

Plat of  
**Tracts E-1-A and E-2-A**  
**Canyon Acres**  
 Albuquerque, Bernalillo County, New Mexico  
 October 2005

Project No. 1004364  
 Application No. 05 DRB 01587  
 Utility Approvals

<i>Leon D. Marks</i>	10-31-05
PNM ELECTRIC SERVICES	DATE
<i>Leon D. Marks</i>	10-31-05
PNM GAS SERVICES	DATE
<i>Scott Crabtree</i>	11-2-05
QWEST TELECOMMUNICATIONS	DATE
<i>Yvonne Balboa</i>	10-27-09
COMCAST	DATE

**City Approvals**

<i>John B. Hart</i>	10-11-05
CITY SURVEYOR	DATE
<i>44 ss</i>	10-19-05
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Roger J. Deane</i>	10/19/05
UTILITY DEVELOPMENT	DATE
<i>Christine Dandora</i>	10/19/05
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley A. Bingham</i>	10/19/05
AMAFCA	DATE
<i>Bradley A. Bingham</i>	10/19/05
CITY ENGINEER	DATE
<i>Andrew Garcia</i>	3-20-06
DRB CHAIRPERSON PLANNING DEPARTMENT	DATE

**Legal Description**

TRACTS E-1 AND E-2 OF CANYON ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "TRACTS E-1 AND E-2 (A REPLAT OF TRACT E), CANYON ACRES CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 17, 1987, RECORDED IN VOL. C35, FOLIO 86, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993"; SAID POINT LYING ON THE SOUTH RIGHT-OF-WAY LINE OF INTERSTATE 40, FROM WHENCE A TIE TO A.C.S. MONUMENT "4-L22" BEARS S 53°11'35" W A DISTANCE OF 1,450.55 FEET,

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID SOUTH RIGHT-OF-WAY LINE, S 64°48'43" E, A DISTANCE OF 208.08 FEET, TO THE NORTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID SOUTH RIGHT-OF-WAY LINE, S 00°35'38" W, A DISTANCE OF 861.19 FEET, TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF CENTRAL AVENUE, S.E., AND THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "11993";

THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, N 82°13'22" W, A DISTANCE OF 190.70 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "11993";

THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE, N 00°35'38" E, A DISTANCE OF 923.94, TO THE NORTHWEST CORNER OF DESCRIBED TRACT AND POINT OF BEGINNING, HAVING AN AREA OF 3.8769 ACRES, (168,876 SQUARE FEET), MORE OR LESS, NOW COMPRISING TRACTS E-1-A AND E-2-A, CANYON ACRES.

**Free Consent**

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

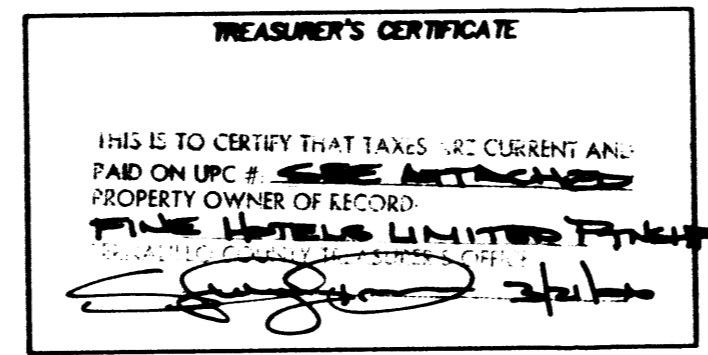
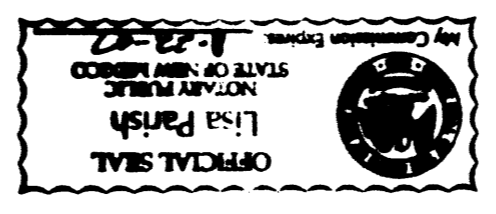
*Katharina Mueller* 10/10/05  
 KATHARINA MUELLER  
 GENERAL PARTNER  
 FINE HOTELS UNLIMITED PARTNERSHIP

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10<sup>th</sup> DAY OF October, 2005 BY  
 KATHARINA MUELLER, GENERAL PARTNER, FINE HOTELS UNLIMITED PARTNERSHIP.

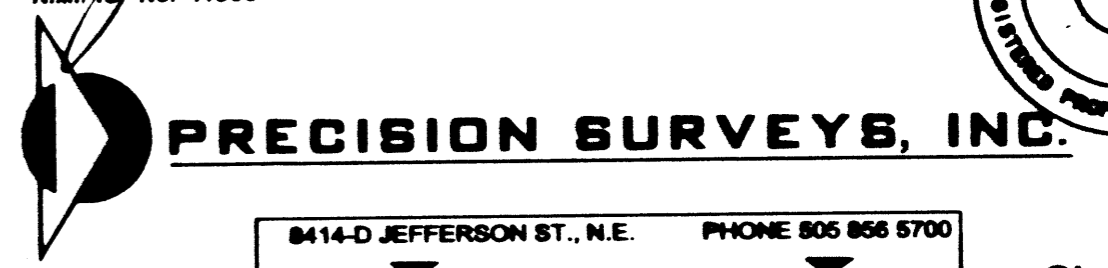
BY *Lisa Parish* MY COMMISSION EXPIRES: 8-22-07  
 NOTARY PUBLIC



**Surveyor's Certificate**

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*Larry W. Medrano* 10/10/2005  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993  
 DATE



**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 3.8769 ACRES±  
 ZONE ATLAS INDEX NO: L-22-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
 MILES OF FULL-WIDTH STREETS CREATED: 0  
 DATE OF SURVEY: JULY 2005

**Disclosure Statement:**

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO TRACTS INTO TWO NEW TRACTS, AND TO GRANT EASEMENTS.

**Notes:**

- MISC. DATA: ZONING = C-2 (SC)
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN SECTION 27, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2005401140.

**Easements**

- THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
  - PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
  - QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
  - COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

