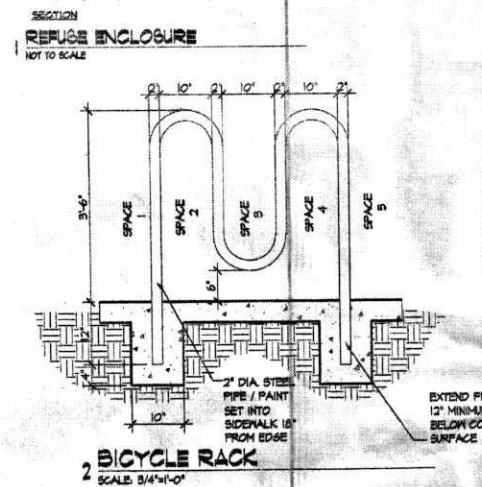
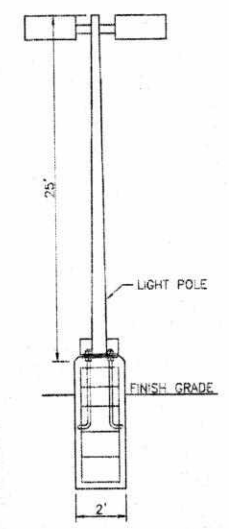


- REFUSE NOTES**
1. SPLIT FACE CMU BLOCK WALL FINISH - COLOR TO MATCH BLDG.
 2. FINISH GRADE
 3. MASONRY CAP
 4. #5 BAR CONT. @ BOTTOM OF 6" TURNDOWNS, 2" #5 BARS @ BOTTOM OF 12" TURNDOWNS
 5. 2" #5 BARS @ TOP INCH OF 6" TURNDOWNS AND 2" #5 BARS CONT. @ BOTTOM OF TURNDOWN UNDER WALLS PROVIDE #5 BARS @ 52" O.C. VERTICAL, BRQUIT REIN. FORCED CELLS @ 12" WALL & 16" O.C. HORIZONTAL
 6. 1/2" EXPANSION JOINT MATERIAL
 7. 4" CONCRETE SLAB, 4000 PSI, 3/4" AGGREGATE WITH 6x6" JOINTS @ 12' TURNDOWN EDGES (UNDER CMU WALLS (W/ 2" #5 CONT.) AND @ TURNDOWN @ AFFRON (W/ #5 CONT.)
 8. 4" CONCRETE AFFRON, 4000 PSI, 3/4" AGGREGATE WITH 6x6" JOINTS @ 12' TURNDOWN EDGES (W/ #5 CONT.) ALL AROUND EXCEPT @ ENTRY (W/ 2" #5 CONT.)
 9. 4" CONCRETE FILLED PIPE IN 12" DIA. X 2'-6" DEEP CONC. FOOTING PAINT TO MATCH ENCLOSURE COLOR
 10. ASPHALT PAVING - SEE PAVING SECTION
 11. WOOD SATE PAINTED - COLOR TO MATCH BUILDING PROVIDE DROP ANCHORS @ EACH LEAF AND ALL NECESSARY ITEMS FOR A COMPLETE ASSEMBLY



