

LEGEND					
ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
WATERLINE	--- 6" W ---	--- 6" W ---	CHAIN LINK FENCE	--- ○ ---	--- ○ ---
SANITARY SEWER	--- 8" SAS ---	--- 8" SAS ---	RETAINING WALL	--- ---	--- ---
STORM SEWER	--- 36" SD ---	--- 24" SD ---	DRAINAGE BASIN	--- ---	--- ---
FIRE HYDRANT	⊙	⊙	DIVIDE	--- ---	--- ---
VALVE	⊕	⊕	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
WATER SERVICE (SINGLE)	--- □ ---	--- □ ---	SPOT ELEV.	X 16.7	87.26
WATER SERVICE (DOUBLE)	--- □ ---	--- □ ---	HEADER CURB	---	---
MANHOLE	⊙	⊙	TOP ASPH TOP CURB	---	---
SEWER SERVICE	---	---	FLOWLINE ELEV.	FL 0.14	FL 0.14
POWER POLE (GUYED)	PP	PP	TOP OF CURB ELEV.	TC 99.3	TC 99.31
DROP INLET	---	---	CONTOUR	5106	82
OVERHEAD ELEC	--- OHE ---	---	CONT. (SUPPLEMENT)	5106	82
UNDERGROUND ELEC. GAS, TEL, TV	--- UGT ---	---	SWALE	---	---
TEL. PEDESTAL	⊙ TEL	---	DIRECTION OF FLOW	---	---
RIGHT OF WAY	---	---	WATER BLOCK	---	---
EASEMENT LINE	---	---	LANDSCAPED AREA	---	---
PROPERTY LINE	---	---			
CENTERLINE	---	---			

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
  - EXISTING ASPHALT PAVING
  - NEW 6" WIDE TURNED DOWN SIDEWALK (6" STEP)
  - EXISTING 6" SIDEWALK
  - EXISTING PERIMETER CHAIN LINK FENCE
  - SIGN
  - NEW ASPHALT PAVING
  - NEW LANDSCAPING
  - NEW 6" SIDEWALK
  - NEW FIRE HYDRANT
  - NEW 6" CURB AND GUTTER
  - OUTDOOR BENCH SEATING
  - STRIPED CROSSWALK
  - NEW REFUSE ENCLOSURE (CITY STD. - DOUBLE ENCLOSURE)
  - HANDICAP RAMP (W/ SIGNS AT HANDICAP PARKING SPACES)
  - 3" WATER METER
  - EXISTING 4" RET. WALL (TO REMAIN)
  - BACKFLOW PREVENTER
  - 6" CONC. HEADER CURB
  - NEW CMU RETAINING WALL
  - (NOT USED)
  - MOTORCYCLE PARKING (WITH SIGN)
  - MOUNTABLE CURB DIVIDER (CONCRETE)
- This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission, dated 11.14.05, and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

PROJECT NUMBER: 1004364  
 APPLICATION NUMBER: 05 DEB-01586

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE 10/19/05  
*Roger A. Shan* 10/19/05

UTILITIES DEVELOPMENT DATE 10/19/05  
*Christie Randall* 10/19/05

PARKS AND RECREATION DEPARTMENT DATE 3/21/06  
*Buddy d. Bingham* 3/21/06

CITY ENGINEER DATE 3/21/06  
*N/A* 3/21/06

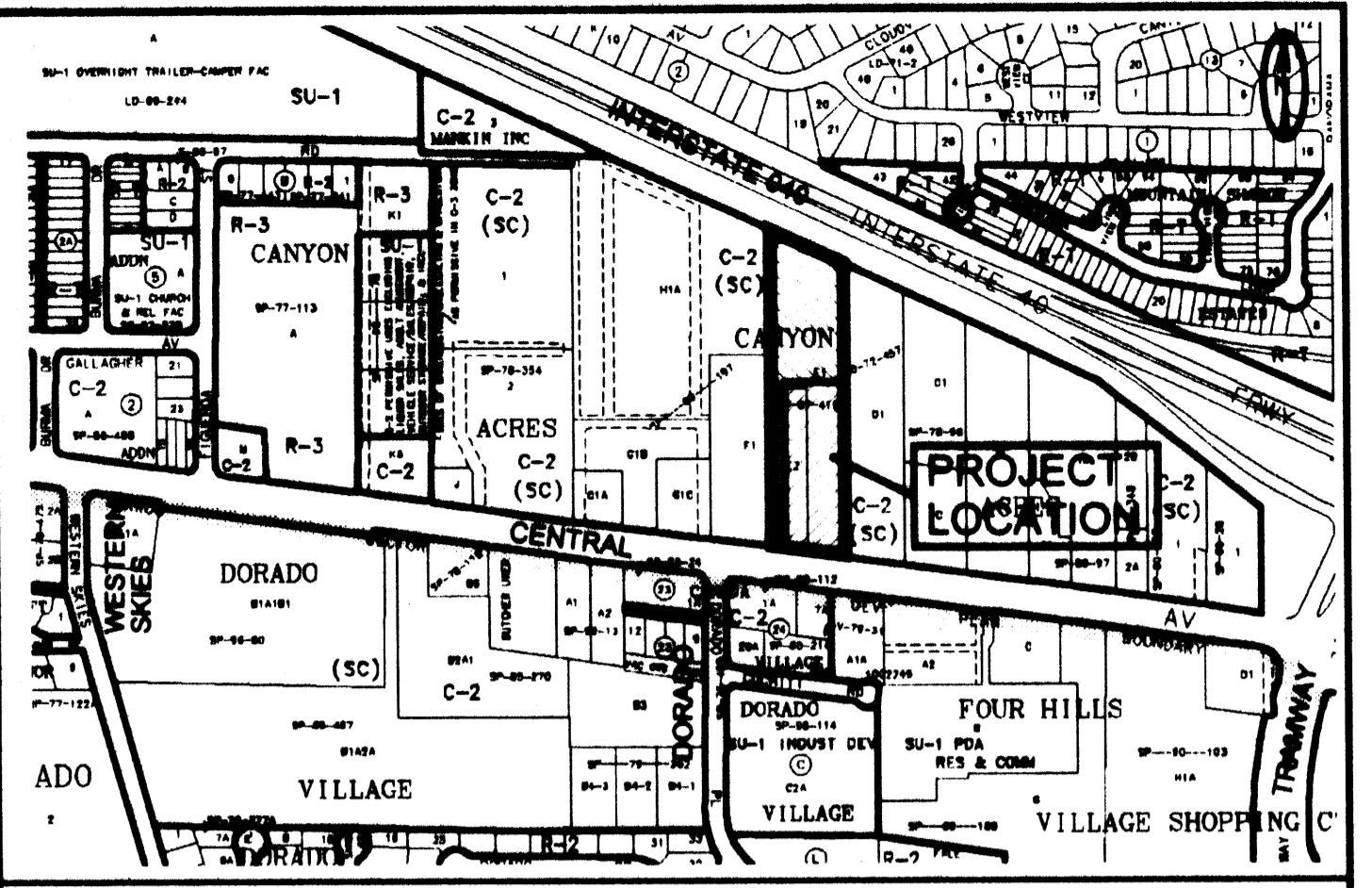
\* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE 10/19/05  
*Michael Holten* 10/19/05

SOLID WASTE MANAGEMENT DATE 3/21/06  
*Andrew Garcia* 3/21/06

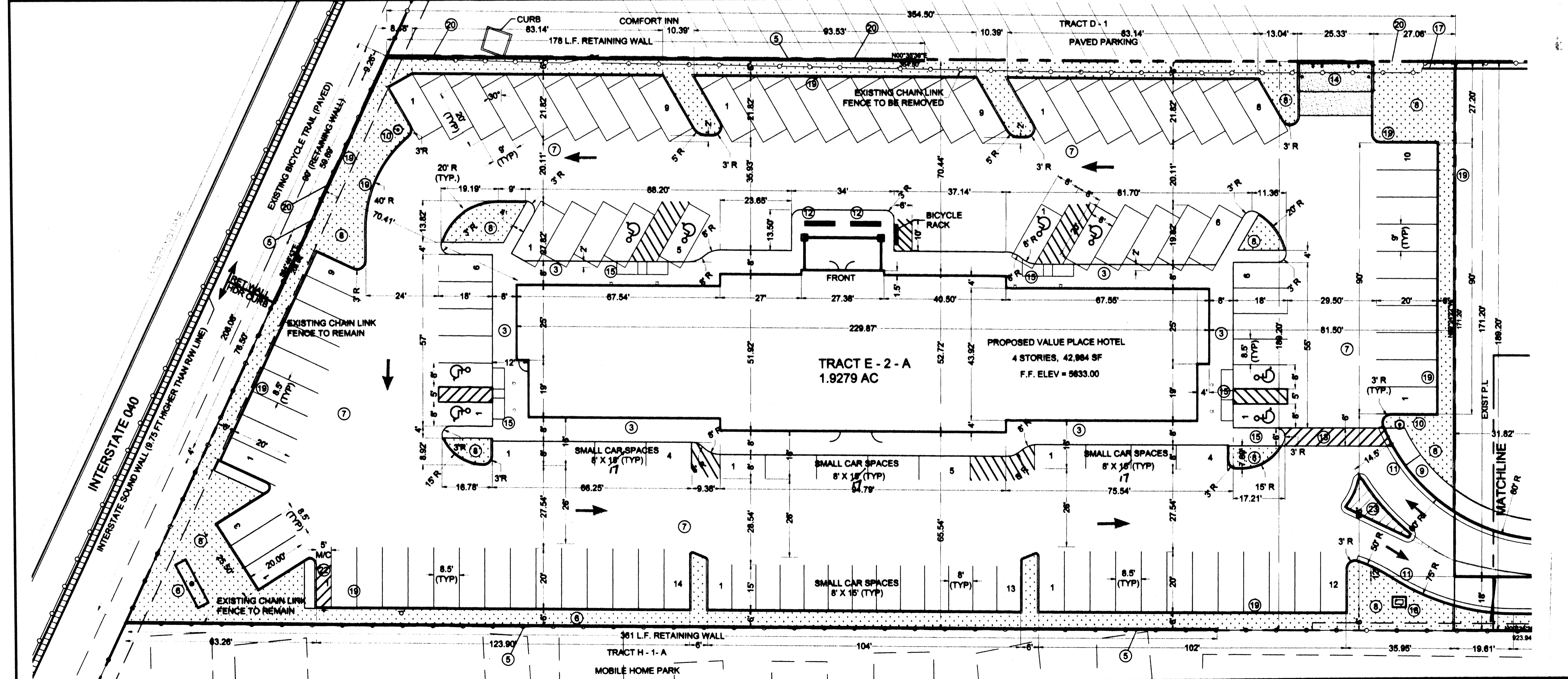
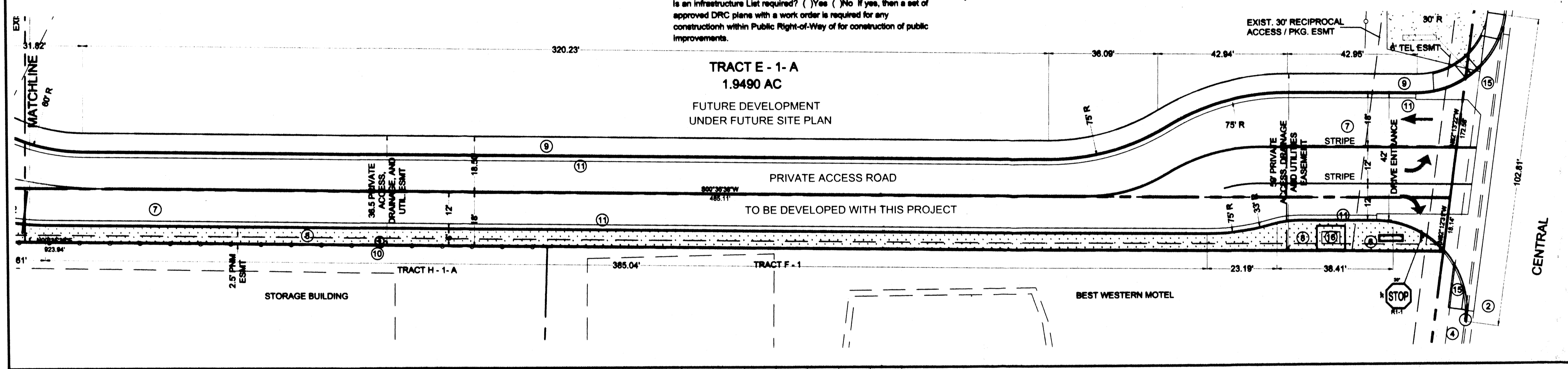
CHAIR, PLANNING DEPARTMENT DATE 11.14.05

FUTURE DEVELOPMENT OF TRACT E-1-A REQUIRES SUBMITTAL OF A SITE DEVELOPMENT PLAN TO THE ENVIRONMENTAL PLANNING COMMISSION

DRAWING INDEX	
TITLE	SHEET NO.
SITE PLAN	1
LANDSCAPE PLAN	2
GRADING & DRAINAGE PLAN	3
GRADING AND DRAINAGE (2)	4
UTILITIES PLAN	5
BUILDING ELEVATIONS	6
DETAILS	7



L-22 LOCATION MAP NTS



**PROJECT DATA**

EXISTING LEGAL DESCRIPTION:  
 TRACTS E-1 AND E-2, CANYON ACRES

PROPOSED LEGAL DESCRIPTION:  
 TRACTS E-1-A AND E-2-A, CANYON ACRES

PROPERTY ADDRESS:  
 TRACT E-1: 13013 CENTRAL AVE. NE  
 TRACT E-2: 13001 CENTRAL AVE. NE

**SITE AREA:**

EXISTING TRACT E-1: 2.8769 AC.  
 EXISTING TRACT E-2: 1.0000 AC.  
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)  
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)  
 TOTAL AREA: 3.8768 AC (168,876 SF)

**ZONING:** C-2 (SC). (No zone change is requested.)

**DEVELOPMENT OF NEW TRACT E-1-A:**

Tract E-1-A created with this plat will not be developed at the time of this planning action. A detailed Site Development Plan for Tract E-1-A shall be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to development of any improvements on that Tract.

**DEVELOPMENT OF NEW TRACT E-2-A:**

Tract E-2-A created with this plat will be developed as a 121-room hotel, together with paving, landscaping, utilities, and drainage improvements.

