

# Preliminary Plat

## Entrada Del Bosque

(Being a replat of Tract 313A2A, MRGCD Map 38)

within  
 Section 13, Township 10 North, Range 2 East, NMPM  
 City of Albuquerque, Bernalillo County, New Mexico  
 October 2005

### Legal

A CERTAIN TRACT IDENTIFIED AS TRACT 313A2A, MRGCD MAP NUMBER 38, LOCATED IN SECTION 13, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF MOUNTAIN ROAD, N.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "15-J12" BEARS, S 71°3'07" E, A DISTANCE OF 4284.14 FEET.

THENCE, LEAVING SAID RIGHT OF WAY, N 04°19'22" E, A DISTANCE OF 442.71 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, MARKED BY A PK NAIL WITH TAG "LS 6446";

THENCE, S 85°15'51" E, A DISTANCE OF 392.10 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE WESTERLY RIGHT OF WAY OF DURANES DITCH, MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDENTAL WITH SAID DURANES DITCH RIGHT OF WAY THE FOLLOWING THREE COURSES, ALL OF WHICH ARE MARKED BY A BATHEY MARKER WITH CAP "LS 14271":

S 10°36'16" W, A DISTANCE OF 31.10 FEET TO AN ANGLE POINT;

S 3°21'54" E, A DISTANCE OF 192.07 FEET TO AN ANGLE POINT;

S 25°13'01" E, A DISTANCE OF 203.43 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF MOUNTAIN ROAD N.W.,

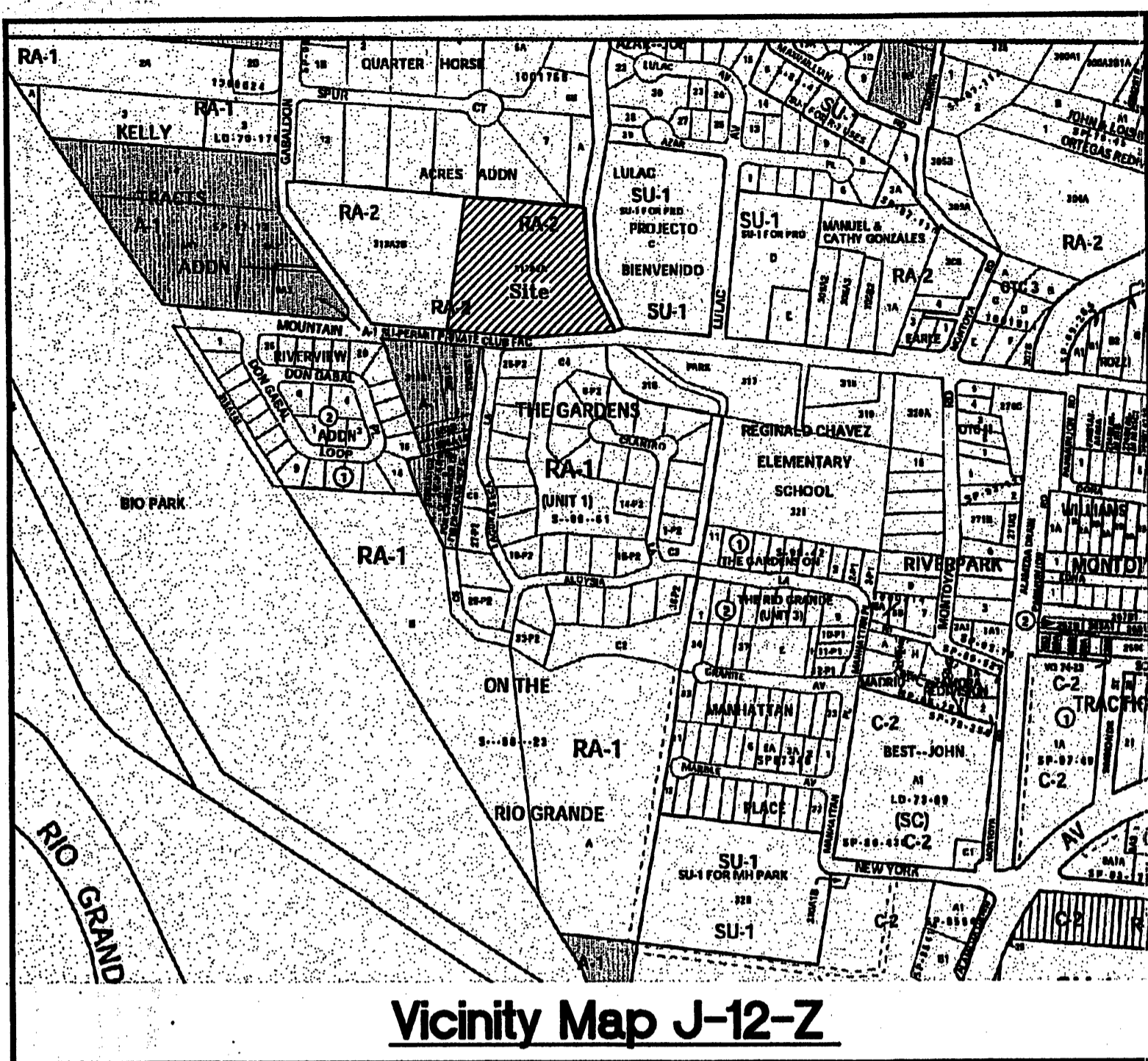
THENCE, COINCIDENT WITH SAID MOUNTAIN RIGHT OF WAY THE FOLLOWING TWO COURSES, ALL OF WHICH ARE MARKED BY A BATHEY MARKER WITH CAP "LS 14271":

S 86°06'40" W, A DISTANCE OF 313.90 FEET;

N 84°46'41" W, A DISTANCE OF 204.02 FEET TO THE POINT OF BEGINNING, CONTAINING 4.2941 ACRES (187,053 SQ. FT) MORE OR LESS.

*[Signature]* 11/4/05  
 SCOTT ASHCRAFT, MEMBER WASHINGTON STREET INVESTORS, LLC. DATE

*[Signature]* 11-7-05  
 CITY SURVEYOR, CITY OF ALBUQUERQUE  
 GLEN HARRIS P.S. DATE



### Notes

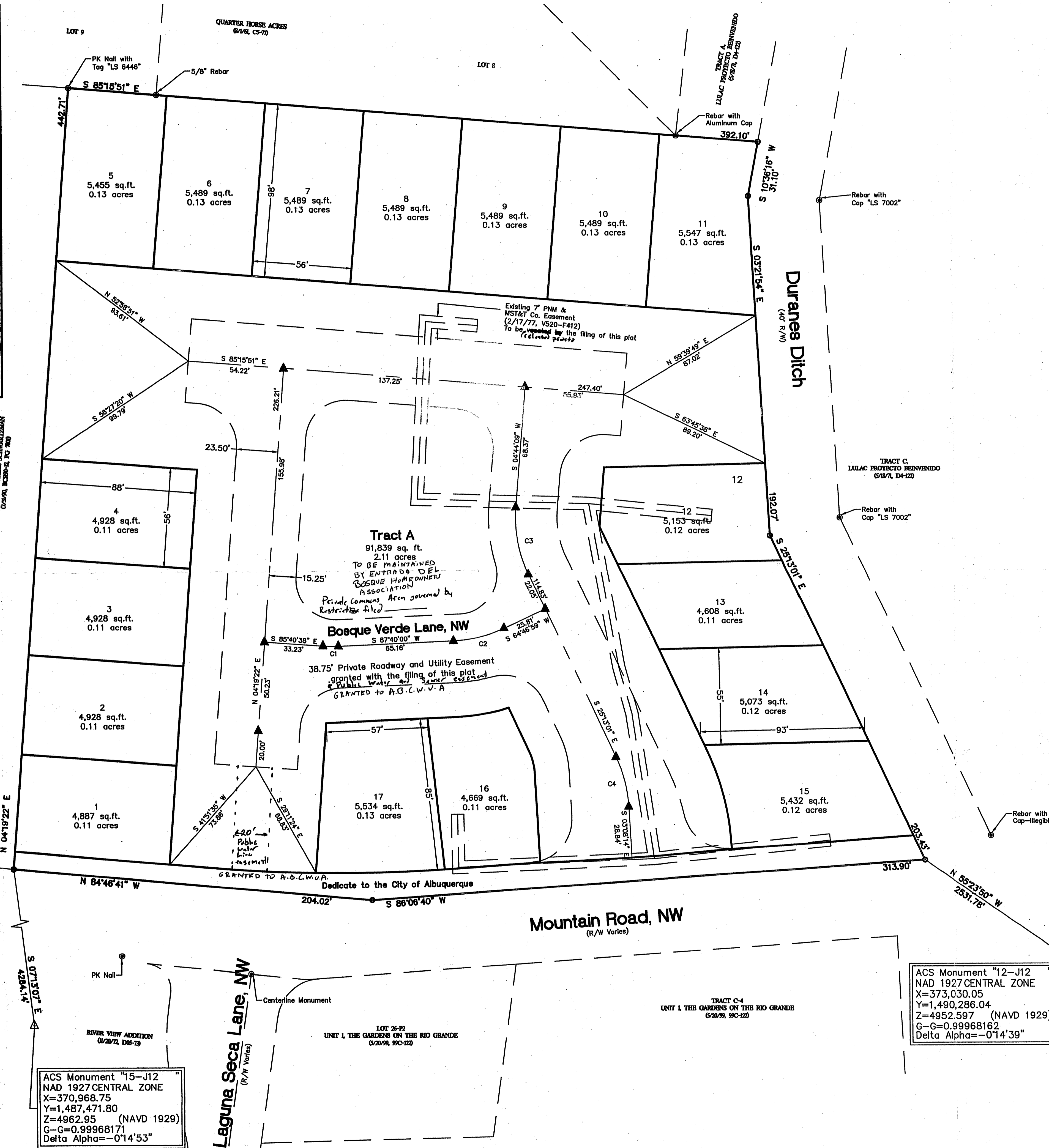
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE-NAD 1927), REFERENCING STATIONS "15-J12" AND "12-J12".
- DISTANCES SHOWN HEREON ARE GROUND.
- ALL STREET MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN AS THUS. ALL CENTERLINE MONUMENTS WILL BE SET USING THE STANDARD 4" ALUMINUM MONUMENT STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT- DO NOT DISTURB, PS 14271" AND WILL BE SET FLUSH WITH THE FINAL ASPHALT.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW CENTERLINE MONUMENTATION.
- TOTAL NUMBER OF EXISTING LOTS: 1
- TOTAL NUMBER OF LOTS CREATED: 17
- TOTAL NUMBER OF TRACTS CREATED: 1
- TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.17
- CITY OF ALBUQUERQUE ZONE ATLAS PAGE: J-12
- NO LOT LINES BEING ELIMINATED: 0
- TOTAL AREA: 4.2941
- PROPERTY CORNERS TO BE SET ARE AN 18" BATHEY MONUMENT WITH STEEL CAP "LS 14271".
- THE ZONING FOR THE LOT IS CURRENTLY: RA-2
- ALL SET EXTERIOR PROPERTY CORNERS ARE A BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE.
- SET CENTERLINE MONUMENTS "CITY OF ALBUQUERQUE CENTERLINE MONUMENT "LS 14271" SHOWN AS THUS ▲
- A PRIVATE ACCESS EASEMENT CROSSING TRACT A, BENEFITING THE INDIVIDUAL LOT OWNERS, PROVIDING ACCESS TO THE ROADWAY EASEMENT AS SHOWN HEREON IS GRANTED WITH THE FILING OF THIS PLAT.

### Disclosure Statement

THE PURPOSE OF THIS PLAT IS TO:

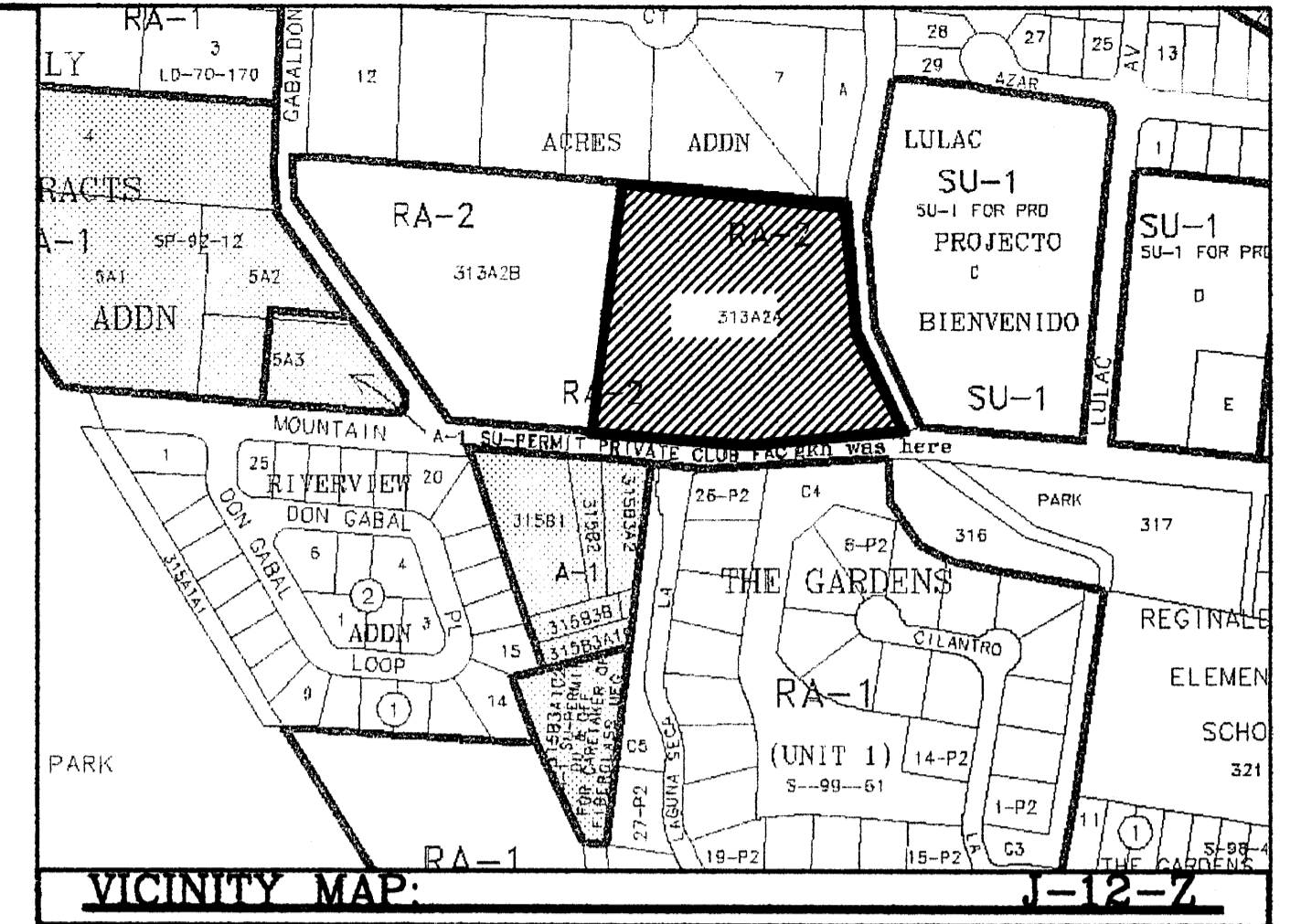
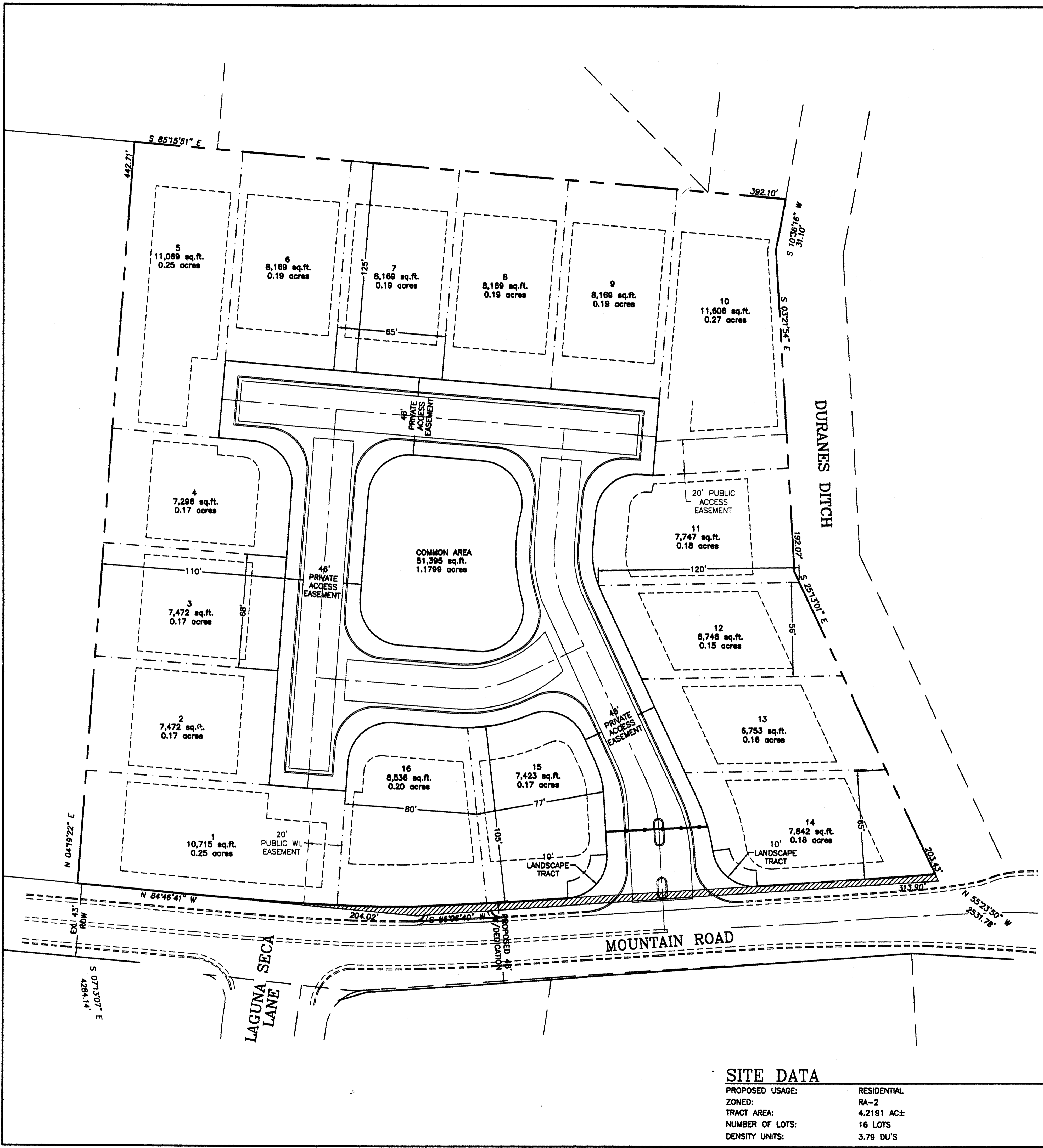
- VACATE EASEMENTS.
- CREATE 17 NEW LOTS AND 1 TRACT.
- GRANT A ROADWAY EASEMENT.
- GRANT NEW UTILITY EASEMENTS.
- DEDICATE RIGHT OF WAY.

CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	75.00'	8.71'	6°39'22"	S 88°00'19" E	8.71'
C2	75.00'	29.95'	22°53'01"	N 78°13'29" E	29.78'
C3	75.00'	39.21'	29°57'10"	S 10°14'26" E	38.78'
C4	75.00'	28.90'	22°04'47"	N 14°10'38" W	28.72'



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**CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505) 891-0244



**VICINITY MAP:** J-12-7

**LEGAL DESCRIPTION:**  
TRACT 313-A-2-A, ACRES ADDITION

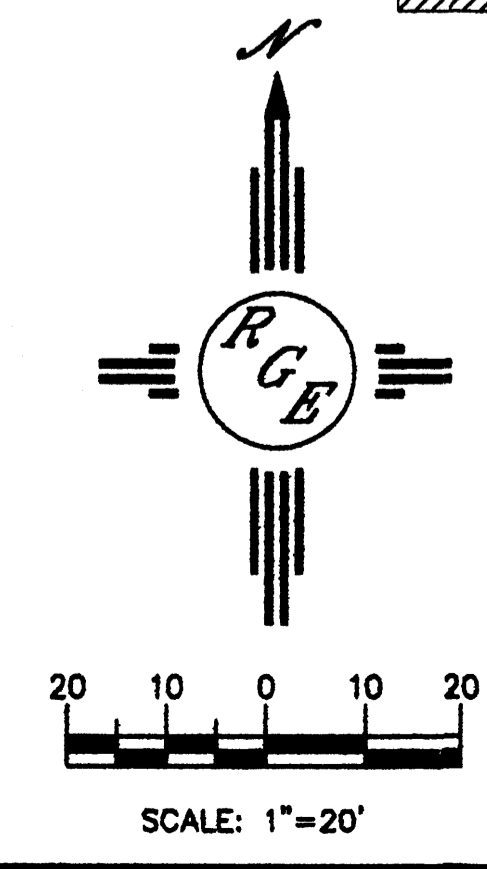
**NOTES:**  
1. SETBACKS SHALL BE 5' SIDE, 20' FRONT AND 25' REAR.

**LEGEND**

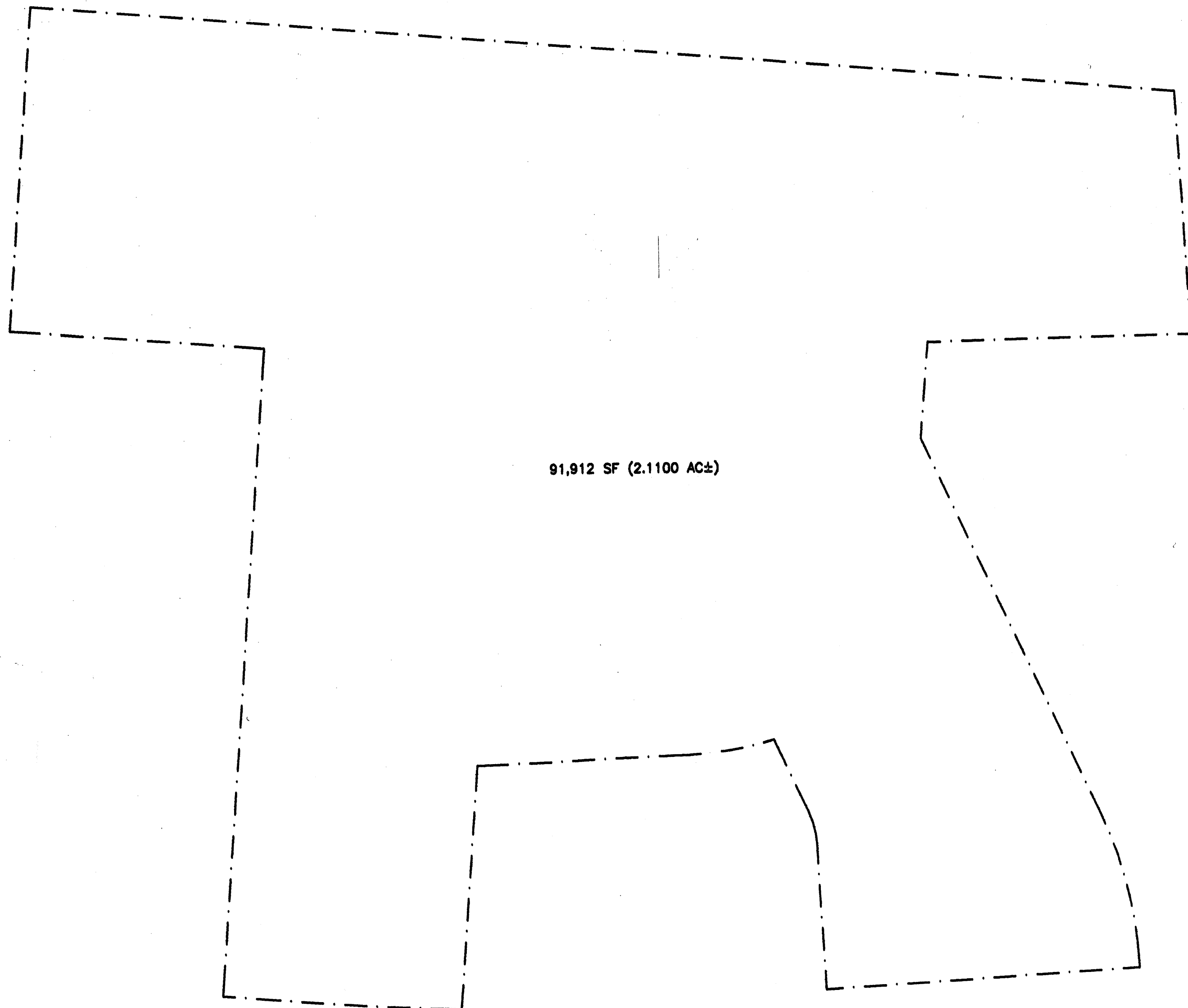
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	AREA OF TRACT 313-A-2-A TO BE DEDICATED AS ROW FOR MOUNTAIN ROAD=0.3582 AC ±

