

VICINITY MAP No. G-16

LEGAL DESCRIPTION

LOTS NUMBERED ONE-P-ONE (1-P-1) AND THIRTEEN-P-ONE (13-P-1) OF THE PLAT OF TULANE TOWNHOUSES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 15, 2006 IN BOOK 2006C, PAGE 188

**PLAT OF
LOTS 1-A-P-1 AND 13-A-P-1
TULANE TOWNHOUSE**

WITHIN
SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2007

PROJECT NUMBER:	1004361
APPLICATION NUMBER:	07DRB-00493 07DRB-70097
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES	6-27-07 DATE
PNM GAS SERVICES	6-27-07 DATE
QUEST TELECOMMUNICATIONS	02/21/07 DATE
COMCAST	6-27-07 DATE
NEW MEXICO UTILITIES	7/17/07 DATE
CITY APPROVALS:	
CITY SURVEYOR	6-22-07 DATE
*REAL PROPERTY DIVISION (CONDITIONAL)	7-13-07 DATE
**ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	7/17/07 DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	7-11-07 DATE
RECREATION DEVELOPMENT & RECREATION DEPARTMENT	7-11-07 DATE
AMAFCA	7/11/07 DATE
CITY ENGINEER	7/11/07 DATE
LEGAL DEPARTMENT	7/12/07 DATE
MUNICIPAL AFFAIRS	7/17/07 DATE
PLANNING / DRG CHAIR	7/12/07 DATE

N.T.S.

5' PUBLIC ROADWAY EASEMENT (GRANTED BY THIS PLAT)

TULANE DRIVE N.E.
55'-60' R/W

5' PUBLIC ROADWAY EASEMENT (GRANTED BY THIS PLAT)

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Vonda Cheshire, Mr. River Horse Invest
DATE: 6/21/2007

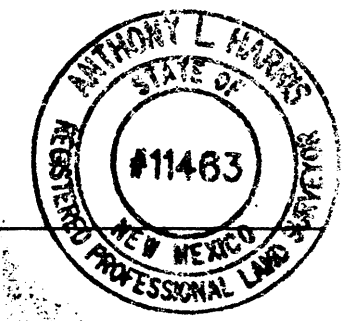
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 21st DAY OF June 20 07

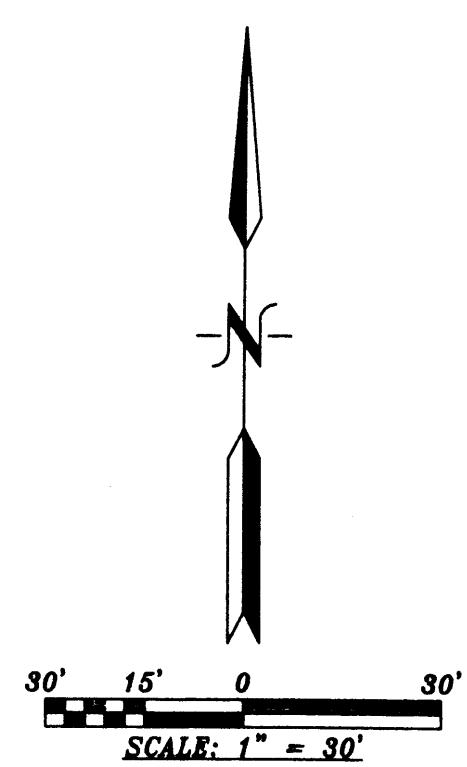
BY: *Vonda Cheshire*
OWNERS NAME
MY COMMISSION EXPIRES: 4-19-09 BY: *Dorothy L. Jellison*
NOTARY PUBLIC

OFFICIAL SEAL
DOROTHY L. JELLISON
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: 4-19-09

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 15th DAY OF June 2007.
Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463



W.E.S. HARRIS SURVEYING, INC.
2412-D MONROE STREET N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8645



PURPOSE OF PLAT:
THE PURPOSE OF THIS PLAT IS TO SHOW THE PORTION OF VACATED TULANE DRIVE N.E. AND NAME THE 30 FOOT PUBLIC ALLEY AS LANGDON ST. N.E. AND GRANT ANY EASEMENTS AS SHOWN.

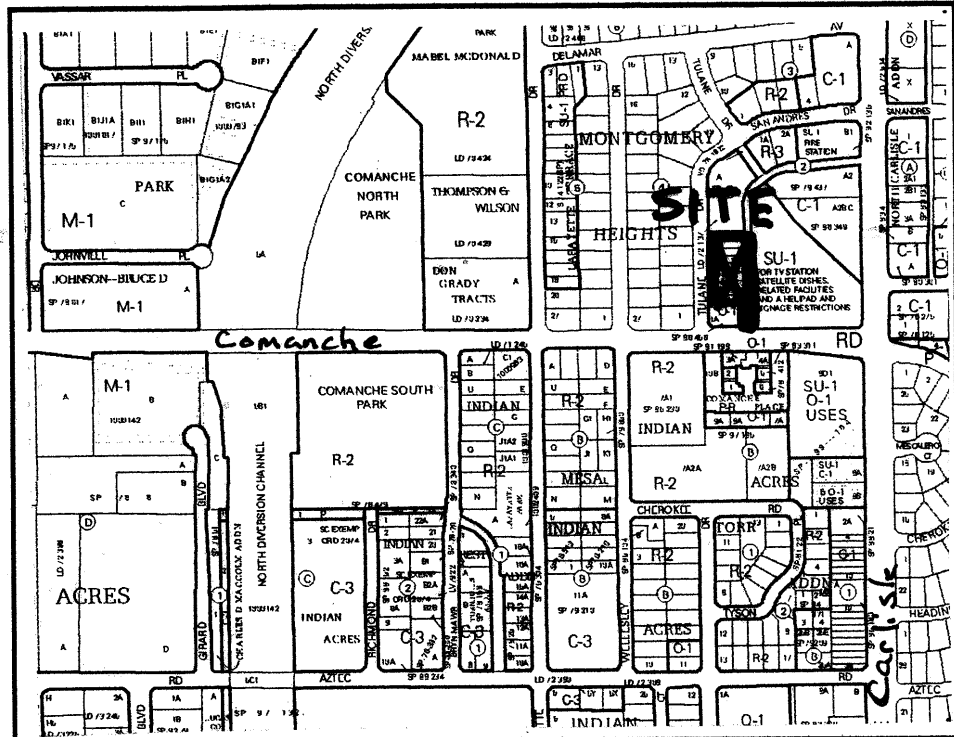
- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 0.1463 ACRES.
 - TALOS LOG NO. 2007611379
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: JUNE, 2007
 - CURRENT ZONING:

ACS STATION "NDC 16-16"
X=1,500,518.28
Y=391,757.41
GRD TO GRID=0.99966901
Δκ = 00' 12' 30"
CENTRAL ZONE, NAD 1927

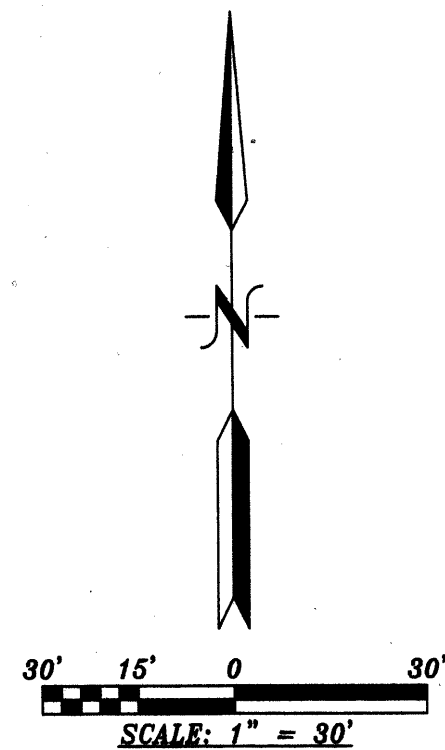
BORDENAVE PLAT.DWG (JUNE, 2007)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UP. *A parcel attached to this Certificate*
PROPERTY OWNER OF RECORD: *River Horse Invest*
BERNALILLO CO. TREASURER'S OFFICE: *mchewiwi*
7-17-07

7-17-07



VICINITY MAP No. G-16



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO SHOW THE PORTION OF VACATED TULANE DRIVE N.E. AND NAME THE 30 FOOT PUBLIC ALLEY AS LANGDON ST. N.E. AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 0.1463 ACRES.
- TALOS LOG NO. 2007611379
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: JUNE, 2007
- CURRENT ZONING: _____

ACS STATION "NDC 16-16"
 X=1,500,518.28
 Y=391,757.41
 GRD TO GRID=0.99966901
 Δα = -00° 12' 30"
 CENTRAL ZONE, NAD 1927

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

Vonda Cheshire, Mr. Rocco Vorse
 DATE 6/1/2007

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 21st DAY OF June, 2007

BY: *Vonda Cheshire*
 OWNERS NAME

MY COMMISSION EXPIRES: 4-19-09 BY: *Dorothy L. Jellison*
 NOTARY PUBLIC

LEGAL DESCRIPTION

LOTS NUMBERED ONE-P-ONE (1-P-1) AND THIRTEEN-P-ONE (13-P-1) OF THE PLAT OF TULANE TOWNHOUSES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 15, 2006 IN BOOK 2006C, PAGE 188

N.T.S.