**SITE PLAN FOR BUILDING PERMIT FOR TRACT E-2-A:**

Site Plan for Building permit is presented for new Tract E-2-A. The plan shows a 121-room hotel a single building with parking, landscaping, signage, refuse containment, and access. The Tract is configured such that access to the hotel will be taken by connection to Central Ave. by paved road, to be shared by cross-access and drainage easement with Tract E-1-A. The access road will also be used by both properties for conveyance of storm water drainage. Subsequent development of Tract E-1-A will require a separate grading and drainage plan.

**SIGNAGE AND LIGHTING**

Signage and lighting limitations are as regulated by the Zoning Code, Sections 14-16-3-5 and 14.16.2.17 governing signage in the C-2 zone. Site lighting will be full cutoff lighting fixtures mounted to the building. Off-premise signage is prohibited.

**BUILDING HEIGHT AND SETBACKS**

Building heights and setback limitations are as regulated under C-2 zoning. The proposed hotel building will not exceed 55 feet in height above finished-floor elevation.

**PARKING:**

TOTAL PARKING SPACES REQUIRED: 121 Spaces, including 6 accessible and 2 van accessible  
 BICYCLE SPACES REQUIRED: 8  
 PARKING PROVIDED: 89 SPACES

26 SMALL CAR SPACES @ 8' X 15'  
 6 REGULAR ACCESSIBLE SPACES  
 2 VAN ACCESSIBLE SPACES  
 1 MOTORCYCLE SPACE

TOTAL: 123 SPACES, PLUS 8 BICYCLE AND 1 MOTORCYCLE

**LANDSCAPING:**

TOTAL AREA TRACT E-2-A: 83,977 SF  
 BUILDING FOOTPRINT: 10,686 SF  
 NET AREA LANDSCAPE BASE: 73,291 SF  
 LANDSCAPING REQUIRED @ 15% NET: 10,994 SF  
 LANDSCAPING PROVIDED: 13,284 SF (18.1%)

STREETSCAPE IN ACCORDANCE WITH THE CITY MUNICIPAL CODE, ARTICLE 6, SHALL BE INSTALLED ALONG THE CENTRAL AVE. FRONTAGE

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-886-0088 Fax: 505-886-6188

**VALUE PLACE**  
 SITE PLAN FOR BUILDING PERMIT

DRW: R.M. TR: DATE: 10/18/05  
 CKD: P.T.B. OK: SCALE: 1" = 20'  
 APP: ACAD FILE: FOD/VP  
 REV. NO. DATE: 10-19-05

7262  
 10-19-05

1004364

# PLANT LEGEND

## TREES

ASH (M) OR HONEY LOCUST (M) 10  
 Fraxinus pennsylvanica  
 Gleditsia triacanthos  
 2" Cal.

SYCAMORE (M+) 2  
 Platanus wrightii  
 2" Cal.

## SHRUBS

\* HALLS HONEYSUCKLE (M) 4  
 Japonica 'Halliana'  
 1 Gal. 159sf  
 Unstaked-Groundcover

\* ARP ROSEMARY (M) 35  
 Rosmarinus officinalis  
 1 Gal. 36sf/6' height

RUSSIAN SAGE (M) 25  
 Perovskia atriplicifolia  
 5 Gal. 36sf/6' height

CHAMISA (L) 25  
 Chrysothamnus nauseosus  
 1 Gal. 25sf/5' height

## HARDSCAPES 36

SFB CRUSHERFINES WITH FILTER FABRIC  
 RAKED EARTH WITH HYDROSEED REVEGETATIVE SEED

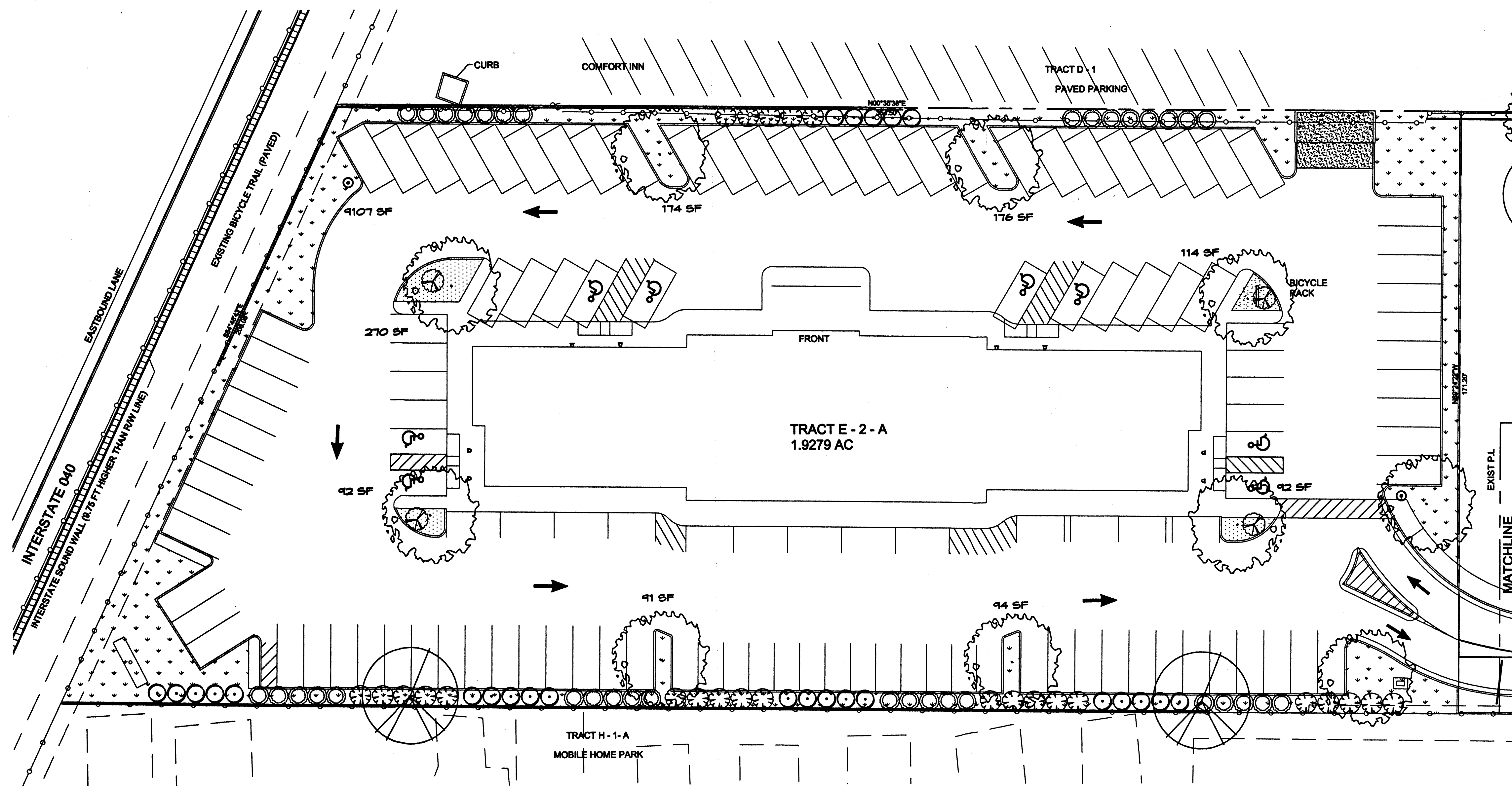
\* EVERGREEN SHRUB

## LANDSCAPE CALCULATIONS

TOTAL LOT AREA	89974	square feet
TOTAL BUILDINGS AREA	10746	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	79228	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10985	square feet

TOTAL BED PROVIDED	568	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	426	square feet
TOTAL GROUNDCOVER PROVIDED	568 (100%)	square feet

TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL RAKED EARTH REVEGETATIVE SEED AREA	12716	square feet
TOTAL LANDSCAPE PROVIDED	13284	square feet



### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

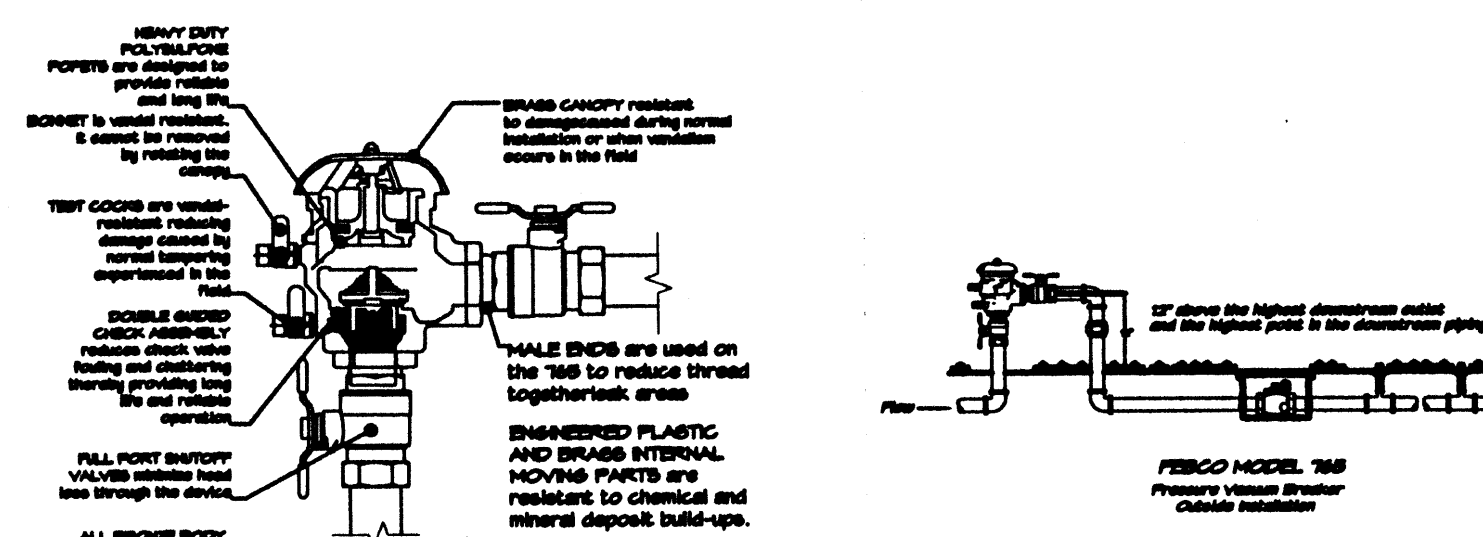
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

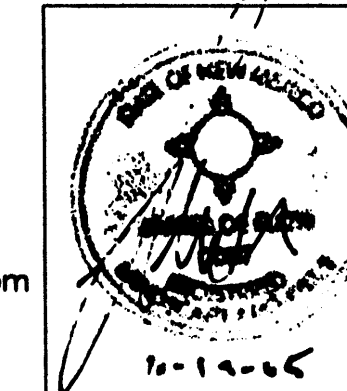
Water and Power source shall be the responsibility of the Developer/Builder.



BACKFLOW PREVENTER DETAIL

**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cjohnson@hilltoplandscaping.com



**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-0088 Fax: 505-888-6188

## VALUE PLACE LANDSCAPING PLAN

DRW: drt	TR:	DATE: 10/19/05
CKD:cmj	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	