**SITE DATA**

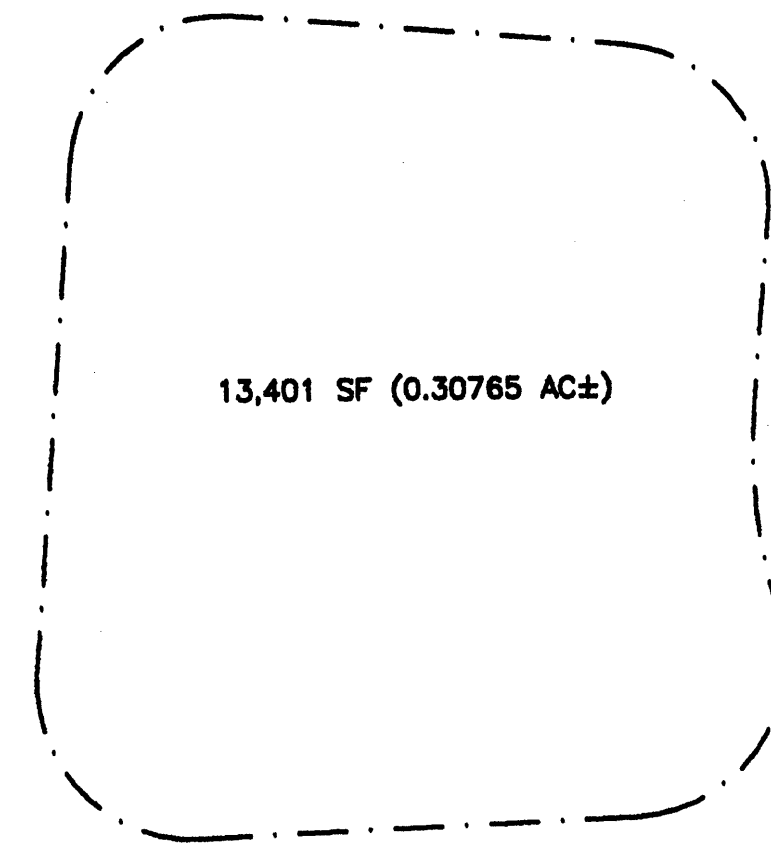
PROPOSED USAGE:	RESIDENTIAL
ZONED:	RA-2
TRACT AREA:	4.2191 AC ±
NUMBER OF LOTS:	16 LOTS
DENSITY UNITS:	3.79 DU'S



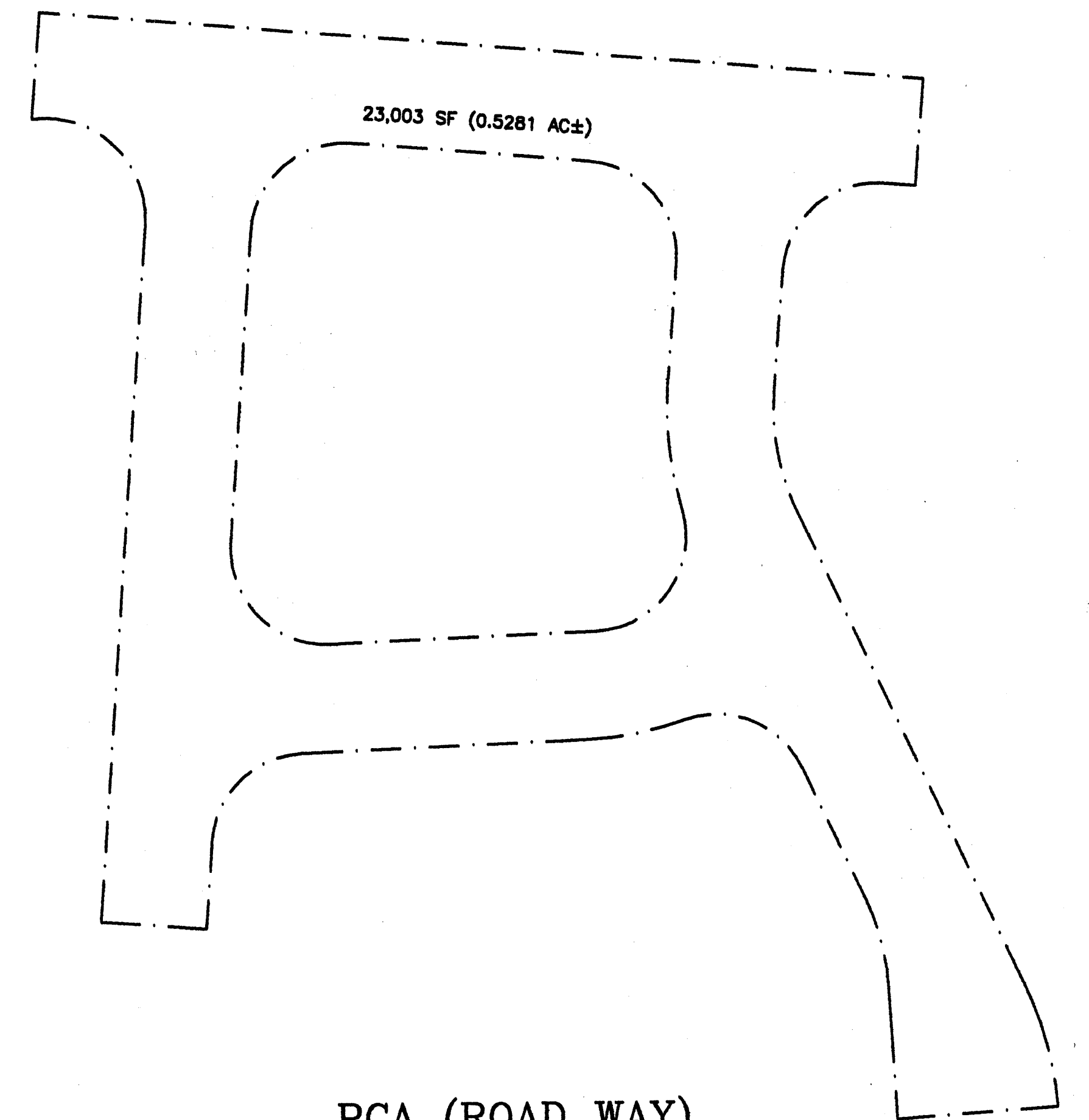
ENGINEER'S SEAL	ENTRADA DEL BOSQUE	DRAWN BY WCUJ
	SKETCH PLAT	DATE 7-29-05
DAVID SOULE P.E. #14522	 <b>Rio Grande Engineering</b> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87107 (505) 878-0988	2018-SKETCH-7-29-05X
		SHEET #
		JOB # 2518



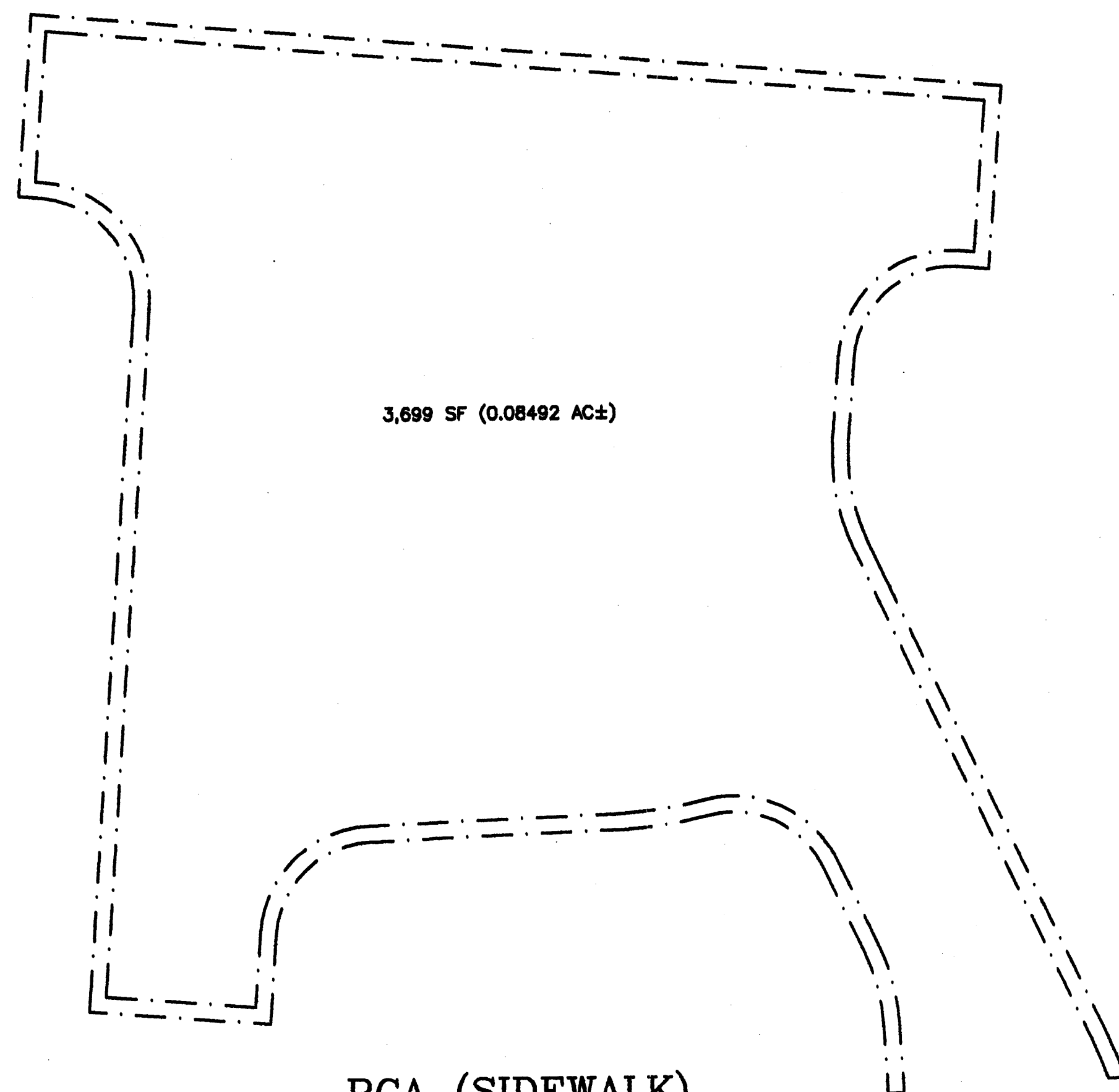
PCA (TRACT A OVERALL)



PCA (CENTRAL COMMON AREA)



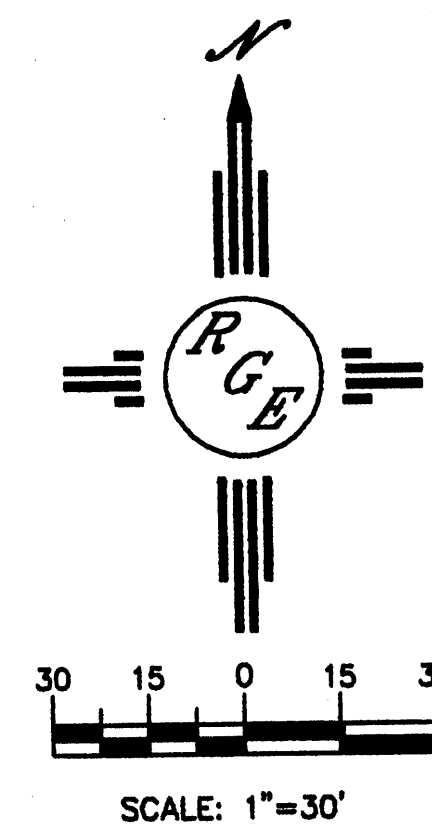
PCA (ROAD WAY)

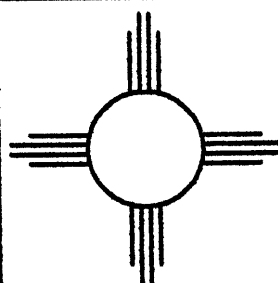


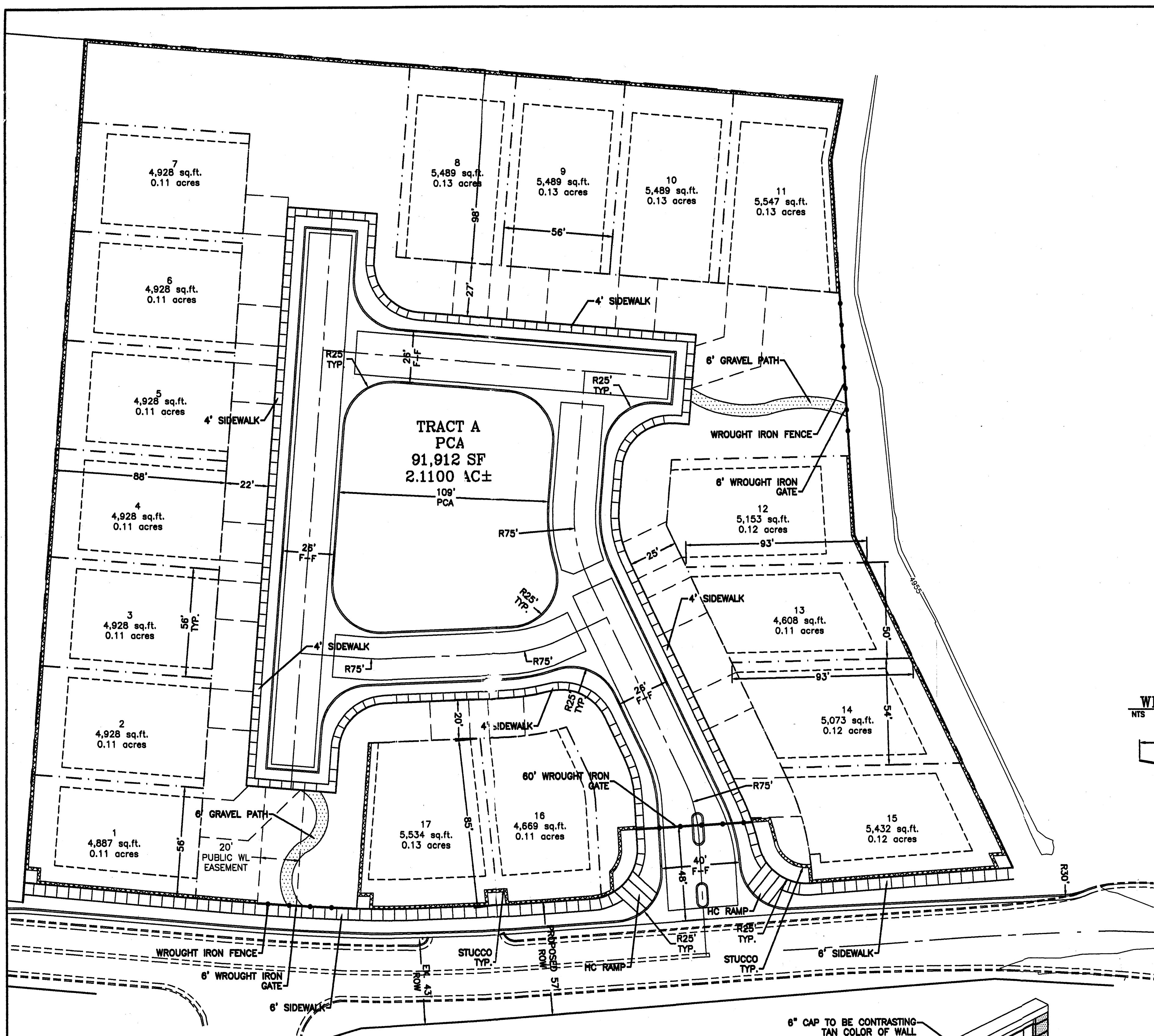
PCA (SIDEWALK)

**PCA DATA**

TRACT A (PCA) GROSS AREA:	91,912 SF (2.1100 AC±)
SIDEWALK AREA:	3,699 SF (0.08492 AC±)
ROADWAY AREA:	23,003 SF (0.5281 AC±)
DRIVEPAD AREA (17 LOTS X 400 SF):	6,800 SF (0.1561 AC±)
TRACT A (PCA) NET AREA:	58,410 SF (1.3409 AC±)



ENGINEER'S SEAL	ENTRADA DEL BOSQUE	DRAWN BY WCUJ
	PCA EXHIBIT	DATE 12-14-05
DAVID SOULE P.E. #14522	 <b>Rio Grande Engineering</b> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2518-SP-9-12-05X
		SHEET #
		JOB # 2518

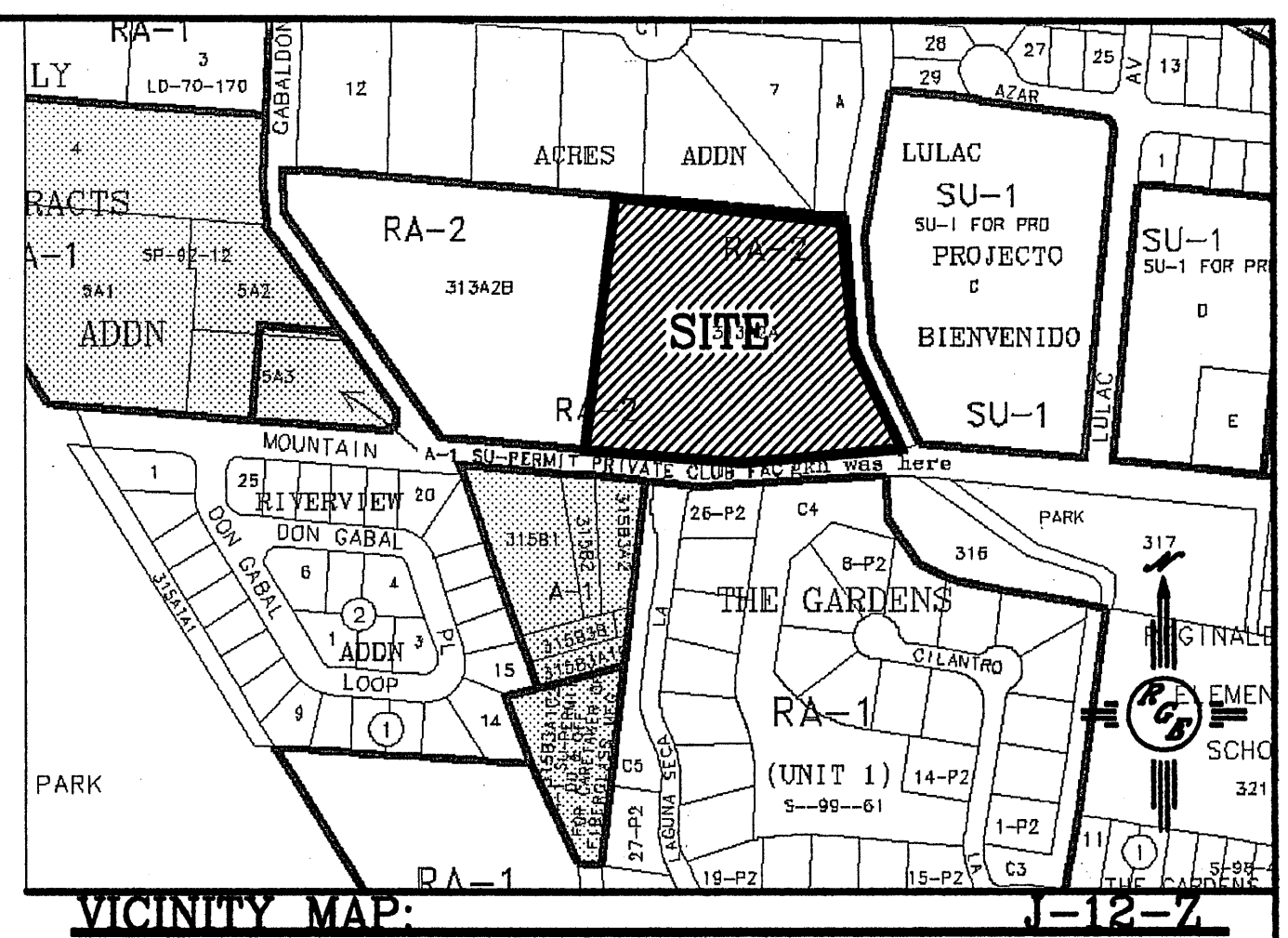


**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

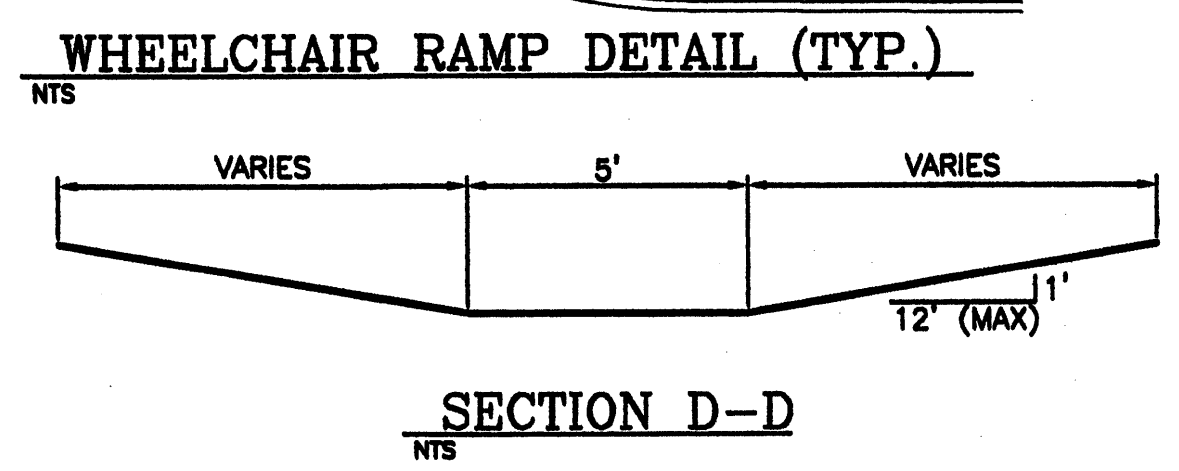
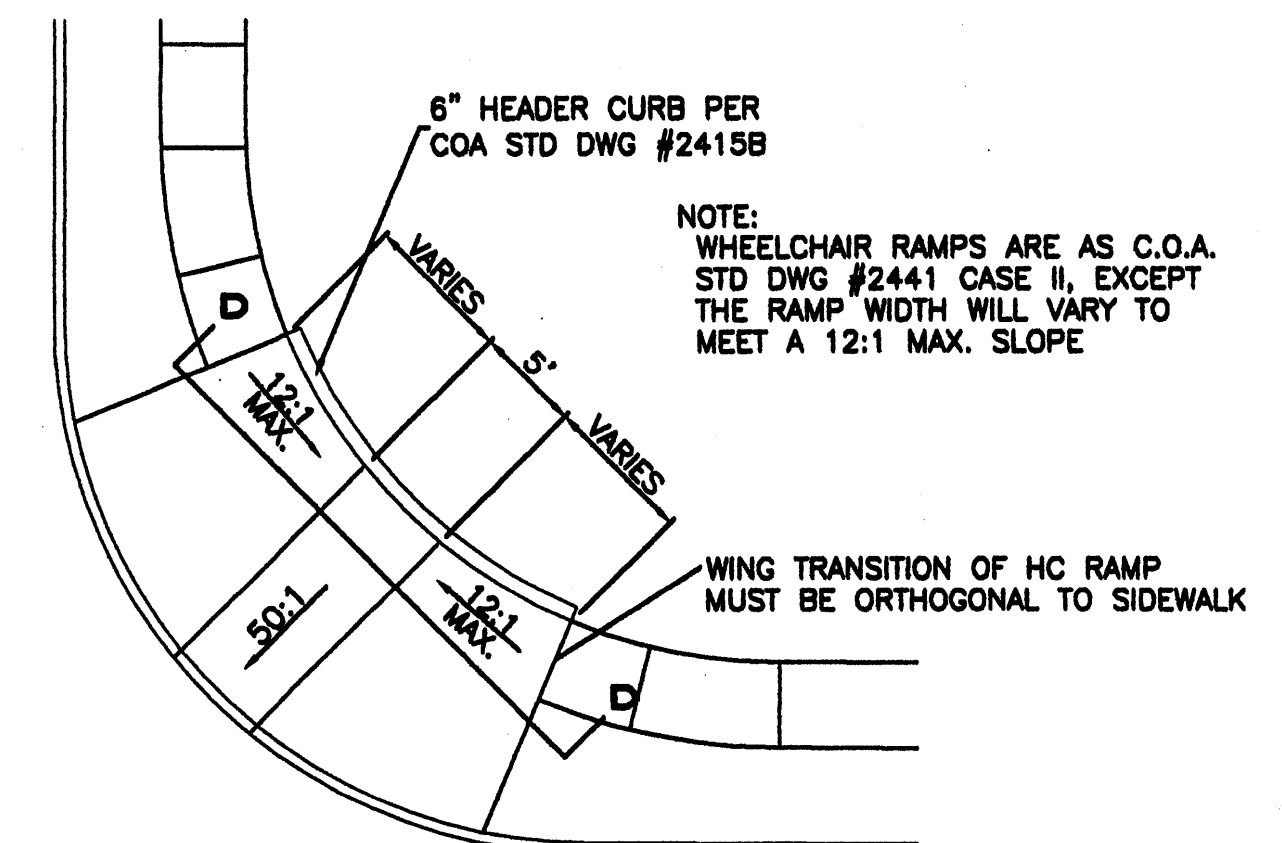
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



**LEGAL DESCRIPTION:**  
 TRACT 313-A-2-A, ACRES ADDITION, MRGCD MAP #28

- NOTES:**
- SITE PLAN FOR BUILDING PERMIT SHALL BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD FOR FINAL APPROVAL.
  - OPEN SPACE TRACT SHALL BE MAINTAINED BY THE ENTRADA DEL BOSQUE HOMEOWNERS ASSOCIATION.
  - ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
  - ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY, AND SHALL BE SHIELDED TO PROVIDE DOWNWARD LIGHT EMISSION AND PREVENT BOTH LIGHT TRESPASS AND UPWARD LIGHT POLLUTION, TO INCLUDE STREET LIGHTING WITHIN THE PRIVATE ROADWAY SYSTEM.
  - EACH LOT SHALL PROVIDE STORAGE AREA FOR RESIDENTIAL AUTOMATED CARTS, NOT VISIBLE FROM STREET OR STORED INSIDE GARAGE.
  - FRONT SETBACK FROM STREET SHALL BE AT LOT LINE.
  - REAR SETBACK SHALL BE 15'.
  - SIDE YARD SETBACK SHALL BE 5' MIN.
  - MAXIMUM BUILDING HEIGHT SHALL BE 28'