5' PUBLIC ROADWAY EASEMENT (GRANTED BY THIS PLAT)

15' PRIVATE SAS LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

20' PUBLIC WATER LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

10' P.N.M. GAS ESMT. FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

20' PUBLIC WATER LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

15' PRIVATE SAS LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

5' PUBLIC ROADWAY EASEMENT (GRANTED BY THIS PLAT)

TIE TO ACS "NDC16-16" S87°28'43"E, 1872.72'

LOT 6, BLOCK 1 MONTGOMERY HEIGHTS FILED: JUNE 5, 1952 VOLUME D1, FOLIO 54

5' P.N.M. ESMT. (FILED 6/22/89, DOC. NO. 1989054293)

5' PRIVATE PEDESTRIAN ACCESS & DRAINAGE EASEMENT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

11-P-1

10-P-1

9-P-1

8-P-1

7-P-1

6-P-1

5-P-1

4-P-1

3-P-1

2-P-1

1-A-P-1

13-A-P-1

LOT 1-A, BLOCK 1 MONTGOMERY HEIGHTS FILED: DECEMBER 16, 1986 VOLUME C32, FOLIO 90

7' P.U.E. CREATED BY FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

5' UTILITY ESMT. (FILED 06/27/52 IN BK D210-PG 435)

5' PRIVATE PEDESTRIAN ACCESS & DRAINAGE ESMT CREATED BY THIS PLAT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

10' PUBLIC WATER LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

10' PUBLIC WATER LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

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10' PUBLIC WATER LINE ESMT FILED: JUNE 15, 2006 BOOK 2006C, PAGE 188

TULANE DRIVE N.E. 55'-60' R/W

LANGDON STREET 30' R/W

COMANCHE BOULEVARD N.E. 84' R/W

**PLAT OF
 LOTS 1-A-P-1 AND 13-A-P-1
 TULANE TOWNHOUSE**

WITHIN
 SECTION 3, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2007

PROJECT NUMBER: 1004361

APPLICATION NUMBER: 07DRB-00493

UTILITY APPROVALS:

PNM ELECTRIC SERVICES *Leah G. Martin* 6-27-07 DATE
 PNM GAS SERVICES *Leah G. Martin* 6-27-07 DATE
 QWEST TELECOMMUNICATIONS *Omair Zamil* 02/2/07 DATE
 COMCAST *Tommy Brown* 6-27-07 DATE
 NIA
 NEW MEXICO UTILITIES

PRELIMINARY PLAT APPROVED BY DRB ON 7/11/07

CITY APPROVALS:

CITY SURVEYOR *W. B. Gal* 6-22-07 DATE
 REAL PROPERTY DIVISION (CONDITIONAL) DATE
 NIA
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
 UTILITIES DEVELOPMENT DATE
 PARKS AND RECREATION DEPARTMENT DATE
 AMAFCA DATE
 CITY ENGINEER DATE
 LEGAL DEPARTMENT DATE
 MUNICIPAL AFFAIRS DATE
 PLANNING DATE

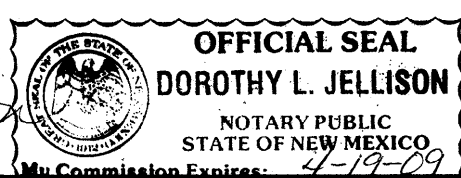
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) S.S.

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 15th DAY OF June, 2007.

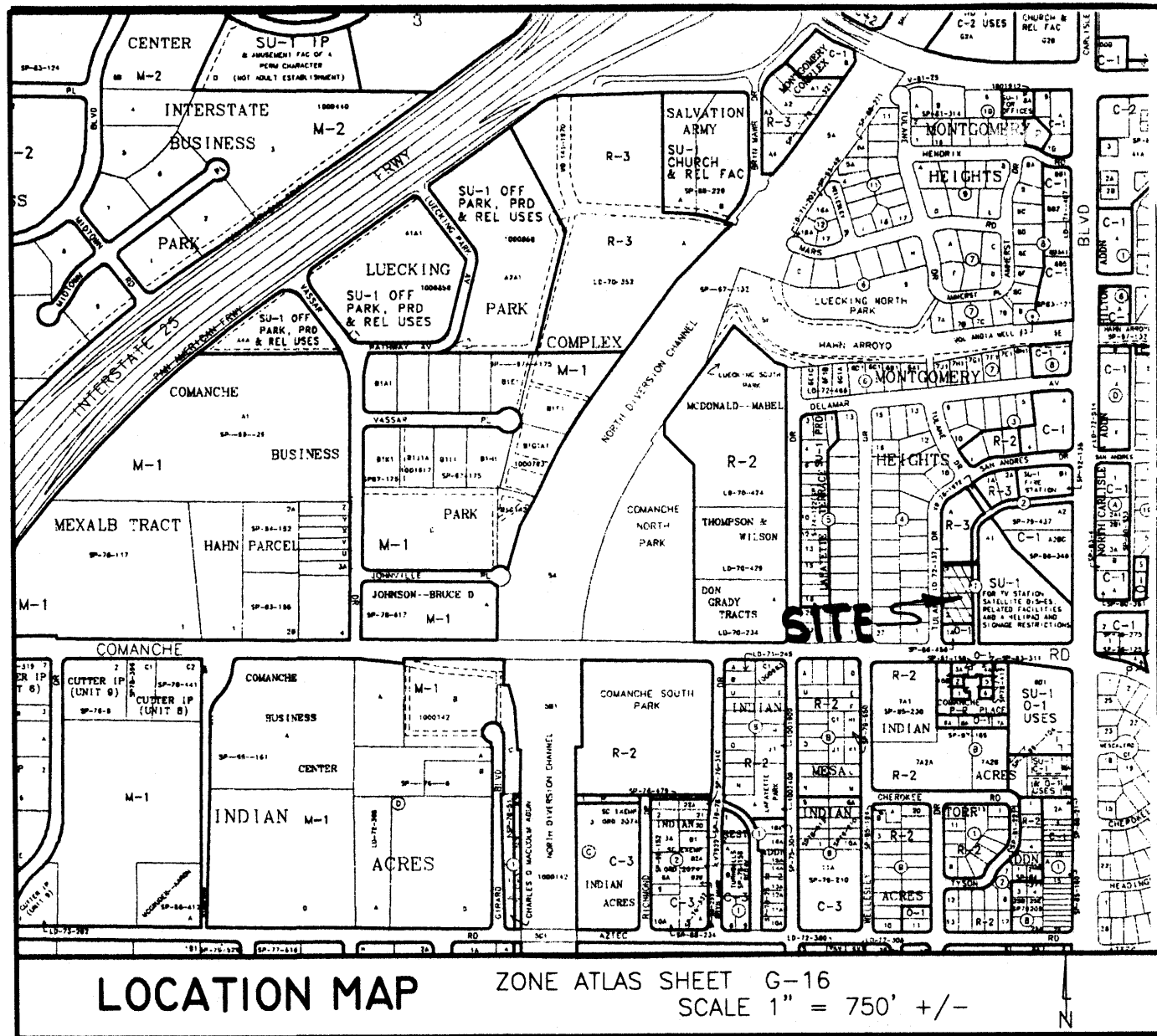
Anthony L. Harris
 ANTHONY L. HARRIS, P.S. # 11463



HARRIS SURVEYING, INC. PHONE: (505) 889-8056
 4112-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8645

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

**PLAT OF
TULANE TOWNHOUSES
ALBUQUERQUE, NEW MEXICO
MARCH, 2006**



LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN SECTION 3, T10N, R3E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID TRACT BEING THE SAME AS LOTS 2, 3, 4 AND 5, BLOCK 1, MONTGOMERY HEIGHTS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 05, 1952 IN BK. D1, PG. 54 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE (CENTRAL ZONE) BEARINGS AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, FROM WHENCE THE ACS MONUMENT ACS 7-G17 BEARS S76°26'45"E A DISTANCE OF 528.89 FEET; THENCE,

N00°24'44"E, 280.00 FEET TO A POINT; THENCE,
S89°35'16"E, 140.00 FEET TO A POINT; THENCE,
S00°24'44"W, 280.00 FEET TO A POINT; THENCE,
N89°35'16"W, 140.00 FEET TO A POINT, SAID
POINT BEING THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.8999 ACRES MORE OR LESS.

