

DEVELOPMENT GUIDELINES

LANDSCAPING GUIDELINES

PROJECT DATA

EXISTING LEGAL DESCRIPTION:
 TRACTS E - 1- AND E - 2, CANYON ACRES
 PROPOSED LEGAL DESCRIPTION
 TRACTS E - 1- A AND E - 2 - A, CANYON ACRES
 PROPERTY ADDRESS:
 TRACT E-1: 13013 CENTRAL AVE. NE
 TRACT E-2: 13001 CENTRAL AVE. NE
 SITE AREA:
 EXISTING TRACT E-1: 2.8769 AC.
 EXISTING TRACT E-2: 1.0000 AC.
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)
 TOTAL AREA: 3.8768 AC (168,876 SF)
 ZONING: C-2 (SC). (No zone change is requested.)

- This Site Plan is for subdivision purposes only. The boundary shown is approximate and based in part on plats of record, but it is not a boundary survey. The final land division configuration will be by plat of the property. Existing Tracts E-1 and E-2 comprise 2.8768 and 1.0000 acres, respectively. New Tract E-1-A will contain 1.949 acres and New Tract E-2-A will contain 1.928 acres. Tract E-1-A will be developed at a later date under a separate Site Plan for Building Permit. Tract E-2-A will be developed immediately as a 121-room hotel with appurtenant paving, parking, landscaping, utilities, drainage, lighting, and signage.
- A detailed Site Development Plan for each tract shall be submitted to the Development Review Board for final review and approval prior to development of any improvements on that tract. Development shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code), C-2 Zone.
- A detailed Grading and Drainage Plan will be required for Tract E-1-A prior to development of any improvements on that tract.
- Landscaping: The total landscaped area required for each Tract shall equal not less than 15 % of the net area, more specifically defined by Section 14-16-3-10 of the Zoning Code as the total lot area minus: (a) The area of the lot not covered by buildings; (b) The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from any adjacent lot or public right-of-way by an opaque wall or fence at least 6' high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and (c) The area of any approved landscaping that the owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk. Temporary landscape treatment, such as seeding, is proposed for new Tract E-1-A over as much of the tract as is practicable. At the time of development, streetscaping in accordance with Article 6 (the "Street Tree Ordinance") shall be installed.
- Building Height: Building height and width shall fall within 60° angle lines drawn from the horizontal at the mean grade along each boundary of the subject Tract, but a structure shall not exceed a height of 60 feet, unless otherwise provided for and approved by Site Development Plan. Exceptions to the preceding are provided in accordance with Section 14-16-3-3 of the Comprehensive Zoning Code, "Supplementary Height, Area and Use Regulation".
- Building Floor Area Ratios: Building floor area ratios are recommended not to exceed 0.35.
- Signs: All signs shall be in compliance with the requirements set forth in the Zoning Code for C-2 zones. The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code, Sections 14-16-3-5, and 14.16.2.17 governing signage in the C-2 zone. Off-premise signage is prohibited.
- Setbacks: Building setbacks for each of the Tracts shall comply with the requirements set forth in the Zoning Code for C-2 zones.
- Parking: All off-street parking requirements shall be as provided in Section 14-16-3-14 of the Zoning Code.
- Pedestrian Access: Direct pedestrian access shall be provided from buildings to adjoining street frontages. Access shall be 6' clear minimum with trees where practical.
- Employee Facilities: Businesses with 50 or more employees shall supply lockers. Showers are encouraged.
- On-site and boundary fencing is not proposed with this site plan, but may be constructed of 8' high chainlink with security wiring at the discretion of the property owner.

- Landscaping that may potentially exceed 15 feet in height will not be allowed within any Public Service Co. of New Mexico easement.
- Specific use of introduced and naturalized species to supplement the indigenous plant palette. These "introduced and naturalized" species will be used in areas less exposed to the macro climate and will function as accent treatments.
- Controlled uses of indigenous inorganic materials (i.e. rocks, gravel) to function as ground cover or paving substitutes.
- Street trees where allowed will be planted at a rate of 3 per 100 linear feet and will be set back 15 feet from the back of curb.
- Streetscape along Central Ave. will be in accordance with Article Six (6) of the Municipal Code, and will include the following:
 - Canopy 3 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.
 - Understory and accent 2 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.
- Existing trees on Tract E-1-A that are in good condition will be salvaged. Overgrown vegetation, accumulated litter, and mobile homes being stored on site will be removed within 60 days of approval of the Site Development Plan for Building Permit.

UTILITIES

Existing public water and sanitary sewer lines are located in Central Ave. Development of Tract E-1-A will require separate water, sanitary sewer, and fire protection line extensions, to be determined by the City prior to development.

Water service to Tract E-2-A, will be taken by extension of a private metered service line connected to the existing City waterline in Central Ave. Fire protection to Tract E-2-A will be taken by extension of a private, unmetered fire line into the site from the existing City waterline in Central. Sanitary sewer service to Tract E-2-A will be provided by the extension of a private sewer service line from the existing City sewerline in Central, north to the site. All water and sewer service lines will be contained within a utilities easement shared by Tract E-1-A under an easement agreement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners. The development of Tract E-2-A requires no expenditure of public funds nor construction of unprogrammed capital improvements facilities.

SIGNAGE AND SITE LIGHTING

The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code, Sections 14-16-3-5, and 14.16.2.17 governing signage in the C-2 zone. Off-premise signage is prohibited.

Free-standing lighting fixtures are allowed provided they ensure full cutoff lighting. Otherwise, the size, placement, and luminosity of all lighting fixtures will be as regulated by the zoning code, Section 14-16-3-9 AREA LIGHTING REGULATIONS. Building lighting shall be shielded to provide downward light emission to prevent light trespass and upward light "pollution".

DRAINAGE

A separate Site Development Plan for building permits will be submitted to the City for the development of Tract E-1-A, together with a site specific grading and drainage plan. The plat will provide a cross-lot drainage easement to be shared by both Tracts.

SITE PLAN FOR SUBDIVISION

The plat accompanying this Site Plan for Subdivision will create two new Tracts E-1-A and E-2-A by reconfiguration of two existing Tracts, thereby enabling the immediate development of new Tract E-2-A as a hotel. The purpose of the Site Plan for Subdivision is to show the new Tracts; to set forth the criteria by which new Tract E-2-A will be immediately developed; and to specify that the future development of new Tract E-1-A will require separate future review by the City Environmental Planning Commission and Development Review Board. This Site Plan for Subdivision proposes no increase nor decrease in the total lot count of the properties involved.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

The purpose of the Site Development Plan for Building permit is to show the details of the improvements to new Tract E-2-A for its immediate construction.

DEVELOPMENT OF TRACT E-1-A

Tract E-1-A will not be developed with this planning action. A detailed Site Development Plan for Tract E-1-A will be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to issuance of building permit for improvements thereon. Development of Tract E-1-A shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code), C-2 Zone.

DRAINAGE

A Grading and Drainage Plan to support the development of Tracts E-2-A is provided. A separate Grading and Drainage Plan for Tract E-1-A will be required at the time of its development. The subdivision plat for this project will show a private drainage, access, and utilities easement over portions of Tracts E-1-A and E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

PROJECT NUMBER: 1004364
 APPLICATION NUMBER: 05 DRB-01585

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

[Signature] 10/19/05
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

[Signature] 10/19/05
 UTILITIES DEVELOPMENT DATE

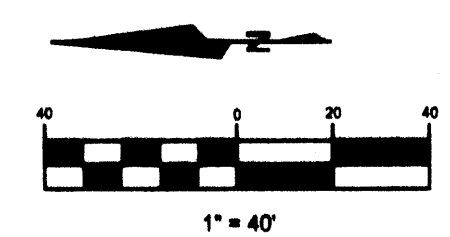
[Signature] 10/19/05
 PARKS AND RECREATION DEPARTMENT DATE

[Signature] 10/19/05
 CITY ENGINEER DATE

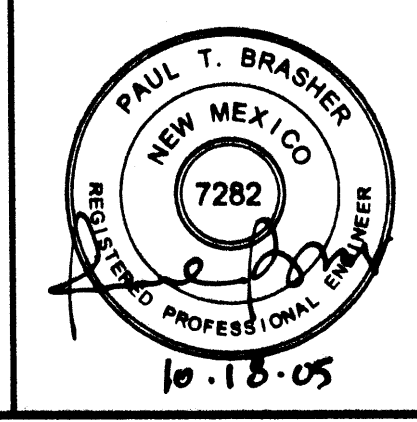
[Signature] 11/15/05
 ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

[Signature] 10/19/05
 SOLID WASTE MANAGEMENT DATE

[Signature] 11/15/05
 DRB CHAIR, PLANNING DEPARTMENT DATE



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188



VALUE PLACE
 SITE PLAN FOR SUBDIVISION

SH: 1 OF 1

DRW: R.M.	TR: OK	DATE: 10/18/05
CKD: P.T.B	APP: ACAD FILE:	SCALE: 1"=40'
REV. NO.	F/D/AVP	

PROJECT # 1004364

LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	--- 6"W ---	--- 6" W ---
SANITARY SEWER	--- 8"SAS ---	--- 8" SAS ---
STORM SEWER	--- 36"SD ---	--- 24" SD ---
FIRE HYDRANT	⊙	⊙
VALVE	⊕	⊕
WATER SERVICE (SINGLE)	⊕	⊕
WATER SERVICE (DOUBLE)	⊕	⊕
MANHOLE	⊕	⊕
SEWER SERVICE	⊕	⊕
POWER POLE (GUYED)	⊕	⊕
DROP INLET	⊕	⊕
OVERHEAD ELEC	--- OHE ---	--- OHE ---
UNDERGROUND ELEC. GAS, TEL, TV	--- UGT ---	--- UGT ---
TEL. PEDESTAL	⊕ TEL	⊕ TEL
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---

ITEM	EXISTING	PROPOSED
CHAIN LINK FENCE	---	---
RETAINING WALL	---	---
DRAINAGE BASIN DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	× 16.7	× 87.26
HEADER CURB	---	TOP ASPH TOP CURB
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	82
CONT. (SUPPLEMENT)	5166	82
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
LANDSCAPED AREA	---	---

KEYED NOTES

- EXISTING STANDARD CURB & GUTTER
- EXISTING ASPHALT PAVING
- NEW 8" WIDE TURNED DOWN SIDEWALK (6" STEP)
- EXISTING 6" SIDEWALK
- EXISTING PERIMETER CHAIN LINK FENCE
- SIGN
- NEW ASPHALT PAVING
- NEW LANDSCAPING
- NEW 6" SIDEWALK
- NEW FIRE HYDRANT
- NEW 6" CURB AND GUTTER
- OUTDOOR BENCH SEATING
- STRIPED CROSSWALK
- NEW REFUSE ENCLOSURE (CITY STD. - DOUBLE ENCLOSURE)
- HANDICAP RAMP (W/ SIGNS AT HANDICAP PARKING SPACES)
- 3" WATER METER
- EXISTING 4' RET. WALL (TO REMAIN)
- BACKFLOW PREVENTER
- 6" CONC. HEADER CURB
- NEW CMU RETAINING WALL
- (NOT USED)
- MOTORCYCLE PARKING (WITH SIGN)
- MOUNTABLE CURB DIVIDER (CONCRETE)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission, dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

