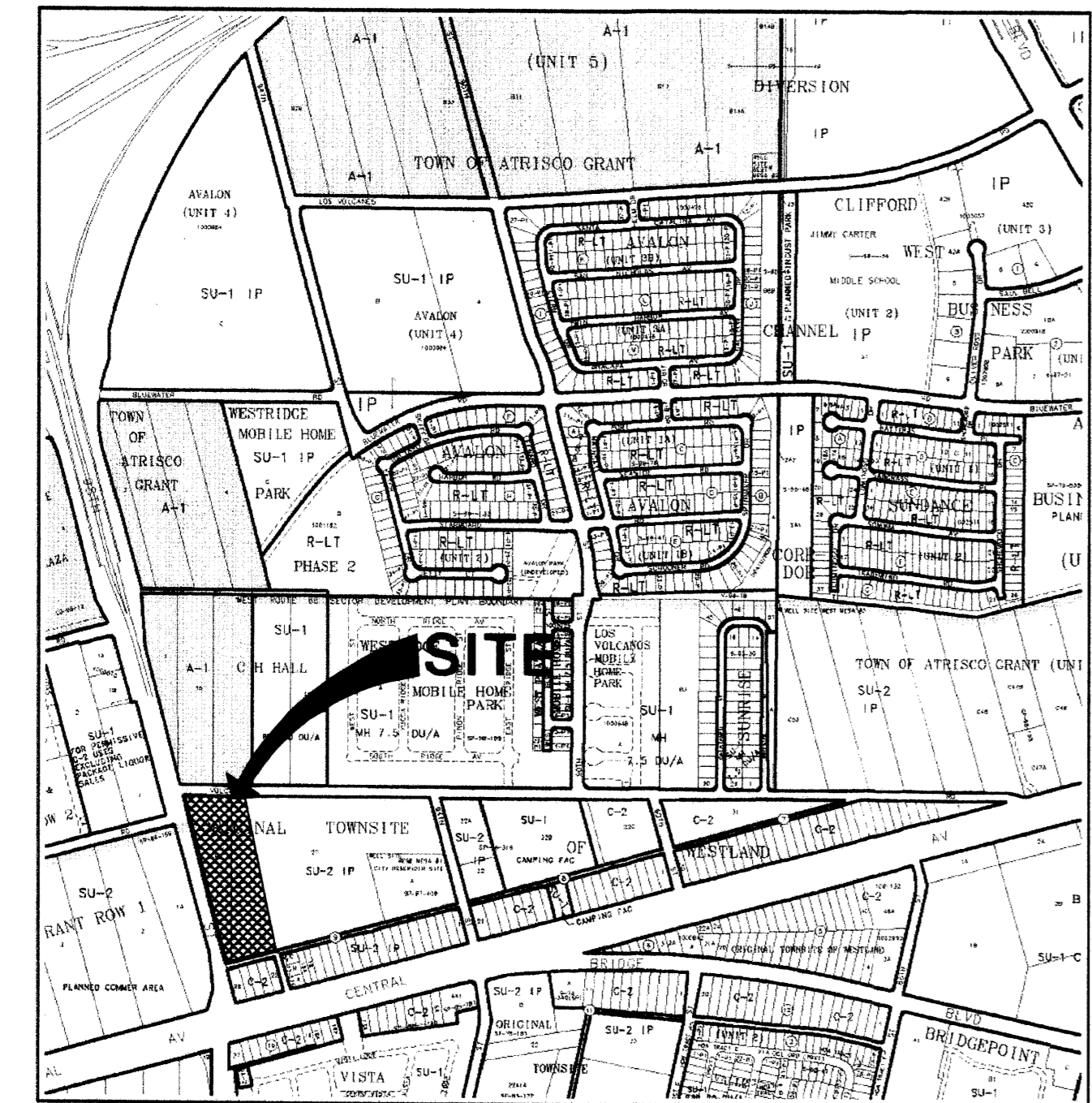
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

• Environmental Health, if necessary

GENERAL NOTES - CITY REQUIRED

- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2425
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



GRAPHIC SCALE IN FEET
0 250 500 750 1000

Zone Atlas Page
K-9-Z
Map Amended through March 09, 2005

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZCING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10' FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUILDINGS CANNOT EXCEED HEIGHTS AS SPECIFIED BY THE SU-2 IP CITY ZONING CODE
- THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
- BUS ROUTE 54 RUNS FROM THE 98TH STREET, NW TO CENTRAL AVENUE, NW
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
- APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, 4A AND 4B TO BE DELEGATED TO THE DRB
- ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
- HANDICAP ACCESS LANDINGS AND RAMPS TO BE ADA COMPLIANT.
- CLEAR SITE TRIANGLE : SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE
- ALL STREETSCAPE LANDSCAPING TO BY MAINTAINED BY OWNER.

KEYED NOTES:

- PAINTED DIRECTIONAL ARROW TYPICAL
- ACCESSIBLE PARKING SPACE TYPICAL, SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- UNIDIRECTIONAL HC RAMP
- PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL TO HAVE TRUNCATED DOMES
- 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- 6" CONCRETE HEADER CURB
- 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- 6' CONCRETE SIDEWALK TYPICAL
- TRASH COMPACTOR
- "STOP" SIGN. SEE PLAN FOR LOCATION
- 5 SPACE BIKE RACK TYPICAL
- NEW 6' BIKE PATH
- TREE PLANTER TYPICAL
- RETAINING WALL TAN CMU SEE DETAIL SHEET
- DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- 6" CONCRETE CURB AND GUTTER
- PATIO RAILING
- DO NOT ENTER SIGN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

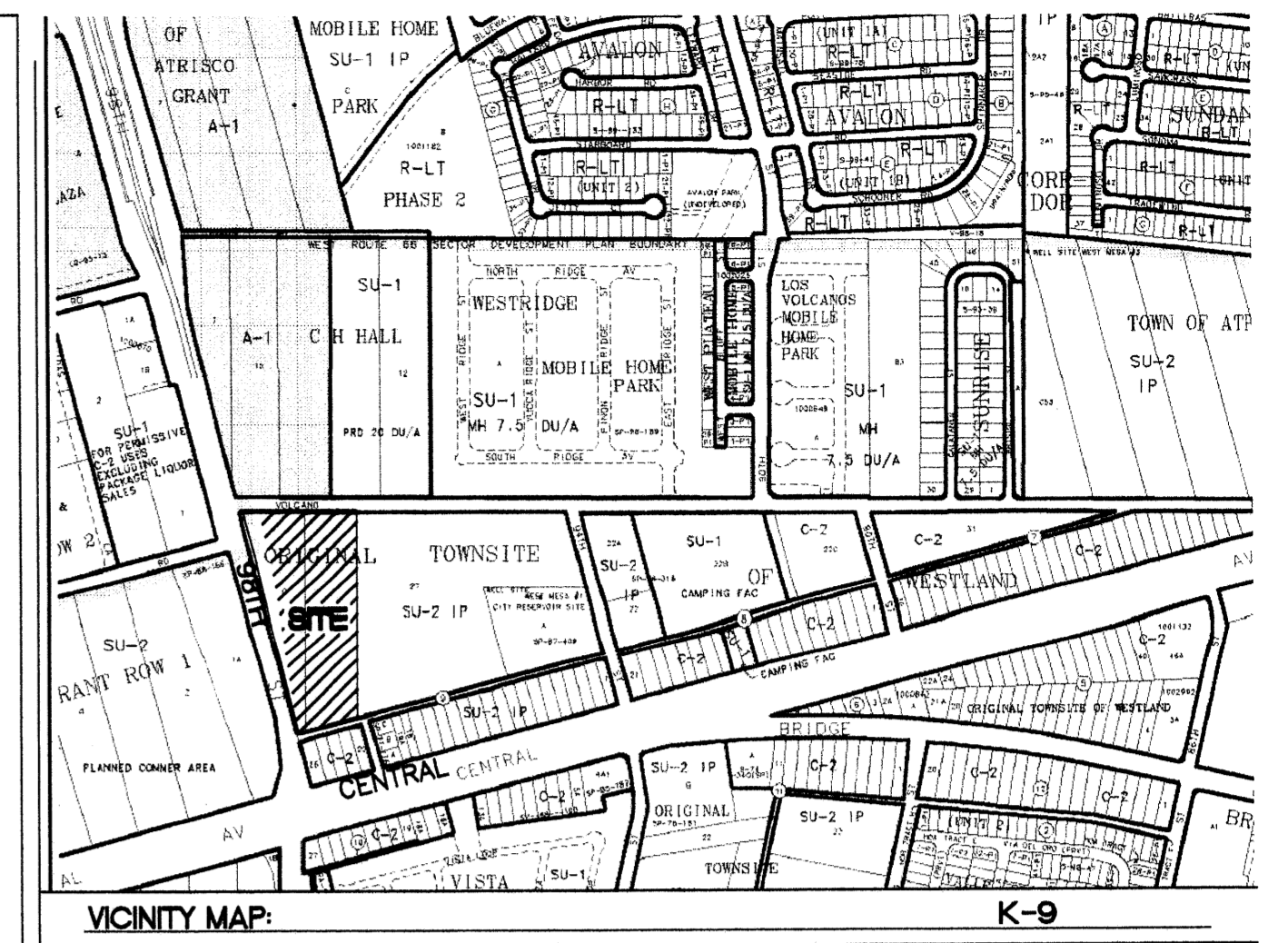
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

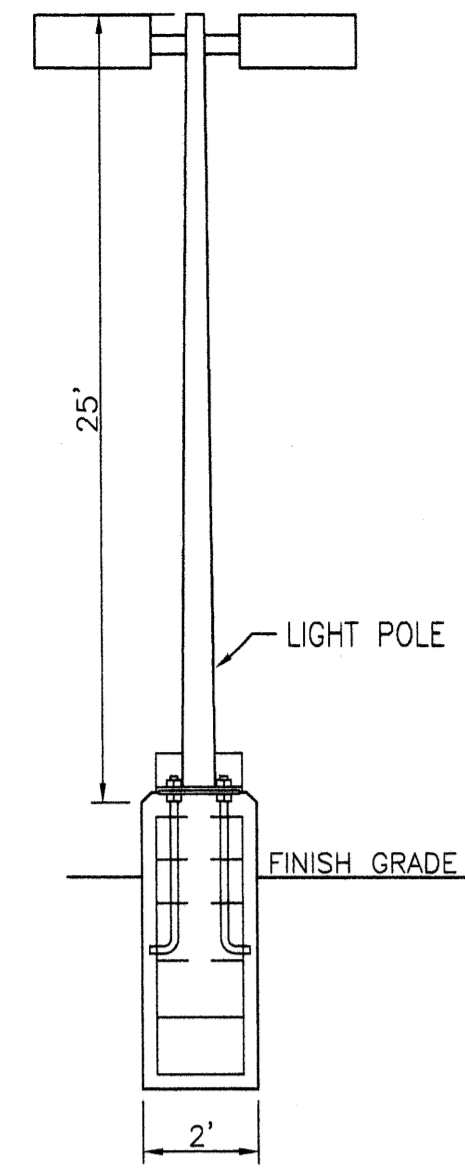
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary



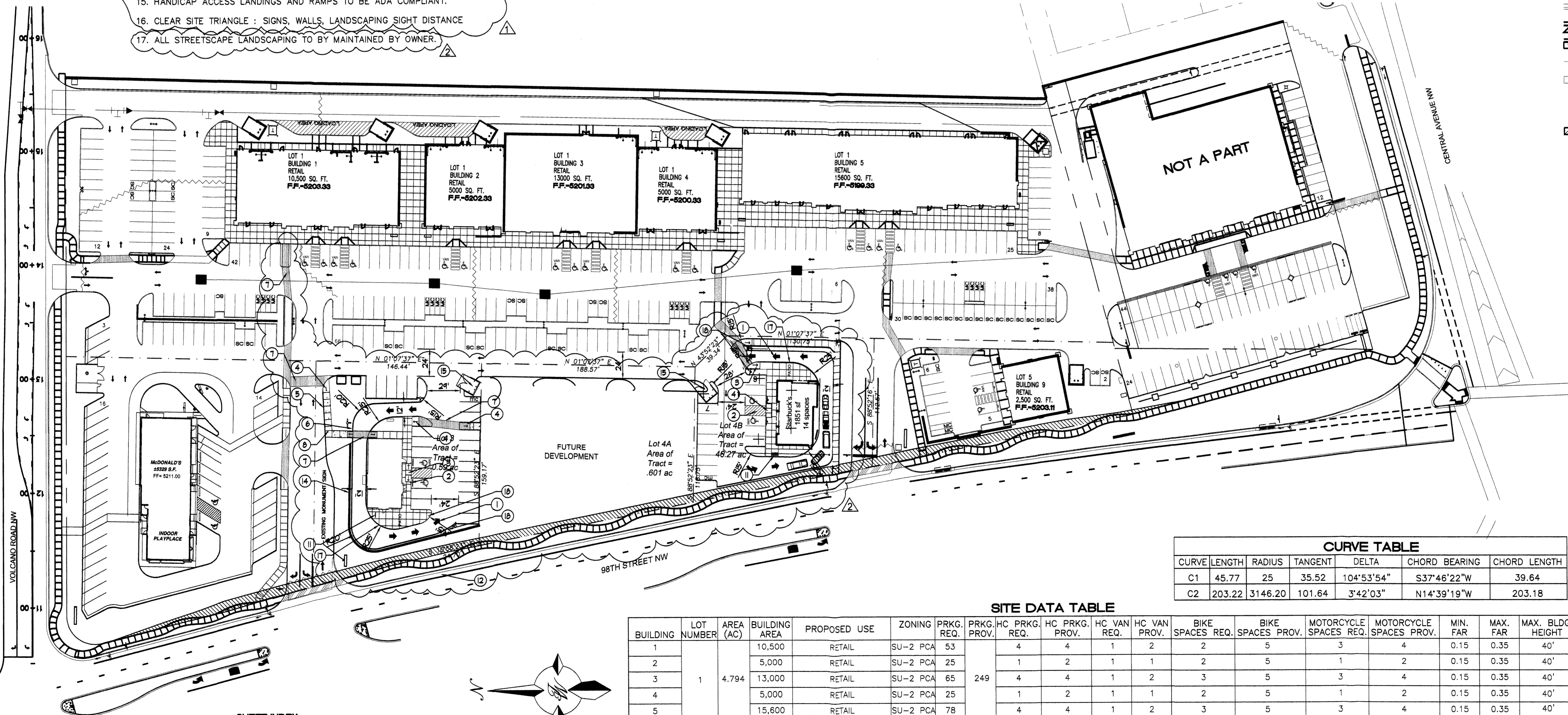
LEGAL DESCRIPTION:
 PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND



LIGHT POLE DETAIL
 NTS

LEGEND

| | |
|---------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - | EASEMENT |
| ===== | EXISTING CURB AND GUTTER |
| ===== | CURB AND GUTTER |
| | RETAINING WALL |
| | PROPOSED SIDEWALK |
| --- | EXISTING BOUNDARY |
| --- | CROSS WALK |
| | BIKE RACK |
| □ | LIGHT POLE |
| | ROW DEDICATION |



CURVE TABLE

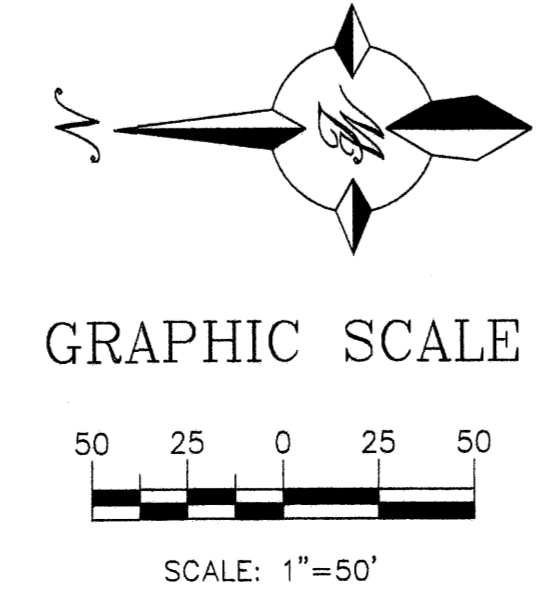
| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. HC PROV. | HC PRKG. REQ. | HC VAN PROV. | HC VAN REQ. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|-------------------------|----------|------------|----------------|---------------|--------------|-------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT #/ DRIVETHRU | SU-2 PCA | 68 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.69 | 1,872 | RESTAURANT #/ DRIVETHRU | SU-2 PCA | 11 | 23 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 0.15 | 0.35 | 40' |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT #/ DRIVETHRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 0.15 | 0.35 | 40' |
| 10 | 5 | 9.206 | 8,206 | RETAIL | SU-2 PCA | 14 | 13 | 1 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | | 8.049 | 61,223 | | | 328 | 348 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

- SHEET INDEX**
- SITE PLAN FOR SUBDIVISION
 - SITE PLAN FOR BUILDING PERMIT
 - LANDSCAPE PLAN
 - ELEVATIONS
 - ELEVATIONS
 - DETAILS



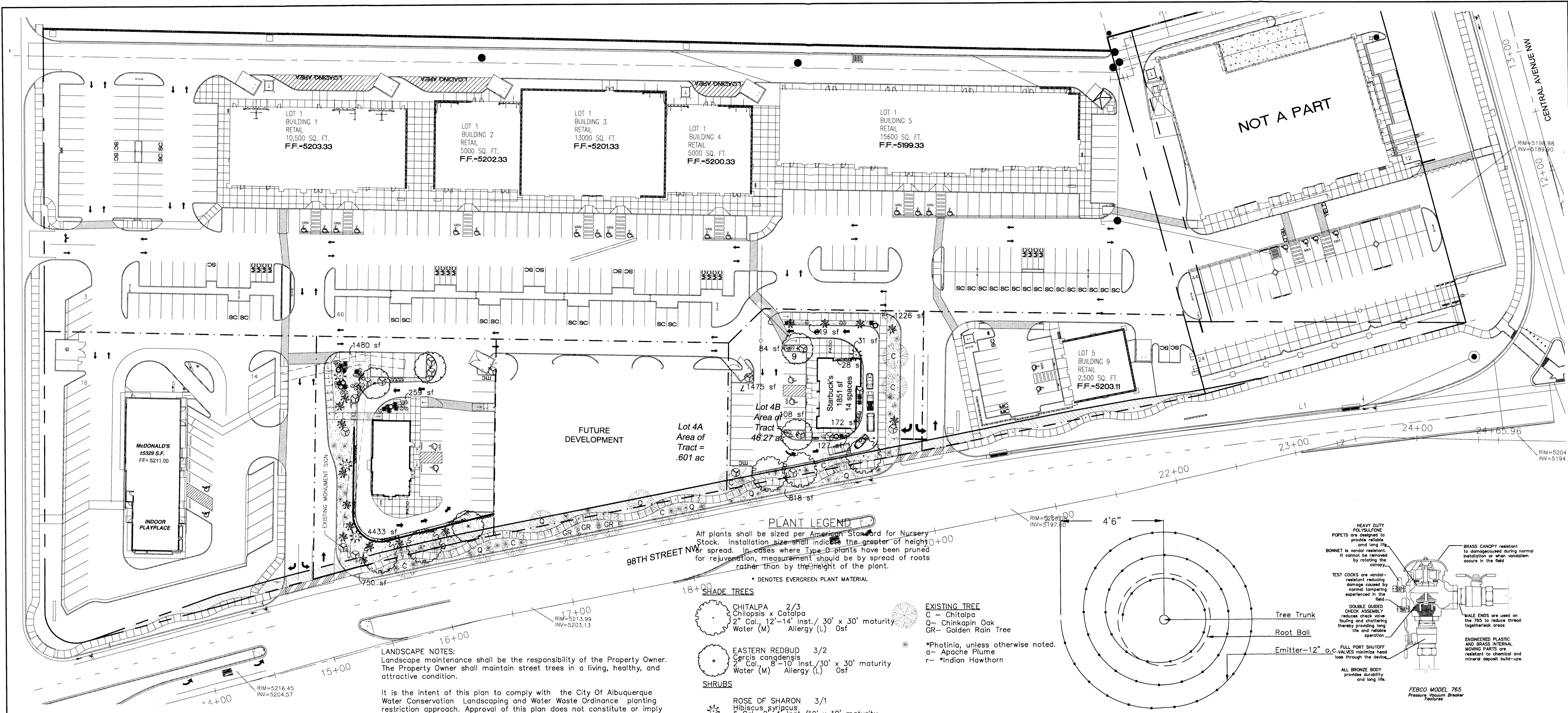
H+W
 architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.306.8238
 fax 505.508.4478
 email: hplusw@comcast.net

NORTHEAST CORNER OF
 98TH AND CENTRAL
 ALBUQUERQUE, NM

Sheet Title:
**AMENDED SITE PLAN
 FOR BUILDING
 PERMIT**

Date: May 8, 2013
 Drawn: S.T.WILDER
 Checked: S.T.WILDER
 Revision:
 6/02/13
 8/1/13
 Seal:

JOB NUMBER: H28008
 002



PARKING LOT TREE REQUIREMENTS
 - Minimum 2" Caliper Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

| | | |
|----------------------------|------------|------------|
| 1 Shade tree per 10 spaces | Required 3 | Provided 3 |
|----------------------------|------------|------------|

STREET TREE REQUIREMENTS
 - Minimum 2" Caliper Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

| | | |
|----------------|------------|------------------------------|
| Name of Street | Required 5 | Provided 5 (3 existing/2new) |
|----------------|------------|------------------------------|

LANDSCAPE CALCULATIONS

| | CHURCHES | STARBUCKS | |
|----------------------------------|----------|-----------|-------------|
| TOTAL LOT AREA | 25700 | 18983 | square feet |
| TOTAL BUILDINGS AREA | 1872 | 1851 | square feet |
| NET LOT AREA | 23828 | 17132 | square feet |
| LANDSCAPE REQUIREMENT | 15% | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 3574 | 2569 | square feet |
| TOTAL BED PROVIDED | 6922 | 4388 | square feet |
| GROUNDCOVER REQ. | 75% | 75% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 5191 | 3291 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 5748 | 3583 | square feet |
| TOTAL PONDING AREA | 0 | 0 | square feet |
| TOTAL SOD AREA | 0 | 0 | square feet |
| (max. 20% of landscape required) | | | |
| TOTAL NATIVE SEED AREA | 0 | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 6922 | 4388 | square feet |

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

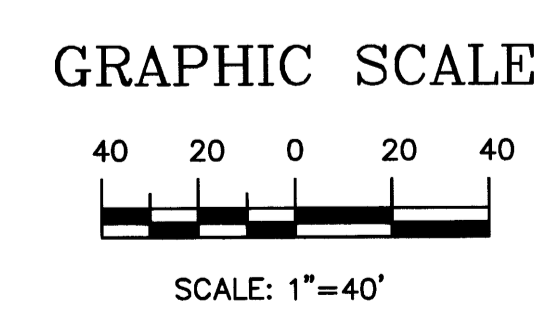
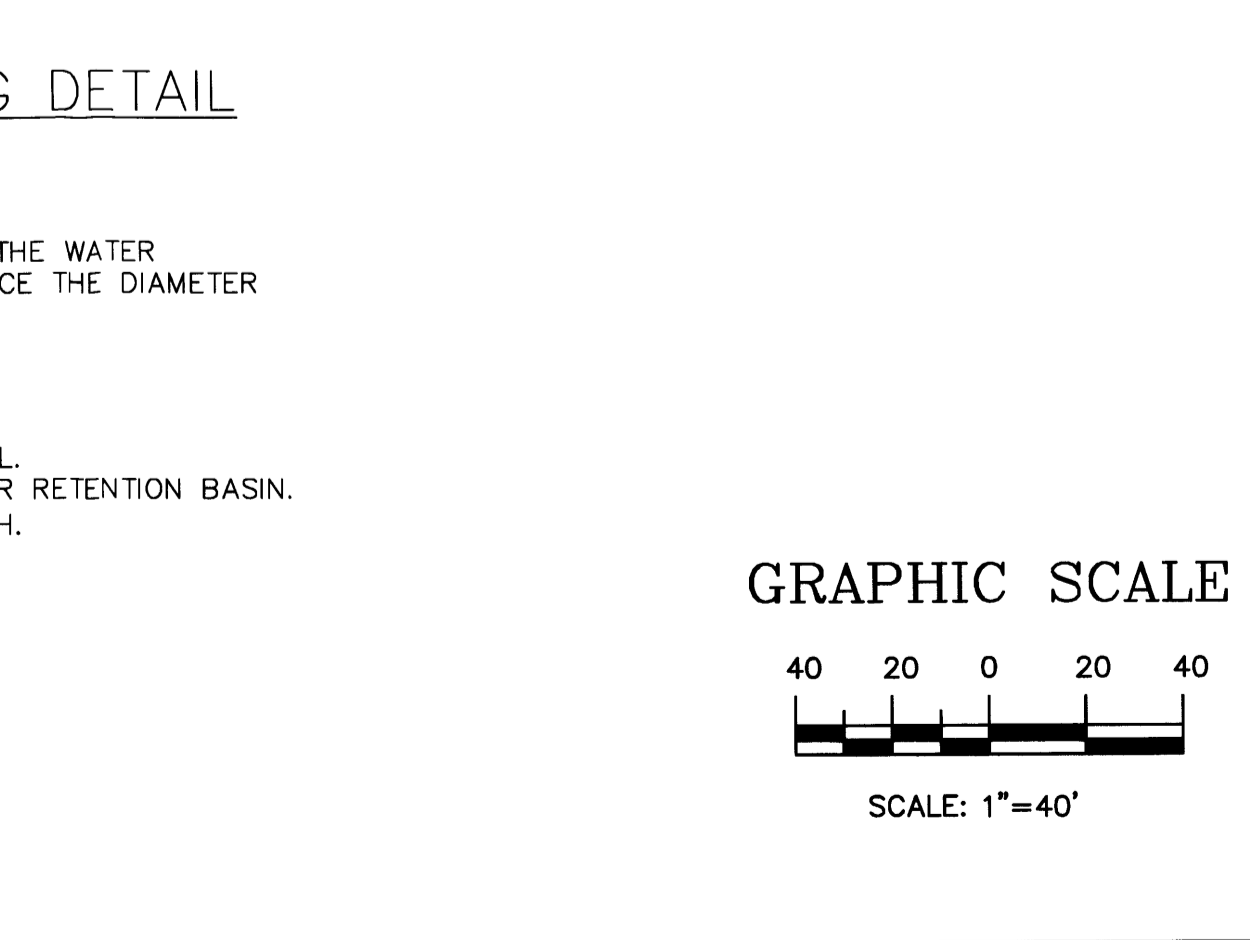
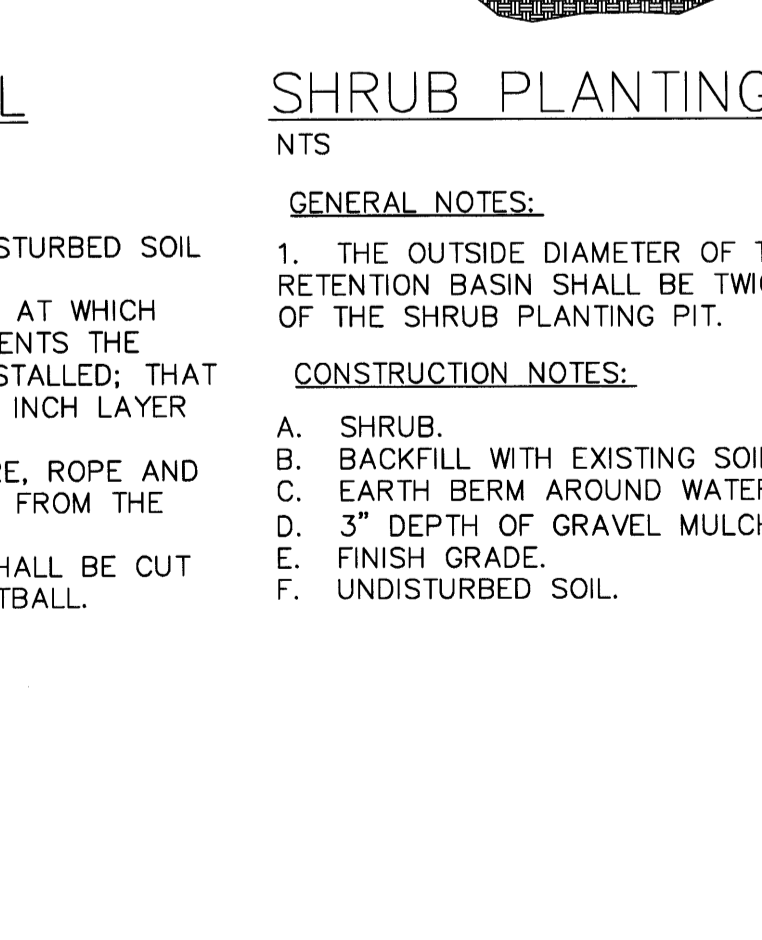
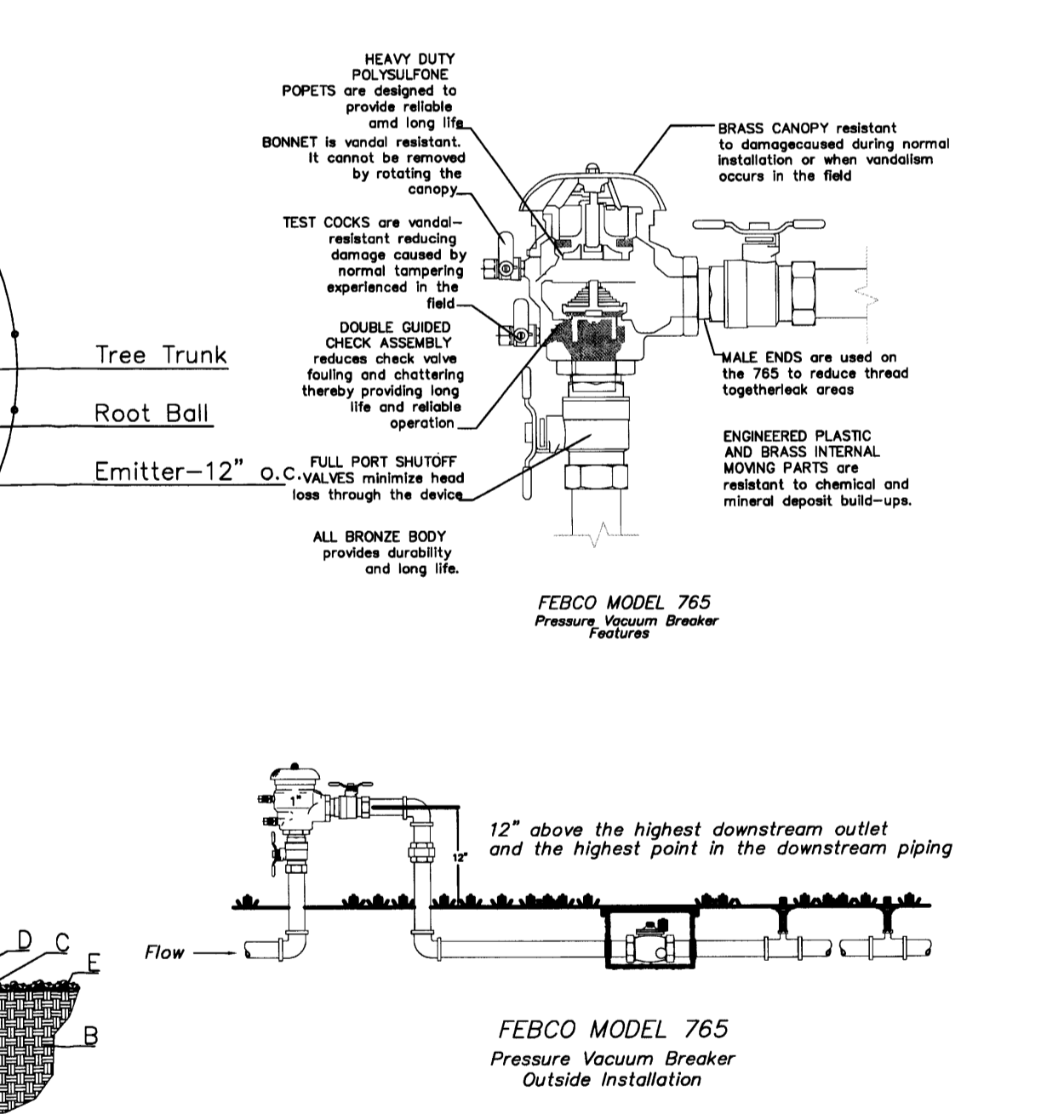
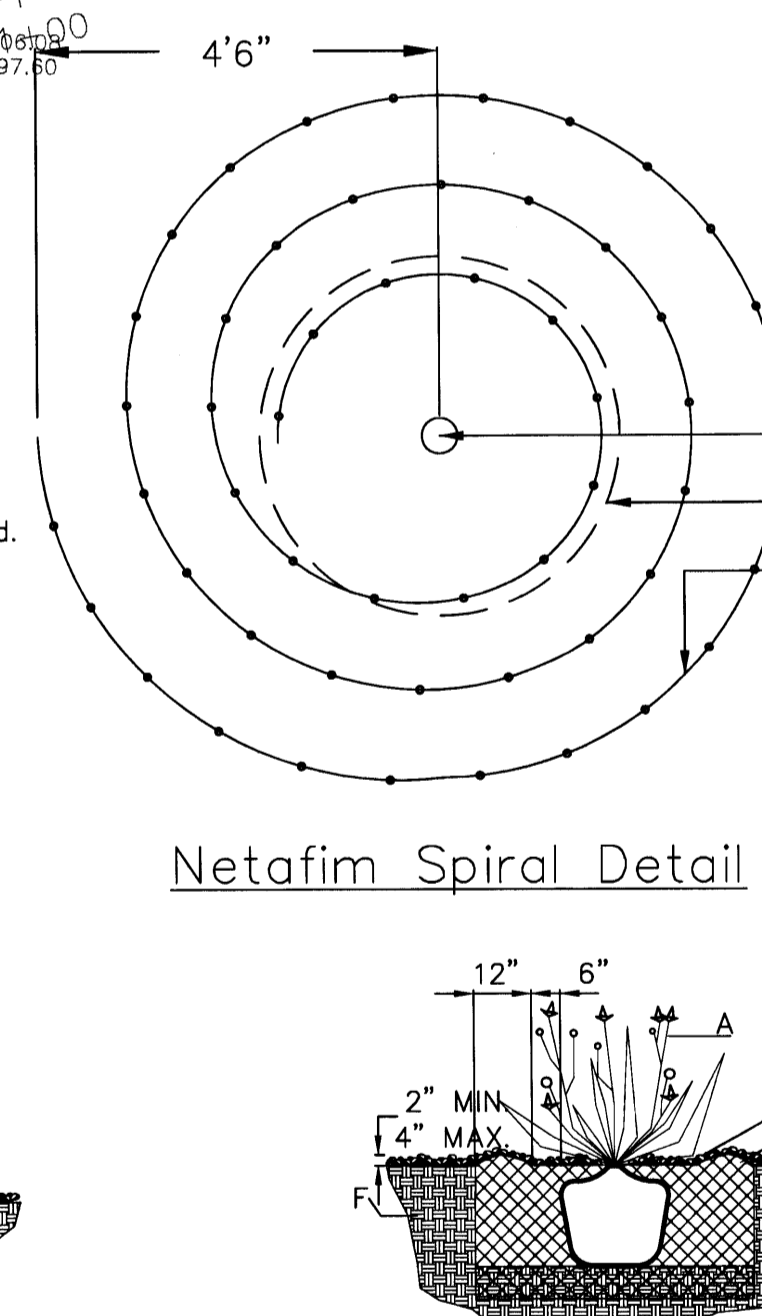
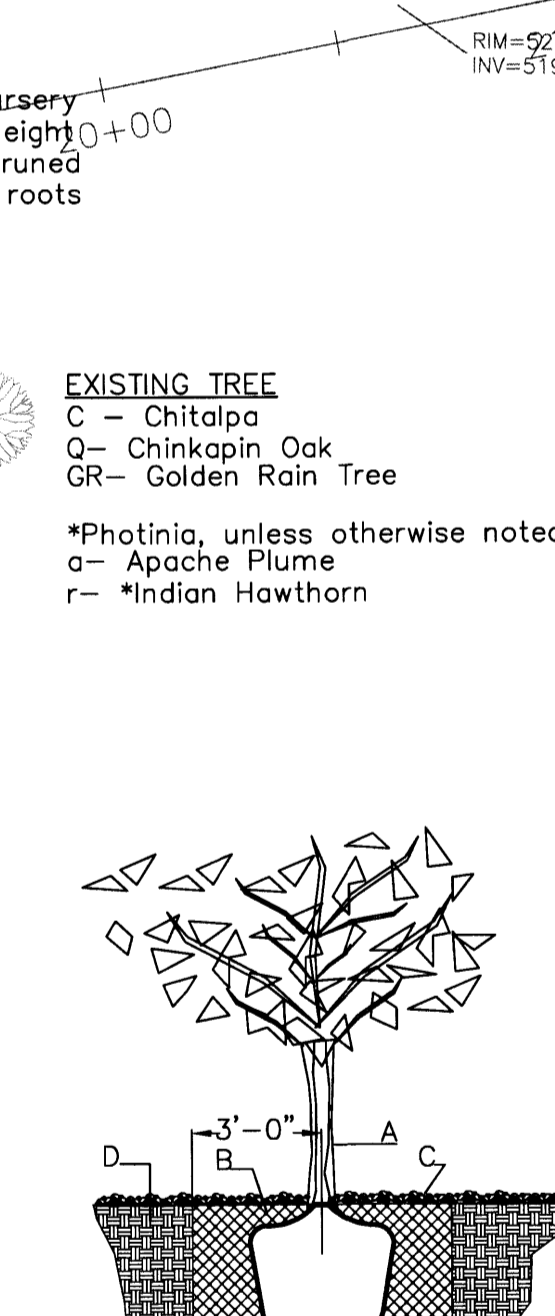
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PLANT LEGEND
 All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type 0 plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
 * DENOTES EVERGREEN PLANT MATERIAL

- SHADE TREES**
- CHITALPA 2/3
Chilopsis x Catalpa
2" Cal., 12"-14" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
 - EASTERN REDBUD 3/2
Liriodendron tulipifera
2" Cal., 8"-10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
 - ROSE OF SHARON 3/1
Hibiscus syriacus
5 Gal., 2"-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - MUGO PINE 4/2
Pinus mugo
5 Gal., 2"-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
 - RED YUCCA 9/4
Hesperaloe parviflora
5 Gal., 18"-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - CATMINT 30/15
Nepeta mussini
1 Gal., 3"-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf
- SHRUBS**
- TAM JUNIPER 12/5
Juniperus sabinia 'Tamariscifolia'
1 Gal., 6"-15" Inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
 - HONEYSUCKLE 9/8
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
 - BANK'S ROSE 6/1
Rosa banksiae
1 Gal., 6"-15" Inst./climbing to 20'
Water (M) Allergy (L)
- GROUNDCOVERS**
- OVERSIZED GRAVEL & BOULDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
- VINES**
- BANK'S ROSE 6/1
Rosa banksiae
1 Gal., 6"-15" Inst./climbing to 20'
Water (M) Allergy (L)
- HARDSCAPES**
- OVERSIZED GRAVEL & BOULDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH



←

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 cm@hilltoplandscaping.com

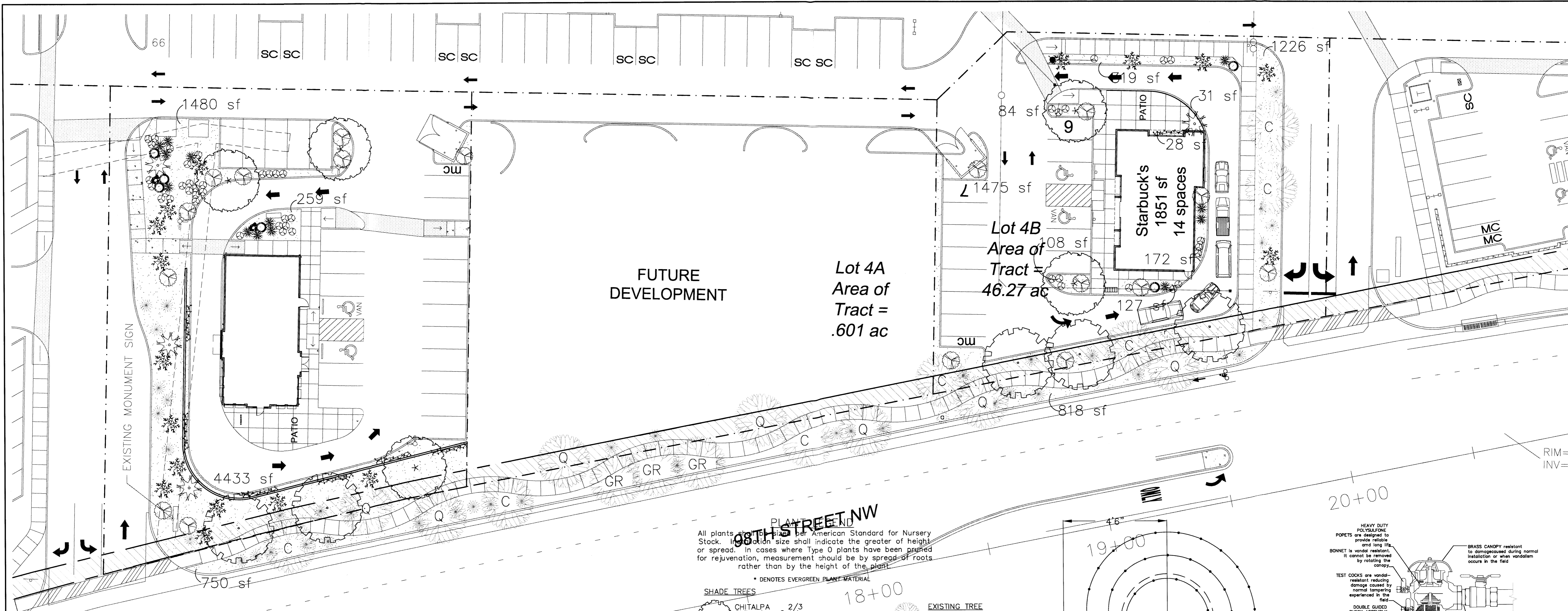
LANDSCAPE ARCHITECT'S SEAL

8-2-13

98th and Central
 EXISTING PLANTS AND
 NEW LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. The use of these drawings for any other project without the expressed written consent of The Hilltop Landscape Architects and Contractors is strictly prohibited.

