



**SUBDIVISION**

- Major subdivision action
- Minor subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- Administrative Approval (DRT, URT, etc.)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**STORM DRAINAGE (Form D)**

- Storm Drainage Cost Allocation Plan

Supplemental Form (SF)

S Z

**ZONING & PLANNING**

- Annexation
- Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
- Adoption of Rank 2 or 3 Plan or similar
- Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
  - Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICATION INFORMATION:**

Professional/Agent (if any): DAC ENTERPRISES, INC. PHONE: 505-842-0424  
 ADDRESS: 1521 EDITH BLVD NE FAX: 505-247-9530  
 CITY: ALBUQUERQUE STATE NM ZIP 87102-1611 E-MAIL: lromeros@segmail.com  
 APPLICANT: KRANIA LLC PHONE: 505-883-4131  
 ADDRESS: 5321 MENAUL BLVD NE FAX: 505-883-4134  
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: lromeros@claskalos  
 Proprietary interest in site: OWNER List all owners: PETE DASKALOS

**DESCRIPTION OF REQUEST:** SITE DEVELOPMENT PLAN APPROVAL FOR REVISED SITE DEVELOPMENT PLAN FOR SUBDIVISION AND SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes  No.

**SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. LOTS 3B & 4A Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv/Addn/TBKA: KRANIA SUBDIVISION  
 Existing Zoning: SU-2 FOR PCA Proposed zoning: N/A MRGCD Map No N/A  
 Zone Atlas page(s): K-9 UPC Code: 100905707467030937 & 100905707805930936

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_Z\_, V\_, S\_, etc.): \_\_\_\_\_

**CASE INFORMATION:**

Within city limits?  Yes Within 1000FT of a landfill? NO  
 No. of existing lots: 2 No. of proposed lots: 2 Total site area (acres): 1.0073 AC  
 LOCATION OF PROPERTY BY STREETS: On or Near: 48<sup>th</sup> Street NW  
 Between: CENTRAL AVE NW and VOLCANO ST NW  
 Check if project was previously reviewed by: Sketch Plat/Plan  or Pre-application Review Team (PRT)  Review Date: 10/11/16

SIGNATURE Doug Randall DATE 11/1/16  
 (Print Name) DOUG RANDALL Applicant:  Agent:

**FOR OFFICIAL USE ONLY**

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
			Total
Hearing date _____			\$ _____

Revised: 11/2014

Project # \_\_\_\_\_

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Subdivision Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
  - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
  - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
  - Zone Atlas map with the entire property(ies) clearly outlined
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - 6 copies of the Infrastructure List, if relevant to the site plan
  - TIS/AQIA Traffic Impact Study form with required signature
  - Fee (see schedule)
  - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.  
**Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