PROJECT NUMBER: **1004364**
 APPLICATION NUMBER: **05 DRB-01586**

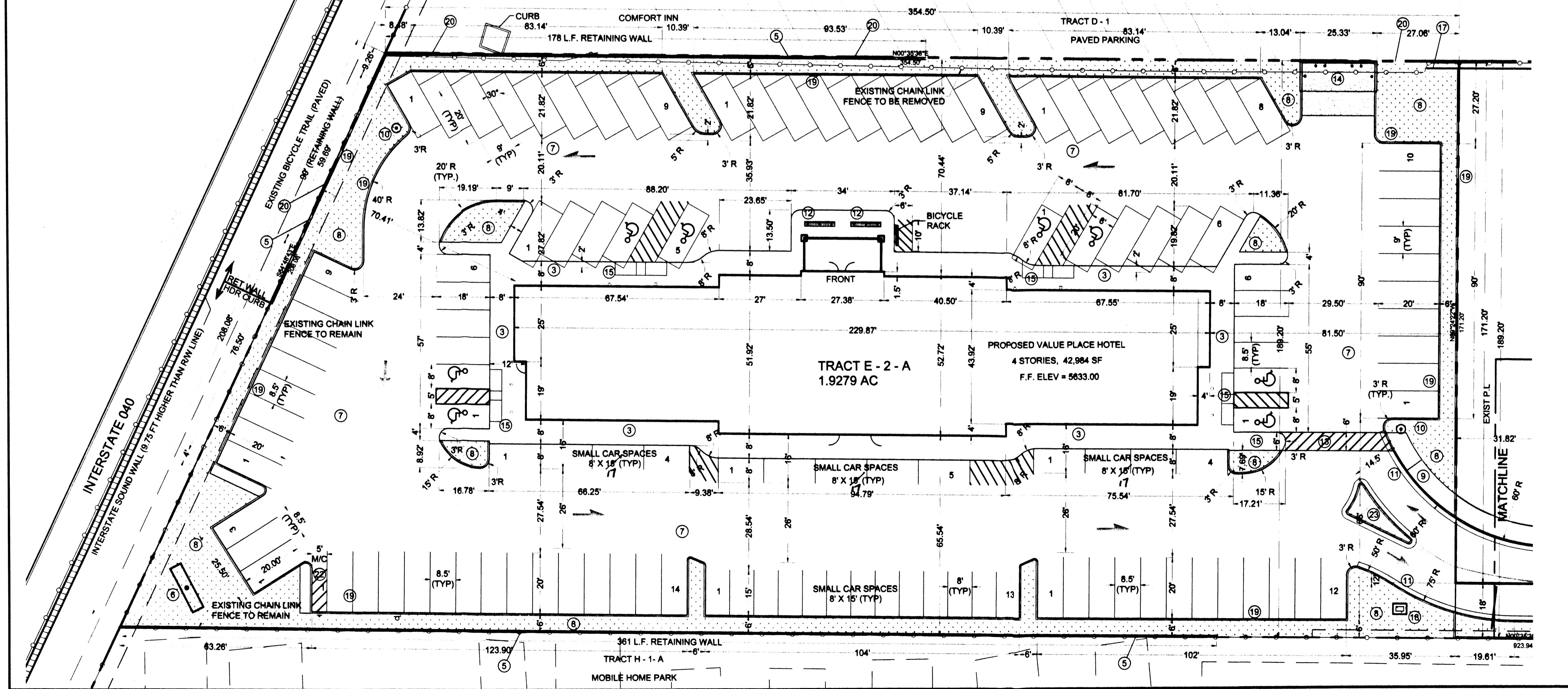
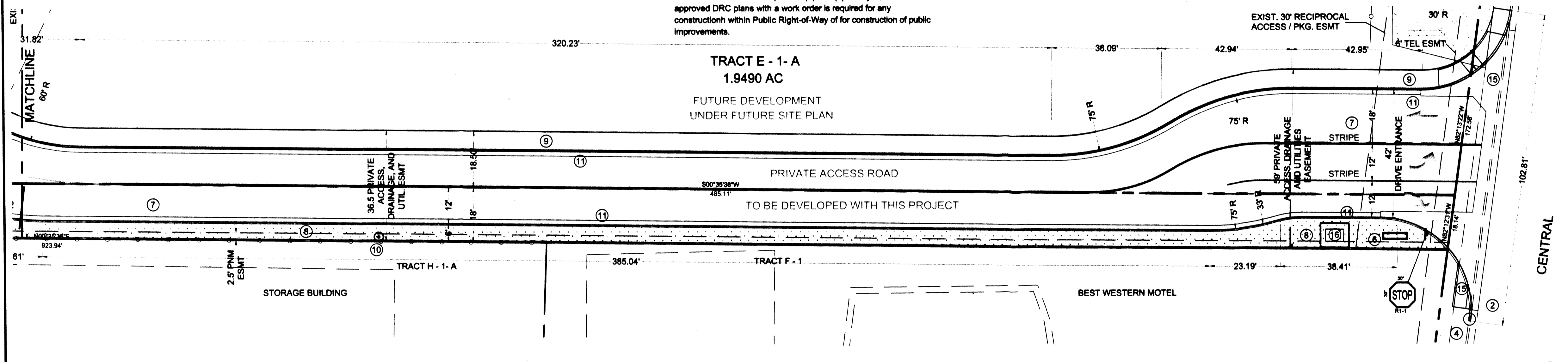
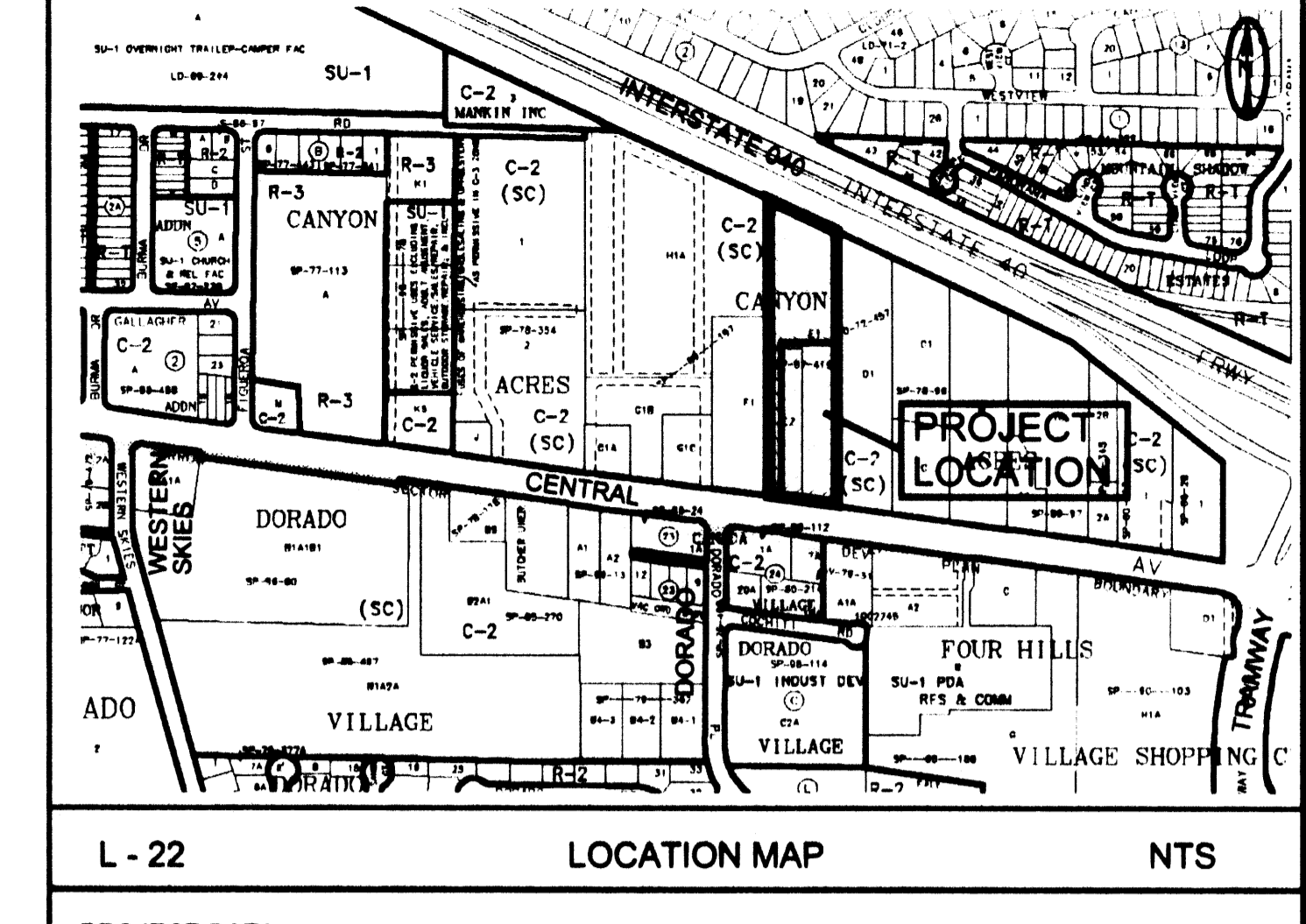
DRB SITE DEVELOPMENT PLAN APPROVAL:

Roger A. [Signature] DATE: **10/17/05**
 UTILITIES DEVELOPMENT

Christina [Signature] DATE: **10/19/05**
 PARKS AND RECREATION DEPARTMENT

CITY ENGINEER DATE: _____
 * ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE: _____
Michael [Signature] DATE: **10/19/05**
 SOLID WASTE MANAGEMENT

DRB CHAIR, PLANNING DEPARTMENT DATE: _____



PROJECT DATA

EXISTING LEGAL DESCRIPTION:
 TRACTS E - 1- AND E - 2, CANYON ACRES

PROPOSED LEGAL DESCRIPTION
 TRACTS E - 1- A AND E - 2 - A, CANYON ACRES

PROPERTY ADDRESS:
 TRACT E-1: 13013 CENTRAL AVE. NE
 TRACT E-2: 13001 CENTRAL AVE. NE

SITE AREA: EXISTING TRACT E-1: 2.8769 AC.
 EXISTING TRACT E-2: 1.0000 AC.
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)
 TOTAL AREA: 3.8768 AC (168,876 SF)

ZONING: C-2 (SC). (No zone change is requested.)

DEVELOPMENT OF NEW TRACT E-1-A:
 Tract E-1-A created with this plat will not be developed at the time of this planning action. A detailed Site Development Plan for Tract E-1-A shall be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to development of any improvements on that Tract.

DEVELOPMENT OF NEW TRACT E-2-A:
 Tract E-2-A created with this plat will be developed as a 121-room hotel, together with paving, landscaping, utilities, and drainage improvements.

SITE PLAN FOR BUILDING PERMIT FOR TRACT E-2-A:

Site Plan for Building permit is presented for new Tract E-2-A. The plan shows a 121-room hotel a single building with parking, landscaping, signage, refuse containment, and access. The Tract is configured such that access to the hotel will be taken by connection to Central Ave. by paved road, to be shared by cross-access and drainage easement with Tract E-1-A. The access road will also be used by both properties for conveyance of storm water drainage. Subsequent development of Tract E-1-A will require a separate grading and drainage plan.

SIGNAGE AND LIGHTING
 Signage and lighting limitations are as regulated by the Zoning Code, Sections 14-16-3-5 and 14.16.2.17 governing signage in the C-2 zone. Site lighting will be full cutoff lighting fixtures mounted to the building. Off-premise signage is prohibited.

BUILDING HEIGHT AND SETBACKS
 Building heights and setback limitations are as regulated under C-2 zoning. The proposed hotel building will not exceed 55 feet in height above finished-floor elevation.

PARKING:
 TOTAL PARKING SPACES REQUIRED: 121 Spaces, including 6 accessible and 2 van accessible
 BICYCLE SPACES REQUIRED: 8
 PARKING PROVIDED: 89 SPACES
 26 SMALL CAR SPACES @ 8' X 15'
 6 REGULAR ACCESSIBLE SPACES
 2 VAN ACCESSIBLE SPACES
 1 MOTORCYCLE SPACE
 TOTAL: 123 SPACES, PLUS 8 BICYCLE AND 1 MOTORCYCLE

LANDSCAPING:
 TOTAL AREA TRACT E-2-A: 83,977 SF
 BUILDING FOOTPRINT: 10,886 SF
 NET AREA LANDSCAPE BASE: 73,291 SF
 LANDSCAPING REQUIRED @ 15% NET: 10,994 SF
 LANDSCAPING PROVIDED: 13,284 SF (18.1%)

STREETSCAPE IN ACCORDANCE WITH THE CITY MUNICIPAL CODE, ARTICLE 6, SHALL BE INSTALLED ALONG THE CENTRAL AVE. FRONTAGE

BRASHER & LORENZ CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-886-8088 Fax: 505-886-8186

VALUE PLACE SITE PLAN FOR BUILDING PERMIT

DRW: R.M
 CKD: P.T.B
 APP: _____
 REV. NO. _____

TR: OK
 ACAD FILE: FIODVP

DATE: 10/18/05
 SCALE: 1" = 20'

SHT: 1 OF 7

PLANT LEGEND

TREES

ASH (M) OR HONEY LOCUST (M) 10
 Fraxinus pennsylvanica
 Gleditsia triacanthos
 2" Cal.

SYCAMORE (M+) 2
 Platanus wrightii
 2" Cal.

SHRUBS

* HALLS HONEYSUCKLE (M) 4 532
 Japonica 'Halliana'
 1 Gal. 199ef
 Unstaked-Groundcover

* ARP ROSEMARY (M) 95
 Rosmarinus officinalis
 1 Gal. 36ef/6' height

RUSSIAN SAGE (M) 25
 Perovskia atriplicifolia
 5 Gal. 36ef/6' height

CHAMISA (L) 25
 Chrysothamnus nauseosus
 1 Gal. 25ef/3' height

HARDSCAPES 36

SFB CRUSHERFINES WITH FILTER FABRIC
 RAKED EARTH WITH HYDROSEED REVEGETATIVE SEED

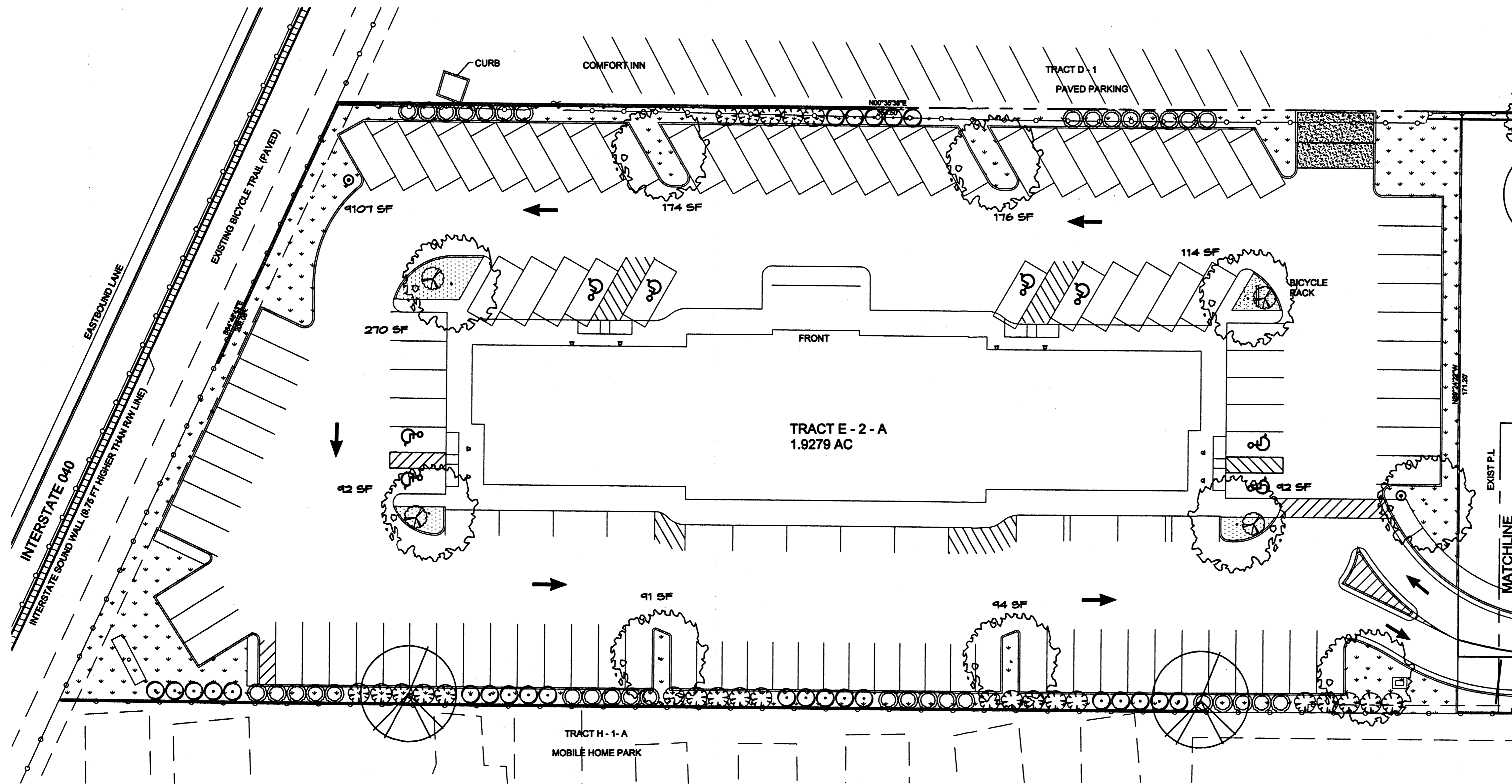
* EVERGREEN SHRUB

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	89474	square feet
TOTAL BUILDINGS AREA	10746	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	78728	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10985	square feet