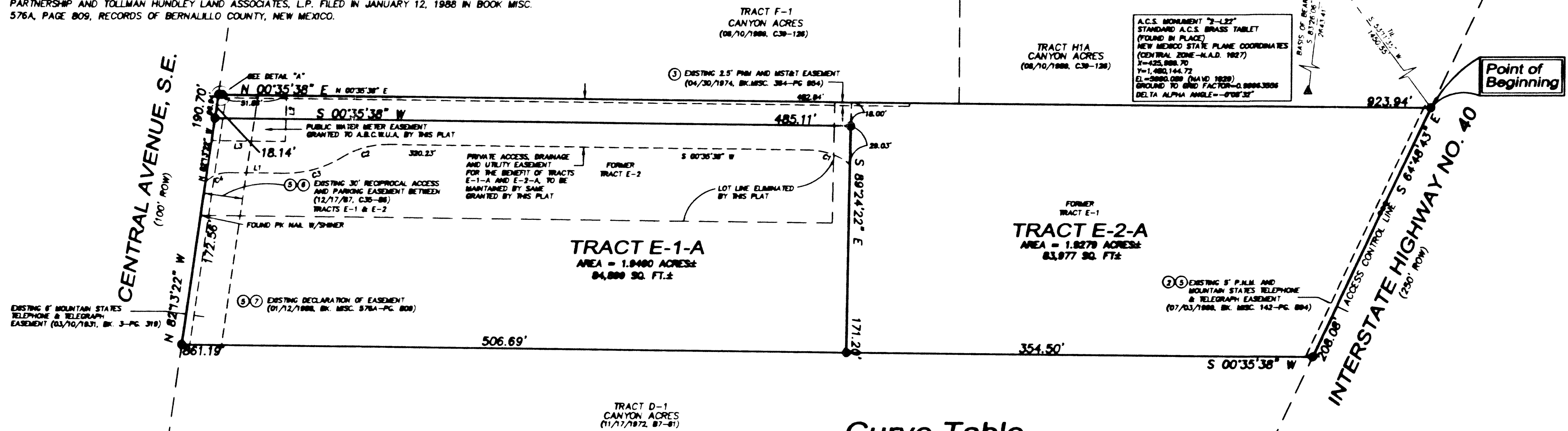
# Easement Notes

- | NO. | DESCRIPTION   |
|-----|---|
| 1   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED JULY 3, 1969.<br>RECORDED JULY 3, 1969, BOOK MISC. 142, PAGE 893, OF OFFICIAL RECORDS   |
| 2   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED JULY 3, 1969.<br>RECORDED JULY 3, 1969, BOOK MISC. 142, PAGE 894, OF OFFICIAL RECORDS   |
| 3   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED APRIL 30, 1974<br>RECORDED APRIL 30, 1974, BOOK MISC. 364, PAGE 854, OF OFFICIAL RECORDS  |
| 4   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED MAY 14, 1974<br>RECORDED MAY 14, 1974, BOOK MISC. 366, PAGE 928, OF OFFICIAL RECORDS  |
| 5   | THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT AND A THIRTY FOOT RECIPROCAL ACCESS AND PARKING EASEMENT, AS SHOWN AND SET FORTH ON THE PLAT OF CANYON ACRES, FILED DECEMBER 17, 1987, IN VOLUME C35, FOLIO 86, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  |
| 6   | CONDITIONS CONTAINED IN A NOTE IN THE PLAT OF CANYON ACRES, FILED DECEMBER 17, 1987, IN VOLUME C35, FOLIO 86, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, WHICH READS AS FOLLOWS: "THE 30' RECIPROCAL ACCESS AND PARKING EASEMENT SHOWN HEREIN IS TO BE MAINTAINED JOINTLY BY THE OWNERS OF SAID TRACTS E-1 AND E-2." |
| 7   | DECLARATION OF EASEMENT BY AND BETWEEN NEW MEXICO HOTEL PROPERTIES, L.P. A FLORIDA LIMITED PARTNERSHIP AND TOLLMAN HUMBLEY LAND ASSOCIATES, L.P. FILED IN JANUARY 12, 1988 IN BOOK MISC. 576A, PAGE 809, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.  |

**RECORDING STAMP**

2006039395  
6426866  
Page: 2 of 2  
03/21/2006 09:58A  
Mary Herrera Bernalillo Co. PLAT R 12.00 Bk-2066C Pg-89

Plat of  
**Tracts E-1-A and E-2-A**  
**Canyon Acres**  
Albuquerque, Bernalillo County, New Mexico  
October 2005



## Legend

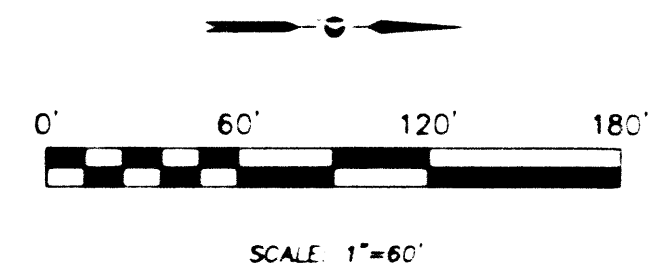
- N 80°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- SET IN REBAR W/ YELLOW PLASTIC CAP "PS 11883"

## Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	53.50'	34.15'	36°34'13"	17.68'	33.57'	N 18°52'45" E
C2	68.50'	38.02'	31°47'53"	19.51'	37.53'	N 15°18'18" W
C3	81.50'	45.23'	31°47'53"	23.21'	44.65'	S 15°18'18" E
C4	23.50'	19.18'	46°46'02"	10.16'	18.65'	N 22°47'23" W

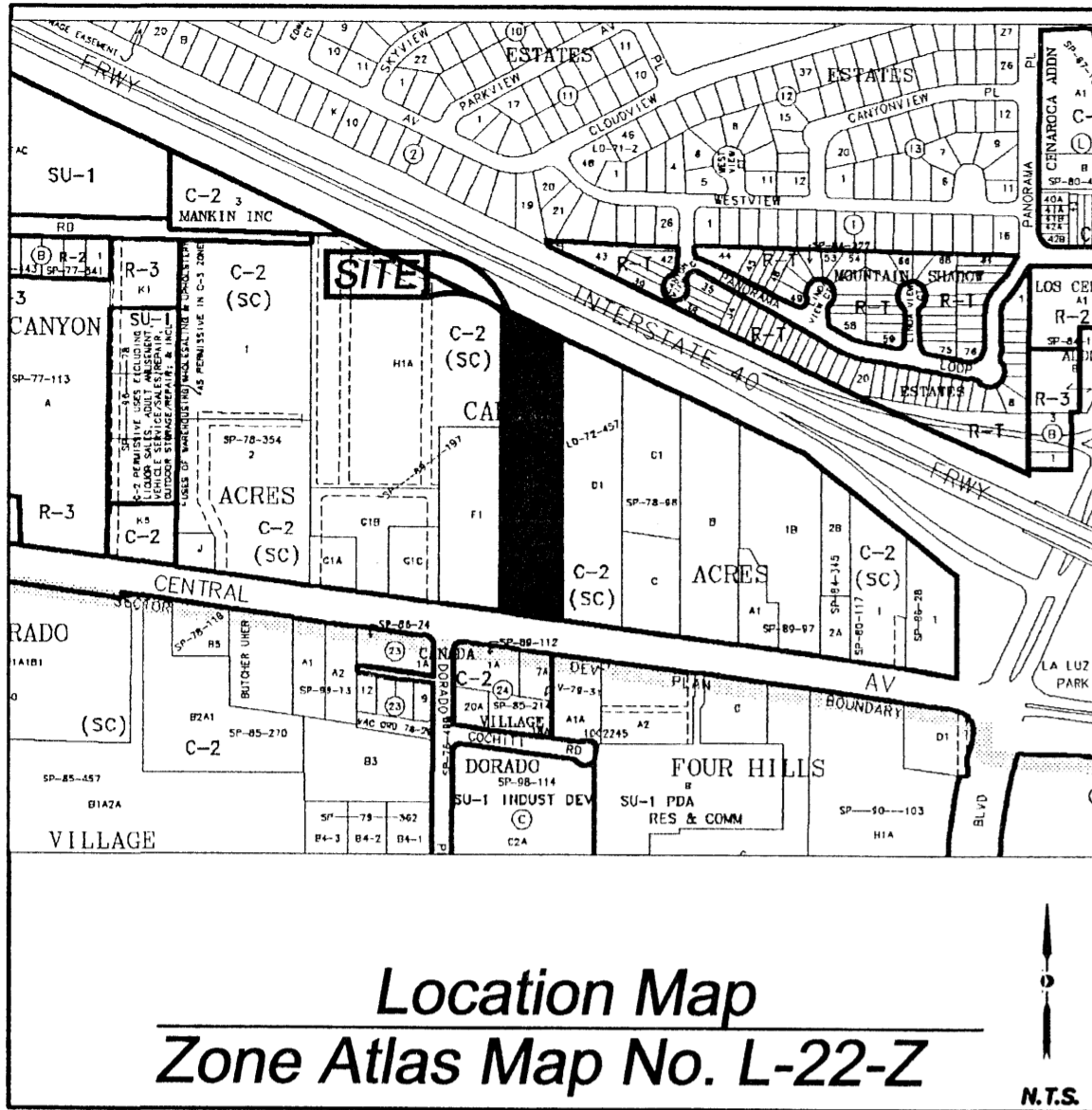
## Line Table

LINE	BEARING	DISTANCE
L1	S 00°35'38" W	42.95'
L2	S 89°24'22" E	35.00'
L3	N 00°35'38" E	56.28'



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



**Subdivision Data:**

GROSS SUBDIVISION ACREAGE: 3.8769 ACRES±  
 ZONE ATLAS INDEX NO: L-22-Z  
 NO. OF TRACTS CREATED: 2  
 NO. OF LOTS CREATED: 0  
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RECORDING STAMP

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THENCE FROM SAID POINT OF BEGINNING, ALONG SAID SOUTH RIGHT-OF-WAY LINE, S 64°48'43" E, A DISTANCE OF 208.08 FEET, TO THE NORTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

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THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, N 82°13'22" W, A DISTANCE OF 190.70 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "11993";

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*Katharina Mueller* 10/10/05

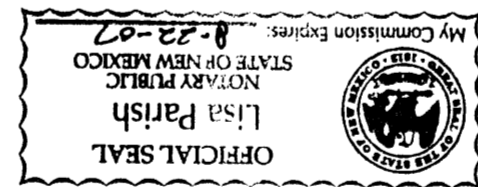
KATHRINA MUELLER  
 GENERAL PARTNER  
 FINE HOTELS UNLIMITED PARTNERSHIP

**Acknowledgment**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10<sup>th</sup> DAY OF October, 2005 BY KATHRINA MUELLER, GENERAL PARTNER, FINE HOTELS UNLIMITED PARTNERSHIP.