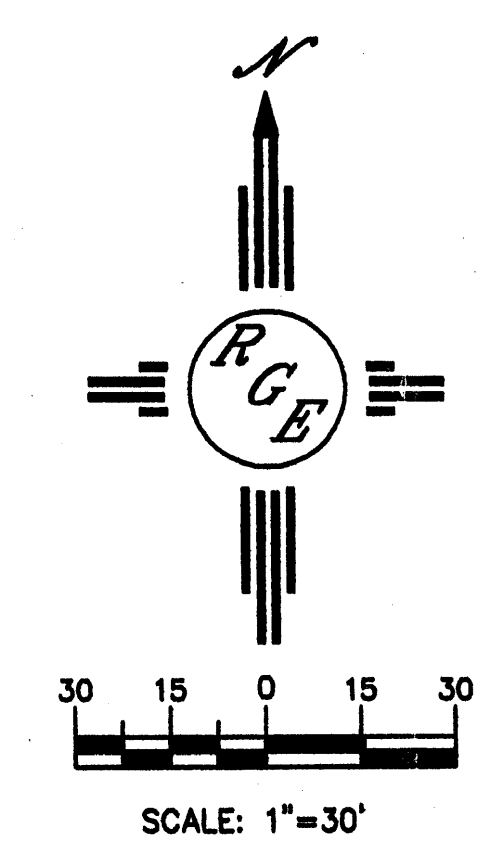
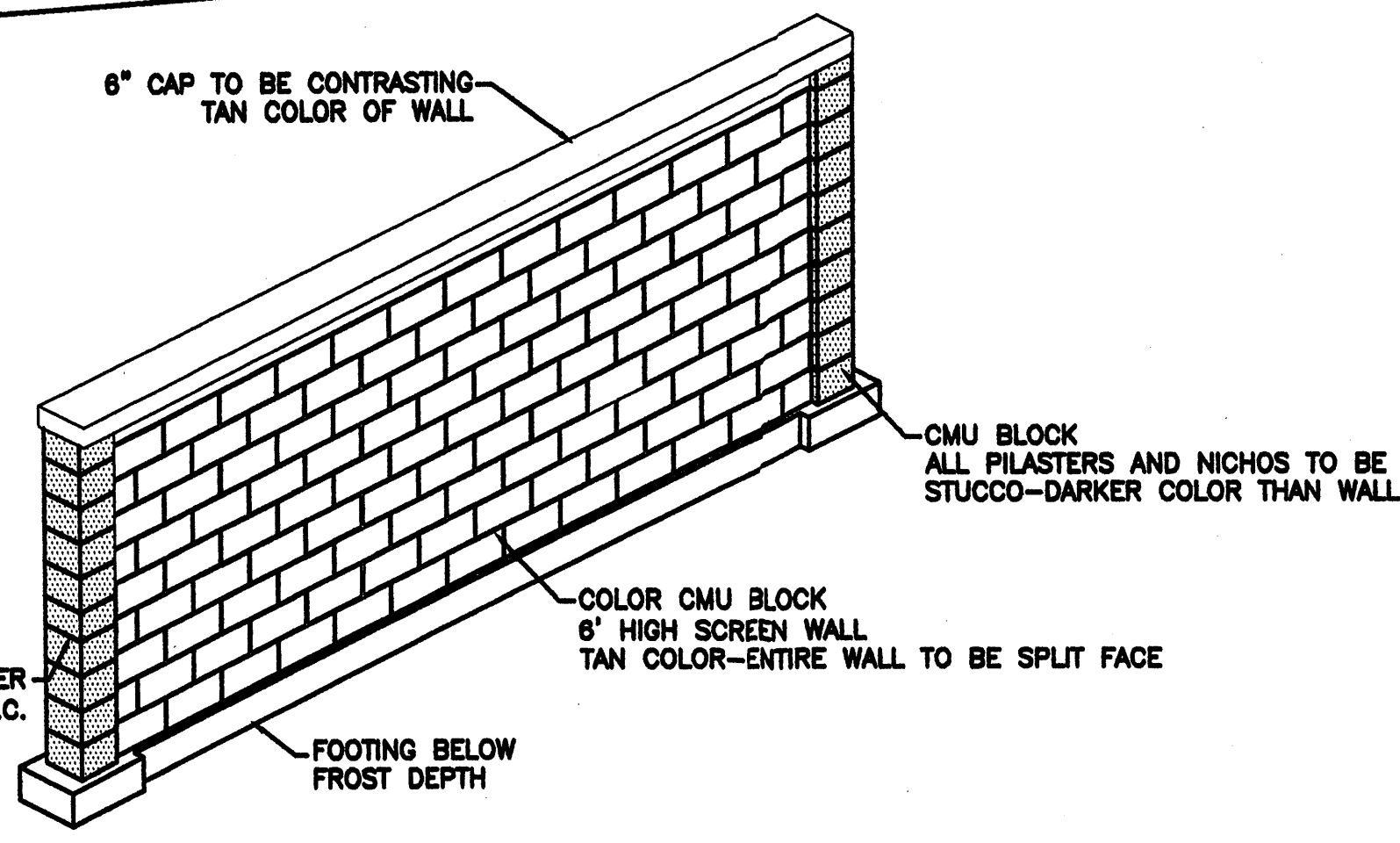
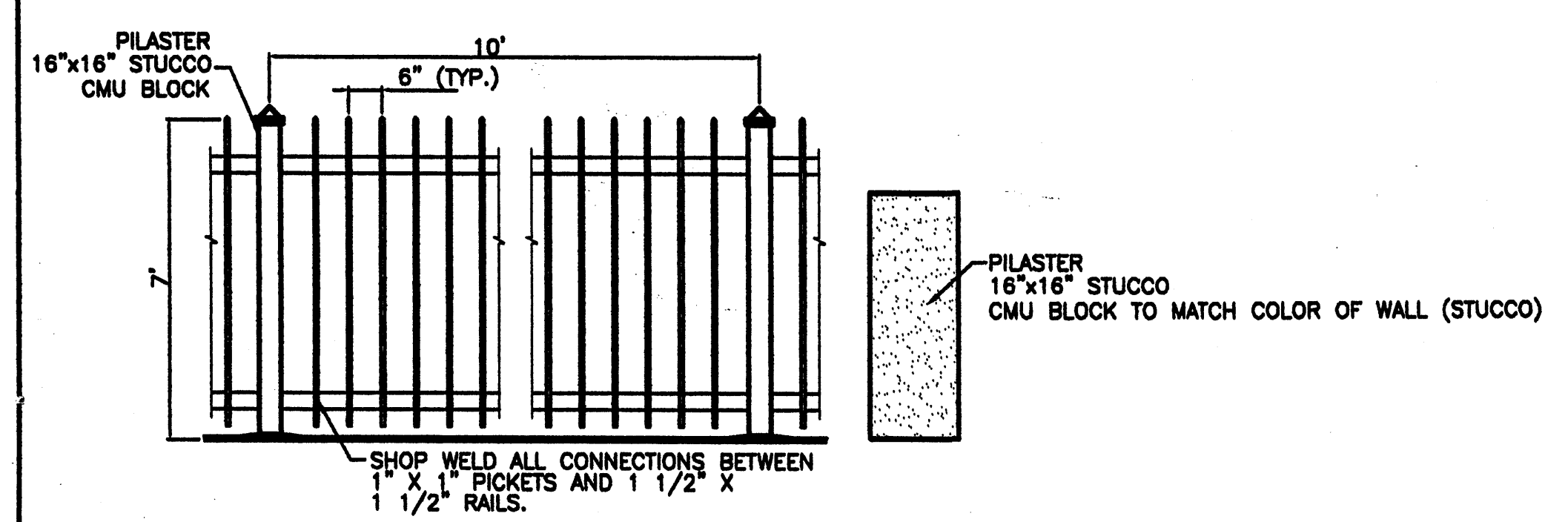


**SITE DATA**

PROPOSED USAGE:	RESIDENTIAL
ZONED:	RA-2
TRACT AREA:	4,294.1 AC±
NUMBER OF LOTS:	17 LOTS
DENSITY UNITS:	4.03 DU'S
TRACT A (PCA) GROSS AREA:	91,103 SF (2.0914 AC±)
TRACT A (PCA) NET AREA:	56,275 SF (1.3022 AC±) (LESS STREET, DRIVEWAYS, AND SIDEWALK)

**LEGEND**

=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	FUTURE CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	PROPOSED 4' SIDEWALK
-----	FUTURE 4' SIDEWALK
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	LOT LINES
-----	FUTURE LOT LINES
-----	BUILDING ENVELOPE
-----	6' SCREEN WALL
-----	SCOUR WALL



**WROUGHT IRON FENCE DETAIL**  
 NTS

**6' PERIMETER SCREEN WALL DETAIL (ALONG MOUNTAIN ROAD)**  
 NTS-ALL OFFSETS IN WALL AND AT ENTRY SHALL BE STUCCO

	<b>ENTRADA DEL BOSQUE</b> <b>AMENDED SITE PLAN FOR SUBDIVISION</b>	<b>DRAWN BY</b> WCMJ <b>DATE</b> 1-02-06 2518-SP-12-21-05X
		<b>SHEET #</b> - <b>JOB #</b> 2518

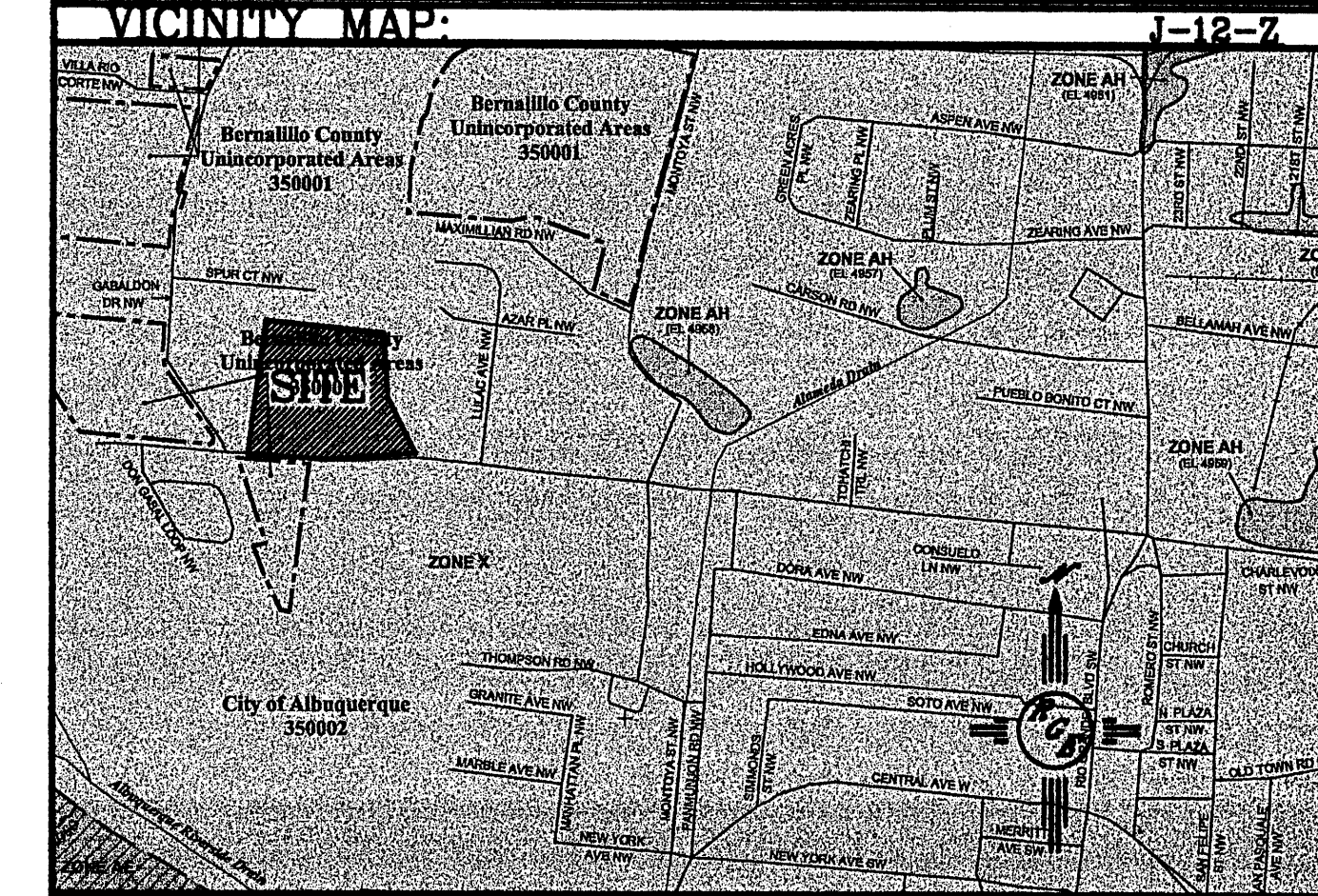
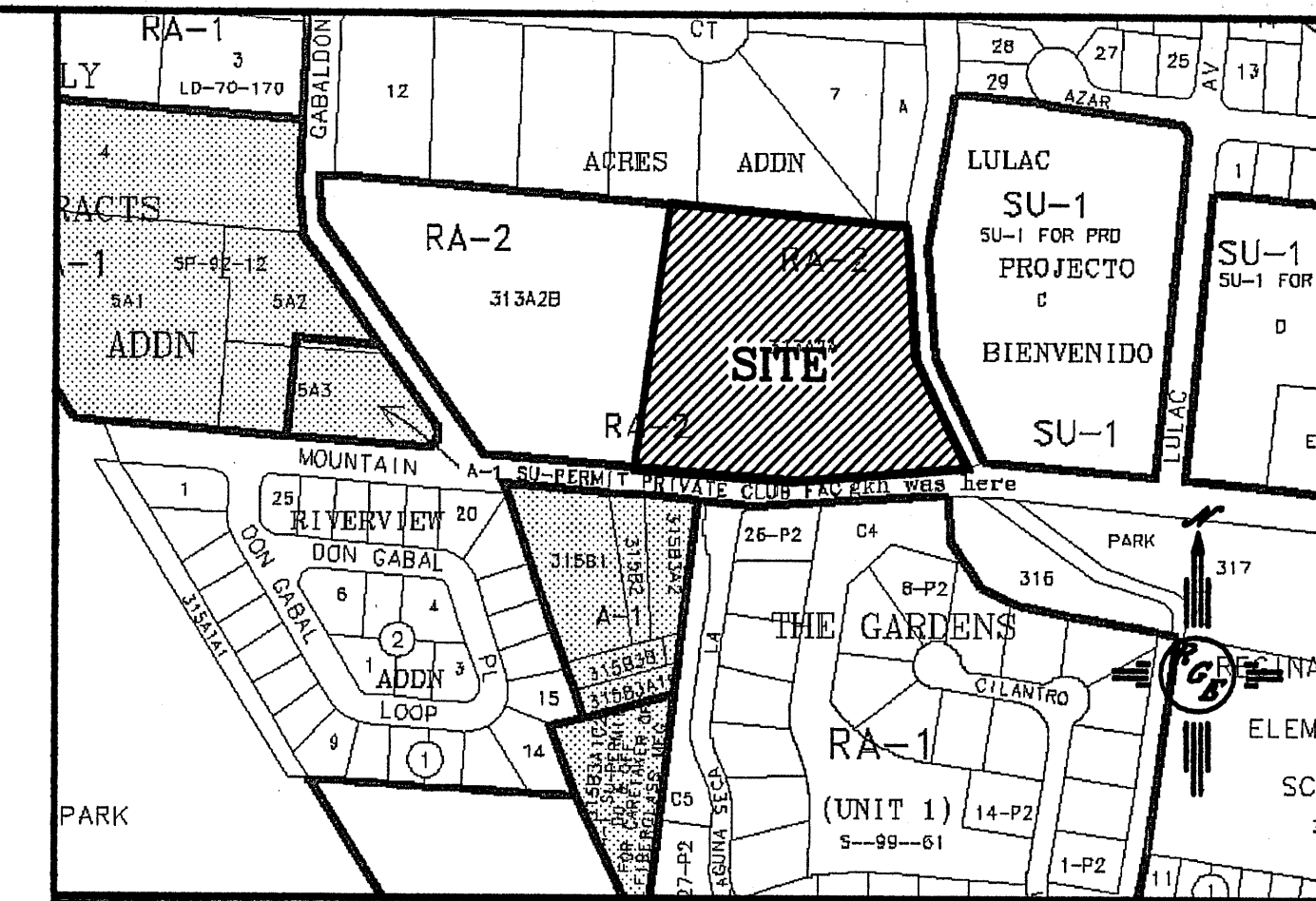
DAVID SOULE  
 P.E. #14522

Rio Grande Engineering  
 1608 CENTRAL AVENUE SE  
 SUITE 201  
 ALBUQUERQUE, NM 87106  
 (505) 672-0999



**LEGEND**

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- ===== PROPOSED SIDEWALK
- ===== PROPOSED PERIMETER WALL
- ===== PROPOSED WROUGHT IRON FENCE/GATE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- X 5048.25 PROPOSED SPOT ELEVATION
- X 5048.25 EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE

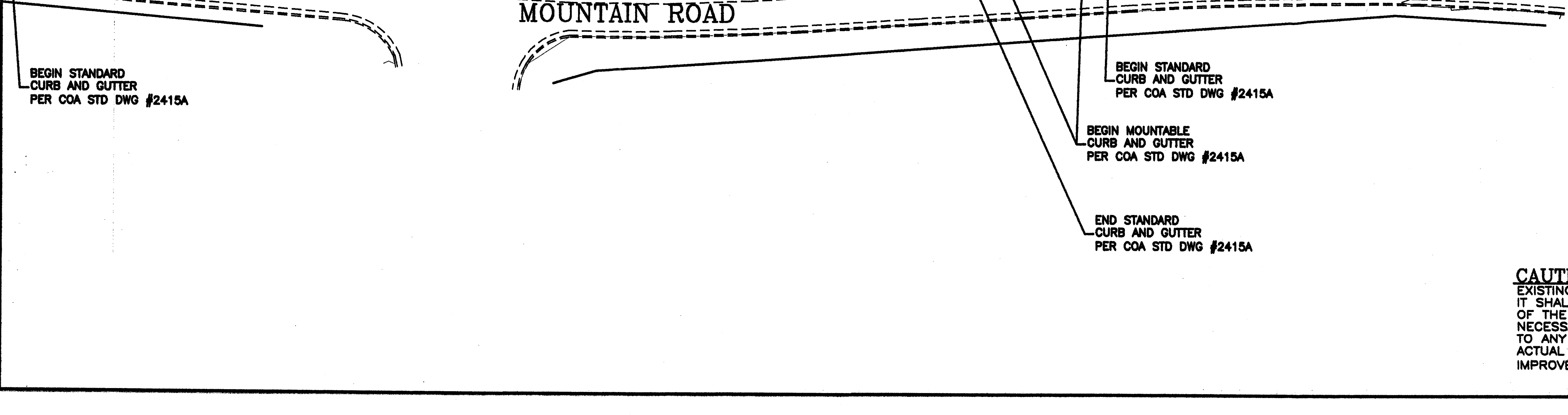
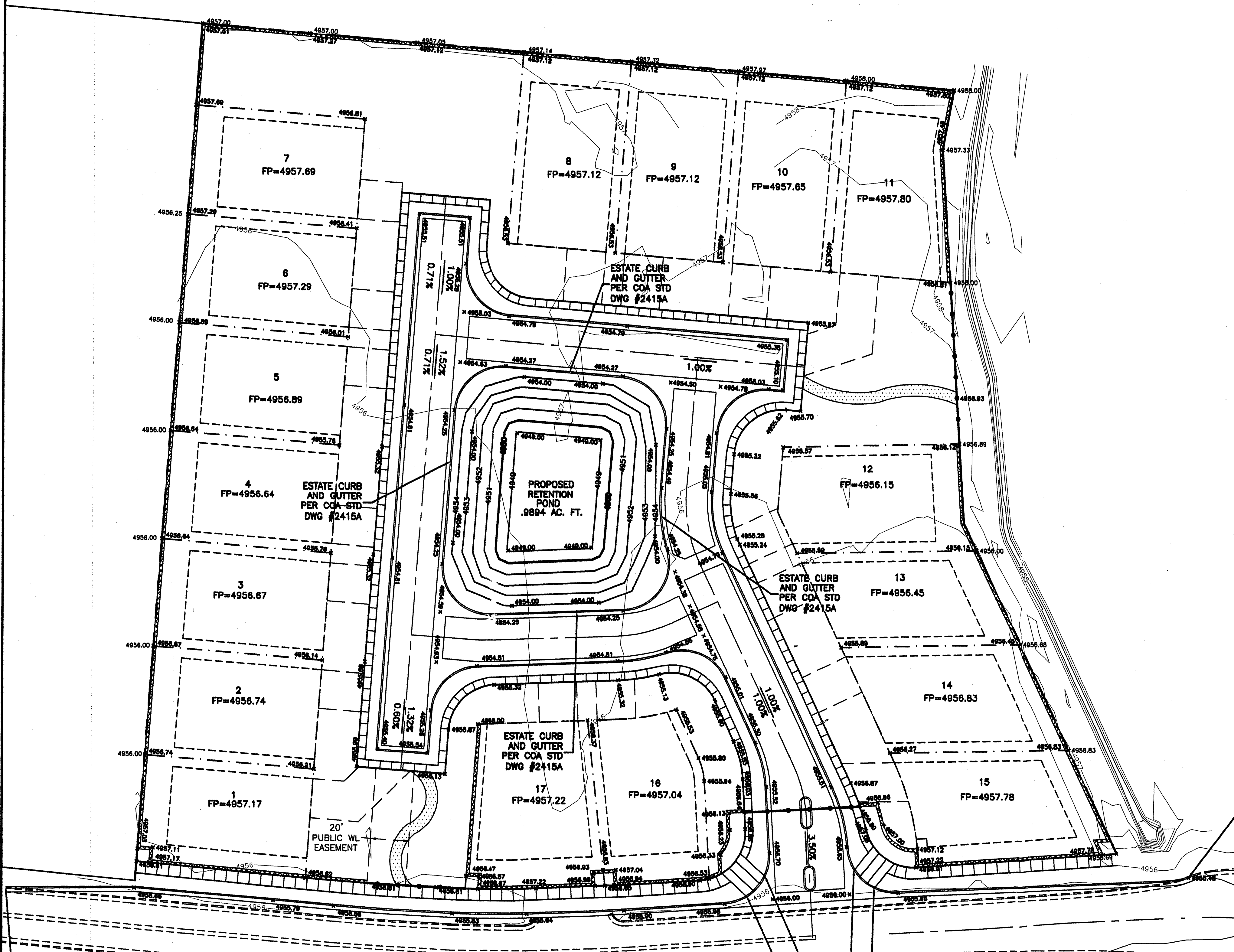


**FIRM MAP: 3500100381E**

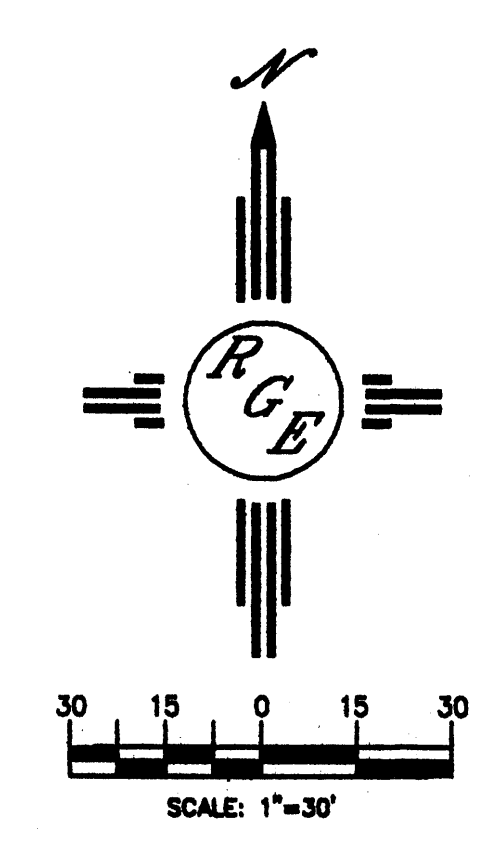
**LEGAL DESCRIPTION:**  
TRACTS 313A2A

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  2. ALL CURB AND GUTTER TO BE MOUNTABLE PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
  3. ALL PADS SHALL BE BUILT PER FOOTPRINT SHOWN.