TOTAL BED PROVIDED	568	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	426	square feet
TOTAL GROUNDCOVER PROVIDED	568 (100%)	square feet

TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL RAKED EARTH REVEGETATIVE SEED AREA	12716	square feet
TOTAL LANDSCAPE PROVIDED	13284	square feet



LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

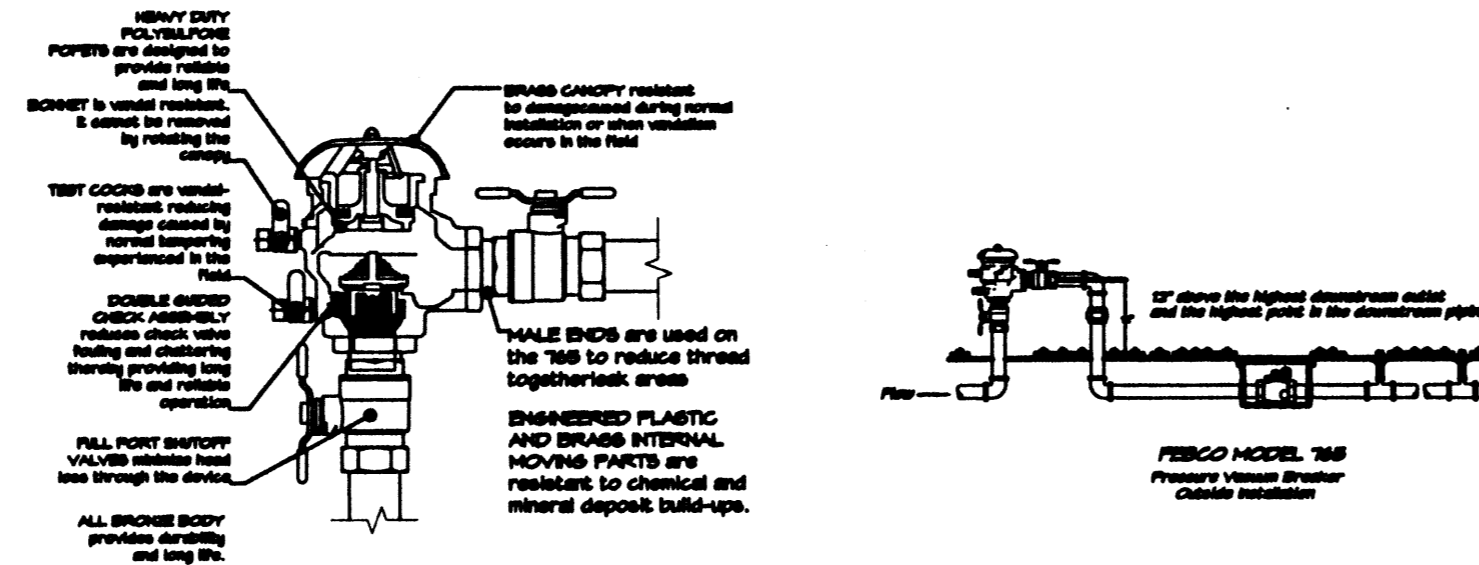
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

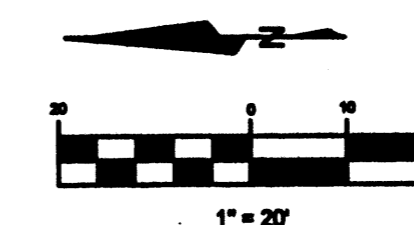
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

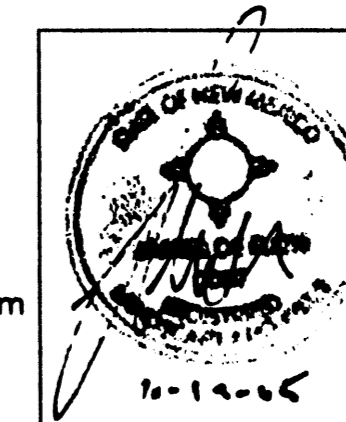


BACKFLOW PREVENTER DETAIL



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cjohnson@hilltoplandscaping.com



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-8088 Fax: 505-888-8188

VALUE PLACE LANDSCAPING PLAN

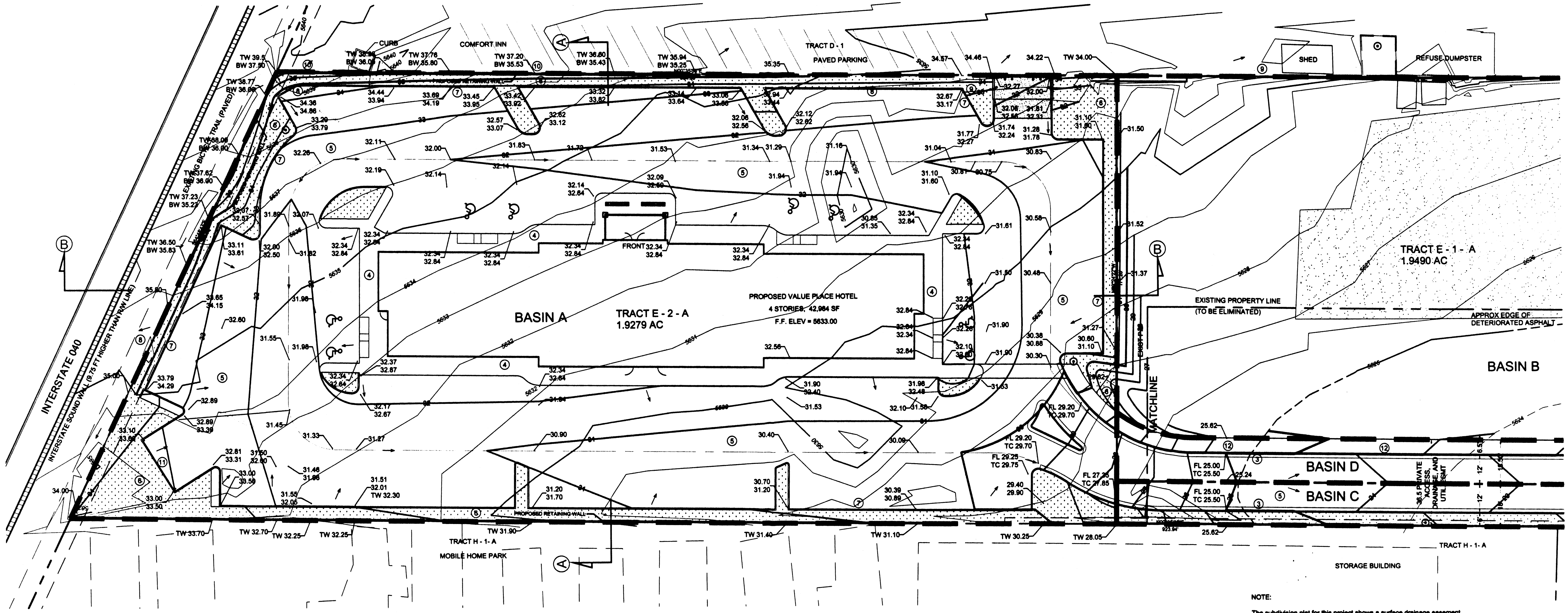
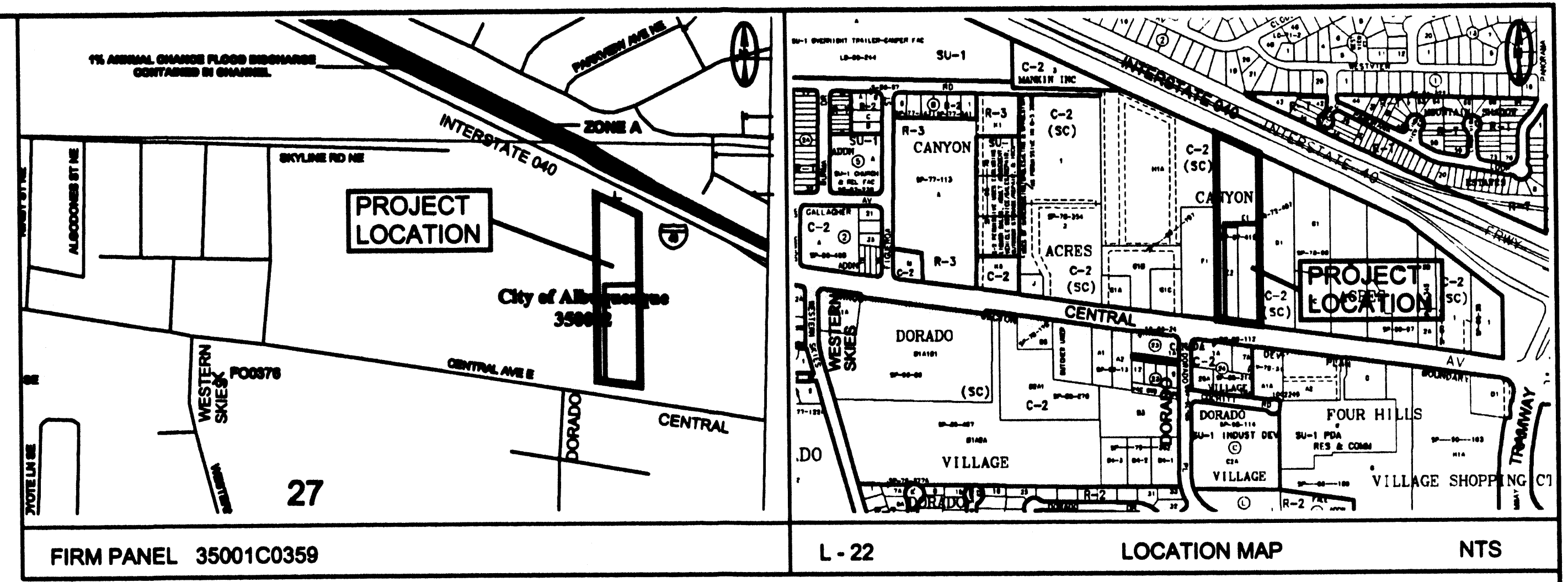
DRW: dm	TR:	DATE: 10/19/05
CKD: cmj	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	

SHT: 2 OF 6

ITEM		EXISTING	PROPOSED
RIGHT OF WAY		---	---
EASEMENT LINE		---	---
PROPERTY LINE		---	---
CENTERLINE		---	---
SPOT ELEV.		× 16.7	○ 67.26
HEADER CURB		---	---
FLOWLINE ELEV.		FL 0.14	FL 0.14
TOP OF CURB ELEV.		TC 99.3	TC 99.31
CONTOUR		5166	66
CONT. (SUPPLEMENT)		---	---
SWALE		---	---
DIRECTION OF FLOW		→	→
WATER BLOCK		---	---
LANDSCAPED AREA		---	---

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING ASPHALT PAVING
 - NEW CONC. CURB AND GUTTER
 - NEW 6" CONC. TURNDOWN SIDEWALK
 - NEW ASPHALT PAVEMENT
 - NEW LANDSCAPING
 - 6" CONC. HEADER CURB
 - NEW CMU RETAINING WALL
 - EXIST. CHAIN LINK FENCE
 - NEW 6" CHAIN LINK FENCE
 - NEW REFUSE ENCLOSURE
 - 6" SIDEWALK

PROJECT HYDROLOGY									
TRACTS E-1-A AND E-2-A FOR VALUE PLACE (TRACT E-2-A)									
ZONE:	3								
PEAKUR:	2.80								
PEAK HR:	3.10								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)	
A	1.7278	-0-	-0-	1.6241	0.1037	1.35	6.14	6.1986	
B	0.2000	-0-	-0-	0.1640	0.0360	1.46	0.85	0.0247	
C	1.8917	-0-	-0-	1.2180	0.4737	1.59	6.60	6.2239	
D	0.2573	-0-	-0-	0.1853	0.0720	1.89	1.82	0.0341	
DEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)	
A	1.7278	-0-	-0-	0.2200	1.5078	2.27	8.48	6.3271	
B	0.2000	-0-	-0-	0.0699	0.1301	1.98	0.82	0.0331	
C	1.8917	-0-	-0-	1.2688	0.4229	1.58	6.82	6.2184	
D	0.2573	-0-	-0-	-0-	0.2573	2.36	1.36	0.0665	



PURPOSE AND SCOPE

This Grading and Drainage Plan is a component of a Site Plan for Subdivision, plat, and Site Development Plan initiated to reconfigure two existing tracts - Tracts E-1 and E-2, Canyon Acres Subdivision - into new Tracts E-1-A and E-2-A, respectively, for the immediate development of a hotel. Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. Hydrology calculations are provided for both tracts; detailed grading is provided for Tract E-2-A only.

EXISTING CONDITIONS

The project site consists of 3.8768 acres, comprising existing Tracts E-1 and E-2 of Canyon Acres Subdivision. The site is located adjacent to the north side of Central, between Juan Tabo and Tramway. It is bounded on the north by the bike trail adjacent to Interstate 40, on the south by Central, on the east by the fully-developed Comfort Inn hotel, and on the west by a mobile home/trailer park. The site was originally developed as a motel which was demolished in 2002, leaving only deteriorating paving and landscaping features. At present, the combined site serves temporary storage of several unhabitable mobile homes. Much of the site is overgrown by native vegetation. Site topography slopes generally down from northwest to southwest. Grading of the adjoining properties is such that no runoff from adjacent development enters the site. The developed property to the east is elevated by a retaining wall running much of the length of the common property line. The asphalt bike trail to the north is lower in elevation than the north property line of the site. The site is graded such that apparently no runoff discharges west to the mobile home/trailer park. As a result, all runoff from the combined project site discharges to Central Ave. As shown by the attached FIRM Panel, the project site is not encumbered by a designated flood hazard zone.

PROPOSED CONDITIONS

A re-plot of existing Tracts E-1 and E-2 will create new Tracts E-1-A and E-2-A by reconfiguration of the lot lines. The total acreage will remain the same. As shown by the Plan, the project consists of the immediate development of a hotel to be constructed on new Tract E-2-A, towards the north end of the site. Tract E-1-A will be developed at some future date under a future site development planning action. Access to the hotel property will be taken directly from Central by means of a private paved entrance road. Although the new property line runs along the approximate centerline of the new access road, the full road improvement will be contained within a shared private access, drainage, and utilities easement. The hotel site (Tract E-2-A) will be fully paved and landscaped, with only minor grading to occur on Tract E-1-A as necessary along the adjoining property line. Otherwise, no improvements to new Tract E-1-A are proposed. All areas of Tract E-2-A that are not to be paved will be landscaped.