SHT: 2 OF 6

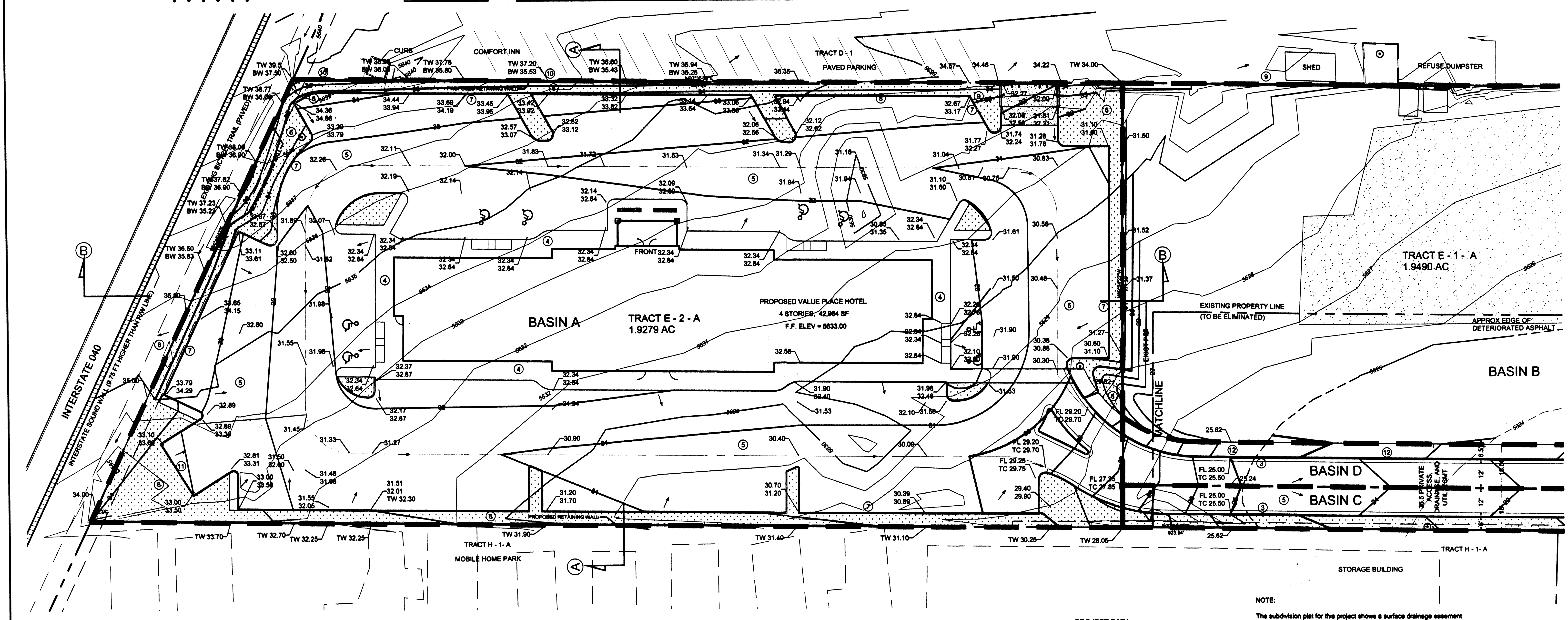
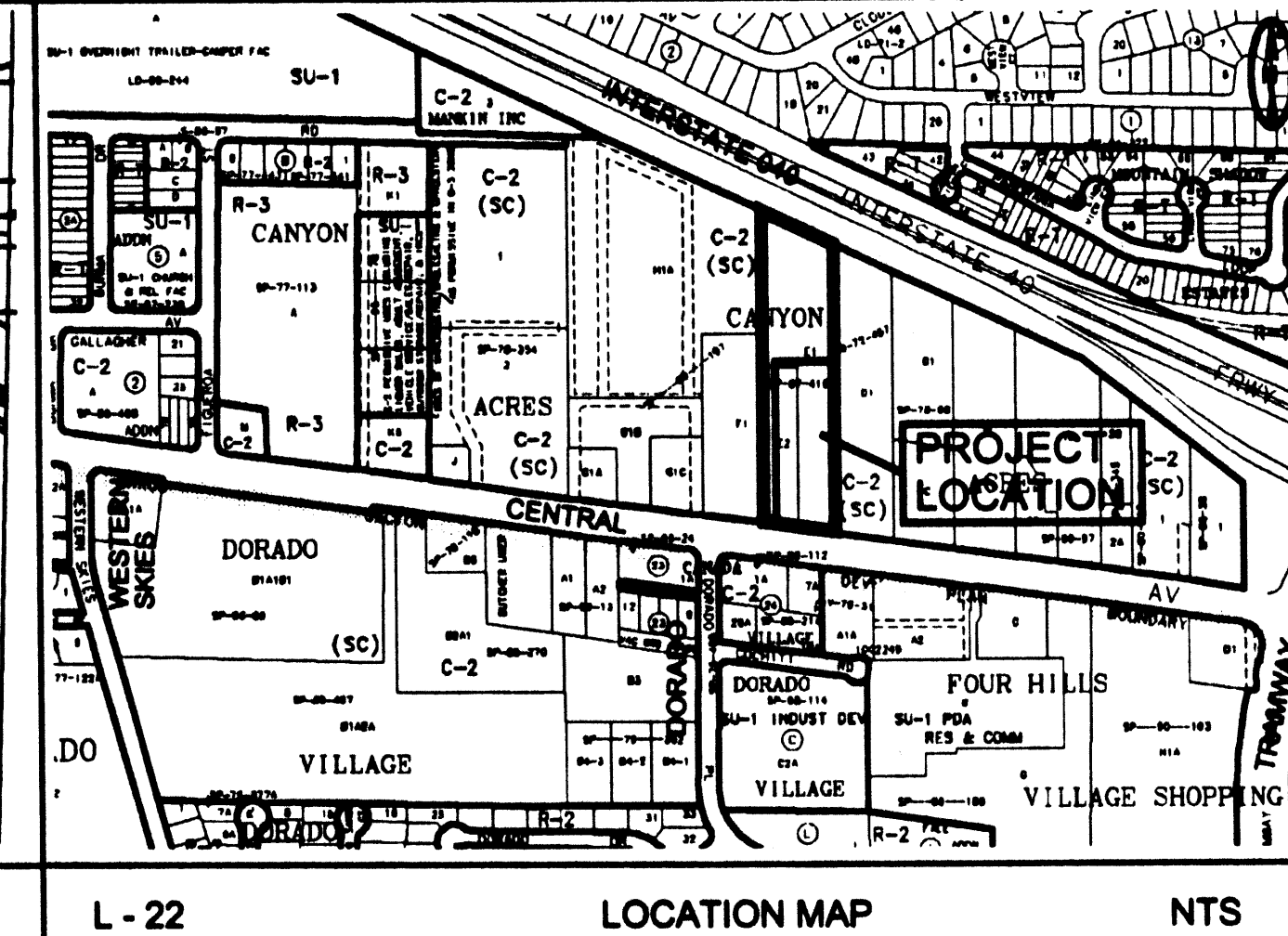
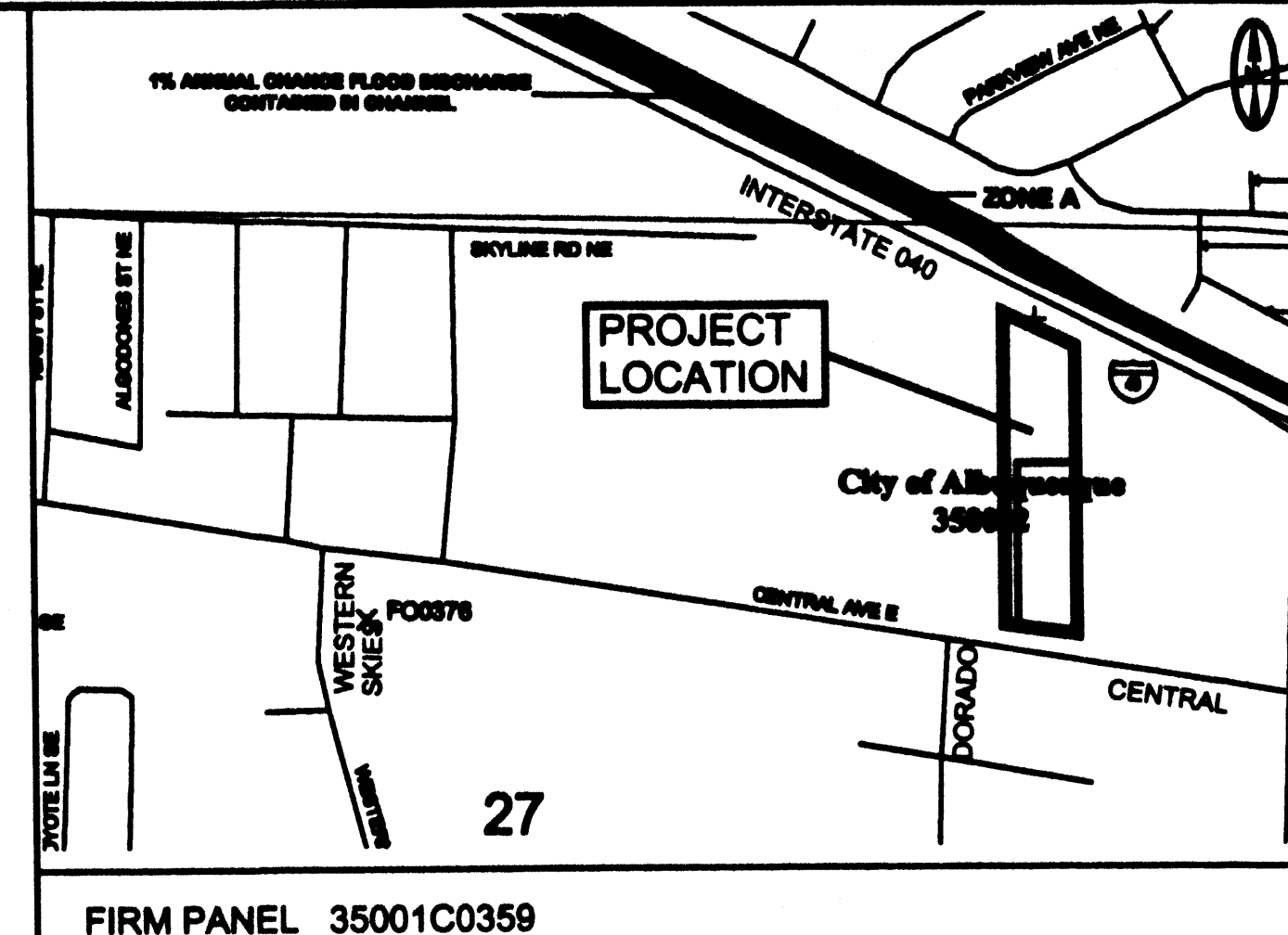
LEGEND					
ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
RIGHT OF WAY	---	---	CHAIN LINK FENCE	---	---
EASEMENT LINE	---	---	RETAINING WALL	---	---
PROPERTY LINE	---	---	DRAINAGE BASIN	---	---
CENTERLINE	---	---	DIVIDE	---	---
SPOT ELEV.	×	---	TOP OF ASPHALT ELEV.	TA 16.2	---
HEADER CURB	---	---			
FLOWLINE ELEV.	FL 0.14	---			
TOP OF CURB ELEV.	TC 99.3	---			
CONTOUR	5166	---			
CONT. (SUPPLEMENT)	---	---			
SWALE	---	---			
DIRECTION OF FLOW	---	---			
WATER BLOCK	---	---			
LANDSCAPED AREA	---	---			

**KEYED NOTES**

- EXISTING STANDARD CURB & GUTTER
- EXISTING ASPHALT PAVING
- NEW CONC. CURB AND GUTTER
- NEW 6" CONC. TURNDOWN SIDEWALK
- NEW ASPHALT PAVEMENT
- NEW LANDSCAPING
- 6" CONC. HEADER CURB
- NEW CMU RETAINING WALL
- EXIST. CHAIN LINK FENCE
- NEW 8" CHAIN LINK FENCE
- NEW REFUSE ENCLOSURE
- 6" SIDEWALK

**PROJECT HYDROLOGY**  
TRACTS E-1-A AND E-2-A FOR VALUE PLACE (TRACT E-2-A)

ZONE:	3							
PERIOD:	2.00							
RAIN:	3.10							
<b>UNDEVELOPED:</b>								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)
A	1.7278	-0-	-0-	1.6241	0.1037	1.35	6.14	0.1986
B	0.2000	-0-	-0-	0.1640	0.0360	1.48	6.88	0.2647
C	1.8917	-0-	-0-	1.2180	0.6737	1.56	6.86	0.3238
D	0.2573	-0-	-0-	0.1853	0.0720	1.59	1.82	0.6341
<b>DEVELOPED:</b>								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)
A	1.7278	-0-	-0-	0.2200	1.5078	2.27	6.48	0.3271
B	0.2000	-0-	-0-	0.0898	0.1101	1.98	8.82	0.8331
C	1.8917	-0-	-0-	1.2888	0.6029	1.56	6.32	0.2184
D	0.2573	-0-	-0-	0.2573	2.36	1.30	0.8965	



**PURPOSE AND SCOPE**

This Grading and Drainage Plan is a component of a Site Plan for Subdivision, plat, and Site Development Plan. It is intended to show the proposed grading and drainage for the proposed hotel site. The plan shows the proposed grading and drainage for the proposed hotel site. The plan shows the proposed grading and drainage for the proposed hotel site.

**EXISTING CONDITIONS**

The project site consists of 3.8768 acres, comprising existing Tracts E-1 and E-2 of Canyon Acres Subdivision. The site is located adjacent to the north side of Central, between Juan Tabo and Travenca. It is bounded on the north by the Interstate 40, on the south by Central, on the east by the fully-developed Comfort Inn hotel, and on the west by a mobile home/trailer park. The site was originally developed as a mobile home/trailer park, and was demolished in 2002, leaving only deteriorating paving and landscaping features. At present, the combined site serves temporary storage of several unoccupied mobile homes. Much of the site is overgrown by native vegetation. Site topography slopes generally down from northeast to southwest. Grading of the adjoining properties is such that no runoff from adjacent development enters the site. The developed property to the east is elevated by a retaining wall running much of the length of the common property line. The asphalt bike trail to the north is lower in elevation than the north property line of the site. The site is graded such that apparently no runoff discharges west to the mobile home/trailer park. As a result, all runoff from the combined project site discharges to Central Ave. As shown by the attached FIRM Panel, the project site is not encumbered by a designated flood hazard zone.

**PROPOSED CONDITIONS**

A re-plot of existing Tracts E-1 and E-2 will create new Tracts E-1-A and E-2-A by reconfiguration of the lot lines. The total acreage will remain the same. As shown by the Plan, the project consists of the immediate development of a hotel to be constructed on new Tract E-2-A, towards the north end of the site. Tract E-1-A will be developed at some future date under a future site development planning action. Access to the hotel property will be taken directly from Central by means of a private paved entrance road. Although the new property line runs along the approximate centerline of the new access road, the full road improvement will be contained within a shared private access, drainage, and utilities easement. The hotel site (Tract E-2-A) will be fully paved and landscaped, with only minor grading to occur on Tract E-1-A as necessary along the adjoining property line. Otherwise, no improvements to new Tract E-1-A are proposed. All areas of Tract E-2-A that are not to be paved will be landscaped.

The grading plan for the hotel site provides for an inverted crown in the drive aisles to convey water from the site's northernmost reaches to the entrance road. The entrance road is graded to drain directly to Central, and into the existing closed-conduit storm sewer system downstream. As a result, all drainage from the hotel tract will be discharged directly to Central. New and existing retaining walls will be required along portions of the perimeter of the hotel site. The finished floor elevation was established to optimize necessary retaining wall heights, parking lot slopes, earthwork, and surface drainage conveyance. The proposed site improvements do not affect historical drainage patterns.