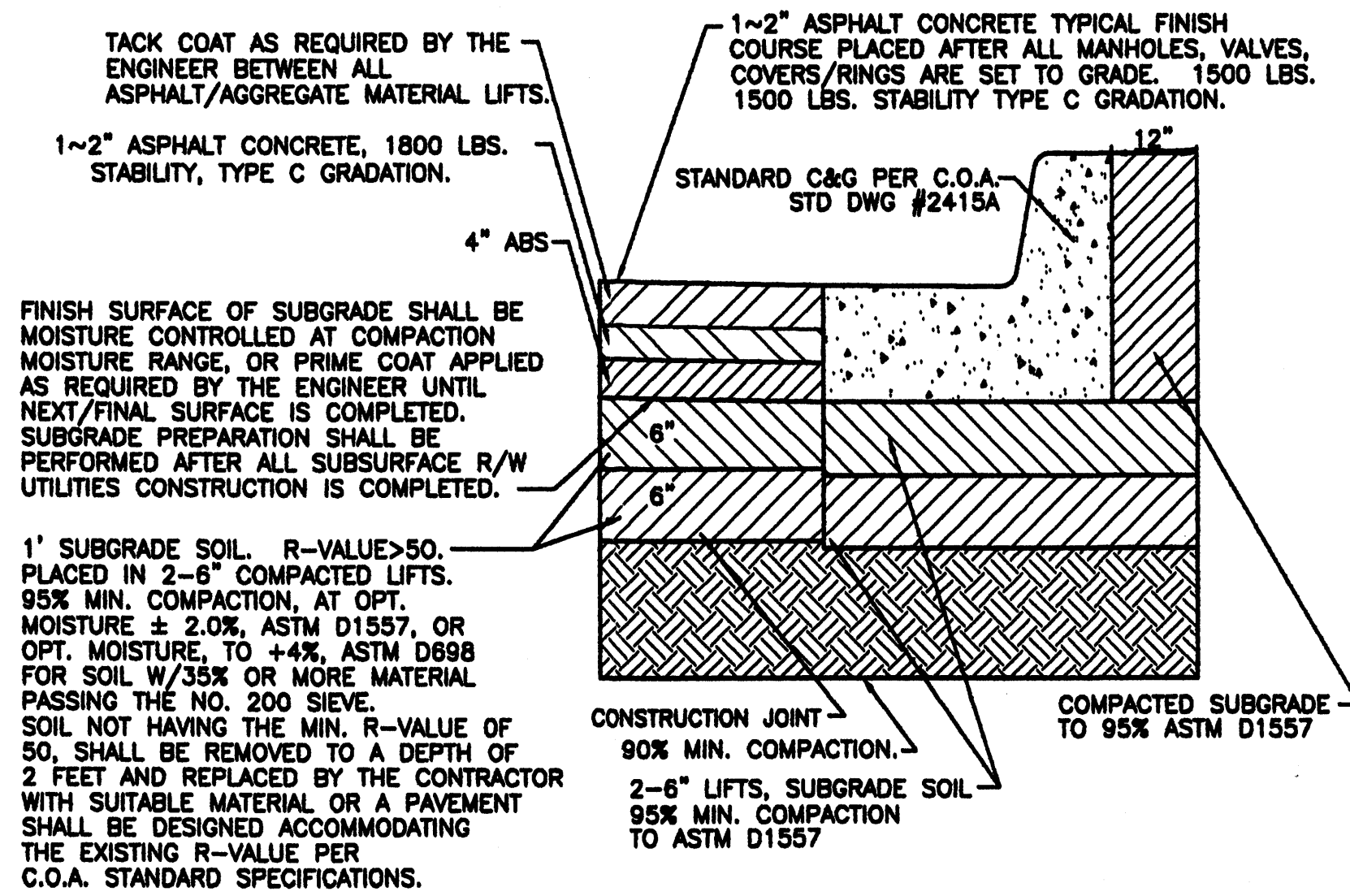
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



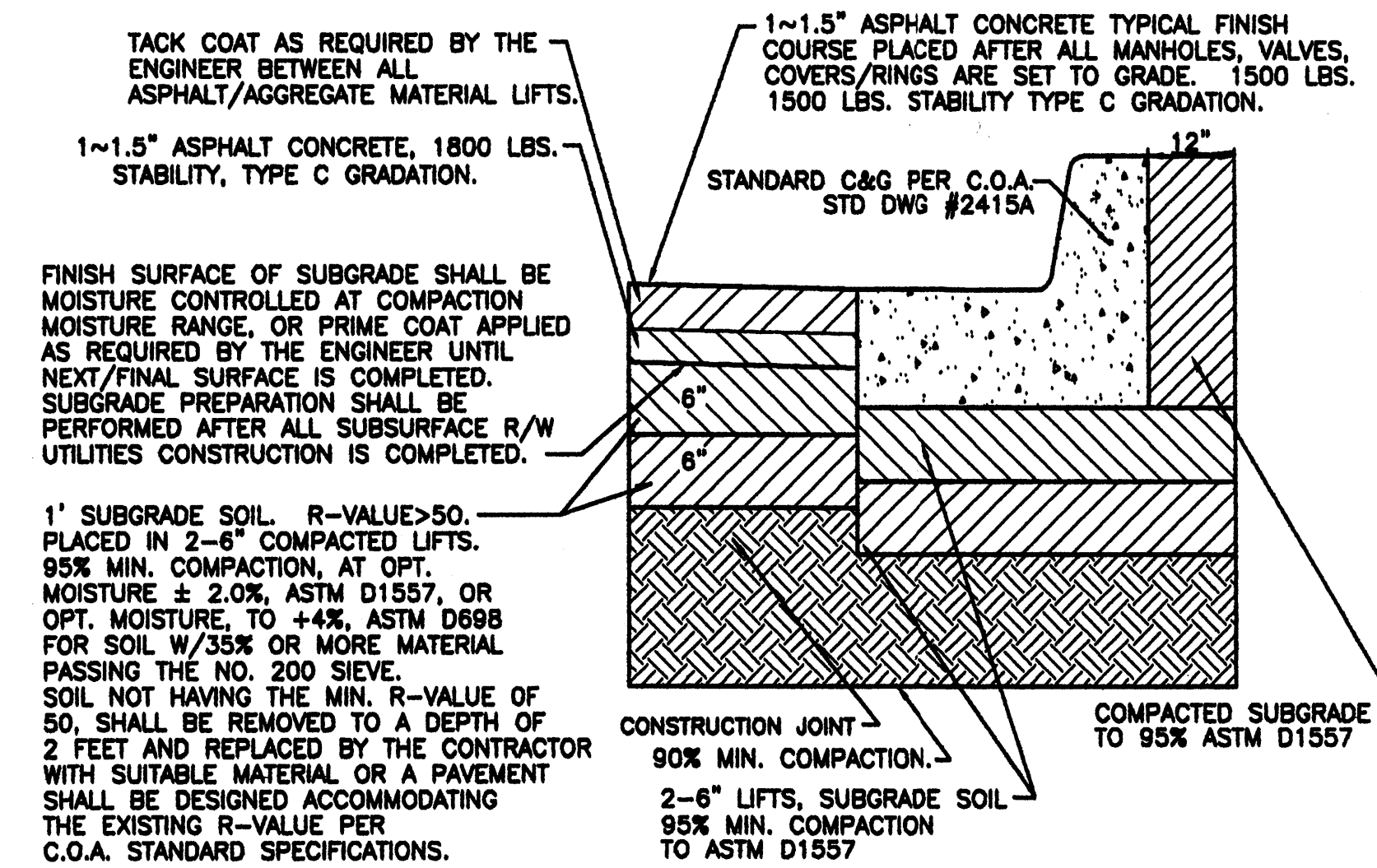
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



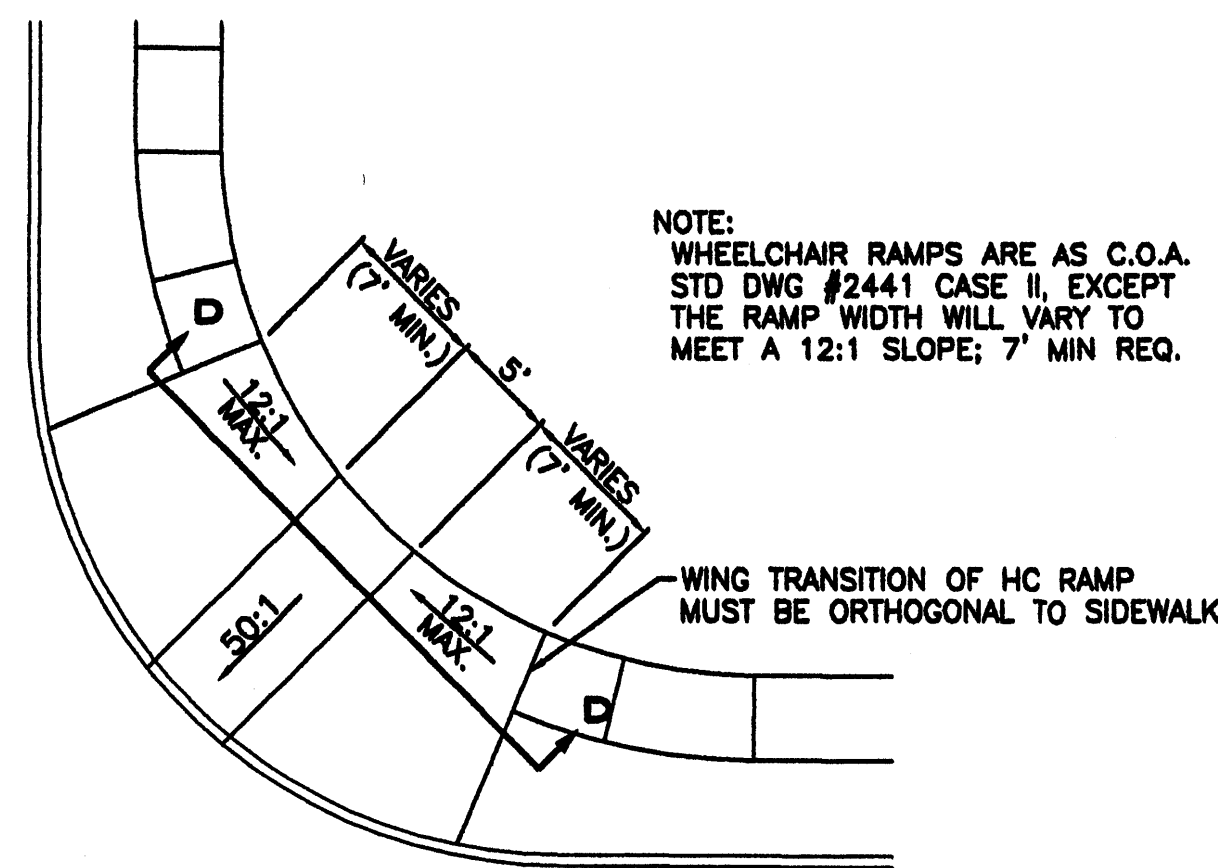
ROUGH GRADING APPROVAL _____ DATE _____		
ENGINEER'S SEAL 	<b>ENTRADA DEL BOSQUE</b> <b>AMENDED GRADING AND DRAINAGE PLAN</b>	DRAWN BY WCWJ DATE 1-02-06 2018-CRB-12-21-05X SHEET # 1 OF 2 JOB # 2518
DAVID SOULE P.E. #14822		<i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0889



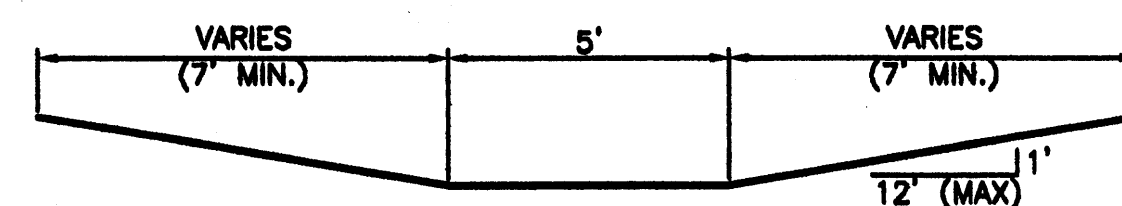
**TOWER, SAN YGNACIO PAVING SECTION (STANDARD CURB)**  
NTS



**RESIDENTIAL PAVING SECTION (STANDARD CURB)**  
NTS



**WHEELCHAIR RAMP DETAIL (TYP.)**  
NTS



**SECTION D-D**  
NTS

ENGINEER'S SEAL 	ENTRADA DEL BOSQUE	DRAWN BY WCKJ
	AMENDED GRADING AND DRAINAGE PLAN	DATE 1-02-06
DAVID SOULE P.E. #14522	Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 301 ALBUQUERQUE, NM 87106 (505) 872-0960	2518-GRB-12-21-05X
		SHEET # 2 OF 2 JOB # 2518

## NOTICE TO CONTRACTORS

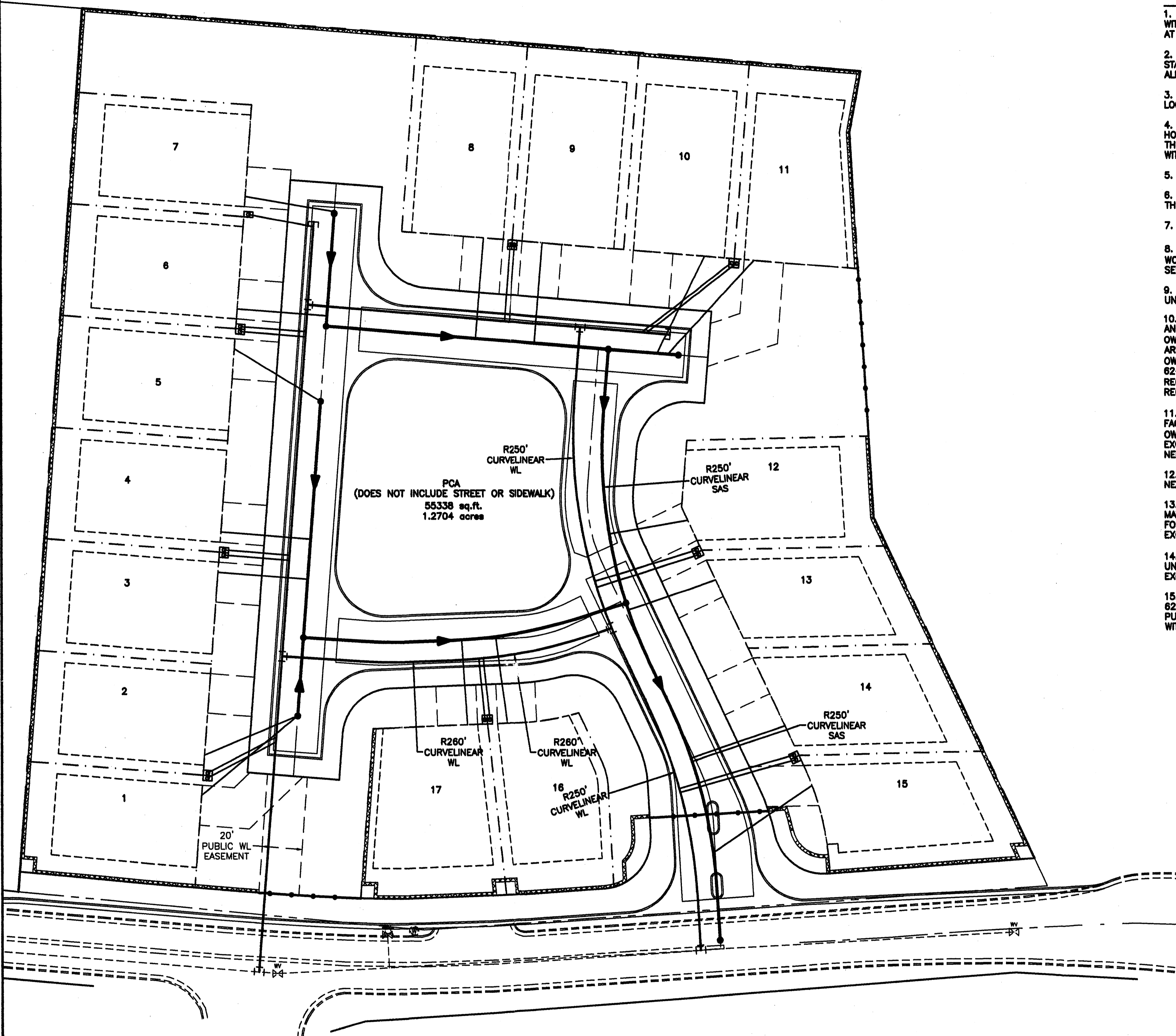
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER, IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

### WATER SHUTOFF PLAN

SHUTOFF VALVES:

### WATER SHUTOFF NOTES:

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

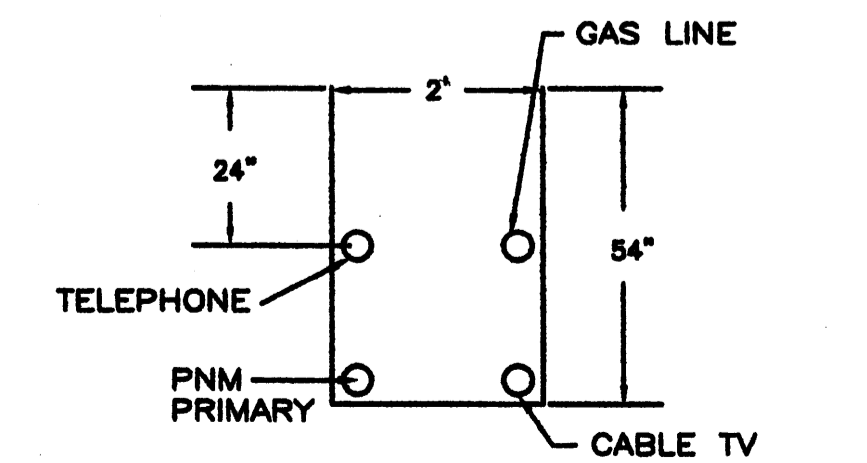


### LEGEND

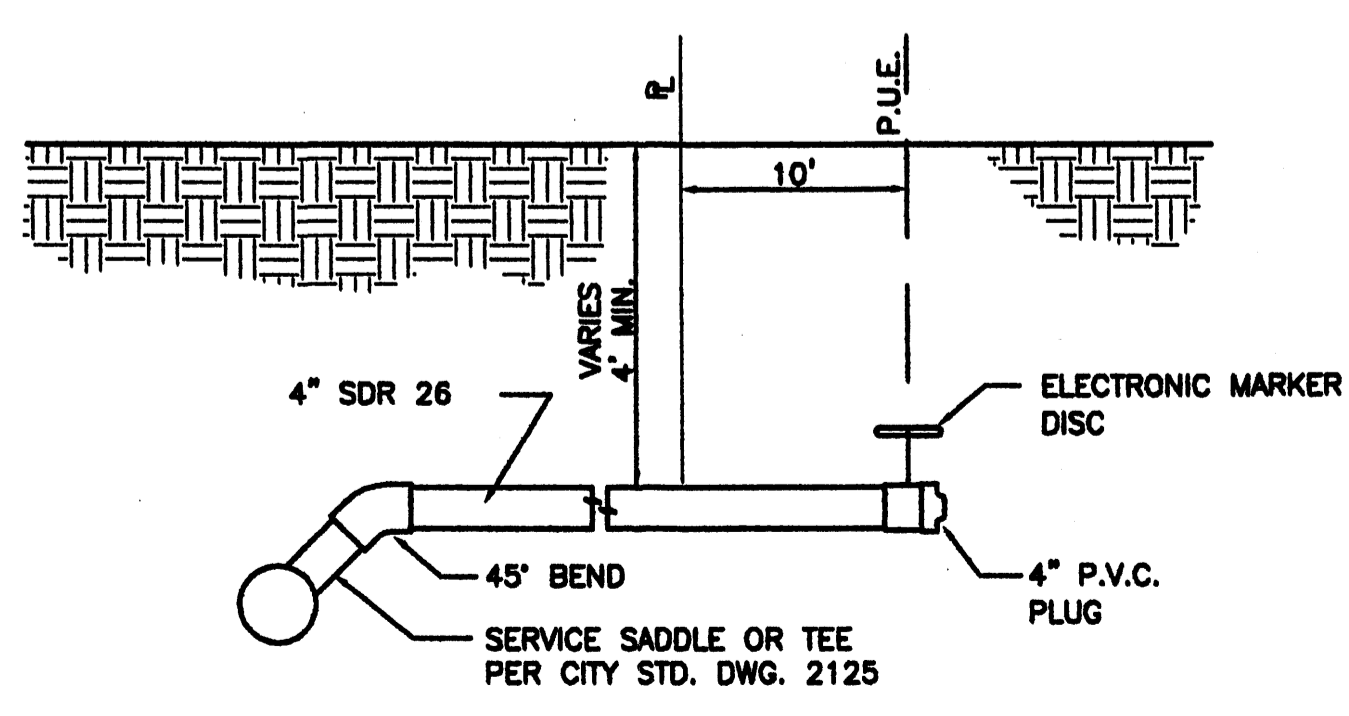
○	EXISTING SAS MANHOLE
- - - - -	EX. 8" SAS
●	PROPOSED SAS MANHOLE
○	PROPOSED SAS CLEANOUT
—	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
- - - - -	EX. 12" WL
□	PROPOSED METER
□	PROPOSED VALVE W/BOX
□	PROPOSED FIRE HYDRANT
—	WATER SERVICE LINE
—	PROPOSED WATER LINE
—	PROPOSED STORM SEWER LINE
= = = = =	EXISTING CURB & GUTTER
= = = = =	PROPOSED CURB & GUTTER
—	CENTERLINE
—	RIGHT-OF-WAY
- - - - -	DRY UTILITY TRENCH
- - - - -	BOUNDARY LINE
- - - - -	EASEMENT

### GENERAL NOTES:

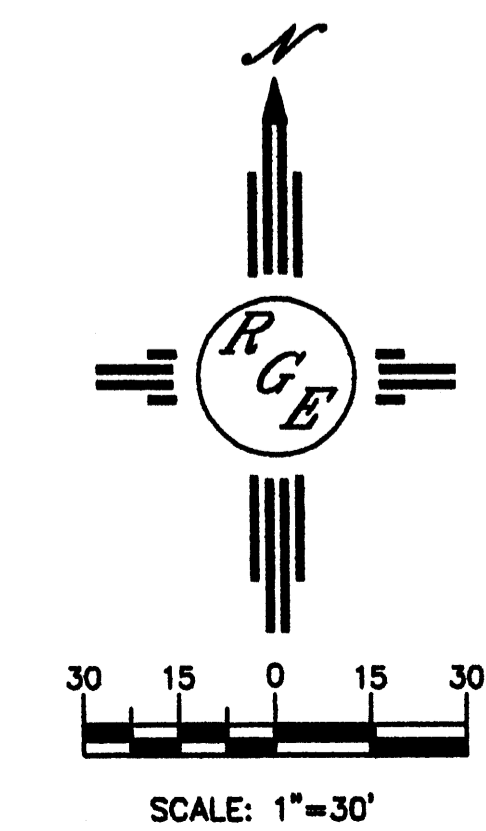
1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.