The grading plan for the hotel site provides for an inverted crown in the drive allees to convey water from the site's northernmost reaches to the entrance road. The entrance road is graded to drain directly to Central, and into the existing closed-conduit storm sewer system downstream. As a result, all drainage from the hotel tract will be discharged directly to Central. New and existing retaining walls will be required along portions of the perimeter of the hotel site. The finished floor elevation was established to optimize necessary retaining wall heights, parking lot slope, earthwork, and surface drainage conveyance. The proposed site improvements do not affect historical drainage patterns.

EROSION CONTROL

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

PROJECT DATA

LEGAL DESCRIPTION:
TRACT E-2-A,
CANYON ACRES SUBDIVISION
PROPERTY ADDRESS:
13001 CENTRAL AVE. NE
BENCHMARK:
TBM - C.O.A. CONTROL #6 - L-22
TOP OF CURB OPP. SE CORNER TRACT E-1-A
ELEVATION = 5620.06 MSL (1929 DATUM)

MAPPING:
TOPOGRAPHIC AND FIELD MEASUREMENTS
BY PRECISION SURVEYS
DATED JULY, 2005

NOTE:
The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

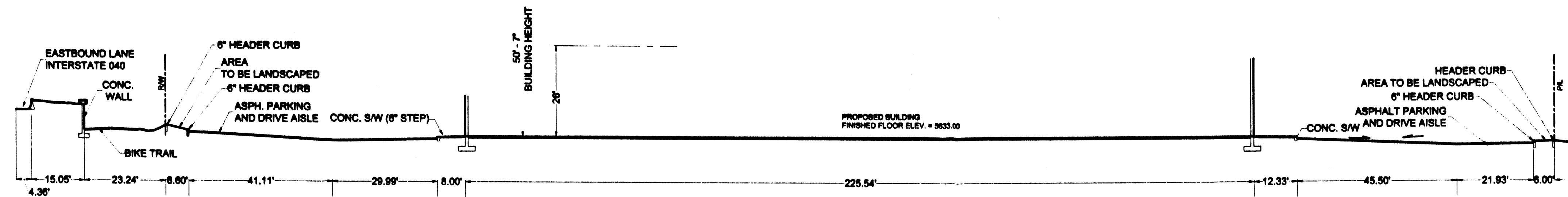
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-4186

PAUL T. BRASHER
NEW MEXICO
7282
REGISTERED PROFESSIONAL ENGINEER
10-16-05

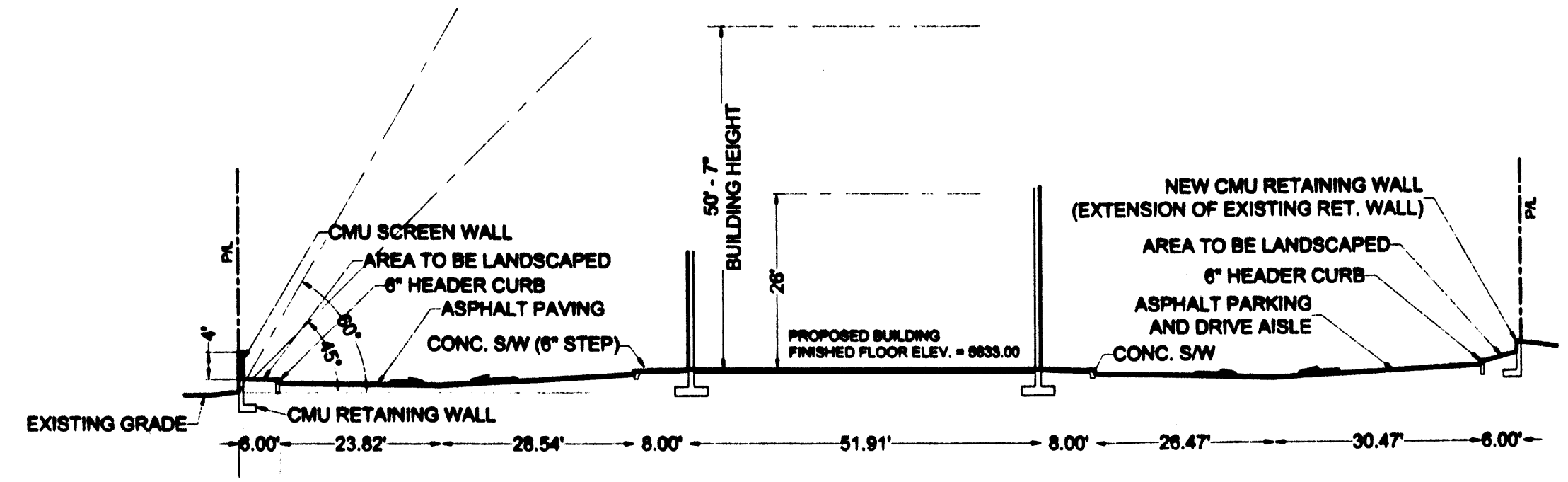
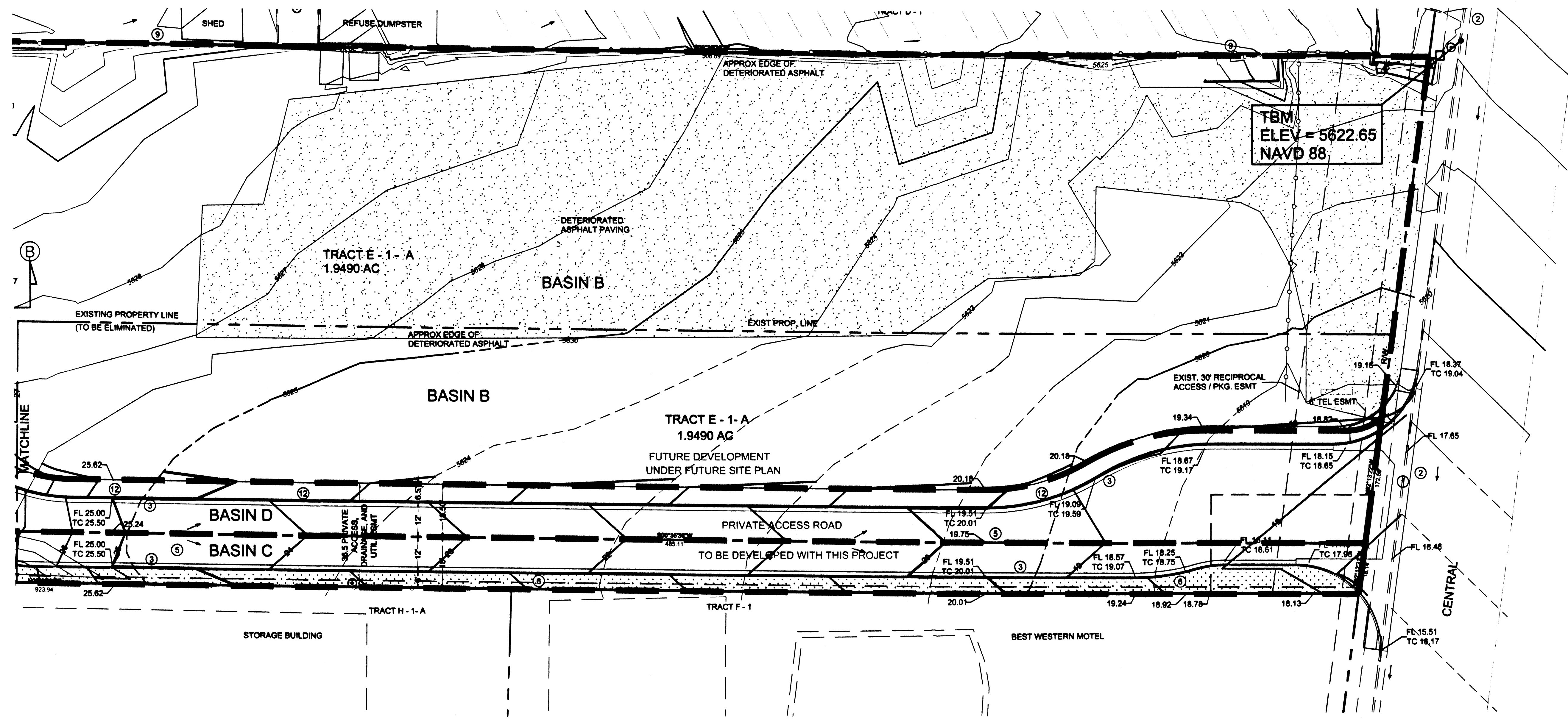
VALUE PLACE
GRADING AND DRAINAGE PLAN
SHT: 3 OF 7

DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	FID/VP	

ITEM	LEGEND	
	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
CHAIN LINK FENCE	---	---
RETAINING WALL	---	---
DRAINAGE BASIN DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	× 16.7	× 87.26
CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---



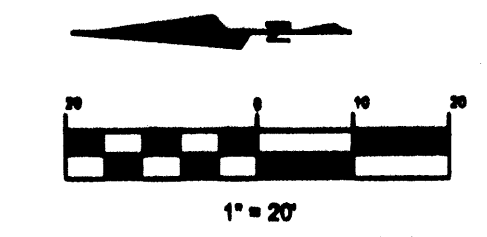
SECTION B - B



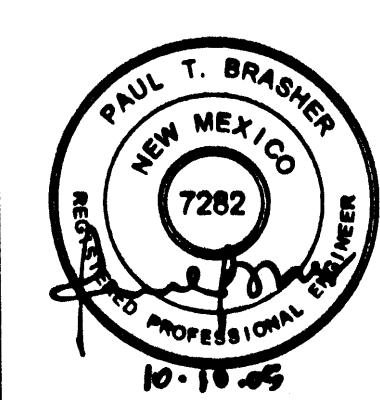
SECTION A - A

PROJECT DATA
 LEGAL DESCRIPTION:
 TRACT E-2-A,
 CANYON ACRES SUBDIVISION
 PROPERTY ADDRESS:
 13001 CENTRAL AVE. NE
 BENCHMARK:
 TBM - C.O.A. CONTROL #6 - L-22
 TOP OF CURB OPP. SE CORNER TRACT E-1-A
 ELEVATION = 5620.06 MSL (1929 DATUM)
 MAPPING:
 TOPOGRAPHIC AND FIELD MEASUREMENTS
 BY PRECISION SURVEYS
 DATED JULY, 2005

NOTE:
 The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.



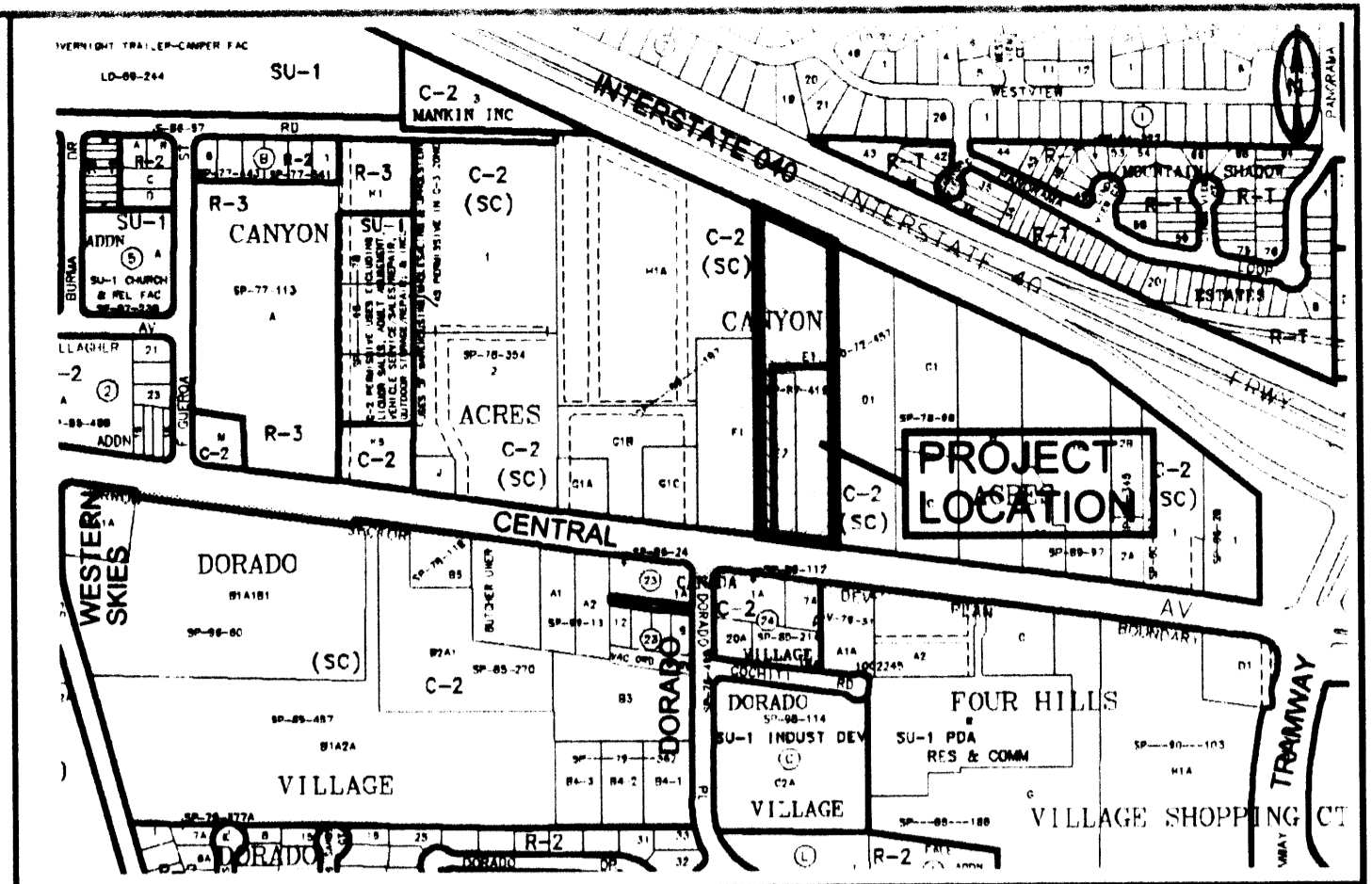
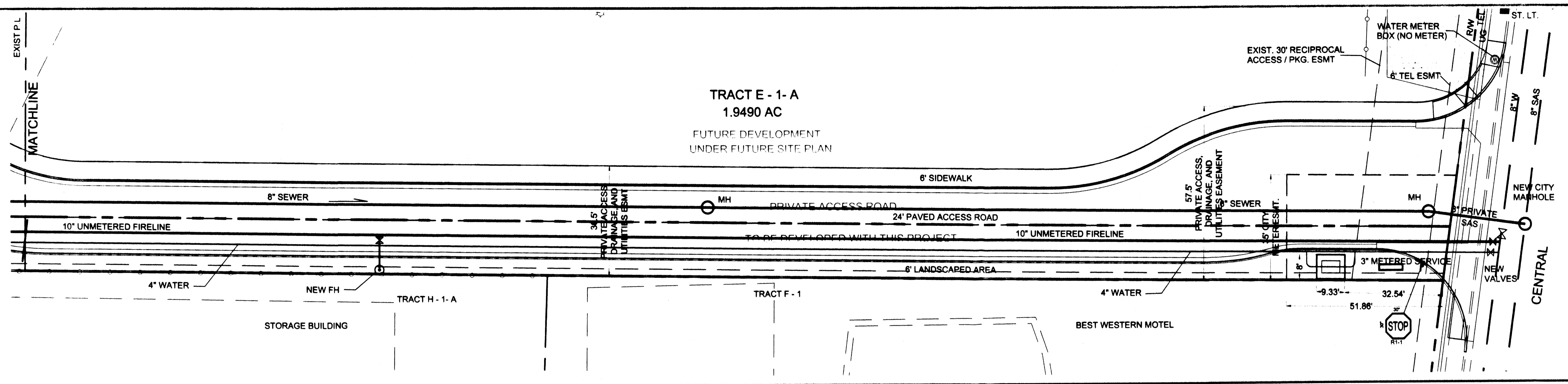
BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-886-0088 Fax: 505-886-6188