**EROSION CONTROL**

Since the disturbed area is determined to be more than 1.0-acre, a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

**CALCULATIONS**

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed conditions. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

**PROJECT DATA**

**LEGAL DESCRIPTION:**  
TRACT E-2-A,  
CANYON ACRES SUBDIVISION

**PROPERTY ADDRESS:**  
13001 CENTRAL AVE. NE

**BENCHMARK:**  
TBM - C.O.A. CONTROL #6 - L-22  
TOP OF CURB OPP. SE CORNER TRACT E-1-A  
ELEVATION = 5620.06 MSL (1929 DATUM)

**MAPPING:**  
TOPOGRAPHIC AND FIELD MEASUREMENTS  
BY PRECISION SURVEYS  
DATED JULY, 2006

**NOTE:**

The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-888-0088 Fax: 505-888-8188

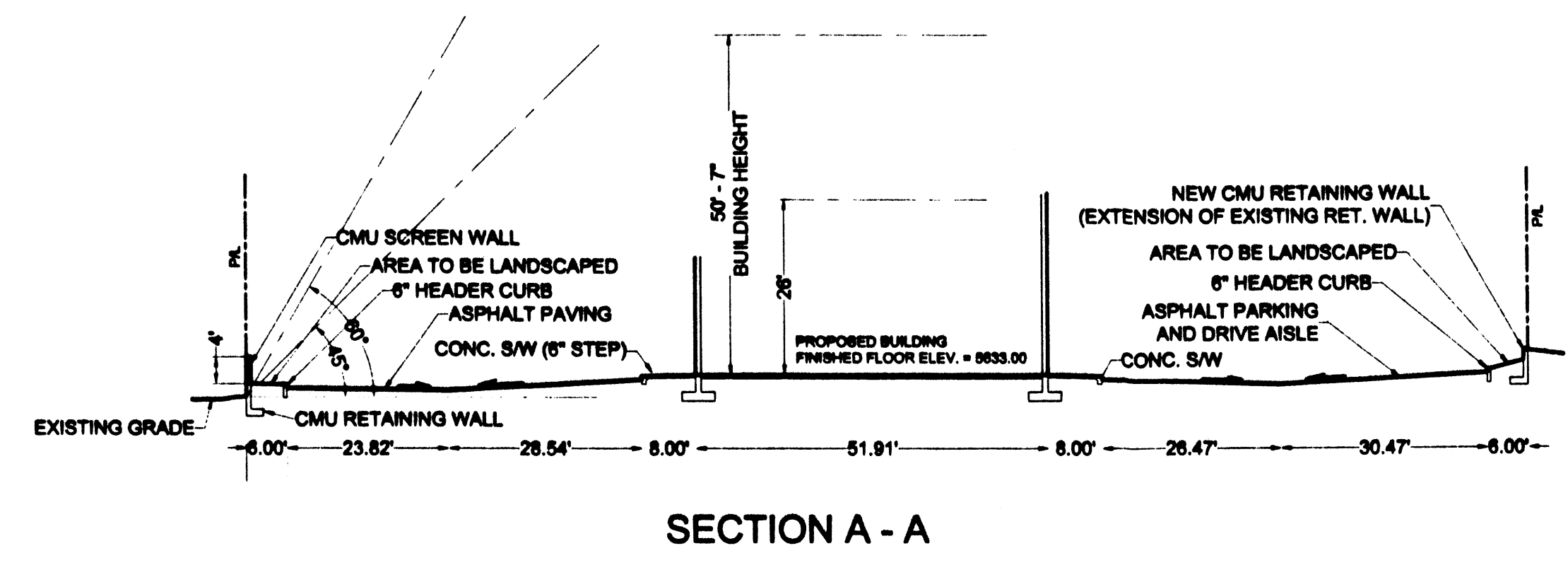
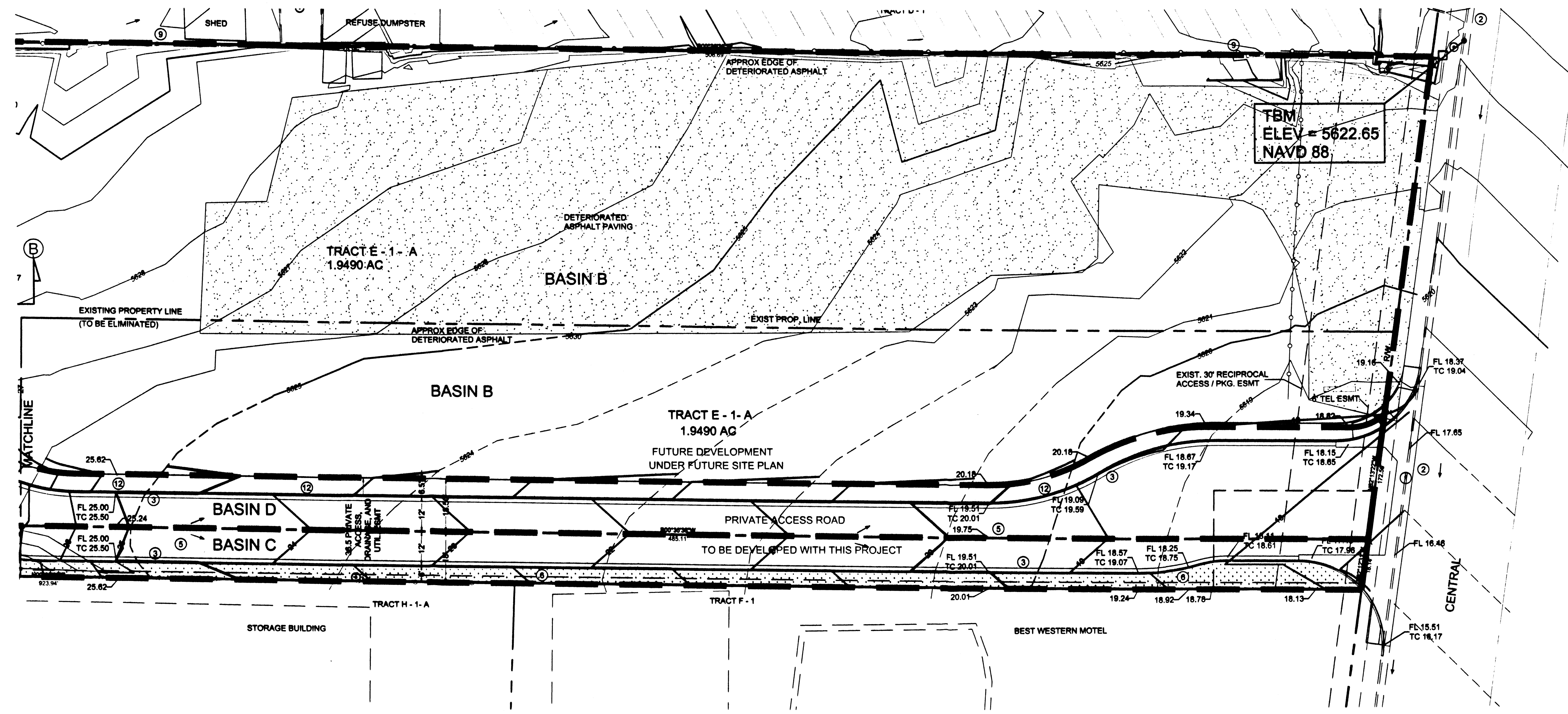
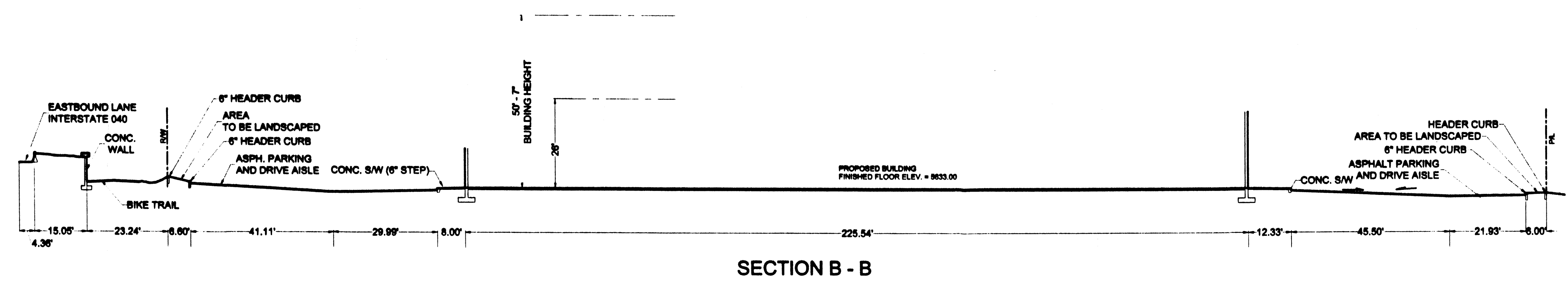
**VALUE PLACE**  
GRADING AND DRAINAGE PLAN

SHR: 3 OF 7

DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	F/OD/V/P	

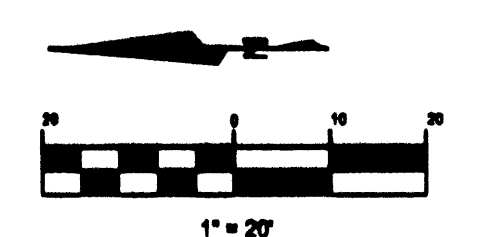
**PAUL T. BRASHER**  
NEW MEXICO  
7282  
REGISTERED PROFESSIONAL ENGINEER  
10-10-05

ITEM	LEGEND	
	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
CHAIN LINK FENCE	---	---
RETAINING WALL	---	---
DRAINAGE BASIN DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	16.7	87.26
CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---

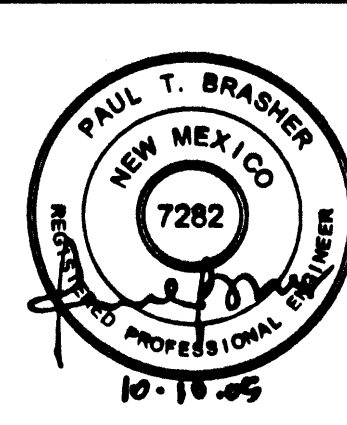


**PROJECT DATA**  
**LEGAL DESCRIPTION:**  
 TRACT E-2-A,  
 CANYON ACRES SUBDIVISION  
**PROPERTY ADDRESS:**  
 13001 CENTRAL AVE. NE  
**BENCHMARK:**  
 TBM - C.O.A. CONTROL #6 - L-22  
 TOP OF CURB OPP. SE CORNER TRACT E-1-A  
 ELEVATION = 5620.06 MSL (1929 DATUM)  
**MAPPING:**  
 TOPOGRAPHIC AND FIELD MEASUREMENTS  
 BY PRECISION SURVEYS  
 DATED JULY, 2005

**NOTE:**  
 The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

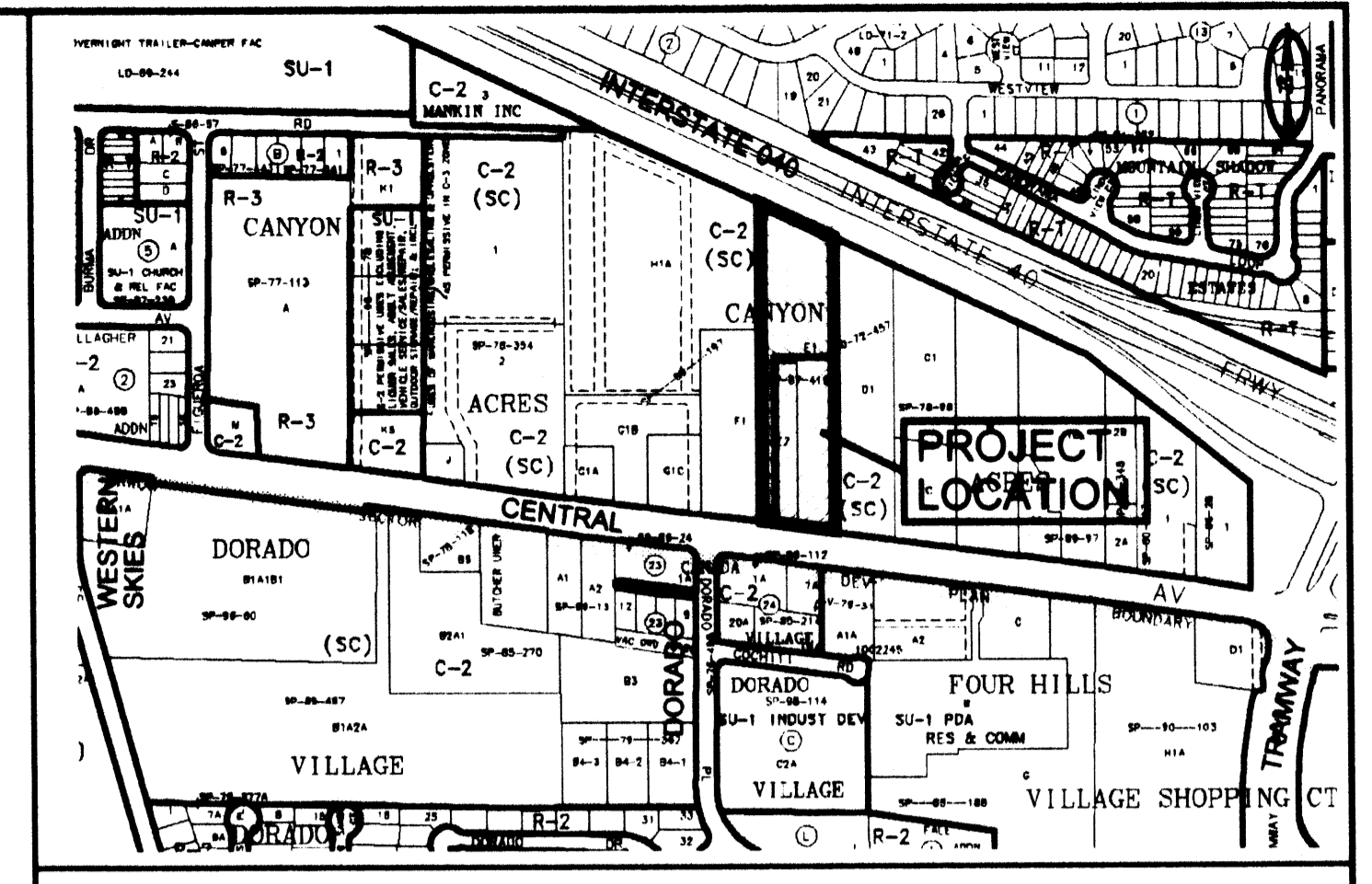
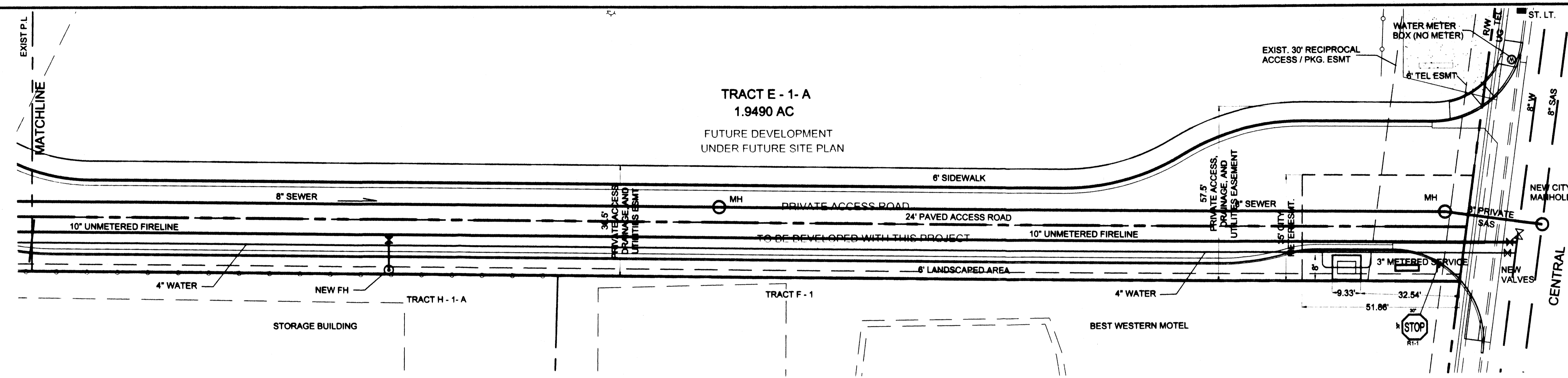