DRAWN BY: CMD
 REVISION # 3/8-2-13
 DATE: 5-3-13
 SHEET # L1 OF L2



EXISTING MONUMENT SIGN

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

PLANTING NOTES:
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

PARKING LOT TREE REQUIREMENTS
- Minimum 2" Caliper Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

| | | |
|----------------------------|------------|------------|
| 1 Shade tree per 10 spaces | Required 3 | Provided 3 |
|----------------------------|------------|------------|

STREET TREE REQUIREMENTS
- Minimum 2" Caliper Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

| | | |
|----------------|------------|------------------------------|
| Name of Street | Required 5 | Provided 5 (3 existing/2new) |
|----------------|------------|------------------------------|

LANDSCAPE CALCULATIONS

| | CHURCHES | STARBUCKS | |
|-------------------------------------------------|----------|-----------|-------------|
| TOTAL LOT AREA | 25700 | 18983 | square feet |
| TOTAL BUILDINGS AREA | 1872 | 1851 | square feet |
| NET LOT AREA | 23828 | 17132 | square feet |
| LANDSCAPE REQUIREMENT | 15% | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 3574 | 2569 | square feet |
| TOTAL BED PROVIDED | 6922 | 4388 | square feet |
| GROUNDCOVER REQ. | 75% | 75% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 5191 | 3291 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 5748 | 3583 | square feet |
| TOTAL PONDING AREA | 0 | 0 | square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | 0 | square feet |
| TOTAL NATIVE SEED AREA | 0 | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 6922 | 4388 | square feet |

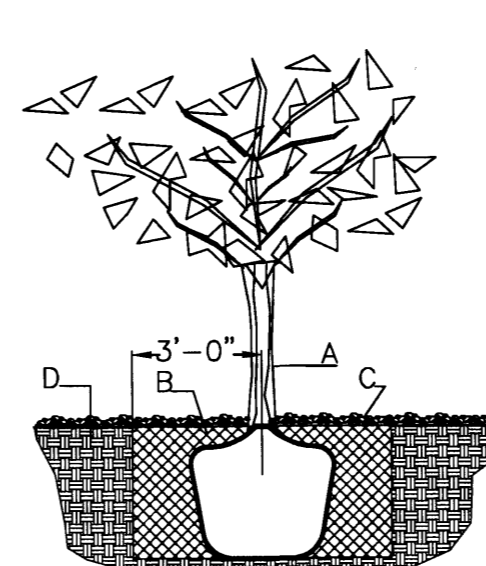
PLANTING NOTES:
All plants shall be sized per American Standard for Nursery Stock. If no size shall indicate the greater of height or spread. In cases where Type O plants have been planted for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

* DENOTES EVERGREEN PLANT MATERIAL

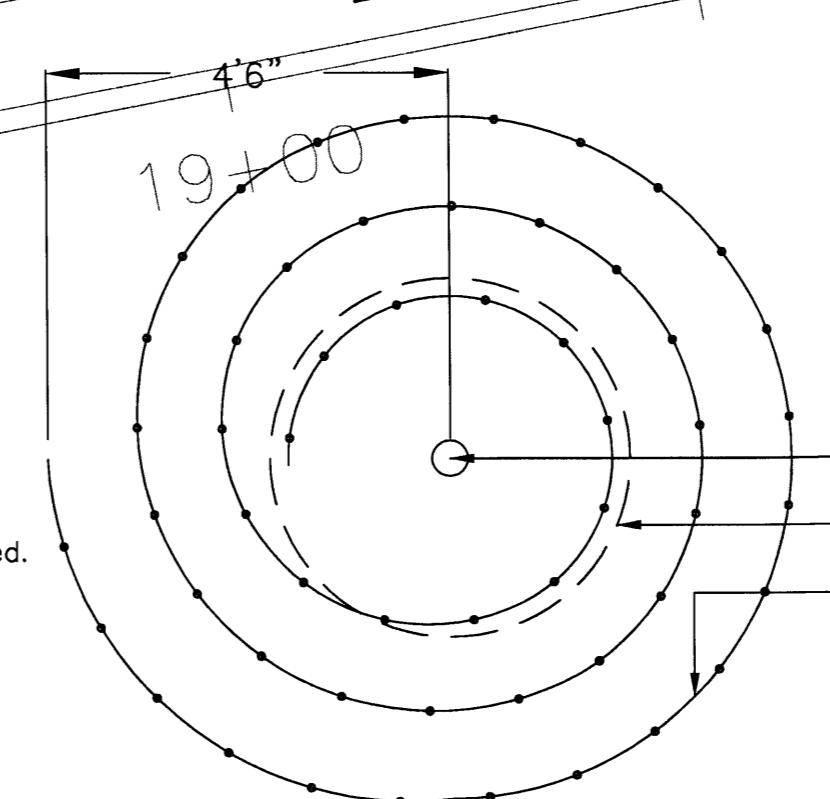
- SHADE TREES**
- CHITALPA 2/3
Chilopsis x Catalpa
2" Cal., 12'-14' Inst./ 30' x 30' maturity
Water (M) Allergy (L) 0sf
 - EASTERN REDBUD 3/2
Cercis canadensis
2" Cal., 8'-10' Inst./ 30' x 30' maturity
Water (M) Allergy (L) 0sf
- SHRUBS**
- ROSE OF SHARON 3/1
Hibiscus syriacus
5 Gal., 2'-4' Inst./ 10' x 10' maturity
Water (M) Allergy (L) 100sf
 - MUGO PINE 4/2
Pinus mugo
5 Gal., 12'-3' Inst./ 3' x 3' maturity
Water (M) Allergy (L) 9sf
 - RED YUCCA 9/4
Hesperaloe parviflora
5 Gal., 18"-3' Inst./ 3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - CATMINT 30/15
Nepeta mussini
1 Gal., 3'-15" Inst./ 1' x 2' maturity
Water (M) Allergy (L) 4sf

- GROUNDCOVERS**
- TAM JUNIPER 12/5
Juniperus sabinia 'Tomariscifolia'
1 Gal., 6"-15" Inst./ 4' x 15' maturity
Water (L+) Allergy (L) 225sf
 - HONEYSUCKLE 9/8
Lonicera japonica 'Halimata'
1 Gal., 6"-15" Inst./ 3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover
- VINES**
- BANK'S ROSE 6/1
Rosa banksiae
1 Gal., 6"-15" Inst./ climbing to 20'
Water (M) Allergy (L)
- HARDSCAPES**
- OVERSIZED GRAVEL & BOULDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

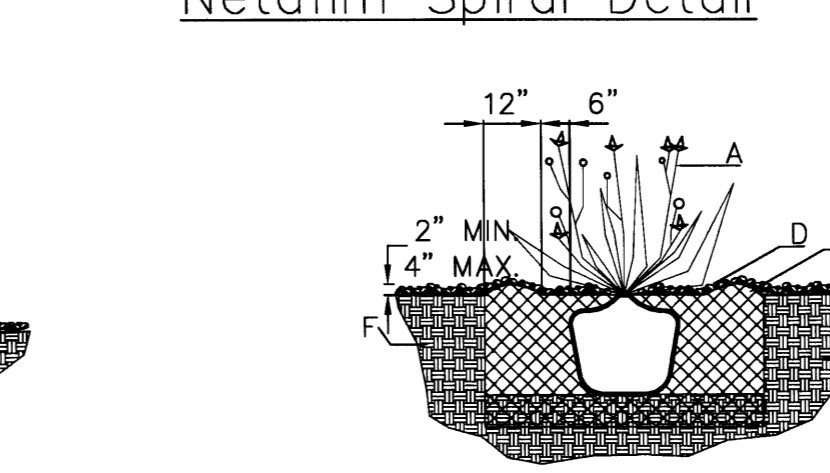
- EXISTING TREE**
- C - Chitalpa
 - Q - Chinkapin Oak
 - GR - Golden Rain Tree
- * Photinia, unless otherwise noted.
a - Apache Plume
r - Indian Hawthorn



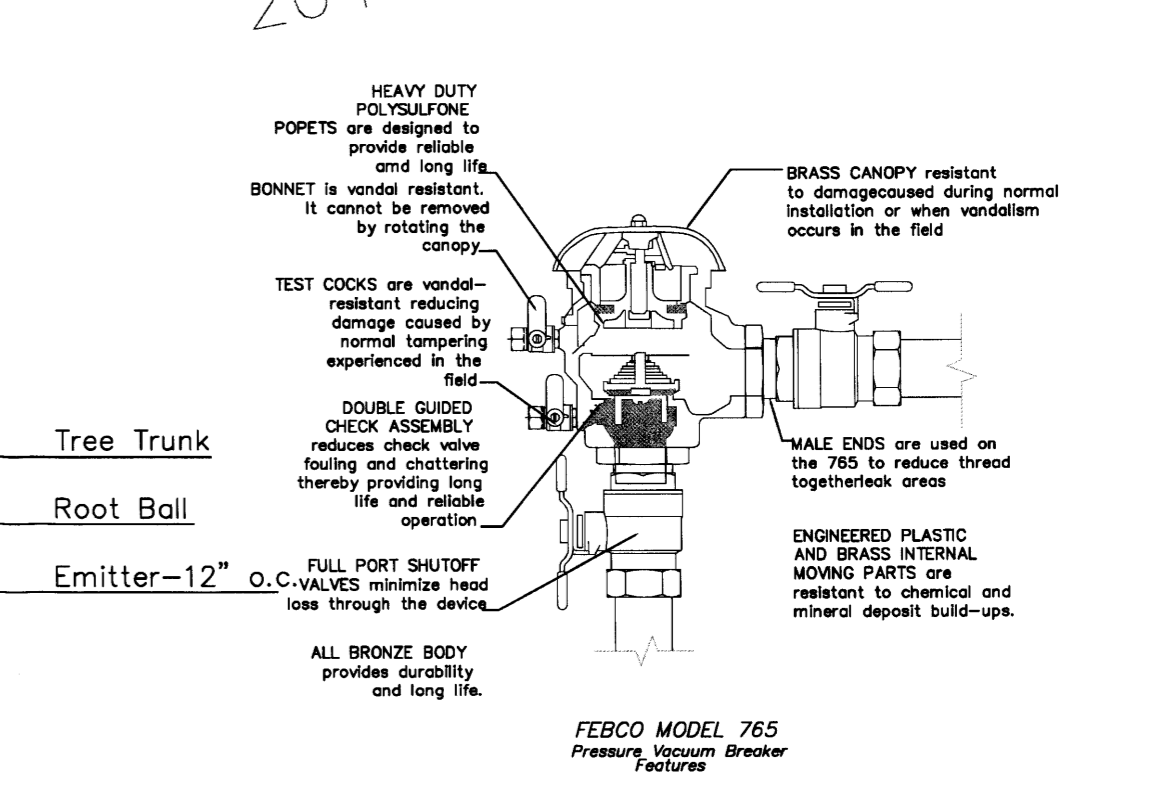
TREE PLANTING DETAIL



Netafim Spiral Detail



SHRUB PLANTING DETAIL



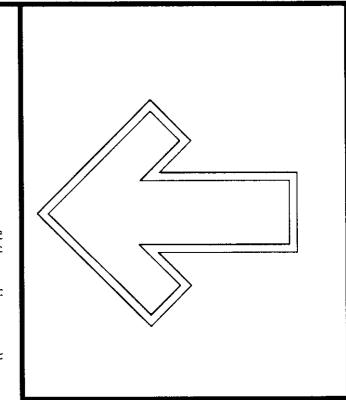
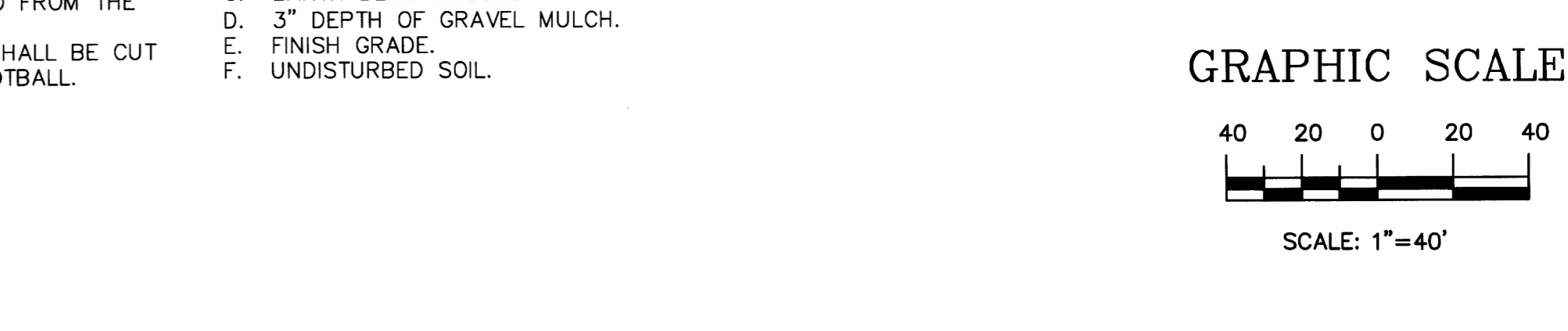
FEBCO MODEL 765 Pressure Vacuum Breaker Outside Installation

GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

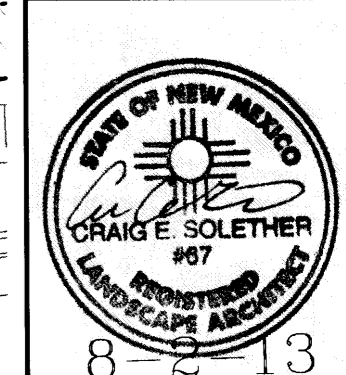
CONSTRUCTION NOTES:

- SHRUB.
- BACKFILL WITH EXISTING SOIL.
- EARTH BERM AROUND WATER RETENTION BASIN.
- 3" DEPTH OF GRAVEL MULCH.
- FINISH GRADE.
- UNDISTURBED SOIL.



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LANDSCAPE ARCHITECT'S SEAL



8-2-13

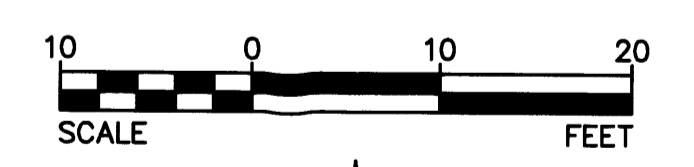
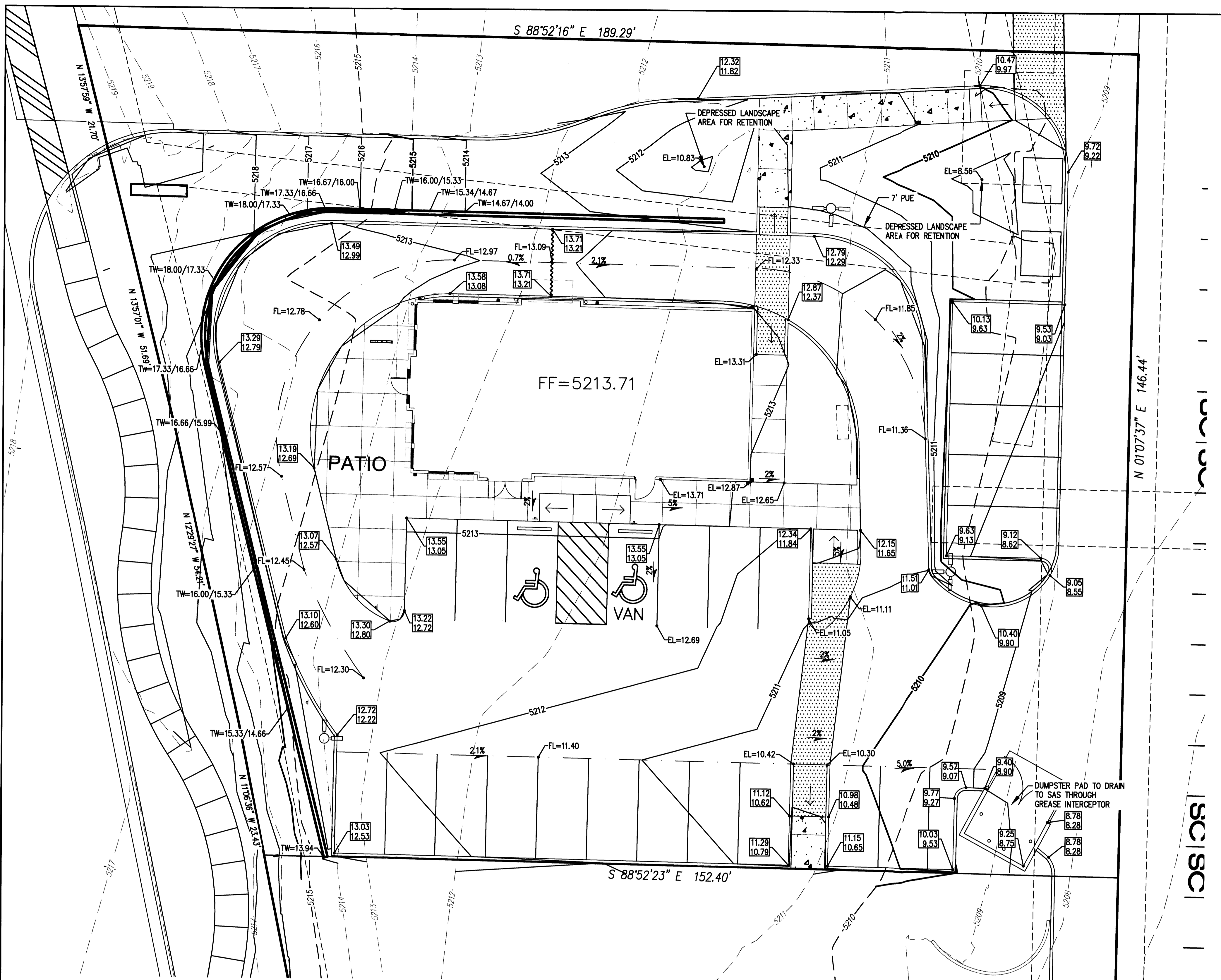
98th and Central

EXISTING PLANTS AND NEW LANDSCAPE PLAN

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CMB
REVISION # 3/8-2-13
DATE: 8-2-13
SHEET # L2 of L2



| LEGEND | |
|--------|-------------------------------|
| | FLOW ARROW |
| | EL=11.28 PROPOSED ELEVATION |
| | 86.33 EXISTING ELEVATION |
| | GRADE BREAK |
| | 8.85 TOP OF CURB ELEVATION |
| | 8.35 BOTTOM OF CURB ELEVATION |
| | 4.966 EXISTING CONTOUR |
| | PROPOSED EASEMENT |
| | 4.00% PROPOSED GRADE |

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTE
 THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

GENERAL NOTES:

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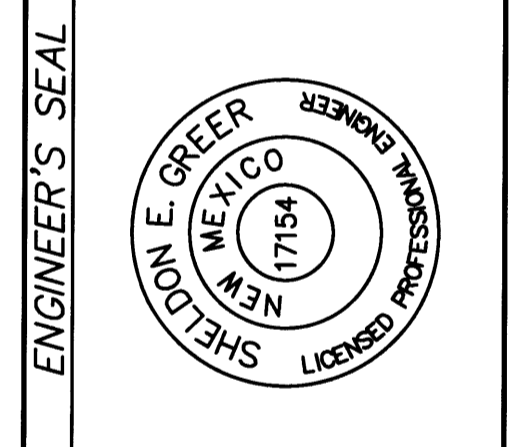
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GND, LLC
 CONSULTING ENGINEERS
 10224 Green River Place NW
 Albuquerque, NM 87114
 Phone: (505) 264-0472

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
KRANIA - 140 98th St. NW
 LOT 3
GRADING & DRAINAGE PLAN

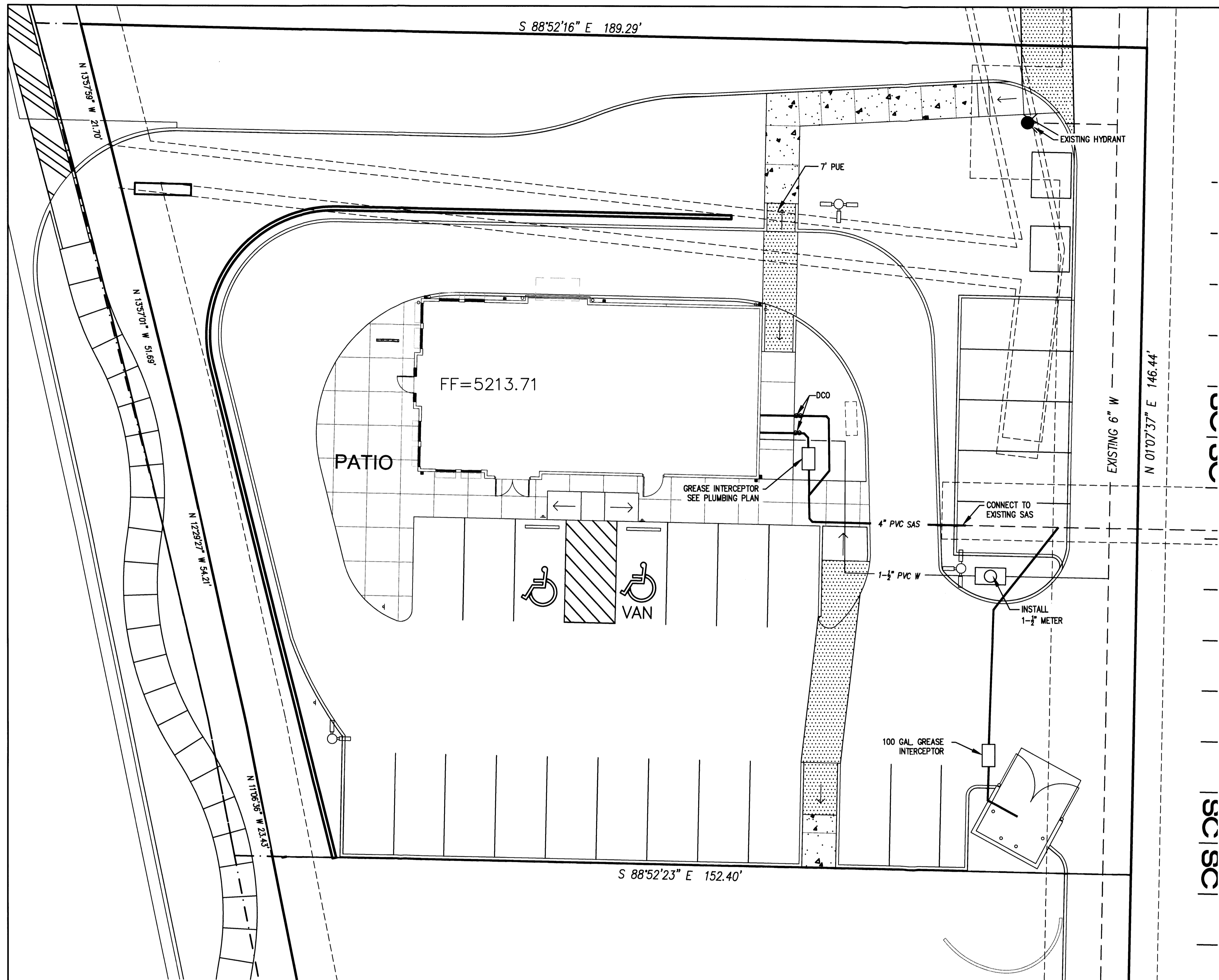
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|-------------------------|------------------------|-------------|-------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | Mo./DAY/YR. | Mo./DAY/YR. |
| LAST DESIGN UPDATE | | | |
| CITY PROJECT No. | ZONE MAP No. | SHEET | OF |
| | K-09-Z | 1 | 3 |

| ENGINEER'S SEAL | | SURVEY INFORMATION | | AS BUILT INFORMATION | |
|-----------------|--|--------------------|----|------------------------|------|
| | | NO. | BY | CONTRACTOR | DATE |
| | | NO. | BY | STARTED BY | DATE |
| | | | | ACCEPTANCE BY | DATE |
| | | | | FIELD CONTROL BY | DATE |
| | | | | DRAWINGS BY | DATE |
| | | | | CHECKED BY | DATE |
| | | | | MICRO-FILM INFORMATION | |
| | | | | RECORDED BY | DATE |
| | | | | NO. | |



| NO. | DATE | REVISIONS | BY |
|-----|------|-----------|----|
| | | DESIGN | |
| | | | |
| | | | |

| | | |
|-------------|-----|---------------|
| DESIGNED BY | REH | DATE MAY 2013 |
| DRAWN BY | REH | DATE MAY 2013 |
| CHECKED BY | SEC | DATE MAY 2013 |



SC|SC



- LEGEND**
- PROPOSED PIPE
 - - - PROPOSED EASEMENT
 - PROPOSED WATER METER

EROSION CONTROL NOTES

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GND, LLC
CONSULTING ENGINEERS

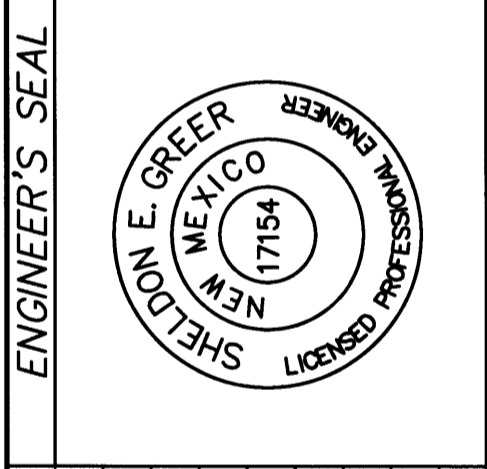
10224 Green River Place NW
Albuquerque, NM 87114
Phone: (505) 264-0472

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
KRANIA - 140 98th St. NW
LOT 3
CONCEPTUAL SITE UTILITY PLAN

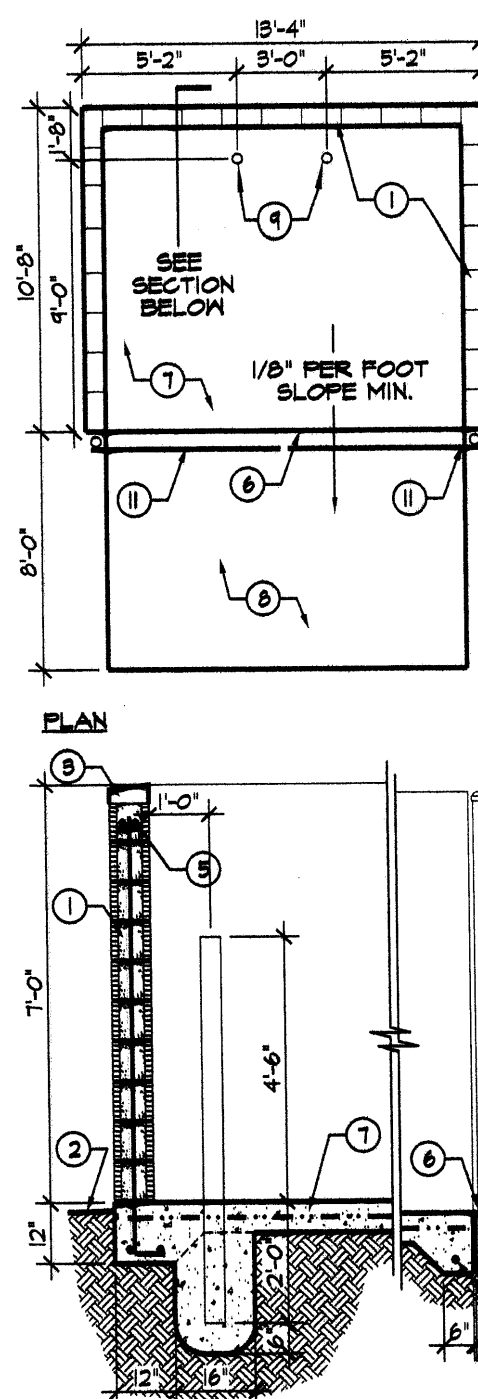
| | | | | |
|-------------------------|------------------------|--------------------|-------------|-------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | LAST DESIGN UPDATE | Mo./DAY/YR. | Mo./DAY/YR. |
| | | | | |

CITY PROJECT No. _____ ZONE MAP NO. **K-09-Z** SHEET **1** OF **1**

| SURVEY INFORMATION | | BENCH MARKS | | AS BUILT INFORMATION | | |
|--------------------|-------------|-------------|----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|--|
| NO. | FIELD NOTES | DATE | BY | CONTRACTOR | DATE | |
| | | | | TRAVEL SOUTH 0.37 MILES TO THE STATION ON 1-40 AND 98TH STREET NW STREET. THE STATION IS 113.1 FEET EAST OF 98TH STREET CENTERLINE AND IS 2.2 FEET WEST OF A BARBED WIRE FENCE. CITY OF ALBUQUERQUE SURVEY CONTROL. 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.3 FEET ABOVE THE GROUND AND IS STAMPED "8-K9 1989" X=1492463.769 Y=1494994.639 (NAD 83) ELEV=5250.166 (NAD 1989) GROUND TO GRID FACTOR= 0.999678 | | |
| | | | | INSPECTORS | DATE | |
| | | | | FIELD VERIFY BY | DATE | |
| | | | | ADJUSTMENT BY | DATE | |
| | | | | CORRECTED BY | DATE | |
| | | | | MICRO-FILM INFORMATION | DATE | |
| | | | | RECORDED BY | DATE | |
| | | | | NO. | | |



| NO. | DATE | REVISIONS | BY |
|-----|---------------|-----------|----|
| | DATE AUG 2013 | DESIGN | |
| | DATE AUG 2013 | | |
| | DATE AUG 2013 | | |



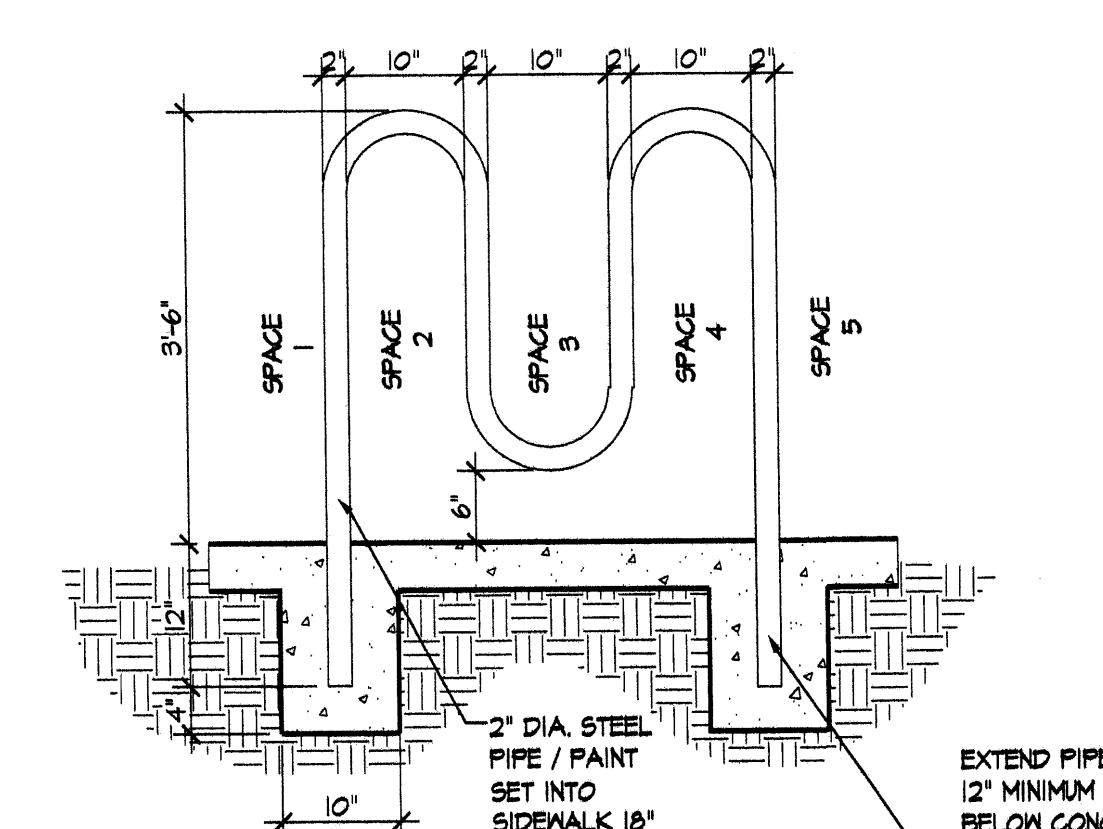
SECTION
REFUGE ENCLASURE
NOT TO SCALE

- REFUGE NOTES**
1. 6" SPLIT FACE CMU BLOCK WALL FINISH - COLOR TO MATCH BLDG.
 2. FINISH GRADE
 3. MASONRY CAP
 4. 1- #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2- #5 BARS @ BOTTOM OF 12" TURNDOWNS
 5. 2- #5 BARS @ TOP KNOCK OUT GUN BOND BEAM AND 2- #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 5' O.C. VERTICAL, 6" O.C. HORIZONTAL
 6. 1/2" EXPANSION JOINT MATERIAL
 7. 6" CONCRETE SLAB, 4000 PSI, 5/4" AGGREGATE WITH 6X6 10X10MM IV 12" TURNDOWN EDGES UNDER CMU WALLS (W/ 2-#5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1-#5 CONT.)
 8. 6" CONCRETE APRON, 4000 PSI, 5/4" AGGREGATE WITH 6X6 10X10MM IV 6" TURNDOWN EDGES (W/ #5 CONT.) AND APRON EXCEPT 12" @ ENTRY (W/ 2-#5 CONT.)
 9. 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING, PAINT TO MATCH ENCLOSURE COLOR
 10. ASPHALT PAVING - SEE PAVING SECTION
 11. WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

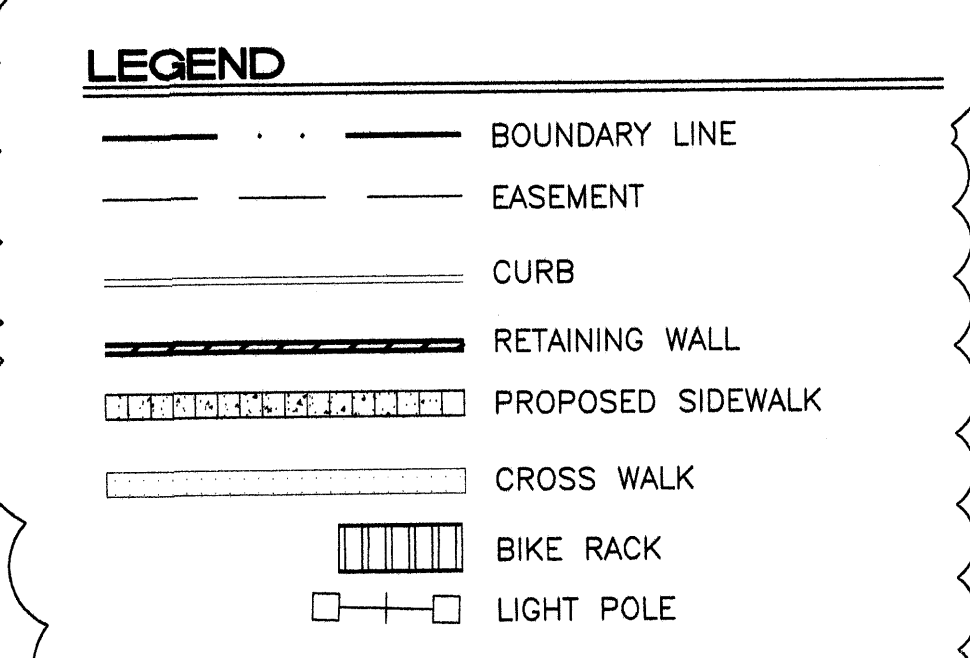
LIGHT POLE DETAIL
NTS

ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

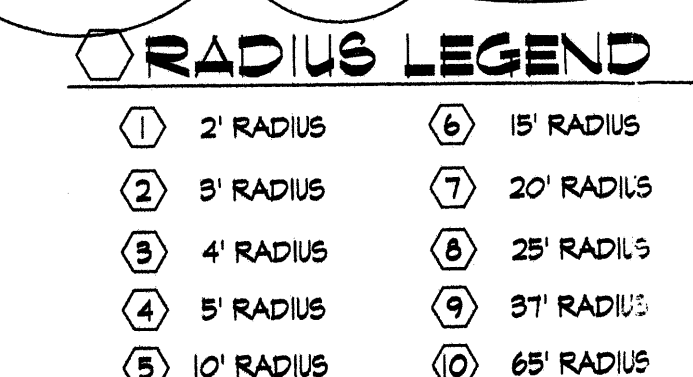
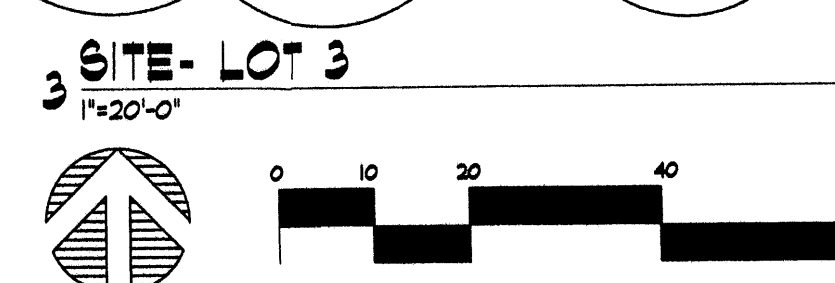
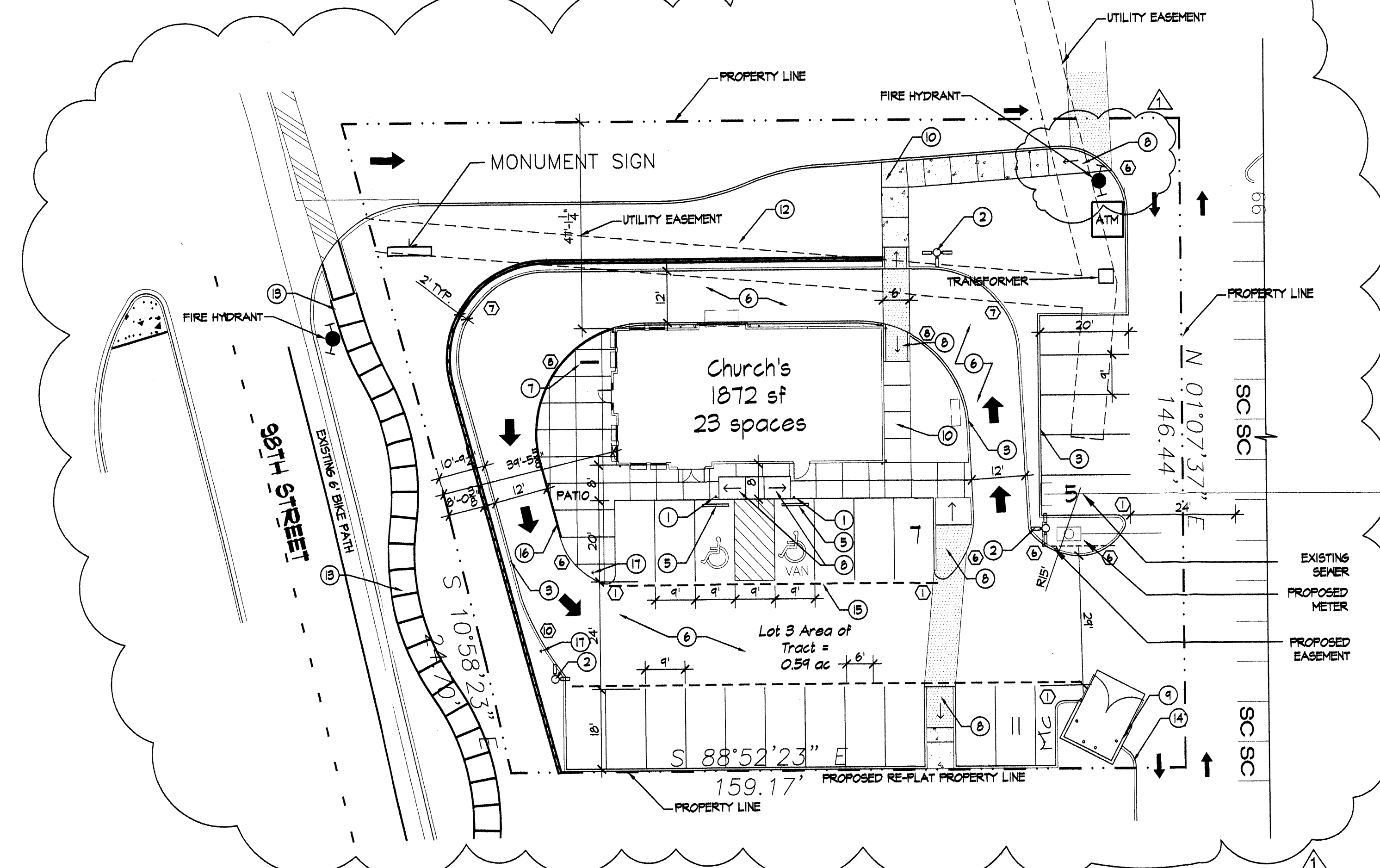
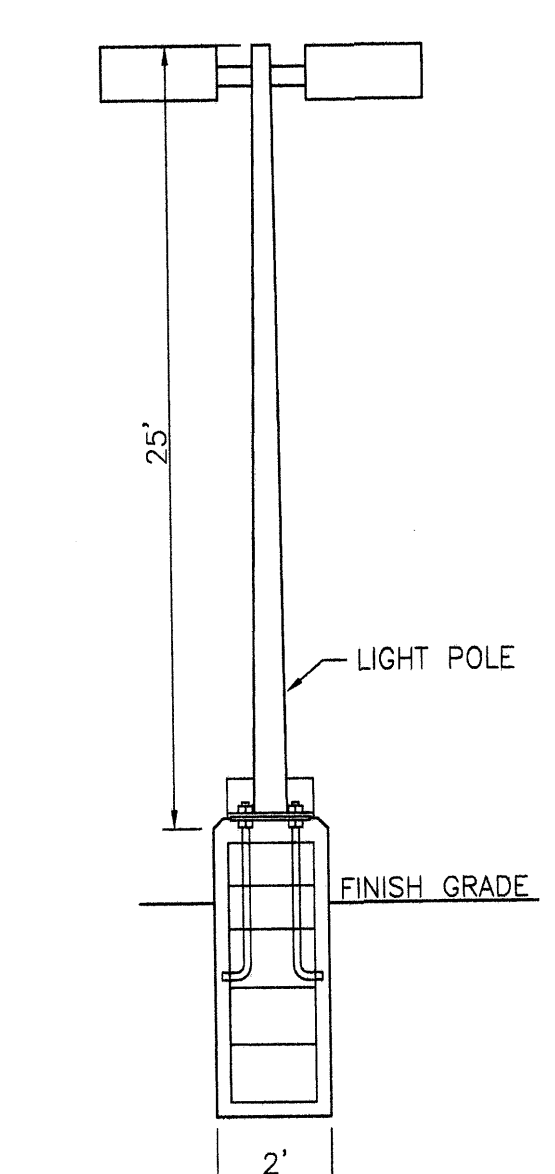
LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



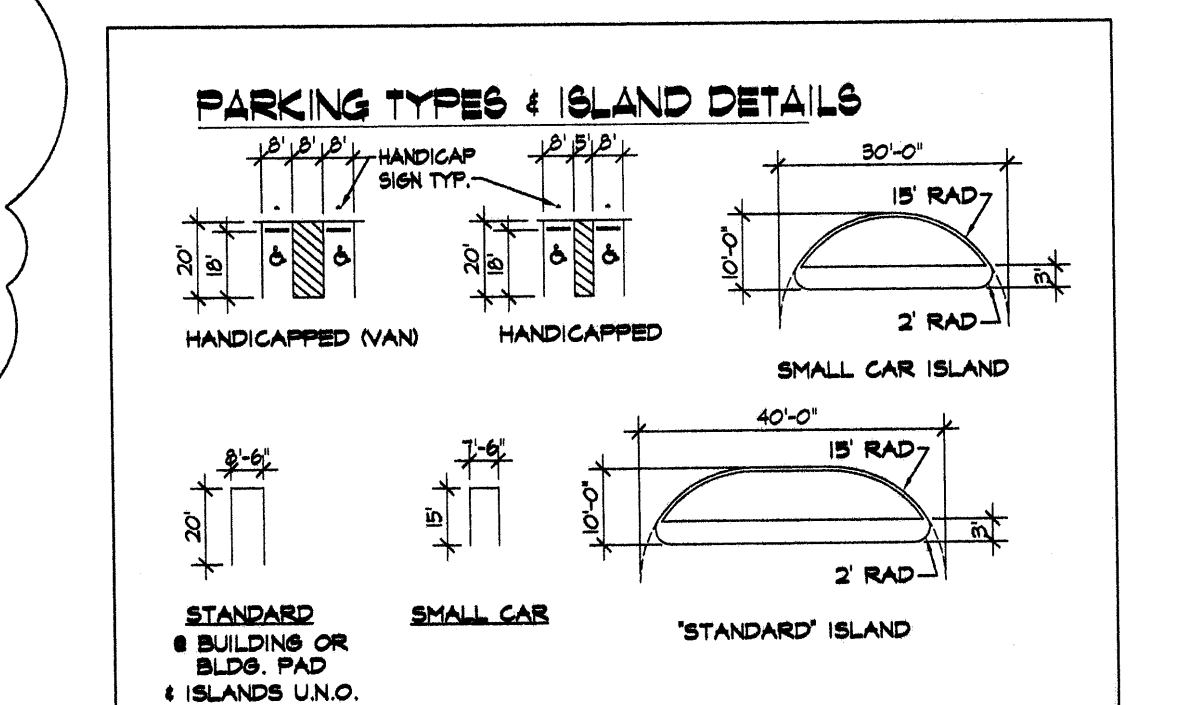
BICYCLE RACK
SCALE: 3/4"=1'-0"



Zone Atlas Page
K-9-Z
Map Annotated through March 08, 2005



- KEYED NOTES**
1. HANDICAP SIGN - 2 REQUIRED. - SEE DETAIL
 2. LIGHT POLE - SEE DETAIL
 3. NEW CONCRETE PERMACURE TYPICAL
 4. NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE
 5. NEW PARKING BUMPER - 2 REQUIRED
 6. STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION
 7. BIKE RACK - SEE DETAIL
 8. SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN AND HAVE TRUNCATED DOMES.
 9. NEW REFUSE ENCLOSURE, SEE DETAIL
 10. NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS
 11. EXISTING TELEPHONE/CABLE PEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION
 12. CMU RETAINING WALL
 13. EXISTING SIDEWALK
 14. EXTRUDED ASPHALT CURB
 15. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 16. GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 17. DO NOT ENTER POLE MOUNTED SIGN
- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION
 - B. ALL STREETSCAPE LANDSCAPING TO BE MAINTAINED BY THE OWNER



BUILDING LEGEND

| | |
|-----------------------|-------------------------------------------------------------------------------------------------|
| OFFICE BUILDING | 6,842 SQ.FT. |
| PARKING REQUIRED: | RESTAURANT = ONE PER 4 SEATS = 11 SPACES (2 H.C. SPACES) |
| PARKING PROVIDED: | 22 SPACES PROVIDED (2 H.C. SPACES PROVIDED) |
| MOTORCYCLE PARKING: | 4 REQUIRED |
| BICYCLE PARKING: | 5 SPACES NEEDED |
| LANDSCAPING REQUIRED: | BLDG. SITE = 25,100 S.F. - 1,872 S.F. (BLDG. AREA) = 23,228 S.F. NET LOT AREA * 15 = 3,574 S.F. |
| LANDSCAPING PROVIDED: | 5,512 S.F. |

GENERAL NOTES - CITY REQUIRED

- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O., WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2425
- F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

H+W
architecture llc

2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplusw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Date: June 4, 2013
 Drawn: S.T.WILDER
 Checked: S.T.WILDER
 Revision: 8/1/13

Seal:

JOB NUMBER: H28008

S01

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 18' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUILDINGS CANNOT EXCEED HEIGHTS AS SPECIFIED BY THE SU-2 IP CITY ZONING CODE
- THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
- BUS ROUTE 54 RUNS FROM THE 98TH STREET, NW TO CENTRAL AVENUE, NW
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
- APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, 4A AND 4B TO BE DELEGATED TO THE DRB
- ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
- HANDICAP ACCESS LANDINGS AND RAMPS TO BE ADA COMPLIANT.
- CLEAR SITE TRIANGLE : SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE
- ALL STREETSCAPE LANDSCAPING TO BY MAINTAINED BY OWNER.