APPROVALS

PROJECT NO: 1004361 APPLICATION NO: 06DRB-00307

	3/7/06
CITY SURVEYOR	DATE
	3/15/06
PARKS AND RECREATION DEPARTMENT	DATE
	3/15/06
CITY ENGINEER	DATE
	3-15-06
A.M.A.E.C.A.	DATE
	3-15-06
UTILITIES DEVELOPMENT	DATE
	6/14/06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

NOTES

1. MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0 MILES.
2. CURRENT SUBDIVISION ZONING OF ALL LOTS IS R-3
3. TOTAL NUMBER OF TRACTS CREATED - 14
4. BASIS OF BEARINGS
(MONUMENT DATA SHOWN IS NEW MEXICO STATE PLANE CENTRAL ZONE.)
ACS 7-G17 (NAD 1927 & NGVD 1929)
X = 394286.72 DELTA ALPHA - 00°12' 12"
Y = 1500475.69 GROUND TO GRID
ELEVATION = 5123.018 FACTOR - 0.9996678
ACS 6-G17 (NAD 1927 & NGVD 1929)
X = 394300.29 DELTA ALPHA - 00°12' 12"
Y = 1499148.11 GROUND TO GRID
ELEVATION = 5136.46 FACTOR - 0.9996671
NGS KOAT TVTT (NAD 1927)
X = 440206.79 DELTA ALPHA - 00°06'56"
Y = 1533471.33 GROUND TO GRID
ELEVATION = NA FACTOR -
5. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
6. ALL BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE) GRID BEARINGS BASED ON THE BEARING FROM ACS "7-G17" TO ACS "6-G17" OF S00°35'08"E.
7. ALL LOT CORNERS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE.
8. STREET CENTERLINE MONUMENTATION IS INSTALLED IN STREET AND IS SHOWN THUS "⊙" ON THIS PLAT. MONUMENTS ARE 4" ALUMINUM DISKS STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, DO NOT DISTURB, LS5110".

TALOS LOG NO. 2006100629

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS COMBINE FOUR EXISTING LOTS; SUBDIVIDE THEM INTO 13 LOTS AND GRANT PUBLIC AND PRIVATE EASEMENTS.

FREE CONSENT AND DEDICATION

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY:

WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE, IN FEE SIMPLE, TO THE LAND SUBDIVIDED.

GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SANITARY SEWER, ACCESS AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT;

ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;

DESIGNATE LOT 14 AS A 'COMMON AREA' AND STATE THAT MAINTENANCE OF THIS 'COMMON AREA' IS THE RESPONSIBILITY OF THE 'HOMEOWNERS ASSOCIATION'. THIS 'COMMON AREA' IS NOT DEDICATED TO ANY MUNICIPALITY OR TO THE GENERAL PUBLIC FOR ANY PURPOSE BUT IS SUBJECT TO EASEMENTS GRANTED BY THIS FREE CONSENT AND DEDICATION OF THE OWNERS; AND

STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

NO LAND SHOWN ON THIS PLAT IS DEDICATED FOR PUBLIC USE OR FOR THE USE OF OWNERS OF PARCELS FRONTING OR ADJACENT TO THE LAND SHOWN ON THIS PLAT.

RIVERHORSE-INVESTMENTS, A LIMITED PARTNERSHIP

VONDA C. CHESHIRE, PRESIDENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 3/13/06 BY Vonda C. Cheshire, PRESIDENT OF RIVERHORSE INVESTMENTS, A LIMITED PARTNERSHIP.

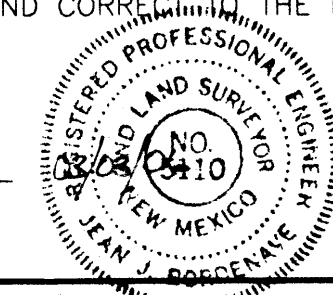
NOTARY PUBLIC:
MY COMMISSION EXPIRES: 10/2006



SURVEYOR'S CERTIFICATION

I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE REQUIREMENTS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS OF RECORD AND/OR KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JEAN J. BORDENAVE, NMPE&LS NO. 5110



TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 10106046830210317, 10106046830210318, 10106046830210319, PROPERTY OWNER OF RECORD: 10106046830210320

RIVERHORSE INVESTMENTS, L.P.
BERNALILLO COUNTY TREASURER'S OFFICE:

6/16/06

PUBLIC UTILITY EASEMENTS

	6-12-06
QWEST COMMUNICATIONS	DATE
	6-2-06
PNM ELECTRIC SERVICES	DATE
	6-2-06
PNM GAS SERVICES	DATE
	6-9-06
COMCAST CABLE	DATE

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
3. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

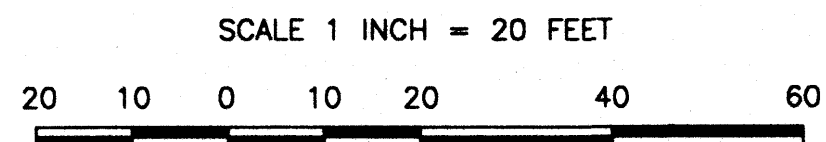
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED ON OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF THE NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO OR WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