**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-268-6000 Fax: 505-268-6188

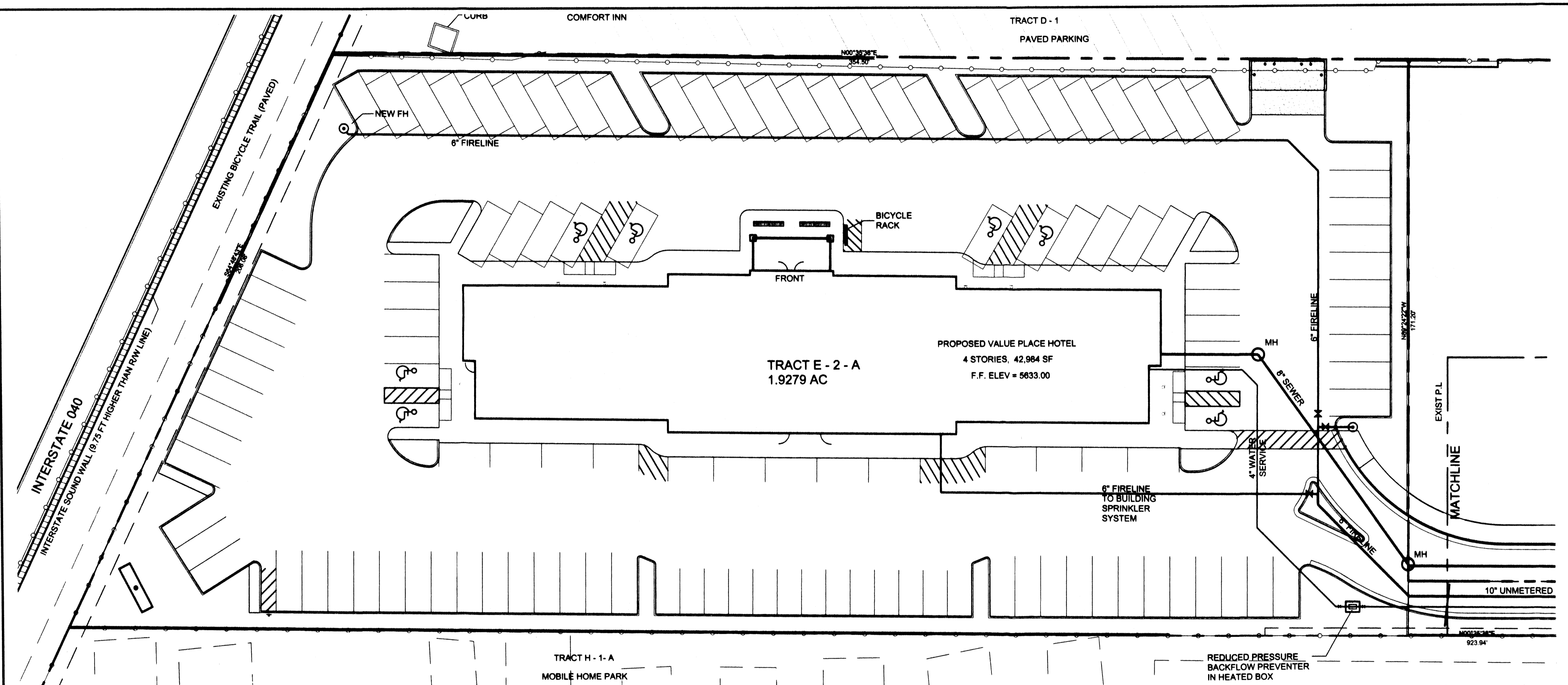


**VALUE PLACE**  
**GRADING AND DRAINAGE PLAN**  
 SHT: 4 OF 7

DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	F/ODVP	



L-22 LOCATION MAP NTS



**PROJECT DATA**  
**EXISTING LEGAL DESCRIPTION:**  
 TRACTS E-1 AND E-2, CANYON ACRES  
**PROPOSED LEGAL DESCRIPTION**  
 TRACTS E-1-A AND E-2-A, CANYON ACRES  
**PROPERTY ADDRESS:**  
 TRACT E-1: 13013 CENTRAL AVE. NE  
 TRACT E-2: 13001 CENTRAL AVE. NE

**SITE AREA:**  
 EXISTING TRACT E-1: 2.8769 AC.  
 EXISTING TRACT E-2: 1.0000 AC.  
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)  
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)  
 TOTAL AREA: 3.8768 AC (168,876 SF)

**ZONING:** C-2 (SC). (No zone change is requested.)

**WATER SERVICE**  
 Water service to Tract E-2-A will be provided by connection to the existing 8" waterline in Central with 3" metered service. The meter will be set outside the Central right-of-way in a separate City meter easement. From the meter, a private waterline will be constructed to the building. Upstream of the building, a reduced pressure backflow preventer will be placed in the line. The metered service line will also serve landscaping irrigation.

The 10" unmetered fire line connection size is as stipulated by the City in the statement of water and sanitary sewer availability dated September 14, 2005. Other on-site water line sizes shown are preliminary. Final water line sizes will be determined at the time of building design based on actual domestic and fire demands, and the pressure available from the City water system under those demand conditions.

Fire protection will be provided by connection to the existing 8" waterline in Central and extension of a private unmetered fire line north from Central into the site. The fire line will serve at least three private fire hydrants, and an internal fire protection sprinkler system. Based on the finished floor elevation of the proposed building on Tract E-2-A, the maximum static water pressure at floor elevation will not exceed 83 psi. The actual residual pressure available for the internal fire protection system must be determined at the time of fire sprinkler system design, and may require an internal pressure boosting system.

**SANITARY SEWER SERVICE**  
 There is an existing 8" sanitary sewerline in Central. Sanitary service to Tract E-2-A will be taken by extension of a private 8" sewerline within an easement and access road from Central, north into the site. A new City manhole will be constructed in the City line in Central at the point of connection.

Water and sewer service lines constructed on site for Tract E-2-A will be contained in a private access and utilities easement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners.

**LEGEND**

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
WATERLINE	6" W	8" W	CHAIN LINK FENCE	---	---
SANITARY SEWER	8" SAS	8" SAS	RETAINING WALL	---	---
STORM SEWER	36" SD	24" SD	DRAINAGE BASIN	---	---
FIRE HYDRANT	⊙	⊙	DIVIDE	---	---
VALVE	⊕	⊕	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
WATER SERVICE (SINGLE)	□	□	SPOT ELEV.	× 16.7	× 87.26
WATER SERVICE (DOUBLE)	⊞	⊞	HEADER CURB	---	---
MANHOLE	⊙	⊙	FLOWLINE ELEV.	FL 0.14	FL 0.14
SEWER SERVICE	⊞	⊞	TOP OF CURB ELEV.	TC 99.3	TC 99.31
POWER POLE (GUYED)	PP	PP	CONTOUR	5166	62
DROP INLET	⊞	⊞	CONT. (SUPPLEMENT)	5166	82
OVERHEAD ELEC.	OHE	---	SWALE	---	---
UNDERGROUND ELEC.	UGT	---	DIRECTION OF FLOW	---	---
GAS, TEL, TV	---	---	WATER BLOCK	---	---
TEL. PEDESTAL	TEL	---	LANDSCAPED AREA	---	---
RIGHT OF WAY	---	---			
EASEMENT LINE	---	---			
PROPERTY LINE	---	---			
CENTERLINE	---	---			

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 PH: 505-888-8099 FAX: 505-888-6188

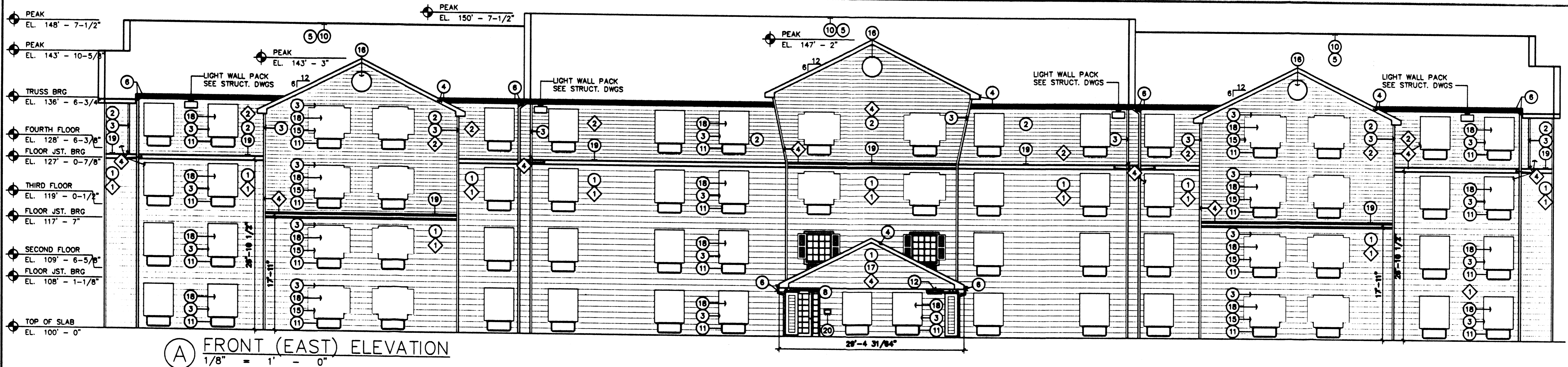
**VALUE PLACE UTILITIES PLAN**

DRW: R.M  
 CKD: P.T.B  
 APP:  
 REV. NO.

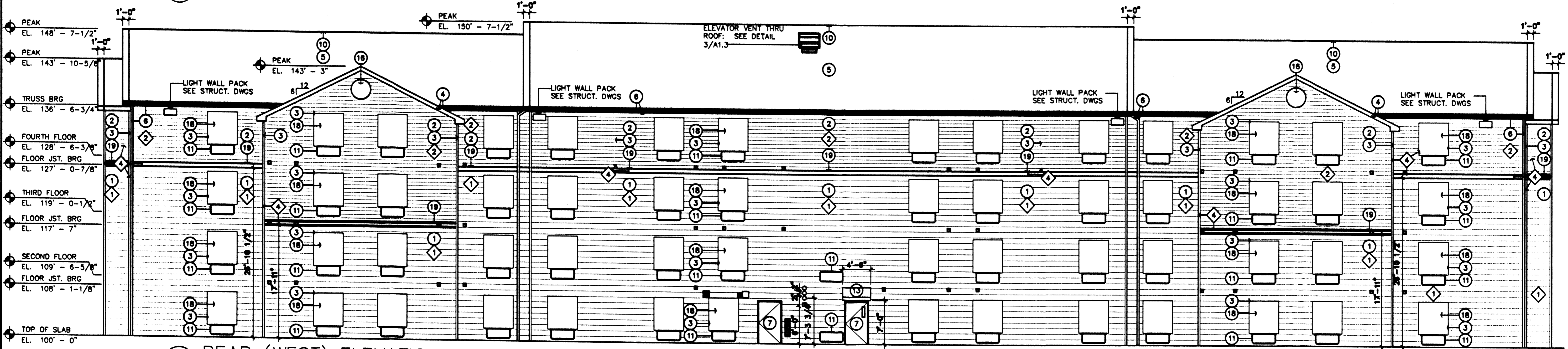
TR: OK  
 ACAD FILE:  
 FIODVP

DATE: 10/18/05  
 SCALE: 1" = 20'