VALUE PLACE
GRADING AND DRAINAGE PLAN

DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	FOODVP	

SHT: 4 OF 7



L-22 LOCATION MAP NTS

PROJECT DATA
EXISTING LEGAL DESCRIPTION:
 TRACTS E - 1- AND E - 2, CANYON ACRES
PROPOSED LEGAL DESCRIPTION
 TRACTS E - 1- A AND E - 2 - A, CANYON ACRES
PROPERTY ADDRESS:
 TRACT E-1: 13013 CENTRAL AVE. NE
 TRACT E-2: 13001 CENTRAL AVE. NE

SITE AREA:
 EXISTING TRACT E-1: 2.8769 AC.
 EXISTING TRACT E-2: 1.0000 AC.
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)
 TOTAL AREA: 3.8768 AC (168,876 SF)

ZONING: C-2 (SC). (No zone change is requested.)

WATER SERVICE

Water service to Tract E-2-A will be provided by connection to the existing 8" waterline in Central with 3" metered service. The meter will be set outside the Central right-of-way in a separate City meter easement. From the meter, a private waterline will be constructed to the building. Upstream of the building, a reduced pressure backflow preventer will be placed in the line. The metered service line will also serve landscaping irrigation.

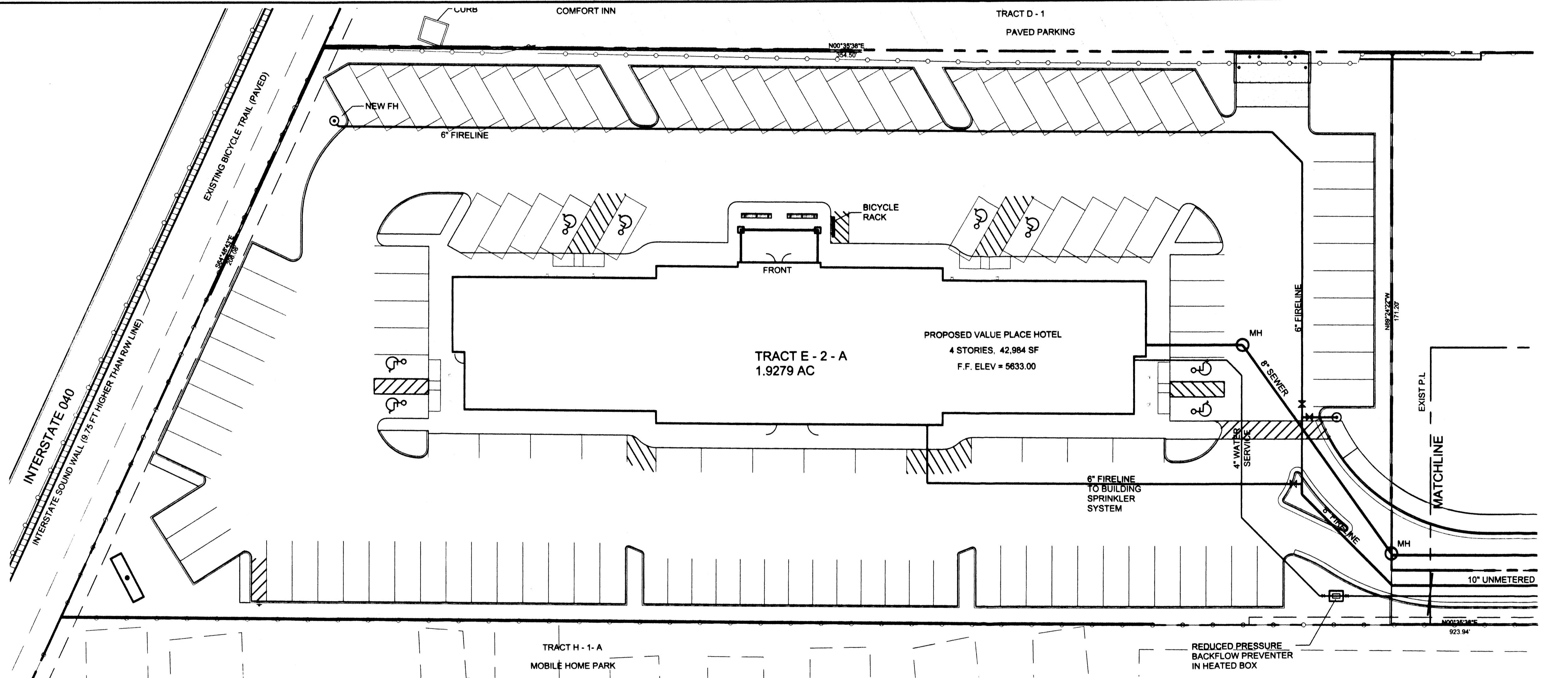
The 10" unmetered fire line connection size is as stipulated by the City in the statement of water and sanitary sewer availability dated September 14, 2005. Other on-site water line sizes shown are preliminary. Final water line sizes will be determined at the time of building design based on actual domestic and fire demands, and the pressure available from the City water system under those demand conditions.

Fire protection will be provided by connection to the existing 8" waterline in Central and extension of a private unmetered fire line north from Central into the site. The fire line will serve at least three private fire hydrants, and an internal fire protection sprinkler system. Based on the finished floor elevation of the proposed building on Tract E-2-A, the maximum static water pressure at floor elevation will not exceed 83 psi. The actual residual pressure available for the internal fire protection system must be determined at the time of fire sprinkler system design, and may require an internal pressure boosting system.

SANITARY SEWER SERVICE

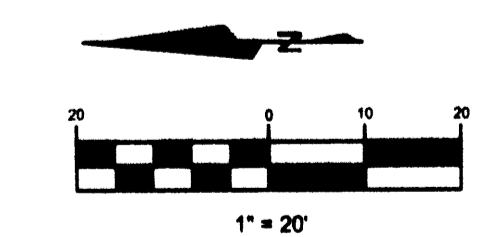
There is an existing 8" sanitary sewerline in Central. Sanitary service to Tract E-2-A will be taken by extension of a private 8" sewerline within an easement and access road from Central, north into the site. A new City manhole will be constructed in the City line in Central at the point of connection.

Water and sewer service lines constructed on site for Tract E-2-A will be contained in a private access and utilities easement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners.

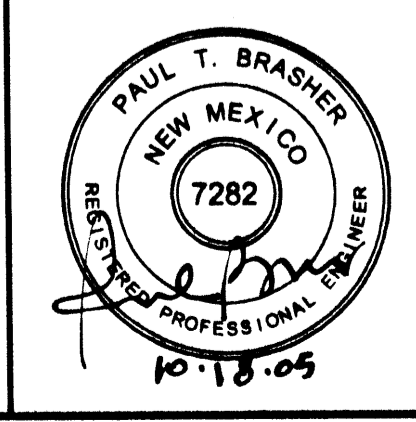


LEGEND

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
WATERLINE	--- 6"W ---	--- 8"W ---	CHAIN LINK FENCE	--- ○ ---	--- ○ ---
SANITARY SEWER	--- 8"SAS ---	--- 8"SAS ---	RETAINING WALL	--- ---	--- ---
STORM SEWER	--- 36"SD ---	--- 24"SD ---	DRAINAGE BASIN	--- ---	--- ---
FIRE HYDRANT	○	○	DIVIDE	--- TA 16.2 ---	--- TA 16.2 ---
VALVE	⊕	⊕	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
WATER SERVICE (SINGLE)	--- □ ---	--- □ ---	SPOT ELEV.	× 16.7	× 87.26
WATER SERVICE (DOUBLE)	--- □ ---	--- □ ---	HEADER CURB	---	--- TOP ASPH TOP CURB ---
MANHOLE	○	○	FLOWLINE ELEV.	FL 0.14	FL 0.14
SEWER SERVICE	--- □ ---	--- □ ---	TOP OF CURB ELEV.	TC 99.3	TC 99.31
POWER POLE (GUYED)	●	●	CONTOUR	--- 5106 ---	--- 02 ---
DROP INLET	--- □ ---	--- □ ---	CONT. (SUPPLEMENT)	--- 5106 ---	--- 82 ---
OVERHEAD ELEC.	--- OHE ---	---	SWALE	--->---	--->---
UNDERGROUND ELEC.	--- UGT ---	---	DIRECTION OF FLOW	--->---	--->---
GAS, TEL, TV	--- TEL ---	---	WATER BLOCK	---	---
TEL. PEDESTAL	○ TEL	---	LANDSCAPED AREA	---	---
RIGHT OF WAY	--- ---	--- ---			
EASEMENT LINE	--- ---	--- ---			
PROPERTY LINE	--- ---	--- ---			
CENTERLINE	--- ---	--- ---			



BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-885-8088 Fax: 505-885-8188



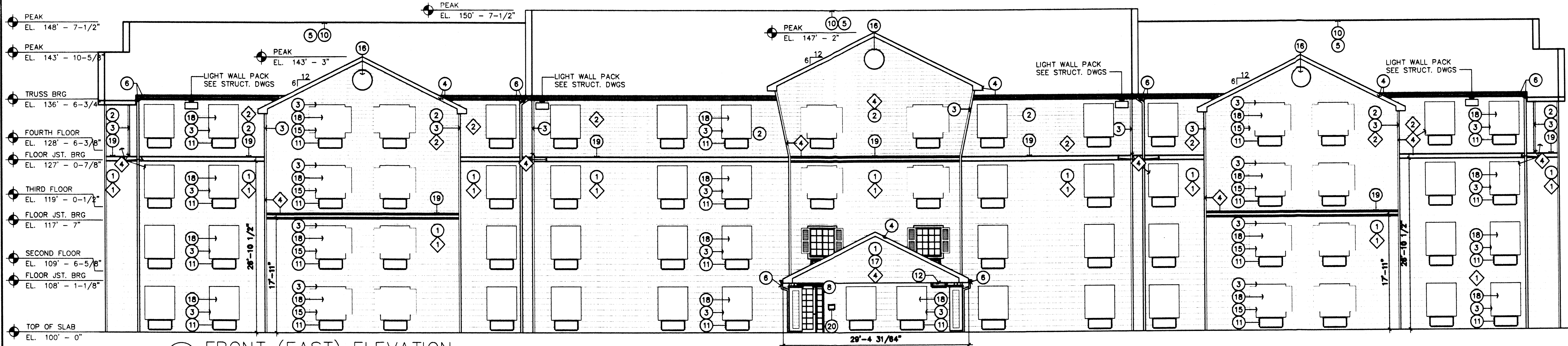
VALUE PLACE
UTILITIES PLAN

DRW: R.M.
 CKD: P.T.B.
 APP:
 REV. NO.