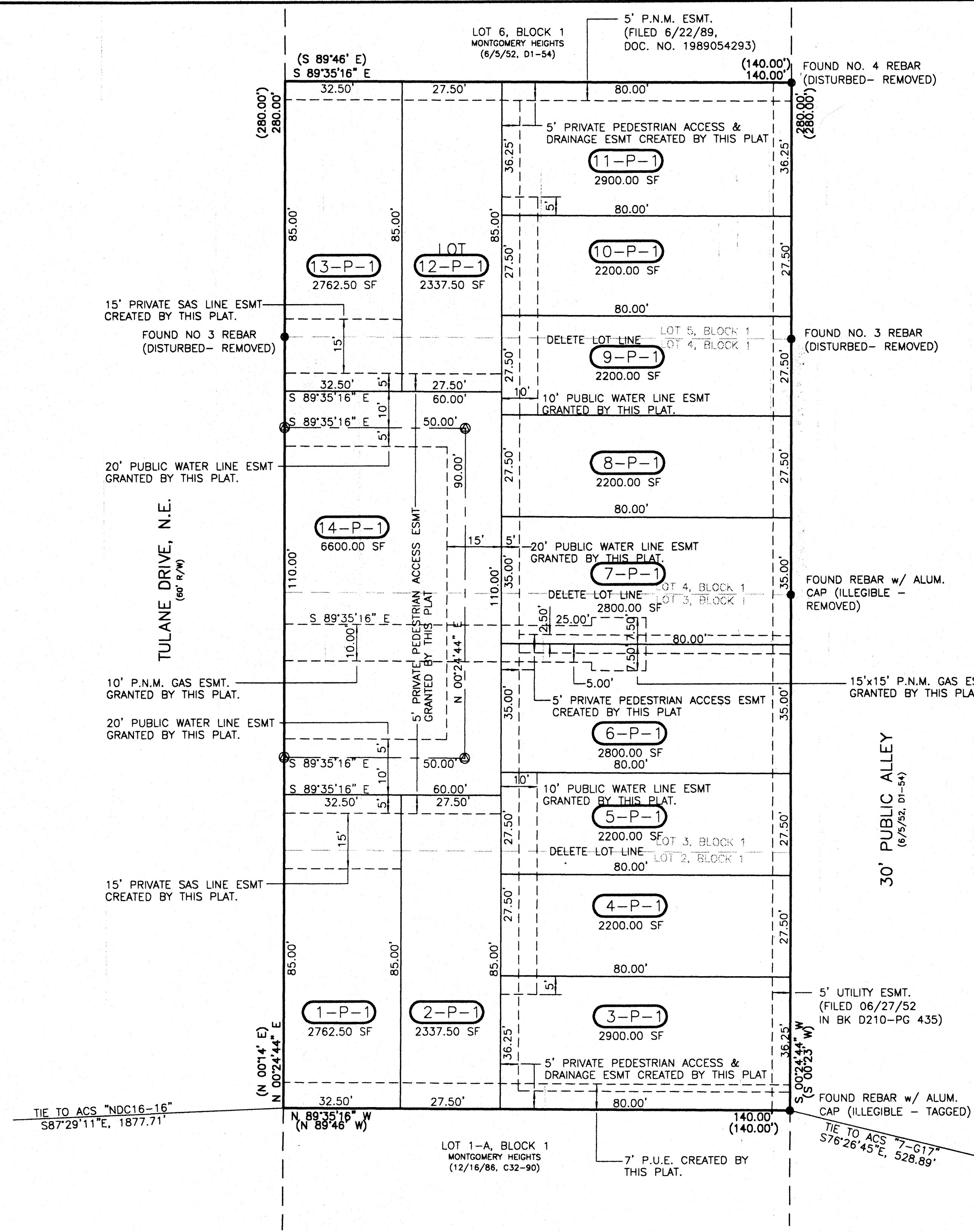
PLAT OF
TULANE TOWNHOUSES
 ALBUQUERQUE, NEW MEXICO
 MARCH, 2006

NOTES

- MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0 MILES.
- CURRENT SUBDIVISION ZONING OF ALL LOTS IS R-3
- TOTAL NUMBER OF TRACTS CREATED - 14
- BASIS OF BEARINGS
 (MONUMENT DATA SHOWN IS NEW MEXICO STATE PLANE CENTRAL ZONE.)
 ACS 7-G17 (NAD 1927 & NGVD 1929)
 X = 394286.72 DELTA ALPHA - 00°12' 12"
 Y = 1500475.69 GROUND TO GRID
 ELEVATION = 5123.018 FACTOR - 0.9996678
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 Y = 1533471.33 GROUND TO GRID
 ELEVATION = NA FACTOR -
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES. RECORD BEARING AND DISTANCE DATA IS SHOWN IN ().
- ALL BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE) GRID BEARINGS BASED ON THE BEARING FROM ACS "7-G17" TO ACS "6-G17" OF S00°35'08"E.
- ALL LOT CORNERS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE.
- CENTERLINE MONUMENTATION IS INSTALLED IN PRIVATE STREET AND IS SHOWN THUS "⊙" ON THIS PLAT. MONUMENTS ARE 4" ALUMINUM DISKS STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, DO NOT DISTURB, LS5110".
- PRIVATE SAS LINE EASEMENTS ARE CREATED ON LOTS 1 AND 13 FOR THE BENEFIT OF LOTS 2 AND 12 RESPECTIVELY. MAINTENANCE OF SAS FACILITIES WITHIN THESE EASEMENTS IS THE RESPONSIBILITY OF THE BENEFITING PARTY.
- PRIVATE PEDESTRIAN EASEMENTS (AS SHOWN) CREATED ON LOTS 1 THRU 13 ARE FOR THE BENEFIT OF LOTS 1 THRU 13. SIDEWALKS WITHIN THE PRIVATE PEDESTRIAN EASEMENTS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- LOT 14 IS DESIGNATED A 'COMMON AREA' AND MAINTENANCE OF PRIVATE FACILITIES WITHIN THE 'COMMON AREA' IS THE RESPONSIBILITY OF THE 'HOME OWNERS ASSOCIATION'.

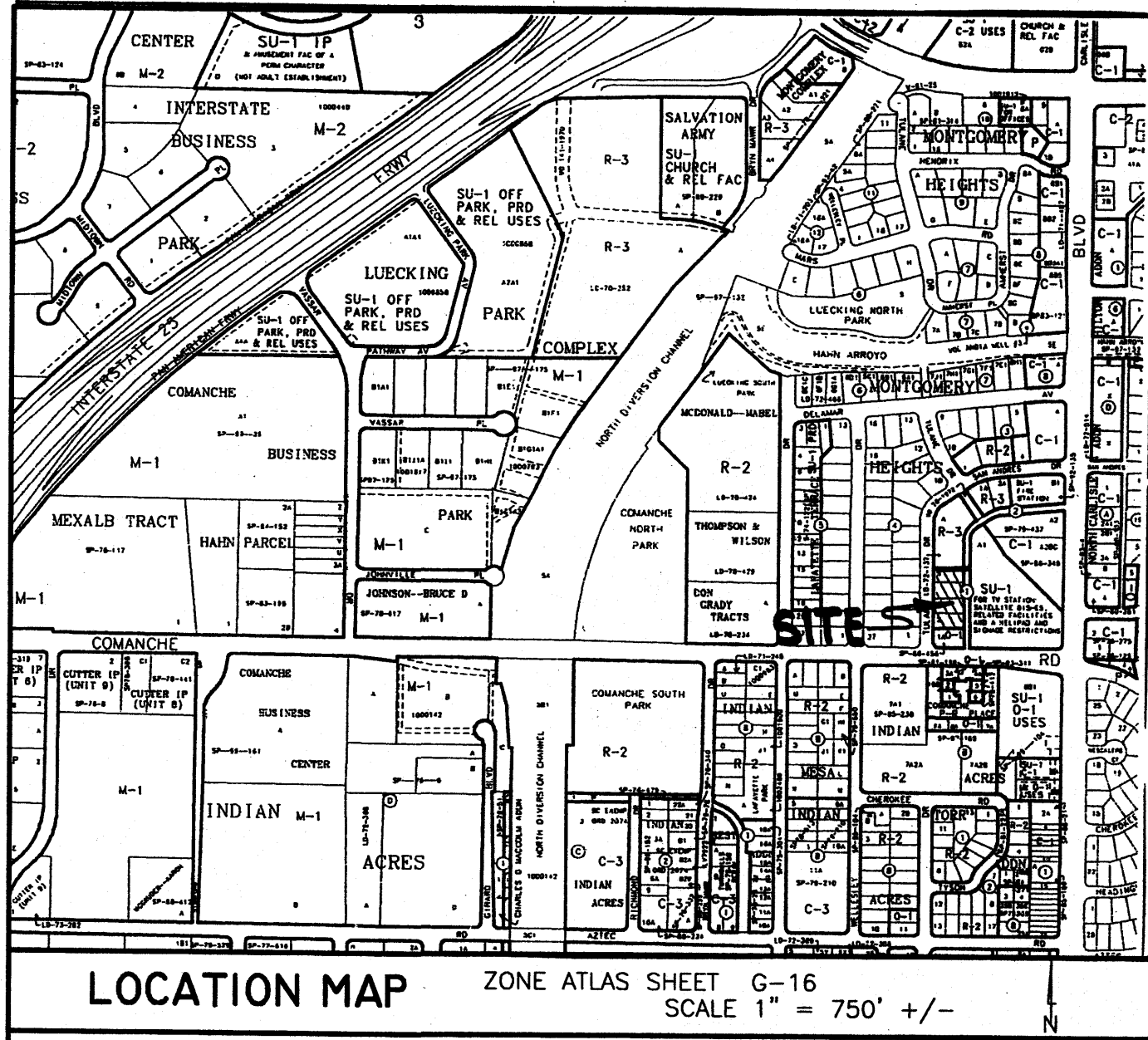


BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105



PLAT OF TULANE TOWNHOUSES

ALBUQUERQUE, NEW MEXICO
MARCH, 2006



LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN SECTION 3, T10N, R3E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID TRACT BEING THE SAME AS LOTS 2, 3, 4 AND 5, BLOCK 1, MONTGOMERY HEIGHTS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 05, 1952 IN BK. D1, PG. 54 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE (CENTRAL ZONE) BEARINGS AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, FROM WHENCE THE ACS MONUMENT ACS 7-G17 BEARS S76°26'45"E A DISTANCE OF 528.89 FEET; THENCE,

N00°24'44"E, 280.00 FEET TO A POINT; THENCE,
S89°35'16"E, 140.00 FEET TO A POINT; THENCE,
S00°24'44"W, 280.00 FEET TO A POINT; THENCE,
N89°35'16"W, 140.00 FEET TO A POINT, SAID
POINT BEING THE POINT OF BEGINNING.

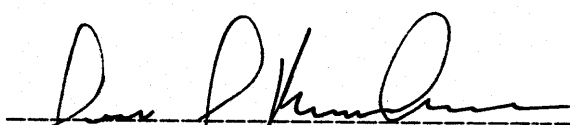
SAID TRACT CONTAINS 0.8999 ACRES MORE OR LESS.

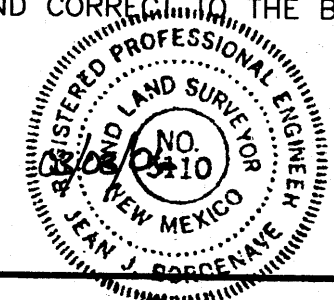
NOTES

1. MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0 MILES.
2. CURRENT SUBDIVISION ZONING OF ALL LOTS IS R-3
3. TOTAL NUMBER OF TRACTS CREATED - 14
4. BASIS OF BEARINGS
(MONUMENT DATA SHOWN IS NEW MEXICO STATE PLANE CENTRAL ZONE.)
ACS 7-G17 (NAD 1927 & NGVD 1929)
X = 394286.72 DELTA ALPHA - 00°12' 12"
Y = 1500475.69 GROUND TO GRID
ELEVATION = 5123.018 FACTOR - 0.9996678
ACS 6-G17 (NAD 1927 & NGVD 1929)
X = 394300.29 DELTA ALPHA - 00°12' 12"
Y = 1499148.11 GROUND TO GRID
ELEVATION = 5136.46 FACTOR - 0.9996671
NGS KOAT TVTT (NAD 1927)
X = 440206.79 DELTA ALPHA - 00°06'56"
Y = 1533471.33 GROUND TO GRID
ELEVATION = NA FACTOR -
5. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
6. ALL BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE) GRID BEARINGS BASED ON THE BEARING FROM ACS "7-G17" TO ACS "6-G17" OF S00°35'08"E.
7. ALL LOT CORNERS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE.
8. STREET CENTERLINE MONUMENTATION IS INSTALLED IN STREET AND IS SHOWN THUS "⊙" ON THIS PLAT. MONUMENTS ARE 4" ALUMINUM DISKS STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, DO NOT DISTURB, LS5110".