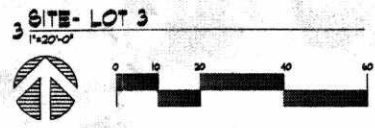
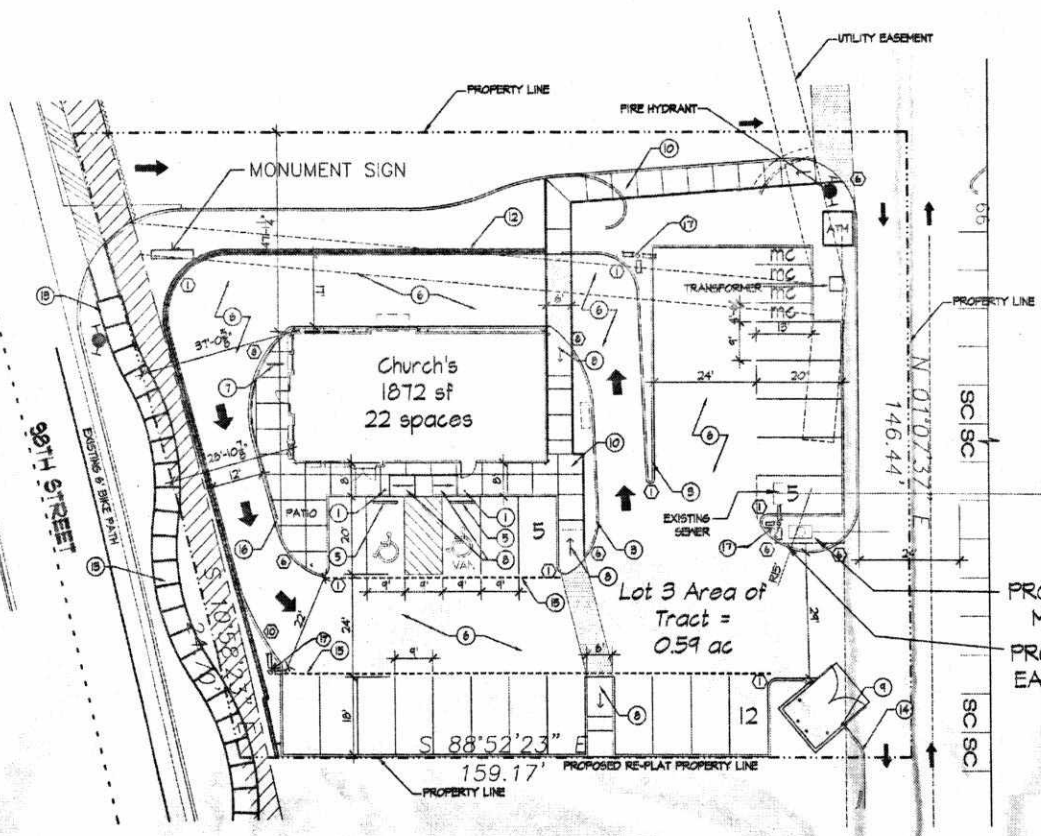
2 BICYCLE RACK
SCALE 3/4"=1'-0"



LIGHT POLE DETAIL
1/8"=1'-0"

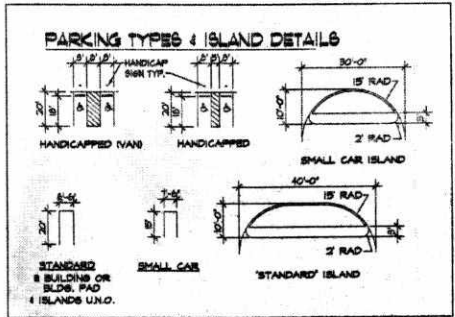
ROOFTOP EQUIPMENT NOTE
ALL HVAC EQUIPMENT SHALL BE LOWER THAN BUILDING PARAPET HEIGHTS OR OTHERWISE SCREENED

LIGHTING NOTE
LIGHTING TO BE BUILDING MOUNTED AND FROM POLES AS INDICATED IN KEYED NOTES. AREA LIGHTING INCLUDING PARKING AND WALKS SHALL BE ARRANGED SO THAT THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUTOFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC R.O.W. IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS AND IT SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.



- RADIUS LEGEND**
- ① 2' RADIUS
 - ② 3' RADIUS
 - ③ 4' RADIUS
 - ④ 5' RADIUS
 - ⑤ 10' RADIUS
 - ⑥ 15' RADIUS
 - ⑦ 20' RADIUS
 - ⑧ 25' RADIUS
 - ⑨ 30' RADIUS
 - ⑩ 65' RADIUS