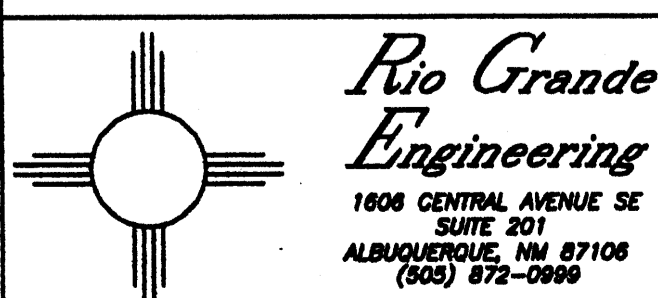


**UTILITY TRENCH DETAIL**  
NTS

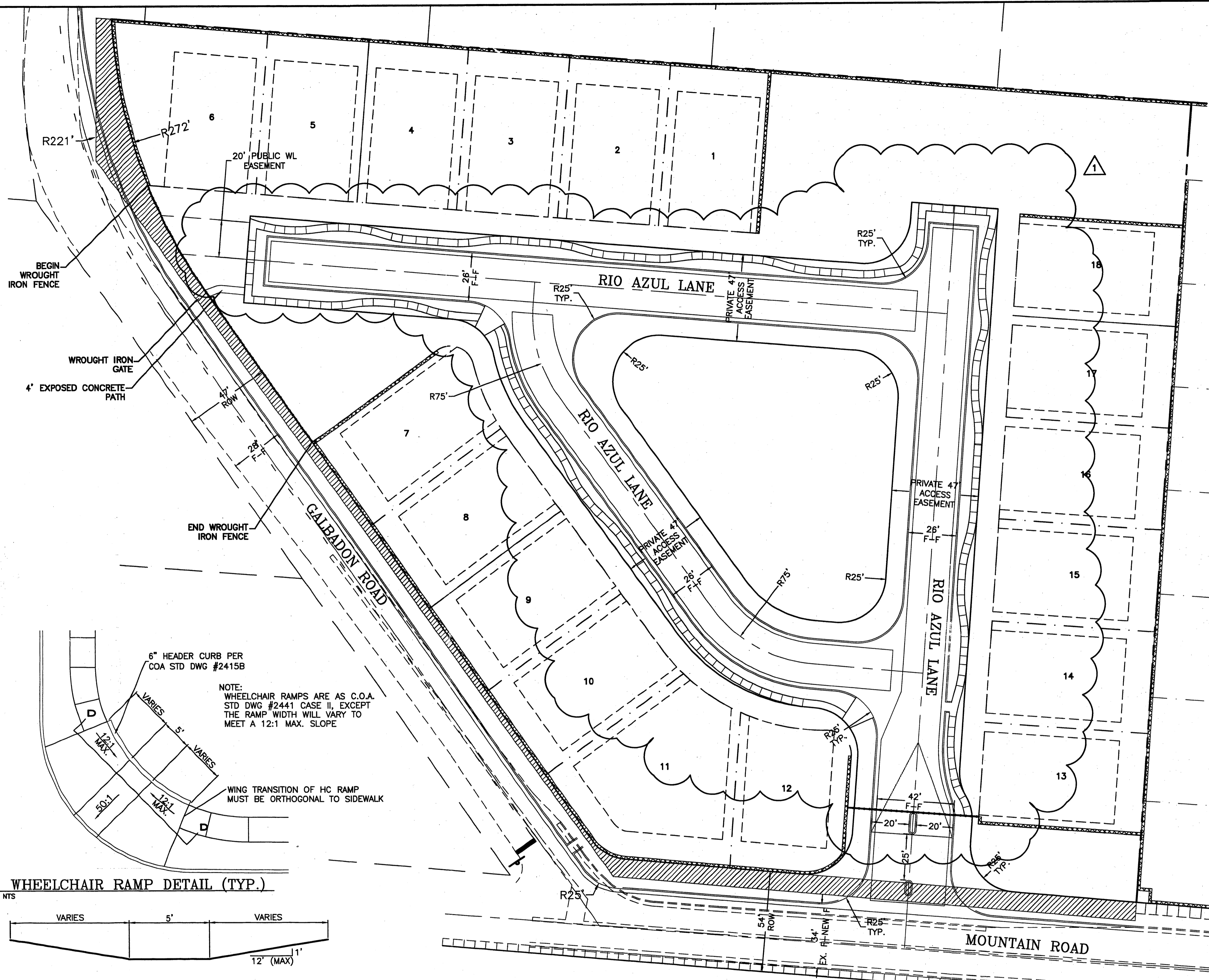


**TYP. SANITARY SYSTEM SERVICE CONNECTION**  
NTS



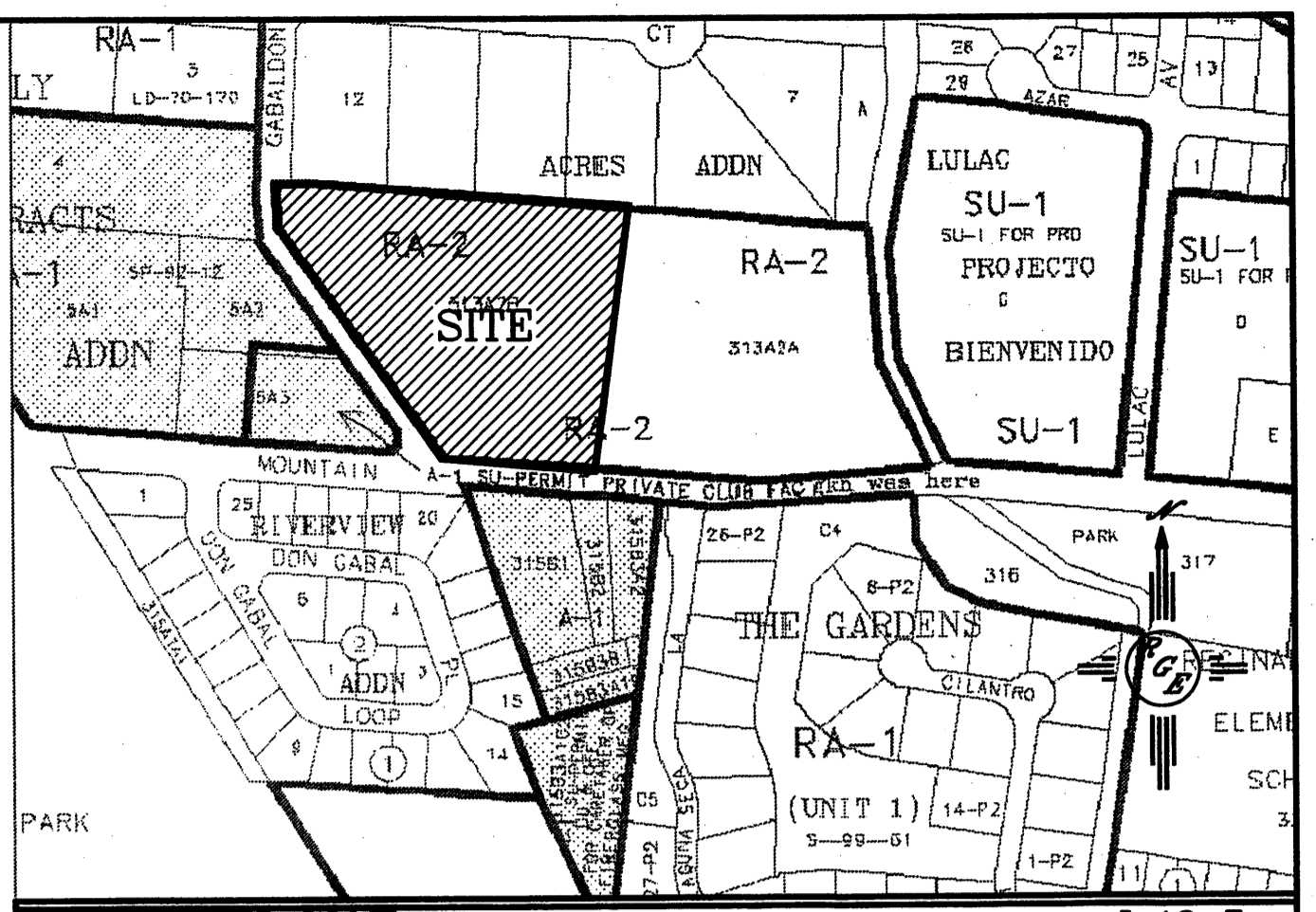
ENGINEER'S SEAL 	<b>ENTRADA DEL BOSQUE</b> AMENDED CONCEPTUAL MASTER UTILITY PLAN 	DRAWN BY WCVJ DATE 1-02-08 2518-MU-12-21-05X SHEET # — JOB # 2518
DAVID SOULE P.E. #14522		





**LEGEND**

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- ===== FUTURE CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- ===== PROPOSED 4' SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- FUTURE LOT LINES
- BUILDING ENVELOPE
- 6' SCREEN WALL
- ===== COA ROW DEDICATION

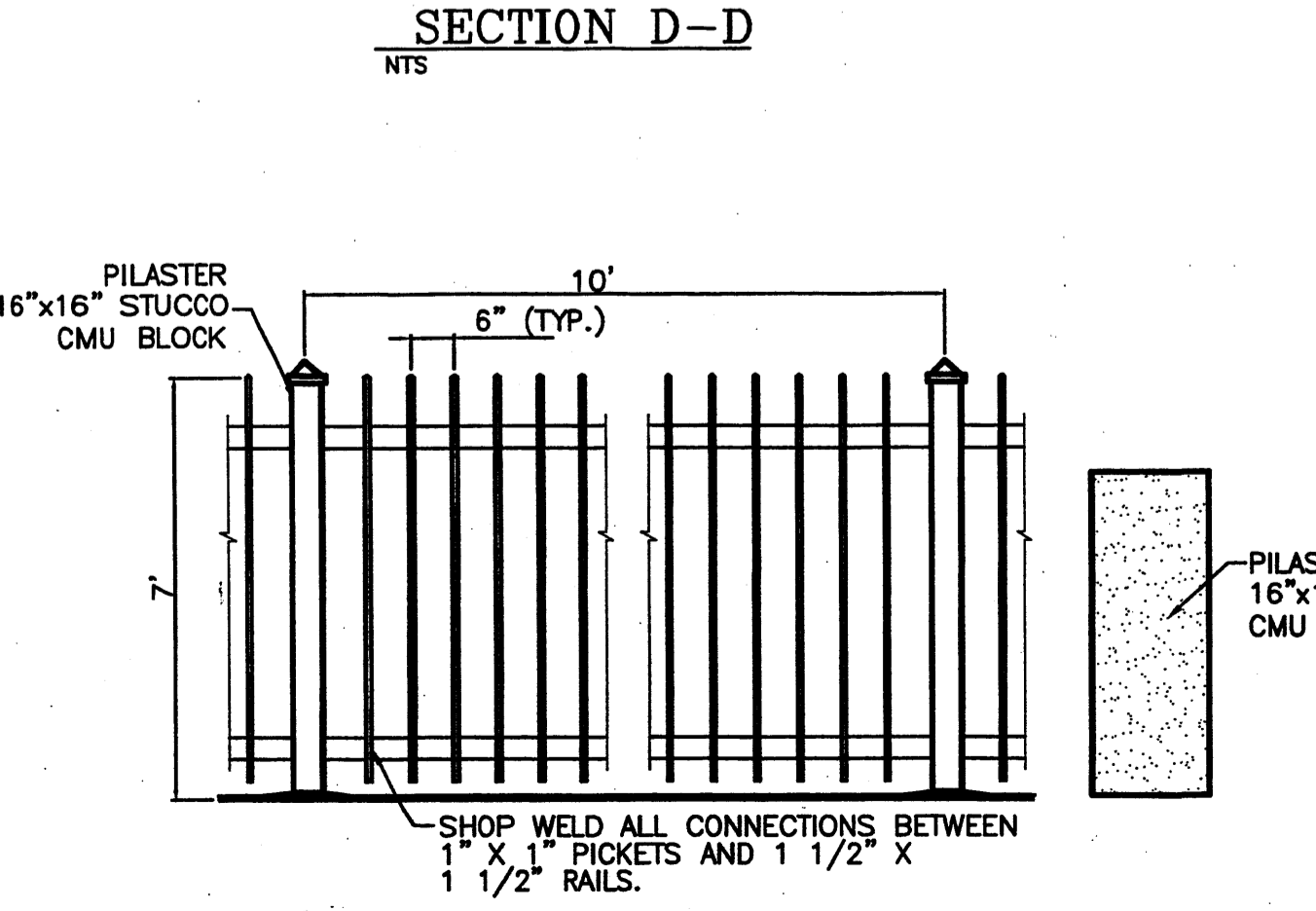
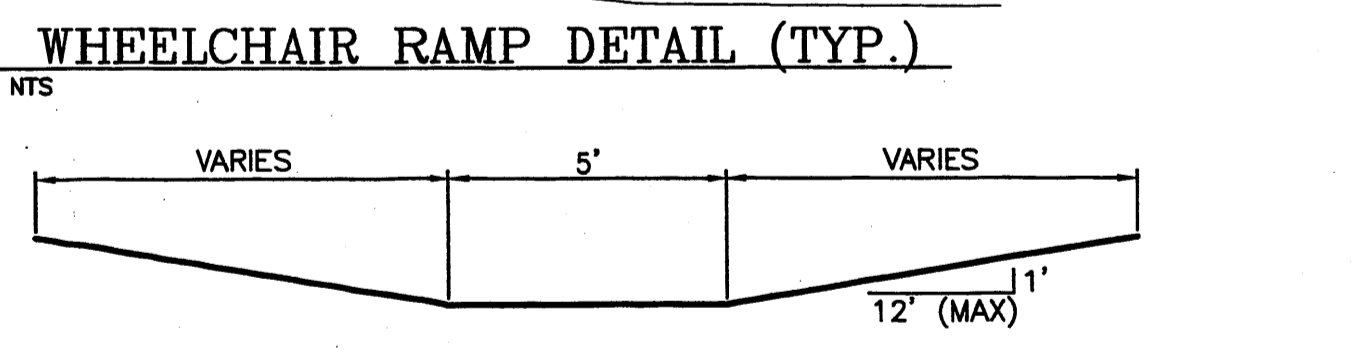
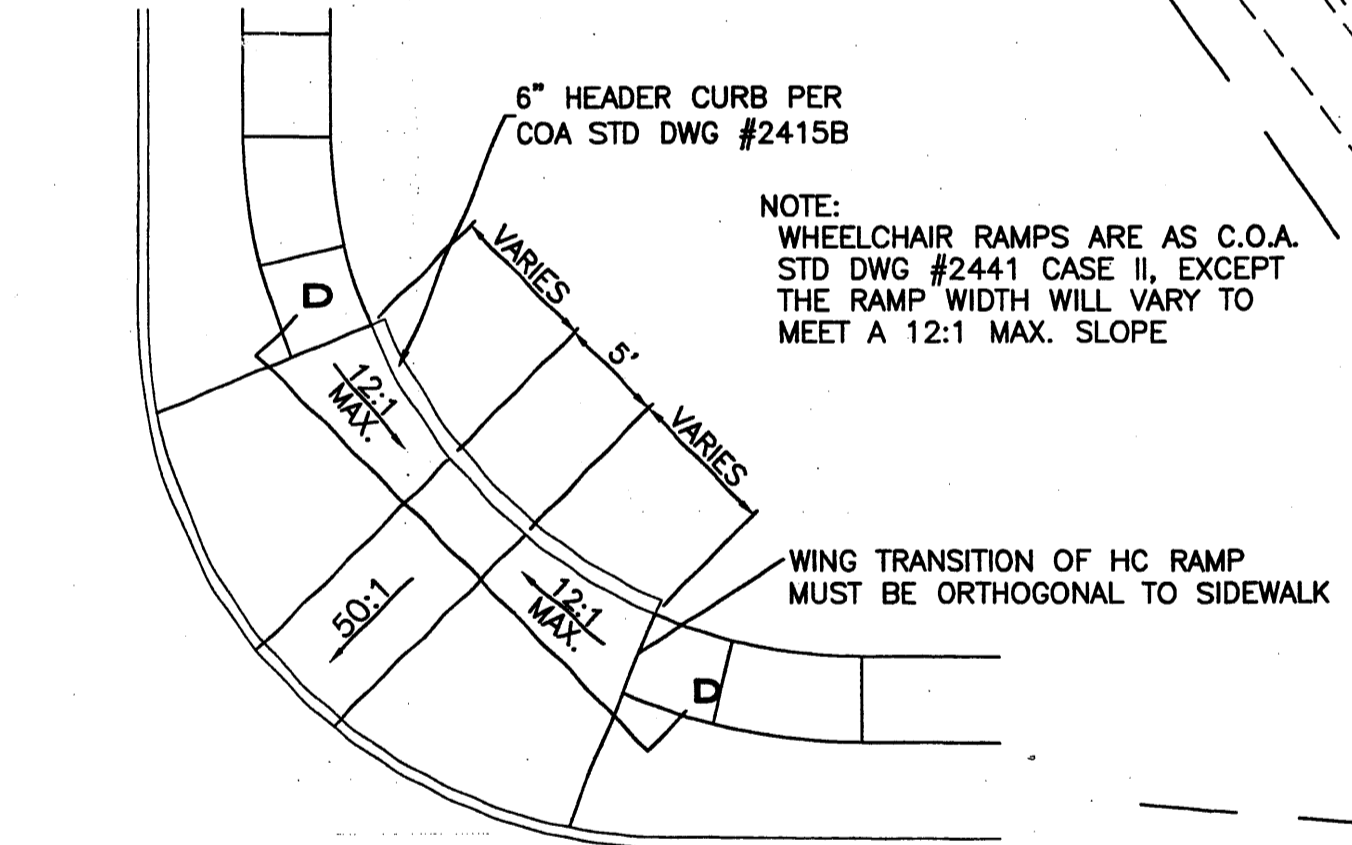


VICINITY MAP: J-12-7

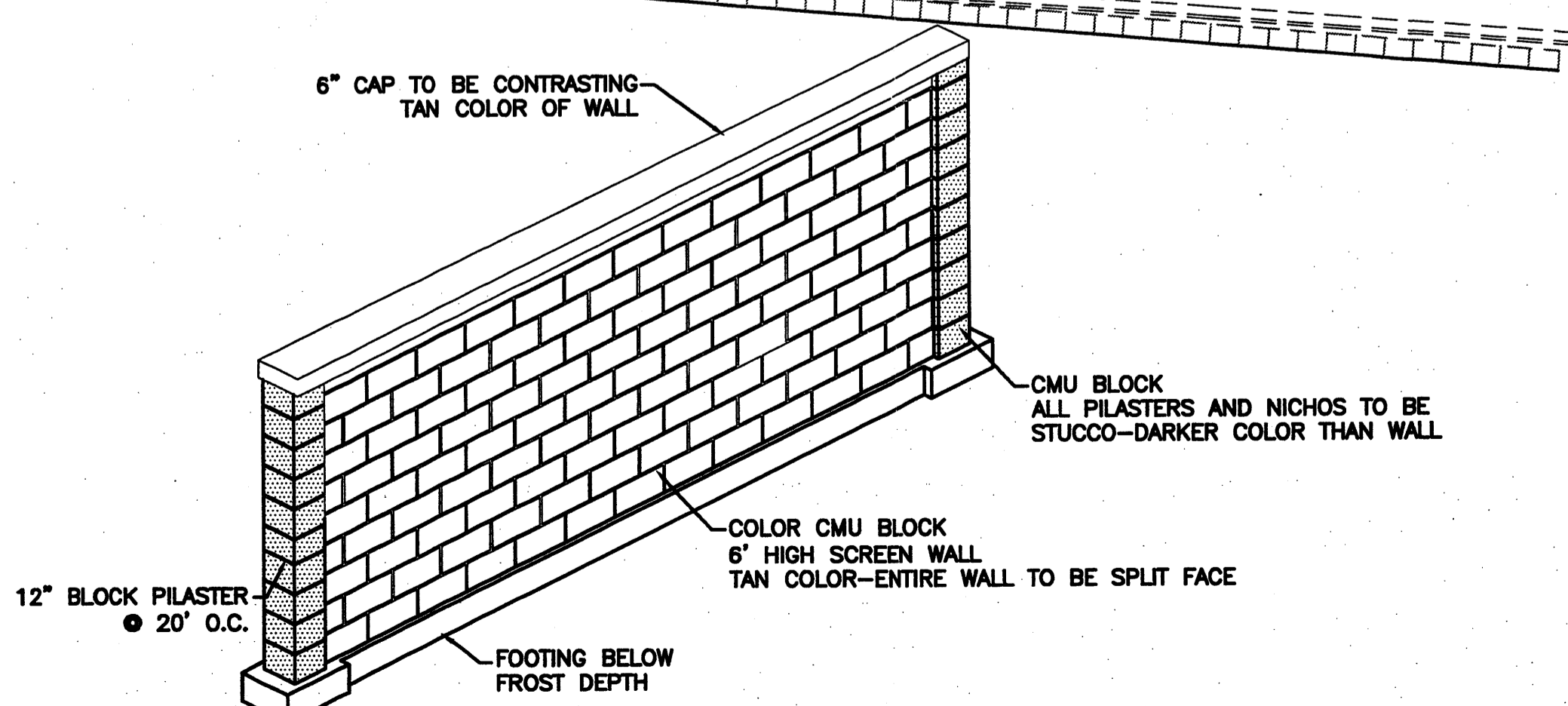
**LEGAL DESCRIPTION:**  
TRACT 313-A-2-B, ACRES ADDITION, MRCD MAP #28

- NOTES:**
1. OPEN SPACE TRACT SHALL BE MAINTAINED BY THE DEL BOSQUE HOMEOWNERS ASSOCIATION.
  2. ALL WALLS AND FENCE MUST MEET THE DESIGN STANDARDS FOR WALLS, PER SECTION 14-16-3-19 OF THE ZONING CODE.
  3. ALL LIGHTING SHALL BE BUILT TO COA STANDARDS FOR PUBLIC RIGHT-OF-WAY, AND SHALL BE SHIELDED TO PROVIDE DOWNWARD LIGHT EMISSION AND PREVENT BOTH LIGHT TRESPASS AND UPWARD LIGHT POLLUTION, TO INCLUDE STREET LIGHTING WITHIN THE PRIVATE ROADWAY SYSTEM.
  4. FRONT SETBACK FROM STREET SHALL BE AT LOT LINE. DISTANCE OF LOT LINE TO BACK OF CURB IS 21.83'. ALL GARAGES MUST BE 20' FROM BACK OF SIDEWALK.
  5. REAR SETBACK SHALL BE 15'.
  6. SIDE YARD SETBACK SHALL BE 5' MIN.
  8. MAXIMUM BUILDING HEIGHT SHALL BE 26'

▲ - INTERIOR SIDEWALKS CHANGED TO MEANDER WITHIN EASEMENT



**WROUGHT IRON FENCE DETAIL**  
NTS



**6' PERIMETER SCREEN WALL DETAIL (ALONG MOUNTAIN AND GALBADON ROAD)**  
NTS--ALL OFFSETS IN WALL AND AT ENTRY SHALL BE STUCCO

**PROJECT NUMBER:** \_\_\_\_\_

**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

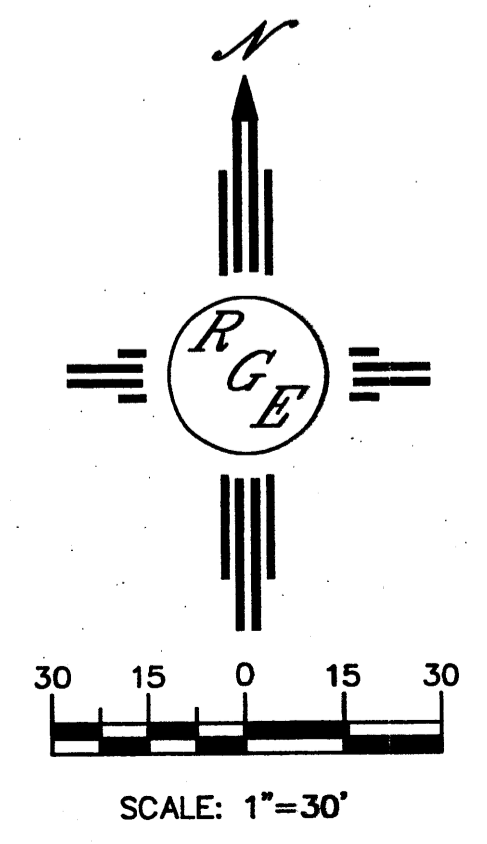
**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

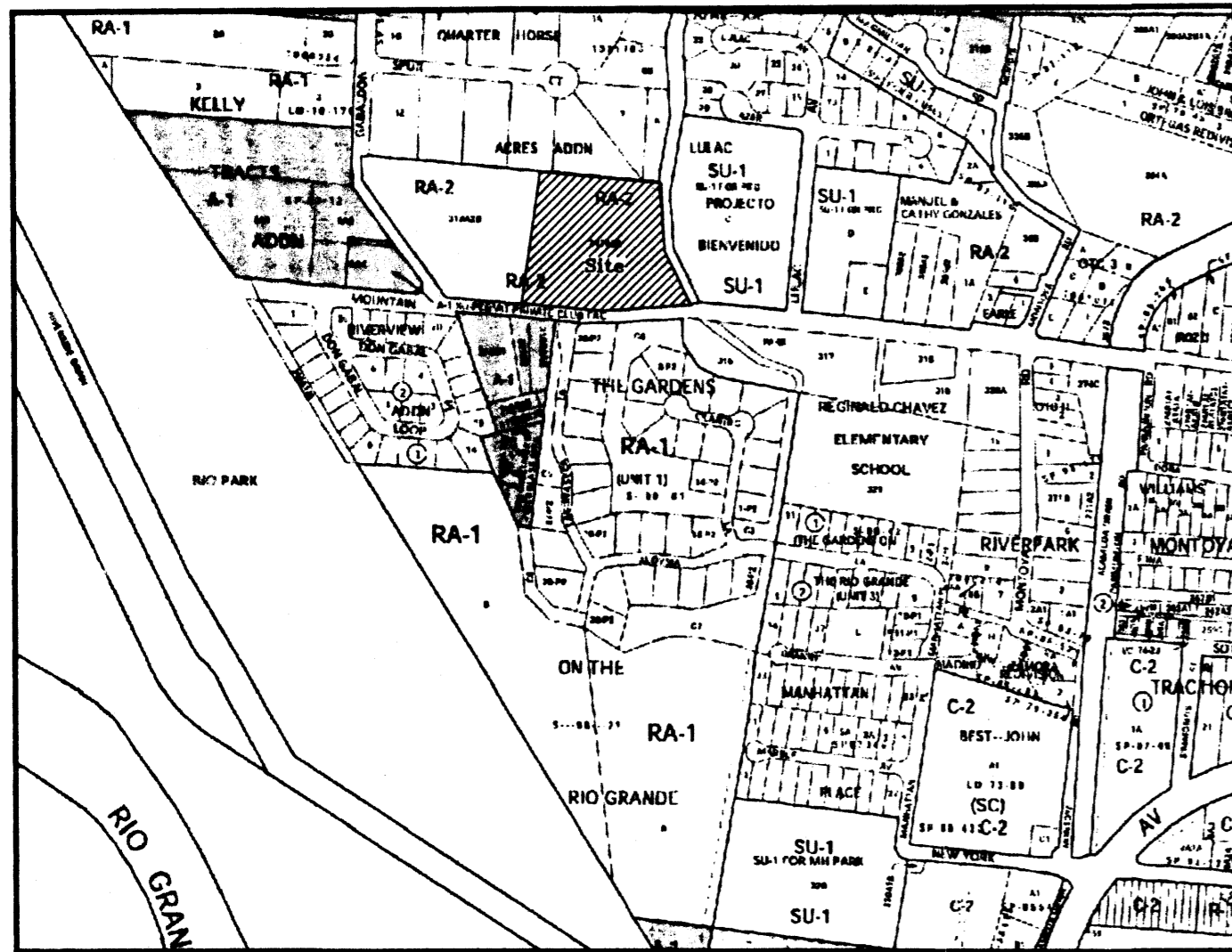
**SITE DATA**

PROPOSED USAGE:	RESIDENTIAL
ZONED:	RA-2
TRACT AREA:	4.6987 AC±
NUMBER OF LOTS:	18 LOTS
DENSITY UNITS:	3.83 DU'S
TRACT A (PCA) GROSS AREA:	106,309 SF (2.4405 AC±)
TRACT A (PCA) NET AREA:	63,926 SF (1.4675 AC±)

(LESS STREET, DRIVEWAYS, AND SIDEWALK)



ENGINEER'S SEAL	VENTANA DEL BOSQUE	DRAWN BY WCUJ
	SITE PLAN FOR SUBDIVISION	DATE 3-24-06
DAVID SOULE P.E. #14522	Rio Grande Engineering	2600-SP-1-10-06AX
	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0599	SHEET #
		JOB # 2600



**VICINITY MAP**

(NOT TO SCALE)

**CONDITIONS**

If the Trust or the individual lot owners within the PCD fail or refuse to act on maintenance obligations as set forth in the easement, the city shall have the authority to perform such maintenance as necessary to protect public health and safety. The city may, after written notice and failure to comply within 30 days, enter upon and maintain the PCA. The cost of such maintenance plus any other penalties or costs allowed by law in connection therein, shall be assessed against the properties within the PCD and failure to pay assessed charges may result in a municipal lien against each of the individual lots in the PCD. This provision shall not be deemed to create an obligation to act on the part of the city. Under no circumstances will the city maintain recreational uses. Under no circumstances shall the city maintain the PCA for a period longer than one year.

A PCD is created by DRB approval of a site development plan and a subdivision plat. Site plan and subdivision approval are contingent upon recorded deed restrictions approved by the DRB.

The recorded deed restrictions may not be amended or repealed without the city's prior written approval.