SURVEYOR'S CERTIFICATION


I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE REQUIREMENTS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS OF RECORD AND/OR KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.


JEAN J. BORDENAVE, NMPE&LS NO. 5110



APPROVALS 1004361

PROJECT NO: ~~1004631~~ APPLICATION NO: 06DRB-

 3/7/06
CITY SURVEYOR DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

A.M.A.F.C.A. DATE

UTILITIES DEVELOPMENT DATE

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

TALOS LOG NO. 2006100629

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS COMBINE FOUR EXISTING LOTS; SUBDIVIDE THEM INTO 13 LOTS AND GRANT PUBLIC AND PRIVATE EASEMENTS.

FREE CONSENT AND DEDICATION

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY:

WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE, IN FEE SIMPLE, TO THE LAND SUBDIVIDED.

GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SANITARY SEWER, ACCESS AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT;

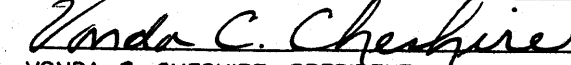
ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;

DESIGNATE LOT 14 AS A 'COMMON AREA' AND STATE THAT MAINTENANCE OF THIS 'COMMON AREA' IS THE RESPONSIBILITY OF THE 'HOMEOWNERS ASSOCIATION'. THIS 'COMMON AREA' IS NOT DEDICATED TO ANY MUNICIPALITY OR TO THE GENERAL PUBLIC FOR ANY PURPOSE BUT IS SUBJECT TO EASEMENTS GRANTED BY THIS FREE CONSENT AND DEDICATION OF THE OWNERS; AND

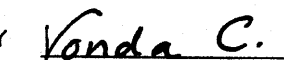
STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

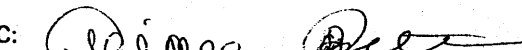
NO LAND SHOWN ON THIS PLAT IS DEDICATED FOR PUBLIC USE OR FOR THE USE OF OWNERS OF PARCELS FRONTING OR ADJACENT TO THE LAND SHOWN ON THIS PLAT.

RIVERHORSE INVESTMENTS, A LIMITED PARTNERSHIP



VONDA C. CHESHIRE, PRESIDENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS

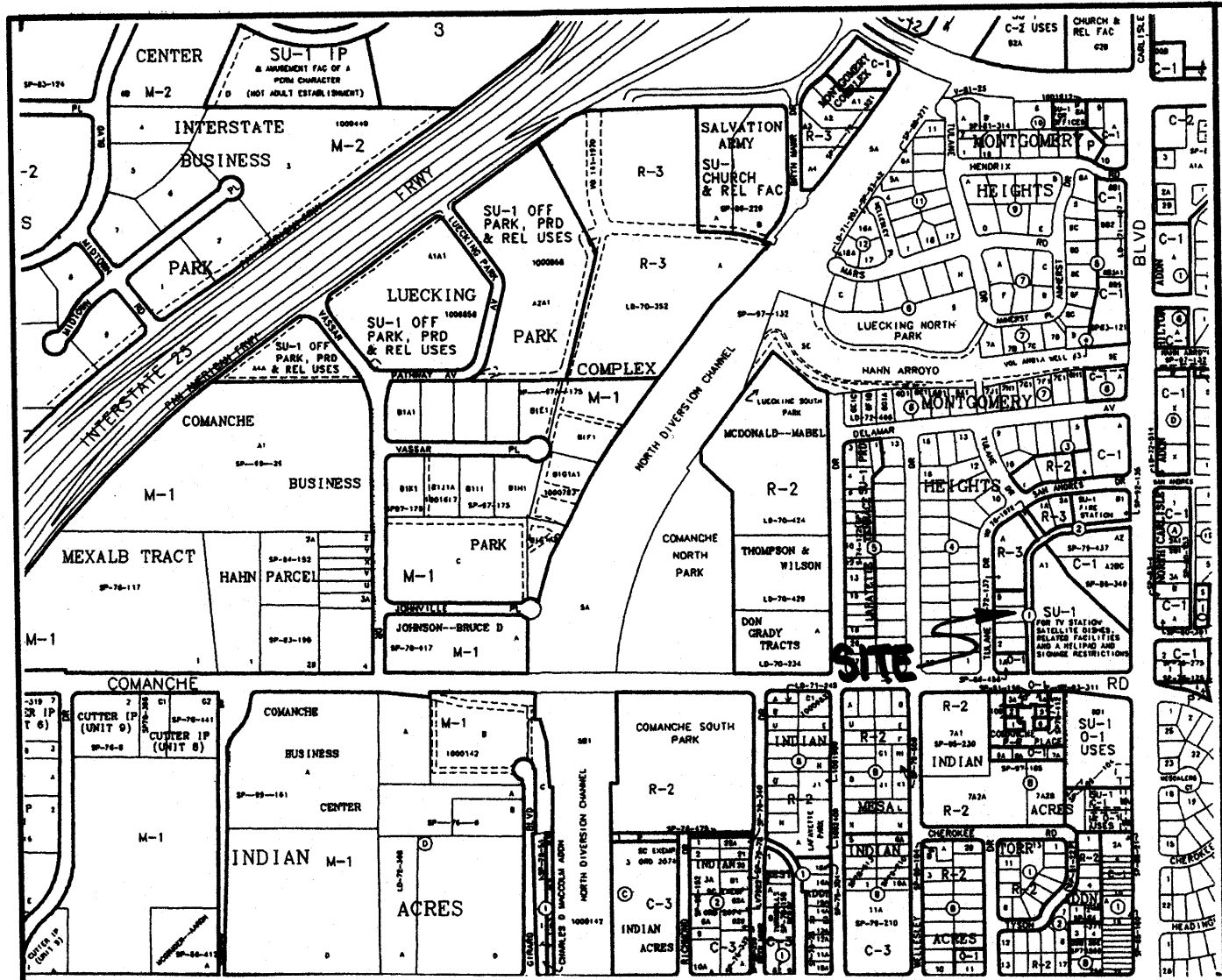
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 3/3/06 BY  Vonda C. Cheshire, PRESIDENT OF RIVERHORSE INVESTMENTS, A LIMITED PARTNERSHIP.

NOTARY PUBLIC: 

MY COMMISSION EXPIRES: 10-20-06

 BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

**PRELIMINARY PLAT OF
TULANE TOWNHOUSES
ALBUQUERQUE, NEW MEXICO
JANUARY, 2006**



LOCATION MAP ZONE ATLAS SHEET G-16
SCALE 1" = 750' +/-

LEGAL DESCRIPTION

A TRACT OF LAND SITUATED IN SECTION 3, T10N, R3E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; SAID TRACT BEING THE SAME AS LOTS 2, 3, 4 AND 5, BLOCK 1, MONTGOMERY HEIGHTS, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 05, 1952 IN BK. D1, PG. 54 AND MORE PARTICULARLY DESCRIBED USING NEW MEXICO STATE PLANE (CENTRAL ZONE) BEARINGS AND HORIZONTAL GROUND DISTANCES AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, FROM WHENCE THE ACS MONUMENT ACS 7-G17 BEARS S79°12'16"E A DISTANCE OF 665.83 FEET; THENCE,

N00°23'04"E, 280.00 FEET TO A POINT; THENCE,
S89°36'56"E, 140.00 FEET TO A POINT; THENCE,
S00°23'04"W, 280.00 FEET TO A POINT; THENCE,
N89°36'56"W, 140.00 FEET TO A POINT, SAID
POINT BEING THE POINT OF BEGINNING.

SAID TRACT CONTAINS 0.8999 ACRES MORE OR LESS.

NOTES

1. MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0 MILES.
2. CURRENT SUBDIVISION ZONING OF ALL LOTS IS R-3
3. TOTAL NUMBER OF TRACTS CREATED - 14
4. BASIS OF BEARINGS
(MONUMENT DATA SHOWN IS NEW MEXICO STATE PLANE CENTRAL ZONE.)
ACS 7-G17 (NAD 1927 & NGVD 1929)
X = 394286.72 DELTA ALPHA - 00°12' 12"
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X = 440206.79 DELTA ALPHA - 00°06'56"
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5. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
6. ALL BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE) GRID BEARINGS BASED ON THE BEARING FROM ACS "7-G17" TO ACS "6-G17" OF S00°35'08"E.
7. ALL LOT CORNERS ARE MONUMENTED WITH A 5/8" REBAR AND YELLOW PLASTIC CAP STAMPED "BORDENAVE, LS 5110" UNLESS SHOWN OTHERWISE.
8. STREET CENTERLINE MONUMENTATION IS INSTALLED IN STREET AND IS SHOWN THUS "⊙" ON THIS PLAT. MONUMENTS ARE 4" ALUMINUM DISKS STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, DO NOT DISTURB, LS5110".

APPROVALS

PROJECT NO: _____ APPLICATION NO: 11-03-05
CITY SURVEYOR: JLB DATE _____
DATE _____
DATE _____
DATE _____
DATE _____
DATE _____

TALOS LOG NO. _____

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO COMBINE FOUR EXISTING LOTS; SUBDIVIDE THEM INTO 13 LOTS AND GRANT PUBLIC AND PRIVATE EASEMENTS.