BY *Lisa Parish* MY COMMISSION EXPIRES: 8-22-07  
 NOTARY PUBLIC



TREASURER'S CERTIFICATE

Plat of  
**Tracts E-1-A and E-2-A**  
**Canyon Acres**  
 Albuquerque, Bernalillo County, New Mexico  
 October 2005

Project No. \_\_\_\_\_

Application No. \_\_\_\_\_

**Utility Approvals**

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

**City Approvals**

*[Signature]* 10-11-05  
 CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITY DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

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I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

*[Signature]* 10/10/2005  
 LARRY W. MEDRANO  
 N.M.P.S. No. 11993



**PRECISION SURVEYS, INC.**

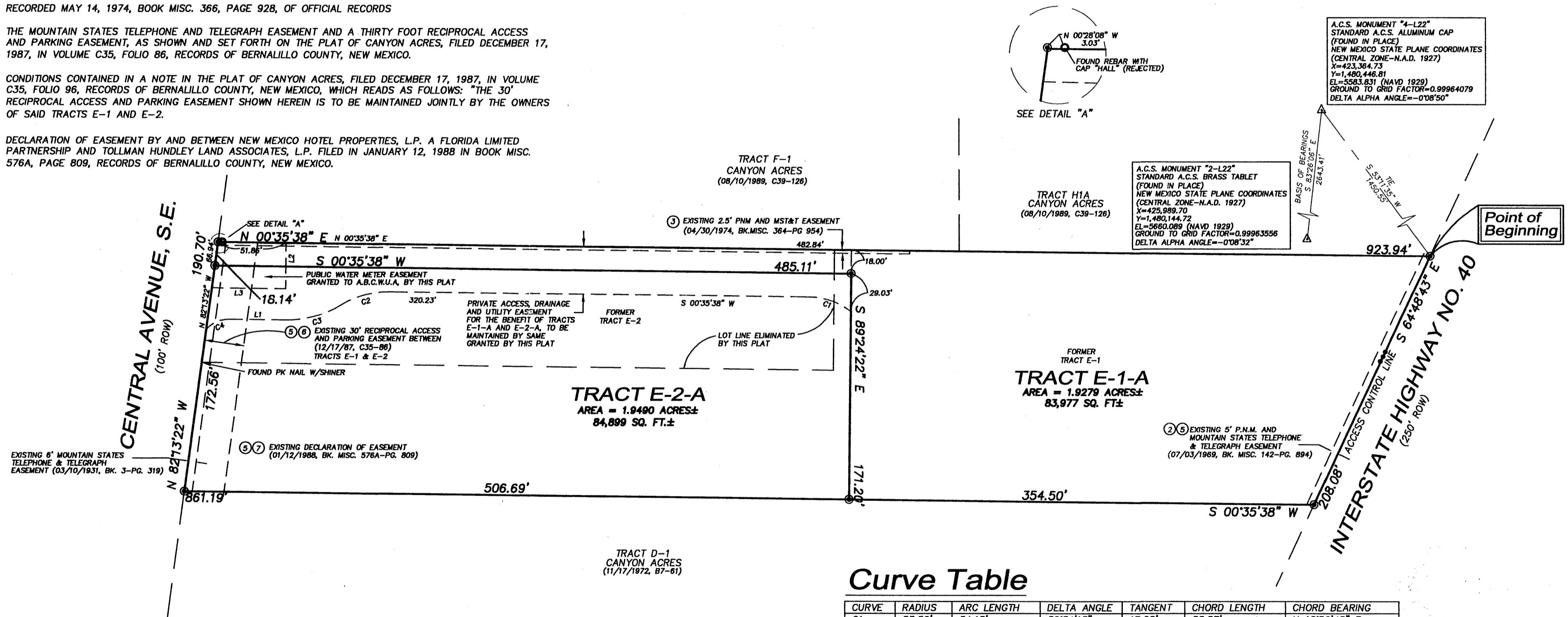
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

# Easement Notes

- | NO. | DESCRIPTION  |
|-----|--|
| ①   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED JULY 3, 1969.<br>RECORDED JULY 3, 1969, BOOK MISC. 142, PAGE 893, OF OFFICIAL RECORDS  |
| ②   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED JULY 3, 1969.<br>RECORDED JULY 3, 1969, BOOK MISC. 142, PAGE 894, OF OFFICIAL RECORDS  |
| ③   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED APRIL 30, 1974<br>RECORDED APRIL 30, 1974, BOOK MISC. 364, PAGE 954, OF OFFICIAL RECORDS   |
| ④   | EXISTING EASEMENT(S) AND RIGHTS INCIDENTAL THERETO GRANTED TO PUBLIC SERVICE COMPANY OF NEW MEXICO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, FILED MAY 14, 1974<br>RECORDED MAY 14, 1974, BOOK MISC. 366, PAGE 928, OF OFFICIAL RECORDS   |
| ⑤   | THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH EASEMENT AND A THIRTY FOOT RECIPROCAL ACCESS AND PARKING EASEMENT, AS SHOWN AND SET FORTH ON THE PLAT OF CANYON ACRES, FILED DECEMBER 17, 1987, IN VOLUME C35, FOLIO 86, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.   |
| ⑥   | CONDITIONS CONTAINED IN A NOTE IN THE PLAT OF CANYON ACRES, FILED DECEMBER 17, 1987, IN VOLUME C35, FOLIO 96, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, WHICH READS AS FOLLOWS: "THE 30' RECIPROCAL ACCESS AND PARKING EASEMENT SHOWN HEREIN IS TO BE MAINTAINED JOINTLY BY THE OWNERS OF SAID TRACTS E-1 AND E-2. |
| ⑦   | DECLARATION OF EASEMENT BY AND BETWEEN NEW MEXICO HOTEL PROPERTIES, L.P. A FLORIDA LIMITED PARTNERSHIP AND TOLLMAN HUNDLEY LAND ASSOCIATES, L.P. FILED IN JANUARY 12, 1988 IN BOOK MISC. 576A, PAGE 809, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.   |

RECORDING STAMP

Plat of  
**Tracts E-1-A and E-2-A**  
**Canyon Acres**  
 Albuquerque, Bernalillo County, New Mexico  
 October 2005



## Legend

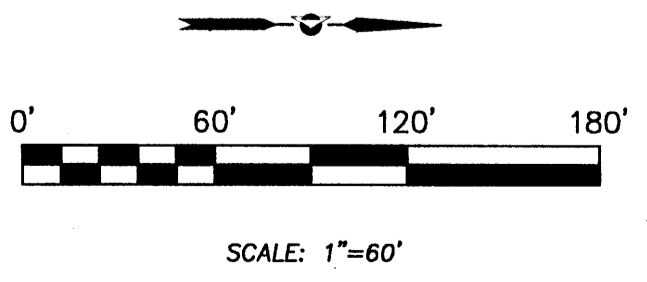
- N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARINGS AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- SET #4 REBAR W/YELLOW PLASTIC CAP "PS 11993"

## Curve Table

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD LENGTH	CHORD BEARING
C1	53.50'	34.15'	36°34'13"	17.68'	33.57'	N 18°52'45" E
C2	68.50'	38.02'	31°47'53"	19.51'	37.53'	N 15°18'18" W
C3	81.50'	45.23'	31°47'53"	23.21'	44.65'	S 15°18'18" E
C4	23.50'	19.18'	46°46'02"	10.16'	18.65'	N 22°47'23" W

## Line Table

LINE	BEARING	DISTANCE
L1	S 00°35'38" W	42.95'
L2	S 89°24'22" E	35.00'
L3	N 00°35'38" E	56.28'



**PRECISION SURVEYS, INC.**

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700  
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

LEGEND		ITEM	EXISTING	PROPOSED
RIGHT OF WAY	---	CHAIN LINK FENCE	---	---
EASEMENT LINE	---	RETAINING WALL	---	---
PROPERTY LINE	---	DRAINAGE BASIN DIVIDE	---	---
CENTERLINE	---	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	× 16.7			
HEADER CURB	---			
FLOWLINE ELEV.	FL 0.14			
TOP OF CURB ELEV.	TC 99.3			
CONTOUR	5166			
CONT. (SUPPLEMENT)	5166			
SWALE	---			
DIRECTION OF FLOW	→			
WATER BLOCK	---			
LANDSCAPED AREA	---			