- KEYED NOTES**
1. HANDICAP SIGN - 2 REQUIRED - SEE DETAIL
 2. LIGHT POLE - SEE DETAIL
 3. NEW CONCRETE PERMA-GURB TYPICAL
 4. NEW SIDEWALK TYPICAL - RAISED 6" ABOVE ASPHALT PARKING SURFACE
 5. NEW PARKING BUMPER - 2 REQUIRED
 6. STANDARD DUTY ASPHALT PAVING TYPICAL, SEE PAVING SECTION
 7. BIKE RACK - SEE DETAIL
 8. SLOPE RAMP UP @ 1" PER FOOT SLOPE OR 6" IN 6'-0" IN DIRECTION SHOWN
 9. NEW REFUSE ENCLOSURE, SEE DETAIL
 10. NEW 6" WIDE SIDEWALK PER C.O.A. STANDARDS
 11. EXISTING TELEPHONE/CABLE FEDESTALS, VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION
 12. CMU RETAINING WALL
 13. EXISTING SIDEWALK
 14. EXTRUDED ASPHALT CURB
 15. FIRE LANE FOR FIRE DEPARTMENT ACCESS ONLY, TO BE PAINTED RED AND LABELED "FIRE LANE - NO PARKING" IN 4" HIGH BLOCK LETTERS EVERY 20'-0" ON FACE OF CURB
 16. GUARD RAILING 42" HIGH WITH PICKETS AT 4' O.C.
 17. LIGHT POLE
- GENERAL NOTES**
- A. VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION



AED PLANS CHECKING OFFICE
624-3511
APPROVED/DISAPPROVED
SIGNATURE & DATE 04/24/13

BUILDING LEGEND

OFFICE BUILDING	6,842 SQFT
PARKING REQUIRED:	RESTAURANT = ONE PER 4 SEATS = 11 SPACES (2 H.C. SPACES)
PARKING PROVIDED:	23 SPACES PROVIDED (2 H.C. SPACES PROVIDED)
MOTORCYCLE PARKING:	1 REQUIRED
BICYCLE PARKING:	4 PROVIDED
LANDSCAPING REQUIRED:	BLDG. SITE = 25,100 S.F. - 1,672 S.F. (BLDG. AREA) = 23,428 S.F. NET LOT AREA * 1.5 = 35,142 S.F. 3,512 S.F.
LANDSCAPING PROVIDED:	3,512 S.F.

PROJECT NUMBER: 1004354
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

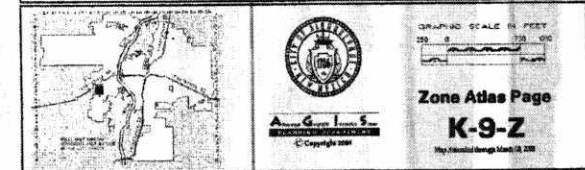
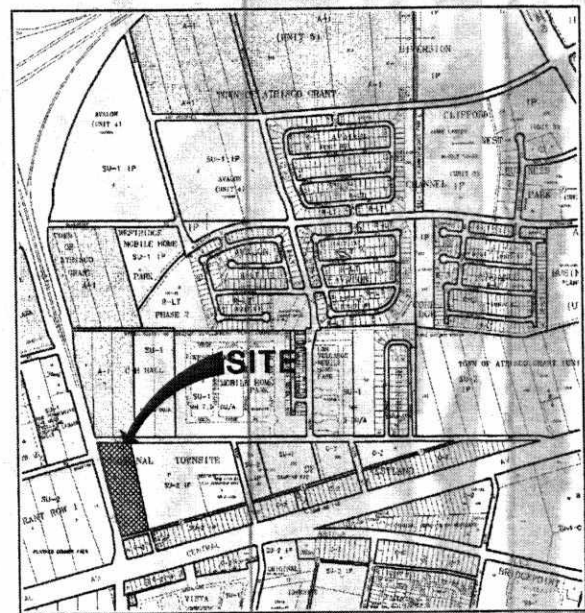
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

- GENERAL NOTES - CITY REQUIRED**
- A. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
 - B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
 - C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION FOR TEMPORARY C.O. WILL BE SCHEDULED.
 - D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.
 - E. CONSTRUCT DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL DWS, No. 2425
 - F. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
 - G. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.



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email: hpluw@comcast.net

NORTHEAST CORNER OF
98TH AND CENTRAL

ALBUQUERQUE, NM

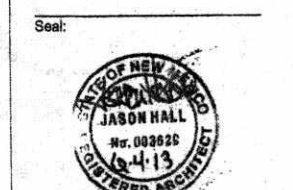
Sheet Title:
**SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT**

Date: June 4, 2013

Drawn: S.T.WILDER

Checked: S.T.WILDER

Revision:



JOB NUMBER: H28008

⊕ S01