FREE CONSENT AND DEDICATION

THE SUBDIVISION OF THE LAND DESCRIBED ON THIS PLAT IS WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE DESIRE OF THE UNDERSIGNED OWNERS OF THE LAND. THE OWNERS DO HEREBY:

WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE, IN FEE SIMPLE, TO THE LAND SUBDIVIDED.

GRANT SPECIFIC SURFACE AND SUBSURFACE POWER, GAS, WATER, SANITARY SEWER, ACCESS AND COMMUNICATION EASEMENTS AS DELINEATED ON THIS PLAT;

ACKNOWLEDGE EXISTING EASEMENTS AS SHOWN ON THIS PLAT;

DESIGNATE LOT 14 AS A 'COMMON AREA' AND STATE THAT MAINTENANCE OF THIS 'COMMON AREA' IS THE RESPONSIBILITY OF THE 'HOMEOWNERS ASSOCIATION'. THIS 'COMMON AREA' IS NOT DEDICATED TO ANY MUNICIPALITY OR TO THE GENERAL PUBLIC FOR ANY PURPOSE BUT IS SUBJECT TO EASEMENTS GRANTED BY THIS FREE CONSENT AND DEDICATION OF THE OWNERS; AND

STATE THAT THIS SUBDIVISION LIES WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

NO LAND SHOWN ON THIS PLAT IS DEDICATED FOR PUBLIC USE OR FOR THE USE OF OWNERS OF PARCELS FRONTING OR ADJACENT TO THE LAND SHOWN ON THIS PLAT.

CHESHIRE ENTERPRISES, INC.

Leonard R. Cheshire
LEONARD R. CHESHIRE, SEC./TREASURER

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON ___/___/___ BY _____, SECRETARY/TREASURER OF CHESHIRE ENTERPRISES, INC.

NOTARY PUBLIC: _____
MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATION

I, JEAN J. BORDENAVE, A REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION; MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS EASEMENTS OF RECORD AND/OR KNOWN TO ME BY THE OWNERS; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JEAN J. BORDENAVE, NMPE&LS NO. 5110

B BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
(505)823-1344 FAX (505)821-9105

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____
PROPERTY OWNER OF RECORD: _____

BERNALILLO COUNTY TREASURER'S OFFICE: _____

PUBLIC UTILITY EASEMENTS

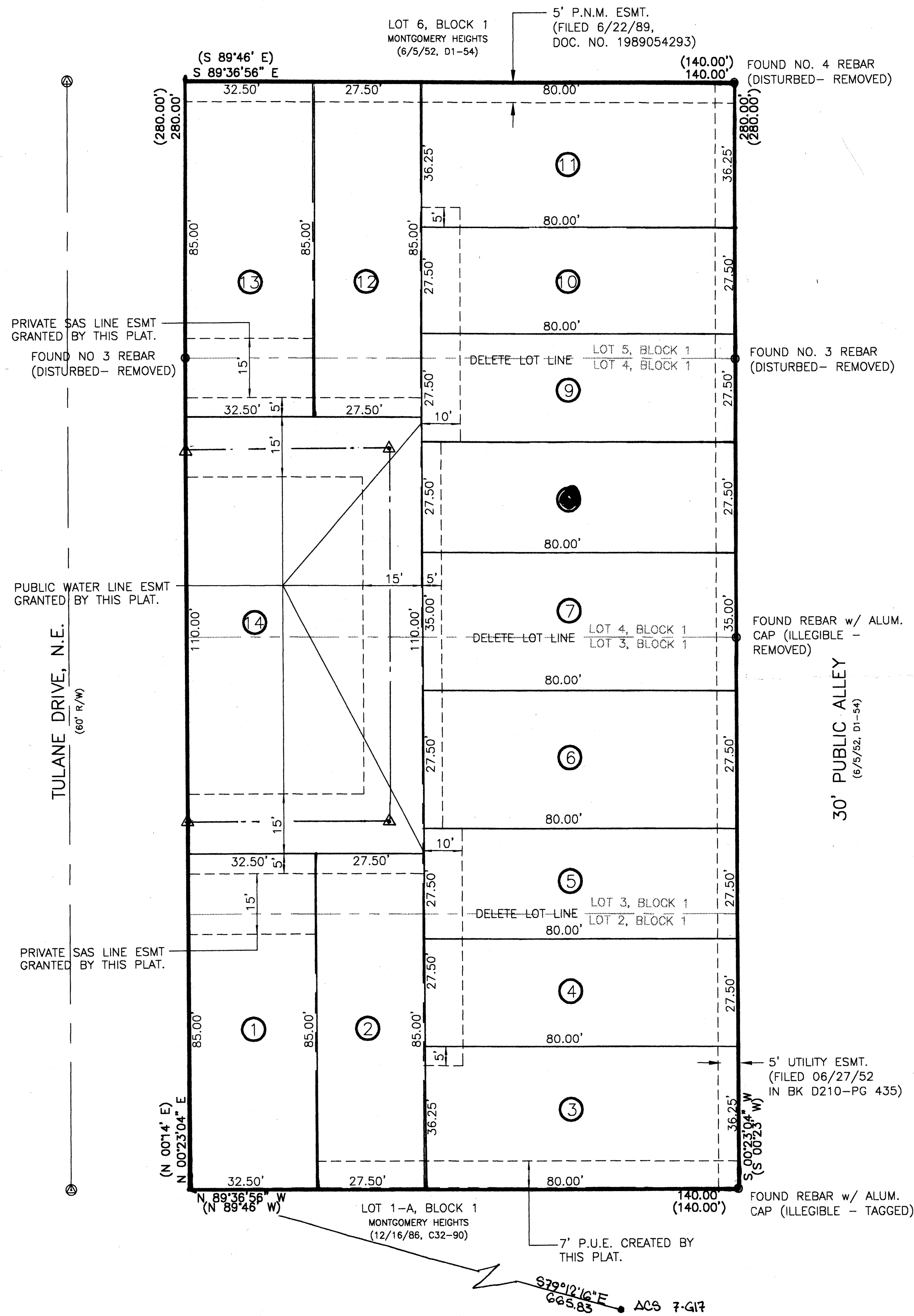
QWEST COMMUNICATIONS	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
COMCAST CABLE	DATE

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PUBLIC SERVICE COMPANY OF NEW MEXICO ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PUBLIC SERVICE COMPANY OF NEW MEXICO GAS SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
3. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

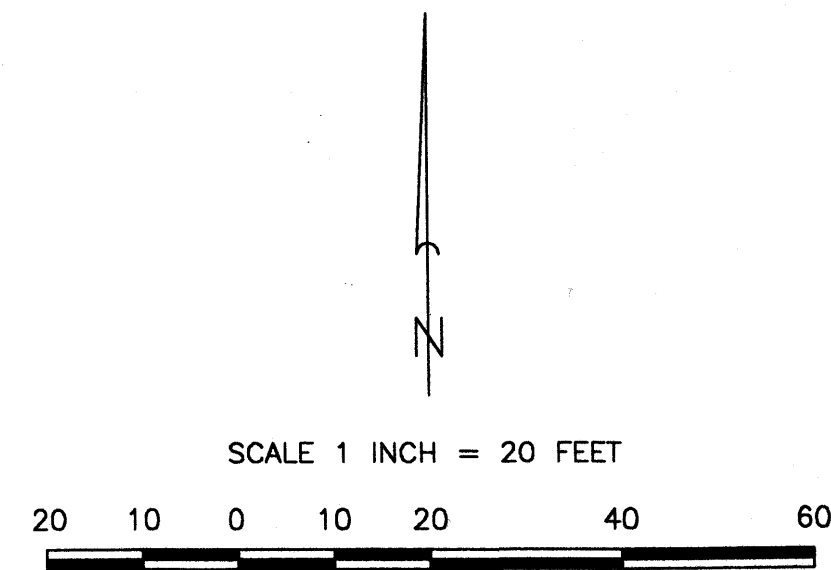
INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED ON OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF THE NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO OR WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PRELIMINARY PLAT OF
TULANE TOWNHOUSES
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2006