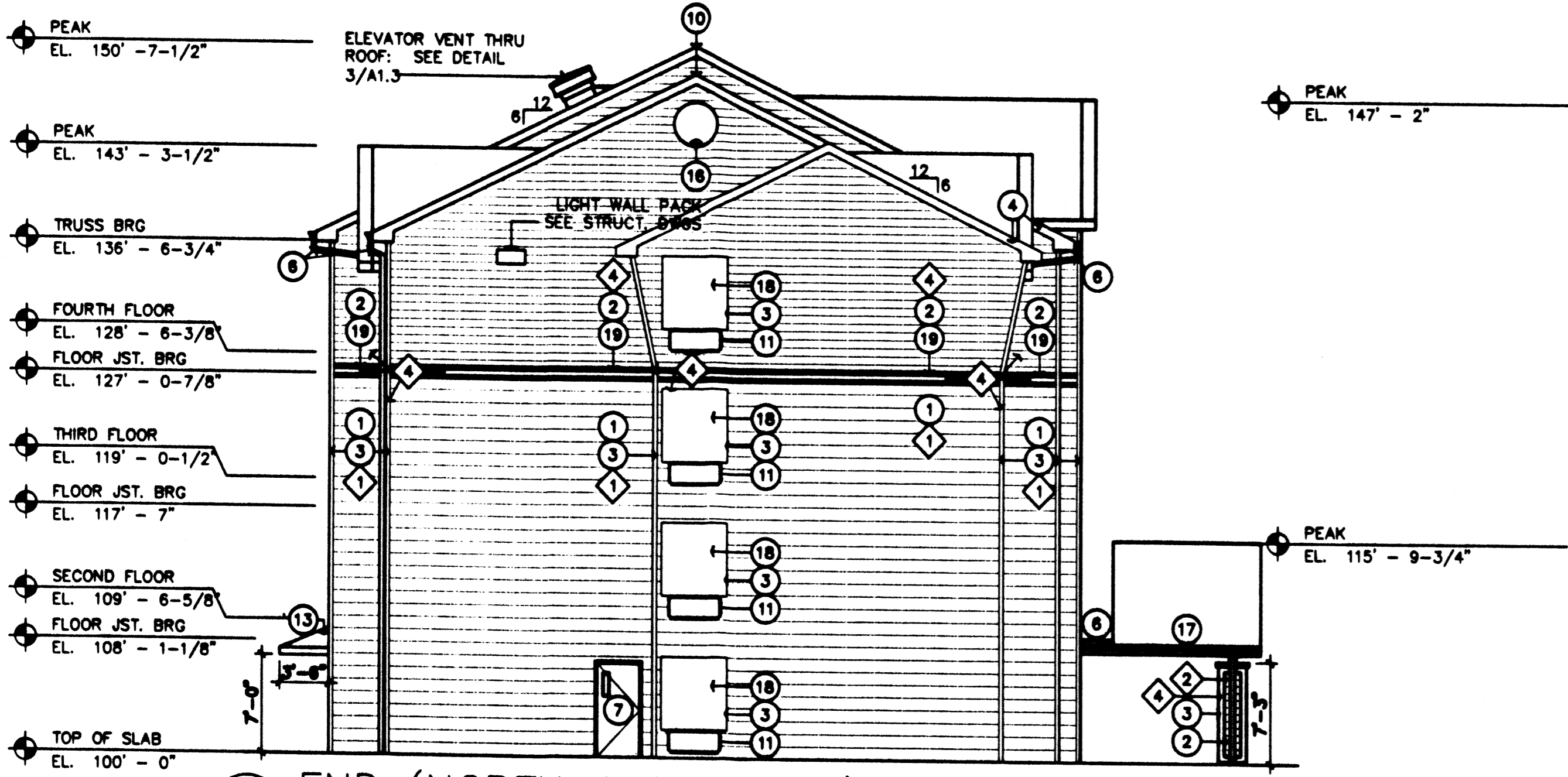
SHT: 5 OF 7



**(A) FRONT (EAST) ELEVATION**  
1/8" = 1' - 0"



**(B) REAR (WEST) ELEVATION**  
1/8" = 1' - 0"



**(C) END (NORTH AND SOUTH) ELEVATIONS**  
1/8" = 1' - 0"

**COLOR SCHEDULE**

1	COLOR: "C/M GREEN" PRODUCT #K33W153 GALLON FORMULA: G2-15, N1-BY39, W1-2Y32
2	COLOR: "SWB148" PRODUCT #K33W151 GALLON FORMULA: L1-3+1, R3-7+1, Y3-25
3	NOT USED
4	COLOR: "WHITE" PRODUCT #K33W100 PACKAGE COLOR WHITE

**GENERAL NOTE**

"JAMES HARDIE" SIDING PRODUCTS ARE THE PREFERRED EXTERIOR CONCRETE SIDING. SUBSTITUTIONS ONLY WITH OWNERS WRITTEN AUTHORIZATION

**NOTE:**

COORDINATE DOWN SPOUTS WITH A/A1.3

**ELEVATION MATERIALS**

- WALLS: 10" EXPOSURE "HARDPLANK" LAP SIDING: SEE COLOR SCHEDULE
- WALLS: 7" EXPOSURE "HARDPLANK" LAP SIDING: SEE COLOR SCHEDULE
- "HARDPLANK" TRIM: 1/2" X 4": COLOR "GLACIER WHITE"
- "HARDPLANK" TRIM FASCIA: COLOR "GLACIER WHITE"
- ROOF: COMPOSITION SHINGLES
- ALUMINUM GUTTERS AND DOWN SPOUTS
- HOLLOW METAL DOORS PAINTED TO MATCH ADJACENT WALL COLOR-TRIM TO BE WHITE
- GLASS / ALUMINUM DOORS
- NOT USED
- RIDGE VENT: SEE ROOF PLAN A/A1.3 & DETAIL 1/A1.3
- THRU-WALL HVAC UNIT
- MECH. LOUVERS: SEE MECH. DWGS. FOR SIZE, ALSO REF. STRUCT. DWGS. FOR HEADER SIZE AND LOCATION: PAINT LOUVER TO MATCH ADJACENT SURFACE
- NYLON DOOR CANOPY COLOR: BLACK
- NOT USED
- MOLDED PLASTIC SHUTTER: INTEGRAL COLOR - COLOR: BLACK
- 30" DIA. PLASTIC GABLE VENT, INTEGRAL COLOR W/ INSECT SCREEN: COLOR TO MATCH ADJACENT SURFACE: SEE SPECS
- ENTRY PORTICO
- SLIDING WINDOW TYP.: SEE SPECS
- 1/2" X 8" WIDE "HARDPLANK" TRIM: COLOR "GLACIER WHITE": SEE DETAIL 1/A2.1 (NOTE: DIM. TO BTM. OF TRIM IS APPROX. - G.C. TO VERIFY IN FIELD TO KEEP FROM CUTTING SIDING AS MUCH AS POSSIBLE)
- KNOX BOX - VERIFY SIZE, LOCATION, AND TYPE WITH LOCAL FIRE DEPARTMENT

**VALUE PLACE**

13001 CENTRAL AVE.  
ALBUQUERQUE, NEW MEXICO

AUGUST 02, 2005

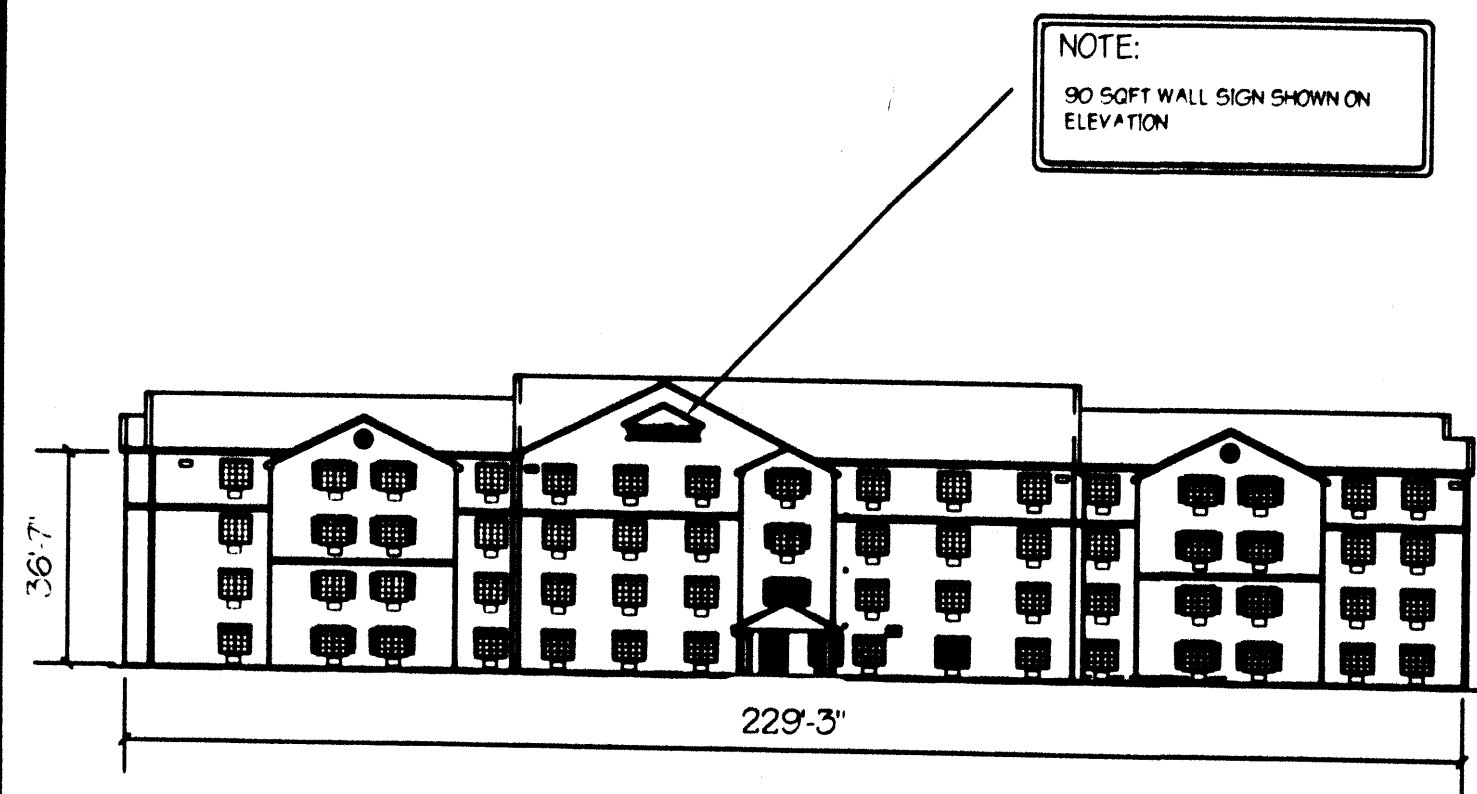
LMO  
CP  
EXTERIOR ELEVATIONS

A2.1

2005

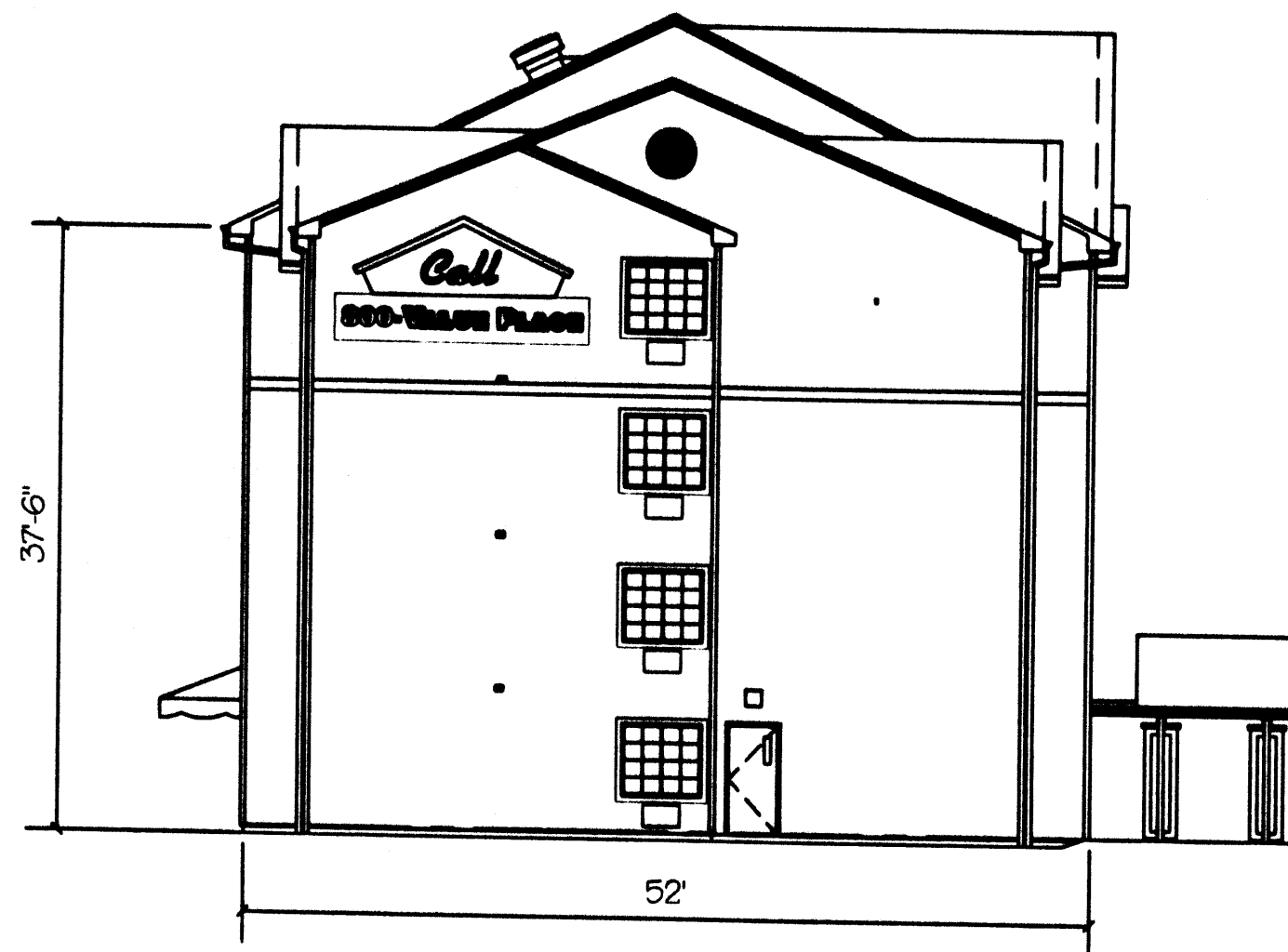
**VALUE PLACE  
BUILDING ELEVATIONS**

DRW: R.M.	TR: TR	DATE: 10/03/05	SHT: 6 OF 7
CKD: P.T.B	OK: OK	SCALE: AS SHOWN	
APP: APP	ACAD FILE: ACAD FILE		
REV. NO.:	PROJ. NO.:		