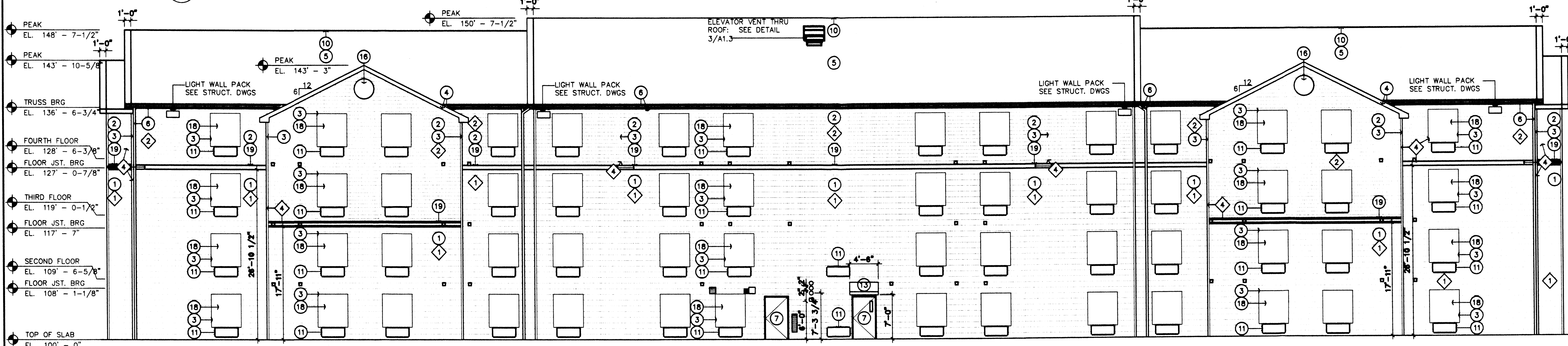
TR:
 OK:
 ACAD FILE:
 F/ODVP

DATE: 10/18/05
 SCALE: 1" = 20'

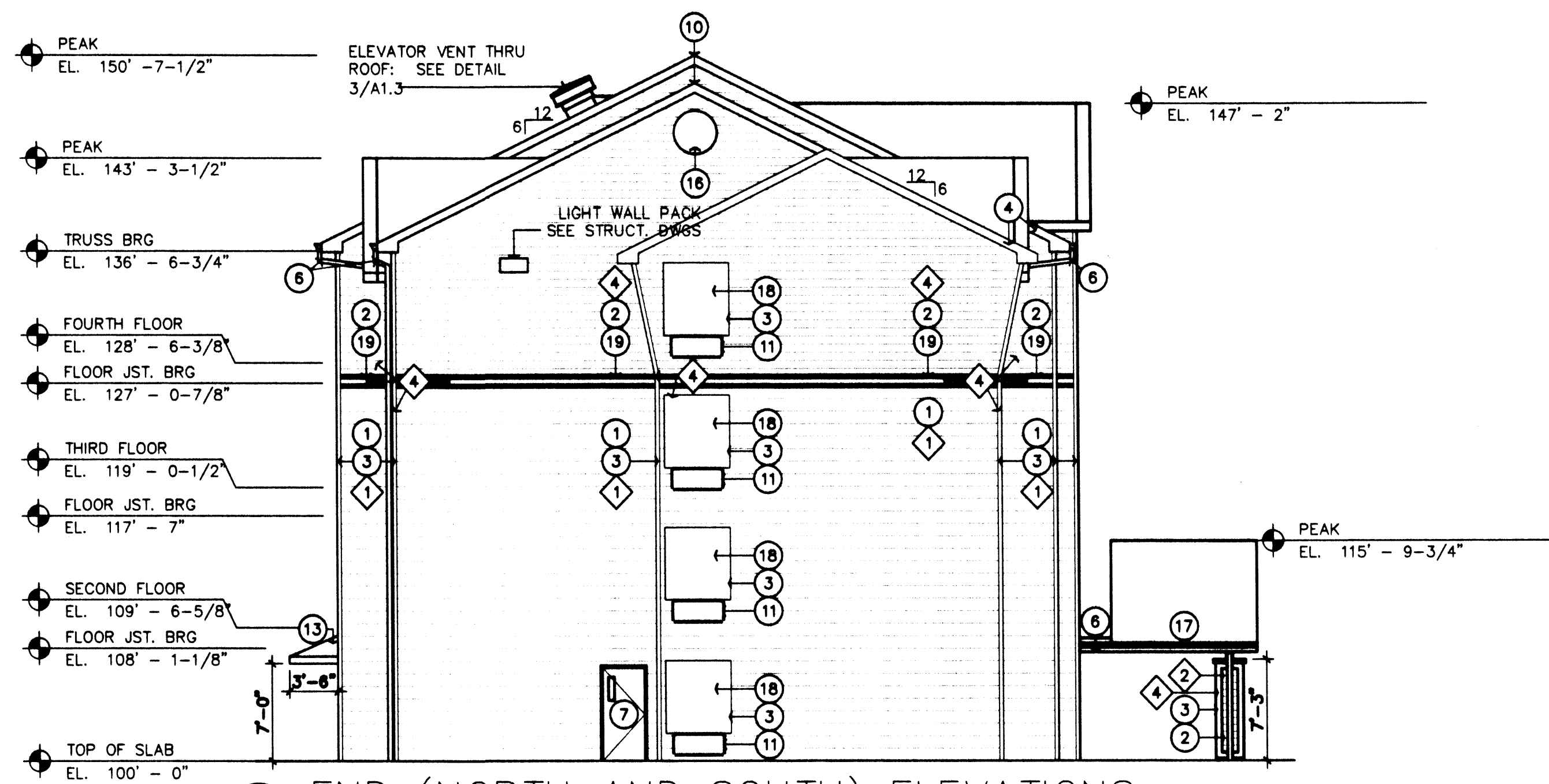
SHT: 5 OF 7



(A) FRONT (EAST) ELEVATION
1/8" = 1' - 0"



(B) REAR (WEST) ELEVATION
1/8" = 1' - 0"



(C) END (NORTH AND SOUTH) ELEVATIONS
1/8" = 1' - 0"

COLOR SCHEDULE

1	COLOR: "C/M GREEN" PRODUCT #K33W153 GALLON FORMULA: G2-15, N1-8Y39, W1-2Y32
2	COLOR: "SW6148" PRODUCT #K33W151 GALLON FORMULA: L1-3+1, R3-7+1, Y3-25
3	NOT USED
4	COLOR: "WHITE" PRODUCT #K33W100 PACKAGE COLOR WHITE

GENERAL NOTE

"JAMES HARDIE" SIDING PRODUCTS ARE THE PREFERRED EXTERIOR CONCRETE SIDING. SUBSTITUTIONS ONLY WITH OWNERS WRITTEN AUTHORIZATION

NOTE:

COORDINATE DOWN SPOUTS WITH A/A1.3

ELEVATION MATERIALS

1	WALLS: 10" EXPOSURE "HARDIPLANK" LAP SIDING: SEE COLOR SCHEDULE
2	WALLS: 7" EXPOSURE "HARDIPLANK" LAP SIDING: SEE COLOR SCHEDULE
3	"HARDIPLANK" TRIM: 3/4" X 4": COLOR "GLACIER WHITE"
4	"HARDIPLANK" TRIM FASCIA: COLOR "GLACIER WHITE"
5	ROOF: COMPOSITION SHINGLES
6	ALUMINUM GUTTERS AND DOWN SPOUTS
7	HOLLOW METAL DOORS PAINTED TO MATCH ADJACENT WALL COLOR-TRIM TO BE WHITE
8	GLASS / ALUMINUM DOORS
9	NOT USED
10	RIDGE VENT: SEE ROOF PLAN A/A1.3 & DETAIL 1/A1.3
11	THRU-WALL HVAC UNIT
12	MECH. LOUVERS: SEE MECH. DWGS. FOR SIZE, ALSO REF. STRUCT. DWGS. FOR HEADER SIZE AND LOCATION: PAINT LOUVER TO MATCH ADJACENT SURFACE
13	NYLON DOOR CANOPY COLOR: BLACK
14	NOT USED
15	MOLDED PLASTIC SHUTTER: INTEGRAL COLOR - COLOR: BLACK
16	30" DIA. PLASTIC GABLE VENT, INTEGRAL COLOR W/ INSECT SCREEN: COLOR TO MATCH ADJACENT SURFACE: SEE SPECS
17	ENTRY PORTICO
18	SLIDING WINDOW TYP.: SEE SPECS
19	3/4" X 8" WIDE "HARDIPLANK" TRIM: COLOR "GLACIER WHITE": SEE DETAIL 1/A2.1 (NOTE: DIM. TO BTM. OF TRIM IS APPROX. - G.C. TO VERIFY IN FIELD TO KEEP FROM CUTTING SIDING AS MUCH AS POSSIBLE)
20	KNOX BOX - VERIFY SIZE, LOCATION, AND TYPE WITH LOCAL FIRE DEPARTMENT