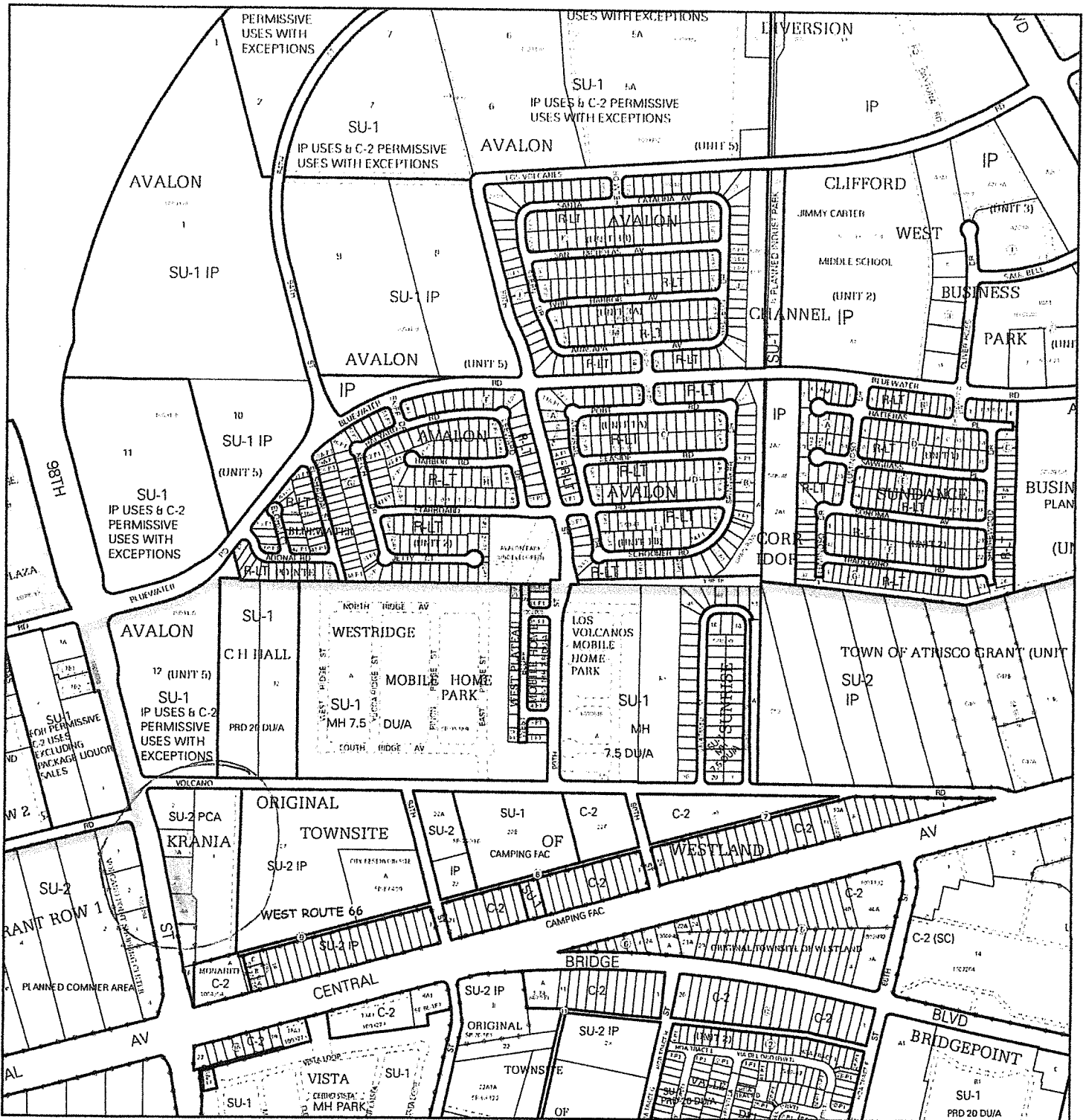
Dorey CRANDALL AGENT  
 Applicant name (print)  
Dorey Crandall 11/16/06  
 Applicant signature / date



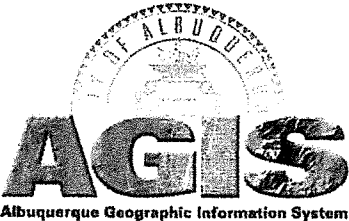
Form revised October 2007

- |  |                          |
|--|--------------------------|
| <input type="checkbox"/> Checklists complete | Application case numbers |
| <input type="checkbox"/> Fees collected      | _____                    |
| <input type="checkbox"/> Case #'s assigned   | _____                    |
| <input type="checkbox"/> Related #'s listed  | _____                    |

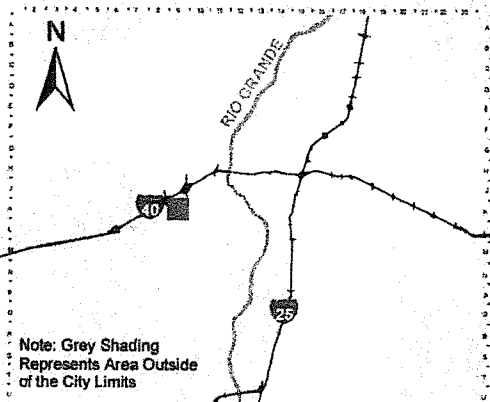
\_\_\_\_\_ Planner signature / date  
 Project # \_\_\_\_\_



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014



Note: Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**K-09-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

October 31, 2016

Mr. Jack Cloud  
Chair, Development Review Board  
City of Albuquerque  
Albuquerque, New Mexico

**Re: Site Plan Amendment/Replat - 98th and Central SW**

Dear Chair Cloud:

This is a request to relocate an approved Starbucks restaurant with a drive up service window to the east of the original location and to establish a 2498 square foot retail building in place of the originally approved restaurant. It is also a request to replat existing lots 3B and 4A to new configurations. The property is zoned SU-2/PCA and is located within the West Route 66 Sector Development Plan boundaries. Attached to this request is a copy of the approved site development plan for building permit, and the approved site development plan for subdivision.

Background

Although there is an approved site development plan for both building permit and subdivision, the controlling document is the site development plan for subdivision. Lot 1 is improved with a MacDonal's restaurant that was approved independent of the rest of the site. It was approved when the entire center was zoned SU-2/IP. The entire east side of the center is constructed and occupied.