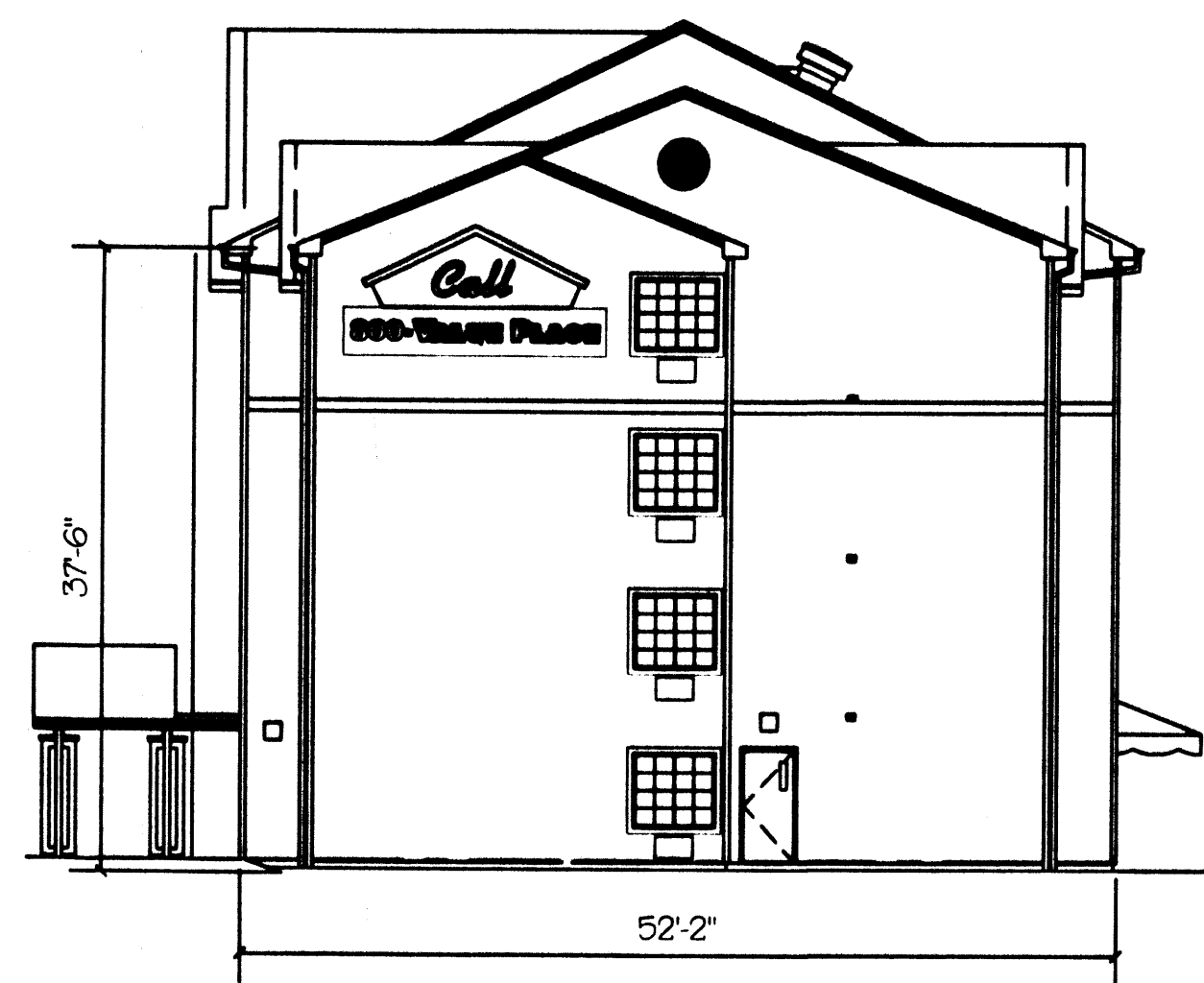
FRONT ELEVATION WITH WALL SIGN  
1/32" = 1'

NOTE:  
90 SQFT WALL SIGN SHOWN ON ELEVATION



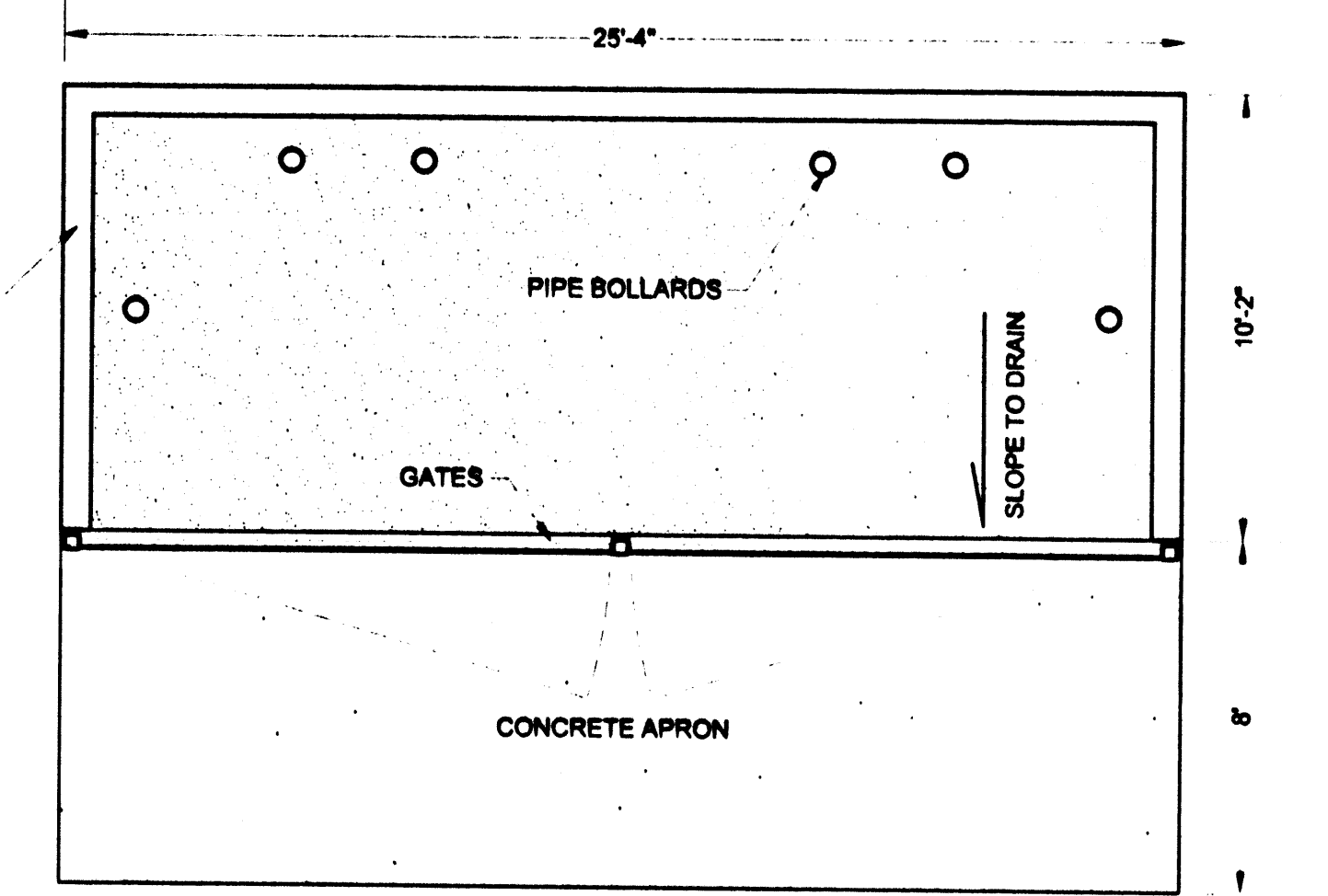
NORTH END ELEVATION WITH WALL SIGN  
3/32" = 1'

NOTE:  
ONE 125 SQFT WALL SIGN SHOWN ON EAST END ELEVATION

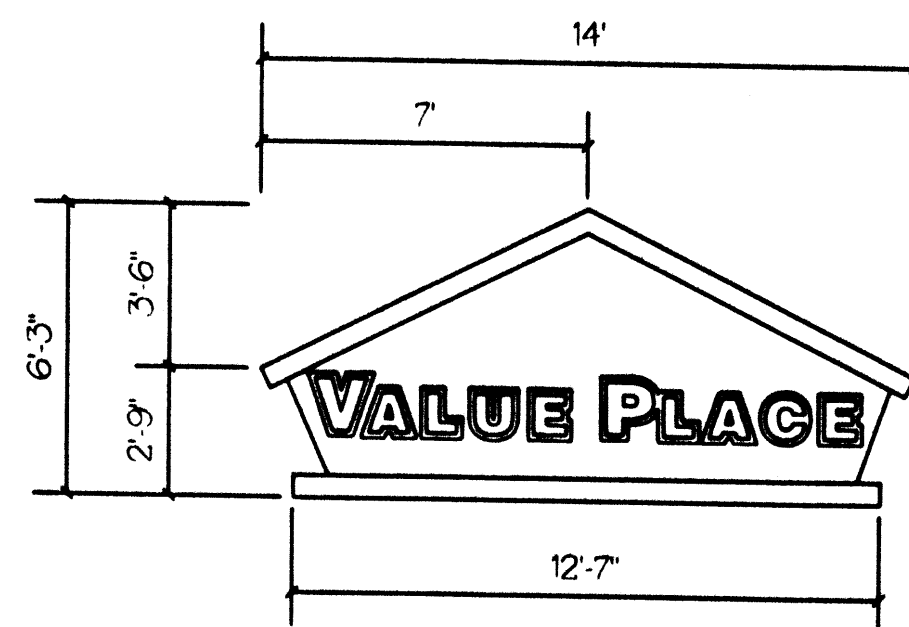
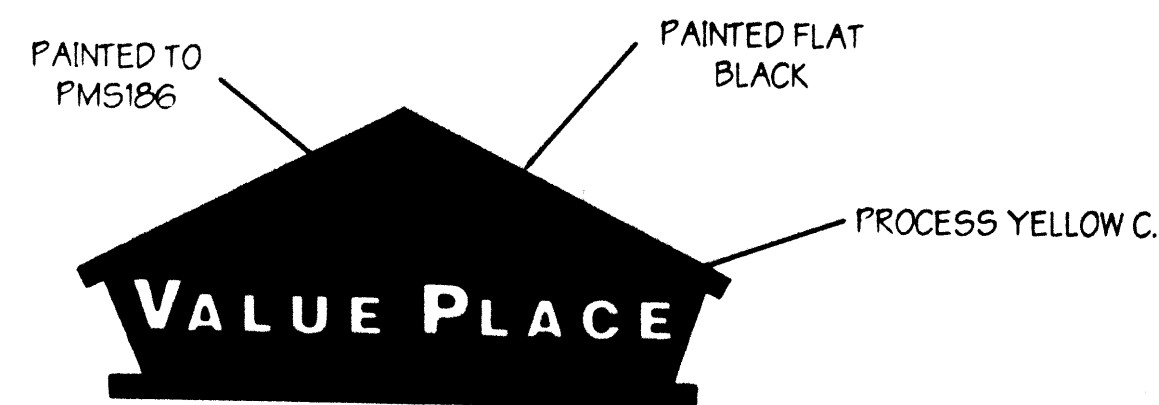


SOUTH END ELEVATION WITH WALL SIGN  
3/32" = 1'