VALUE PLACE

13001 CENTRAL AVE.
ALBUQUERQUE, NEW MEXICO

AUGUST 02, 2005

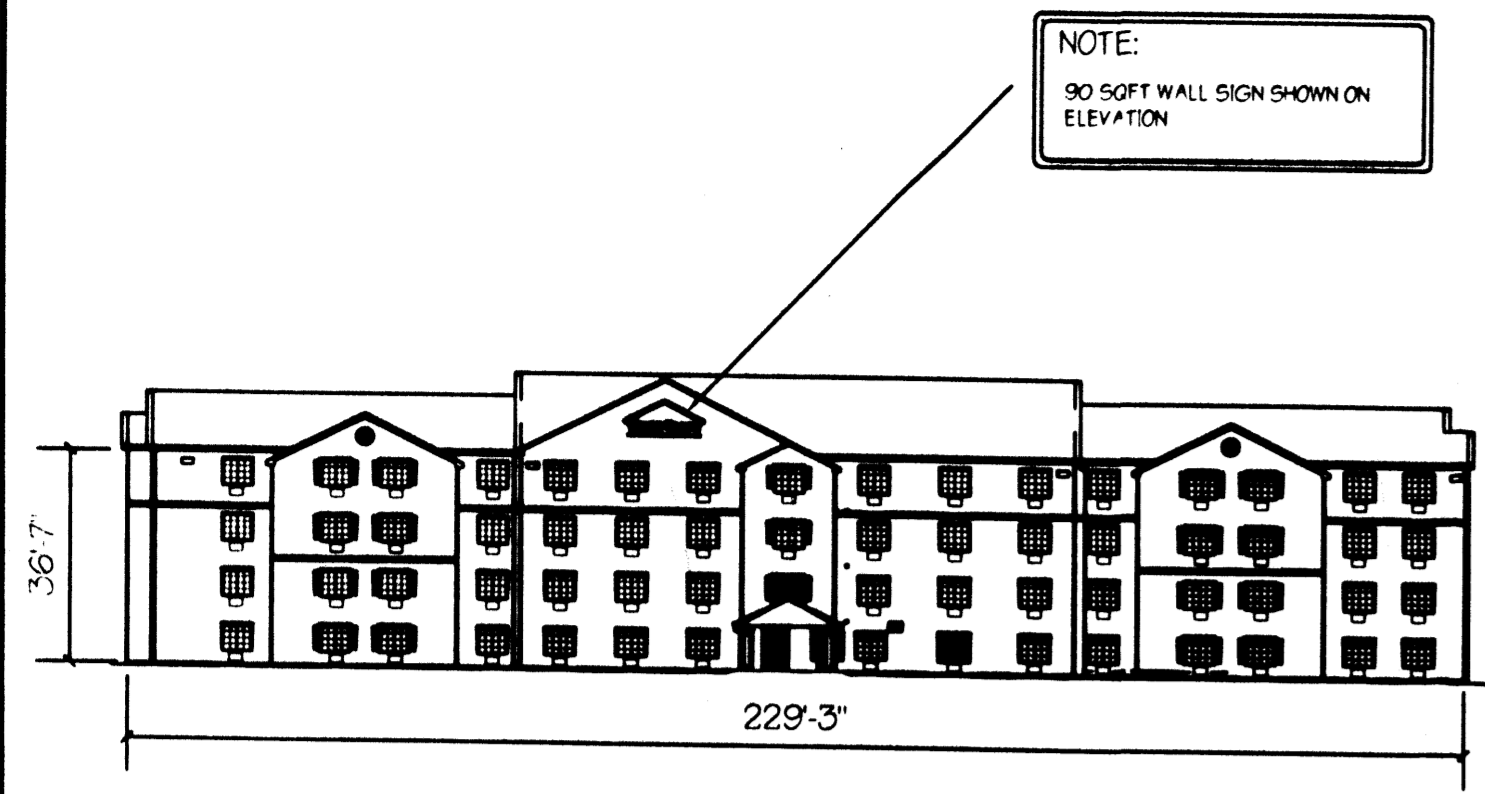
LMO
CP
EXTERIOR ELEVATIONS

A2.1

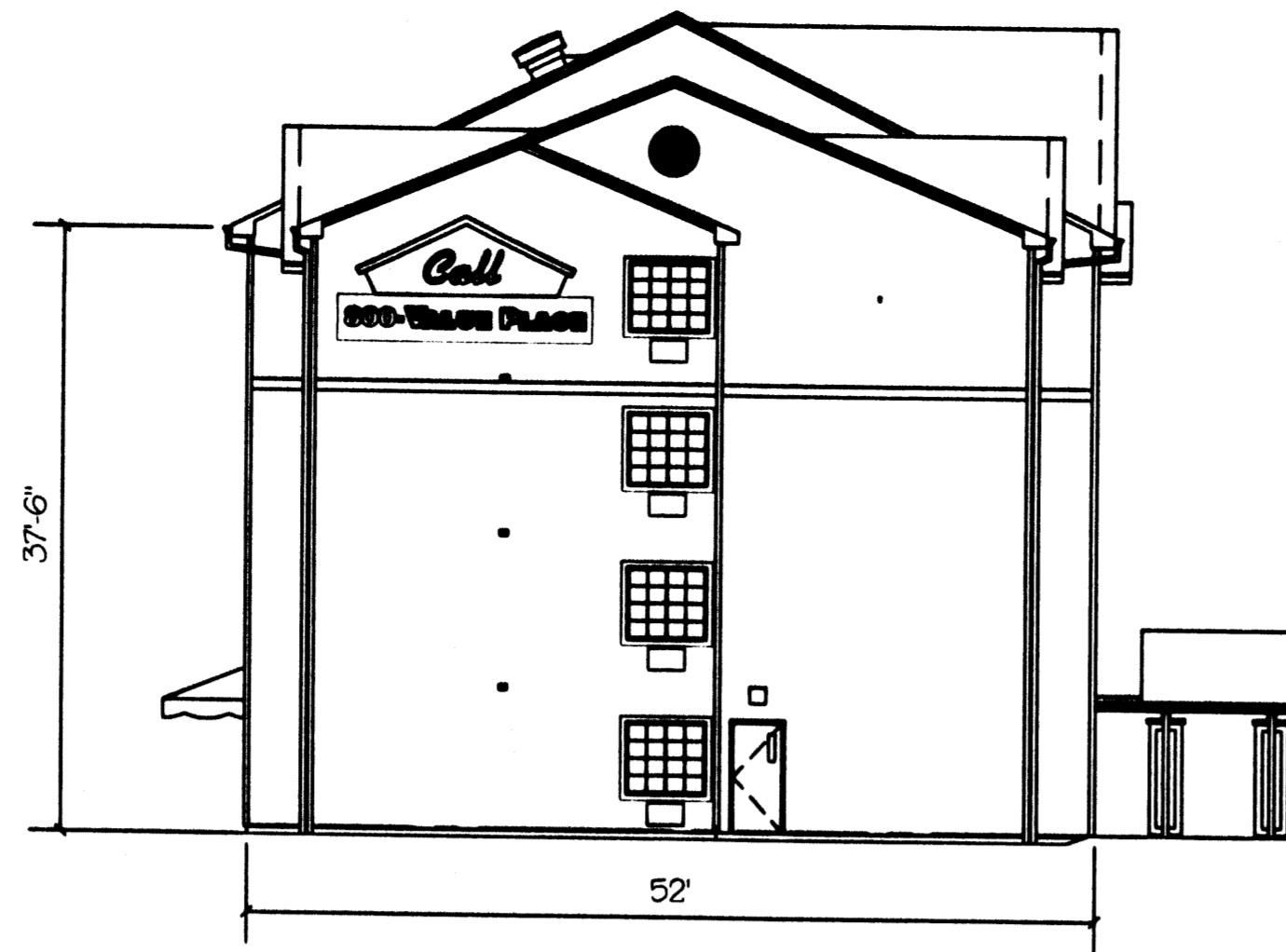
2005

**VALUE PLACE
BUILDING ELEVATIONS**

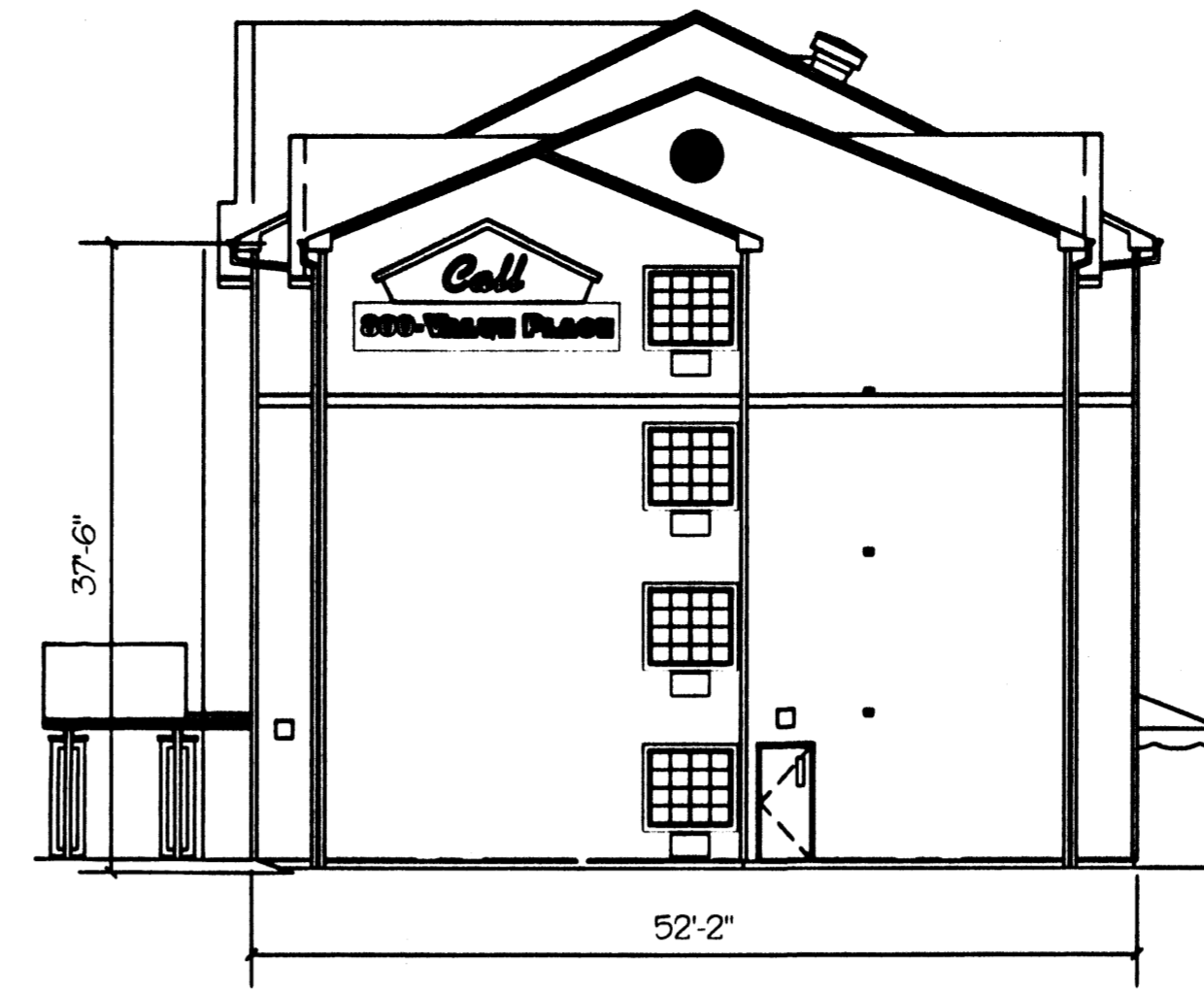
DRW: R.M.	TR: SHT. 6 OF 7
CKD: P.T.B.	DATE: 10/18/05
APP: FOD/VP	SCALE: AS SHOWN
REV. NO.	ACAD FILE:



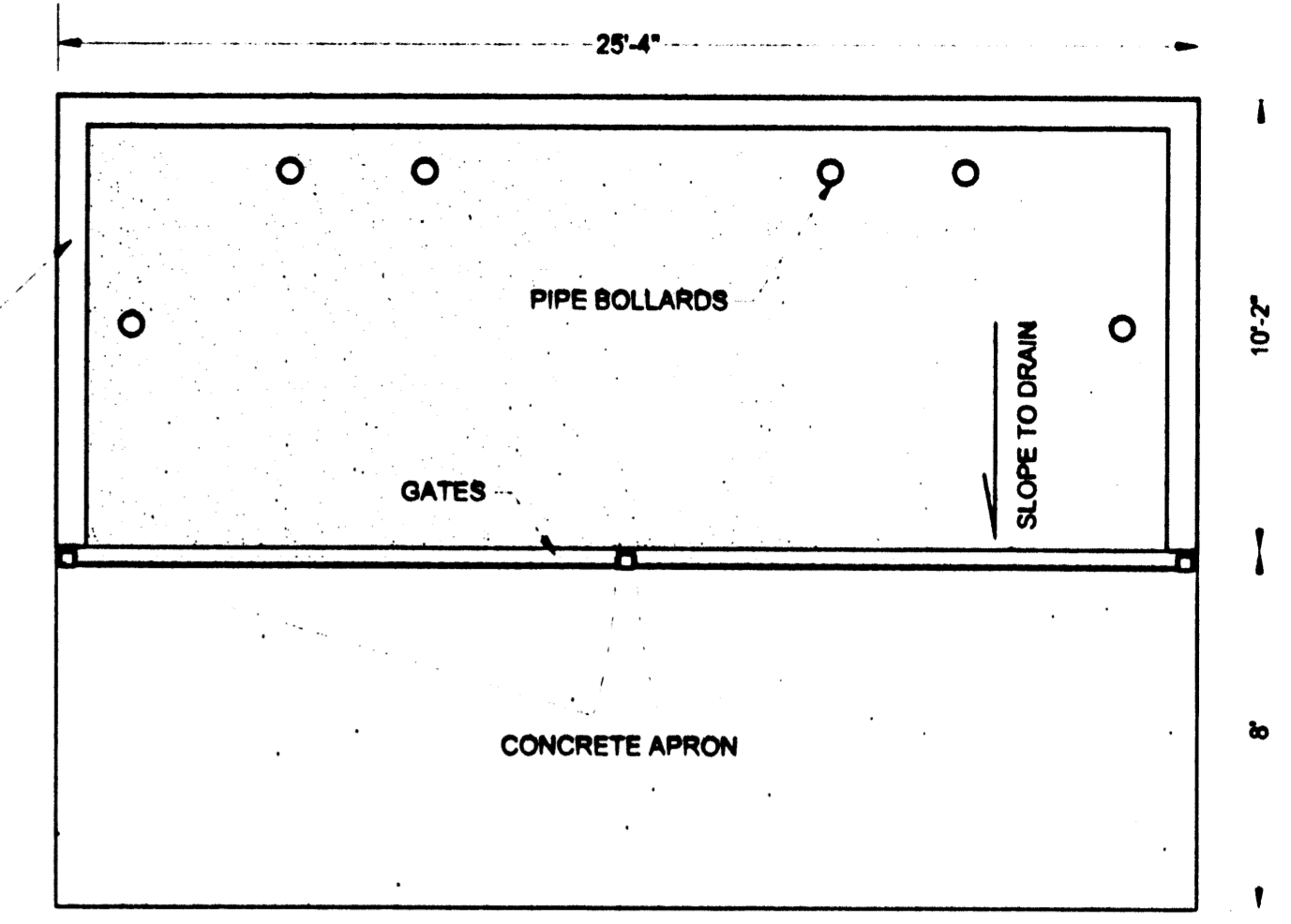
FRONT ELEVATION WITH WALL SIGN
1/32" = 1'



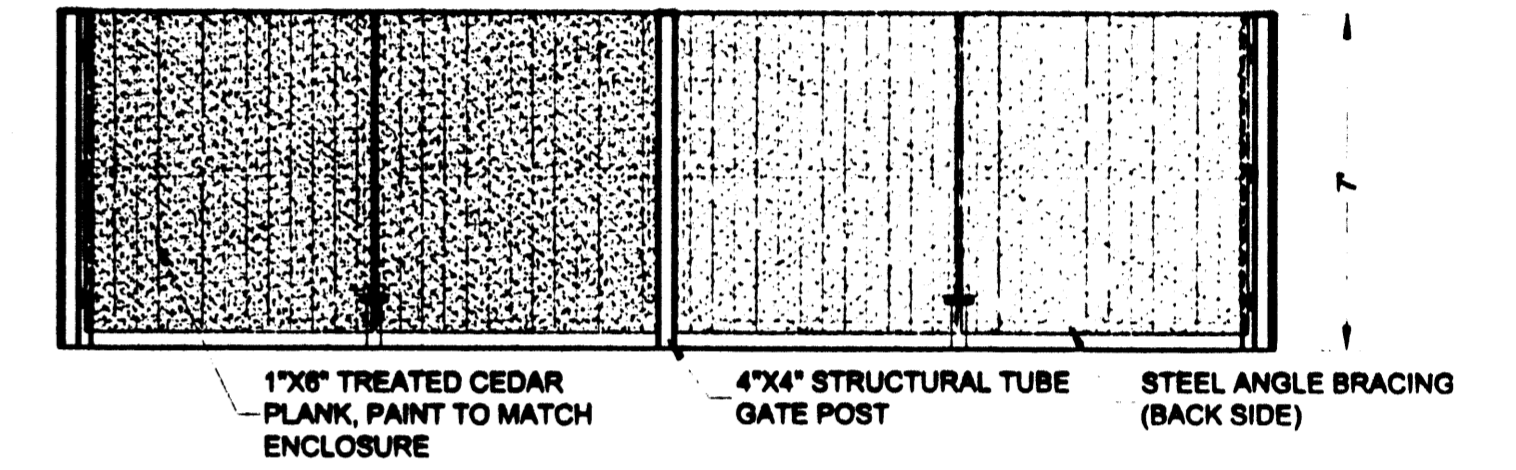
NORTH END ELEVATION WITH WALL SIGN
3/32" = 1'



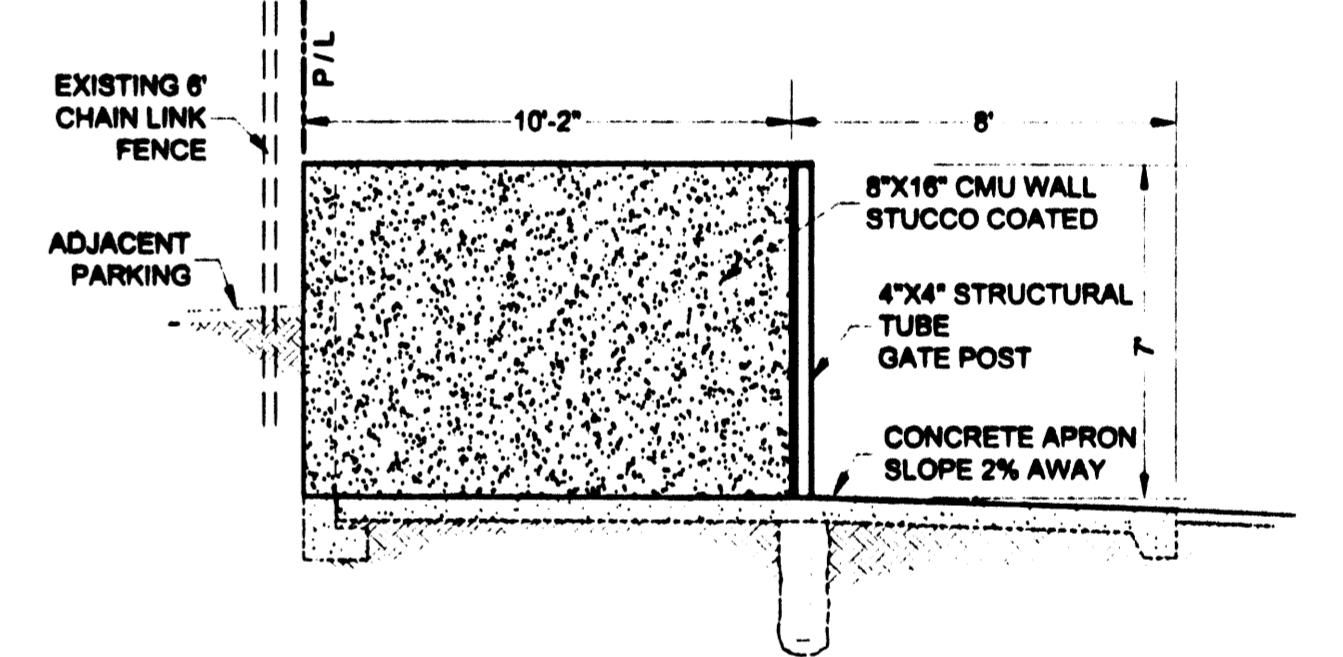
SOUTH END ELEVATION WITH WALL SIGN
3/32" = 1'