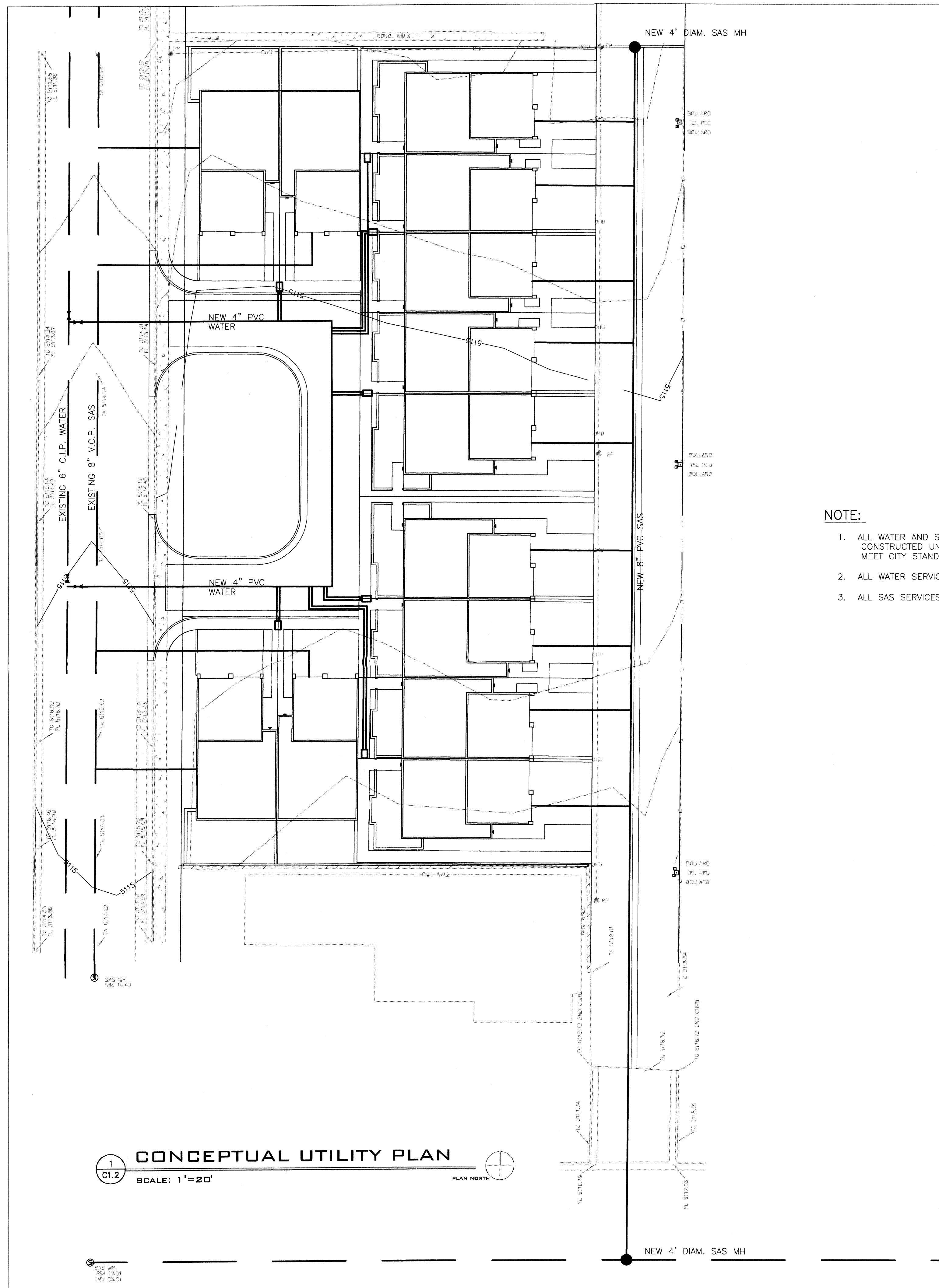


NOTES

1. MILES OF FULL WIDTH PRIVATE STREETS CREATED BY THIS PLAT = 0.0 MILES.
2. CURRENT SUBDIVISION ZONING OF ALL LOTS IS R-3
3. TOTAL NUMBER OF TRACTS CREATED - 14
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8. STREET CENTERLINE MONUMENTATION IS INSTALLED IN STREET AND IS SHOWN THUS "⊙" ON THIS PLAT. MONUMENTS ARE 4" ALUMINUM DISKS STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, DO NOT DISTURB, LS5110".
9. PRIVATE SAS LINE EASEMENTS CREATED ON LOTS 1 AND 13 FOR THE BENEFIT OF LOTS 2 AND 12 RESPECTIVELY. MAINTENANCE OF SAS FACILITIES WITHIN THESE EASEMENTS IS THE RESPONSIBILITY OF THE BENEFITING PARTY.

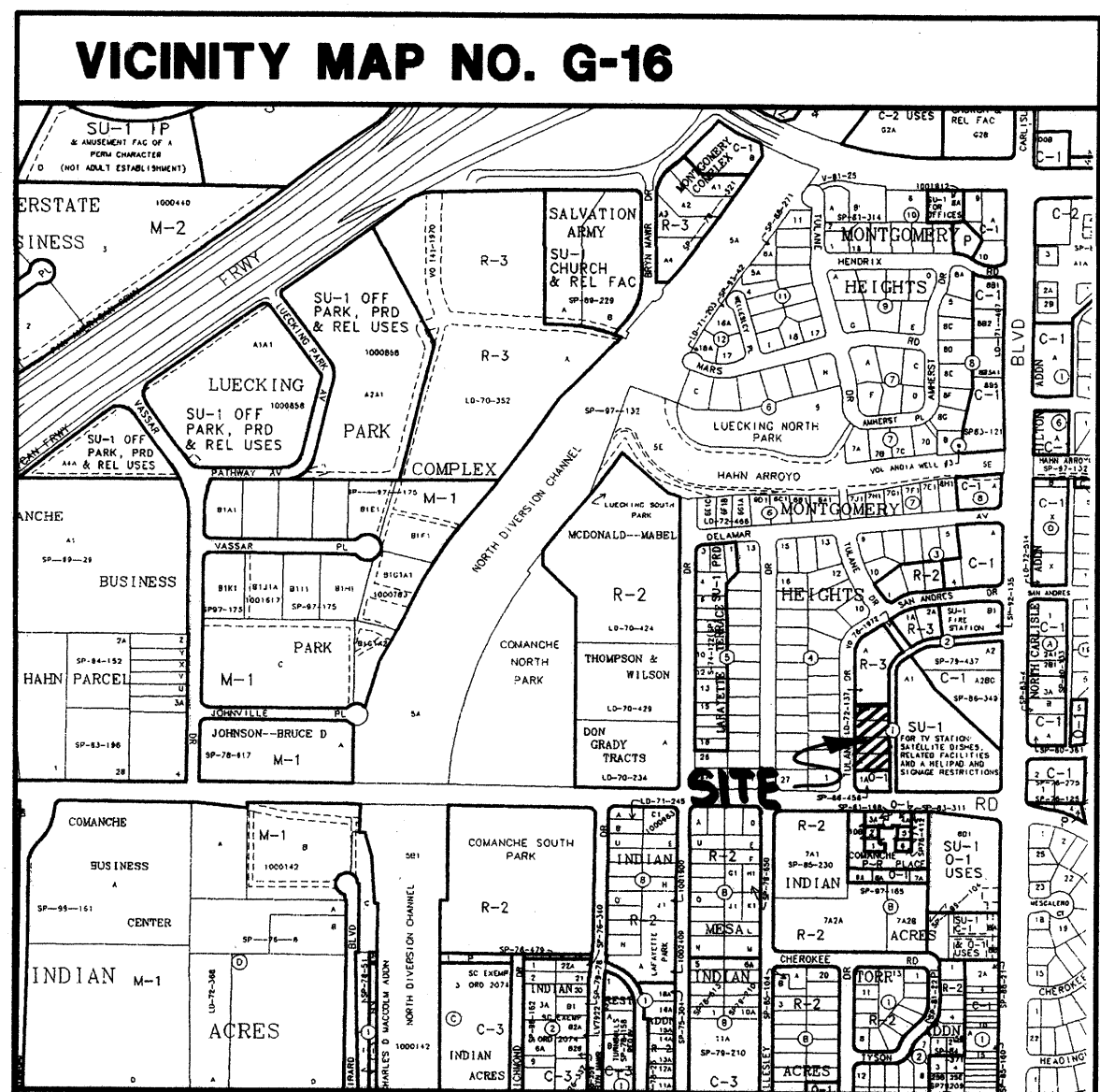


B BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105



NOTE:

1. ALL WATER AND SEWER MAINS AND SERVICES SHALL BE CONSTRUCTED UNDER CITY WORK ORDER AND SHALL MEET CITY STANDARD SPECIFICATIONS.
2. ALL WATER SERVICES ARE 3/4" COPPER.
3. ALL SAS SERVICES ARE 4" PVC.