KEYED NOTES:

- PAINTED DIRECTIONAL ARROW TYPICAL
- ACCESSIBLE PARKING SPACE TYPICAL, SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- UNIDIRECTIONAL HC RAMP
- PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL TO HAVE TRUNCATED DOWNS
- 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- 6" CONCRETE HEADER CURB
- 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- 6' CONCRETE SIDEWALK TYPICAL
- TRASH COMPACTOR
- "STOP" SIGN. SEE PLAN FOR LOCATION
- 5 SPACE BIKE RACK TYPICAL
- NEW 6' BIKE PATH
- TREE PLANTER TYPICAL
- RETAINING WALL TAN CMU SEE DETAIL SHEET
- DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- 6" CONCRETE CURB AND GUTTER
- PATIO RAILING
- DO NOT ENTER SIGN

PROJECT NUMBER: _____

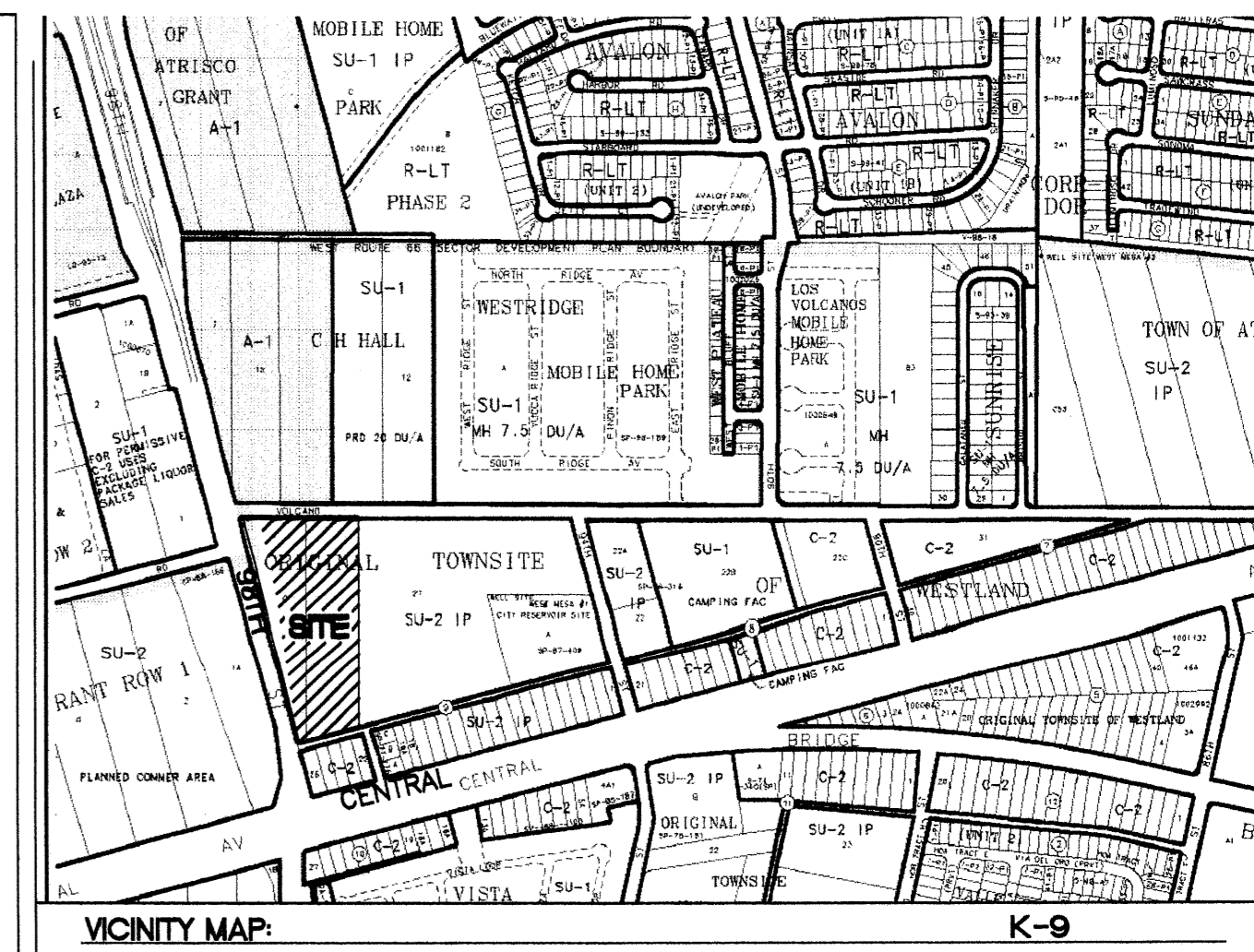
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

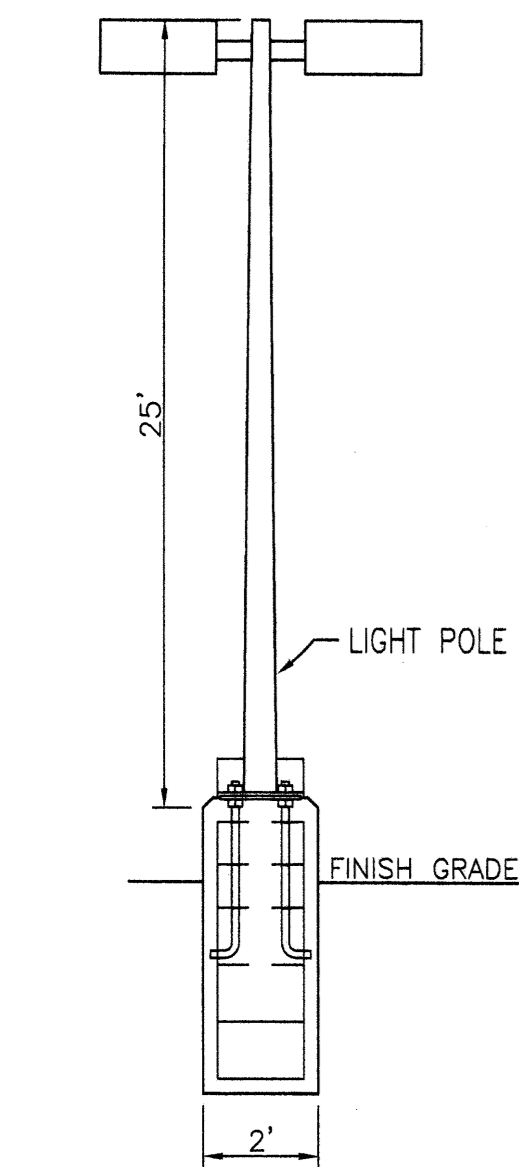


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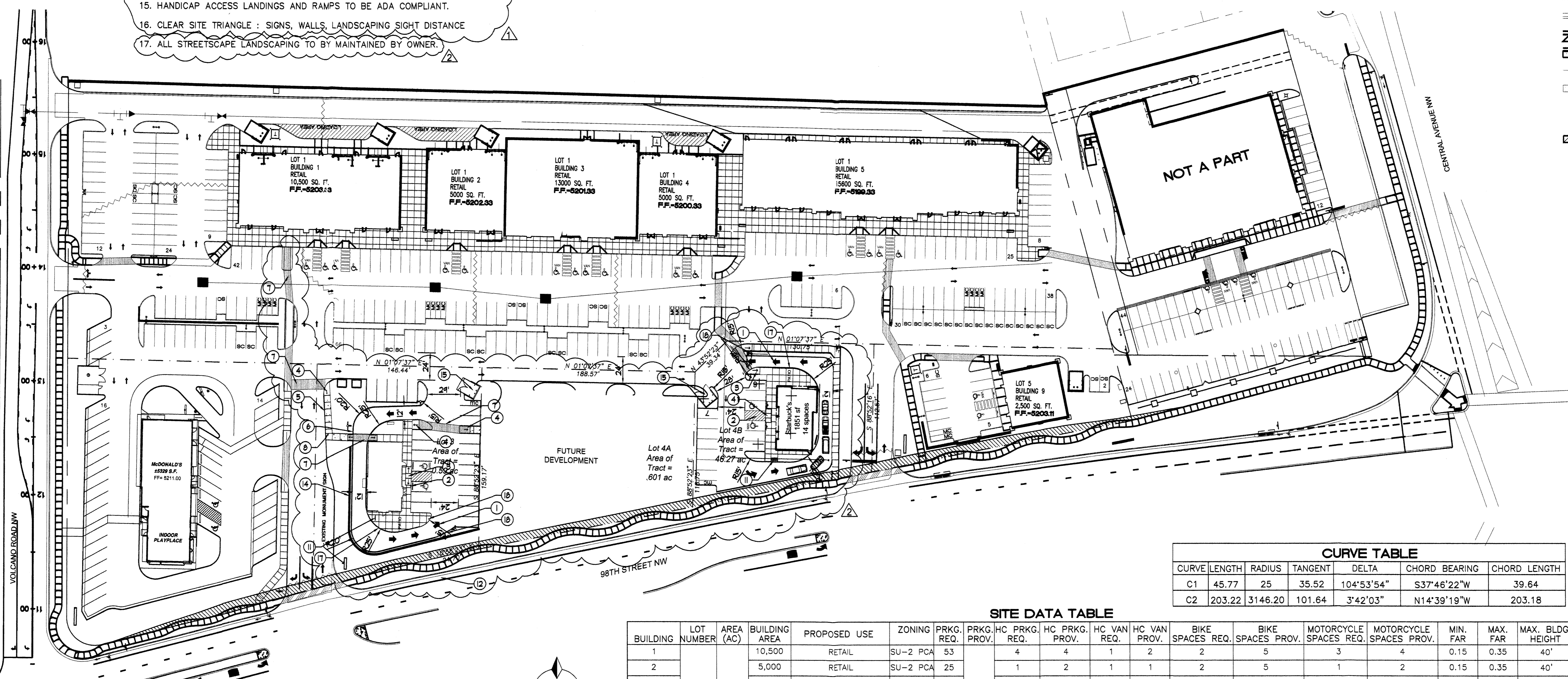
PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

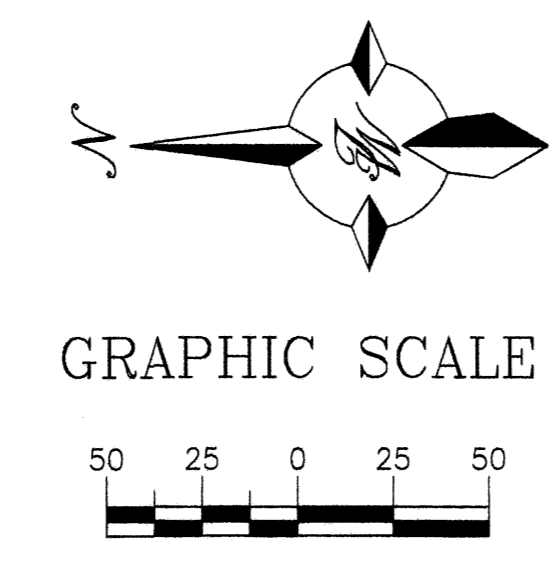
- BOUNDARY LINE
- EASEMENT
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- RETAINING WALL
- PROPOSED SIDEWALK
- EXISTING BOUNDARY
- CROSS WALK
- BIKE RACK
- LIGHT POLE
- ROW DEDICATION



LIGHT POLE DETAIL
NTS



- SHEET INDEX**
- SITE PLAN FOR SUBDIVISION
 - SITE PLAN FOR BUILDING PERMIT
 - LANDSCAPE PLAN
 - ELEVATIONS
 - ELEVATIONS
 - DETAILS



CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|--------------|------------|-----------|---------------|-------------------------|----------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT W/ DRIVETHRU | SU-2 PCA | 68 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.69 | 1,872 | RESTAURANT W/ DRIVETHRU | SU-2 PCA | 11 | 23 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT W/ DRIVETHRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| 10 | 5 | 0.430 | 4,806 | RETAIL | SU-2 PCA | 13 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | | | 8,049 | 61,223 | | 328 | 348 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | 22 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

H+W
architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplusw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

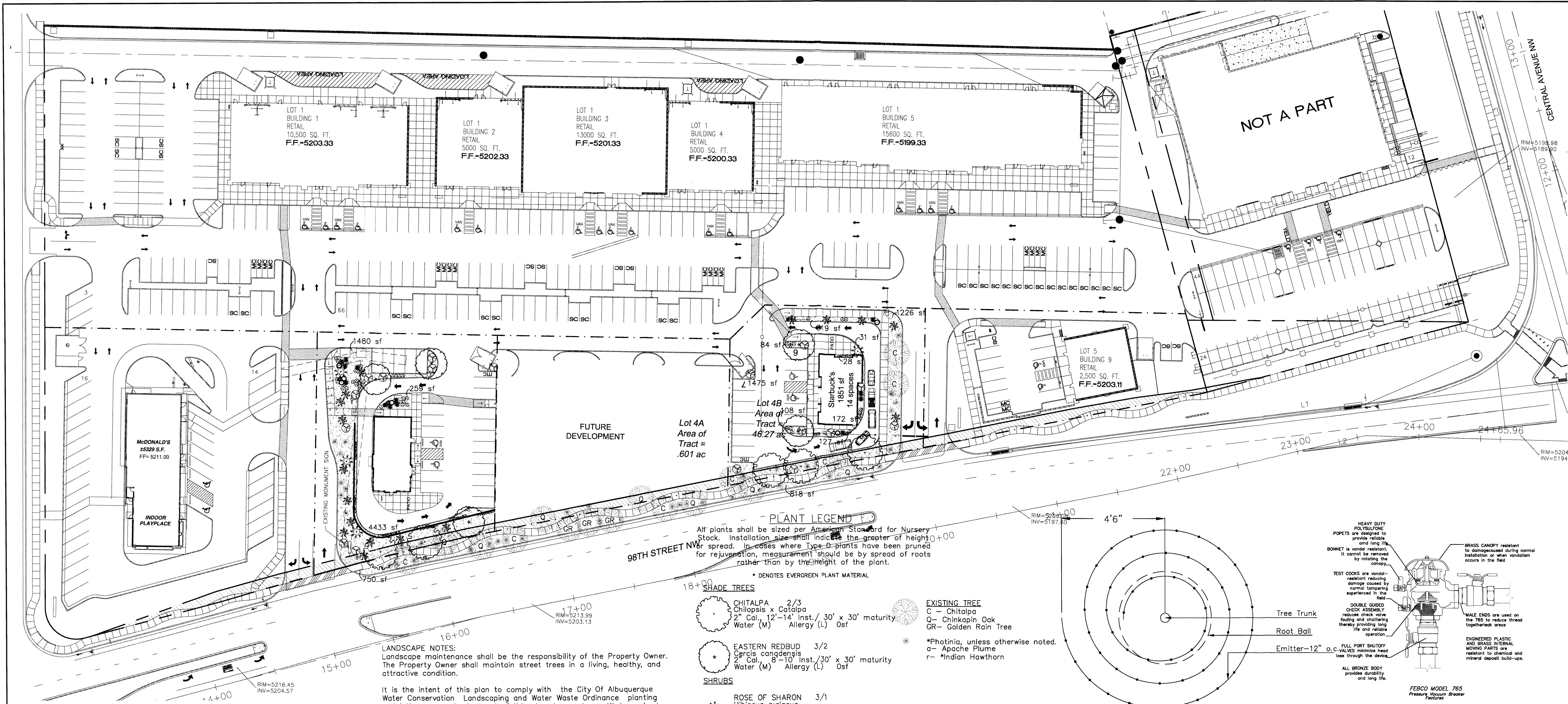
ALBUQUERQUE, NM

Sheet Title:
**AMENDED SITE PLAN
FOR BUILDING
PERMIT**

Date: May 8, 2013
Drawn: S.T.WILDER
Checked: S.T.WILDER
Revision:
6/02/13
8/1/13
Seal:

JOB NUMBER: H28008

002



PARKING LOT TREE REQUIREMENTS
 - Minimum 2" Caliper Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

STREET TREE REQUIREMENTS - Minimum 2" Caliper Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

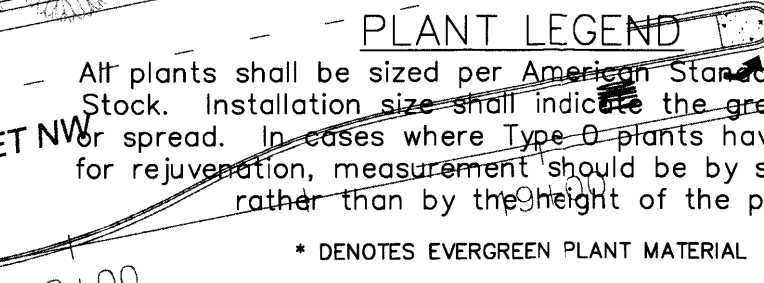
LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.



SHADE TREES

- CHITALPA 2/3
Chilopsis x Catalpa
2" Cal., 12-14" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 3/2
Cercis canadensis
2" Cal., 8-10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf

SHRUBS

- ROSE OF SHARON 3/1
Hibiscus syriacus
5 Gal., 2-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- MUGO PINE 4/2
Pinus mugo
5 Gal., 3-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- RED YUCCA 9/4
Hesperaloe parviflora
5 Gal., 18-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
- CATMINT 30/15
Nepeta mussini
1 Gal., 3-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

GROUNDCOVERS

- TAM JUNIPER 12/5
Juniperus sabinia 'Tomariscifolia'
1 Gal., 6-15" Inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
- HONEYSUCKLE 9/8
Lonicera japonica 'Halliana'
1 Gal., 6-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover

VINES

- BANK'S ROSE 6/1
Rosa banksiae
1 Gal., 6-15" Inst./climbing to 20'
Water (M) Allergy (L)

HARDSCAPES

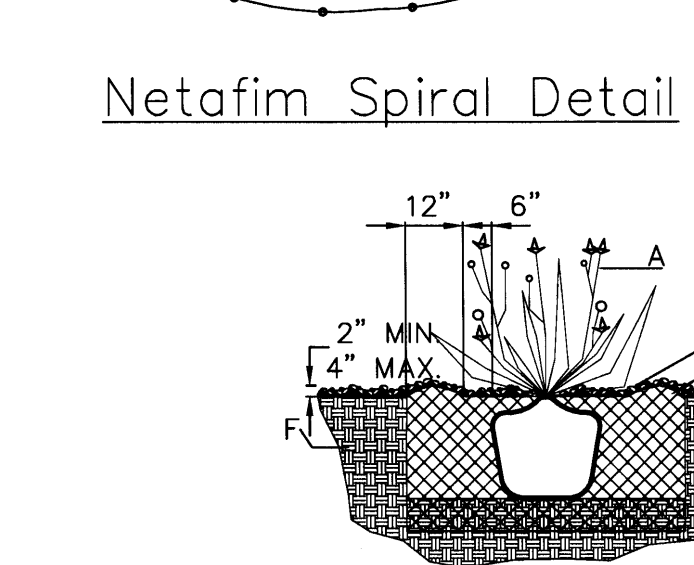
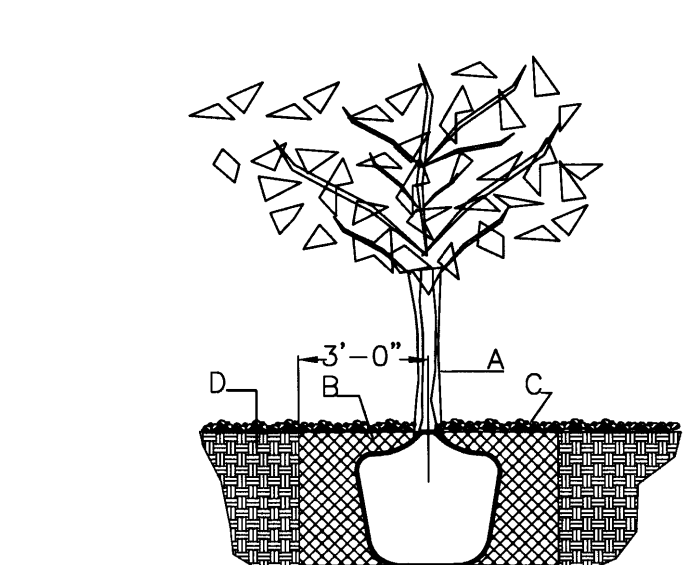
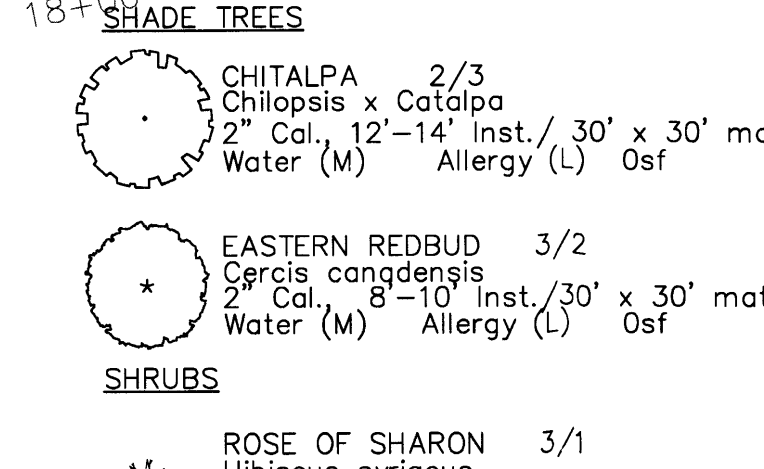
- OVERSIZED GRAVEL & BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

1 Shade tree per 10 spaces
 Required 3 Provided 3

Name of Street
 Required 5 Provided 5 (3 existing/2new)

LANDSCAPE CALCULATIONS

| | CHURCHES | STARBUCKS |
|-------------------------------------------------|----------|-------------------|
| TOTAL LOT AREA | 25700 | 18983 square feet |
| TOTAL BUILDINGS AREA | 1872 | 1851 square feet |
| NET LOT AREA | 23828 | 17132 square feet |
| LANDSCAPE REQUIREMENT | 15% | 15% |
| TOTAL LANDSCAPE REQUIREMENT | 3574 | 2569 square feet |
| TOTAL BED PROVIDED | 6922 | 4388 square feet |
| GROUNDCOVER REQ. | 75% | 75% square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 5191 | 3291 square feet |
| TOTAL GROUNDCOVER PROVIDED | 5748 | 3583 square feet |
| TOTAL PONDING AREA | 0 | 0 square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | 0 square feet |
| TOTAL NATIVE SEED AREA | 0 | 0 square feet |
| TOTAL LANDSCAPE PROVIDED | 6922 | 4388 square feet |



IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

TREE PLANTING DETAIL
 NTS
GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:

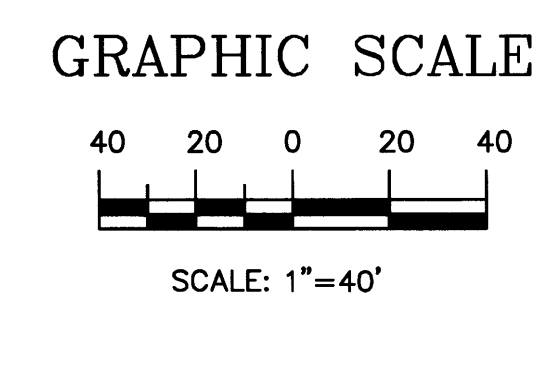
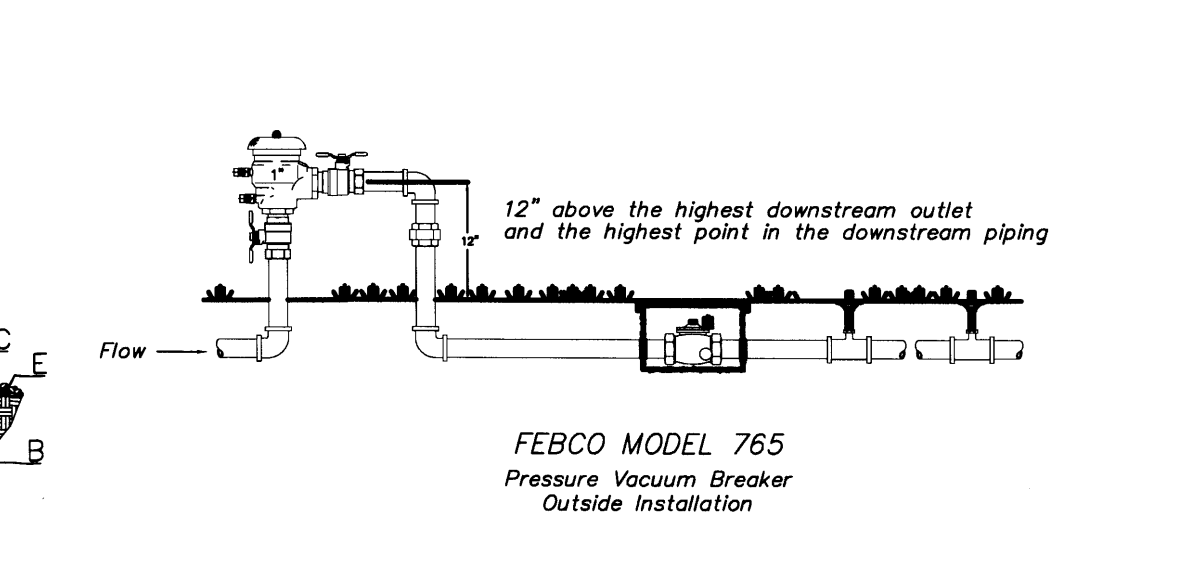
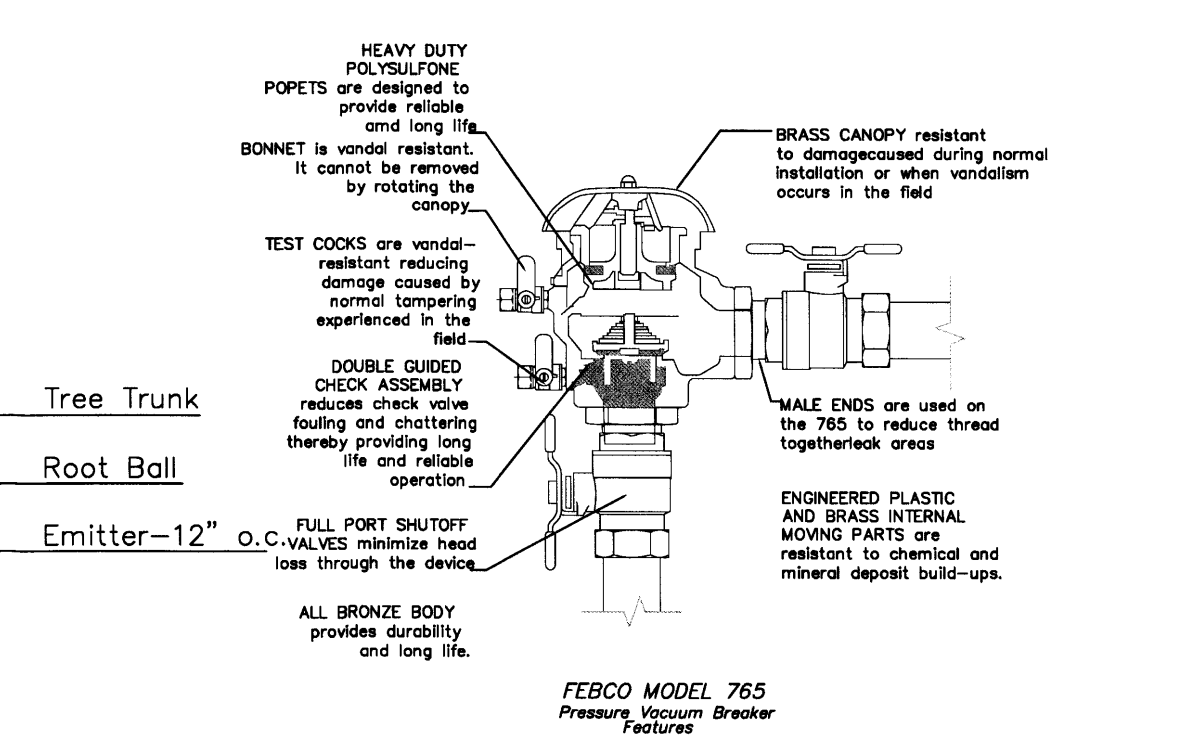
- TREE
- BACKFILL WITH EXISTING SOIL.
- 3" DEPTH OF GRAVEL MULCH.
- UNDISTURBED SOIL.

SHRUB PLANTING DETAIL
 NTS
GENERAL NOTES:

- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:

- SHRUB.
- BACKFILL WITH EXISTING SOIL.
- EARTH BERM AROUND WATER RETENTION BASIN.
- 3" DEPTH OF GRAVEL MULCH.
- FINISH GRADE.
- UNDISTURBED SOIL.



Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

8-12-13

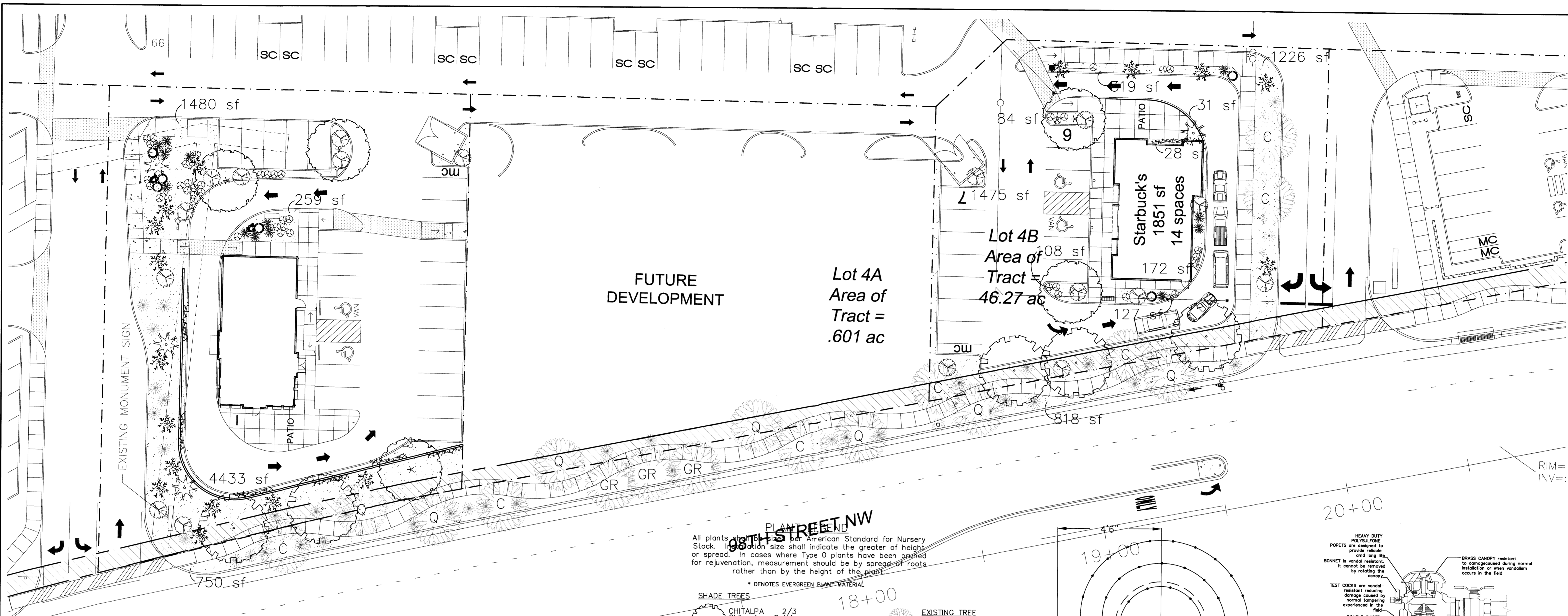
98th and Central
 EXISTING PLANTS AND
 NEW LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and are provided by copyright law. No other contractors and are provided by copyright law. No other contractors and are provided by copyright law. No other contractors and are provided by copyright law. No other contractors and are provided by copyright law.