PLAN



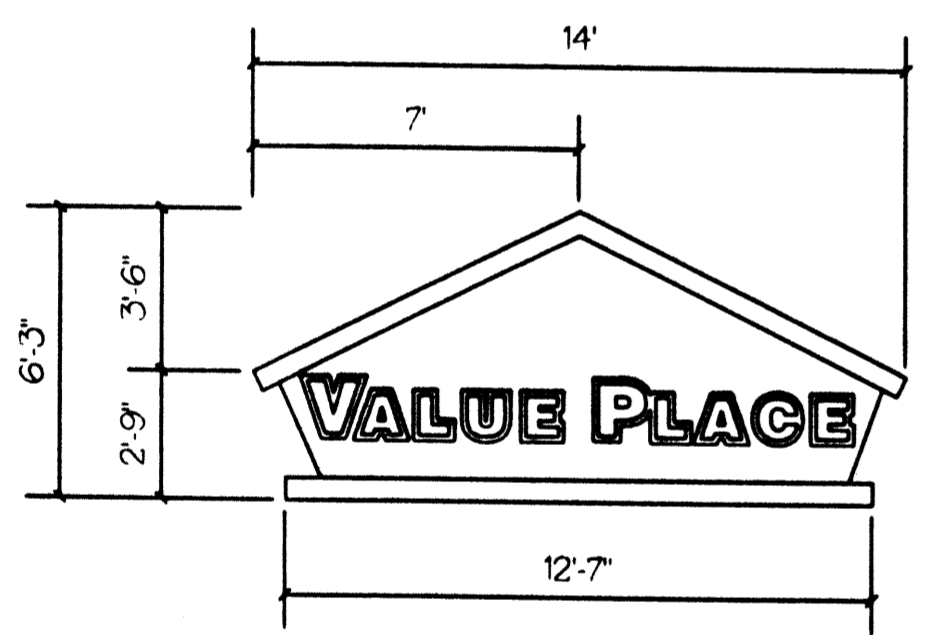
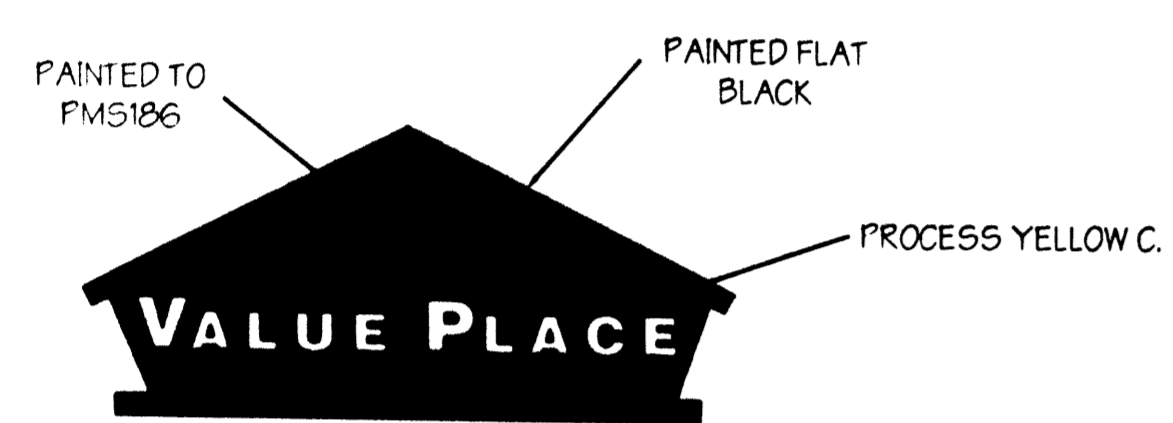
WEST ELEVATION



NORTH AND SOUTH ELEVATIONS

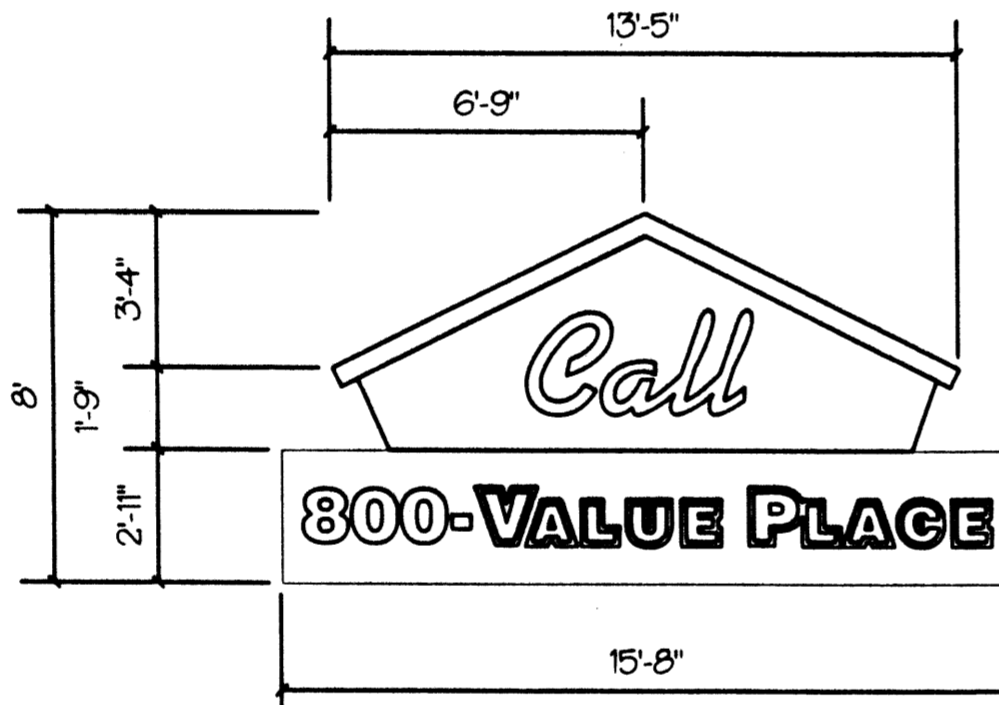
NOTES:
THIS ENCLOSURE IS A CITY STANDARD DOUBLE-WIDE AND IS TO BE CONSTRUCTED TO THOSE DIMENSIONS
ALL EXTERIOR COLORS OF THE ENCLOSURE ARE:
"CM" GREEN PRODUCT #K33153 (SHERWIN / WILLIAMS LIGHT SANDY GREEN)
GALLON FORMULA: G2-15; N1 - 6Y39; W1 - 2Y32

REFUSE DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'



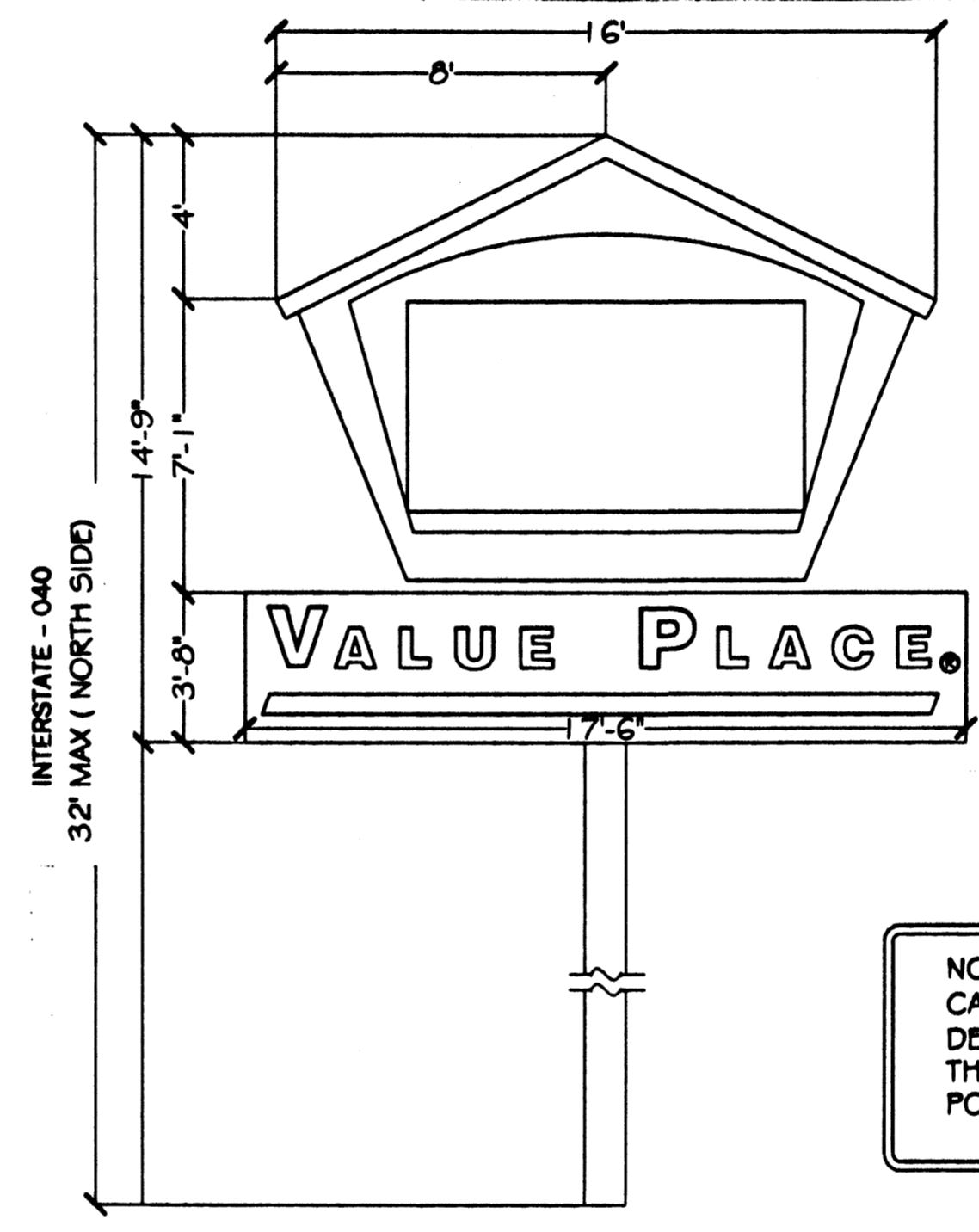
90 SQFT FRONT ELEVATION WALL SIGN
1/4" = 1'

NOTE:
FLAT METAL SIGNAGE TO BE LIT EXTERNALLY BY WALL MOUNTED LIGHTING



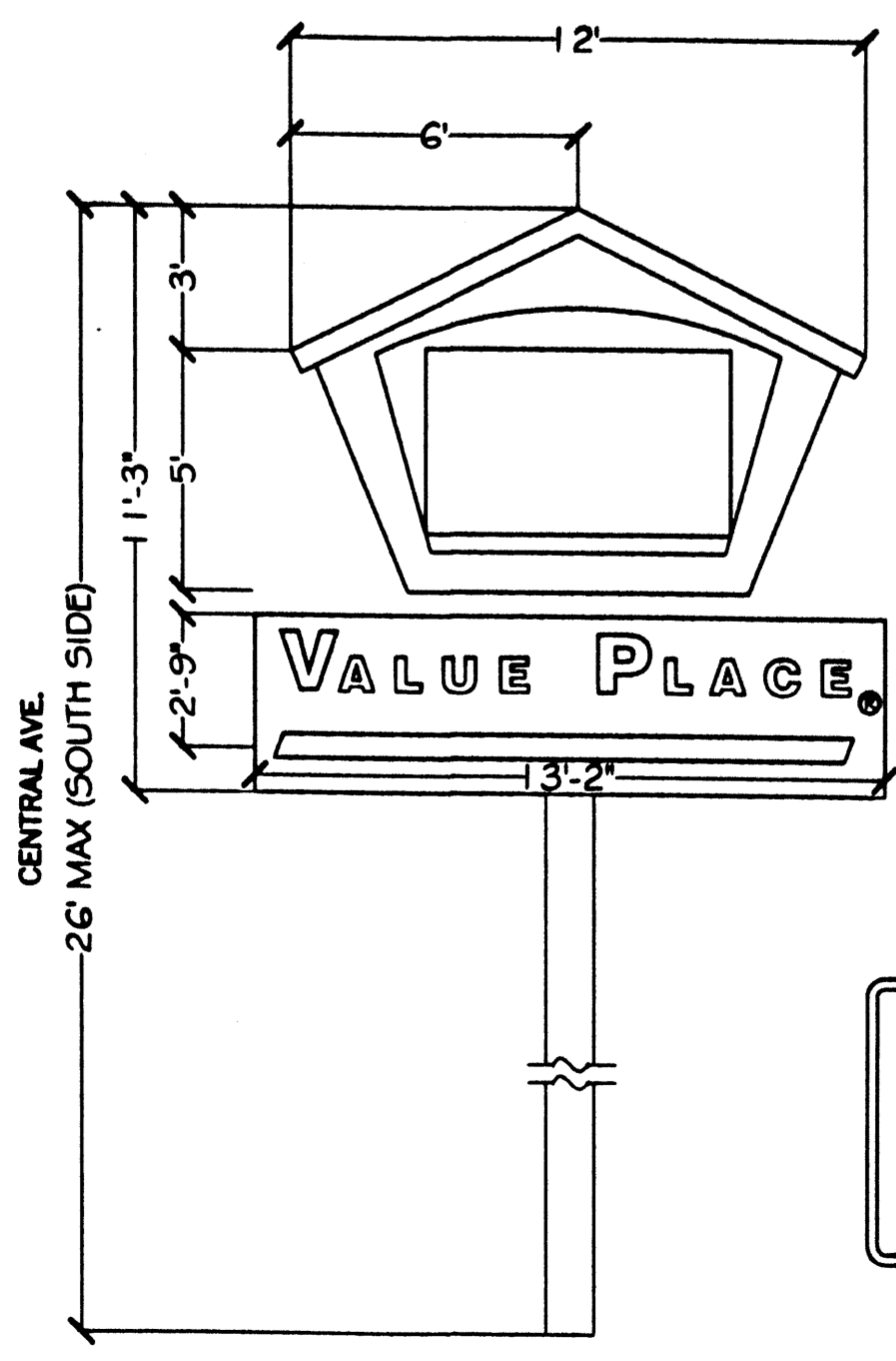
125 SQFT END ELEVATION WALL SIGN
1/4" = 1'

NOTE:
FLAT METAL SIGNAGE TO BE LIT EXTERNALLY BY WALL MOUNTED LIGHTING



250 SQFT Pylon Sign Elevation
1/4" = 1'

NOTE:
CABINET DEPTH AND FOUNDATION DESIGN TO BE DETERMINED UPON THE COMPLETION OF ENGINEERED POLE DESIGN FOR 50' HEIGHT.



150 SQFT Pylon Sign Elevation
1/4" = 1'

NOTE:
CABINET DEPTH AND FOUNDATION DESIGN TO BE DETERMINED UPON THE COMPLETION OF ENGINEERED POLE DESIGN FOR 25' HEIGHT.



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-885-0000 Fax: 505-885-6188

DUMPSTER ENCLOSURE
PAUL T. BRASHER
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
7282

VALUE PLACE DETAILS		
SHT: 7 OF 7		
DRW: R.M.	TR:	DATE: 09/19/05
CKD: P.T.B.	OK:	SCALE: AS SHOWN
APP:	ACAD FILE:	
REV. NO.	FOD/MP	