Upon recording the plat and all required documents for a PCD the area of the PCD shall be delineated and designated with the letters "PCD" on the official zone map.

The Planning Director, at the request of the owner, may void the site development plan and remove the PCD designation if no development has occurred on the site, and the property is replatted to conform to the requirements of the underlying zoning district. (Ord. 10-1995)

**FREE CONSENT, DEDICATION AND**

**ACKNOWLEDGMENTS**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right-of-way as shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, roadway, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

*[Signature]*  
 Scott Ashcraft, Member Washington Street Investors, LLC Date 3-17-2006

STATE OF NEW MEXICO  
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 3/17/2006  
 By Scott Ashcraft  
*[Signature]*  
 NOTARY PUBLIC MY COMMISSION EXPIRES 1/12/2010

**LEGAL**

A CERTAIN TRACT IDENTIFIED AS TRACT 313A2A, MRGCD MAP NUMBER 38, LOCATED IN PROJECTED SECTION 13, TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM, TOWN OF ALBUQUERQUE GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF MOUNTAIN ROAD, N.W., MARKED BY A BATHEY MARKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "15-J12" BEARS, S 71°3'07" E, A DISTANCE OF 4284.14 FEET.

THENCE, LEAVING SAID RIGHT OF WAY, N 04°19'22" E, A DISTANCE OF 442.71 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, MARKED BY A PK NAIL WITH TAG "LS 6446";

THENCE, S 85°15'51" E, A DISTANCE OF 392.10 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, BEING A POINT ON THE WESTERLY RIGHT OF WAY OF DURANES DITCH, MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDENTAL WITH SAID DURANES DITCH RIGHT OF WAY THE FOLLOWING THREE COURSES, ALL OF WHICH ARE MARKED BY A BATHEY MARKER WITH CAP "LS 14271":

S 10°36'16" W, A DISTANCE OF 31.10 FEET TO AN ANGLE POINT;

S 3°21'54" E, A DISTANCE OF 192.07 FEET TO AN ANGLE POINT;

S 25°13'01" E, A DISTANCE OF 203.43 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY OF MOUNTAIN ROAD N.W.,

THENCE, COINCIDING SAID MOUNTAIN ROAD RIGHT OF WAY THE FOLLOWING TWO COURSES, ALL OF WHICH ARE MARKED BY A BATHEY MARKER WITH CAP "LS 14271":

S 86°06'40" W, A DISTANCE OF 313.90 FEET;

N 84°46'41" W, A DISTANCE OF 204.02 FEET TO THE POINT OF BEGINNING, CONTAINING 4.2941 ACRES (187,053 SQ. FT) MORE OR LESS.

**SUBMISSION DATA**

GROSS ACREAGE	4.2941 AC.
ZONE ATLAS NO.	J-12-Z
NO. OF EXISTING TRACTS/LOTS	1 TRACT
NO. OF TRACTS/LOTS CREATED	17 LOTS/1 TRACT
NO. OF TRACTS/LOTS ELIMINATED	0
FULL WIDTH STREETS CREATED	0.17 MILE
AREA DEDICATED TO THE CITY OF ALBUQUERQUE	0.1593 AC.

**DISCLOSURE STATEMENT**

- A. GRANT THE UTILITY EASEMENTS.
- B. GRANT THE ROADWAY EASEMENTS.
- C. GRANT THE NEW UTILITY EASEMENTS AS SHOWN HEREON.
- D. CREATE 17 LOTS AND 1 TRACT.
- E. DEDICATE RIGHT OF WAY AS SHOWN HEREON.
- F. VACATE UTILITY EASEMENTS.
- G. GRANT THE DRAINAGE EASEMENTS.

APPROVED on the condition that all rights of the Middle Rio Grande Conservancy District in easements, rights of way, assessments and liens, are fully reserved to said District, and that if provision for irrigation source and easements are not provided for by the subdivider for the subdivision, addition, or plat, said District is absolved of all obligations to furnish irrigation waters and services to any portions thereof, other than from existing turnouts.

**GENERAL NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "12-J12" (NAD 1927).
2. All street centerline monumentation shall be installed at all centerline PC's, PT's, angle points, and street intersections and shown thus ▲. All centerline monumentation will be set using the standard four (4") aluminum monument stamped "City of Albuquerque Centerline Monument- Do not disturb, PS Number 14271" and will be set flush with the final asphalt lift.
3. Lot lines eliminated with the filing of this Plat Shown Thus . . . .
4. Talos Log number is 2005394420.
5. Private Commons Area (PCA)-See restrictions of Entrada Del Bosque Subdivision recorded in Book 4117, Page 5603, as document \_\_\_\_\_.
6. All property, except as shown hereon, are a set Bathey Marker with cap "LS 14271".

2966875824  
 8463386  
 Page: 1 of 2  
 05/24/2006 09:25P  
 BK-2006 Pg-163  
 Mary Herrera Bern. Co. PLAT R 12.09

**Plat of  
 Entrada Del Bosque**

(Being a replat of Tract 313A2A, MRGCD Map 38)  
 within  
 The Town of Albuquerque Grant  
 Projected Section 13, Township 10 North, Range 2 East, NMPM  
 City of Albuquerque, Bernalillo County, New Mexico  
 March 2006

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1004360  
 Application Number: 06DRB-00395

**PLAT APPROVAL**

Utility Approvals:		
PNM Electric Services	<i>Leone D. Muts</i>	<u>3-30-06</u> Date
PNM Gas Services	<i>Leone D. Muts</i>	<u>3-30-06</u> Date
Quest	<i>Leone D. Muts</i>	<u>4/10/06</u> Date
Comcast	<i>Leone D. Muts</i>	<u>3-30-06</u> Date
City Approvals:		
City Surveyor	<i>[Signature]</i>	<u>3-17-06</u> Date
Real Property Division	<i>N/A</i>	
Traffic Engineering, Transportation Division	<i>[Signature]</i>	<u>4-9-06</u> Date
Albuquerque-Bernalillo County Utility Authority	<i>Rogel Aleman</i>	<u>4-5-06</u> Date
Parks and Recreation Department	<i>Christina Sandoval</i>	<u>4/5/06</u> Date
AMAFCA	<i>Bradley J. Bingham</i>	<u>4/5/06</u> Date
City Engineer	<i>Bradley J. Bingham</i>	<u>4/5/06</u> Date
DRB Chairperson, Planning Department	<i>[Signature]</i>	<u>5/22/06</u> Date
MRGCD	<i>[Signature]</i>	<u>5/2/06</u> Date
HOME OWNERS ASSOCIATION		<u>4-6-06</u> Date

**SURVEYOR'S CERTIFICATION:**

"I Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

*Will Plotner Jr.* 3/16/06  
 WILL PLOTNER JR. DATE  
 N.M.P.S. No. 14271

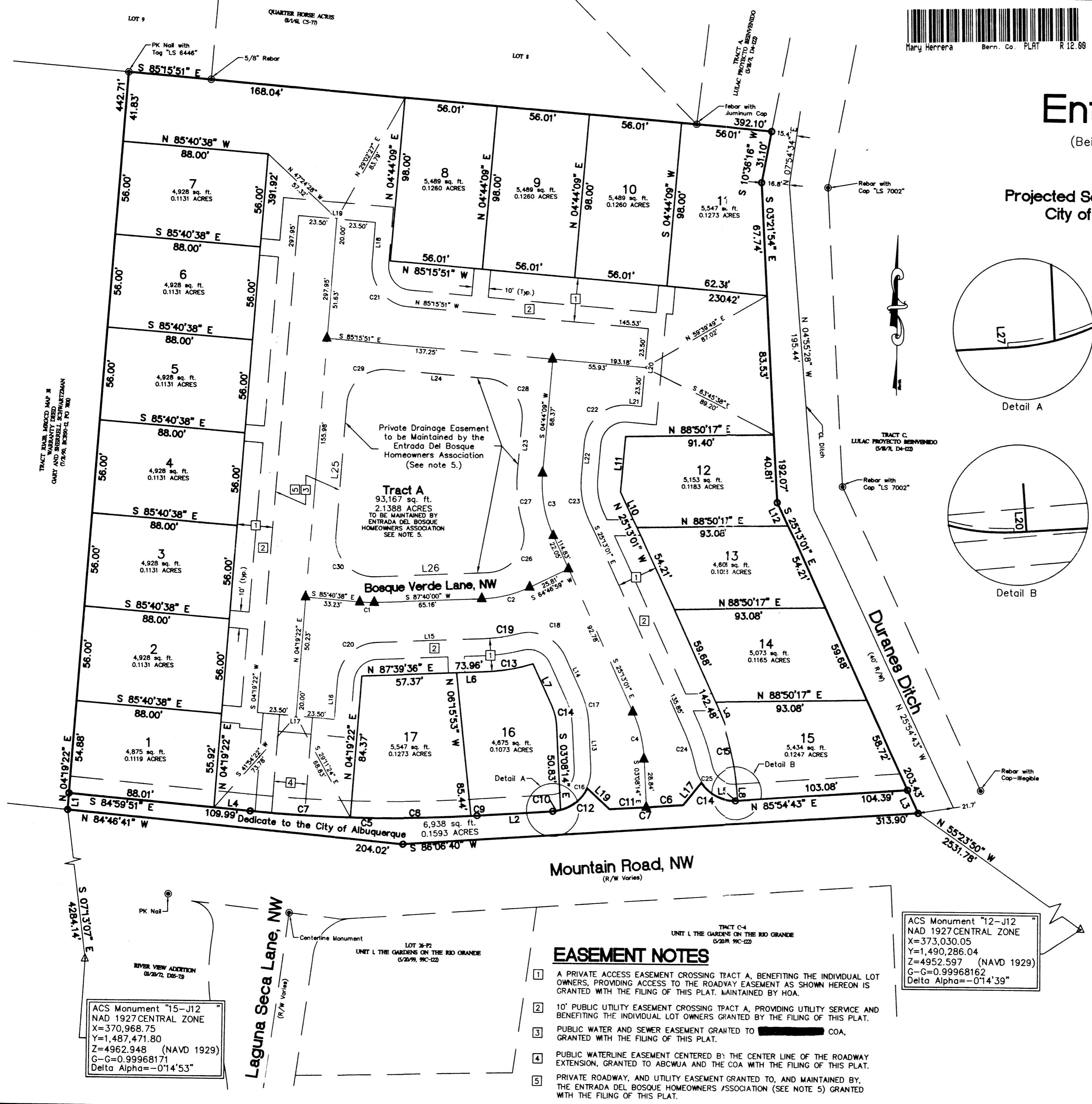
**CARTESIAN SURVEYS INC.**  
 P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505)891-0244



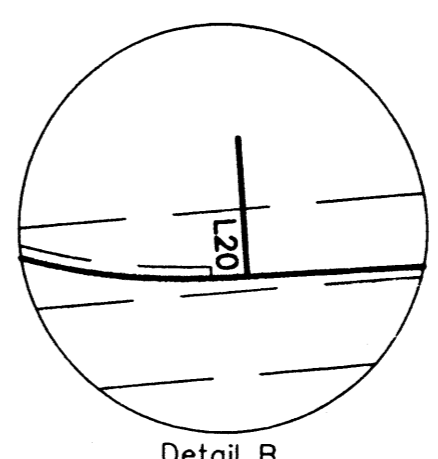
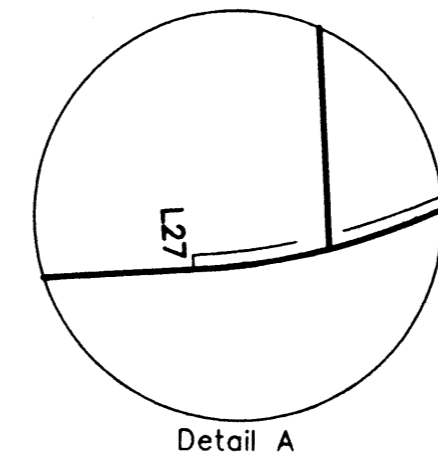
# Plat of Entrada Del Bosque

(Being a replat of Tract 313A2A, MRGCD Map 38)

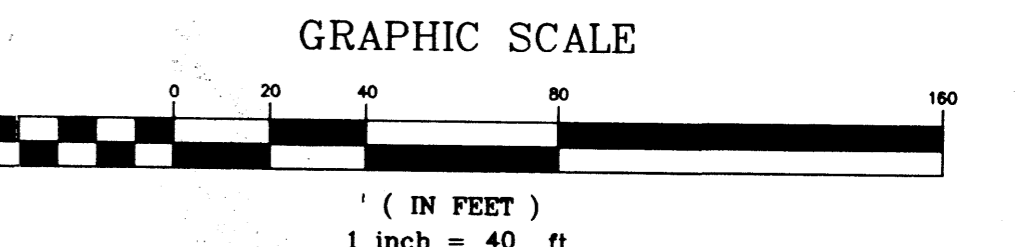
within  
The Town of Albuquerque Grant  
Projected Section 13, Township 10 North, Range 2 East, NMPM  
City of Albuquerque, Bernalillo County, New Mexico  
March 2006



LINE	LENGTH	BEARING
L1	10.00	N 04°19'22" E
L2	45.86	N 86°14'02" E
L3	15.24	S 25°13'01" E
L4	21.98	N 84°59'51" W
L5	1.31	S 85°54'43" W
L6	16.59	N 87°39'36" E
L7	27.15	S 25°13'01" E
L8	5.79	N 04°18'46" W
L9	4.86	N 25°13'01" W
L10	23.73	N 25°13'01" W
L11	33.50	N 04°44'09" E
L12	15.58	S 25°13'01" E
L13	25.75	S 03°08'14" E
L14	22.86	S 25°13'01" E
L15	64.64	S 87°40'00" W
L16	23.12	N 04°19'22" E
L17	17.33	N 38°58'22" E
L18	23.98	N 04°19'22" E
L19	18.32	S 47°29'57" E
L20	0.51	S 03°39'27" E
L21	7.93	N 85°15'51" W
L22	20.37	S 04°44'09" W
L23	30.37	S 04°44'09" W
L24	60.98	S 85°15'51" E
L25	79.51	N 04°19'22" E
L26	68.51	S 87°40'00" W
L27	0.50	S 03°45'57" E



CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.	CHORD
C1	75.00'	8.71'	6°39'22"	S 89°00'19" E	8.71'
C2	75.00'	29.95'	22°53'01"	N 76°13'29" E	29.76'
C3	75.00'	39.21'	29°57'10"	S 10°14'26" E	38.76'
C4	75.00'	28.90'	22°04'47"	N 14°10'38" W	28.72'
C5	900.00'	137.74'	8°46'07"	S 89°22'54" E	137.60'
C6	2000.00'	22.24'	0°38'14"	N 86°00'42" E	22.24'
C7	2000.00'	44.65'	1°16'45"	N 86°19'58" E	44.65'
C8	900.00'	73.04'	4°39'00"	N 88°47'29" E	73.02'
C9	900.00'	3.65'	0°13'57"	N 86°21'01" E	3.65'
C10	25.00'	4.76'	10°54'37"	N 80°46'48" E	4.75'
C11	2000.00'	22.41'	0°38'31"	N 86°39'05" E	22.41'
C12	25.00'	26.18'	59°59'35"	N 56°14'15" E	25.00'
C13	118.00'	30.02'	14°34'41"	N 80°22'15" E	29.94'
C14	24.98'	25.89'	59°22'40"	S 64°24'37" E	24.75'
C15	138.00'	50.35'	20°54'15"	N 14°45'54" W	50.07'
C16	24.50'	38.22'	89°22'17"	N 41°32'54" E	34.46'
C17	51.50'	19.85'	22°04'47"	N 14°10'38" W	19.72'
C18	24.50'	34.04'	79°36'17"	N 65°01'09" W	31.37'
C19	98.50'	21.47'	12°29'17"	N 81°25'21" E	21.43'
C20	24.50'	35.64'	83°20'38"	S 45°59'41" W	32.58'
C21	24.50'	38.31'	89°35'13"	S 40°28'15" E	34.52'
C22	24.50'	38.48'	90°00'00"	S 49°44'09" W	34.65'
C23	51.50'	26.92'	29°57'10"	S 10°14'26" E	26.62'
C24	113.50'	25.09'	12°40'00"	N 18°53'01" W	25.04'
C25	24.50'	34.68'	81°06'26"	S 53°06'14" E	31.86'
C26	22.75'	41.31'	104°02'38"	N 35°38'41" E	35.87'
C27	90.25'	33.26'	21°06'47"	S 05°49'14" E	33.07'
C28	22.75'	35.74'	90°00'00"	N 40°15'51" W	32.17'
C29	22.75'	35.90'	90°24'47"	S 49°31'45" W	32.29'
C30	22.75'	38.38'	96°39'22"	S 44°00'19" E	33.99'



**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

### EASEMENT NOTES

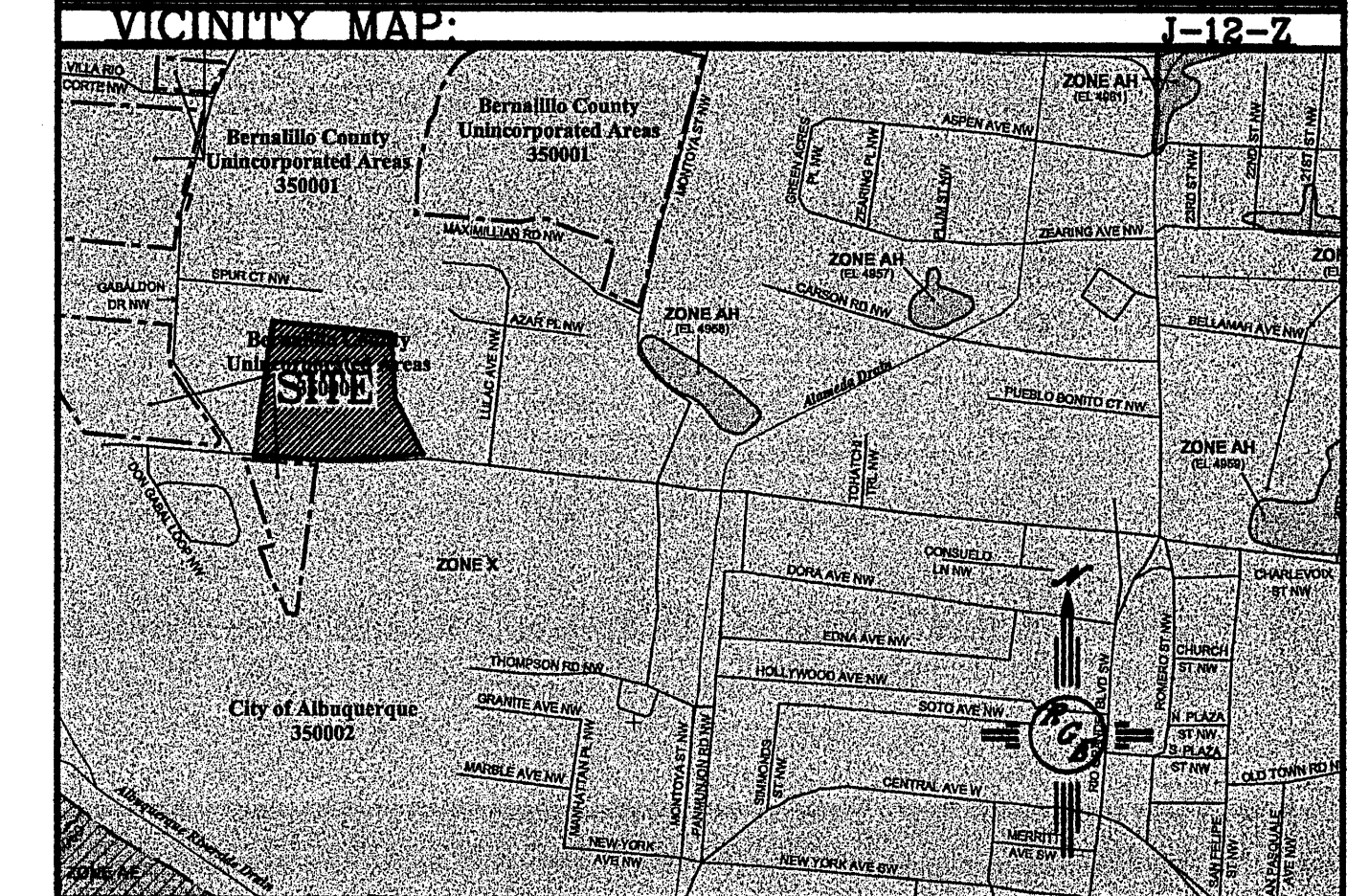
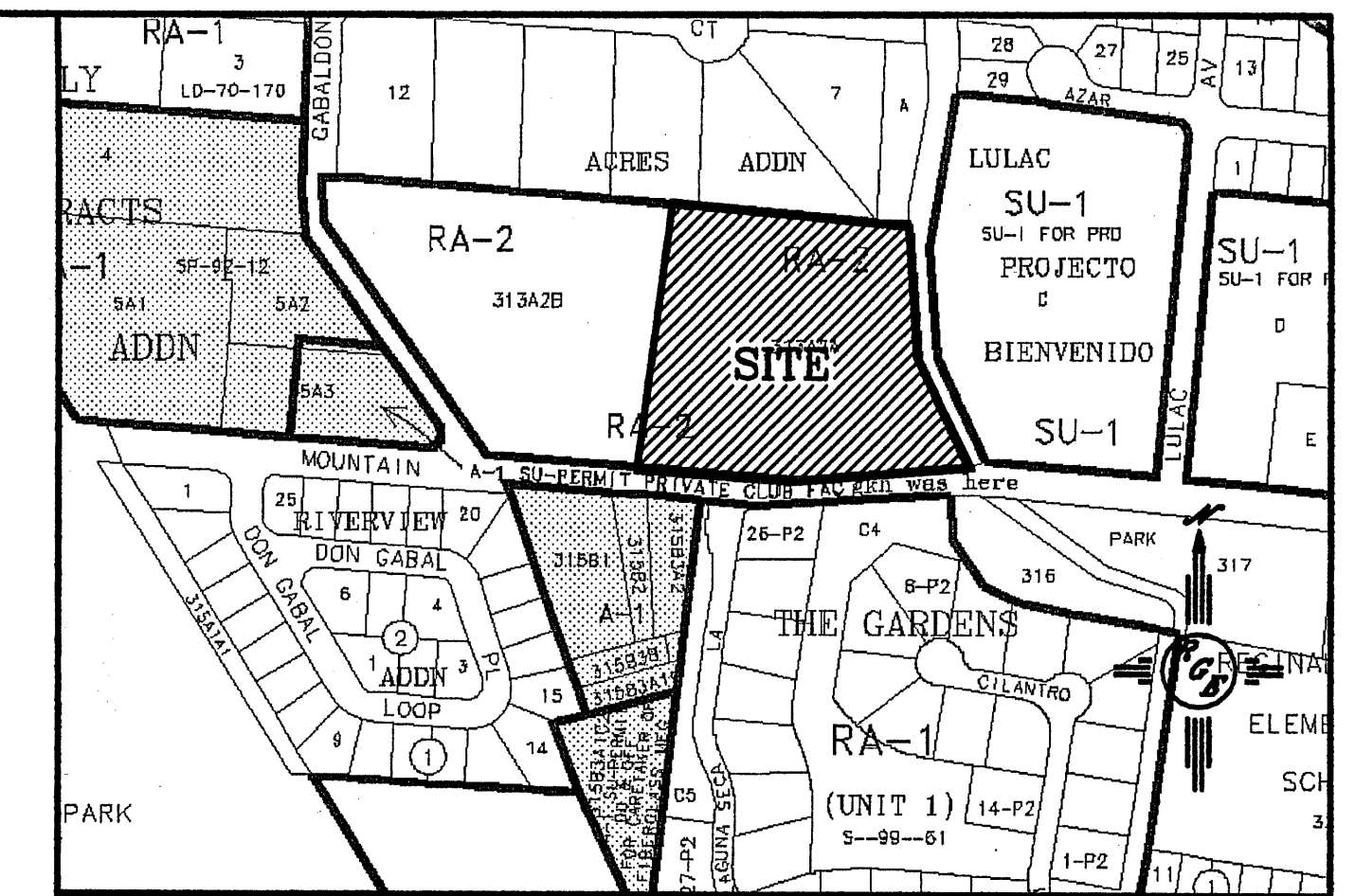
1. A PRIVATE ACCESS EASEMENT CROSSING TRACT A, BENEFITING THE INDIVIDUAL LOT OWNERS, PROVIDING ACCESS TO THE ROADWAY EASEMENT AS SHOWN HEREON IS GRANTED WITH THE FILING OF THIS PLAT. MAINTAINED BY HOA.
2. 10' PUBLIC UTILITY EASEMENT CROSSING TRACT A, PROVIDING UTILITY SERVICE AND BENEFITING THE INDIVIDUAL LOT OWNERS GRANTED BY THE FILING OF THIS PLAT.
3. PUBLIC WATER AND SEWER EASEMENT GRANTED TO [REDACTED] COA, GRANTED WITH THE FILING OF THIS PLAT.
4. PUBLIC WATERLINE EASEMENT CENTERED BY THE CENTER LINE OF THE ROADWAY EXTENSION, GRANTED TO ABCWUA AND THE COA WITH THE FILING OF THIS PLAT.
5. PRIVATE ROADWAY, AND UTILITY EASEMENT GRANTED TO, AND MAINTAINED BY, THE ENTRADA DEL BOSQUE HOMEOWNERS ASSOCIATION (SEE NOTE 5) GRANTED WITH THE FILING OF THIS PLAT.