The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY: CWD
 REVISION # 3/8-2-15
 DATE 5-3-13

SHEET #
 L1 OF L2



All plants shall be per American Standard for Nursery Stock. Plant size shall indicate the greater of height or spread. In cases where Type 0 plants have been specified for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

* DENOTES EVERGREEN PLANT MATERIAL

SHADE TREES

- CHITALPA 2/3
Chilopsis x Catalpa
2" Cal., 12'-14" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- EASTERN REDBUD 3/2
Cercis canadensis
2" Cal., 8'-10" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf

SHRUBS

- ROSE OF SHARON 3/1
Hibiscus syriacus
5 Gal., 2 3/4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
- MUGO PINE 4/2
Pinus mugo
5 Gal., 12'-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 9sf
- RED YUCCA 9/4
Hesperaloe parviflora
5 Gal., 18'-3" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
- CATMINT 30/15
Nepeta mussini
1 Gal., 3"-15" Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

GROUNDCOVERS

- TAM JUNIPER 12/5
Juniperus sabinia 'Tamariscifolia'
1 Gal., 6"-15" Inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
- HONEYSUCKLE 9/8
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover

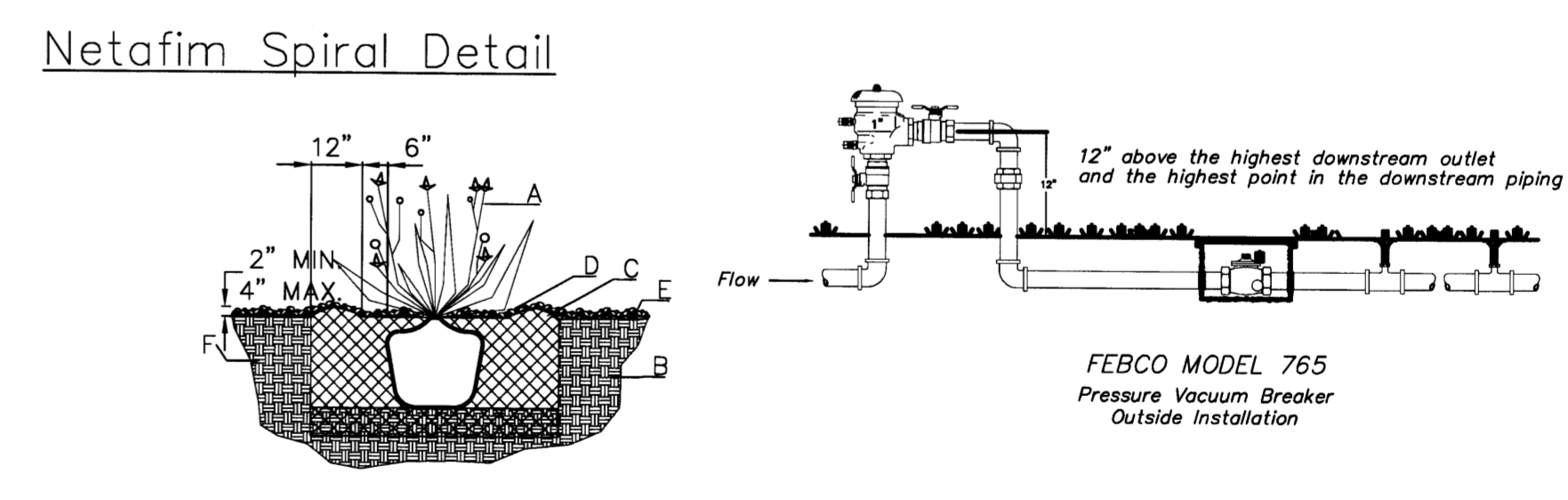
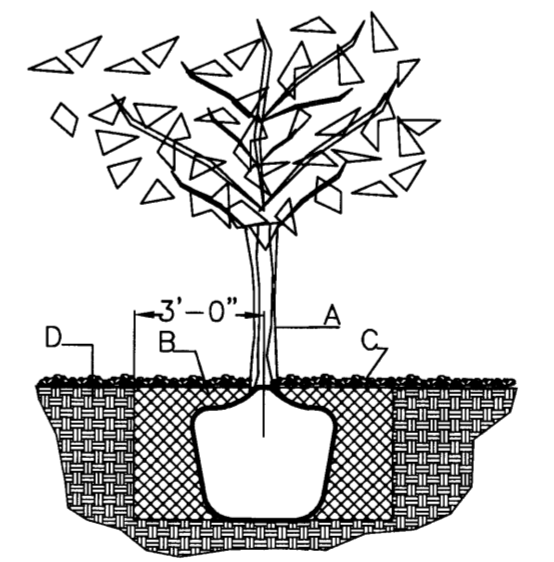
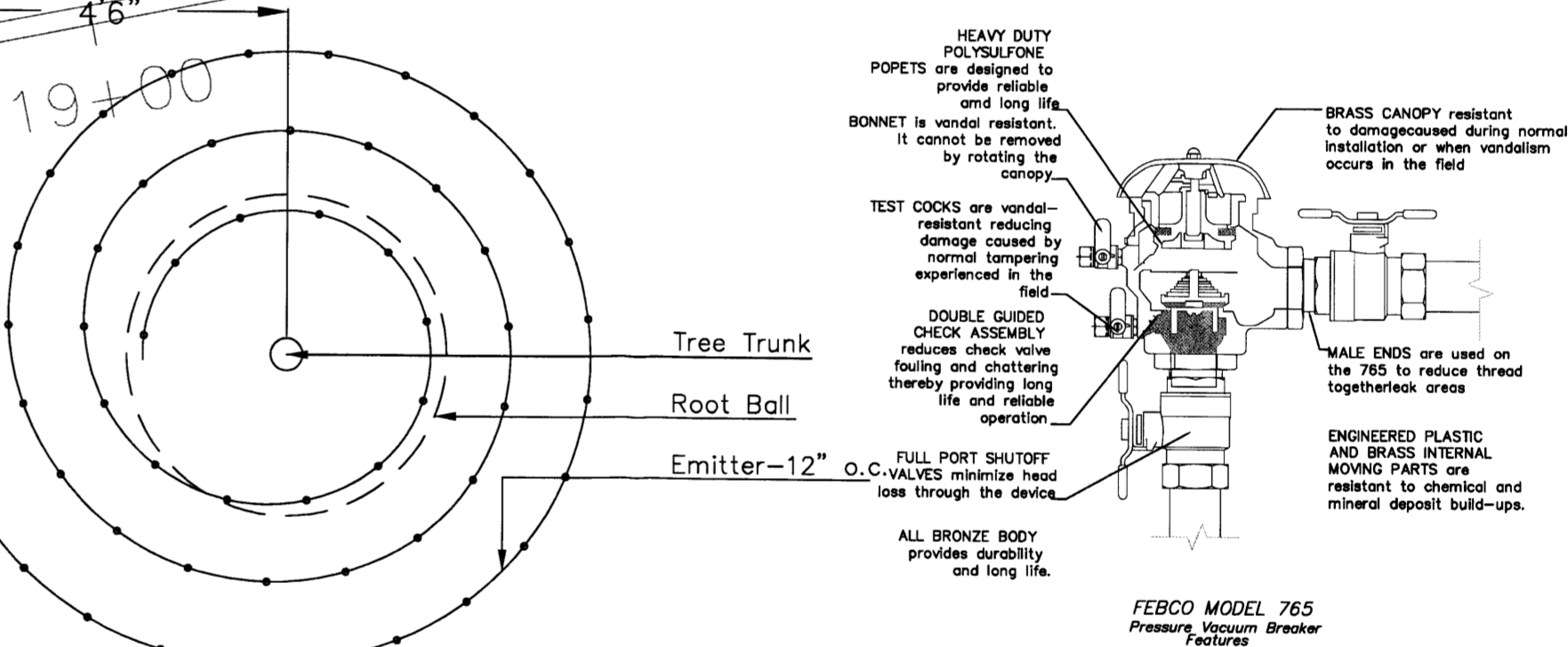
VINES

- BANK'S ROSE 6/1
Rosa banksiae
1 Gal., 6"-15" Inst./climbing to 20'
Water (M) Allergy (L)

HARDSCAPES

- OVERSIZED GRAVEL & BOLDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

- EXISTING TREE**
- C - Chitalpa
 - Q - Chinkapin Oak
 - GR - Golden Rain Tree
- *Photinia, unless otherwise noted.
 a - Apache Plume
 r - Indian Hawthorn



LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity. Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.
 Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

PARKING LOT TREE REQUIREMENTS
 - Minimum 2" Caliper Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

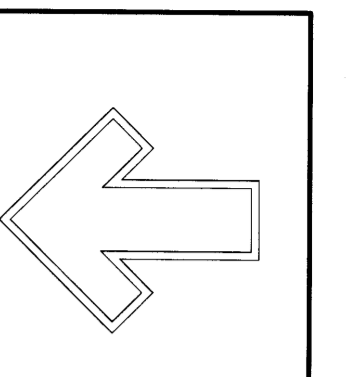
| | | |
|----------------------------|------------|------------|
| 1 Shade tree per 10 spaces | Required 3 | Provided 3 |
|----------------------------|------------|------------|

STREET TREE REQUIREMENTS
 - Minimum 2" Caliper Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

| | | |
|----------------|------------|------------------------------|
| Name of Street | Required 5 | Provided 5 (3 existing/2new) |
|----------------|------------|------------------------------|

LANDSCAPE CALCULATIONS

| | CHURCHES | STARBUCKS | |
|-------------------------------------------------|----------|-----------|-------------|
| TOTAL LOT AREA | 25700 | 18983 | square feet |
| TOTAL BUILDINGS AREA | 1872 | 1851 | square feet |
| NET LOT AREA | 23828 | 17132 | square feet |
| LANDSCAPE REQUIREMENT | 15% | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 3574 | 2569 | square feet |
| TOTAL BED PROVIDED | 6922 | 4388 | square feet |
| GROUNDCOVER REQ. | 75% | 75% | square feet |
| TOTAL GROUNDCOVER REQUIREMENT | 5191 | 3291 | square feet |
| TOTAL GROUNDCOVER PROVIDED | 5748 | 3583 | square feet |
| TOTAL PONDING AREA | 0 | 0 | square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | 0 | square feet |
| TOTAL NATIVE SEED AREA | 0 | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 6922 | 4388 | square feet |



Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cm@hilltoplandscaping.com

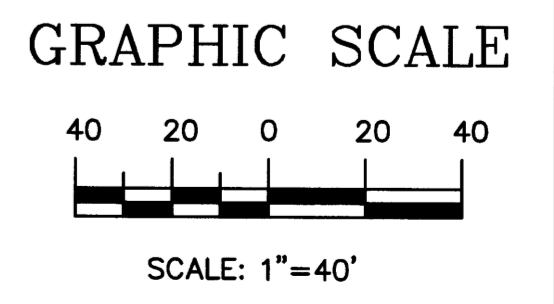
LANDSCAPE ARCHITECT'S SEAL



8-2-13

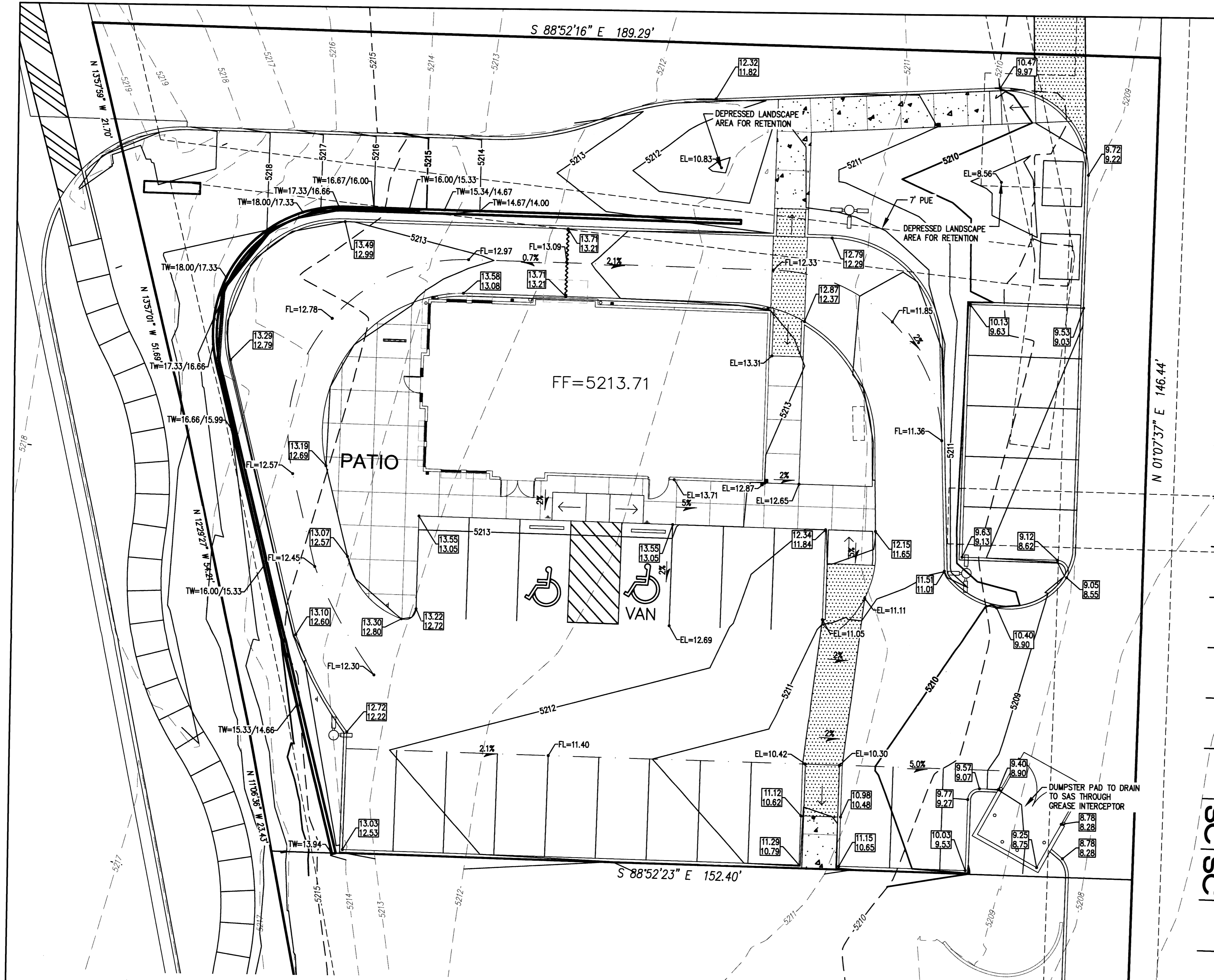
98th and Central
 EXISTING PLANTS AND NEW LANDSCAPE PLAN

All creative ideas contained herein remain the property of Hilltop Landscaping Architects and Contractors. No part of this plan may be copied or reproduced in any form without the written consent of Hilltop Landscaping Architects and Contractors. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.



DRAWN BY: CMD
 REVISION # 3/8-2-13
 DATE 5-3-13

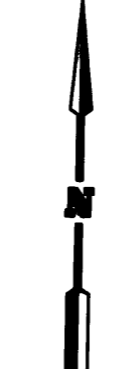
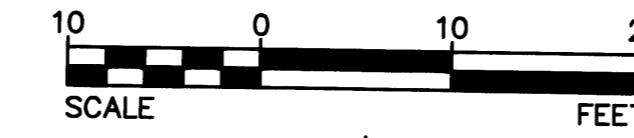
SHEET #
 L2 OF L2



S 88°52'16" E 189.29'

S 88°52'23" E 152.40'

N 01°07'37" E 146.44'



LEGEND

- > FLOW ARROW
- EL=11.28 PROPOSED ELEVATION
- x 66.33 EXISTING ELEVATION
- GRADE BREAK
- 9.85 / 9.35 TOP OF CURB ELEVATION
- 4.966 EXISTING CONTOUR
- - - PROPOSED EASEMENT
- 4.00% PROPOSED GRADE

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

NOTE

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NOTE

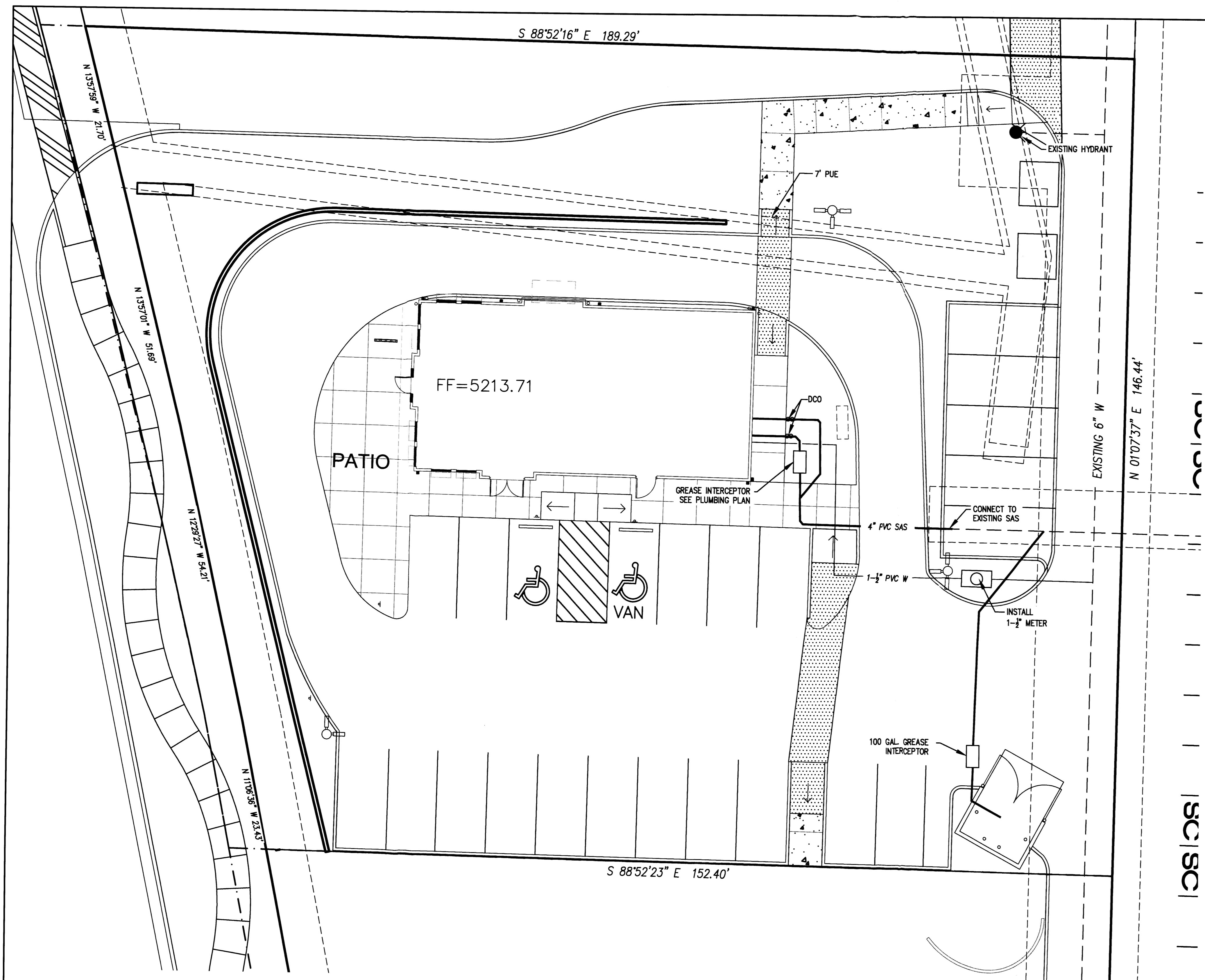
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.



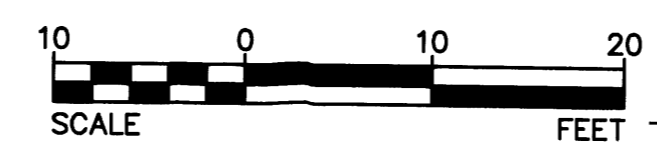
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
KRANIA - 140 98th St. NW
LOT 3
GRADING & DRAINAGE PLAN**

| | | | |
|-------------------------|------------------------|------------------------|--------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | Mo./DAY/YR. | Mo./DAY/YR. |
| LAST DESIGN UPDATE | | | |
| CITY PROJECT No. | | ZONE MAP No. K-09-Z | SHEET 1 OF 3 |

| ENGINEER'S SEAL | | SURVEY INFORMATION | | BENCH MARKS | | AS-BUILT INFORMATION | |
|-----------------|------|--------------------|-------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-----------------------------------------------------------------------------------------------------------------------------------|----------|
| NO. | DATE | BY | FIELD NOTES | DATE | CONTRACTOR | DATE | NO. |
| | | | | *8-K9 1989* FROM THE INTERSECTION OF I-40 AND 98TH STREET NW TRAVEL SOUTH 0.37 MILES TO THE STATION ON THE EAST SIDE OF 98TH STREET. THE STATION IS 113.1 FEET EAST OF 98TH STREET CENTERLINE AND IS 2.2 FEET WEST OF A BARBED WIRE FENCE. CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.3 FEET ABOVE THE GROUND AND IS STAMPED "8-K9 1989" X=1492463.769 Y=1484994.638 (NAD 83) ELEV=5250.186 (NAVD 1989) GROUND TO GRID FACTOR: 0.999678 | | CONTRACTOR STAMPED BY INSPECTOR'S FIELD LABEL BY VERIFICATION BY MICRO-FILM INFORMATION RECORDED BY DATE DATE DATE DATE DATE DATE | |
| | | REVISIONS | NO. DATE | BY | DATE | REH | DATE |
| | | DESIGN | 1 MAY 2013 | REH | MAY 2013 | SEG | MAY 2013 |



SC|SC



LEGEND

- PROPOSED PIPE
- - - PROPOSED EASEMENT
- PROPOSED WATER METER

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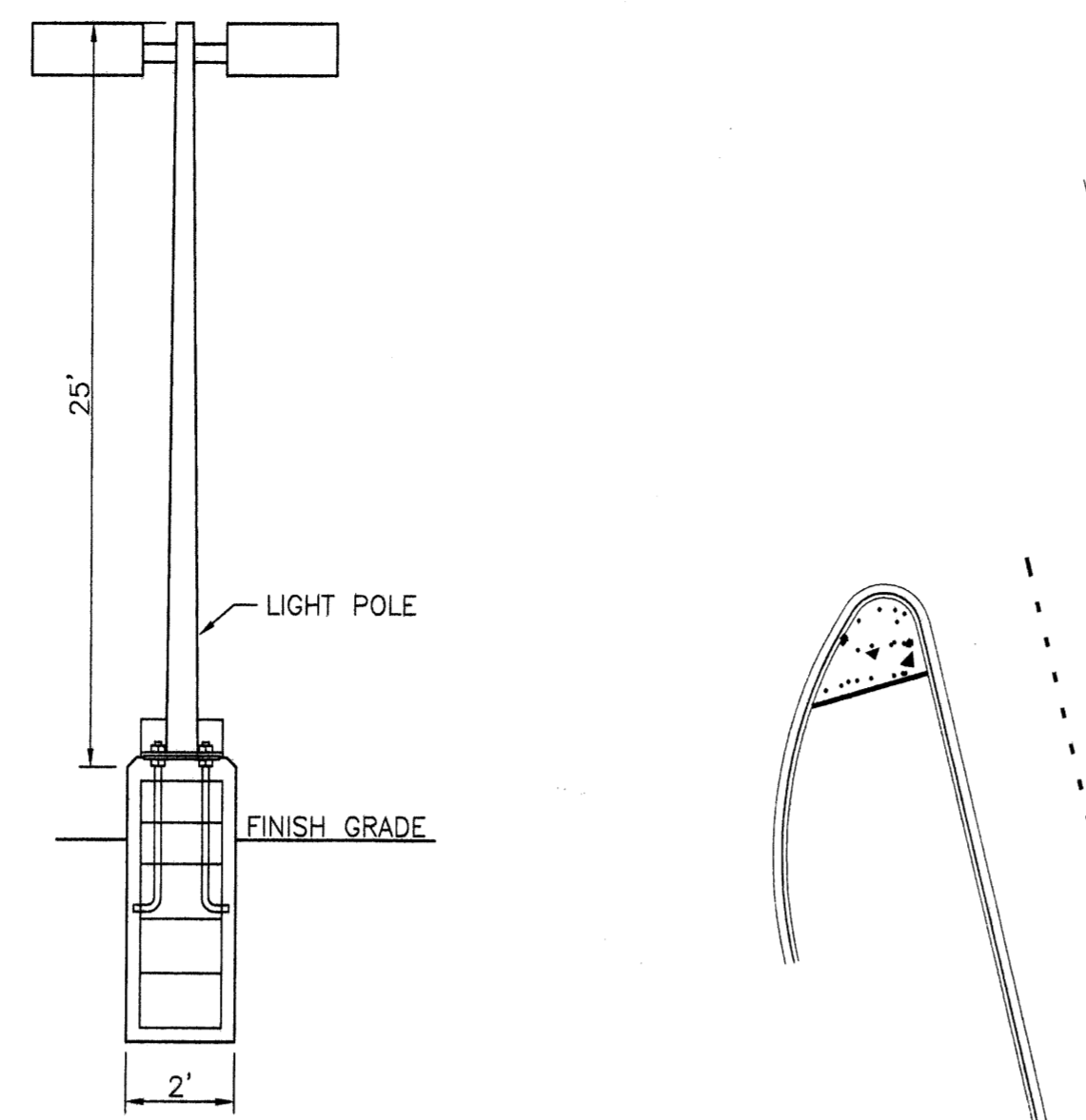
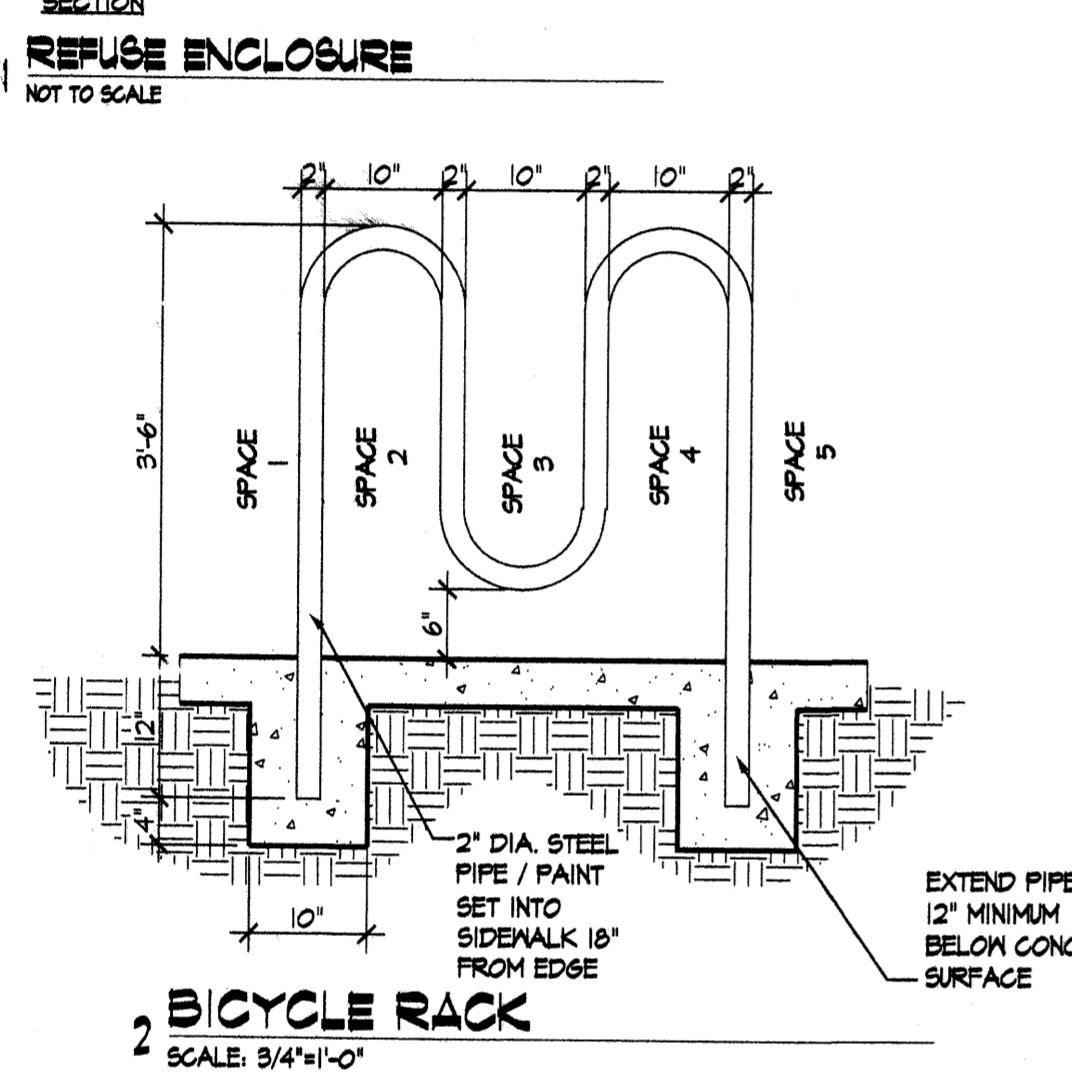
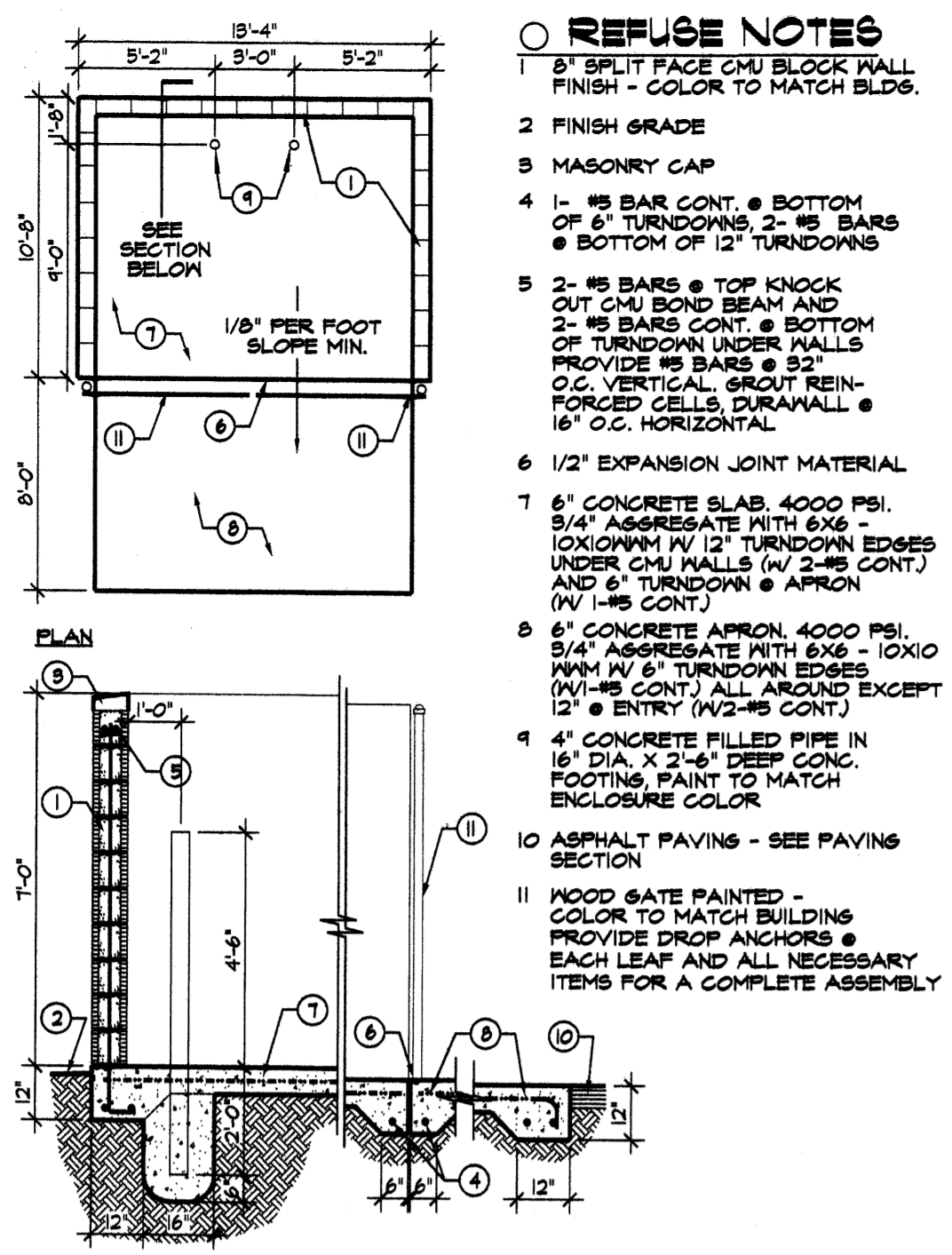
GND, LLC
 CONSULTING ENGINEERS
 10224 Green River Place NW
 Albuquerque, NM 87114
 Phone: (505) 264-0472

| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|-------------|-------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP KRANIA - 140 98th St. NW LOT 3 CONCEPTUAL SITE UTILITY PLAN | | | |
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | Mo./DAY/YR. | Mo./DAY/YR. |
| | | | |
| CITY PROJECT No. | ZONE MAP NO. K-09-Z | SHEET 1 | OF 1 |

| ENGINEER'S SEAL | | SURVEY INFORMATION | | AS BUILT INFORMATION | |
|-----------------|----|--------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|------------------------|
| | | FIELD NOTES | BENCH MARKS | CONTRACTOR | AS BUILT INFORMATION |
| NO. | BY | DATE | FROM THE INTERSECTION OF I-40 AND 98TH STREET NW TRAVEL SOUTH 0.37 MILES TO THE STATION ON THE EAST SIDE OF 98TH STREET. THE STATION IS 113.1 FEET EAST OF 98TH STREET CENTERLINE AND IS 2.2 FEET WEST OF A BARBED WIRE FENCE. CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.3 FEET ABOVE THE GROUND AND IS STAMPED "9-43 1988" X=1492463.769 Y=148494.639 (NAD 83) ELEV=5250.166 (NAVD 1988) GROUND TO GRID FACTOR: 0.999678 | STAMPED BY | DATE |
| | | | | INSPECTOR'S | DATE |
| | | | | FIELD CHANGE BY | DATE |
| | | | | VERIFICATION BY | DATE |
| | | | | CORRECTED BY | DATE |
| | | | | | MICRO-FILM INFORMATION |
| | | | | | RECORDED BY |
| | | | | | NO. |
| | | | | | DATE |

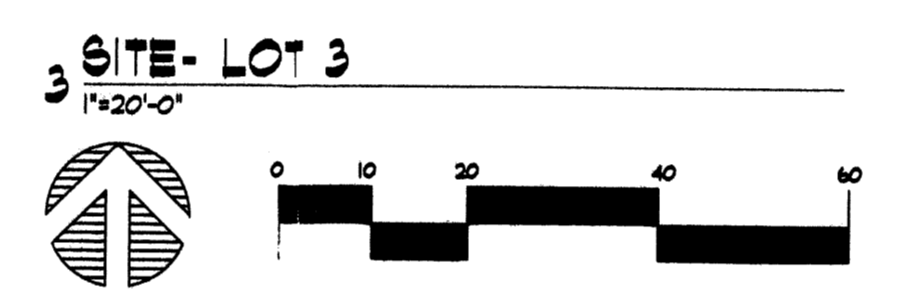
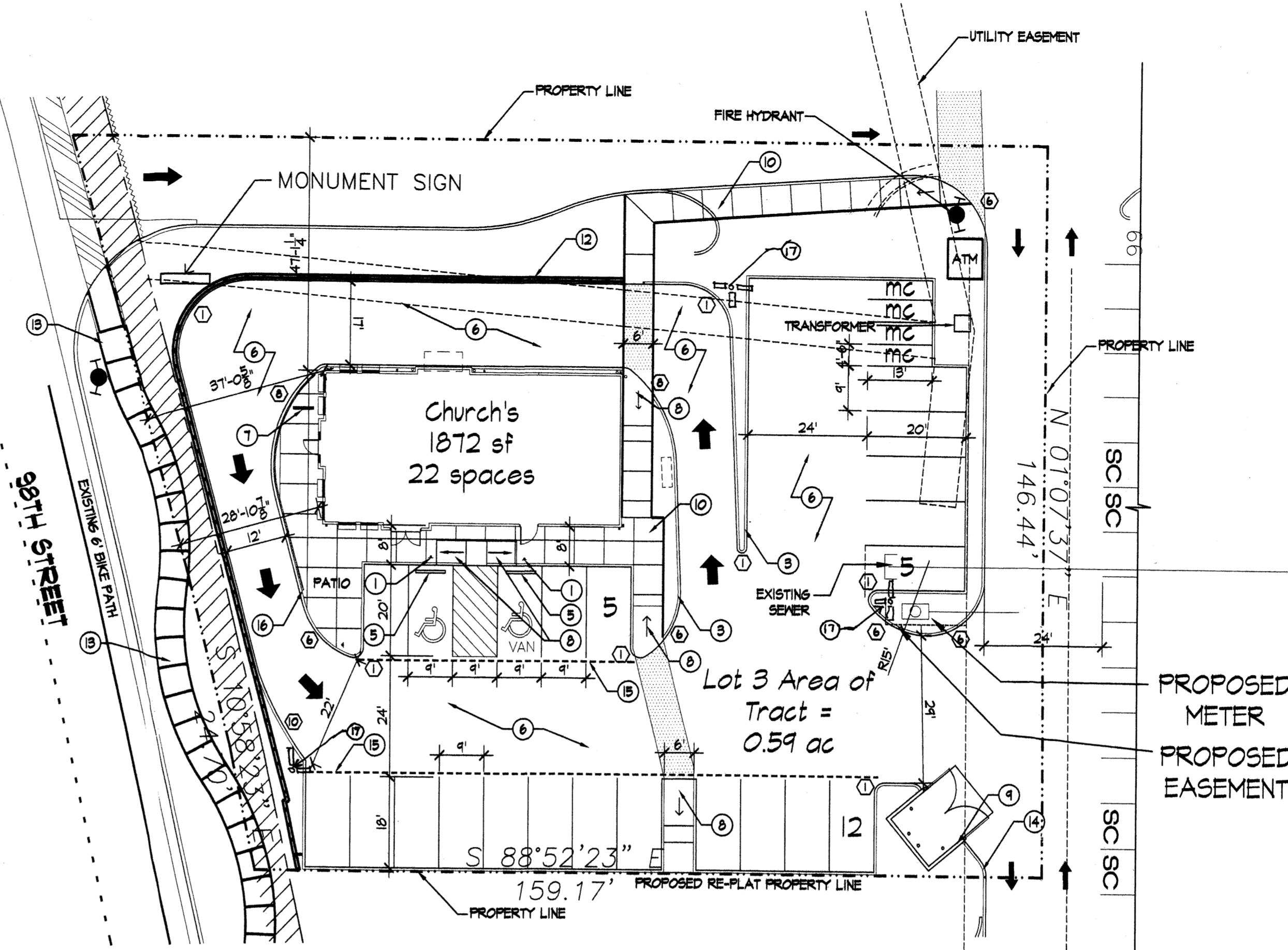
REVISIONS

| NO. | DATE | REMARKS | BY |
|-----|----------|-------------|-----|
| | AUG 2013 | DESIGNED BY | REH |
| | AUG 2013 | DRAWN BY | REH |
| | AUG 2013 | CHECKED BY | SEC |

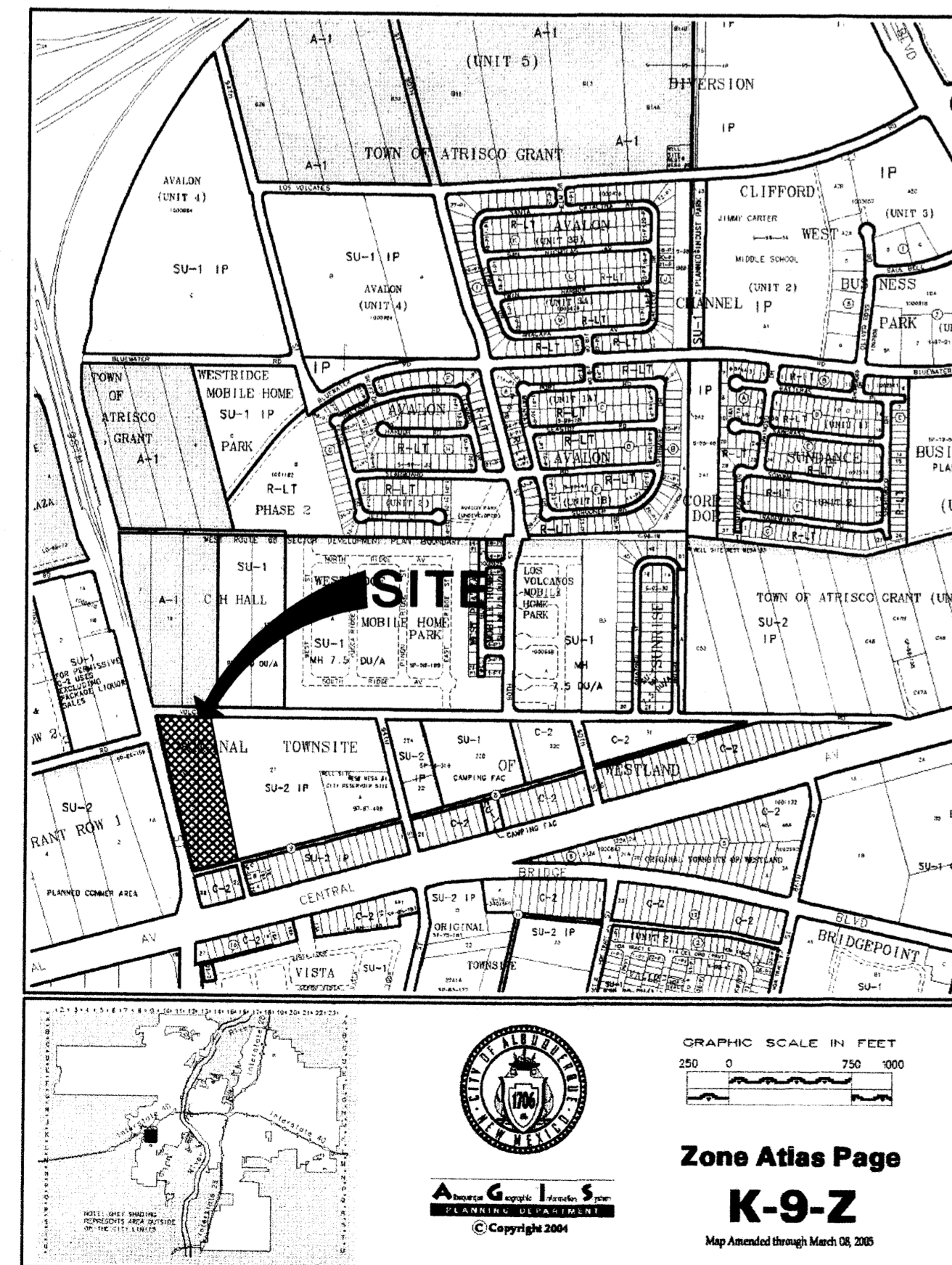
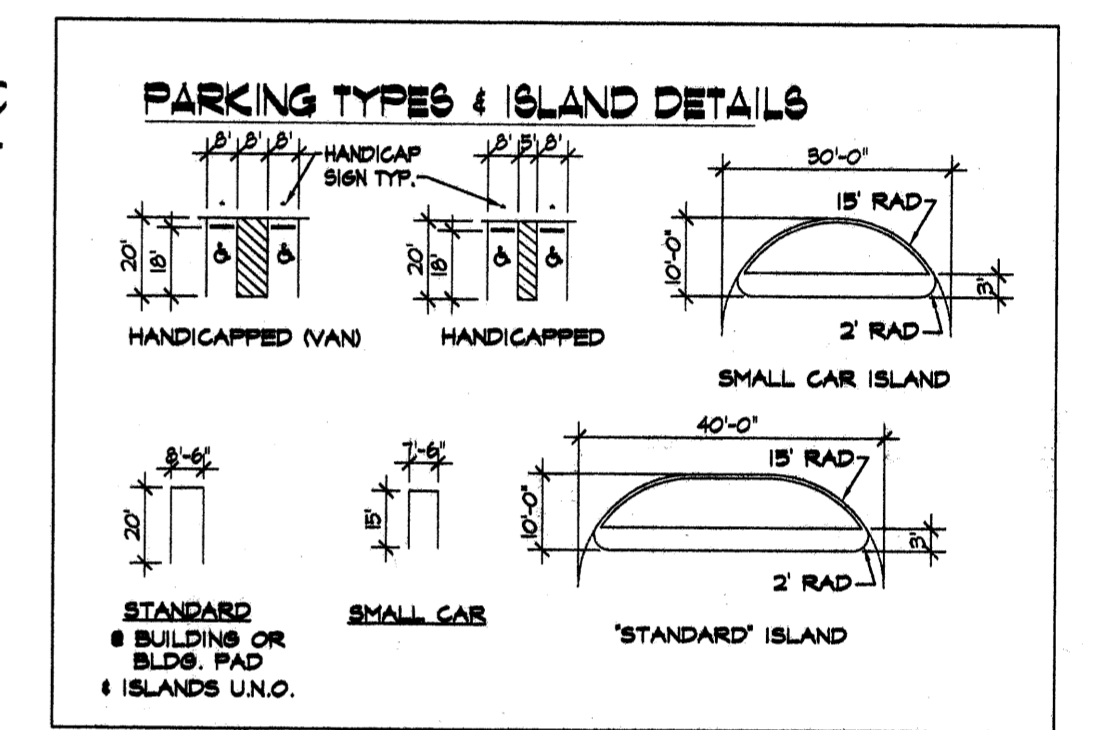


ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



- KEYED NOTES**
- HANDICAP SIGN - 2 REQUIRED - SEE DETAIL
 - LIGHT POLE - SEE DETAIL
 - NEW CONCRETE PERMACURB TYPICAL
 - NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE.
 - NEW PARKING BUMPER - 2 REQUIRED
 - STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION.
 - BIKE RACK - SEE DETAIL
 - SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN
 - NEW REFUSE ENCLOSURE, SEE DETAIL
 - NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS.
 - EXISTING TELEPHONE/CABLE PEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION
 - CMU RETAINING WALL
 - EXISTING SIDEWALK
 - EXTRUDED ASPHALT CURB
 - FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 - GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 - LIGHT POLE
- GENERAL NOTES**
- VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.