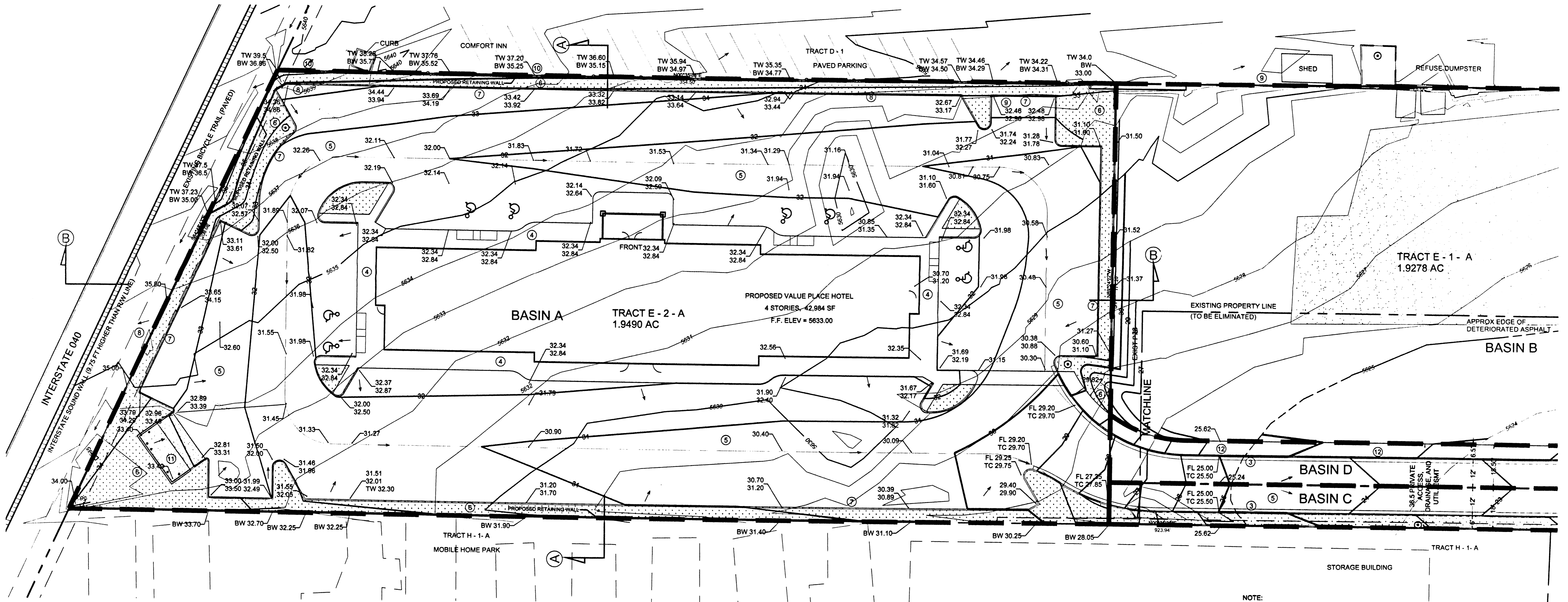
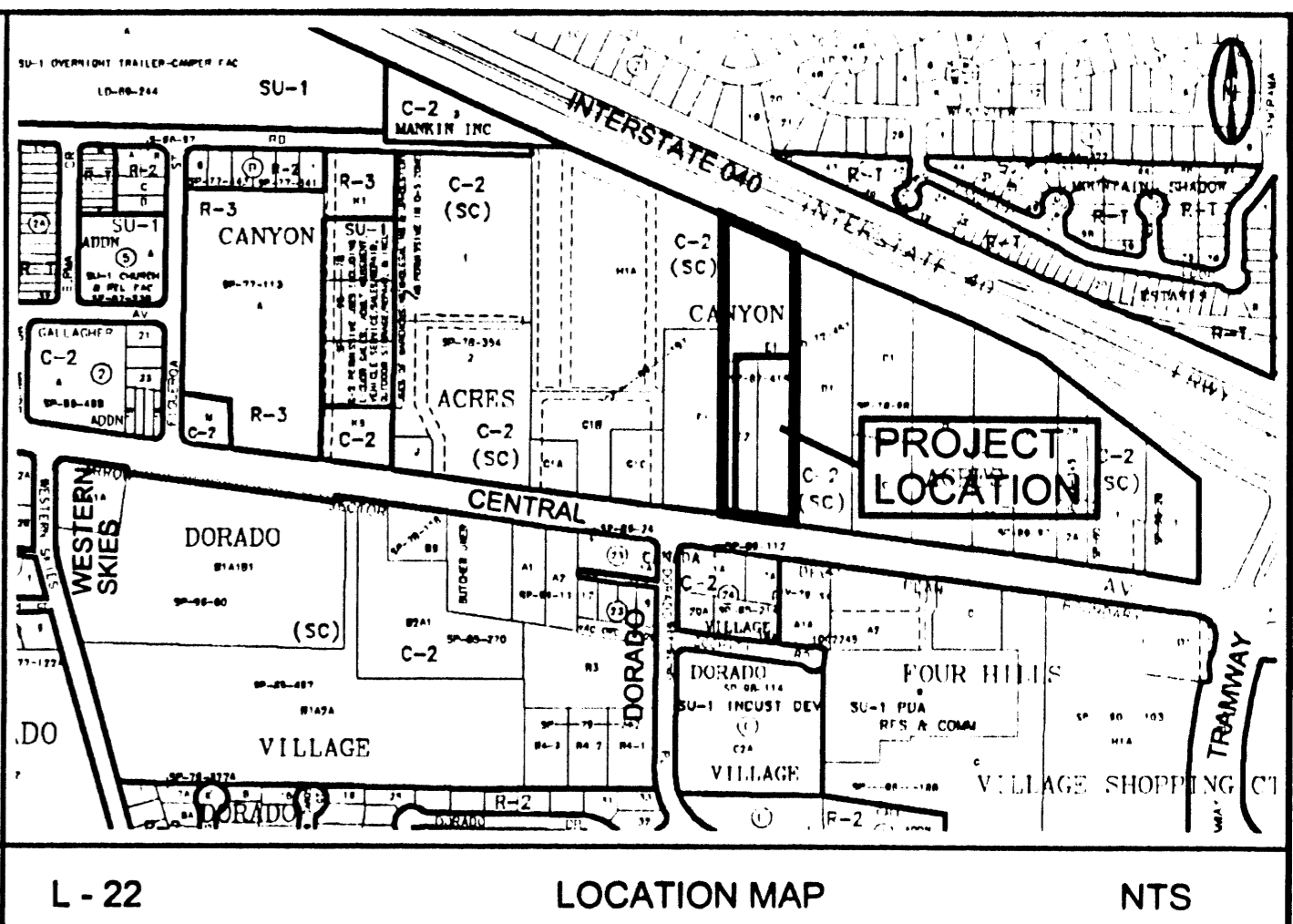
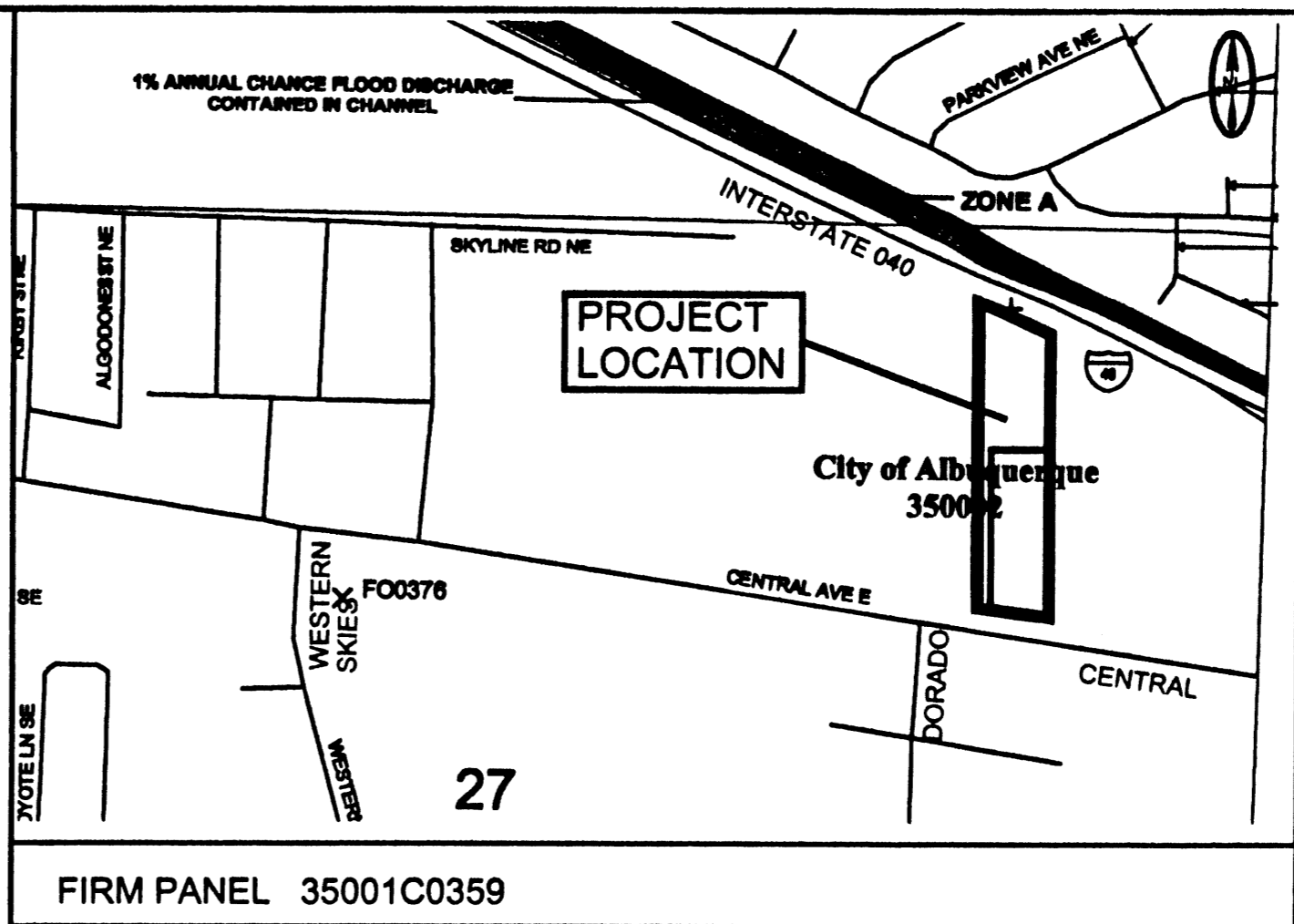
- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
  - EXISTING ASPHALT PAVING
  - NEW CONC. CURB AND GUTTER
  - NEW 8" CONC. TURNDOWN SIDEWALK
  - NEW ASPHALT PAVEMENT
  - NEW LANDSCAPING
  - 8" CONC. HEADER CURB
  - NEW CMU RETAINING WALL
  - EXIST. CHAIN LINK FENCE
  - NEW 8" CHAIN LINK FENCE
  - NEW REFUSE ENCLOSURE
  - 8" SIDEWALK