The portion of the parcel identified on the site plan as proposed Lot 4A is currently approved for future development. The restaurant on Lot 3B was originally approved for an 1872 square foot building with 44 seats. This request is for a 2178 square foot building (Building 7A on the site plan) Based upon the revised seating capacity of 76 seats, including outdoor seating, 19 parking spaces are required and 22 parking spaces are provided. The retail building (Building 8) will be approximately 2500 square feet requires 13 parking spaces and provides 14 spaces.

In addition to requesting approval for these two buildings, applicant also intends to subdivide the current lot configurations as shown on the site plan for subdivision.

Justification

The SU-2/PCA zone category of the *West Route 66 Sector Development Plan* allows “[r]etailing of any consumer product and provision of any customer personal or business service, provided that it is not listed as conditional use in the C-2 zone, or as a permissive or conditional use listed for the first time in the C-3 zone...” There are further regulations regarding certain uses, but there are no restrictions on drive up service windows for restaurants. As such, the is request is for the construction of two buildings that will accommodate permissive uses in the SU-2/PCA zone category. The total square footage of both buildings is well below the 10% threshold for approval of an Administrative Amendment.

### Overview and Summary of Request

The proposed administrative amendment is to relocate an approved Starbucks restaurant with drive up service window, and to construct a 2498 square foot retail building.

An 2178 square foot restaurant with a drive up service window is requested for the proposed Lot 3B. The 2498 square foot retail building will be constructed on the proposed Lot 4A

The requested restaurant for the proposed Lot 3B will have 76 seats and 22 parking spaces, including handicap parking. There will be an outdoor patio with five tables and 14 seats located on the southwest portion of the building.

Required landscaping for this amendment is 5585 square feet and 5722 square feet of landscaping is provided. Live groundcover and live plants also exceed that which is required. A revised landscaping plan is provided with this request.

The proposed restaurant will have a drive up service window. The window will be located on the east side of the building.

There will be queuing for ten vehicles area for the drive up service window and the service window will not be located abutting 98th Street.

There will be pedestrian access between the two proposed buildings as well as pedestrian access to the existing buildings on site as shown on the plan. Each proposed restaurant will have the required handicap and motorcycle spaces.

There will be no new free standing signs.

Building design for each building will be in conformance with the colors and materials approved for the site. They will not be built to standard franchise architecture.

Two existing lots will be replatted into Lots 3B and 4A as shown on the attached site plans.

All proposed changes are noted on the site plan submitted with this request for an administrative amendment.

Please let me know if you need anything else. Thank you for your consideration of our request.

Sincerely,

*Doug Crandall*  
Doug Crandall, Principal  
DAC Enterprises, Inc.



October 24, 2016

Mr. Jack Cloud, Chair  
Development Review Board  
City of Albuquerque  
Albuquerque, NM

Re: Amended Site Development Plan for Subdivision and Building Permit - Tracts 3-A & 4-A, Krania Subdivision, Map K9

Dear Mr. Cloud:

This letter certifies that the undersigned is the owner of the referenced property. By this letter, I authorize DAC Enterprises, Inc., to act as my agent in seeking approval of an amendment to the approved Site Development Plan for Subdivision and Building Permit for this property.

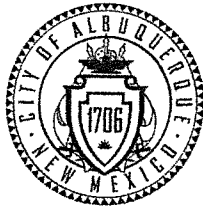
If you have any questions, please feel free to contact me at 505-883-4131.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Pete Daskalos'.

Pete Daskalos  
Managing Member  
Krania LLC

5319 Menaul Blvd NE, Albuquerque, NM 87110  
505.883.4131  
505.883.4134 (fax)



## City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

October 18, 2016

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on **October 18, 2016:**

Contact Name: ROBERT E. ROMERO  
Company or Agency: DAC ENTERPRISES, INC.  
1521 EDITH BLVD. NE/87102  
PHONE: 505-842-0484/FAX: 505-247-4530  
E-MAIL: R.LROMERO505@GMAIL.COM

contacted the Office of Neighborhood Coordination requesting the contact names **ALL Neighborhood and/or Homeowners Associations** who would be affected under the provisions of O-92 by your proposed project at **(DRB SUBMITTAL) KRANIA ADDN., LOTS 3B & 4A LOCATED ON 130 & 136 98<sup>TH</sup> STREET NW (NEC 98<sup>TH</sup> & CENTRAL NW) BETWEEN CENTRAL AVENUE NW AND VOLCANO ROAD NW** zone map K-9.

***Our records indicate that as of October 18, 2016, there were no Neighborhood and/or Homeowner Associations in this area.***

If you have any questions about the information provided, please contact me at (505) 924-3914 or via an e-mail message at [dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or by fax at (505) 924-3913.