AFD PLANS CHECKING OFFICE
924-3611
APPROVED
SIGNATURE & DATE: 06/24/13

BUILDING LEGEND

| | |
|-----------------------|--------------------------------------------------------------------------------------------------|
| OFFICE BUILDING | 6,842 SQ.FT. |
| PARKING REQUIRED: | RESTAURANT = ONE PER 4 SEATS = 11 SPACES (2 H.C. SPACES) |
| PARKING PROVIDED: | 22 SPACES PROVIDED (2 H.C. SPACES PROVIDED) |
| MOTORCYCLE PARKING: | 4 PROVIDED |
| BICYCLE PARKING: | 4 SPACES NEEDED, 5 SPACES PROVIDED |
| LANDSCAPING REQUIRED: | BLDG. SITE = 25,700 S.F. - 1,872 S.F. (BLDG. AREA) = 23,828 S.F. NET LOT AREA * .15 = 3,574 S.F. |
| LANDSCAPING PROVIDED: | 5,512 S.F. |

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|---------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Lee White Solid Waste Management | 6/24/13 |
| DRB Chairperson, Planning Department | Date |

• Environmental Health, if necessary

- GENERAL NOTES - CITY REQUIRED**
- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
 - THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O., WILL BE SCHEDULED.
 - ALL SIDEWALK AND CURBS IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - CONTRACTOR DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2425
 - CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

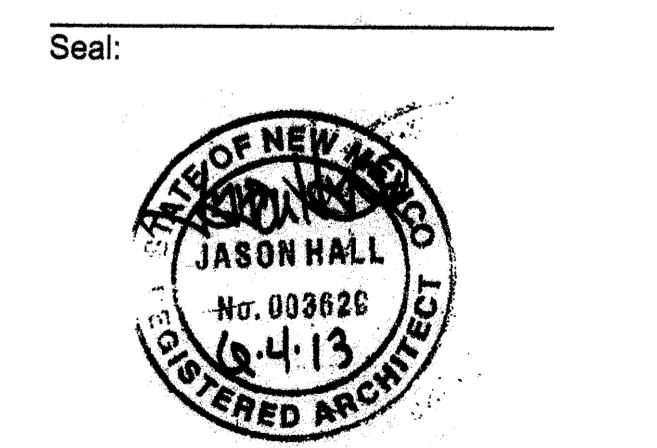
H+W
architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplusw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

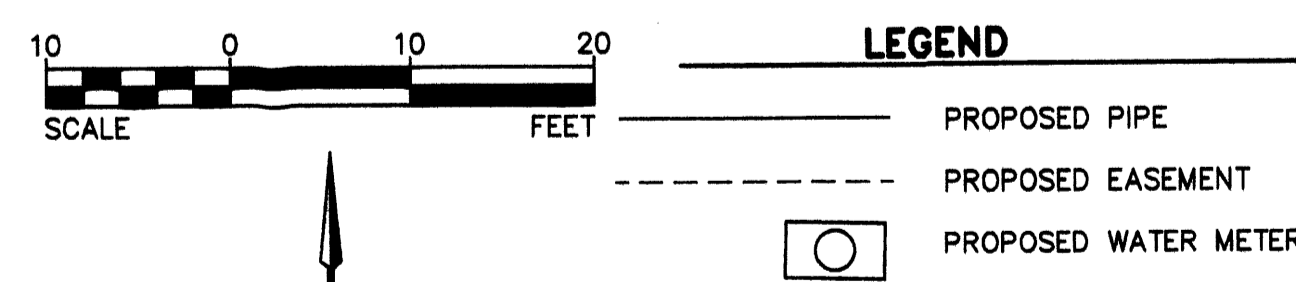
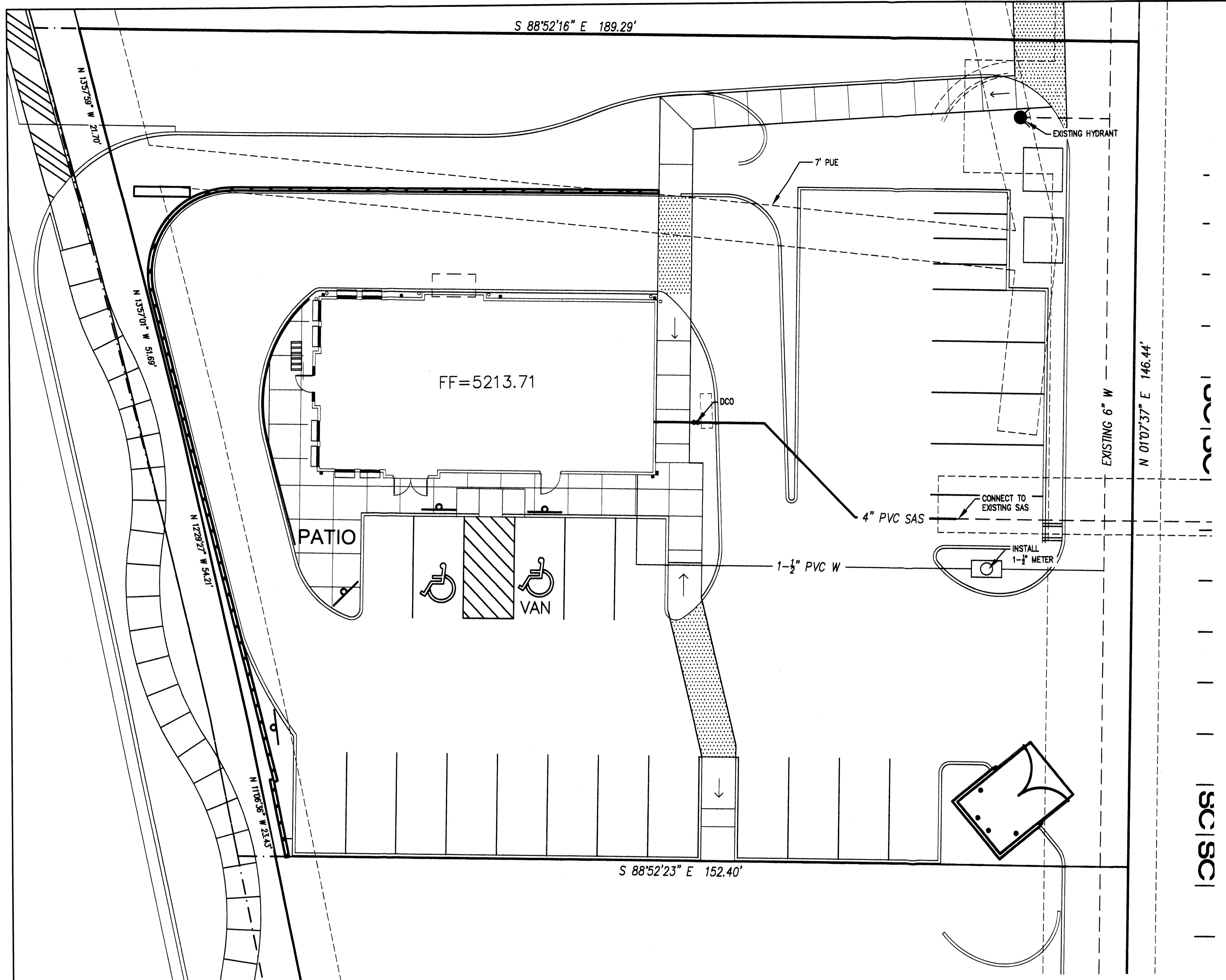
Sheet Title:
**SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT**

Date: June 4, 2013
Drawn: S.T.WILDER
Checked: S.T.WILDER
Revision:



JOB NUMBER: H28008

S01



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4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

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GENERAL NOTES:

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2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE WATER AND SEWER INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEDED OR LANDSCAPED.
5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (280-1990) FOR LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

NOTE
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GND, LLC
 CONSULTING ENGINEERS
 10224 Green River Place NW
 Albuquerque, NM 87114
 Phone: (505) 264-0472

| | | | |
|---------------------------------------------------------------------------------|------------------------|---------------------------------------|--------------|
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP | | LOT 3 CONCEPTUAL SITE UTILITY PLAN | |
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | Mo./DAY/YR. | Mo./DAY/YR. |
| CITY PROJECT No. | | ZONE MAP No. K-09-Z | SHEET 1 OF 1 |

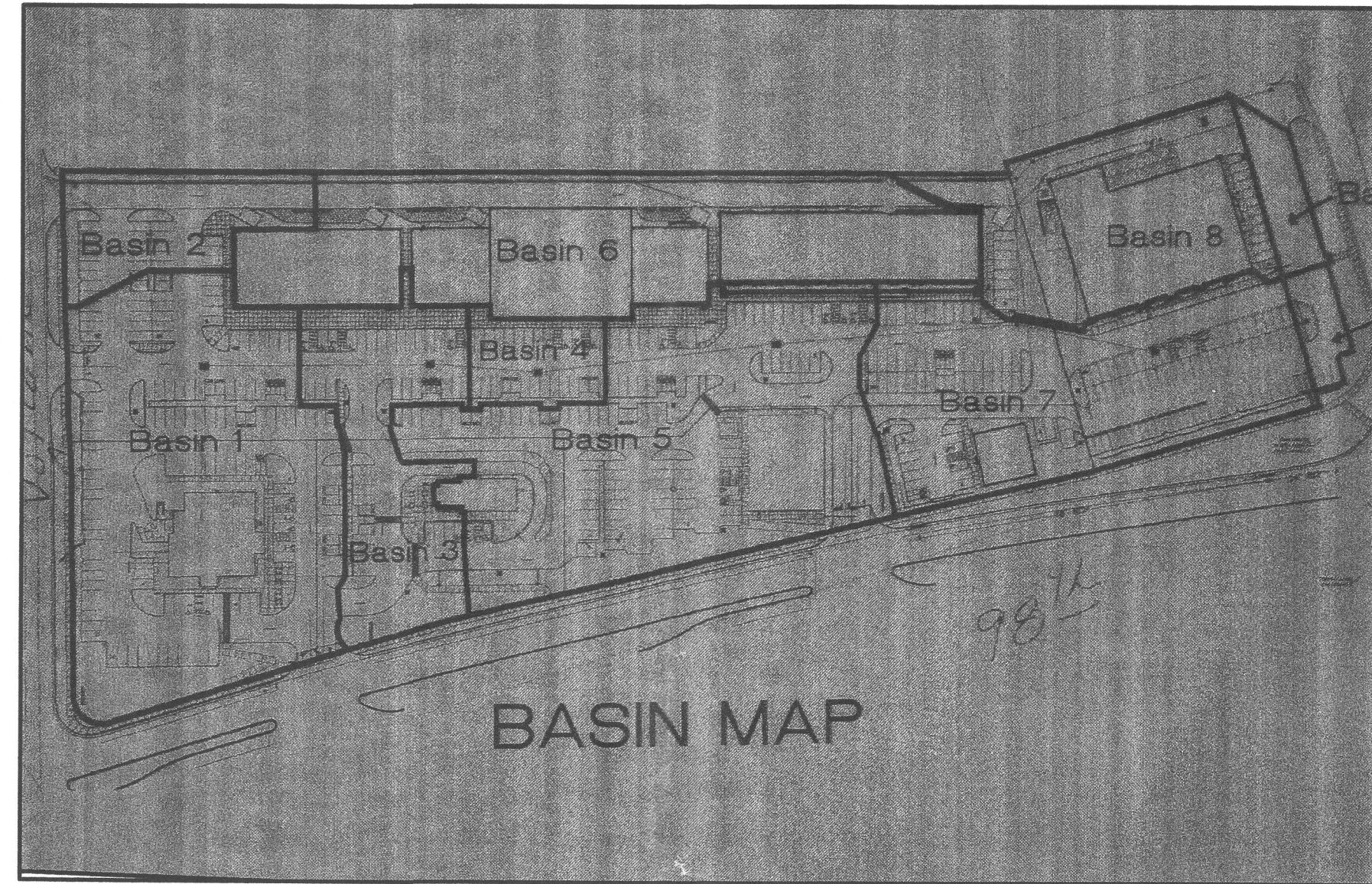
| ENGINEER'S SEAL | | SURVEY INFORMATION | | AS BUILT INFORMATION | |
|-----------------|--|--------------------|------|------------------------|------|
| | | NO. | DATE | CONTRACTOR | DATE |
| | | BY | BY | INSPECTOR'S | DATE |
| REVISIONS | | NO. | DATE | VERIFICATION BY | DATE |
| DESIGN | | NO. | DATE | FIELD CORRECTED BY | DATE |
| DESIGNED BY REH | | DATE | DATE | MICRO-FILM INFORMATION | |
| DRAWN BY REH | | DATE | DATE | NO. | DATE |
| CHECKED BY SEG | | DATE | DATE | | |

EXISTING CONDITIONS

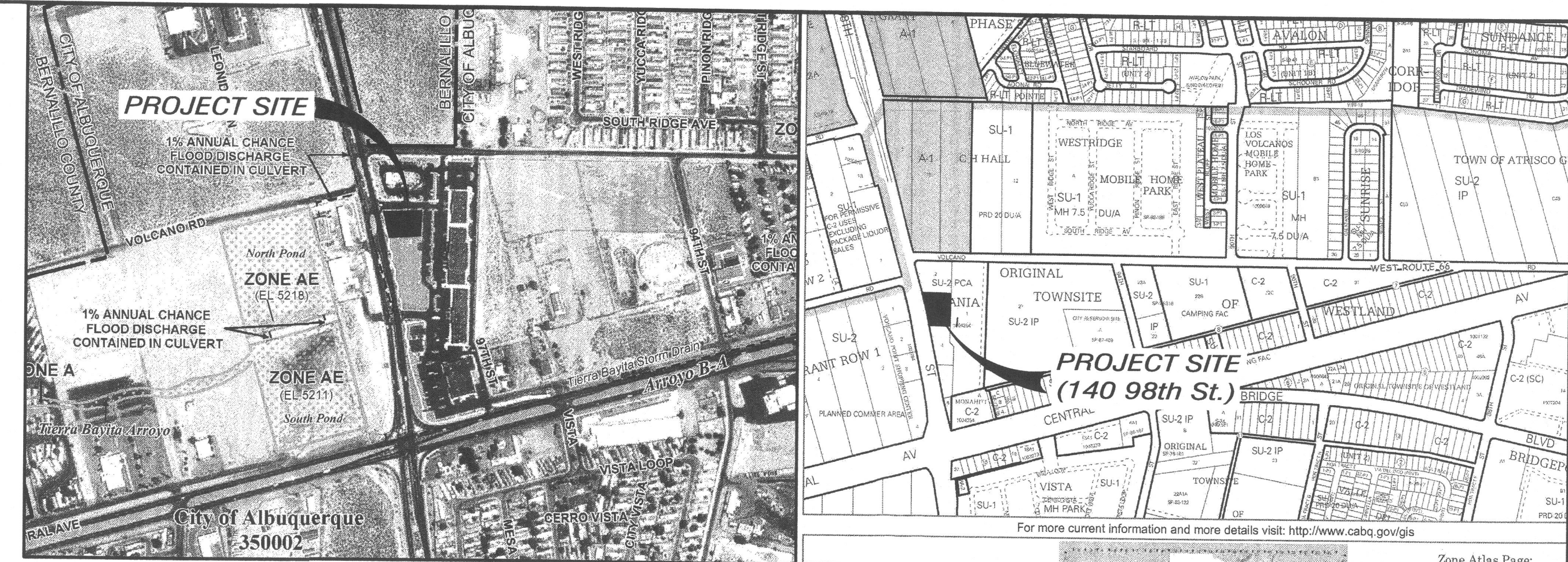
THE EXISTING SITE IS PART OF COMMERCIAL DEVELOPMENT AND SITE PLAN AT 98TH AND CENTRAL. THE DRAINAGE REPORT AND PLAN (REPORT) FOR THE SITE "COMMERCIAL DEVELOPMENT NE CORNER OF 98TH STREET AND CENTRAL AVENUE" WAS COMPLETED ON OCTOBER 18, 2006 BY TIERRA WEST, LLC. THE REPORT QUANTIFIED THE FLOWS FROM THE SITE IN EACH BASIN AT 3.9 CFS/AC. AS SHOWN ON THE SITE MAP, THE EXISTING SITE IMPROVEMENTS MODIFIED THE DRAINAGE PATTERNS OF THE REPORT. THE MAJORITY OF BASIN 3 WAS DIVERTED TO BASIN 5. THIS DIVERSION MODIFIED THE FLOWS IN THE STORM DRAIN SYSTEM BY DECREASING THE FLOW INTO DROP INLET #1 AND INCREASING THE FLOWS TO DROP INLET #4. THE STORM DRAIN WAS OF ADEQUATE CAPACITY (18.98 CFS) TO ACCOMMODATE THE MODIFICATION.

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF A DRIVE THRU RESTAURANT. THE PROPOSED CONDITION WILL NOT SIGNIFICANTLY MODIFY THE CONDITIONS DESCRIBED IN THE PREVIOUS DRAINAGE REPORT. THE RUNOFF WILL INCREASE BY 0.07 CFS. THE FLOWS FROM THE SITE WILL CONTINUE TO FLOW INTO BASIN 5 UNDER THE IMPROVED CONDITIONS.



BASIN MAP - DRAINAGE REPORT 10/18/2006

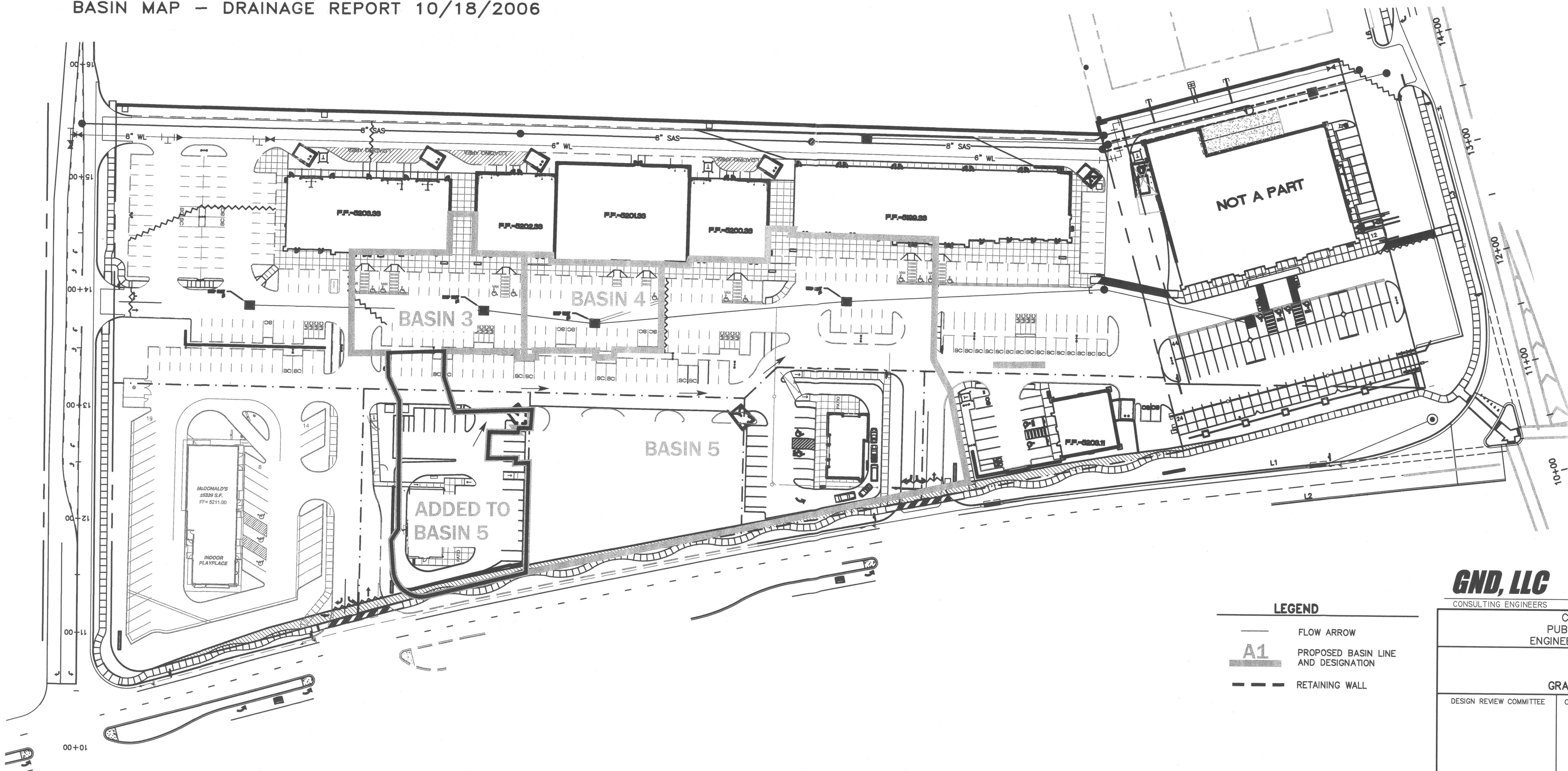


FIRM MAP NO. 35001C0328H

VICINITY MAP
ZONE ATLAS K-9

HYDROLOGIC DATA - DEVELOPED

| BASINS | AREA (acres) | LAND TREATMENT PERCENTAGES BY TYPE | | | | YIELD (cfs/ac) | Q ₁₀₀ (cfs) | V ₁₀₀₋₂₄ (acft) |
|--------|--------------|------------------------------------|----|---|----|----------------|------------------------|----------------------------|
| | | A | B | C | D | | | |
| SITE | 0.59 | 0 | 15 | 0 | 85 | 4.01 | 2.37 | 0.093 |



- LEGEND**
- FLOW ARROW
 - PROPOSED BASIN LINE AND DESIGNATION
 - RETAINING WALL

AS BUILT INFORMATION

| | |
|-------------------------------|------|
| CONTRACTOR | DATE |
| STAKED BY | DATE |
| INSPECTOR'S FIELD RANGE BY | DATE |
| VERIFICATION BY | DATE |
| CORRECTED BY | DATE |
| MICRO-FILM INFORMATION | DATE |
| RECORDED BY | DATE |
| NO. | |

BENCH MARKS

| | |
|------|----|
| DATE | BY |
| NO. | |

ENGINEER'S SEAL

FIELD NOTES

DATE MAY 2013
DATE MAY 2013
DATE MAY 2013

REVISIONS

| NO. | DATE | REMARKS | BY |
|-----|------|---------|----|
| 1 | | DESIGN | |

GND, LLC
CONSULTING ENGINEERS

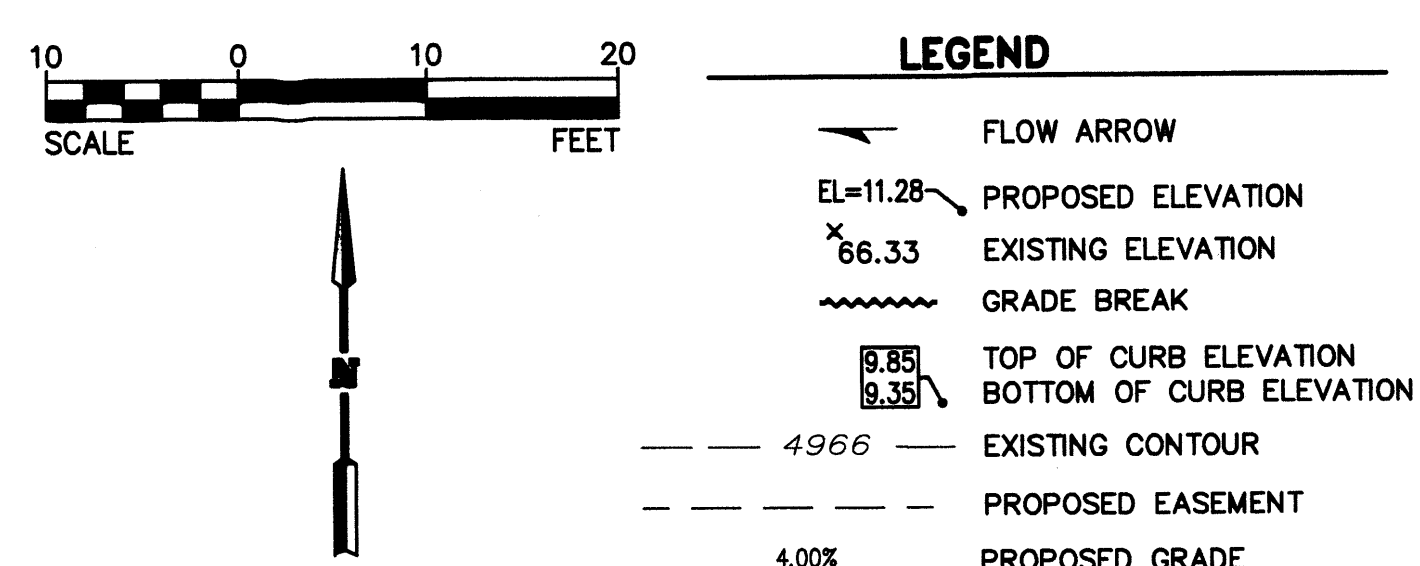
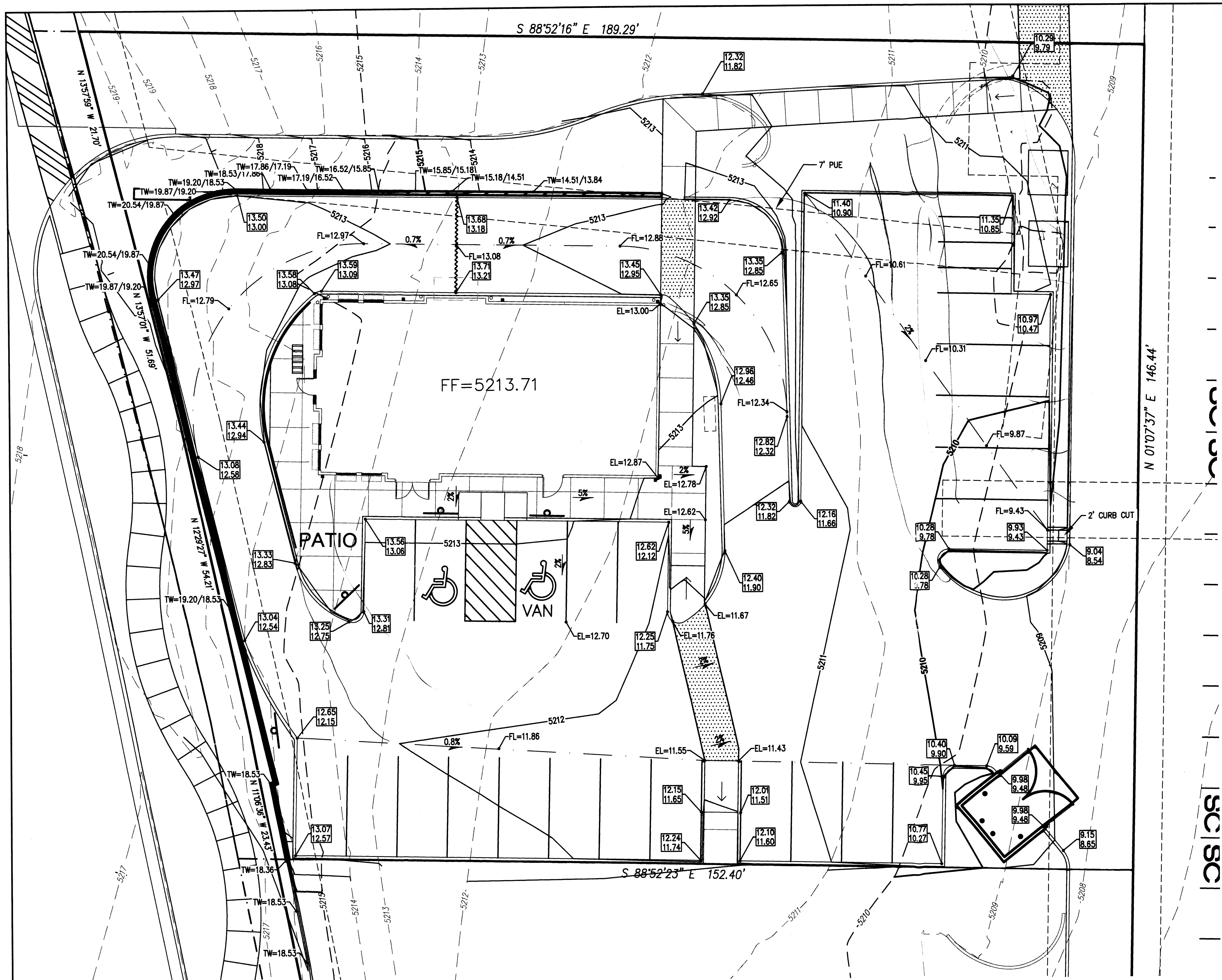
10224 Green River Place NW
Albuquerque, NM 87114
Phone: (505) 264-0472

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

140 98th St. NW
KRANIA - LOT 3
GRADING & DRAINAGE PLAN

| | | | |
|-------------------------|------------------------|-------------|-------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | Mo./DAY/YR. | Mo./DAY/YR. |
| | | | |

CITY PROJECT No. _____ ZONE MAP NO. K-09-Z SHEET 1 OF 3



EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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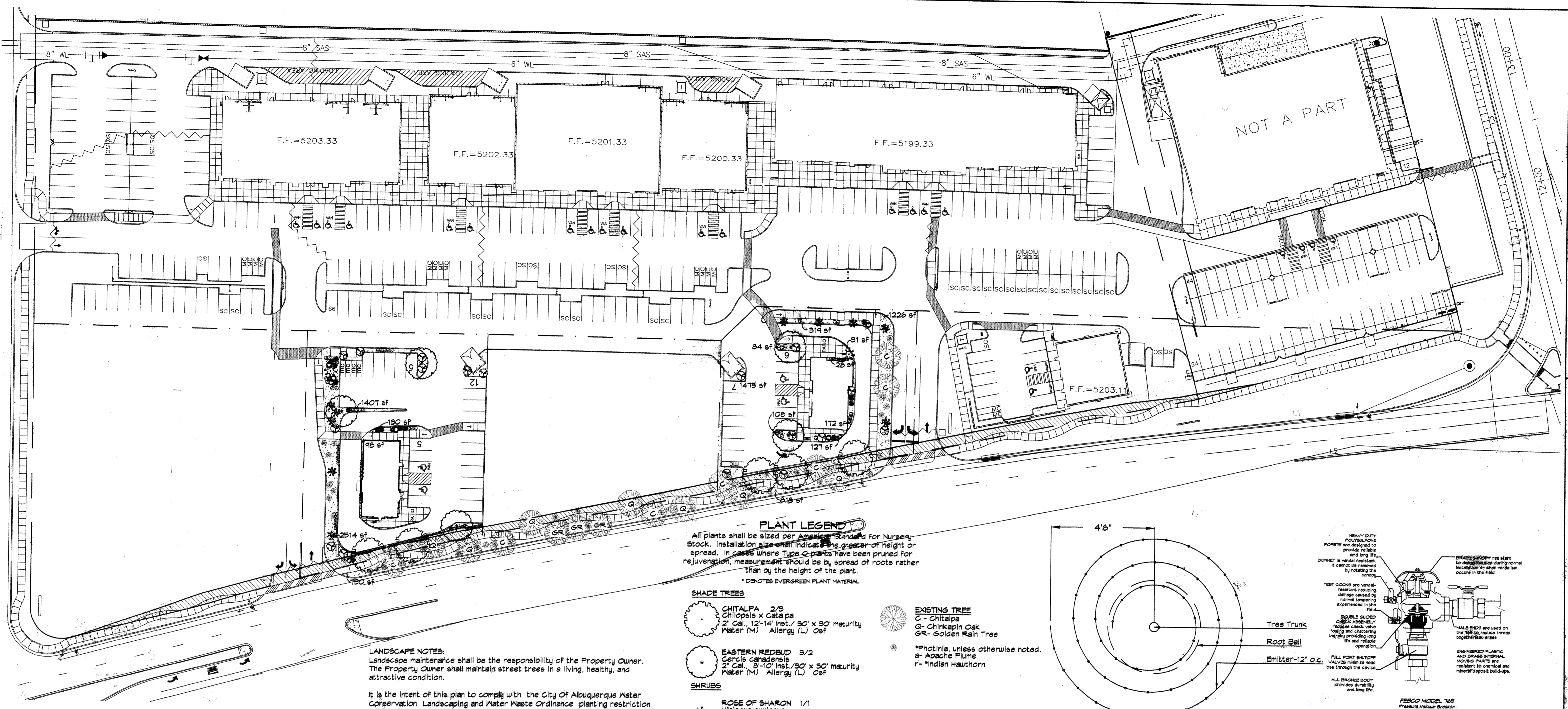


10224 Green River Place NW
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
KRANIA - 140 98th St. NW
LOT 3
GRADING & DRAINAGE PLAN

| | | | |
|-------------------------|------------------------|--------------|-------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | Mo./DAY/YR. | Mo./DAY/YR. |
| | | | |
| CITY PROJECT No. | | ZONE MAP NO. | SHEET OF |
| | | K-09-Z | 2 OF 3 |

| ENGINEER'S SEAL | | SURVEY INFORMATION | | AS BUILT INFORMATION | |
|-----------------|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|----------------------|------|
| | | NO. | DATE | CONTRACTOR | DATE |
| | | BY | | WORK | DATE |
| NO. | DATE | "B-K9 1989" FROM THE INTERSECTION OF I-40 AND 98TH STREET NW TRAVEL SOUTH 0.37 MILES TO THE STATION ON THE EAST SIDE OF 98TH STREET. THE STATION IS 113.1 FEET EAST OF 98TH STREET CENTERLINE AND IS 2.2 FEET WEST OF A BARBED WIRE FENCE. CITY OF ALBUQUERQUE SURVEY CONTROL 3 1/4 INCH ALUMINUM DISC RIVETED TO A PIPE 0.3 FEET ABOVE THE GROUND AND IS STAMPED "B-K9 1989" X=1492463.789 Y=1484994.639 (NAD 83) ELEV=5250.166 (NAD 1988) GROUND TO GRID FACTOR: -0.999678 | | | |
| NO. | DATE | CONTRACTOR | DATE | CONTRACTOR | DATE |
| BY | | WORK | DATE | WORK | DATE |
| REVISIONS | | VERIFICATION BY | DATE | VERIFICATION BY | DATE |
| DESIGN | | DRAWINGS | DATE | DRAWINGS | DATE |
| | | RECORDED BY | DATE | RECORDED BY | DATE |
| | | NO. | | NO. | |



PLANT LEGEND
 All plants shall be sized per American Standards for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.
 * DENOTES EVERGREEN PLANT MATERIAL

- SHADE TREES**
- CHITALPA 2/3
Chilopsis x Catalpa
2" Gal., 12'-14" inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
 - EASTERN REDBUD 3/2
Cercis canadensis
2" Gal., 8'-10" inst./30' x 30' maturity
Water (M) Allergy (L) 0sf

- EXISTING TREE**
- C - Chitalpa
 - GR - Chinkapin Oak
 - GR - Golden Rain Tree
- * Photinia, unless otherwise noted.
 a - Apache Plume
 r - Indian Hawthorn

- SHRUBS**
- ROSE OF SHARON 1/1
Hibiscus syriacus
5 Gal., 2'-4" inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - MUSO PINE 4/2
Pinus mugo
5 Gal., 12'-3" inst./3' x 3' maturity
Water (M) Allergy (L) 8sf
 - RED YUCCA 4/4
Hesperaloe parviflora
5 Gal., 8'-9" inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - CATMINT 30/15
Nepeta mussini
1 Gal., 3'-15" inst./1' x 2' maturity
Water (M) Allergy (L) 4sf

- GROUNDCOVERS**
- TAM JUNIPER 6/5
Juniperus sabinna Tamariscifolia
1 Gal., 6'-15" inst./4' x 15' maturity
Water (L+) Allergy (L) 225sf
 - HONEYBUCKLE 4/5
Lonicera japonica Halliana
1 Gal., 6'-15" inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-Groundcover

- VINES**
- BANKS ROSE 6/1
Rosa banksiae
1 Gal., 6'-15" inst./climbing to 20' maturity
Water (M) Allergy (L)

- LANDSCAPES**
- OVERSIZED GRAVEL & BOLDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.
 Gray gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

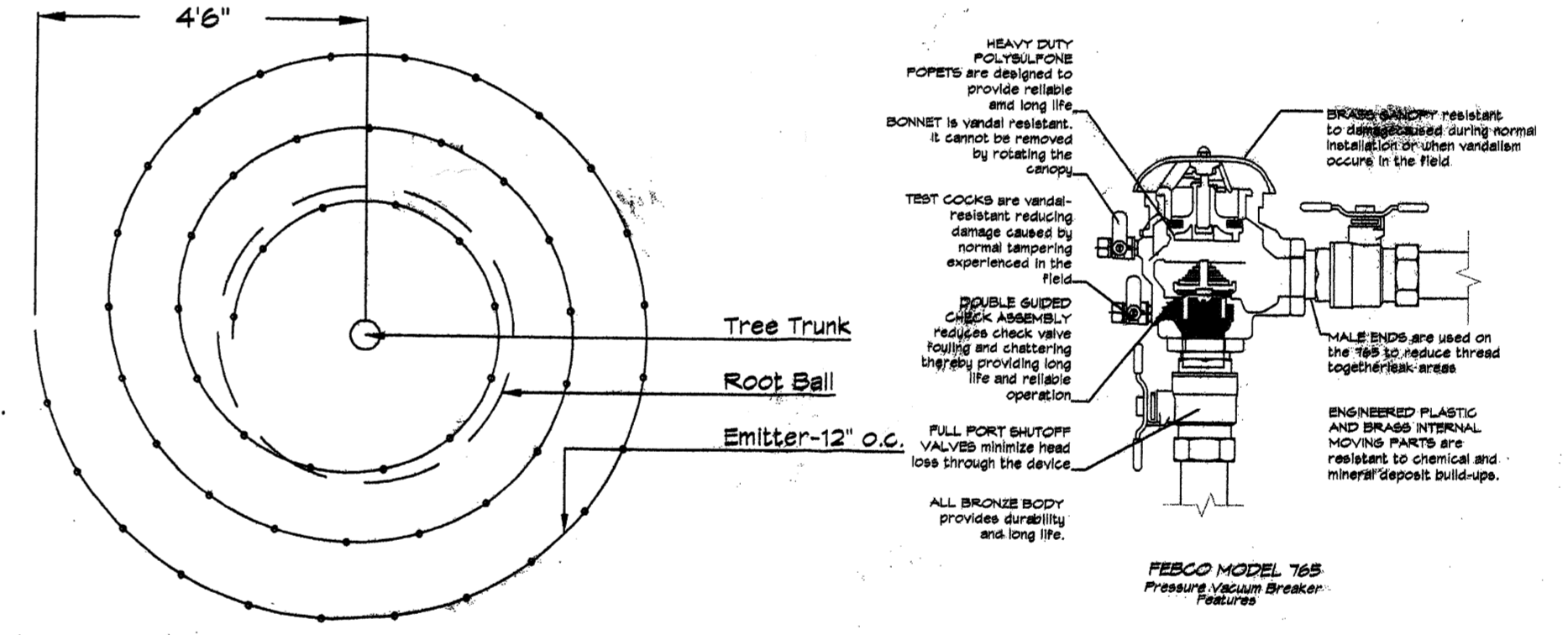
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

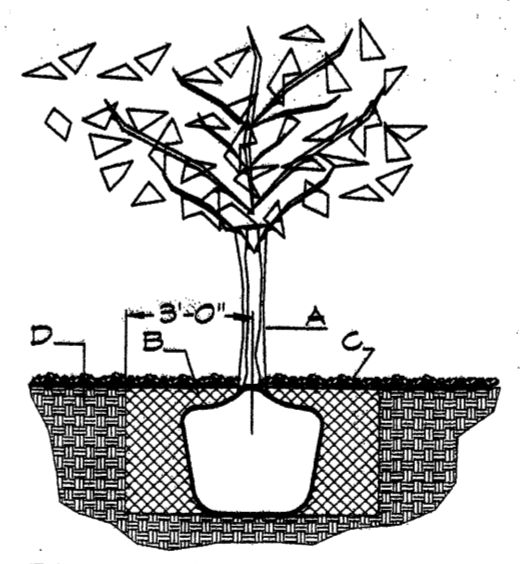
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

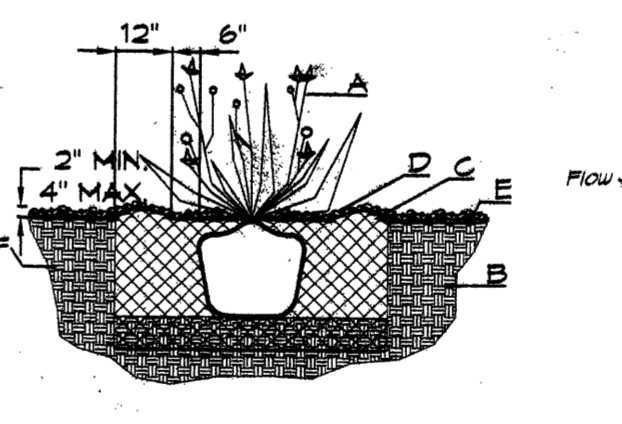
Water and Power source shall be the responsibility of the Developer/Builder.