LEGEND

TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

	FEMA FLOODPLAIN BOUNDARY
	DRAINAGE BASIN BOUNDARY
	EROSION SETBACK LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
XX.XX	PROPOSED SPOT ELEVATION
-XX.XX	RECORD SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

TULANE TOWNHOUSES

3804-3816 Tulane Dr. NE
Albuquerque, New Mexico 87107

G. DONALD DUDLEY AIA
ARCHITECT



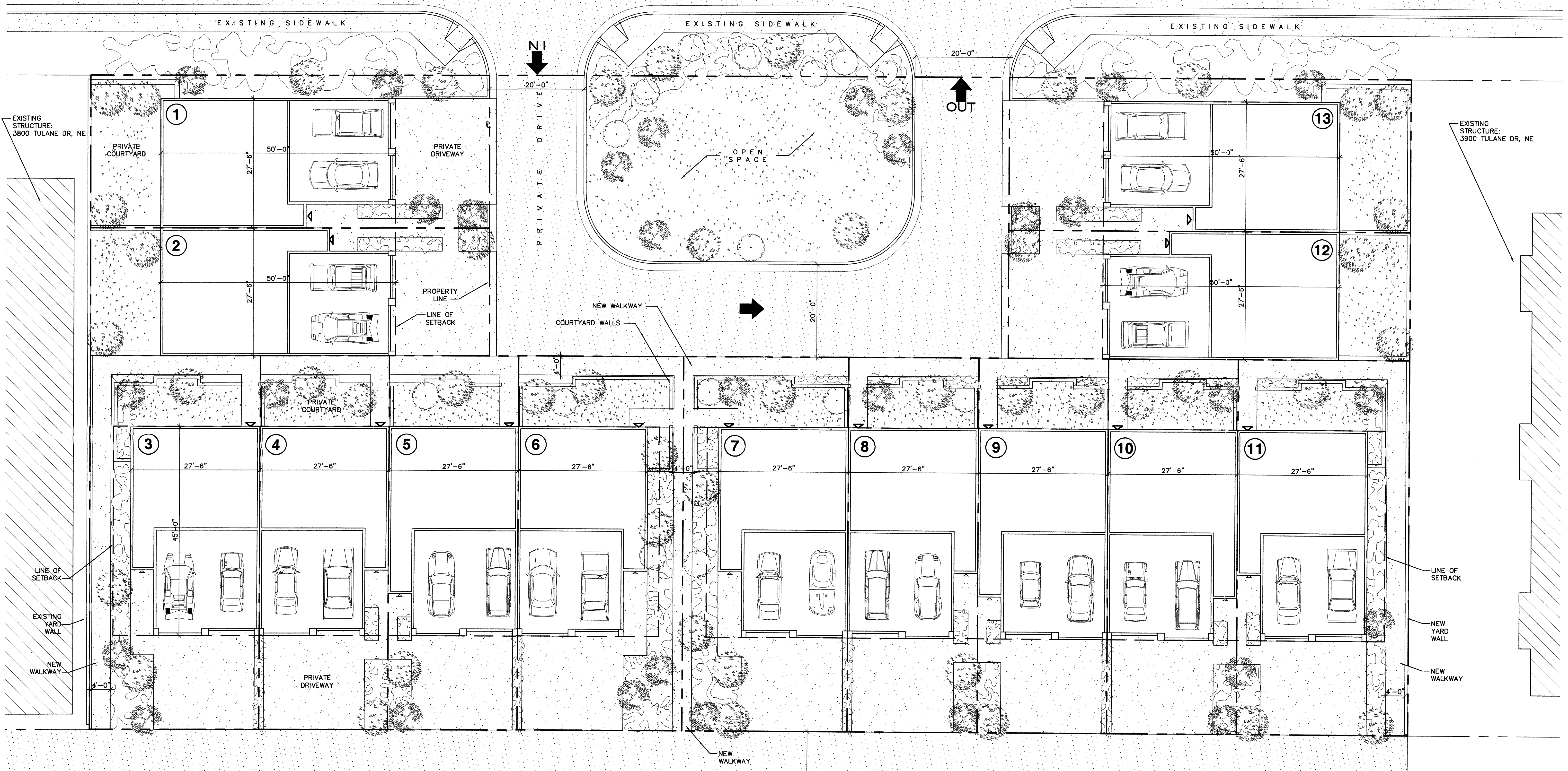
date: July 29, 2005
drawn by: dr. gdd

SIMMS TOWER STUDIO 850
400 GOLD AVENUE SW
ALBUQUERQUE, NEW MEXICO
8 7 1 0 2
TEL 505.243.8100
FAX 505.243.8101

C1.2

sequence no. 01

T U L A N E D R I V E N E



SITE PLAN
 SCALE: 1" = 10'
 PLAN NORTH

CITY OF ALBUQUERQUE ALLEY (PAVED BY BUILDER)

TULANE TOWNHOUSES

3804-3816 Tulane Dr. NE
 Albuquerque, New Mexico 87107

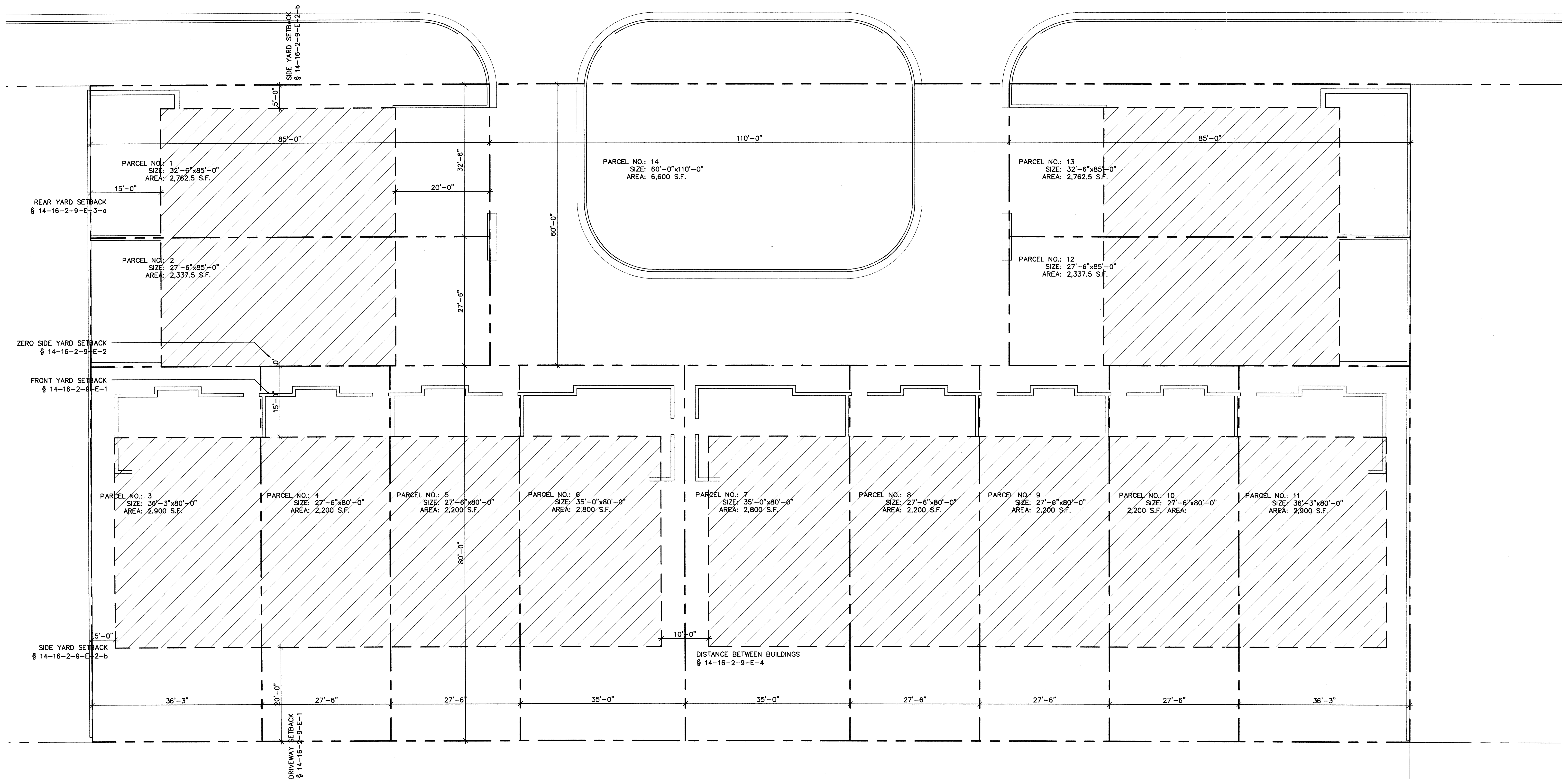
G. DONALD DUDLEY AIA
ARCHITECT

SIMMS TOWER STUDIO 850
 400 GOLD AVENUE SW
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 2
 TEL 505.243.8100
 FAX 505.243.8101

date: July 29, 2005
 drawn by: dr, gdd

C1.1

sequence no. of: 1004361



1
 C2.1
 SCALE: 1"=10'
 PLAN NORTH

TULANE TOWNHOUSES

3804-3816 Tulane Dr. NE
 Albuquerque, New Mexico 87107

G. DONALD DUDLEY AIA
ARCHITECT

SIMMS TOWER STUDIO 850
 400 GOLD AVENUE SW
 ALBUQUERQUE, NEW MEXICO
 8 7 1 0 2
 TEL 505.243.8100
 FAX 505.243.8101

date: July 29, 2005
 drawn by: dr, gdd

C2.1

sequence no. of