Sincerely,

**Dalaina L. Carmona**

Senior Administrative Assistant  
OFFICE OF NEIGHBORHOOD COORDINATION  
PLANNING DEPARTMENT

Planningnona/hoaform(02/18/13)



# !!!Notice to Applicants!!!

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
1. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
2. A physical description of the location, referenced to streets and existing land uses.
3. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
  - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

## Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.**
- Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

**Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.**

Any questions, please feel free to contact Dalaina at 924-3906 or via an e-mail message at [dcarmona@cabq.gov](mailto:dcarmona@cabq.gov).

Thank you for your cooperation on this matter.

\*\*\*\*\*  
(below this line for ONC use only)

Date of Inquiry: **10/18/16** Time Entered: **1:35 p.m.** ONC Rep. Initials: **DC**

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

## DESIGN STANDARDS FOR FUTURE SITE DEVELOPMENT PLANS FOR BUILDING PERMIT (Optional but STRONGLY recommended)

**Note:** If applicant is requesting delegation of future phases of development or future site development plans for building permit to the DRB or other approval body, design standards should be provided to guide future development. The design standards should address the following elements of design at a minimum. The Design Standards should be written so that they can be enforced by the DRB and/or Code Enforcement plan check.

### Site Design

- Overall layout of site and buildings, relationship to adjacent sites
- Building placement, orientation, setbacks, and heights
- Pedestrian and vehicular connectivity (internal and external)
- Parking location and design (shared parking/cross parking is strongly encouraged)
- Public outdoor spaces including pedestrian amenities, shading, etc.
- Dumpster and service area locations and screening techniques
- Location, height, design and purpose of all walls and wall openings
- Location, height, design and purpose of all lighting
- Topographic challenges/opportunities
- Screening/buffering techniques
- Sustainable techniques such as permeable paving and other "green" features

### Street Realm

- Transit, bicycle, pedestrian amenities
- Landscape buffers, sidewalks and other amenities in the public r-o-w
- Street trees – location and type of trees

### Landscaping

- Overall landscape theme including plant palette and general location, height, and purpose of plants and trees
- Water conservation techniques

### Building Design

- Context
- Architectural theme or style
- Building height, scale, massing, materials, colors, and articulation

### Signage

- Standards for wall-mounted and monument signs: location of signs; max. number of signs for entire site; max. height and face area of signs; and signage materials and lighting.

# SITE DEVELOPMENT PLAN FOR SUBDIVISION CHECKLIST

This checklist will be used by the Planning Department to verify the completeness of site plans submitted for review by the Environmental Planning Commission (EPC) and Development Review Board (DRB). Since development proposals vary in type and scale, there may be application requirements that are not included here and others that may not be necessary. Nonetheless, it is the applicant's responsibility to provide a complete submittal. The EPC and DRB will not consider incomplete submittals. Incomplete submittals run the risk of not being scheduled for hearing until they are made complete. Site development plans should ordinarily be composed of the following plan sheets:

1. **Site Plan** (required)
2. **Conceptual Utility Plan** (required)
3. **Design requirements for future site development plans for building permit** (optional, but STRONGLY recommended)

The following checklist describes the minimum information necessary for each sheet. Most of the site plan requirements for *Sheet #1* are taken from the definition for "SITE DEVELOPMENT PLAN For Subdivision" as outlined in the Zoning Code (§ 14-16-1-5). **The Applicant shall include and check off all items shown on the site plan or write in "n/a" if not applicable.**

**NOTE: MAXIMUM SIZE FOR SUBMITTAL IS 24" X 36".**

## **SHEET # 1 – SITE PLAN** (Required)

- 1. Scale: at least 1" = 100'
- 2. Bar Scale
- 3. North Arrow
- 4. Scaled Vicinity Map
- 5. The Site (property lines)
- 6. Proposed Use(s) and List of Applicable Plans
- 7. Pedestrian Ingress and Egress (Access)
- 8. Vehicular Ingress and Egress (Access)
- 9. Any Internal Circulation Requirements
- 10. For each lot:
  - a. Maximum Building Height
  - b. Minimum Building Setback
  - c. Maximum Total Dwelling Units and / or
  - d. Maximum Floor Area Ratio (F.A.R.) for Nonresidential Uses

## **Accompanying Material**

- A. Fee payment
- B. Complete application
- C. Written Summary of Request including a narrative describing compliance with applicable plans and/or zoning requirements per §14-16-3-11(B) of the Comprehensive Zoning Code.
- D. 8-1/2" x 11" reductions