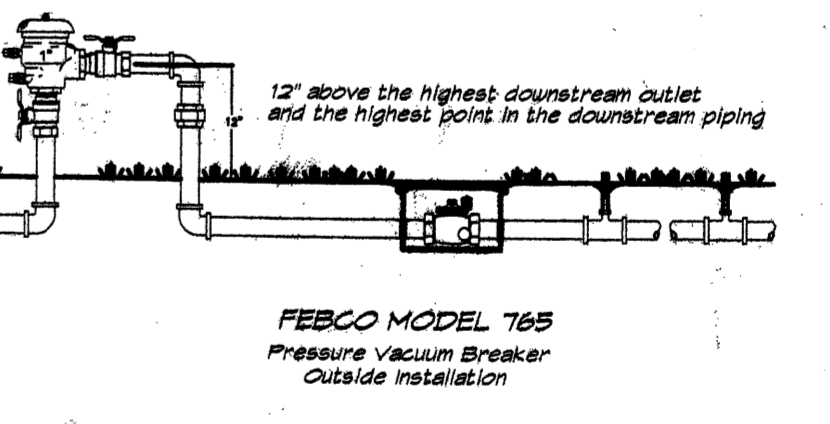
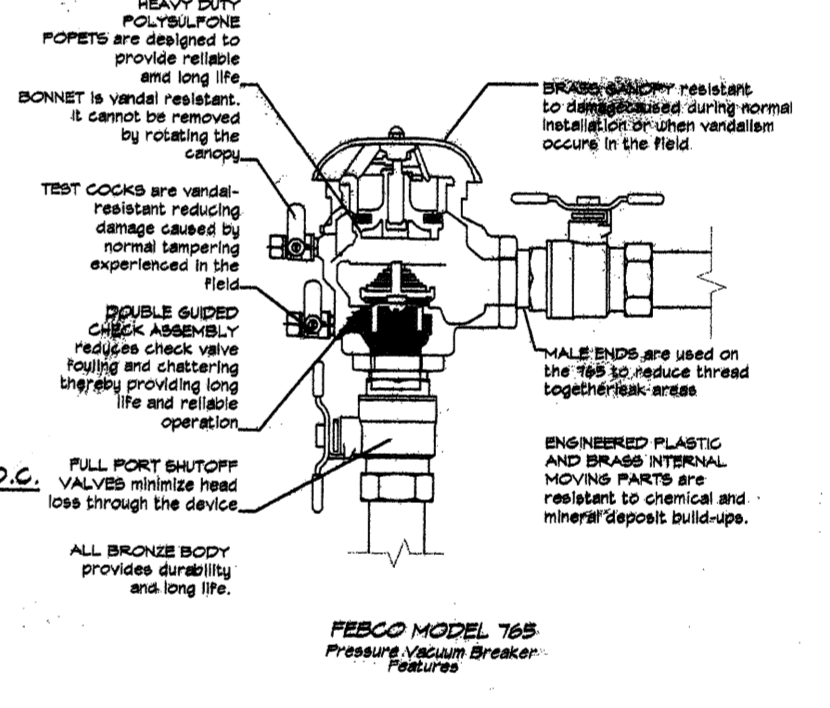
Netafim Spiral Detail



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



PARKING LOT TREE REQUIREMENTS
 - Minimum 2" Caliper Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

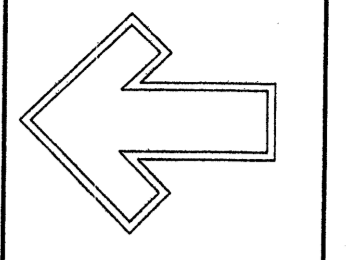
| | | |
|----------------------------|------------|------------|
| 1 Shade tree per 10 spaces | Required 3 | Provided 3 |
|----------------------------|------------|------------|

STREET TREE REQUIREMENTS
 - Minimum 2" Caliper Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

| | | |
|----------------|------------|------------------------------|
| Name of Street | Required 5 | Provided 5 (3 existing/2new) |
|----------------|------------|------------------------------|

LANDSCAPE CALCULATIONS

| | CHURCHES | STARBUCKS | |
|-------------------------------------------------|----------|-----------|-------------|
| TOTAL LOT AREA | 25700 | 18488 | square feet |
| TOTAL BUILDINGS AREA | 1872 | 1851 | square feet |
| NET LOT AREA | 23828 | 17132 | square feet |
| LANDSCAPE REQUIREMENT | 15% | 15% | |
| TOTAL LANDSCAPE REQUIREMENT | 3574 | 2564 | square feet |
| TOTAL BED PROVIDED | 4899 | 4388 | square feet |
| GROUND COVER REQ. | 75% | 75% | square feet |
| TOTAL GROUND COVER REQUIREMENT | 3674 | 3241 | square feet |
| TOTAL GROUND COVER PROVIDED | 4198 | 3583 | square feet |
| TOTAL PONDING AREA | 0 | 0 | square feet |
| TOTAL SOD AREA (max. 20% of landscape required) | 0 | 0 | square feet |
| TOTAL NATIVE SEED AREA | 0 | 0 | square feet |
| TOTAL LANDSCAPE PROVIDED | 4899 | 4388 | square feet |



Cont. Lic. #26458
 7809 Edith N.E.
 Albuquerque, NM 87184
 Ph: (505) 898-9590
 Fax: (505) 898-7737
 cmj@hiltoplandscaping.com

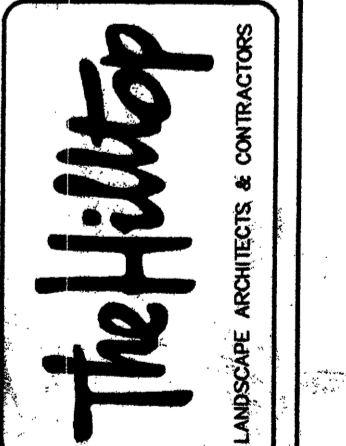
LANDSCAPE ARCHITECT'S SEAL



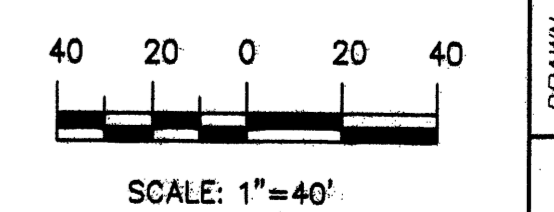
6/3/13

98th and Central
 EXISTING PLANTS AND NEW LANDSCAPE PLAN

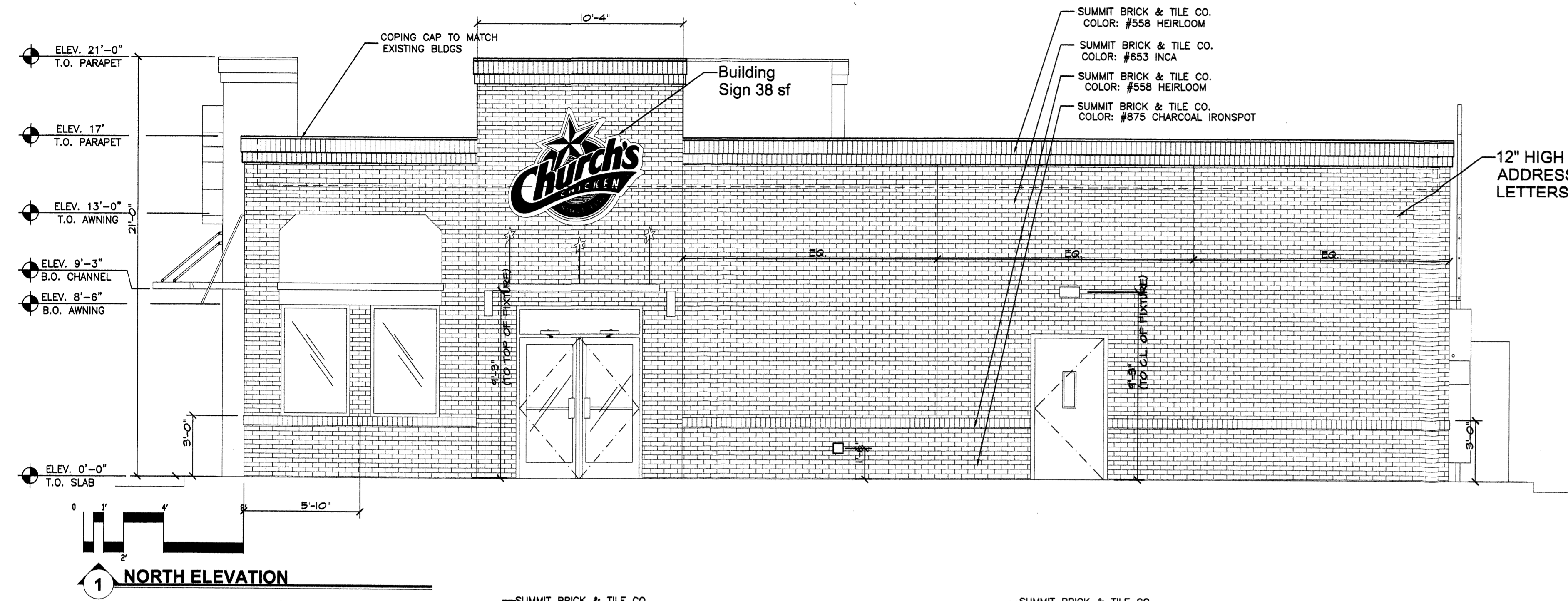
All creative ideas contained herein require the property of The Hiltop Landscape Architects and Contractors and are protected by copyright laws. No part of this plan may be reproduced or copied in any form without the prior written order placed.



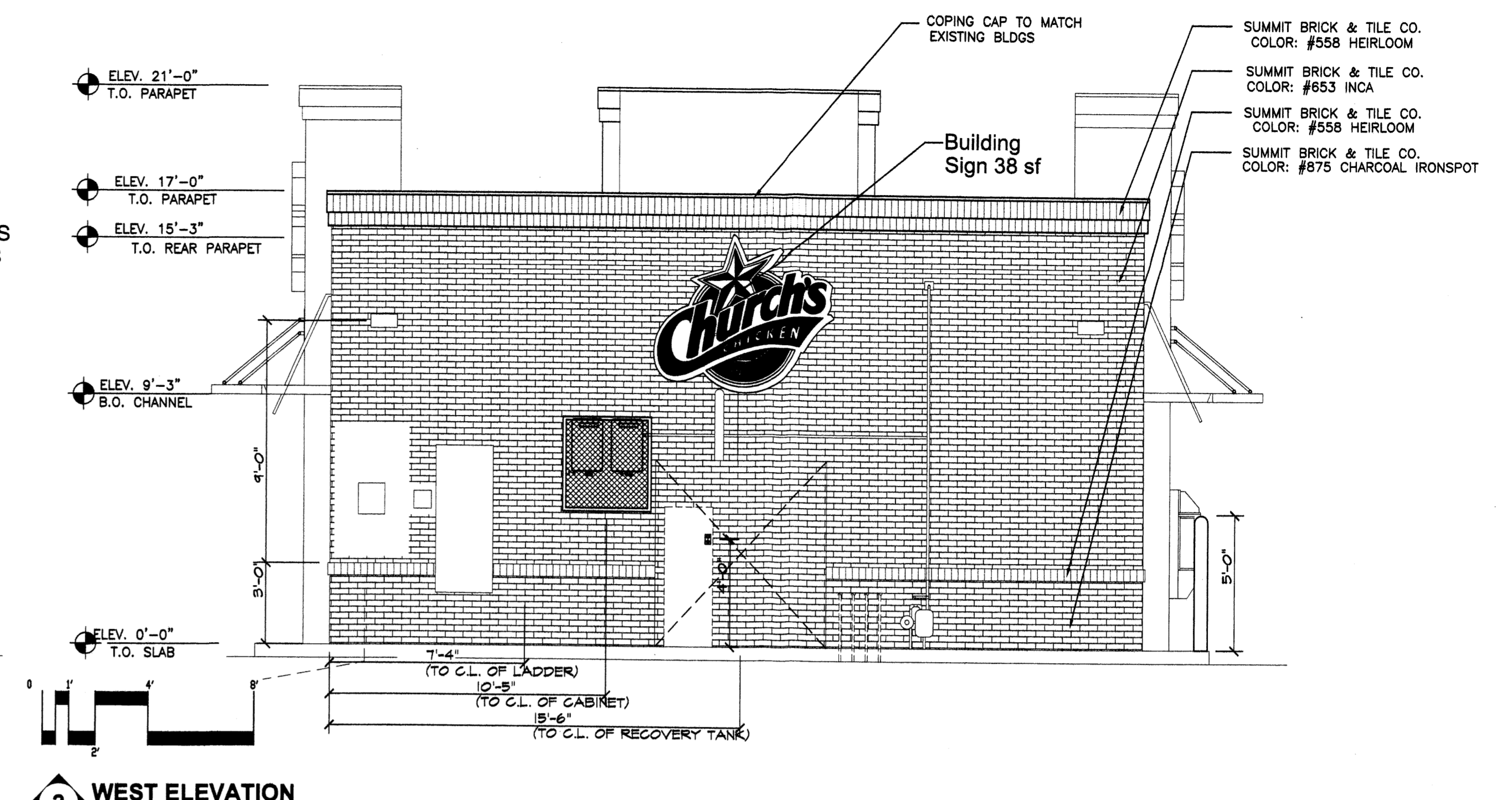
GRAPHIC SCALE



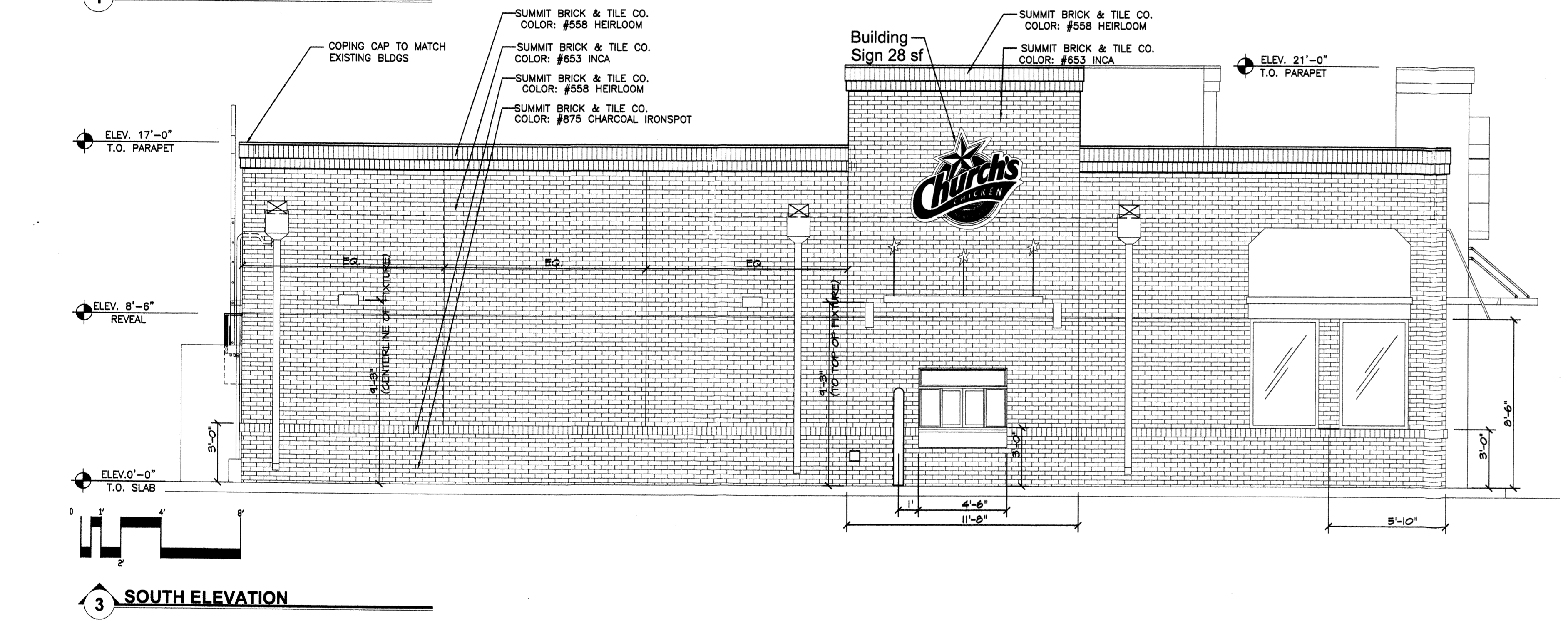
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 DATE: 5-3-13
 SHEET #
 L1 OF L1



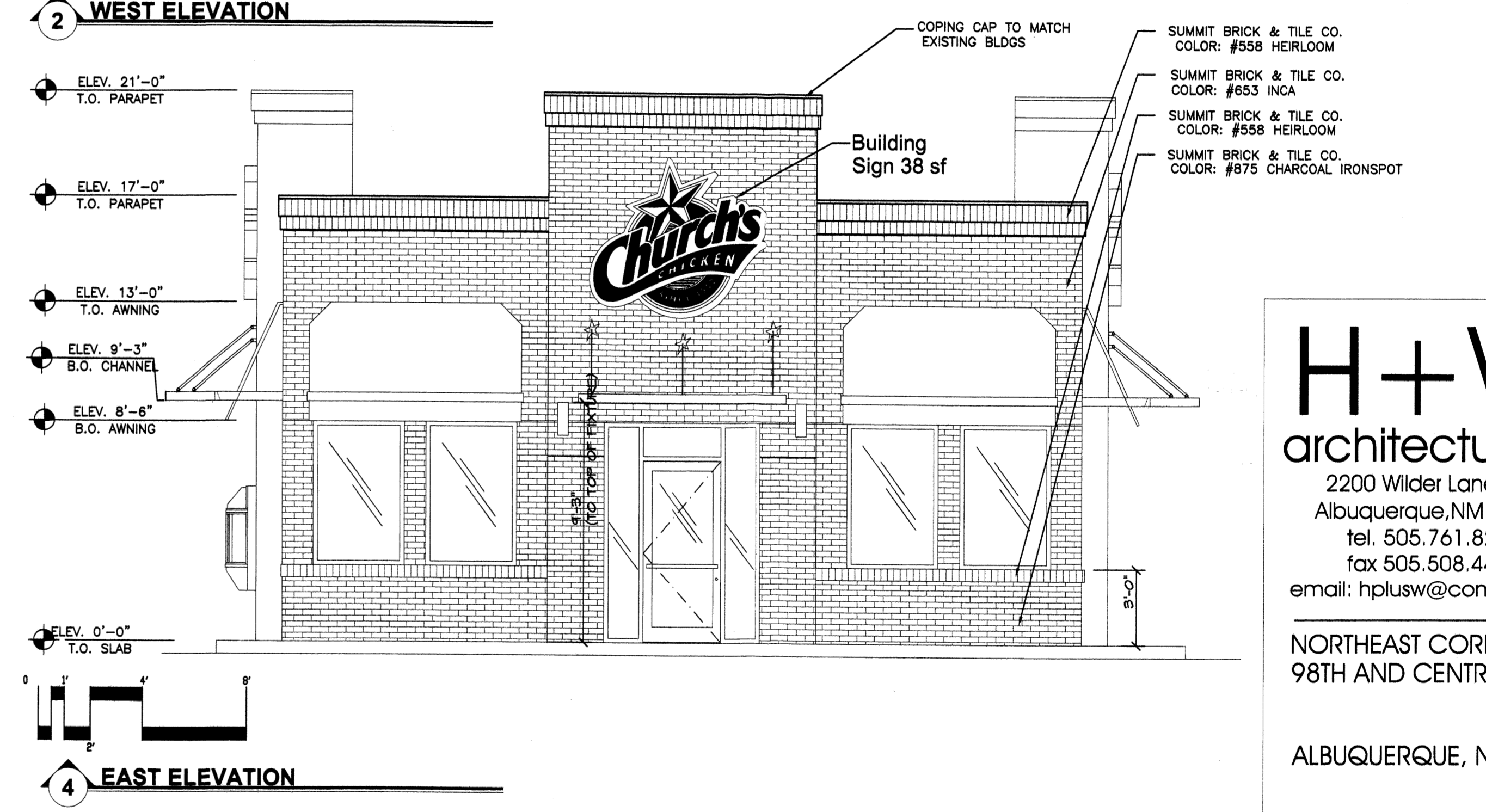
1 NORTH ELEVATION



2 WEST ELEVATION



3 SOUTH ELEVATION



4 EAST ELEVATION

H+W
 architecture llc
 2200 Wilder Lane NW,
 Albuquerque, NM 87104
 tel. 505.761.8238
 fax 505.508.4478
 email: hplusw@comcast.net

NORTHEAST CORNER OF
 98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**BUILDING
 ELEVATIONS**

Date: JUNE 6, 2013
 Drawn: S.T.WILDER
 Checked: S.T.WILDER
 Revision:

Seal:

JOB NUMBER: H28008

⊕ **A01**

PROPOSED DESIGN GUIDELINES:

SITE DESIGN:

VEHICULAR/PEDESTRIAN CONFLICTS WILL BE MINIMIZED WITHIN THE SITE BY PROVIDING AN ORGANIZED AND INTERCONNECTED SYSTEM OF INTERNAL ROADWAYS AND PEDESTRIAN CONNECTIONS. A DIFFERENCE IN PAVING MATERIAL, COLOR, OR PATTERN SHALL BE PROVIDED AT CROSSWALKS TO BRING ATTENTION VISUALLY FOR SAFE PEDESTRIAN CROSSING.

SAFE AND CONVENIENT PEDESTRIAN, BICYCLE AND TRANSIT ACCESS TO THE MAIN ENTRANCE OF THE BUSINESSES FROM THE SURROUNDING STREETS AND NEIGHBORHOODS WILL BE PROVIDED. PEDESTRIAN LINKS BETWEEN PARKING AREAS AND BUILDINGS SHALL BE CLEARLY VISIBLE AND HIGHLIGHTED WITH ENHANCED PAVING. A SIX FOOT SIDEWALK SHALL BE PROVIDED ALONG 98TH STREET SW AND VOLCANO ROAD SW.

PATIO AREAS SHALL BE PROVIDED AT RESTAURANTS ON THE SITE, THEY SHALL BE CONNECTED TO THE PEDESTRIAN CIRCULATION SYSTEM. THERE MAY BE INTERNAL PATIO AREAS NOT DIRECTLY CONNECTED TO THE BEST PEDESTRIAN WAYS AT RESTAURANTS.

FOR MAJOR EMPLOYERS (GREATER THAN 50 EMPLOYEES), SECURE, LONG-TERM BIKE PARKING SHALL BE PROVIDED FOR EMPLOYEES AND SHALL BE IN A WELL LIT VISIBLE LOCATION.

BIKE PARKING SPACES SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 20 PARKING SPACES AS CONSISTENT WITH THE CITY ZONING CODE.

ALL REFUSE CONTAINERS SHALL BE SCREENED WITHIN A MINIMUM OF A SIX FOOT TALL ENCLOSURE THAT IS LARGE ENOUGH TO CONTAIN ALL REFUSE GENERATED BETWEEN COLLECTIONS AND IS COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

WHERE WALLS ARE PROVIDED, THEY SHALL BE CONSISTENT WITH THE ADOPTED CITY OF ALBUQUERQUE'S WALL DESIGN STANDARDS.

ALL PERIMETER WALLS FACING THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN OPENING IN ORDER TO ALLOW PEDESTRIAN ACCESS TO THE SITE.

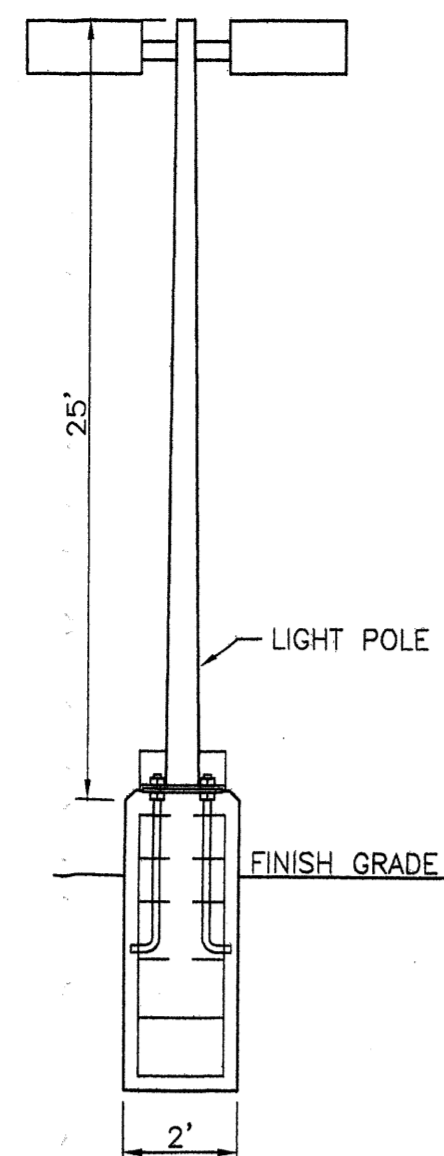
THE ARCHITECTURAL STYLE AND MATERIALS OF FUTURE DEVELOPMENTS ON THE SITE SHALL REFLECT AND COMPLEMENT THE EXISTING BUILDINGS.

SIGNAGE

ALL SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED 100 SQUARE FEET. THE HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET.

THE COLOR AND STYLE OF FREE-STANDING SIGNAGE SHALL BE COMPATIBLE WITH THE ARCHITECTURAL THEME OF THE SITE.

MONUMENT AND PYLON SIGNS SHALL BE PLACED AT THE BACK OF THE PUBLIC RIGHT-OF-WAY LINE. NO SIGN SHOULD OVERHANG IN THE PUBLIC RIGHT-OF-WAY.



LIGHT POLE DETAIL
NTS

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUS ROUTE 54 RUNS FROM 98TH STREET, N.W. TO CENTRAL AVENUE, N.W.
10. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE.
11. SITE PLAN FOR BUILDING PERMIT FOR FUTURE LOTS TO BE DELIGATED DOWN TO DRB.
12. NO PACKAGE LIQUOR SALES ON THIS SITE
13. MAXIMUM NUMBER OF DRIVE-THRU BUSINESSES, LIMITED TO THREE (3).

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

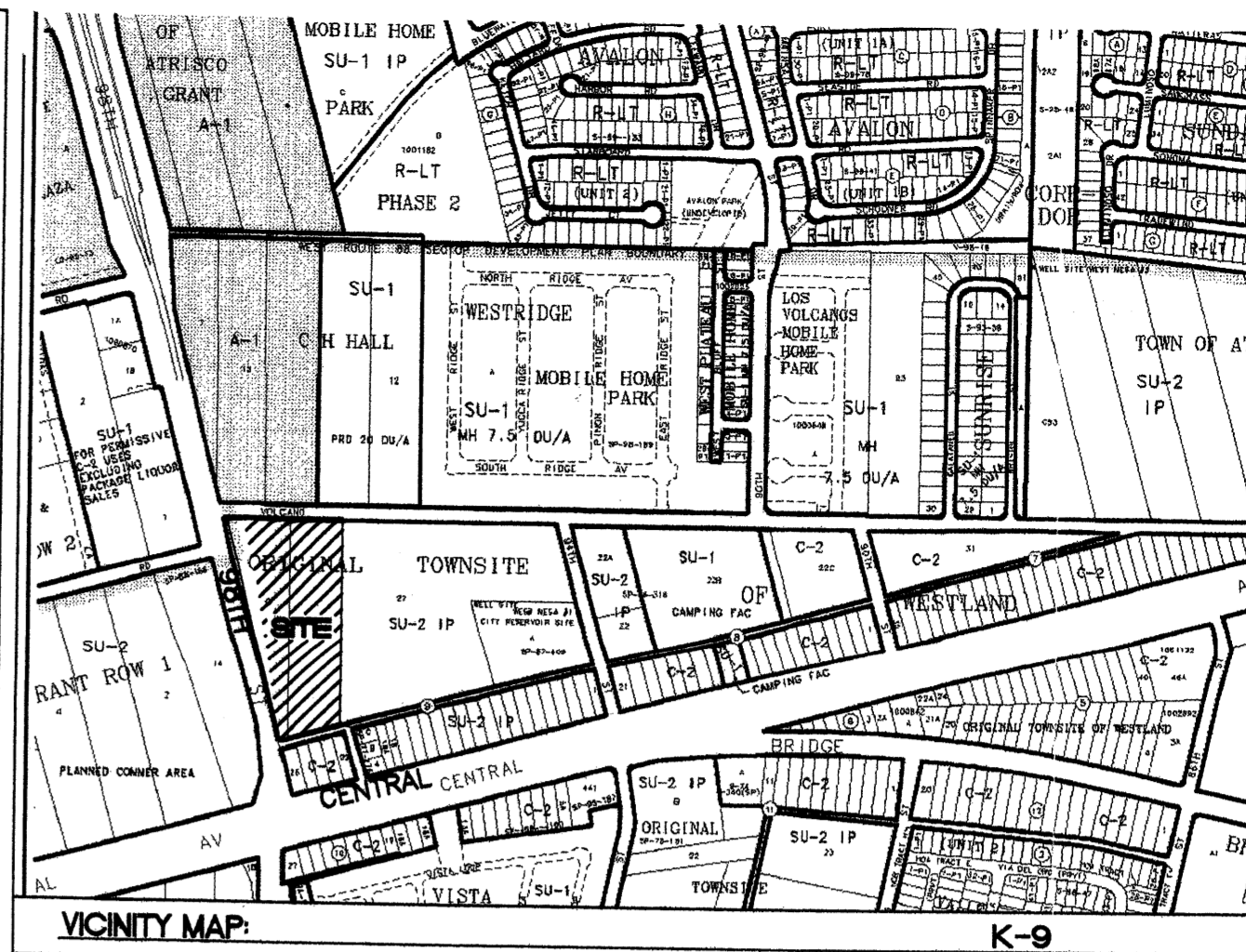
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

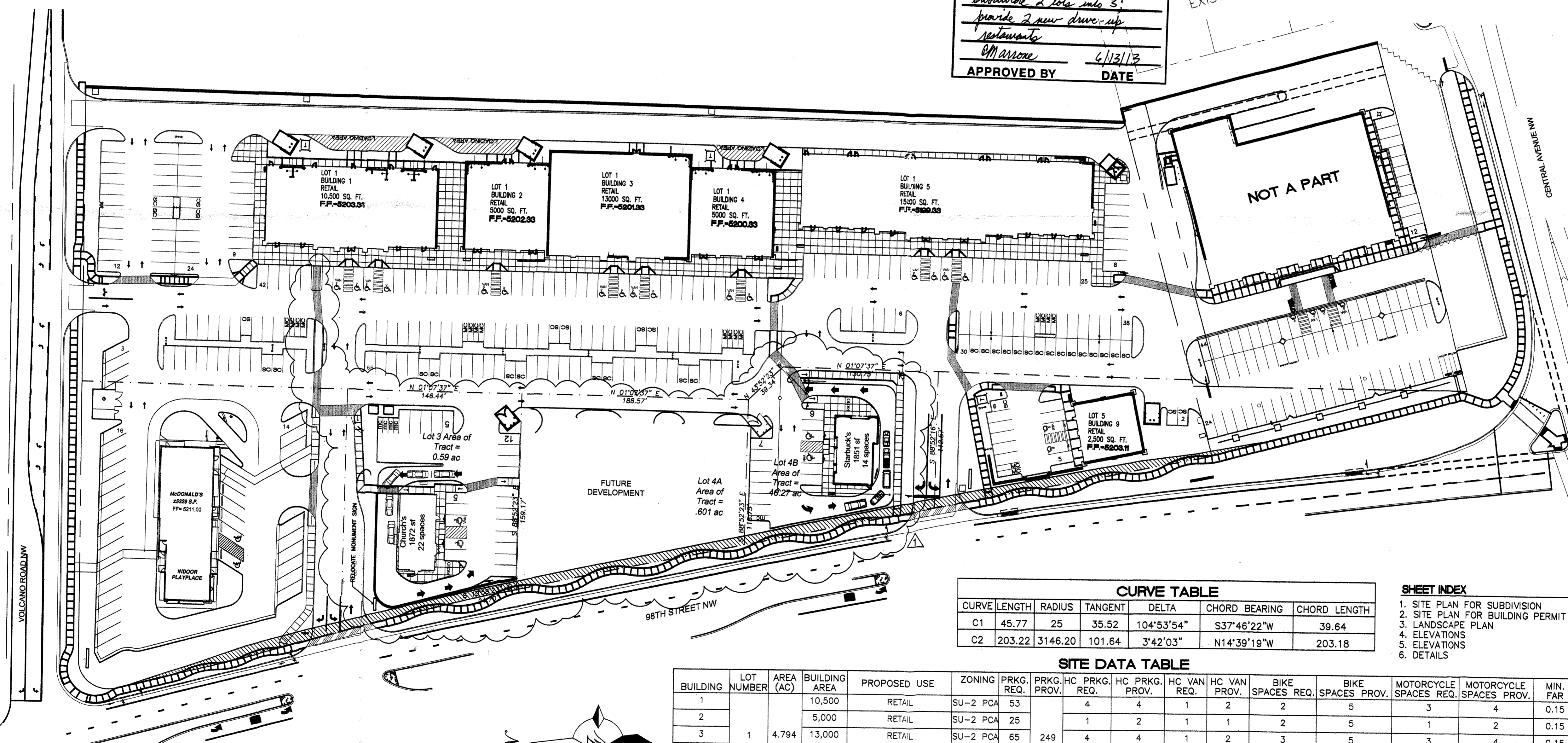


VICINITY MAP:
LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT 0 ORIGINAL TOWNSITE OF WESTLAND

ADMINISTRATIVE AMENDMENT
FILE # 13-10223 PROJECT # 1209354
subdivide 2 lots into 3;
provide 2 new drive-up
restaurants
M. Arnone 4/13/13
APPROVED BY DATE

LEGEND

| | |
|-----|--------------------------|
| --- | BOUNDARY LINE |
| --- | EASEMENT |
| --- | EXISTING CURB AND GUTTER |
| --- | CURB AND GUTTER |
| --- | SCREEN WALL |
| --- | RETAINING WALL |
| --- | PROPOSED SIDEWALK |
| --- | EXISTING BOUNDARY |
| --- | CROSS WALK |
| --- | BIKE RACK |
| --- | PROPOSED SIDEWALK |
| --- | ROW DEDICATION |

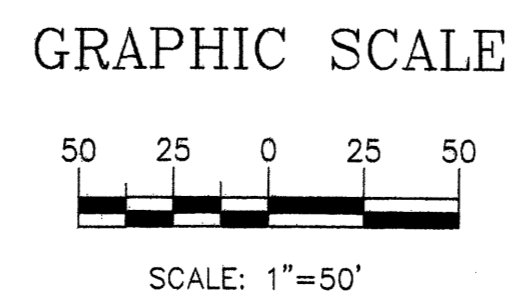
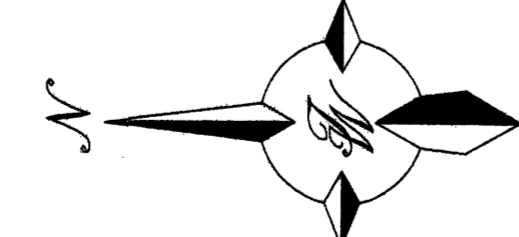


CURVE TABLE

| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SHEET INDEX

| | |
|----|-------------------------------|
| 1. | SITE PLAN FOR SUBDIVISION |
| 2. | SITE PLAN FOR BUILDING PERMIT |
| 3. | LANDSCAPE PLAN |
| 4. | ELEVATIONS |
| 5. | ELEVATIONS |
| 6. | DETAILS |



SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|--------------------------|----------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 68 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.596 | 1,872 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 11 | 22 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| 10 | 5 | 0.450 | 2,308 | RETAIL | SU-2 PCA | 13 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| TOTAL | | | 8,049 | 61,223 | | 328 | 347 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | 23 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

H+W
architecture llc
2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplusw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**AMENDED SITE PLAN
FOR SUBDIVISION**

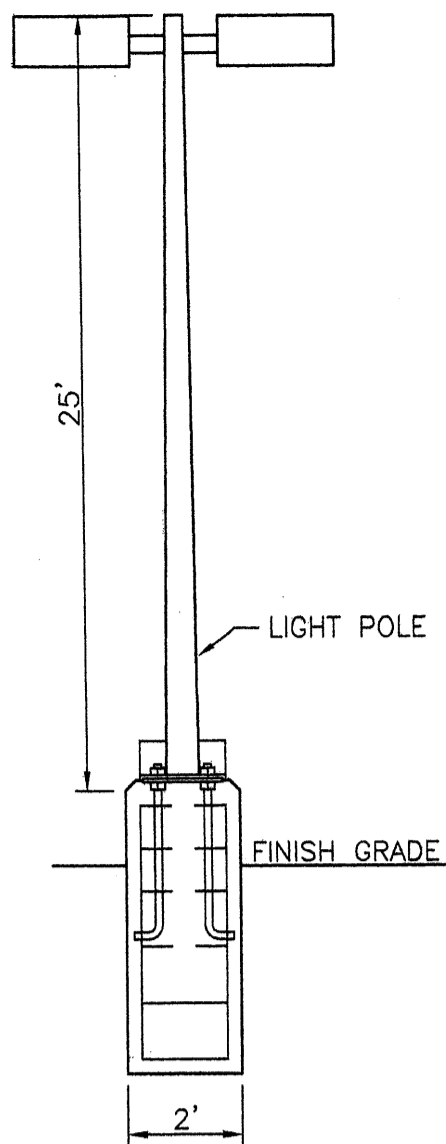
Date: May 8, 2013
Drawn: S.T.WILDER
Checked: S.T.WILDER
Revision: 6/02/13
Seal:

JOB NUMBER: H28008

001

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
4. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
5. LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
6. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
7. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
8. SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE, A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
9. BUILDINGS CANNOT EXCEED HEIGHTS AS SPECIFIED BY THE SU-2 IP CITY ZONING CODE
10. THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
11. BUS ROUTE 54 RUNS FROM THE 98TH STREET, NW TO CENTRAL AVENUE, NW
12. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
13. APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, 4A AND 4B TO BE DELEGATED TO THE DRB
14. ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
15. HANDICAP ACCESS LANDINGS AND RAMPS TO BE ADA COMPLIANT.
16. CLEAR SITE TRIANGLE : SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE



KEYED NOTES:

- ① PAINTED DIRECTIONAL ARROW TYPICAL
- ② ACCESSIBLE PARKING SPACE TYPICAL, SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- ③ UNIDIRECTIONAL HC RAMP
- ④ PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL
- ⑤ 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- ⑥ 6" CONCRETE HEADER CURB
- ⑦ 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- ⑧ 6' CONCRETE SIDEWALK TYPICAL
- ⑨ TRASH COMPACTOR
- ⑩ "STOP" SIGN. SEE PLAN FOR LOCATION
- ⑪ 5 SPACE BIKE RACK TYPICAL
- ⑫ NEW 6' BIKE PATH
- ⑬ TREE PLANTER TYPICAL
- ⑭ RETAINING WALL TAN CMU SEE DETAIL SHEET
- ⑮ DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- ⑯ 6" CONCRETE CURB AND GUTTER
- ⑰ PATIO RAILING
- ⑱ DO NOT ENTER SIGN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

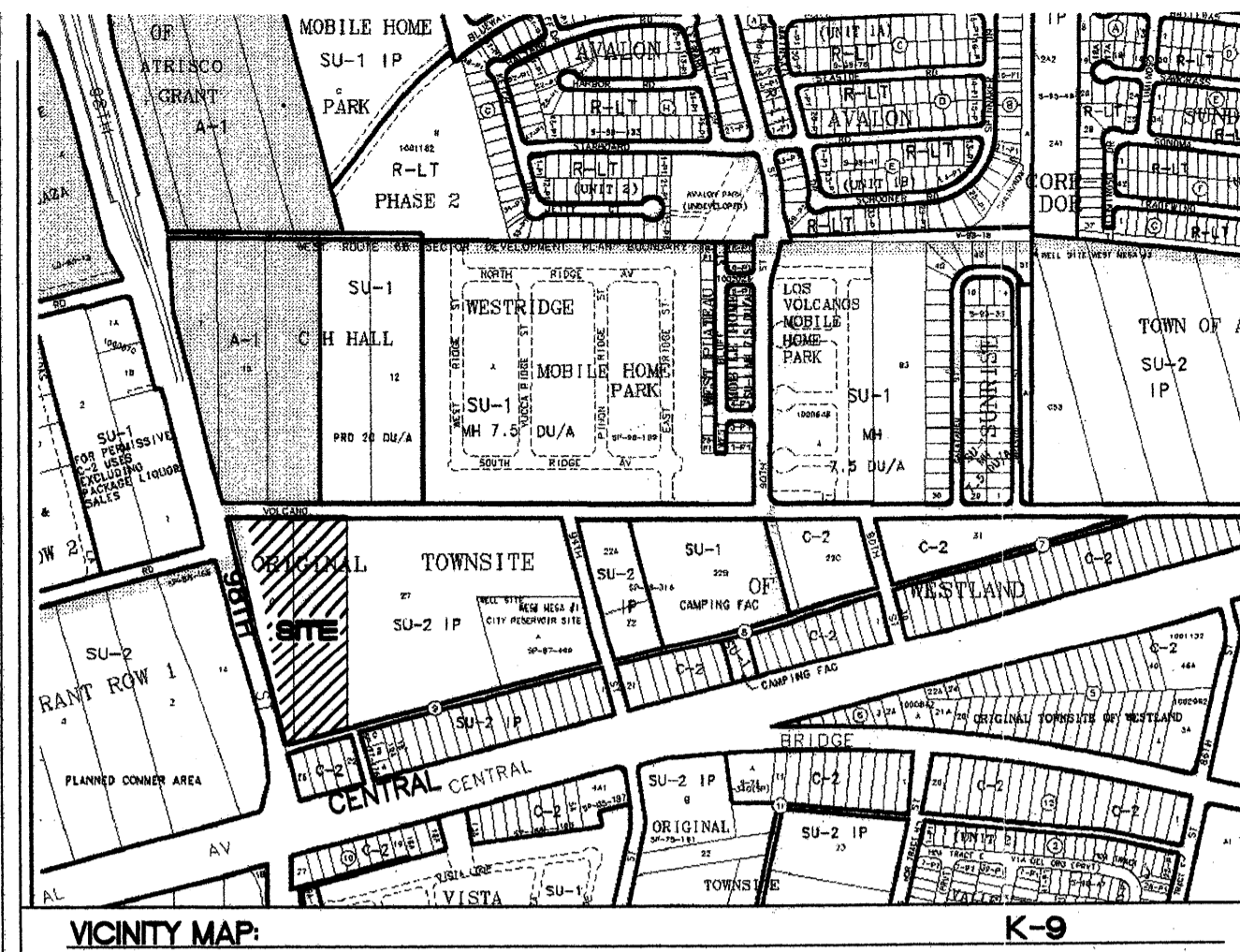
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

• Environmental Health, if necessary



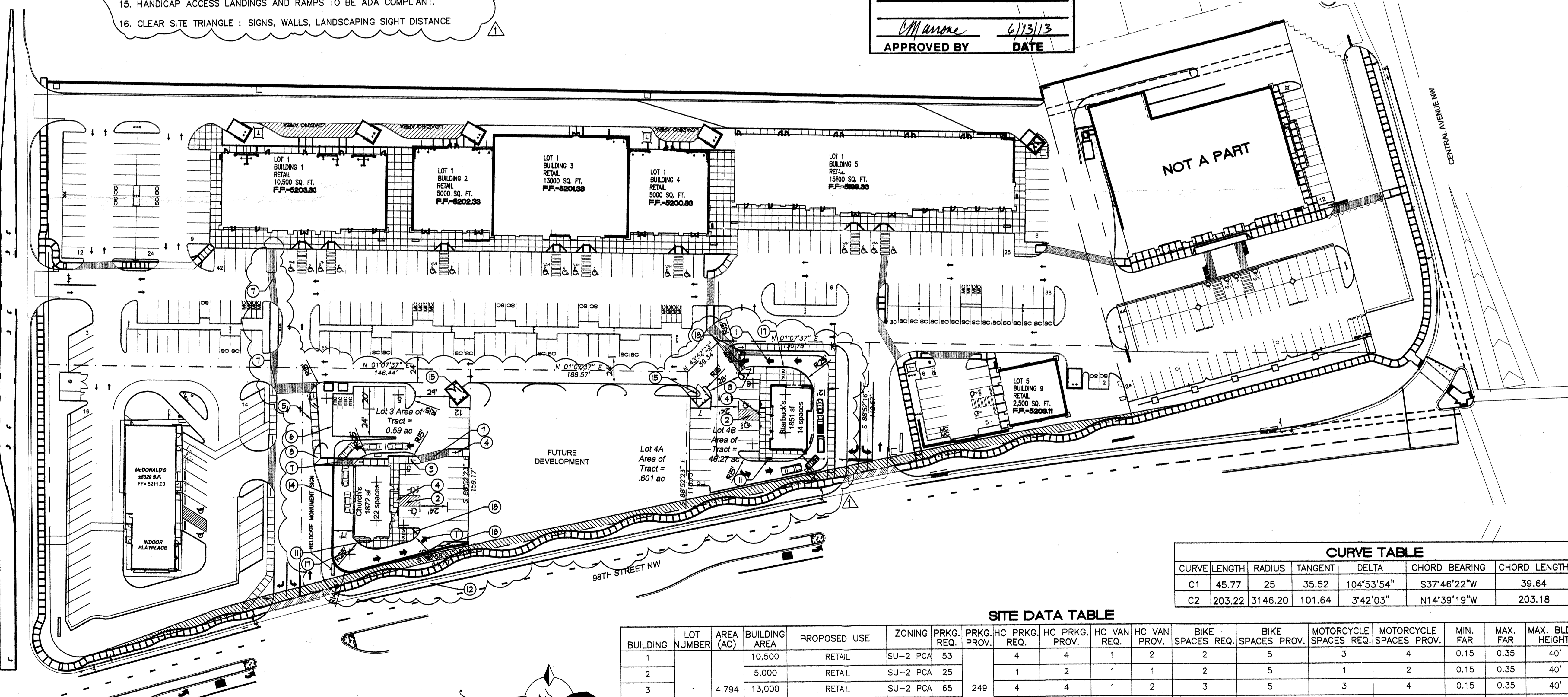
LEGAL DESCRIPTION:

PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- ===== EXISTING CURB AND GUTTER
- ==== CURB AND GUTTER
- ===== SCREEN WALL
- ===== RETAINING WALL
- ===== PROPOSED SIDEWALK
- EXISTING BOUNDARY
- CROSS WALK
- ===== BIKE RACK
- PROPOSED SIDEWALK
- ===== ROW DEDICATION