ACS Monument "12-J12  
NAD 1927 CENTRAL ZONE  
X=373,030.05  
Y=1,490,286.04  
Z=4952.597 (NAVD 1929)  
G-G=0.99968162  
Delta Alpha=-0°14'39"

ACS Monument "15-J12  
NAD 1927 CENTRAL ZONE  
X=370,968.75  
Y=1,487,471.80  
Z=4962.948 (NAVD 1929)  
G-G=0.99968171  
Delta Alpha=-0°14'53"

**LEGEND**

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- ===== BOUNDARY LINE
- EASEMENT
- ===== PROPOSED SIDEWALK
- ===== PROPOSED PERIMETER WALL
- ===== PROPOSED WROUGHT IRON FENCE/GATE
- 4956 EXISTING CONTOUR
- 4955 EXISTING INDEX CONTOUR
- 4956 PROPOSED CONTOUR
- 4955 PROPOSED INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- X 5048.25 PROPOSED SPOT ELEVATION
- X 5048.25 EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE

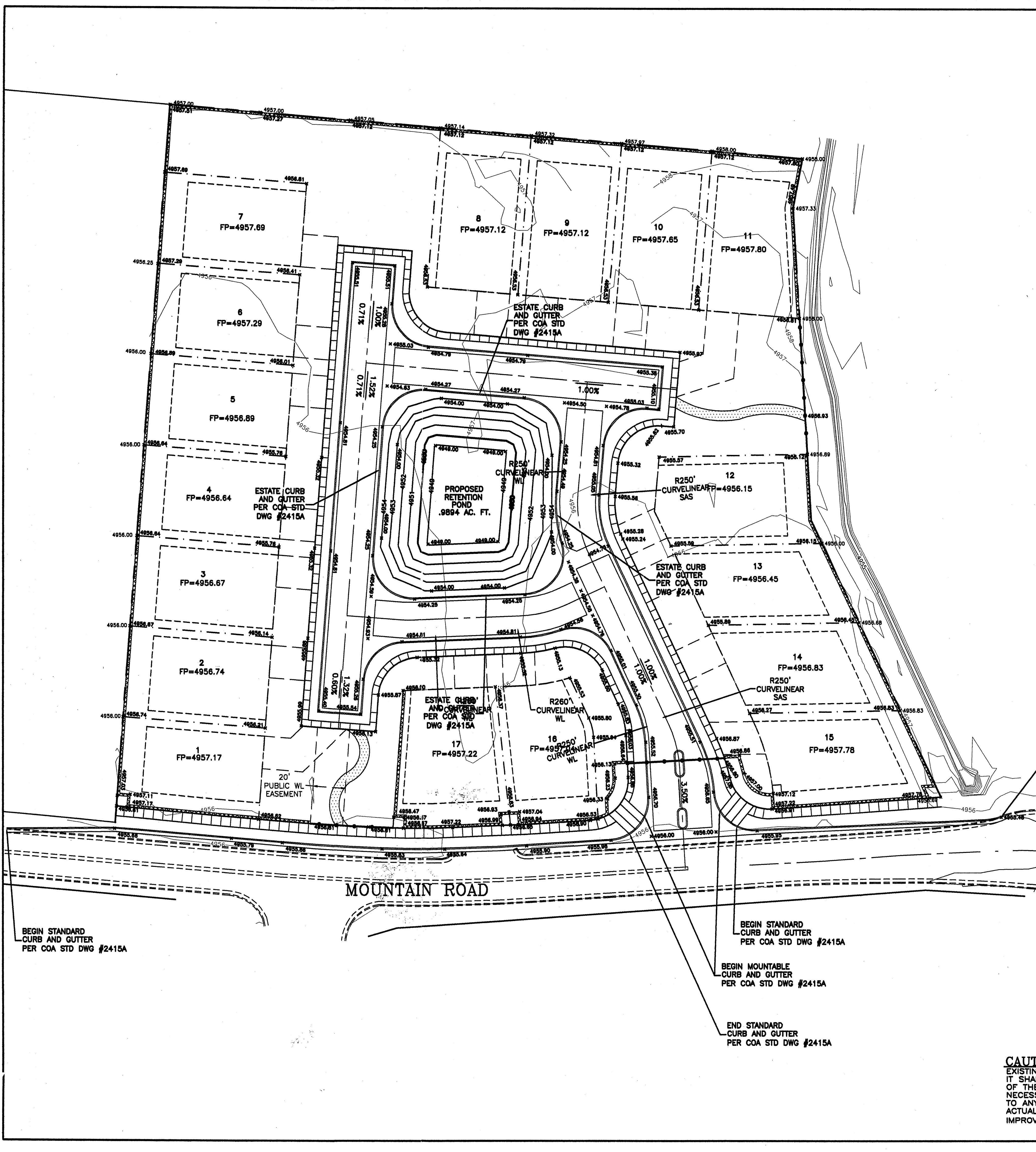


**FIRM MAP:** 35001C0331E

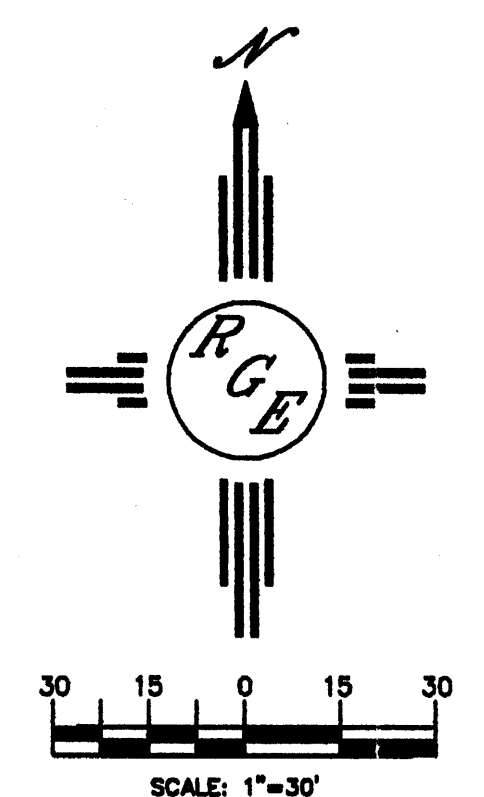
**LEGAL DESCRIPTION:**  
TRACTS 313A2A

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
  2. ALL CURB AND GUTTER TO BE MOUNTABLE PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
  3. ALL PADS SHALL BE BUILT PER FOOTPRINT SHOWN.

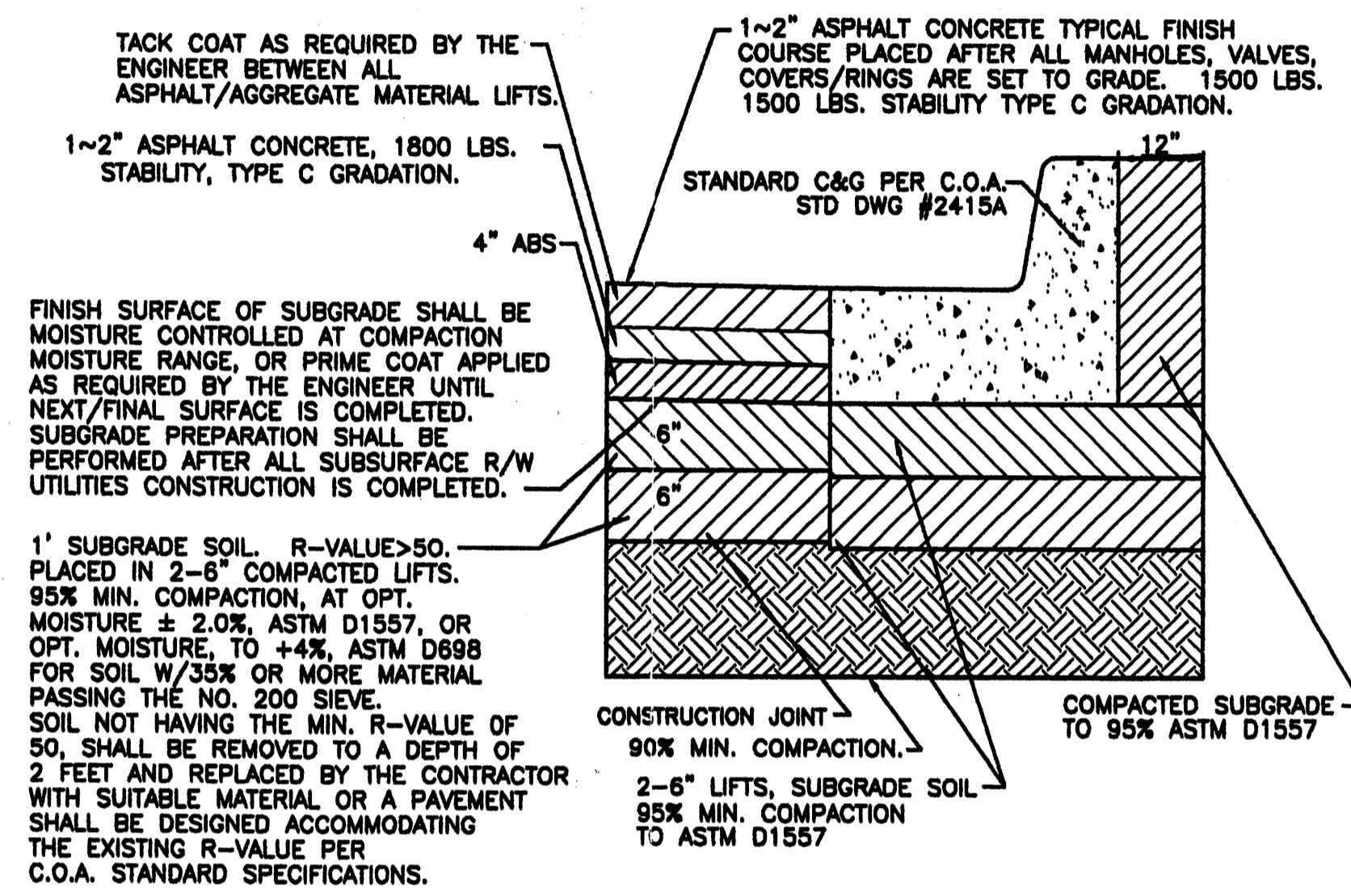
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



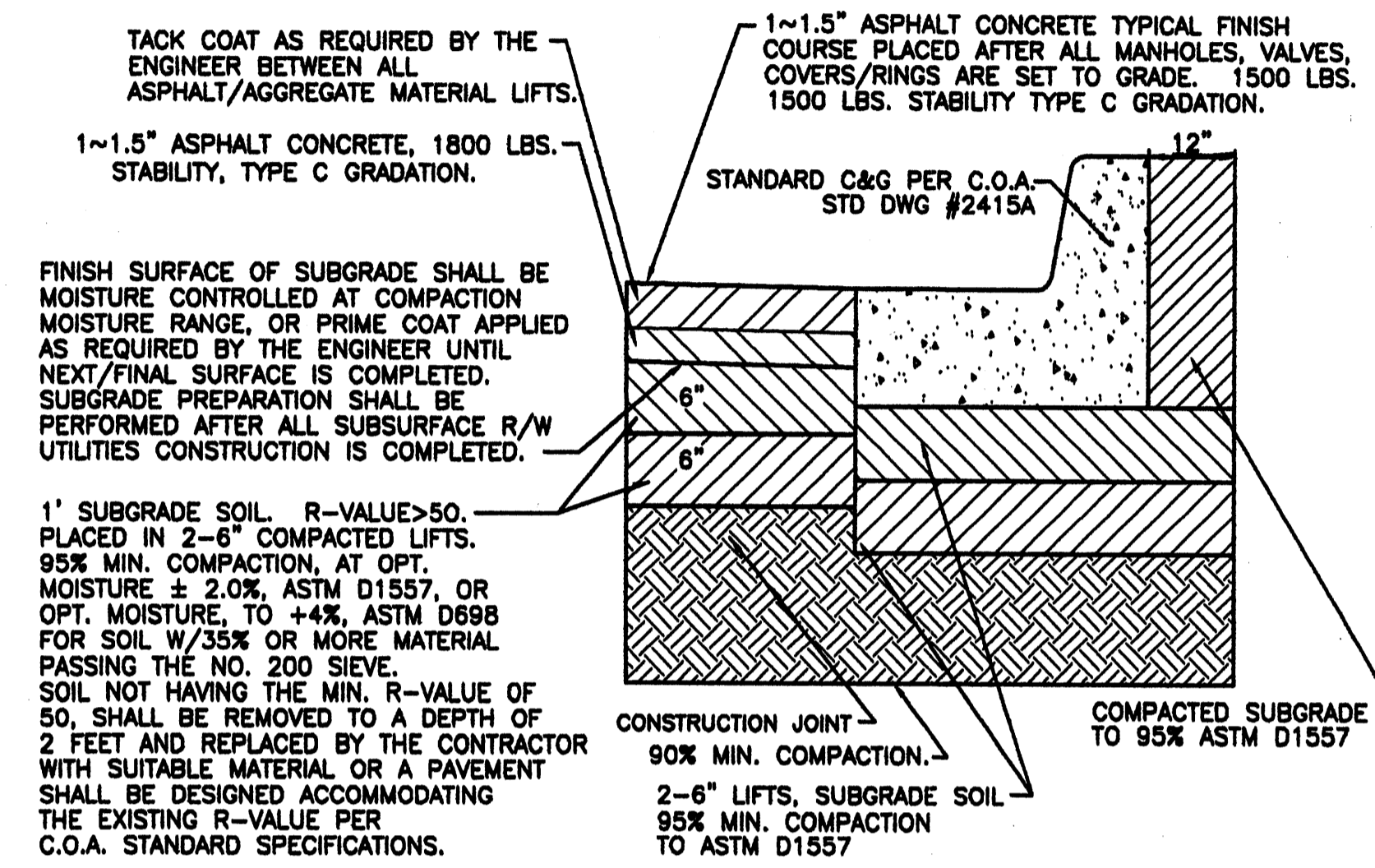
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



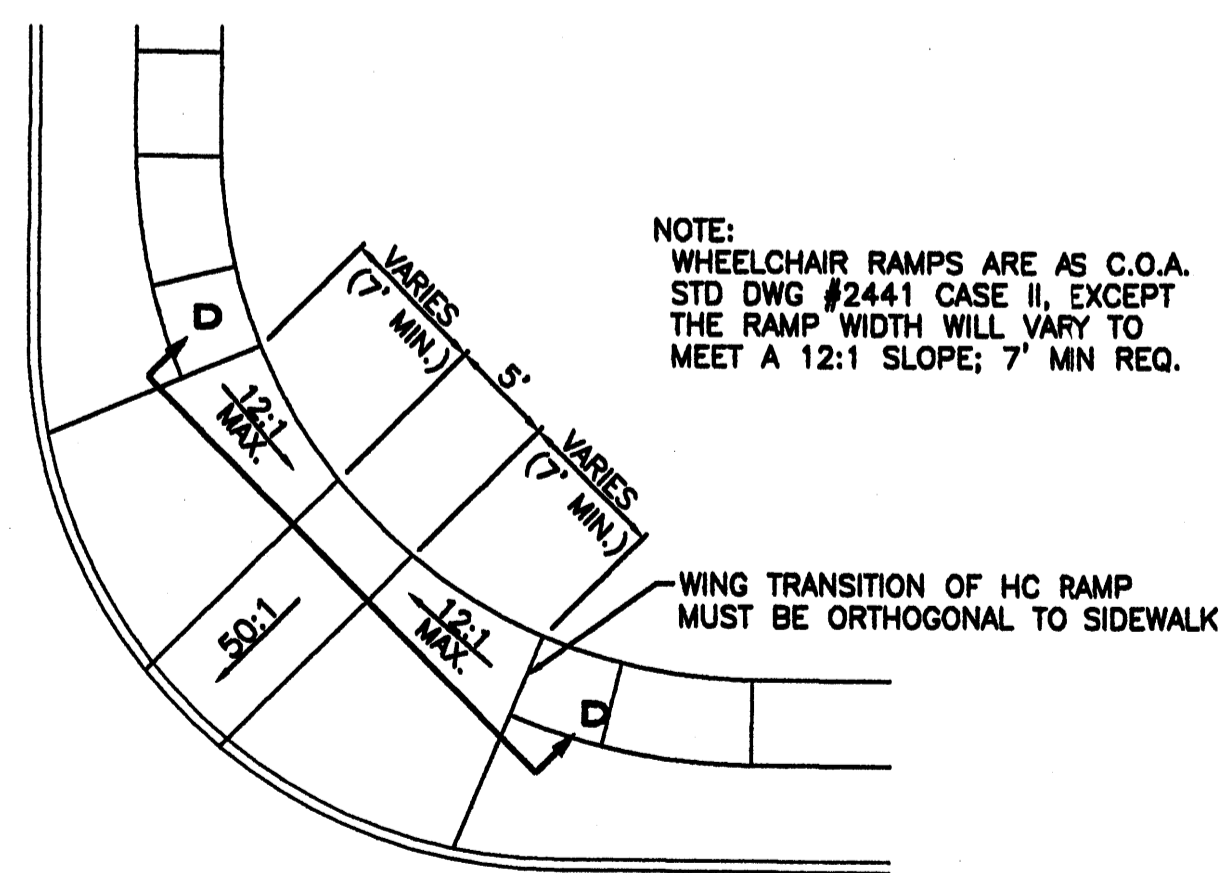
<b>ROUGH GRADING APPROVAL</b>		DATE
ENGINEER'S SEAL	<b>ENTRADA DEL BOSQUE</b>	DRAWN BY WCVJ
	<b>AMENDED GRADING AND DRAINAGE PLAN</b>	DATE 1-02-06
	<b>Rio Grande Engineering</b>	2318-GRB-12-21-03X
DAVID SOULE P.E. #14522	1006 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0988	SHEET # 1 OF 2
		JOB # 2518