**PROJECT HYDROLOGY**  
TRACTS E-1-A AND E-2-A FOR VALUE PLACE (TRACT E-2-A)

ZONE: 3  
P<sub>24</sub> HOUR: 2.80  
P<sub>24</sub> HR: 3.10

UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)
A	1.7278	0	0	1.6241	0.1037	1.35	6.14	0.1950
B	0.2000	0	0	0.1640	0.0360	1.48	0.55	0.0247
C	1.6917	0	0	1.2180	0.4737	1.59	6.60	0.2239
D	0.2573	0	0	0.1853	0.0720	1.59	1.02	0.0341

DEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)
A	1.7278	0	0	0.2200	1.5078	2.27	8.48	0.3271
B	0.2000	0	0	0.0689	0.1301	1.98	0.82	0.0331
C	1.6917	0	0	1.2888	0.4229	1.58	6.52	0.2184
D	0.2573	0	0	0	0.2573	2.36	1.30	0.0505



**PURPOSE AND SCOPE**

This Grading and Drainage Plan is a component of a Site Plan for Subdivision, plat, and Site Development Plan initiated to reconfigure two existing tracts - Tracts E-1 and E-2, Canyon Acres Subdivision - into new Tracts E-1-A and E-2-A, respectively, for the immediate development of E-2-A as a hotel. Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. Hydrology calculations are provided for both tracts; detailed grading is provided for Tract E-2-A only.

**EXISTING CONDITIONS**

The project site consists of 3.8788 acres, comprising existing Tracts E-1 and E-2 of Canyon Acres Subdivision. The site is located adjacent to the north side of Central, between Jun Tabor and Tramway. It is bounded on the north by the bike trail adjacent to Interstate 040, on the south by Central, on the east by the fully-developed Comfort Inn hotel, and on the west by a mobile home/trailer park. The site was originally developed as a motel which was demolished in 2002, leaving only deteriorating parking and landscaping features. At present, the combined site serves temporary storage of several uninhabited mobile homes. Much of the site is overgrown by native vegetation. Site topography slopes generally down from northeast to southwest. Grading of the adjoining properties is such that no runoff from adjacent development enters the site. The developed property to the east is elevated by a retaining wall running much of the length of the common property line. The asphalt bike trail to the north is lower in elevation than the north property line of the site. The site is graded such that apparently no runoff discharges west to the mobile home/trailer park. As a result, all runoff from the combined project site discharges to Central Ave. As shown by the attached FIRM Panel, the project site is not encumbered by a designated flood hazard zone.

**PROPOSED CONDITIONS**

A re-plot of existing Tracts E-1 and E-2 will create new Tracts E-1-A and E-2-A by reconfiguration of the lot lines. The total acreage will remain the same. As shown by the Plan, the project consists of the immediate development of a hotel to be constructed on new Tract E-2-A, towards the north end of the site. Tract E-1-A will be developed at some future date under a future site development planning action. Access to the hotel property will be taken directly from Central by means of a private paved entrance road. Although the new property line runs along the approximate centerline of the new access road, the full road improvement will be contained within a shared private access, drainage, and utilities easement. The hotel site (Tract E-2-A) will be fully paved and landscaped, with only minor grading to occur on Tract E-1-A as necessary along the adjoining property line. Otherwise, no improvements to new Tract E-1-A are proposed. All areas of Tract E-2-A that are not to be paved will be landscaped.

The grading plan for the hotel site provides for an inverted crown in the drive aisles to convey water from the site's northernmost reaches to the entrance road. The entrance road is graded to drain directly to Central, and into the existing closed-conduit storm sewer system downstream. As a result, all drainage from the hotel tract will be discharged directly to Central. New and existing retaining walls will be required along portions of the perimeter of the hotel site. The finished floor elevation was established to optimize necessary retaining wall heights, parking lot slopes, earthwork, and surface drainage conveyance. The proposed site improvements do not affect historical drainage patterns.

**EROSION CONTROL**

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

**CALCULATIONS**

Calculations are provided which define the 100-year/8 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

**PROJECT DATA**

LEGAL DESCRIPTION:  
TRACT E-2-A,  
CANYON ACRES SUBDIVISION

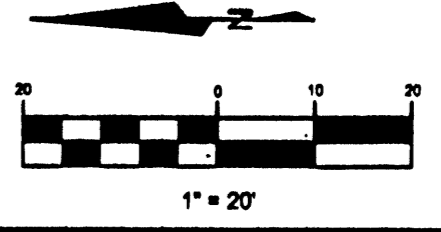
PROPERTY ADDRESS:  
13001 CENTRAL AVE. NE

BENCHMARK:  
TBM - C.O.A. CONTROL #6 - L-22  
TOP OF CURB OPP. SE CORNER TRACT E-1-A  
ELEVATION = 5620.06 MSL (1929 DATUM)

MAPPING:  
TOPOGRAPHIC AND FIELD MEASUREMENTS  
BY PRECISION SURVEYS  
DATED JULY, 2005

**NOTE:**

The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.



**BRASHER & LORENZ**  
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 1700  
Albuquerque, New Mexico 87110  
Ph: 505-886-6088 Fax: 505-886-6188