ADMINISTRATIVE AMENDMENT
FILE # 13-10224 PROJECT # 1004354
provide two new drive up restaurants
APPROVED BY DATE 6/13/13



CURVE TABLE

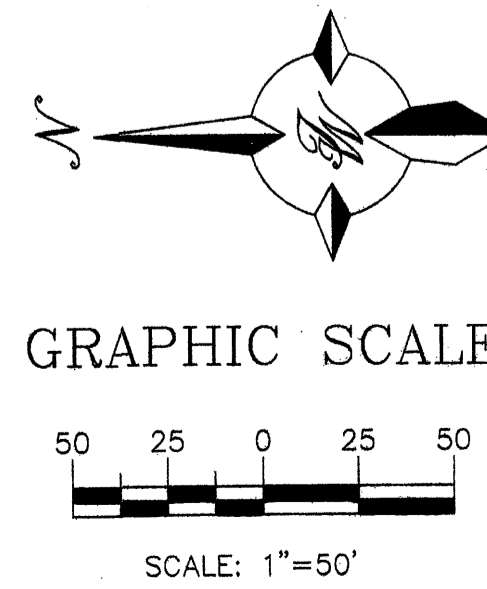
| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. HC PROV. | PRKG. HC REQ. | HC VAN PROV. | HC VAN REQ. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT | |
|----------|------------|-----------|---------------|--------------------------|----------|------------|----------------|---------------|--------------|-------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|-----|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' | |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | | | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 48 | 50 | 7 | 4 | 1 | 2 | 2 | 2 | 0.15 | 0.35 | 40' | | |
| 7 | 3 | 0.69 | 1,872 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 11 | 22 | 1 | 2 | 1 | 1 | 2 | 1 | 2 | 0.15 | 0.35 | 40' | |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT W/ DRIVE THRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 1 | 1 | 0.15 | 0.35 | 40' | |
| 10 | | | 4,205 | RETAIL | SU-2 PCA | 13 | 13 | | | | | | | | 0.15 | 0.35 | 40' | |
| TOTAL | | | 8,049 | 61,223 | | 328 | 347 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | 23 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION
 2. SITE PLAN FOR BUILDING PERMIT
 3. LANDSCAPE PLAN
 4. ELEVATIONS
 5. ELEVATIONS
 6. DETAILS



H+W
architecture llc

2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplusw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

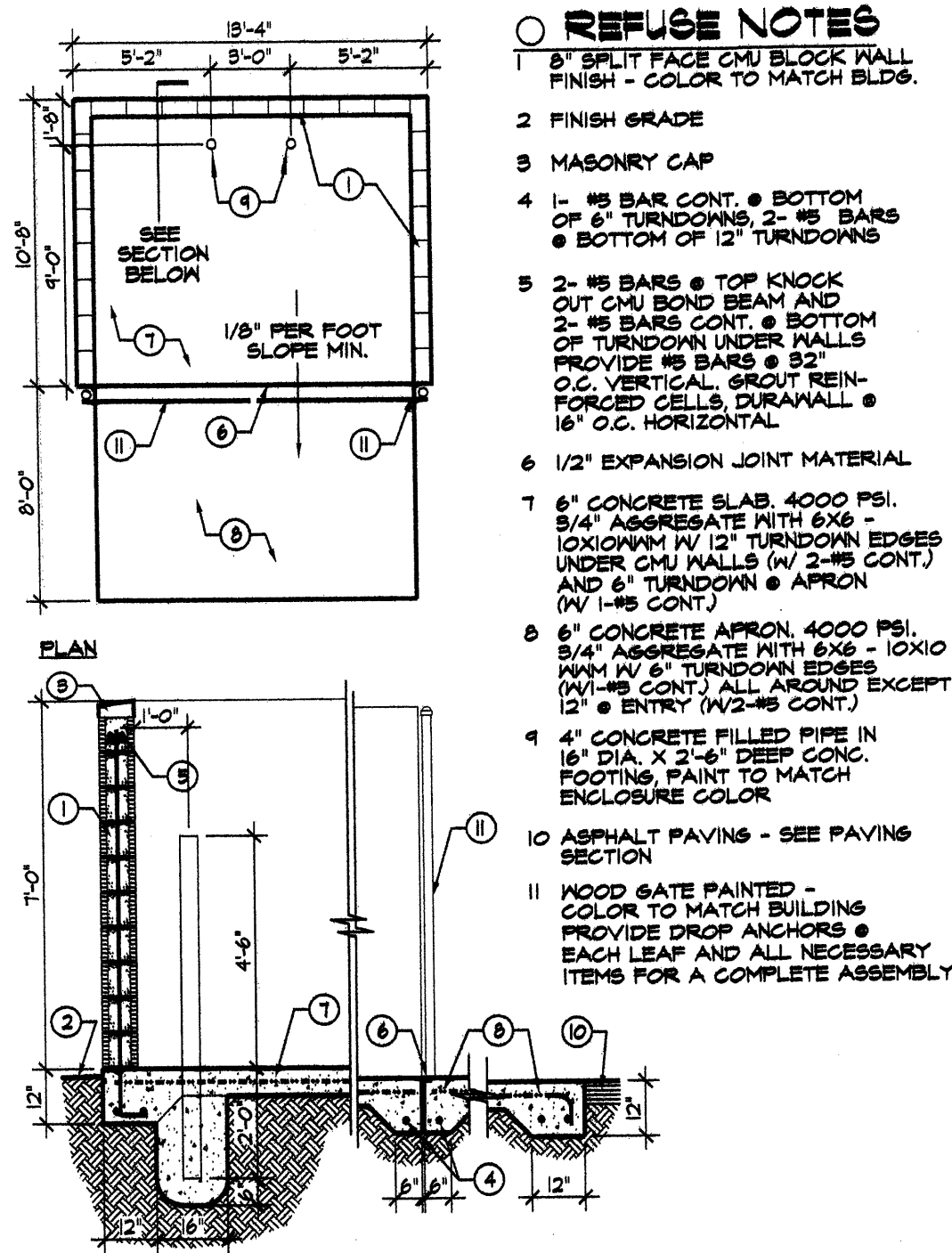
Sheet Title:
AMENDED SITE PLAN
FOR BUILDING
PERMIT

Date: May 8, 2013
Drawn: S.T.WILDER
Checked: S.T.WILDER
Revision: 6/02/13

Seal:

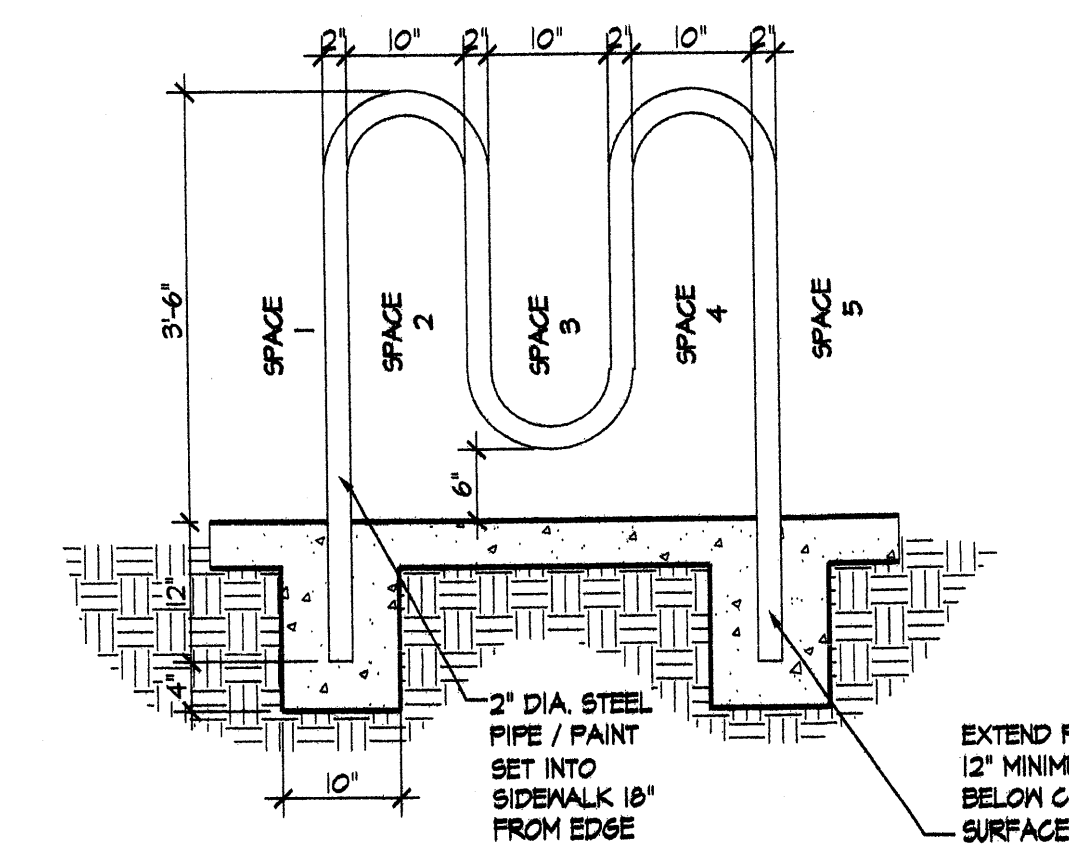
JOB NUMBER: H28008

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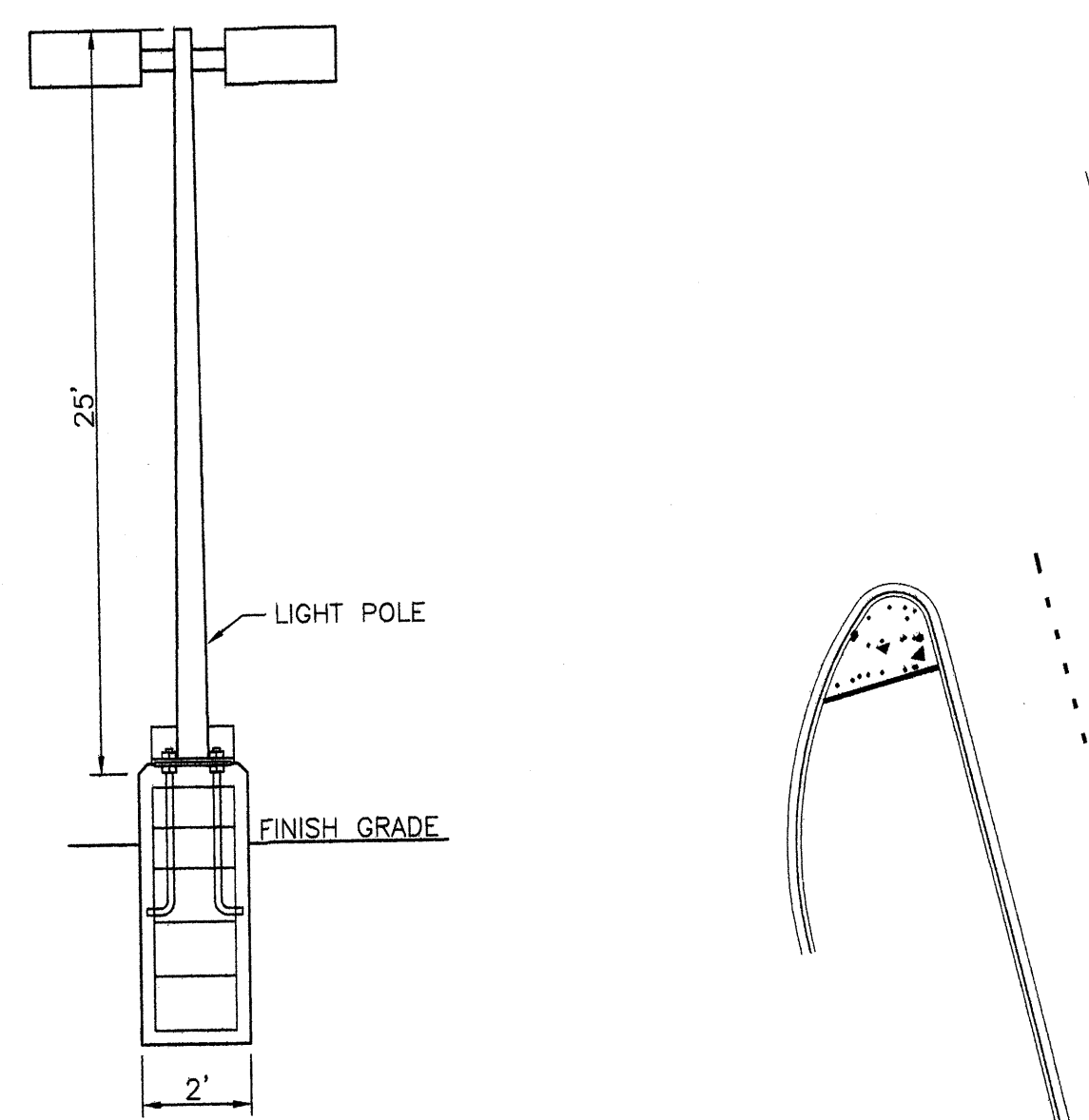


- REFUSE NOTES**
- 5" SPLIT FACE CMU BLOCK WALL FINISH - COLOR TO MATCH BLDG.
 - FINISH GRADE
 - MASONRY CAP
 - 1" #5 BAR CONT. @ BOTTOM OF 6" TURNDOWN, 2" #5 BARS @ BOTTOM OF 12" TURNDOWNS
 - 2" #5 BARS @ TOP KNOCK OUT CMU BOND BEAM AND #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 32" O.C. VERTICAL, GREAT REINFORCED CELLS, DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 6" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 LOGS PER 10' TURNDOWN EDGES UNDER CMU WALLS (W/ 2" #5 CONT.) AND 6" TURNDOWN @ APRON (W/ 1" #5 CONT.)
 - 6" CONCRETE APRON, 4000 PSI, 3/4" AGGREGATE WITH 6x6 - 10x10 PER 10' TURNDOWN EDGES (W/ 1" #5 CONT.) ALL AROUND EXCEPT 12" @ ENTRY (W/ 1" #5 CONT.)
 - 4" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING PAINT TO MATCH ENCLOSURE COLOR
 - ASPHALT PAVING - SEE PAVING SECTION
 - WOOD GATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY

SECTION
REFUSE ENCLOSURE
NOT TO SCALE



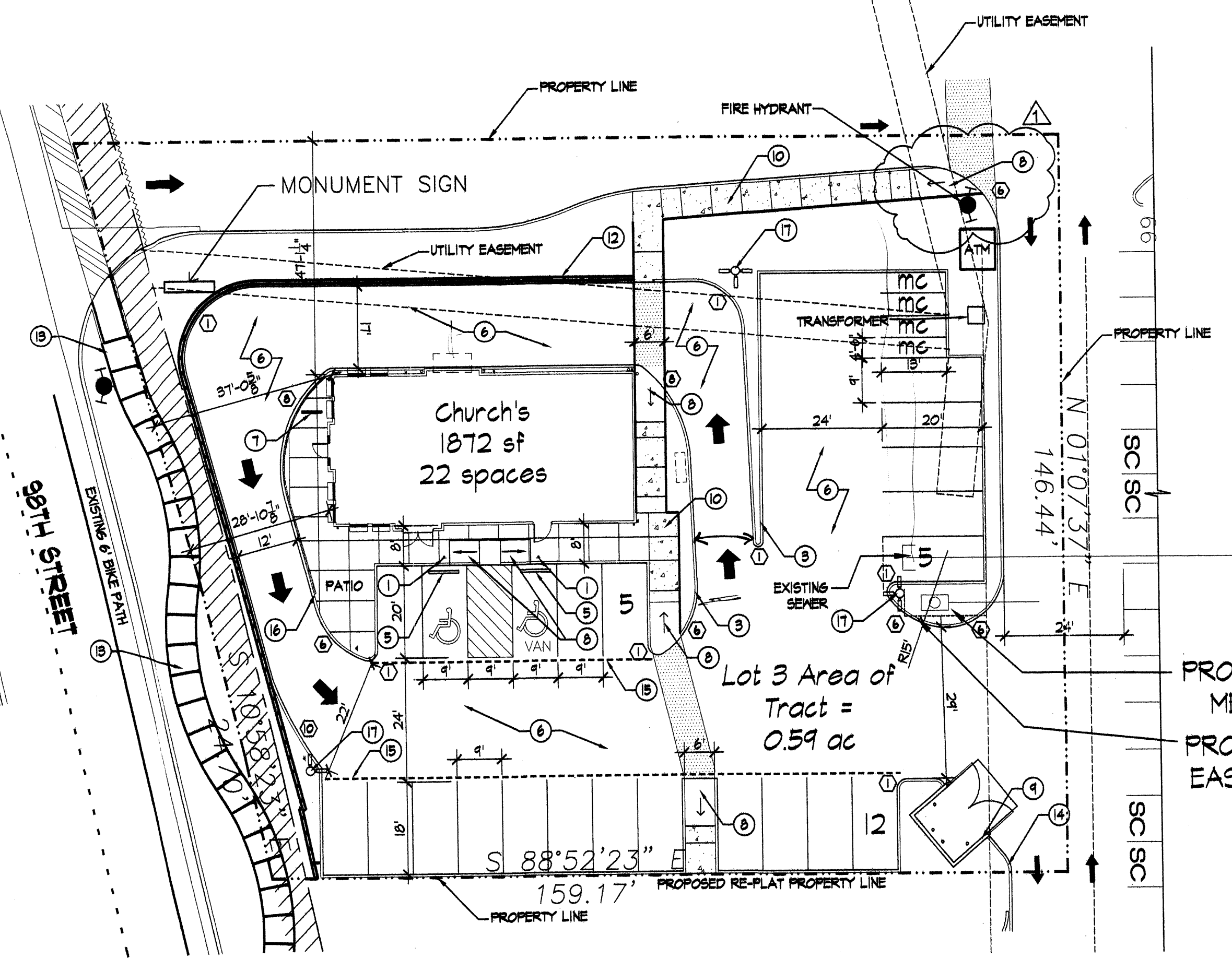
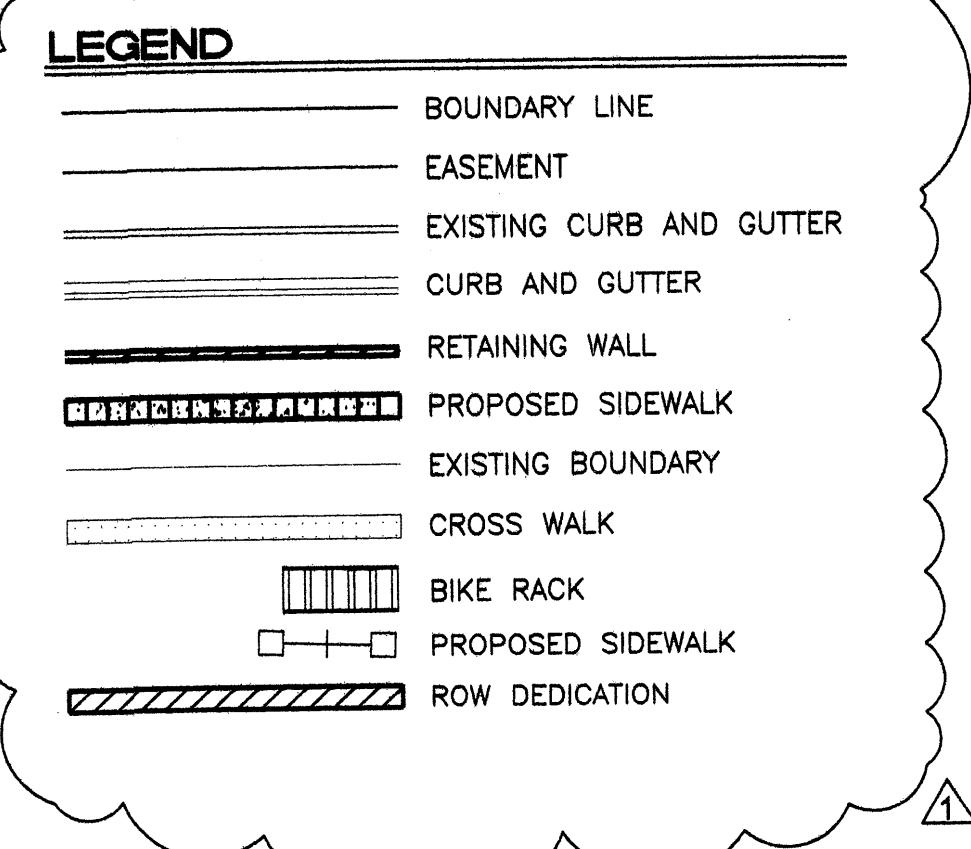
BICYCLE RACK
SCALE: 3/4"=1'-0"



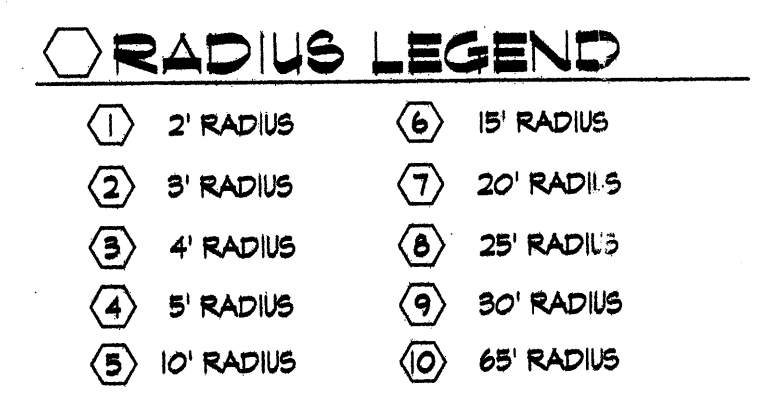
LIGHT POLE DETAIL
NTS

ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

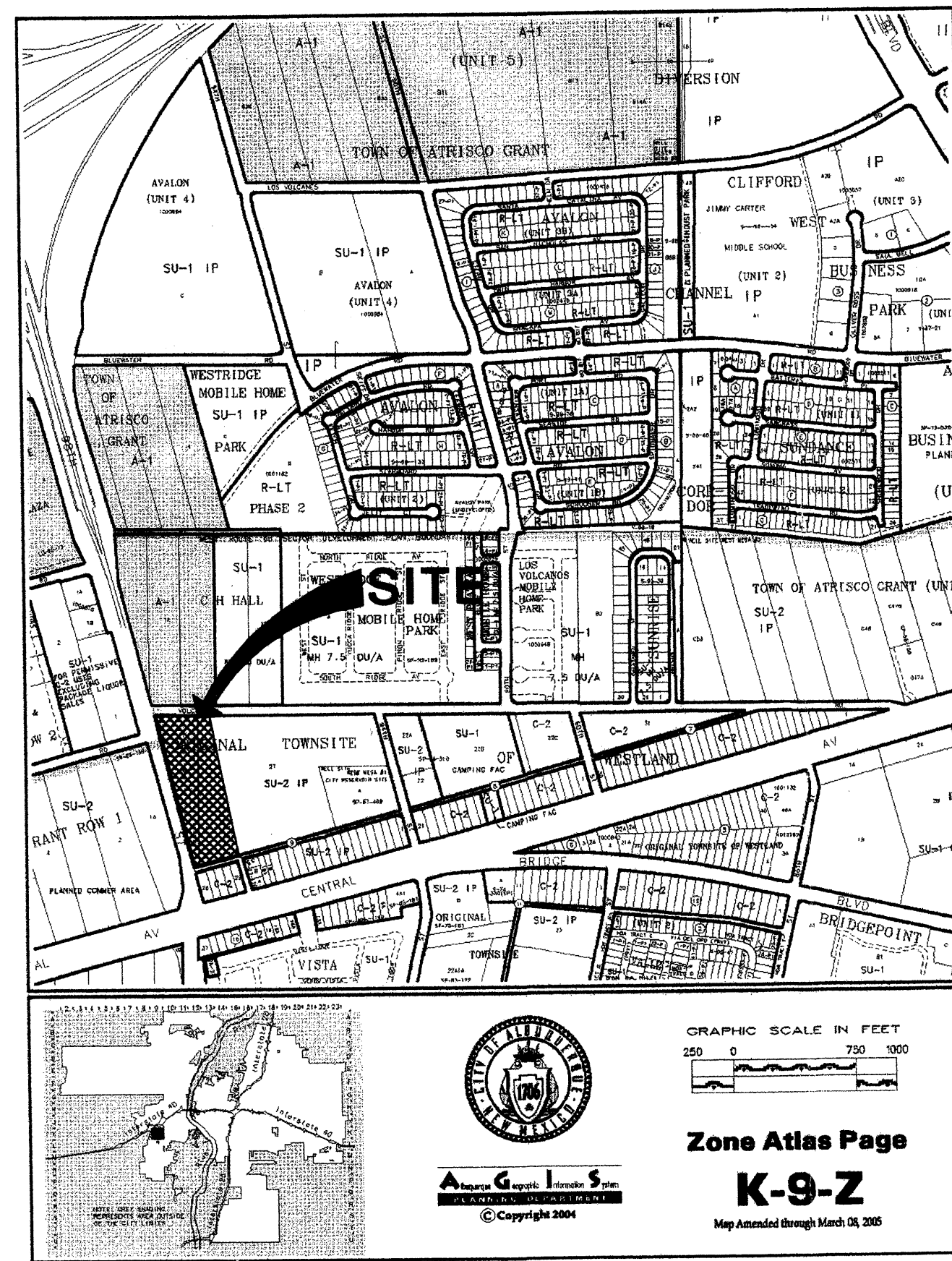
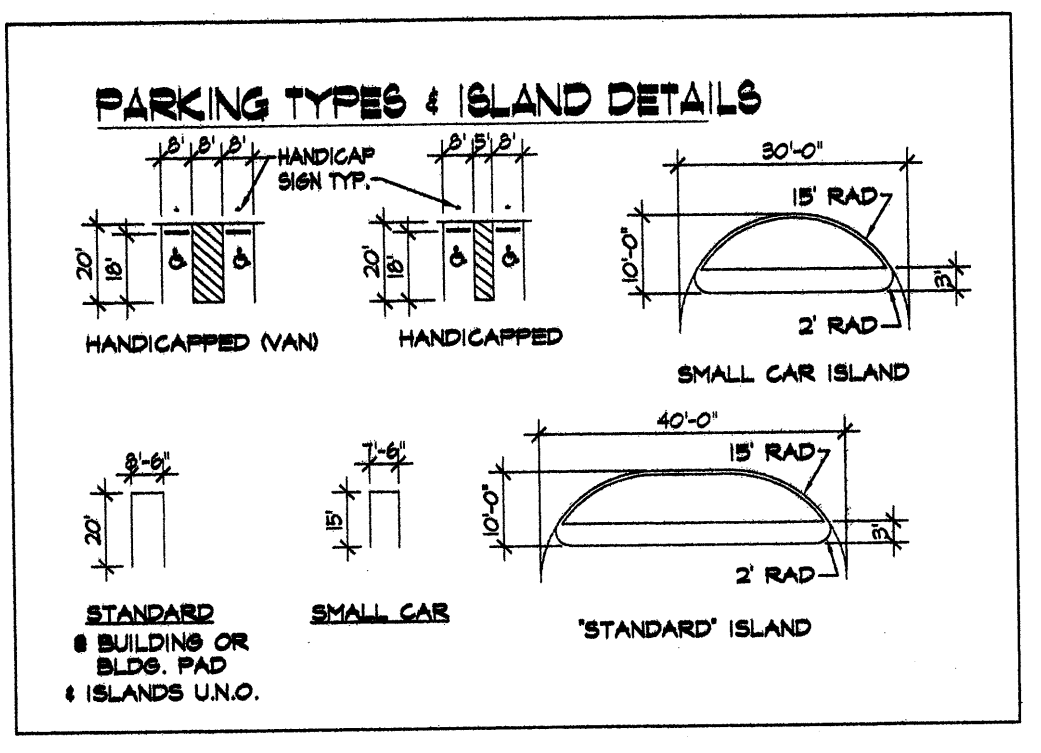
LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



3 SITE - LOT 3
1"=20'-0"



- KEYED NOTES**
- HANDICAP SIGN - 2 REQUIRED. - SEE DETAIL.
 - LIGHT POLE - SEE DETAIL.
 - NEW CONCRETE PERMAGURB TYPICAL.
 - NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE.
 - NEW PARKING BUMPER - 2 REQUIRED
 - STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION.
 - BIKE RACK - SEE DETAIL.
 - SLOPE RAMP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN AND HAVE TRUNCATED DOMES.
 - NEW REFUSE ENCLOSURE, SEE DETAIL.
 - NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS.
 - EXISTING TELEPHONE/CABLE PEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION.
 - CMU RETAINING WALL
 - EXISTING SIDEWALK
 - EXTRUDED ASPHALT CURB
 - FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 - GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 - SITE LIGHTING
- GENERAL NOTES**
- VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
 - ALL STREETScape LANDSCAPING TO BE MAINTAINED BY THE OWNER.



BUILDING LEGEND

| | |
|-----------------------|-------------------------------------------------------------------------------------------------|
| OFFICE BUILDING | 6,842 SQ.FT. |
| PARKING REQUIRED: | RESTAURANT = ONE PER 4 SEATS = 11 SPACES (2 HC. SPACES) |
| PARKING PROVIDED: | 22 SPACES PROVIDED (2 HC. SPACES PROVIDED) |
| MOTORCYCLE PARKING: | 4 REQUIRED 4 PROVIDED |
| BICYCLE PARKING: | 4 SPACES NEEDED 5 SPACES PROVIDED |
| LANDSCAPING REQUIRED: | BLDG. SITE = 25,700 S.F. - 1,872 S.F. (BLDG. AREA) = 23,828 S.F. NET LOT AREA * 15 = 3,574 S.F. |
| LANDSCAPING PROVIDED: | 5,512 S.F. |

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

H+W
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2200 Wilder Lane NW,
Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplusw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Date: June 4, 2013

Drawn: S.T.WILDER

Checked: S.T.WILDER

Revision:
7/30/13

Seal:

STATE OF NEW MEXICO
JASON HALL
No. 008626
6.4.13
REGISTERED ARCHITECT

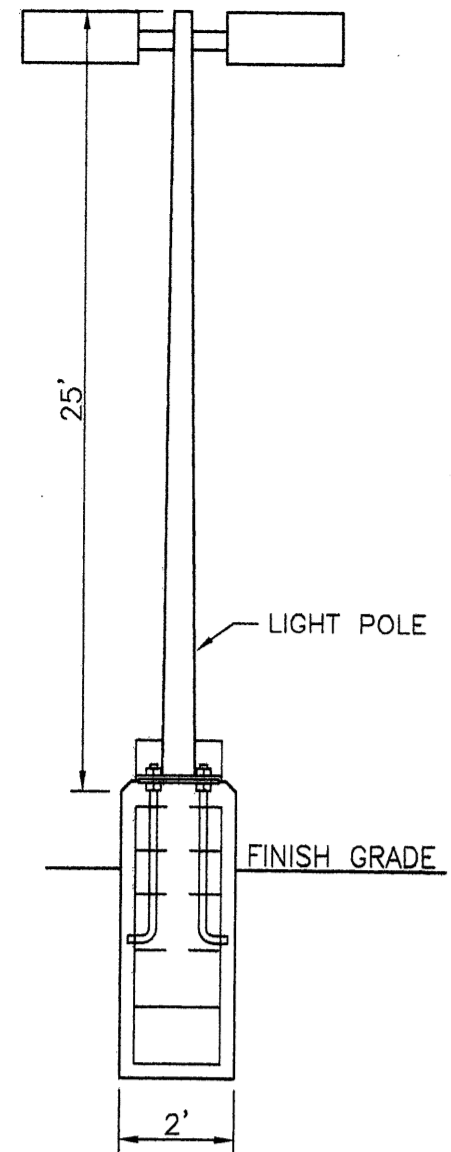
JOB NUMBER: H28008

S01

- GENERAL NOTES - CITY REQUIRED**
- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
 - THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2425
 - CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 25' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 25' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. SITE LIGHTING WILL MEET THE GUIDELINES AS SET FORTH IN THE NIGHT SKY ORDINANCE. LIGHT POLE LOCATIONS SHOWN ON PLAN ARE FOR REFERENCE ONLY. PLEASE REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SETBACKS: THE FRONT SETBACK SHALL REMAIN FREE OF BUILDINGS AND PERMANENT STRUCTURES OTHER THAN ON PREMISE SIGNS. NO BUILDINGS OR STRUCTURES, OTHER THAN WALLS OR FENCES SHALL BE PERMITTED IN THE SIDE OR REAR YARD SETBACK IF THERE ARE NO SOLID WALLS OR FENCES ALONG THE REAR PROPERTY LINE. A 10 FT LANDSCAPE BUFFER IS REQUIRED. THERE SHALL BE A FRONT AND CORNER SIDE YARD SETBACK OF NOT LESS THAN 5 FEET AND A SETBACK OF 11 FT FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.
- BUILDINGS CANNOT EXCEED HEIGHTS AS SPECIFIED BY THE SU-2 IP CITY ZONING CODE
- THE HEIGHTS OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING CODE, EXCEPT NO STRUCTURE SHALL EXCEED 40' IN HEIGHT.
- BUS ROUTE 54 RUNS FROM THE 98TH STREET, NW TO CENTRAL AVENUE, NW
- NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
- APPROVAL OF SITE PLAN FOR BUILDING PERMIT FOR LOTS 2, 3, 4A AND 4B TO BE DELEGATED TO THE DRB
- ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
- HANDICAP ACCESS LANDINGS AND RAMPS TO BE ADA COMPLIANT.
- CLEAR SITE TRIANGLE : SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE
- ALL STREETScape LANDSCAPING TO BY MAINTAINED BY OWNER.



LIGHT POLE DETAIL
NTS

KEYED NOTES:

- PAINTED DIRECTIONAL ARROW TYPICAL
- ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- UNIDIRECTIONAL HC RAMP
- PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL TOO HAVE TRUNCATED DOMES
- 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- 6" CONCRETE HEADER CURB
- 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- 6" CONCRETE SIDEWALK TYPICAL
- TRASH COMPACTOR
- "STOP" SIGN. SEE PLAN FOR LOCATION
- 5 SPACE BIKE RACK TYPICAL
- NEW 6' BIKE PATH
- TREE PLANTER TYPICAL
- RETAINING WALL TAN CMU SEE DETAIL SHEET
- DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- 6" CONCRETE CURB AND GUTTER
- PATIO RAILING
- DO NOT ENTER SIGN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

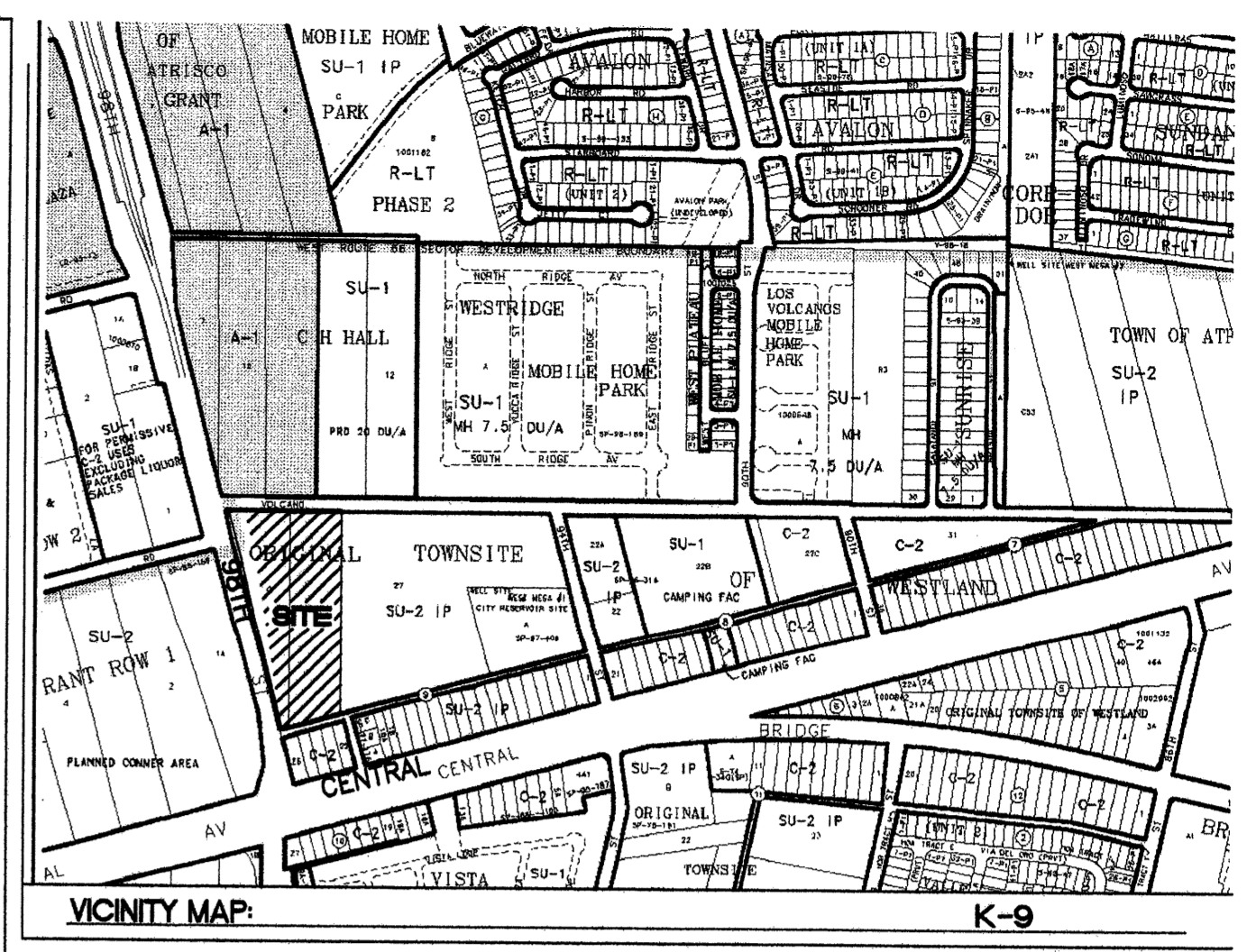
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

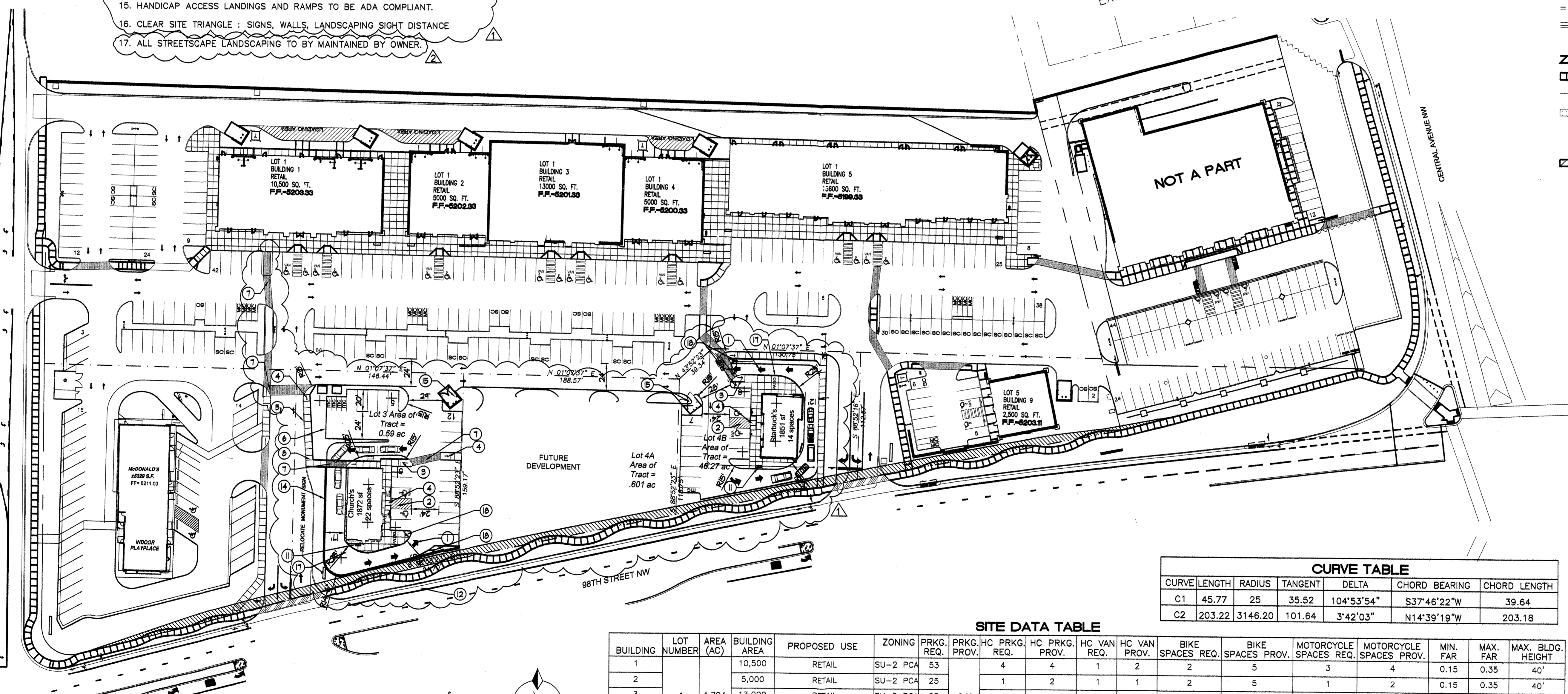
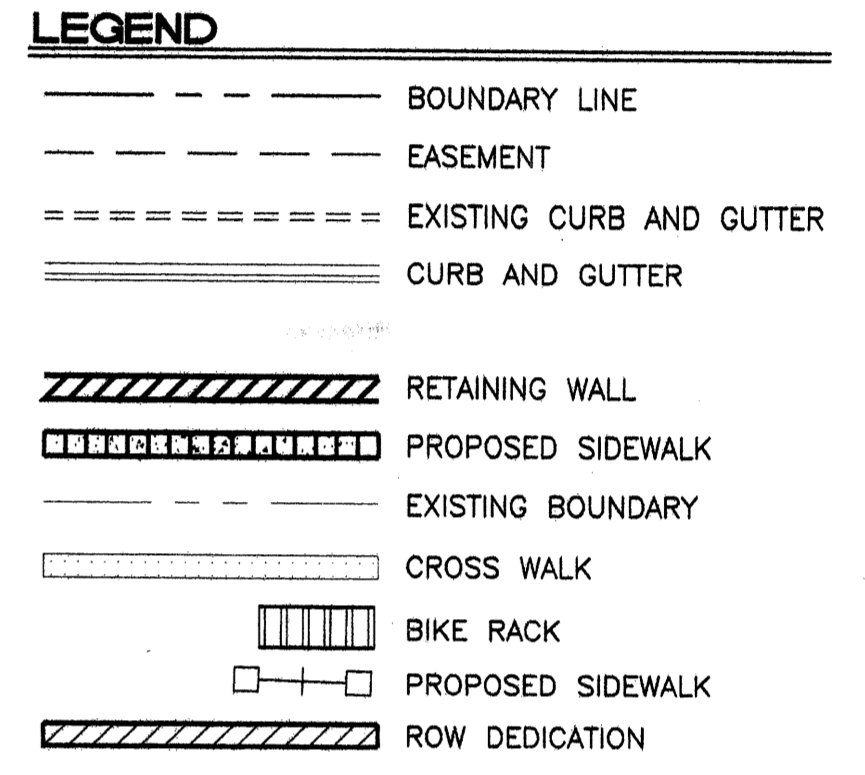
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary



LEGAL DESCRIPTION:
 PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSITE OF WESTLAND



CURVE TABLE

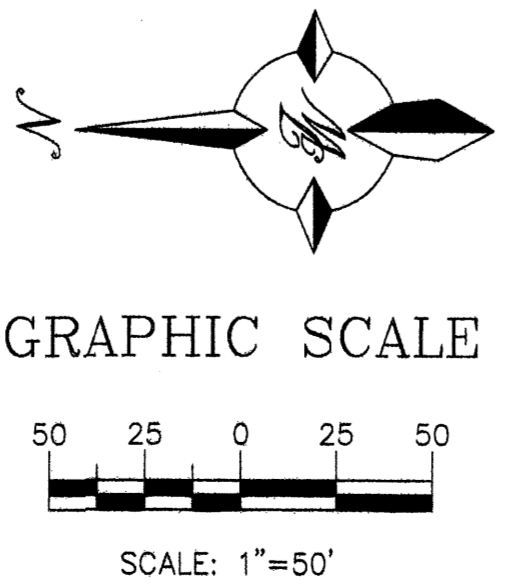
| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. HC PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|-------------------------|----------|------------|----------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | 1 | 4.794 | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | | | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT W/ DRIVETHRU | SU-2 PCA | 68 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 2 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.69 | 1,872 | RESTAURANT W/ DRIVETHRU | SU-2 PCA | 11 | 22 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT W/ DRIVETHRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| 10 | 5 | 0.450 | 2,006 | RESTAURANT | SU-2 PCA | 13 | 13 | | | | | | | | | 0.15 | 0.35 | 40' |
| TOTAL | | | 8,049 | 61,223 | | 328 | 347 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | 23 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

- SHEET INDEX**
- SITE PLAN FOR SUBDIVISION
 - SITE PLAN FOR BUILDING PERMIT
 - LANDSCAPE PLAN
 - ELEVATIONS
 - ELEVATIONS
 - DETAILS



H+W
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 fax 505.508.4478
 email: hplusw@comcast.net

NORTHEAST CORNER OF
 98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**AMENDED SITE PLAN
 FOR BUILDING
 PERMIT**

Date: May 8, 2013

Drawn: S.T.WILDER

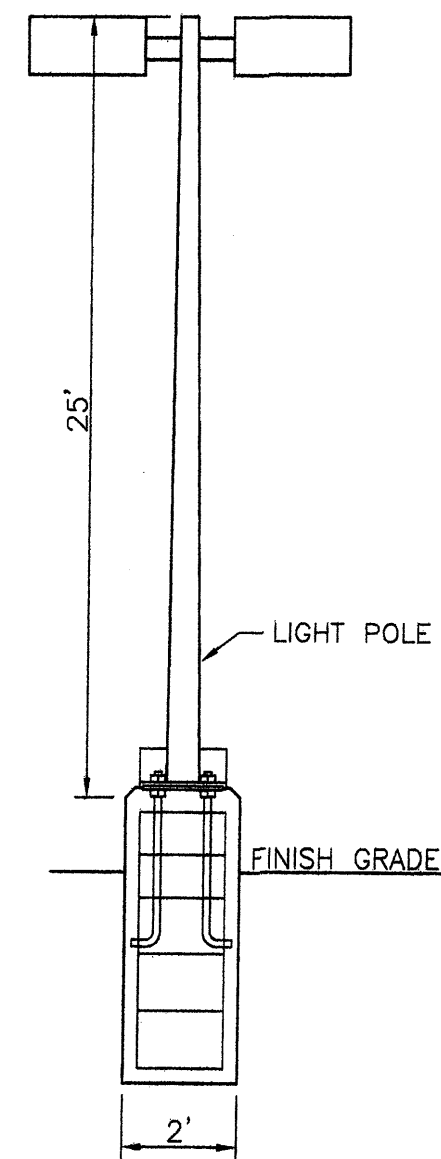
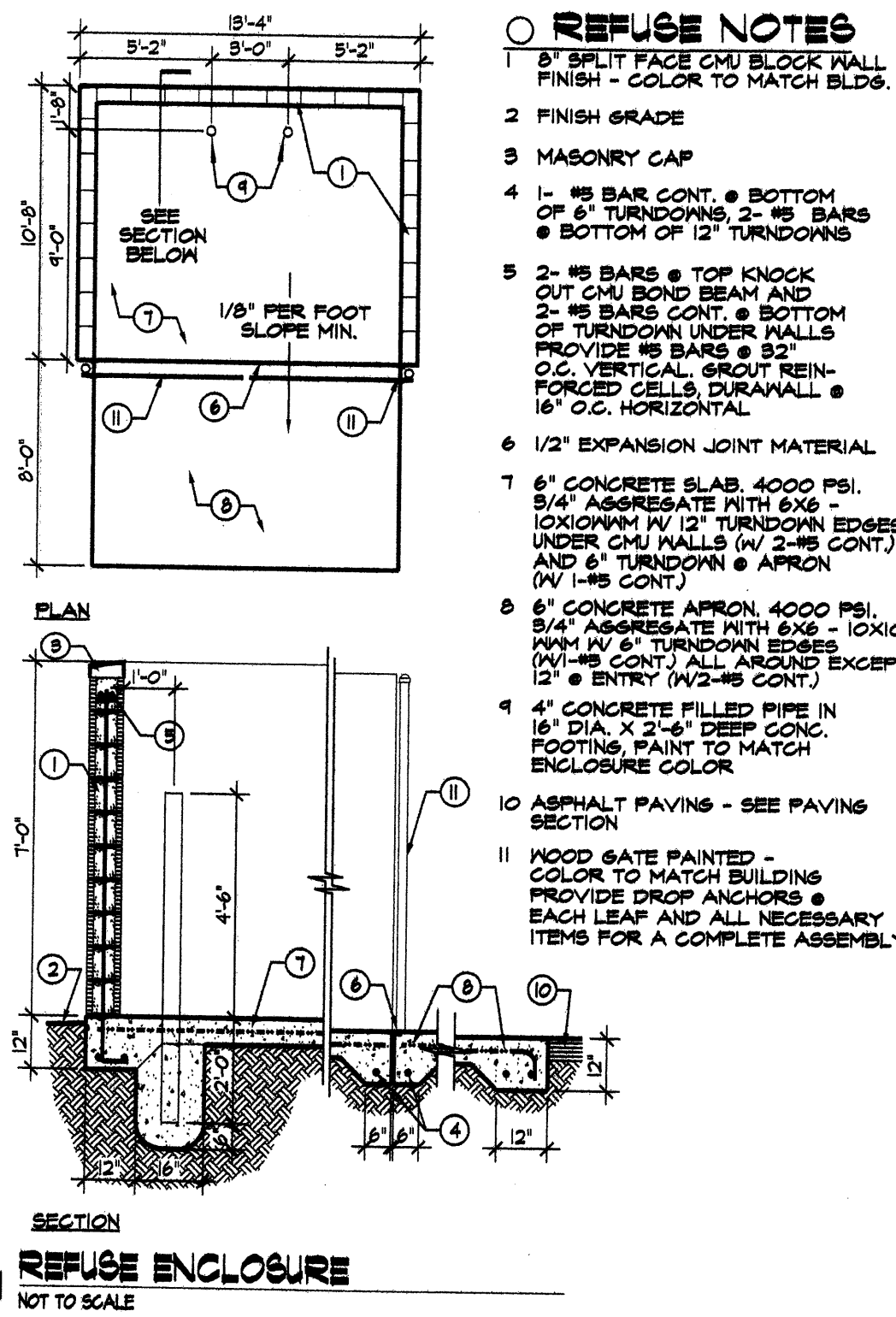
Checked: S.T.WILDER
 Revision:

6/02/13
 7/30/13

Seal:

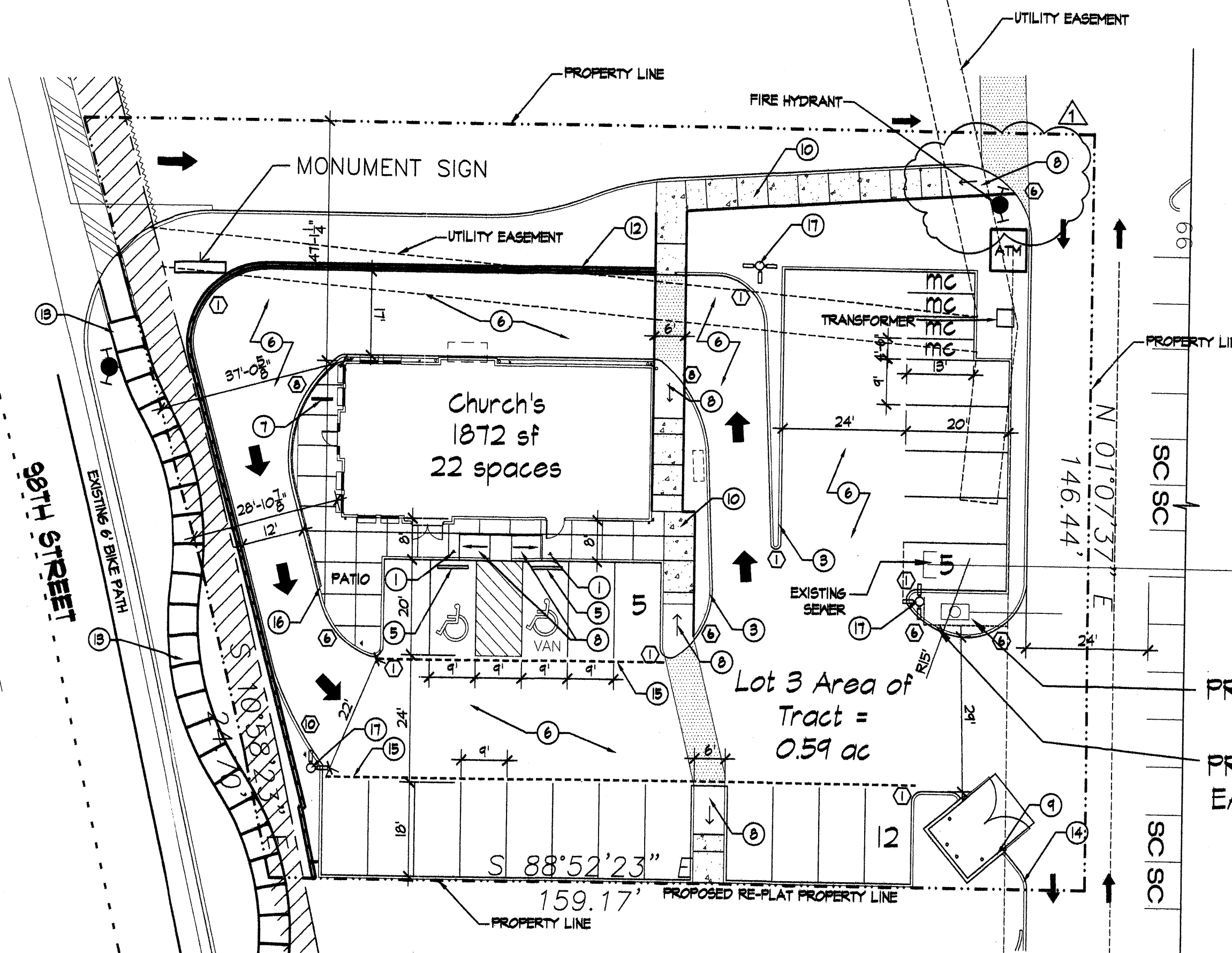
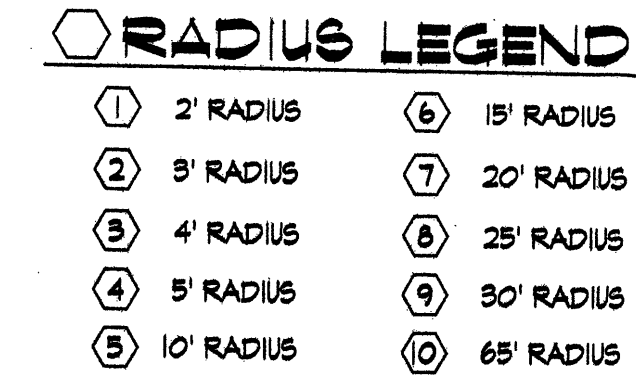
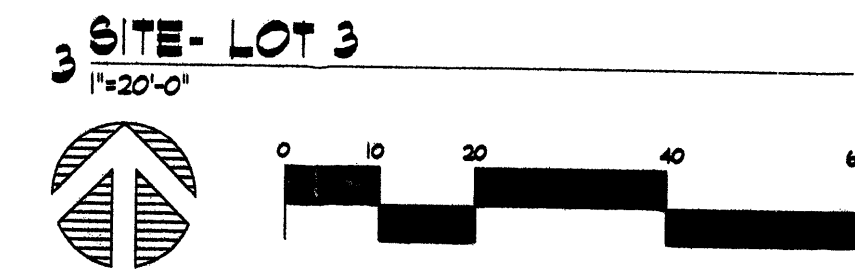
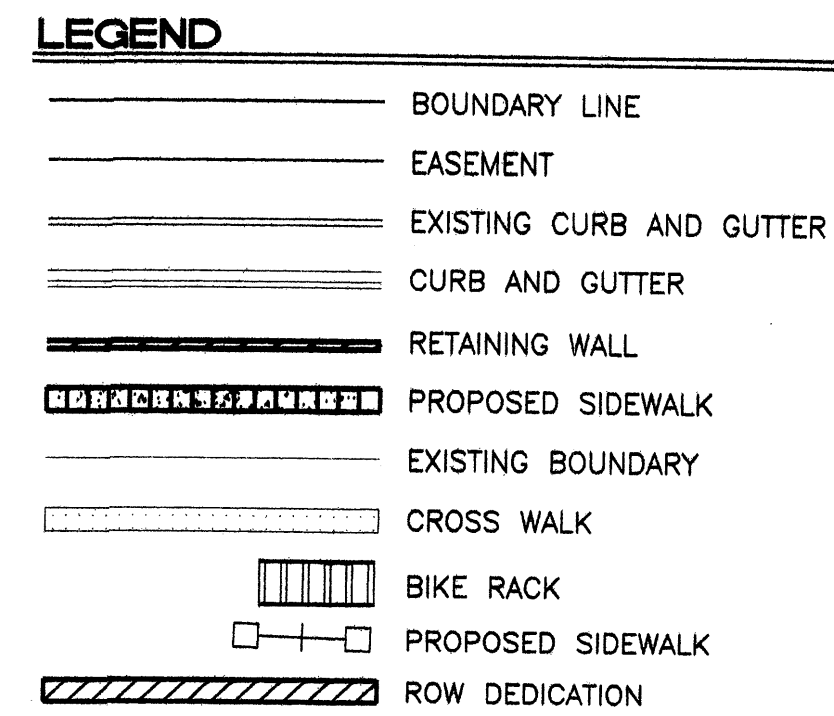
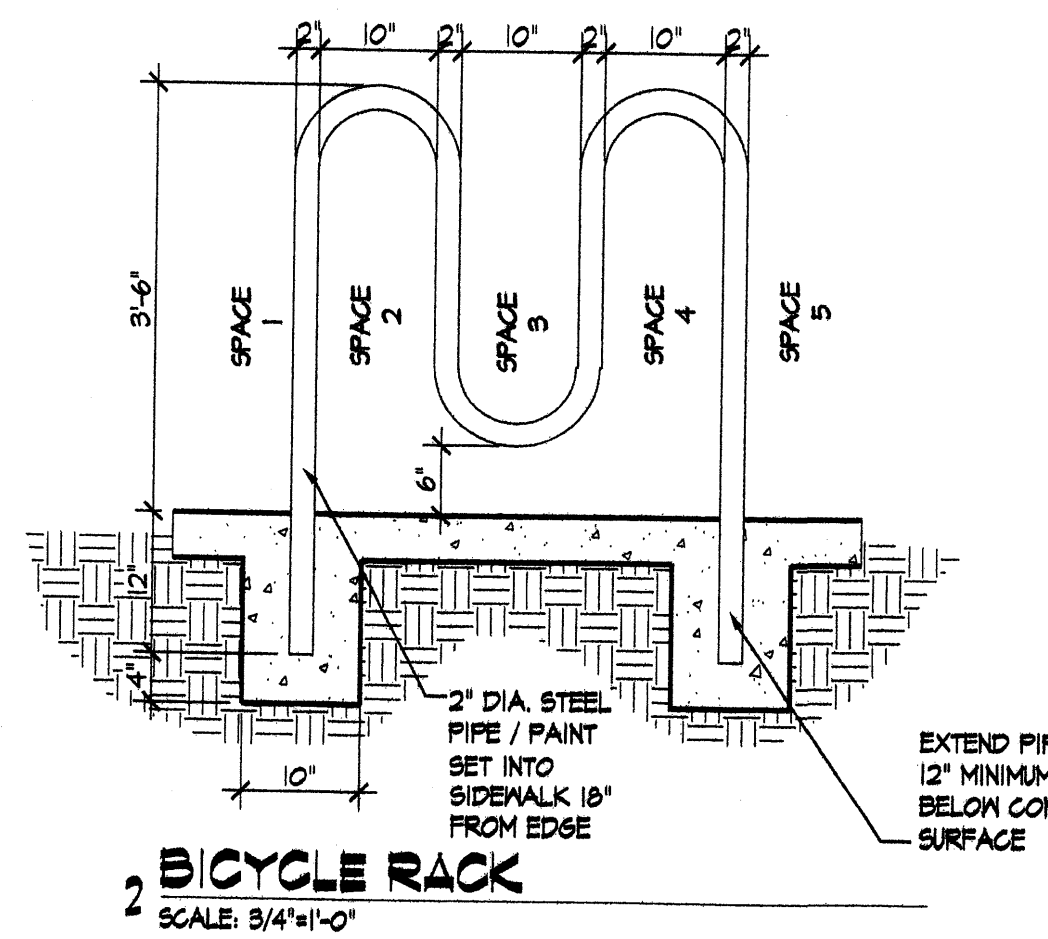
JOB NUMBER: H28008

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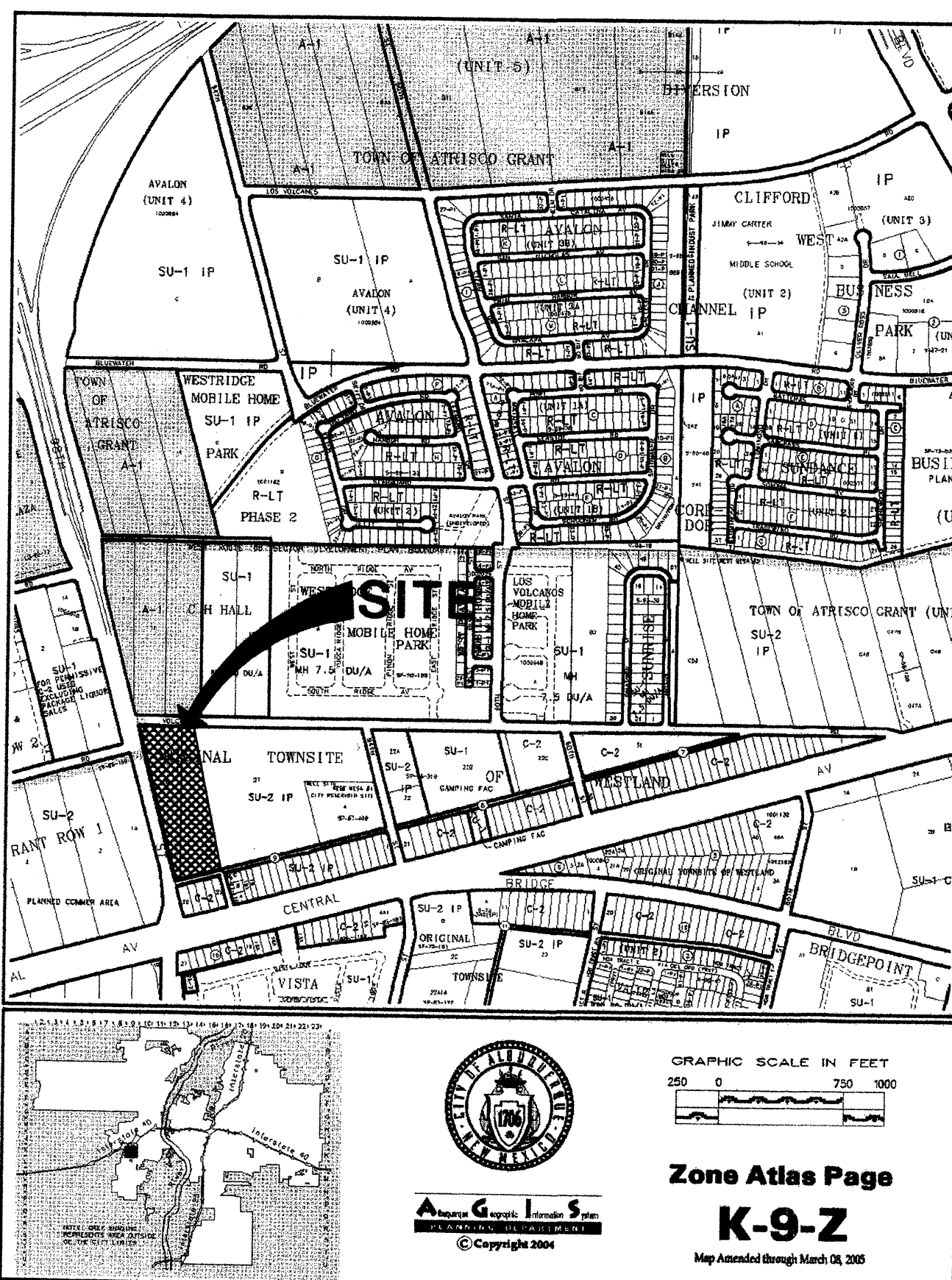
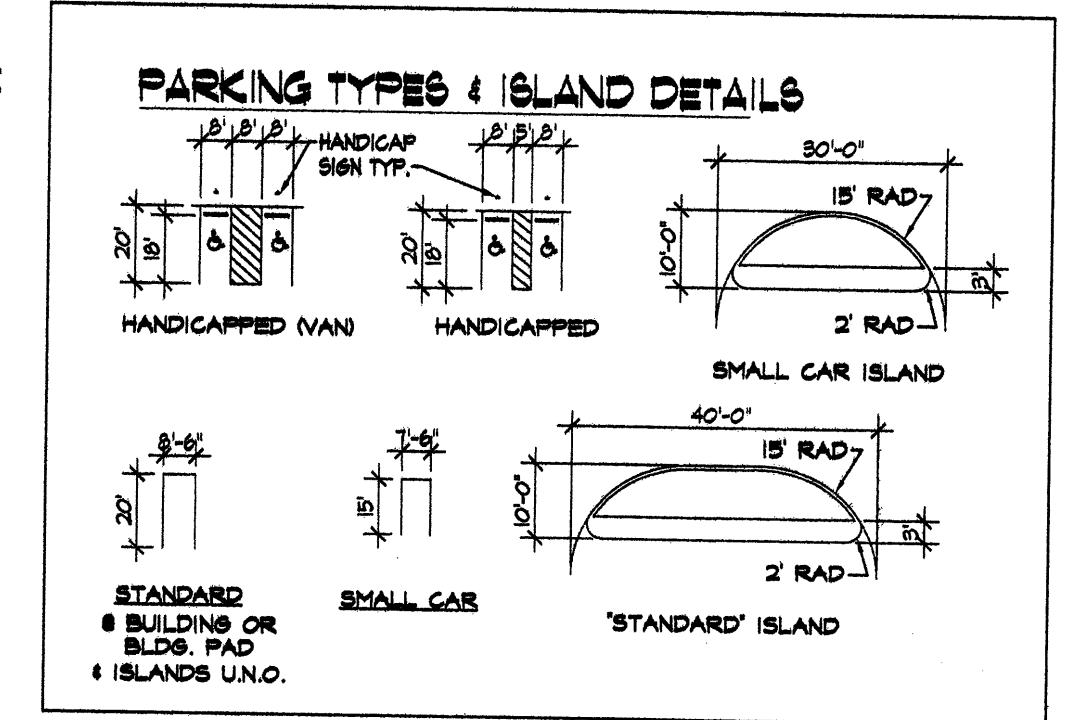


ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.M. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



- KEYED NOTES**
1. HANDICAP SIGN - 2 REQUIRED. - SEE DETAIL
 2. LIGHT POLE - SEE DETAIL
 3. NEW CONCRETE PERMACURE TYPICAL
 4. NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE
 5. NEW PARKING BUMPER - 2 REQUIRED
 6. STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION
 7. BIKE RACK - SEE DETAIL
 8. SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN AND HAVE TRUNCATED DOMES.
 9. NEW REFUSE ENCLOSURE, SEE DETAIL
 10. NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS
 11. EXISTING TELEPHONE/CABLE PEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION
 12. CMU RETAINING WALL
 13. EXISTING SIDEWALK
 14. EXTRUDED ASPHALT CURB
 15. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB.
 16. GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 17. SITE LIGHTING
- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION
 - B. ALL STREETScape LANDSCAPING TO BE MAINTAINED BY THE OWNER



BUILDING LEGEND

| | |
|-----------------------|------------------------------------------------------------------------------------------------------------|
| OFFICE BUILDING | 6,842 SQ.FT. |
| PARKING REQUIRED: | RESTAURANT = ONE PER 4 SEATS = 11 SPACES (2 H.C. SPACES) |
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| MOTORCYCLE PARKING: | 1 REQUIRED |
| BICYCLE PARKING: | 4 PROVIDED |
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| LANDSCAPING PROVIDED: | |

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

* Environmental Health, if necessary

GENERAL NOTES - CITY REQUIRED

- A. "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, FOR TEMPORARY C.O., WILL BE SCHEDULED.
- D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
- E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWG. No. 2425
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- G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

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Albuquerque, NM 87104
tel. 505.306.8238
fax 505.508.4478
email: hplu+w@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

Sheet Title:
**SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT**

Date: June 4, 2013
Drawn: S.T.WILDER
Checked: S.T.WILDER
Revision:

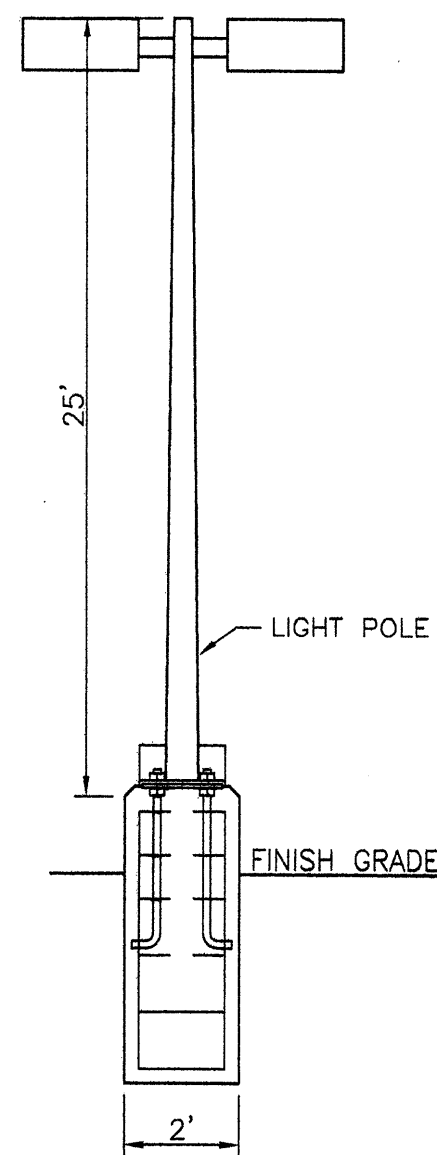
7/30/13

Seal:



JOB NUMBER: H28008

S01



LIGHT POLE DETAIL
NTS

NOTES:

1. COMMON STORM DRAINAGE, PEDESTRIAN, UTILITY, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
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3. MINIMUM LANDSCAPE SHALL BE 15% OF THE IMPERVIOUS SURFACE LESS BUILDING AREA.
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12. NO ADULT ESTABLISHMENTS WILL BE BUILT ON THIS SITE
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14. ALL PARKING SPACES TO BE A MINIMUM OF 18'-0" DEEP AND 8'-6" WIDE
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16. CLEAR SITE TRIANGLE: SIGNS, WALLS, LANDSCAPING SIGHT DISTANCE
17. ALL STREETSCAPE LANDSCAPING TO BY MAINTAINED BY OWNER.

KEYED NOTES:

- ① PAINTED DIRECTIONAL ARROW TYPICAL
- ② ACCESSIBLE PARKING SPACE TYPICAL, SEE DETAIL SHEET FOR ACCESSIBLE PARKING SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- ③ UNIDIRECTIONAL HC RAMP
- ④ PROPOSED HC LANDING SEE SHEET 006 FOR DETAIL TOO HAVE TRUNCATED DOMES
- ⑤ 8" STANDARD CURB AND GUTTER PER COA DWG#2415A
- ⑥ 6" CONCRETE HEADER CURB
- ⑦ 6' WIDE SLIGHTLY RAISED CONCRETE PEDESTRIAN CROSSWALK
- ⑧ 6' CONCRETE SIDEWALK TYPICAL
- ⑨ TRASH COMPACTOR
- ⑩ "STOP" SIGN, SEE PLAN FOR LOCATION
- ⑪ 5 SPACE BIKE RACK TYPICAL
- ⑫ NEW 6' BIKE PATH
- ⑬ TREE PLANTER TYPICAL
- ⑭ RETAINING WALL TAN CMU SEE DETAIL SHEET
- ⑮ DUMPSTER WITH ENCLOSURE SEE DETAIL SHEET
- ⑯ 6" CONCRETE CURB AND GUTTER
- ⑰ PATIO RAILING
- ⑱ DO NOT ENTER SIGN

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

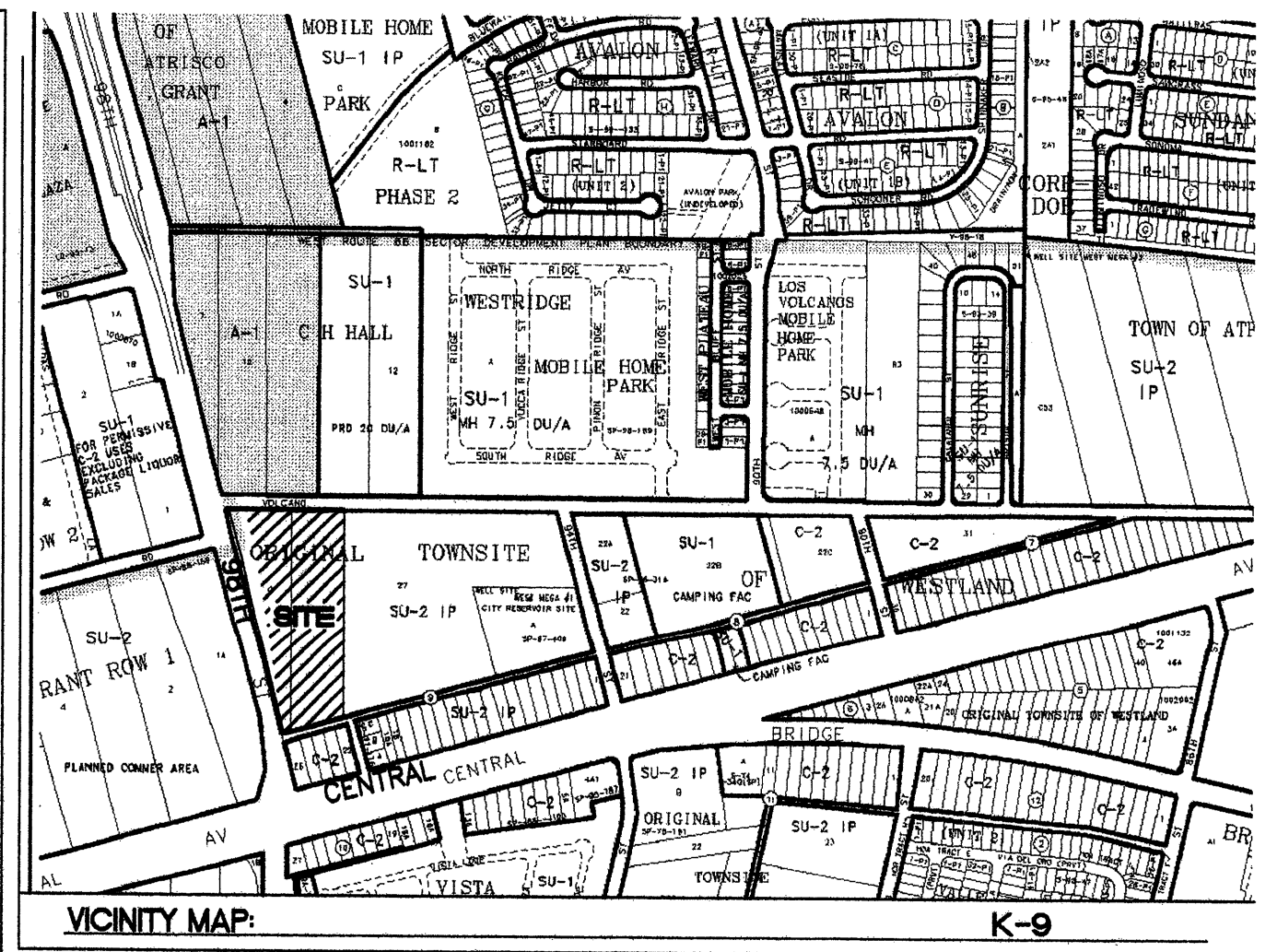
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

| | |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

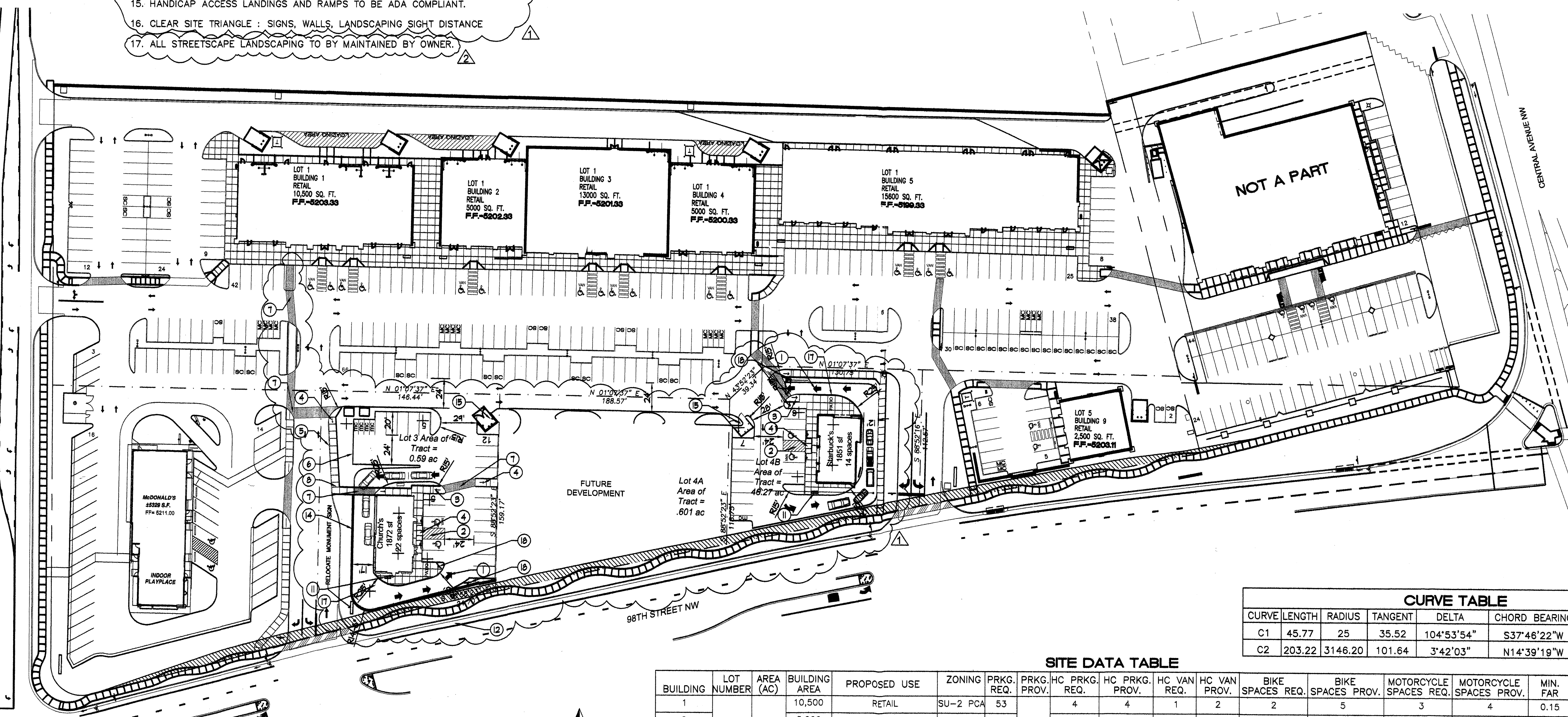
* Environmental Health, if necessary



LEGAL DESCRIPTION:
PORTIONS OF LOT 27, BLOCK 9, TRACT O ORIGINAL TOWNSHIP OF WESTLAND

LEGEND

| | |
|---------|--------------------------|
| --- | BOUNDARY LINE |
| - - - - | EASEMENT |
| ===== | EXISTING CURB AND GUTTER |
| ===== | CURB AND GUTTER |
| | RETAINING WALL |
| | PROPOSED SIDEWALK |
| --- | EXISTING BOUNDARY |
| --- | CROSS WALK |
| | BIKE RACK |
| --- | PROPOSED SIDEWALK |
| --- | ROW DEDICATION |



CURVE TABLE

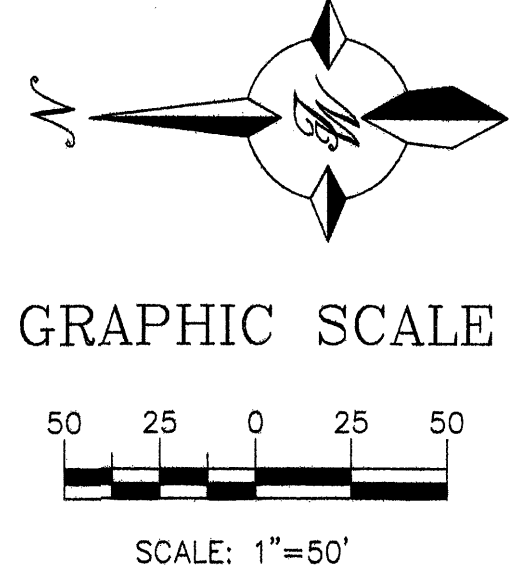
| CURVE | LENGTH | RADIUS | TANGENT | DELTA | CHORD BEARING | CHORD LENGTH |
|-------|--------|---------|---------|------------|---------------|--------------|
| C1 | 45.77 | 25 | 35.52 | 104°53'54" | S37°46'22"W | 39.64 |
| C2 | 203.22 | 3146.20 | 101.64 | 3°42'03" | N14°39'19"W | 203.18 |

SITE DATA TABLE

| BUILDING | LOT NUMBER | AREA (AC) | BUILDING AREA | PROPOSED USE | ZONING | PRKG. REQ. | PRKG. PROV. | HC PRKG. REQ. | HC PRKG. PROV. | HC VAN REQ. | HC VAN PROV. | BIKE SPACES REQ. | BIKE SPACES PROV. | MOTORCYCLE SPACES REQ. | MOTORCYCLE SPACES PROV. | MIN. FAR | MAX. FAR | MAX. BLDG. HEIGHT |
|----------|------------|-----------|---------------|-------------------------|----------|------------|-------------|---------------|----------------|-------------|--------------|------------------|-------------------|------------------------|-------------------------|----------|----------|-------------------|
| 1 | | | 10,500 | RETAIL | SU-2 PCA | 53 | | 4 | 4 | 1 | 2 | 2 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 2 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 3 | 1 | 4.794 | 13,000 | RETAIL | SU-2 PCA | 65 | 249 | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 4 | | | 5,000 | RETAIL | SU-2 PCA | 25 | | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 5 | | | 15,600 | RETAIL | SU-2 PCA | 78 | | 4 | 4 | 1 | 2 | 3 | 5 | 3 | 4 | 0.15 | 0.35 | 40' |
| 6 | 2 | 1.146 | 5,900 | RESTAURANT w/ DRIVETHRU | SU-2 PCA | 48 | 50 | 3 | 4 | 1 | 2 | 2 | 5 | 2 | 4 | 0.15 | 0.35 | 40' |
| 7 | 3 | 0.69 | 1,872 | RESTAURANT w/ DRIVETHRU | SU-2 PCA | 11 | 22 | 1 | 2 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| 8 | 4A | 0.601 | N/A | FUTURE RETAIL TO EPC | SU-2 PCA | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| 9 | 4B | 0.462 | 1,851 | RESTAURANT w/ DRIVETHRU | SU-2 PCA | 10 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 1 | 0.15 | 0.35 | 40' |
| 10 | 5 | 0.436 | 2,306 | RETAIL | SU-2 PCA | 13 | 13 | 1 | 1 | 1 | 1 | 2 | 5 | 1 | 2 | 0.15 | 0.35 | 40' |
| TOTAL | | 8.049 | 61,223 | | | 328 | 347 | 20 | 25 | 9 | 13 | 20 | 45 | 16 | 23 | | | |

*RESTAURANT PARKING REQUIREMENT IS CALCULATED BY SEATING CAPACITY 1 PER 3 SEATS

- SHEET INDEX**
1. SITE PLAN FOR SUBDIVISION
 2. SITE PLAN FOR BUILDING PERMIT
 3. LANDSCAPE PLAN
 4. ELEVATIONS
 5. ELEVATIONS
 6. DETAILS



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 fax 505.508.4478
 email: hplsw@comcast.net

NORTHEAST CORNER OF
 98TH AND CENTRAL
 ALBUQUERQUE, NM

Sheet Title:
AMENDED SITE PLAN FOR BUILDING PERMIT

Date: May 8, 2013
 Drawn: S.T.WILDER
 Checked: S.T.WILDER
 Revision:
 6/02/13
 7/30/13
 Seal:

JOB NUMBER: H28008
002