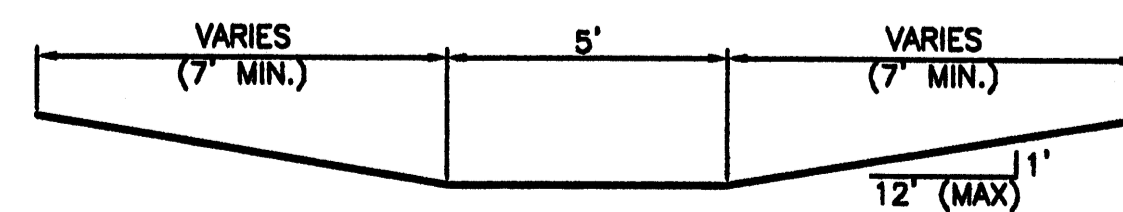
**TOWER, SAN YGNACIO PAVING SECTION (STANDARD CURB)**  
NTS



**RESIDENTIAL PAVING SECTION (STANDARD CURB)**  
NTS

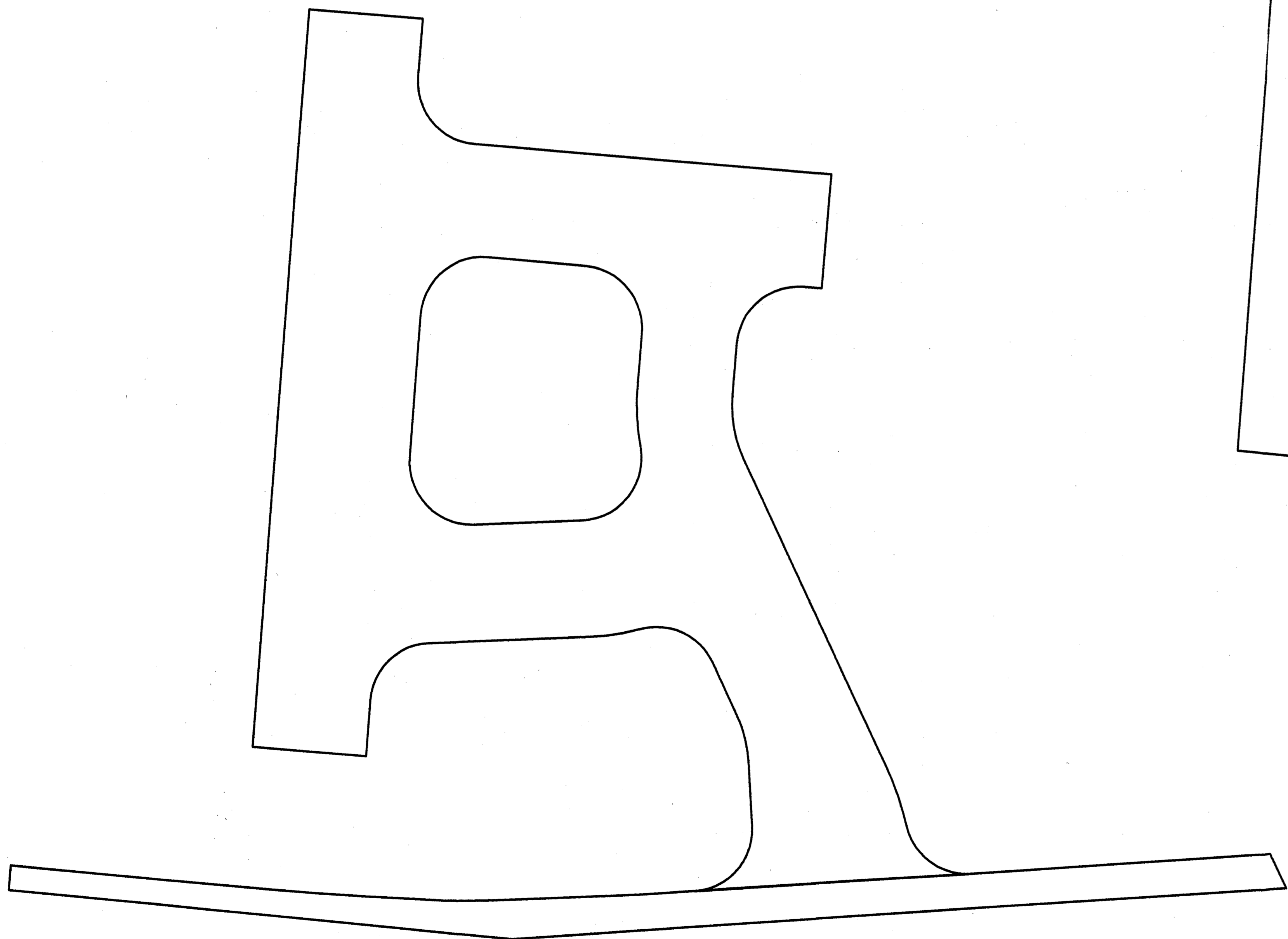


**WHEELCHAIR RAMP DETAIL (TYP.)**  
NTS

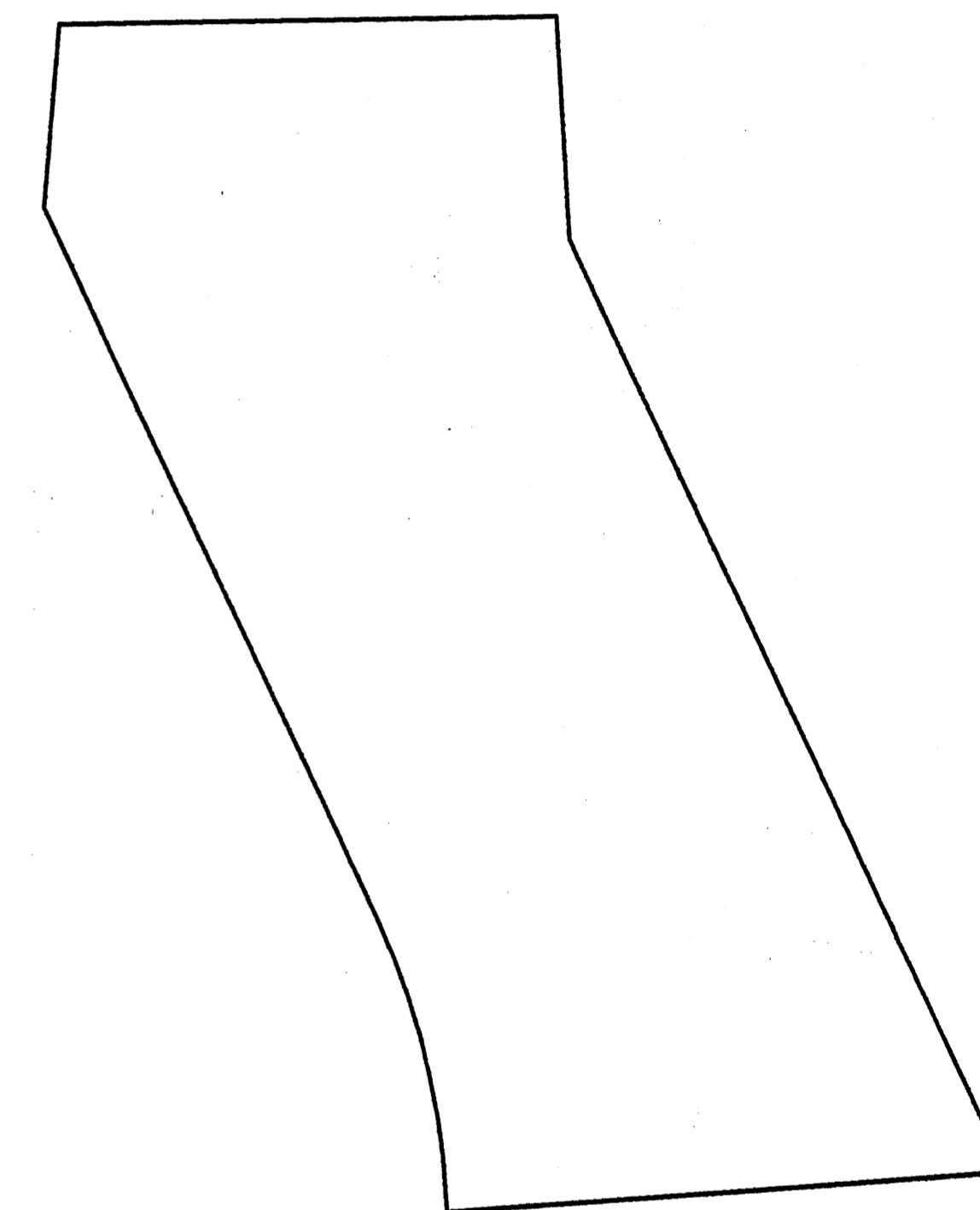
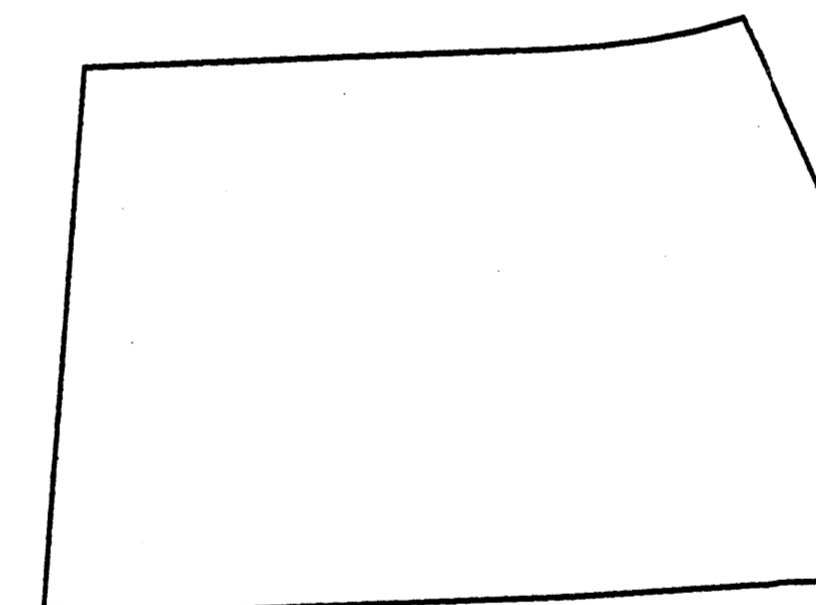
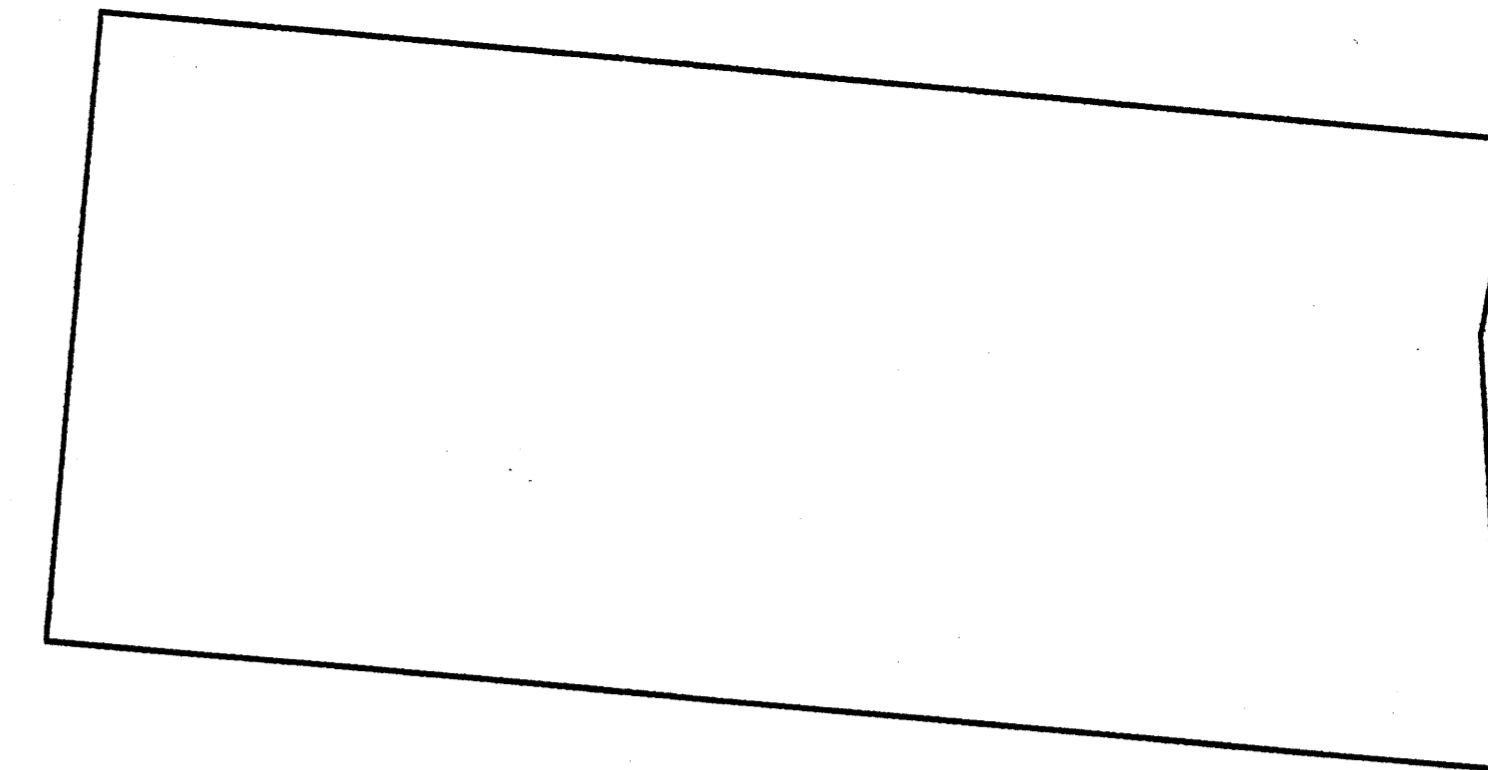
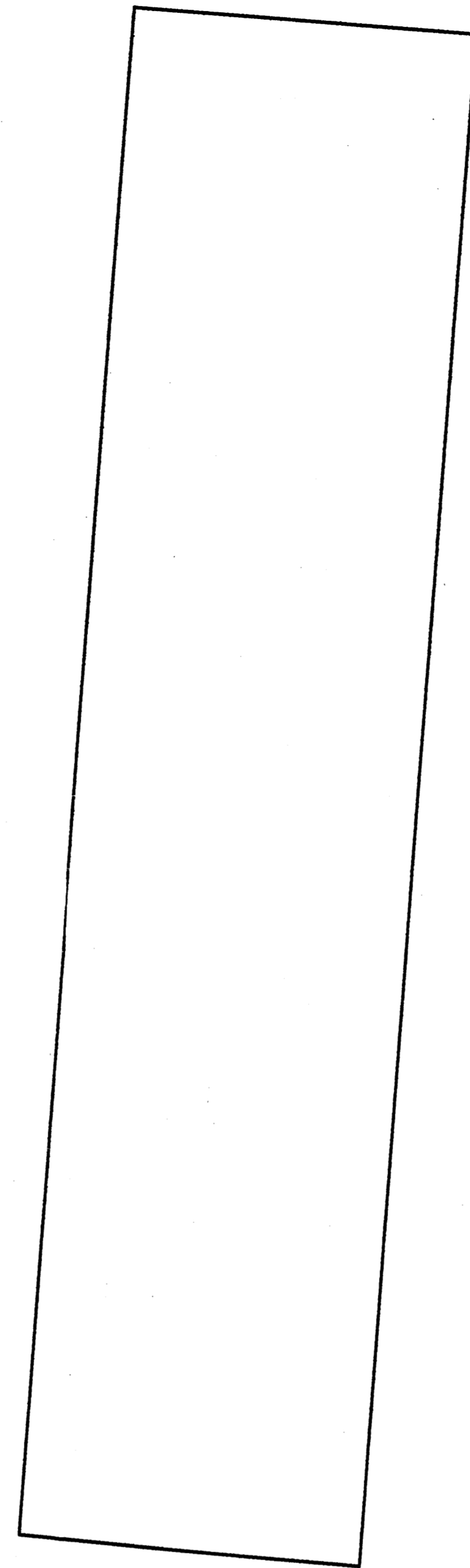


**SECTION D-D**  
NTS

	<b>ENTRADA DEL BOSQUE</b> <b>AMENDED GRADING AND DRAINAGE PLAN</b>	DRAWN BY WCWJ DATE 1-02-06 2518-GRB-12-21-05X
		SHEET # <b>2 OF 2</b>
DAVID SOULE P.E. #14522		JOB # 2518



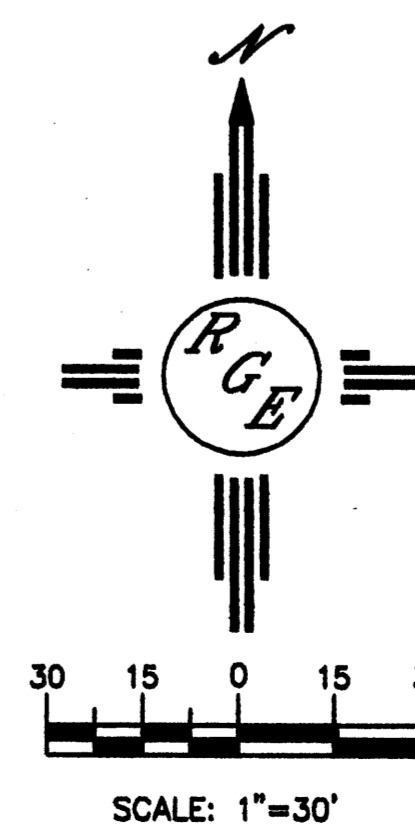
47' ROW AREA

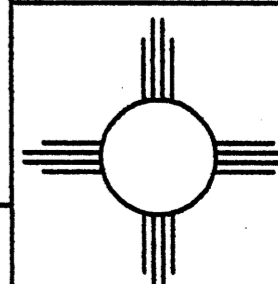


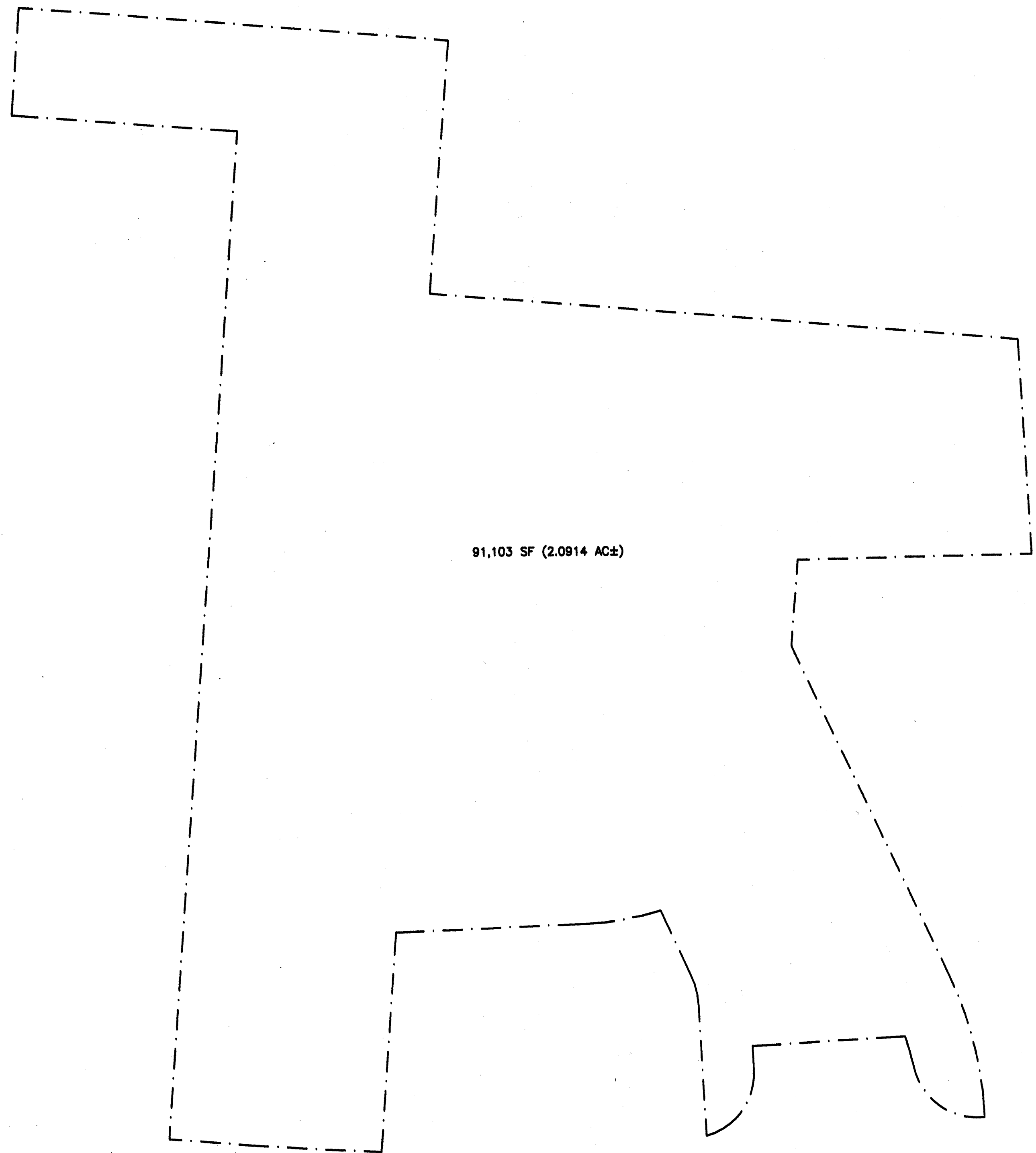
PROPOSED LOT AREA

**PCA DATA**

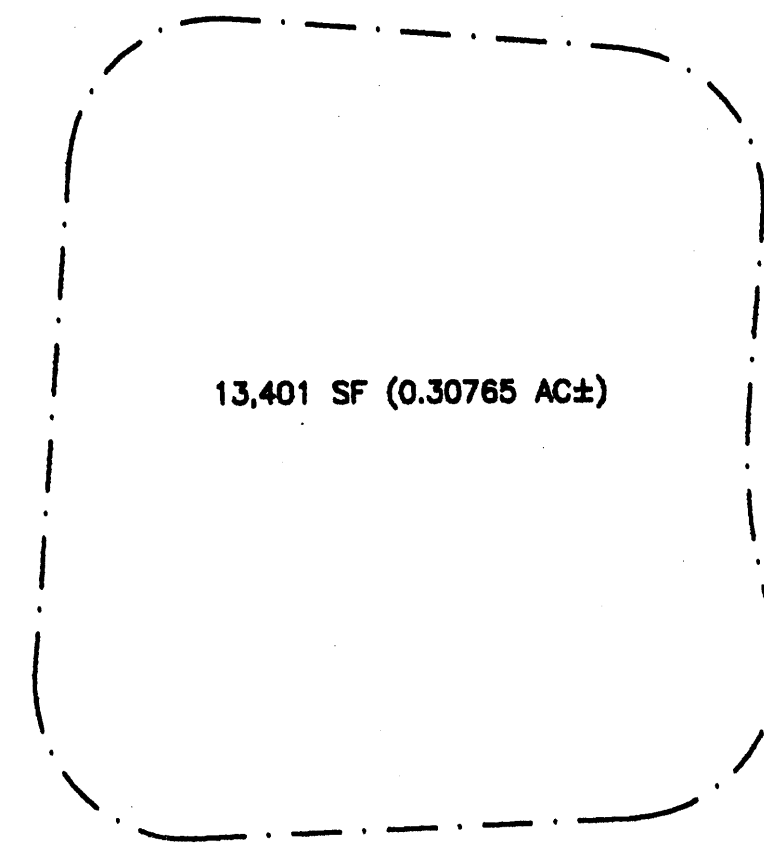
TOTAL SUBDIVISION AREA:	187,051 SF (4.2941 AC±)
47' ROW AREA:	47,614 SF (1.0930 AC±)
STRAIGHT ZONED NET LOT AREA:	139,437 SF (3.2010 AC±)
PROPOSED LOT AREA:	86,945 SF (1.9960 AC±)
LOT AREA REDUCTION:	52,492 SF (1.2051 AC±)
TRACT A (PCA) NET AREA:	56,275 SF (1.3022 AC±)



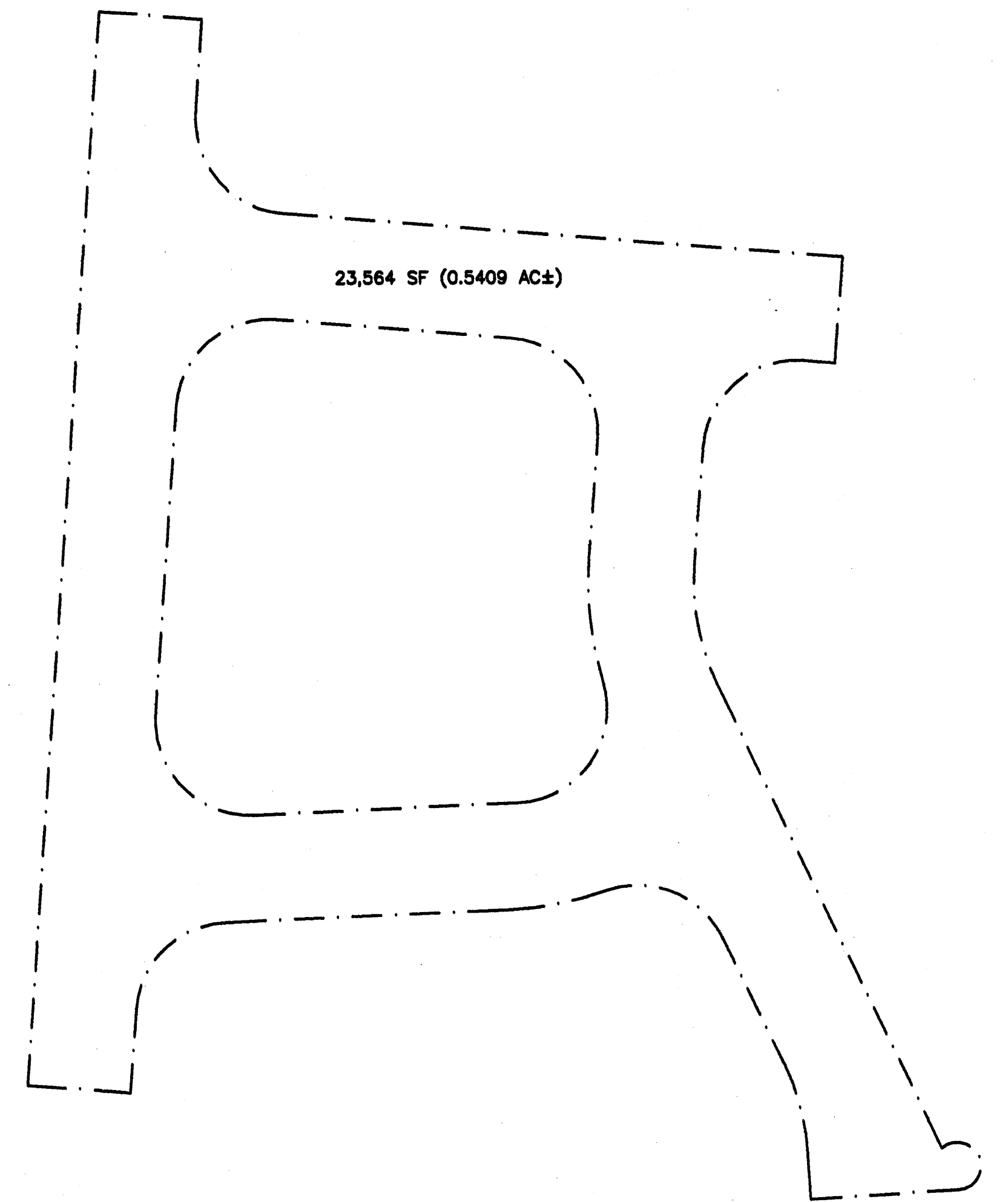
ENGINEER'S SEAL	ENTRADA DEL BOSQUE	DRAWN BY WCUJ
	PCA EXHIBIT	DATE 1-02-06
DAVID SOULE P.E. #14522	 <b>Rio Grande Engineering</b> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0889	2518-SP-12-21-05X
		SHEET # -
		JOB # 2518



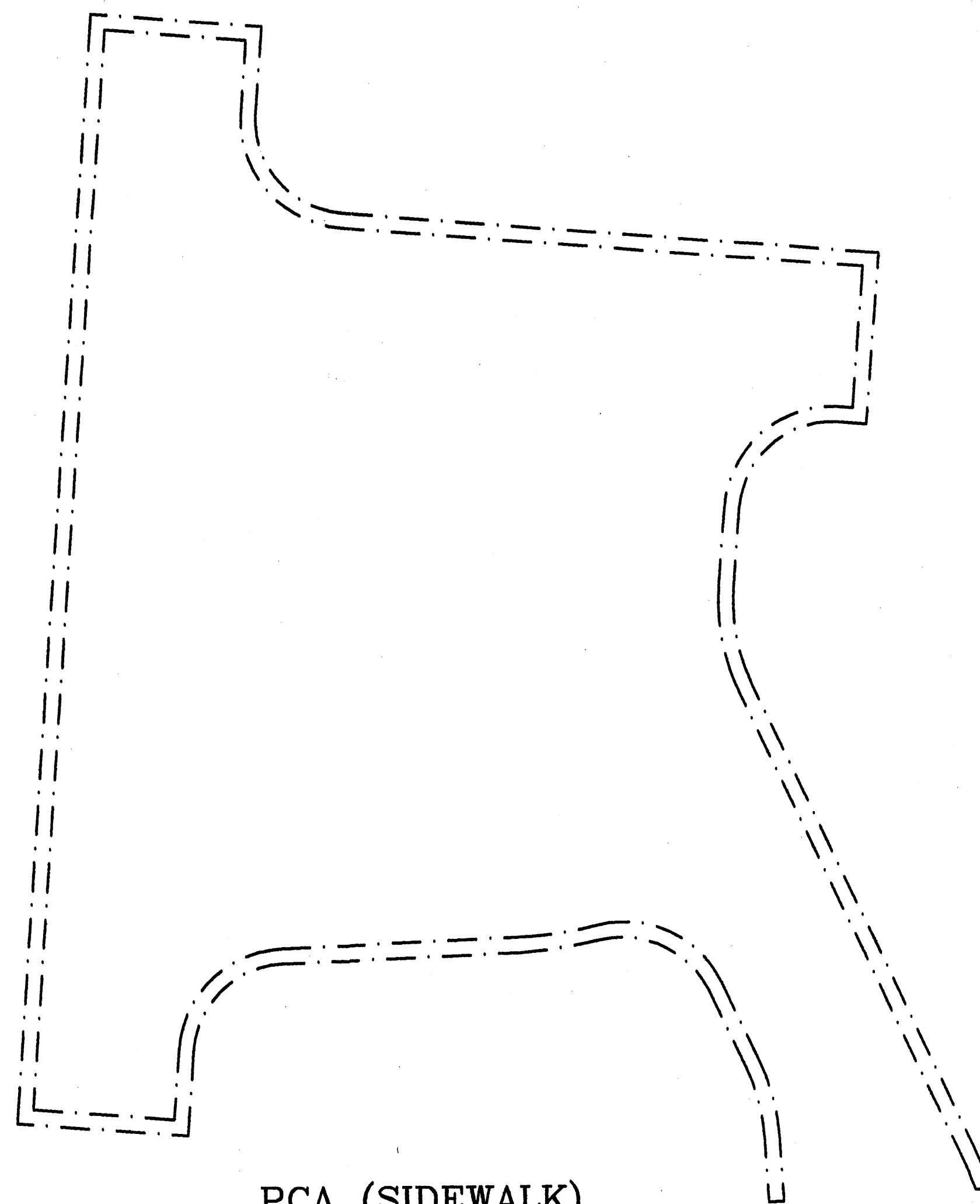
PCA (TRACT A OVERALL)



PCA (CENTRAL COMMON AREA)



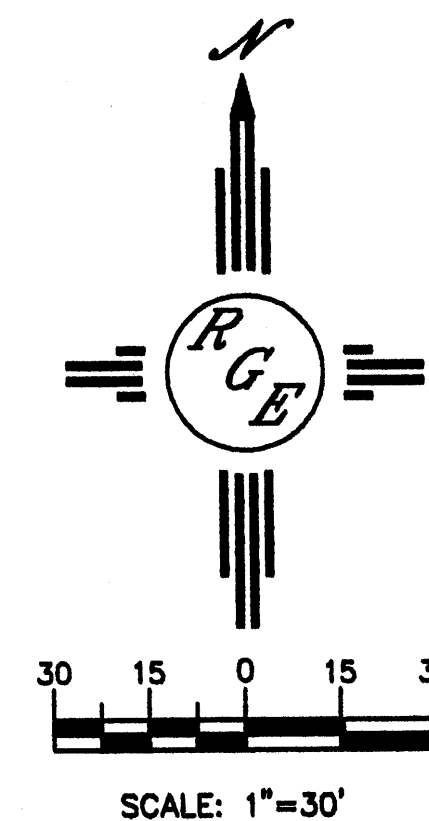
PCA (ROAD WAY)

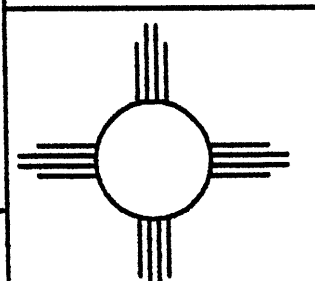


PCA (SIDEWALK)

PCA DATA

TRACT A (PCA) GROSS AREA:	91,103 SF (2.0914 AC±)
SIDEWALK AREA:	4,464 SF (0.1025 AC±)
ROADWAY AREA:	23,564 SF (0.5409 AC±)
DRIVEPAD AREA (17 LOTS X 400 SF):	6,800 SF (0.1561 AC±)
TRACT A (PCA) NET AREA:	56,275 SF (1.3022 AC±)



ENGINEER'S SEAL	ENTRADA DEL BOSQUE	DRAWN BY WCHJ
	PCA EXHIBIT	DATE 1-02-06
DAVID SOULE P.E. #14522	 <b>Rio Grande Engineering</b> 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	2518-SF-12-21-05X
		SHEET # -
		JOB # 2518