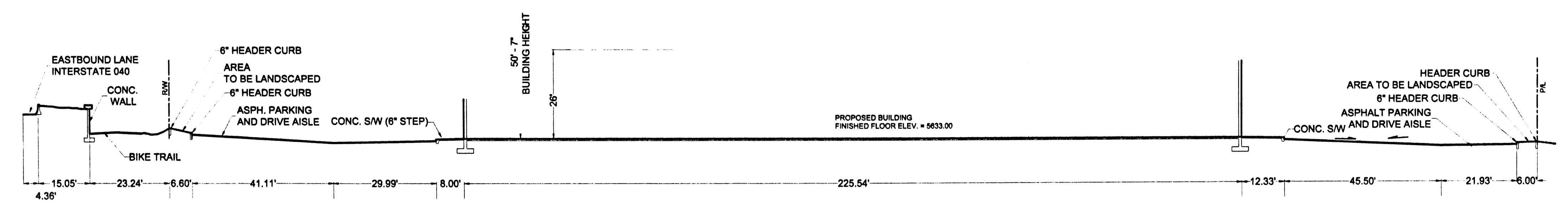


**VALUE PLACE**  
GRADING AND DRAINAGE PLAN

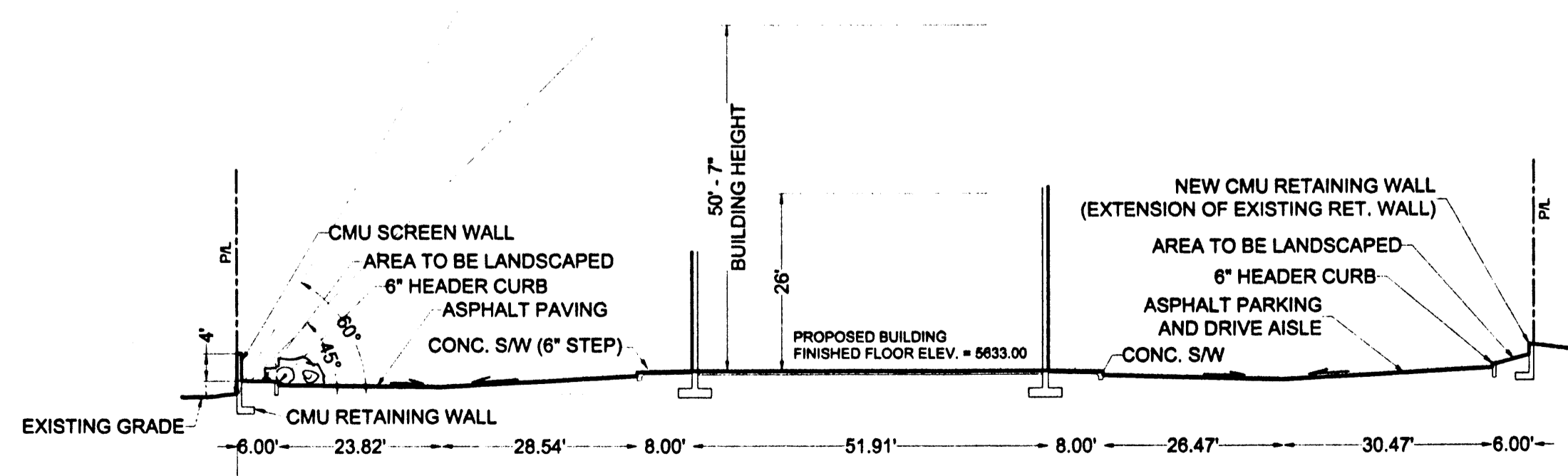
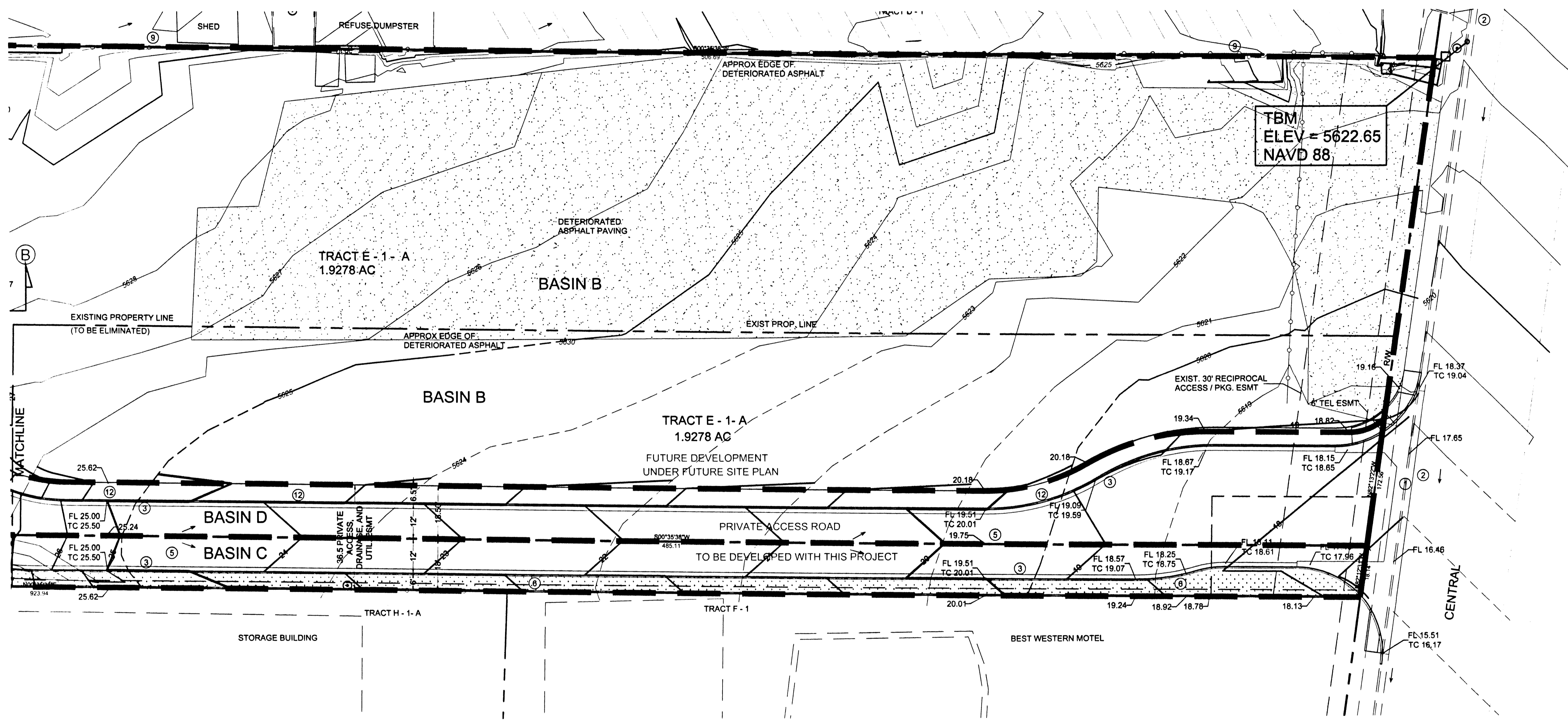
DRW: R.M	TR:	DATE: 08/30/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	F/D/DVP	

SHT: 3 OF 6

ITEM	LEGEND	
	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
CHAIN LINK FENCE	---	---
RETAINING WALL	---	---
DRAINAGE BASIN DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	16.7	87.26
CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---



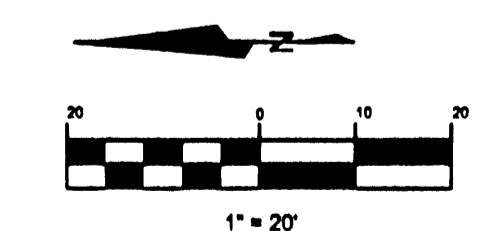
SECTION B - B



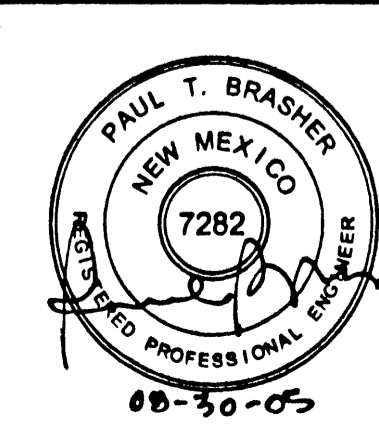
SECTION A - A

**PROJECT DATA**  
**LEGAL DESCRIPTION:**  
 TRACT E-2-A,  
 CANYON ACRES SUBDIVISION  
**PROPERTY ADDRESS:**  
 13001 CENTRAL AVE. NE  
**BENCHMARK:**  
 TBM - C.O.A. CONTROL #6 - L-22  
 TOP OF CURB OPP. SE CORNER TRACT E-1-A  
 ELEVATION = 5620.06 MSL (1929 DATUM)  
**MAPPING:**  
 TOPOGRAPHIC AND FIELD MEASUREMENTS  
 BY PRECISION SURVEYS  
 DATED JULY, 2005