NOTE:  
ONE 125 SQFT WALL SIGN SHOWN ON EAST END ELEVATION

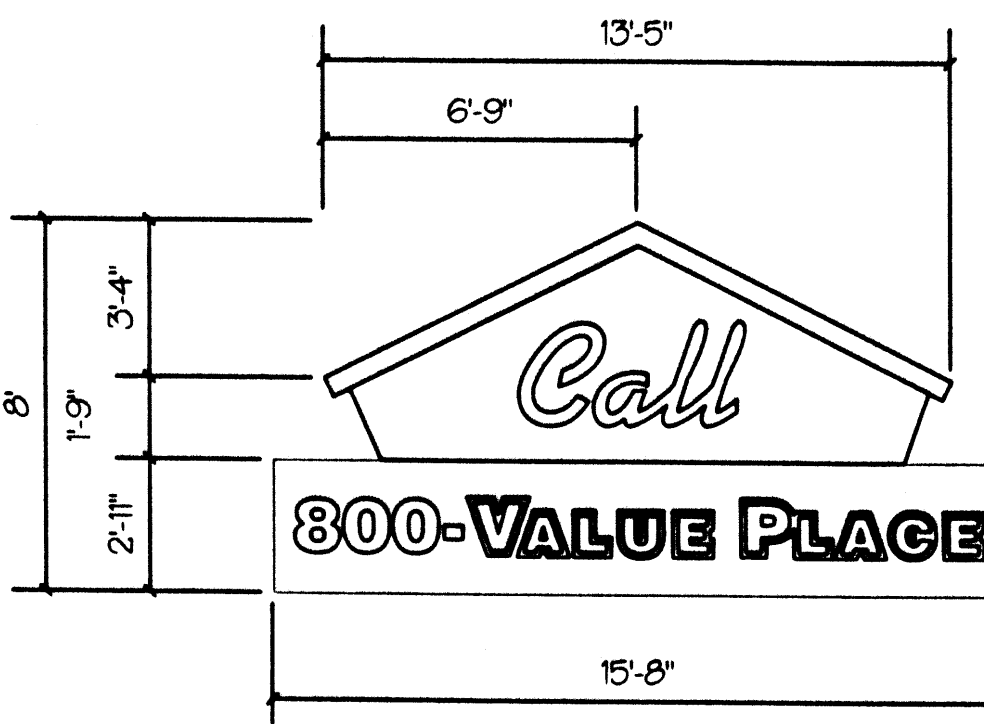


PLAN



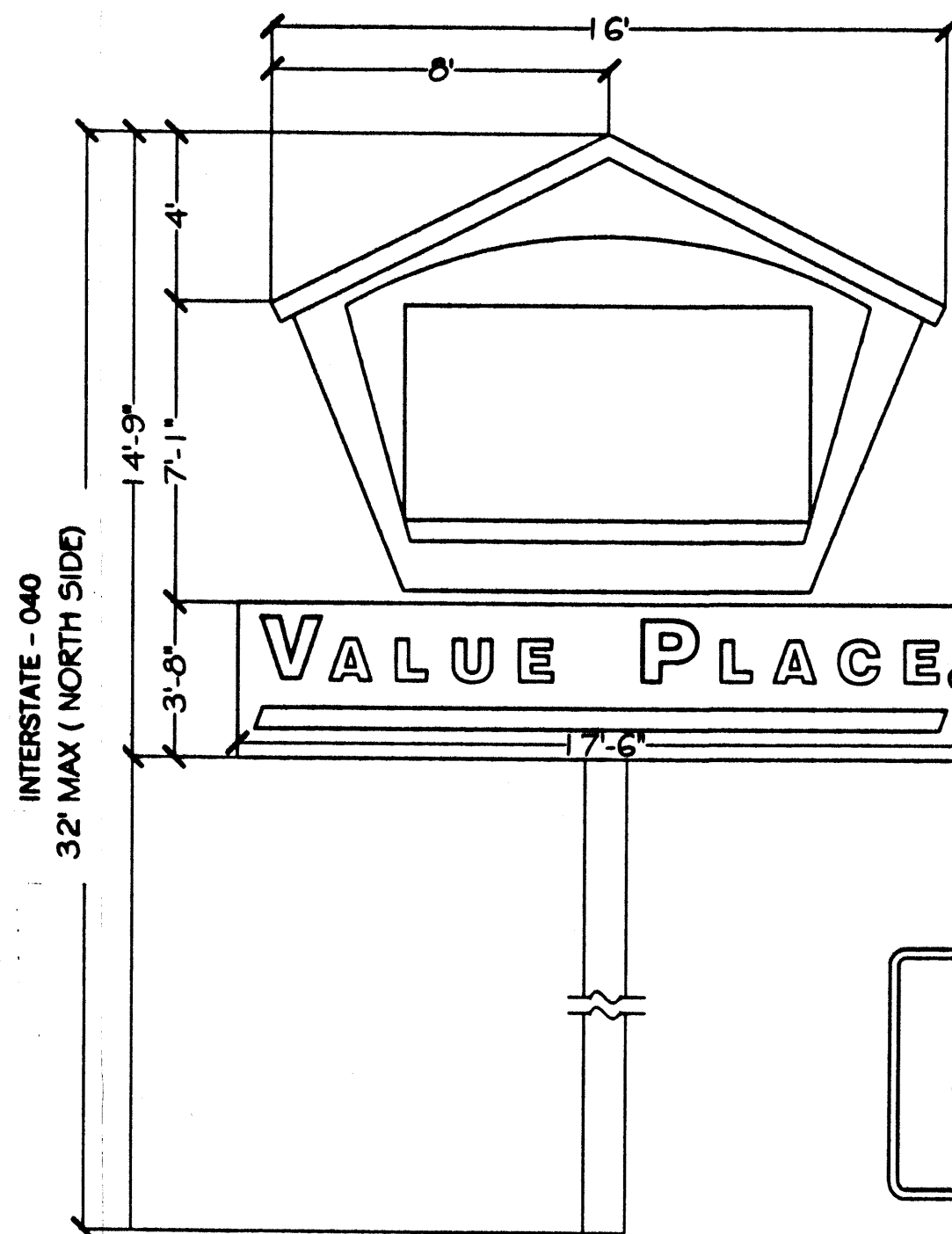
90 SQFT FRONT ELEVATION WALL SIGN  
1/4" = 1'

NOTE:  
FLAT METAL SIGNAGE TO BE LIT EXTERNALLY BY WALL MOUNTED LIGHTING



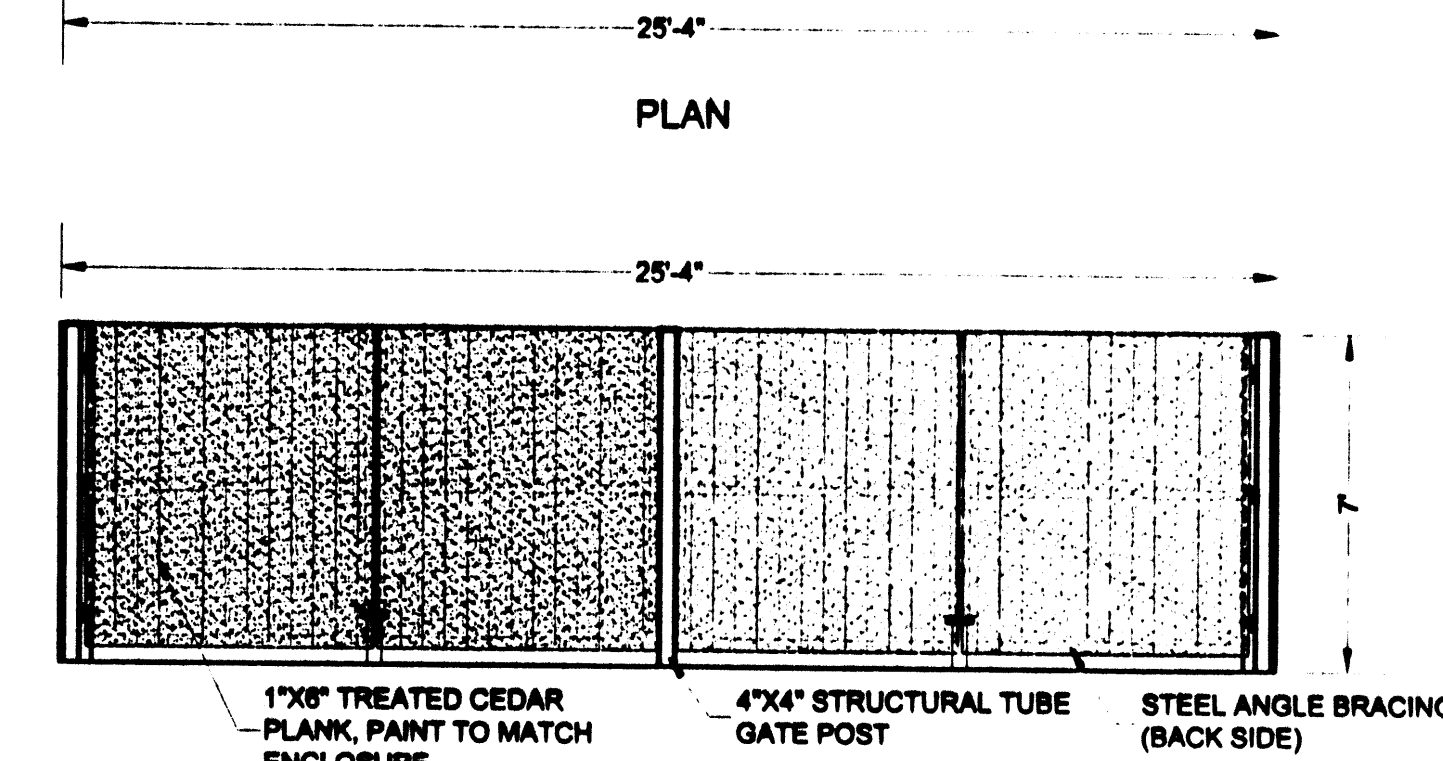
125 SQFT END ELEVATION WALL SIGN  
1/4" = 1'

NOTE:  
FLAT METAL SIGNAGE TO BE LIT EXTERNALLY BY WALL MOUNTED LIGHTING

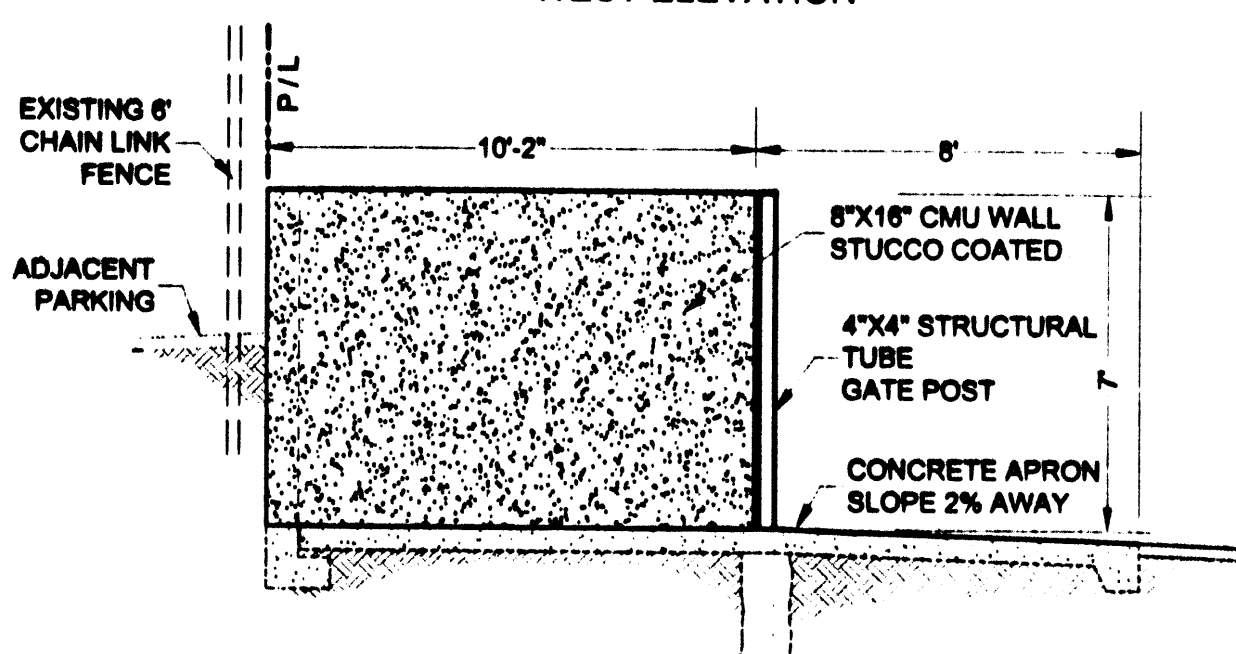


250 SQFT Pylon Sign Elevation  
1/4" = 1'

NOTE:  
CABINET DEPTH AND FOUNDATION DESIGN TO BE DETERMINED UPON THE COMPLETION OF ENGINEERED POLE DESIGN FOR 50' HEIGHT.



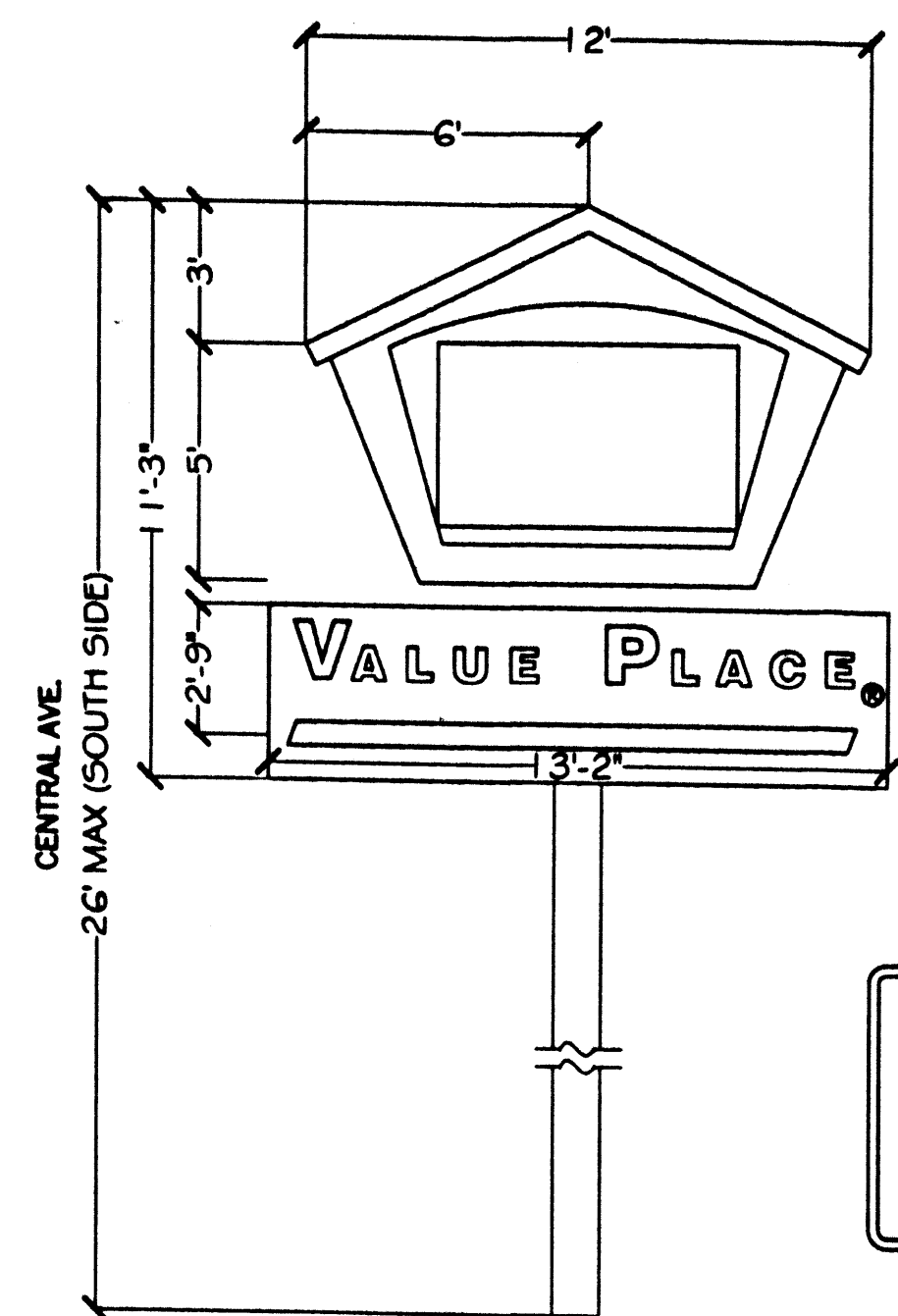
WEST ELEVATION



NORTH AND SOUTH ELEVATIONS

NOTES:  
THIS ENCLOSURE IS A CITY STANDARD DOUBLE-WIDE AND IS TO BE CONSTRUCTED TO THOSE DIMENSIONS  
ALL EXTERIOR COLORS OF THE ENCLOSURE ARE:  
"CM" GREEN" PRODUCT #K33153  
(SHERWIN / WILLIAMS LIGHT SANDY GREEN)  
GALLON FORMULA: G2-15; N1 - 8Y39; W1 - 2Y32

REFUSE DUMPSTER ENCLOSURE  
SCALE: 1/4" = 1'



150 SQFT Pylon Sign Elevation  
1/4" = 1'

NOTE:  
CABINET DEPTH AND FOUNDATION DESIGN TO BE DETERMINED UPON THE COMPLETION OF ENGINEERED POLE DESIGN FOR 25' HEIGHT.



**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-886-0088 Fax: 505-886-6188

DUMPSTER ENCLOSURE  
PAUL T. BRASHER  
NEW MEXICO  
7282  
REGISTERED PROFESSIONAL ENGINEER  
10/14/05

**VALUE PLACE**  
DETAILS

DRW: R.M  
CKD: P.T.B  
APP:  
REV. NO.

TR:  
OK:  
ACAD FILE:  
FDD/VP

DATE: 09/19/05  
SCALE: AS SHOWN

SHT: 7 OF 7