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: PETE DASKALOS DATE OF REQUEST: 10/18/16 ZONE ATLAS PAGE(S): K-9

CURRENT:  
ZONING: SU-2/PCA  
PARCEL SIZE (AC/SQ. FT.): 1.63 AC

LEGAL DESCRIPTION:  
LOT OR TRACT #: 4 BLOCK #: \_\_\_\_\_  
SUBDIVISION NAME: KRANIA

REQUESTED CITY ACTION(S):  
ANNEXATION [ ]  
ZONE CHANGE [ ]: From \_\_\_\_\_ To \_\_\_\_\_  
SECTOR, AREA, FAC, COMP PLAN [X]  
AMENDMENT (Map/Text) [ ]

SITE DEVELOPMENT PLAN:  
SUBDIVISION\* [X] AMENDMENT [ ]  
BUILDING PERMIT [X] ACCESS PERMIT [ ]  
BUILDING PURPOSES [ ] OTHER [ ]  
\*includes platting actions

PROPOSED DEVELOPMENT:  
NO CONSTRUCTION/DEVELOPMENT [ ]  
NEW CONSTRUCTION [X]  
EXPANSION OF EXISTING DEVELOPMENT [ ]

GENERAL DESCRIPTION OF ACTION:  
# OF UNITS: NA  
BUILDING SIZE: 2160 (sq. ft.) = 4660<sup>sq</sup>  
2500

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE M. Gutierrez, AGENT DATE 10/18/16  
(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO [X] BORDERLINE [ ]

THRESHOLDS MET? YES [ ] NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes: - NE CORNER OF 98TH & CENTRAL (2007)  
- 6500  $\phi$  APPROVED RETAIL (PER SITE PLAN) BEING REPLACED BY  
2160  $\phi$  RESTAURANT & 2500  $\phi$  RETAIL.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Zel  
TRAFFIC ENGINEER

10-18-16  
DATE

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1  
-FINALIZED 1/1

TRAFFIC ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA# 16-187 Date: 10-11-2016 Time: 1:20 PM  
Address: NEC 98th + CENTRAL

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning:  Kym Dicome  Other: \_\_\_\_\_  
Code Enforcement:  Ben McIntosh  Other: \_\_\_\_\_  
Fire Marshall:  Antonio Chinchilla  Other: ERIC GONZALEZ

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- Zone Map Amendment  EPC Approval  City Council Approval
- Sector Dev. Plan Amendment  EPC Approval  City Council Approval
- Site Dev. Plan for Subdivision  EPC Approval  DRB Approval  Admin Approval
- Site Dev. Plan for Bldg. Permit  EPC Approval  DRB Approval  Admin Approval
- Other \_\_\_\_\_

3. SUMMARY OF PRT DISCUSSION:

Current Zoning: SV-2 FOR PCA  
Proposed Use/Zone: NO CHANGE  
Applicable Plans: RT 66 SDP  
Applicable Design Regulations: \_\_\_\_\_  
Previously approved site plans/project #: 1004354  
Requirements for application: (R-270-1980, Notification, as-built drawings, TIS, Check Lists, Other)

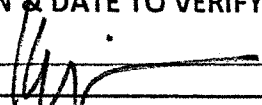
Handouts Given:

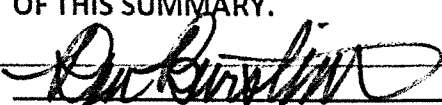
- Zone Map Amendment Process  R-270-1980  AA Process  EPC Schedule

Additional Notes:

• PERMIT + RELOCATE BUDGS? PROCESS. DEPENDS ON THE EXTENT OF CHANGES. WILL REQUIRE AN AMENDMENT TO SPS/SDP FOR BP (SEE 14AA - 10004/10005).  
• SDP FOR BP THAT INCLUDE BLDG ELEVATIONS ARE REQUIRED THRU DRB (SEE NOTE 11 ON SPS)

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY.

  
\_\_\_\_\_  
PRT CHAIR

  
\_\_\_\_\_  
APPLICANT OR AGENT

\*\*\*Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.

NO PACKAGE LIQUOR SALES ALLOWED ON SITE (NOTE)  
MTG.

FUTURE DEVELOPMENT - THRU PUBLIC HEARINGS  
SDBP + NEED A SPS / SDPBP AMENDMENT.

ADDRESS PED. REQUIREMENTS OF SPS W/ <sup>W/</sup> MAJOR  
SDP BP <sub>PLAN ACTION</sub>

FM. FILE PG 1 PLAN SUBMITTED ASAP BEFORE  
DPB.

SPRINKLED.