**NOTE:**  
 The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

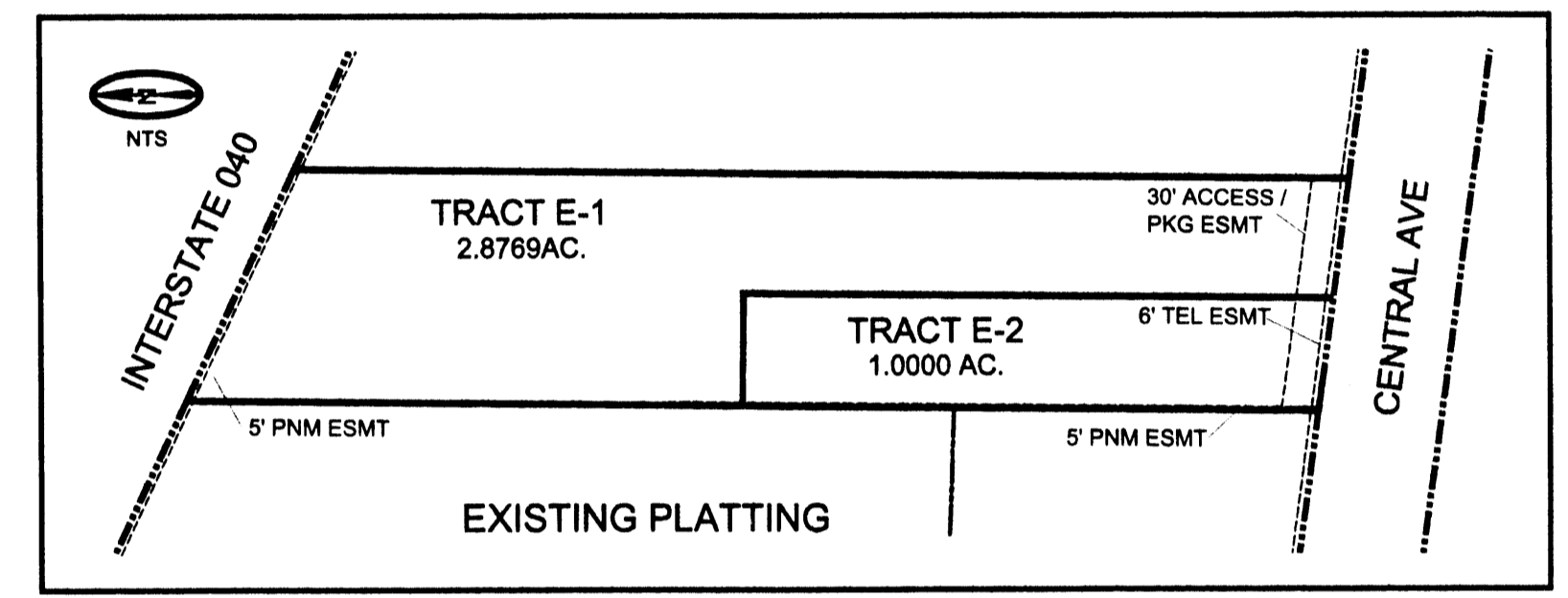
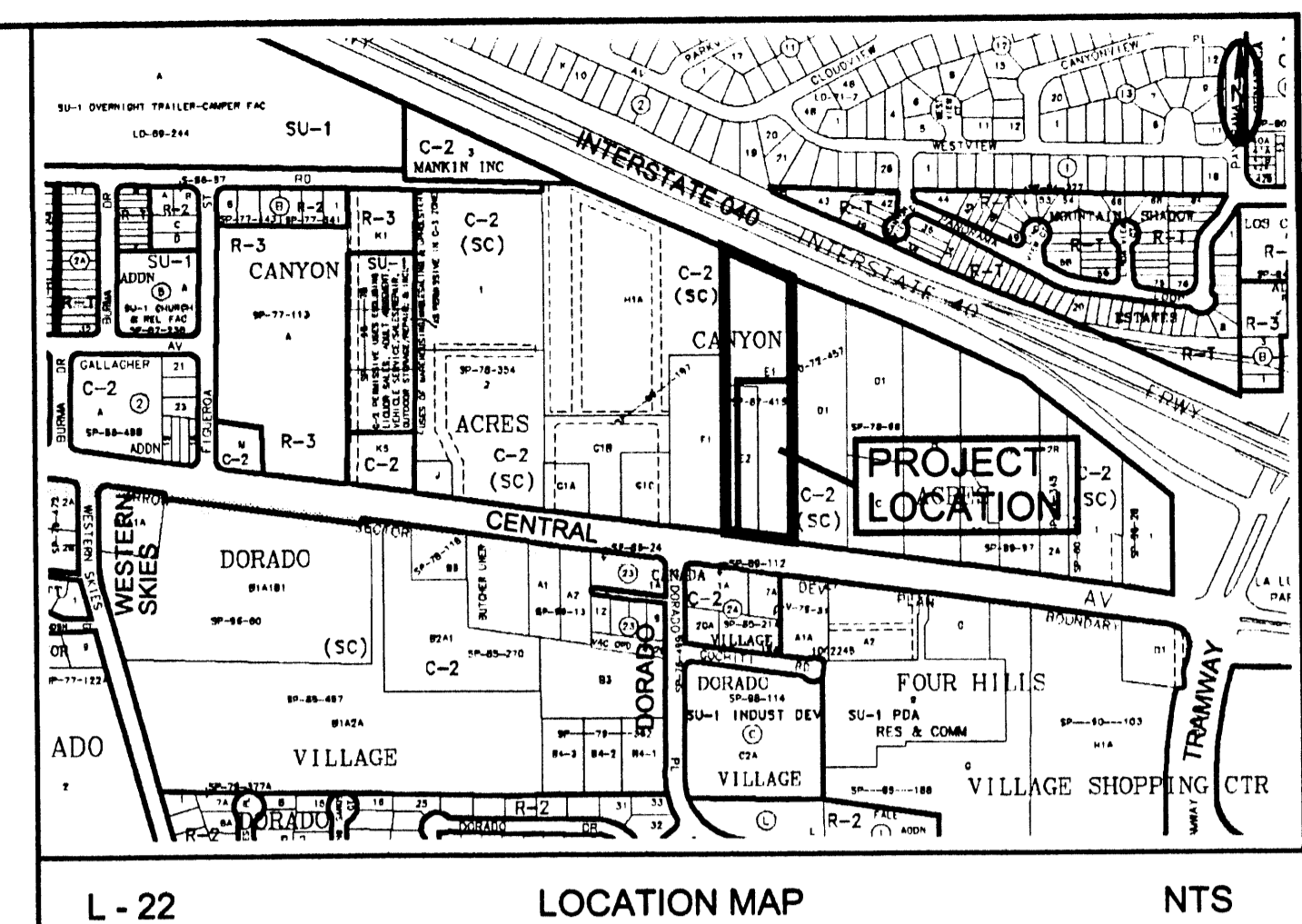
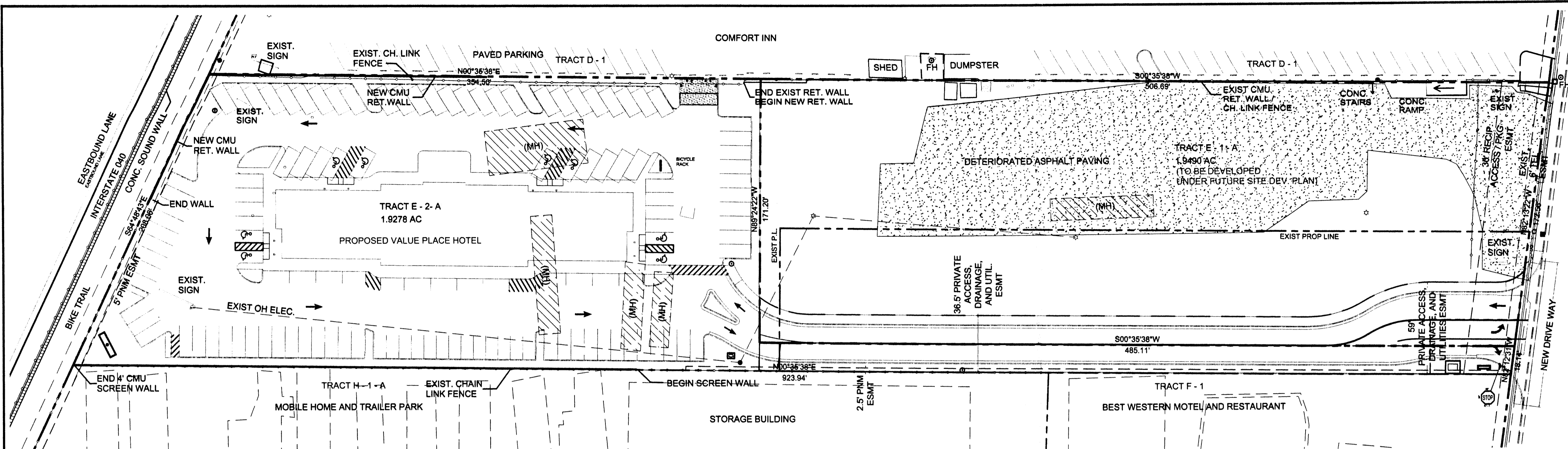


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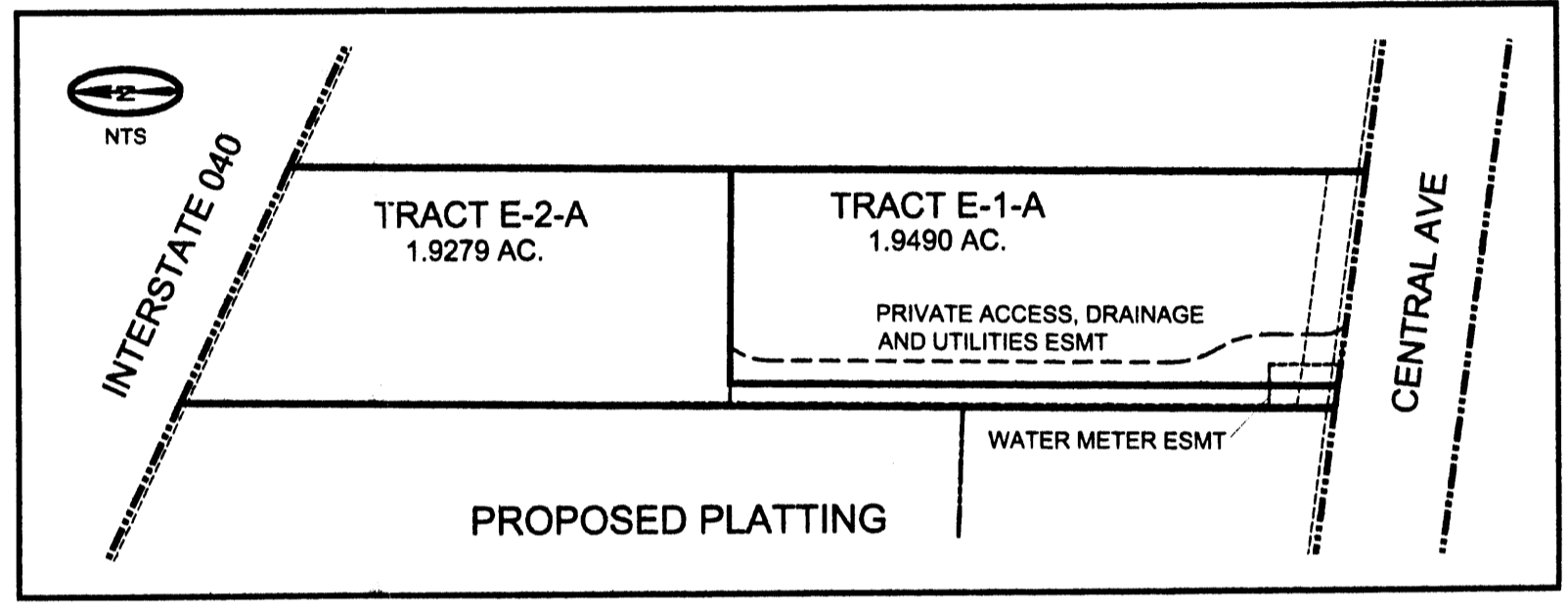


**VALUE PLACE**  
**GRADING AND DRAINAGE PLAN**  
 SHT: 4 OF 6

DRW: R.M.	TR:	DATE: 08/30/05
CKD: P.T.B.	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	FOD/VP	



DEVELOPMENT GUIDELINES



LANDSCAPING GUIDELINES

ITEM	LEGEND	
	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---
CHAIN LINK FENCE	---	---
RETAINING WALL	---	---
CURB	---	---

EXISTING FEATURES DESIGNATED AS "(MH)" ARE UNINHABITED MOBILE HOMES TEMPORARILY BEING STORED ON SITE

APPROVED  
*Michael Holtz*  
 10/10/05  
 SIGNATURE & DATE

**PROJECT DATA**  
 EXISTING LEGAL DESCRIPTION:  
 TRACTS E - 1 - AND E - 2, CANYON ACRES  
 PROPOSED LEGAL DESCRIPTION  
 TRACTS E - 1 - A AND E - 2 - A, CANYON ACRES  
 PROPERTY ADDRESS:  
 TRACT E-1: 13013 CENTRAL AVE. NE  
 TRACT E-2: 13001 CENTRAL AVE. NE

**SITE AREA:**  
 EXISTING TRACT E-1: 2.8769 AC.  
 EXISTING TRACT E-2: 1.0000 AC.  
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)  
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)  
 TOTAL AREA: 3.8768 AC (168,876 SF)

1. This Site Plan is for subdivision purposes only. The boundary shown is approximate and based in part on plats of record, but it is not a boundary survey. The final land division configuration will be by plat of the property. Existing Tracts E-1 and E-2 comprise 2.8768 and 1.0000 acres, respectively. New Tract E-1-A will contain 1.949 acres and New Tract E-2-A will contain 1.928 acres. Tract E-1-A will be developed at a later date under a separate Site Plan for Building Permit. Tract E-2-A will be developed immediately as a 121-room hotel with appurtenant paving, parking, landscaping, utilities, drainage, lighting, and signage.

2. A detailed Site Development Plan for each tract shall be submitted to the Development Review Board for final review and approval prior to development of any improvements on that tract. Development shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code), C-2 Zone.

3. A detailed Grading and Drainage Plan will be required for Tract E-1-A prior to development of any improvements on that tract.

1. Landscaping that may potentially exceed 15 feet in height will not be allowed within any Public Service Co. of New Mexico easement.

2. Specific use of introduced and naturalized species to supplement the indigenous plant palette. These "Introduced and naturalized" species will be used in areas less exposed to the macro climate and will function as accent treatments.

3. Controlled uses of indigenous inorganic materials (i.e. rocks, gravel) to function as ground cover or paving substitutes.

4. Street trees where allowed will be planted at a rate of 3 per 100 linear feet and will be set back 15 feet from the back of curb.

5. Streetscape along Central Ave. will be in accordance with Article Six (6) of the Municipal Code, and will include the following:  
 a. Canopy 3 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.  
 b. Understory and accent 2 in. minimum caliper Plant selection shall comply with those species, which have been approved by the City Water Conservation and Landscape Ordinance.

6. Existing trees on Tract E-1-A that are in good condition will be salvaged. Overgrown vegetation, accumulated litter, and mobile homes being stored on site will be removed within 60 days of approval of the Site Development Plan for Building Permit.

**ZONING:** C-2 (SC). (No zone change is requested.)

**SITE PLAN FOR SUBDIVISION**

The plat accompanying this Site Plan for Subdivision will create two new Tracts E-1-A and E-2-A by reconfiguration of two existing Tracts, thereby enabling the immediate development of new Tract E-2-A as a hotel. The purpose of the Site Plan for Subdivision is to show the new Tracts; to set forth the criteria by which new Tract E-2-A will be immediately developed; and to specify that the future development of new Tract E-1-A will require separate future review by the City Environmental Planning Commission and Development Review Board. This Site Plan for Subdivision proposes no increase nor decrease in the total lot count of the properties involved.

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

The purpose of the Site Development Plan for Building permit is to show the details of the improvements to new Tract E-2-A for its immediate construction.

4. Landscaping: The total landscaped area required for each Tract shall equal not less than 15 % of the net area, more specifically defined by Section 14-16-3-10 of the Zoning Code as the total lot area minus: (a) The area of the lot not covered by buildings; (b) The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from any adjacent lot or public right-of-way by an opaque wall or fence at least 6' high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and (c) The area of any approved landscaping that the owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk. Temporary landscape treatment, such as seeding, is proposed for new Tract E-1-A over as much of the tract as is practicable. At the time of development, streetscaping in accordance with Article 6 (the "Street Tree Ordinance") shall be installed.

5. Building Height: Building height and width shall fall within 60° angle lines drawn from the horizontal at the mean grade along each boundary of the subject Tract, but a structure shall not exceed a height of 60 feet, unless otherwise provided for and approved by Site Development Plan. Exceptions to the preceding are provided in accordance with Section 14-16-3-3 of the Comprehensive Zoning Code, "Supplementary Height, Area and Use Regulation".

6. Building Floor Area Ratios: Building floor area ratios are recommended not to exceed 0.35.

**UTILITIES**

Existing public water and sanitary sewer lines are located in Central Ave. Development of Tract E-1-A will require separate water, sanitary sewer, and fire protection line extensions, to be determined by the City prior to development.

Water service to Tract E-2-A, will be taken by extension of a private metered service line connected to the existing City waterline in Central Ave. Fire protection to Tract E-2-A will be taken by extension of a private, unmetered fire line into the site from the existing City waterline in Central. Sanitary sewer service to Tract E-2-A will be provided by the extension of a private sewer service line from the existing City sewerline in Central, north to the site. All water and sewer service lines will be contained within a utilities easement shared by Tract E-1-A under an easement agreement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners. The development of Tract E-2-A requires no expenditure of public funds nor construction of unprogrammed capital improvements facilities.

**DEVELOPMENT OF TRACT E-1-A**

Tract E-1-A will not be developed with this planning action. A detailed Site Development Plan for Tract E-1-A will be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to issuance of building permit for improvements thereon. Development of Tract E-1-A shall comply with the guidelines set forth in the City of Albuquerque Comprehensive Zoning Code (Zoning Code), C-2 Zone.

**DRAINAGE**

A Grading and Drainage Plan to support the development of Tracts E-2-A is provided. A separate Grading and Drainage Plan for Tract E-1-A will be required at the time of its development. The subdivision plat for this project will show a private drainage, access, and utilities easement over portions of Tracts E-1-A and E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

7. Signs: All signs shall be in compliance with the requirements set forth in the Zoning Code for C-2 zones. The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code, Sections 14-16-3-5, and 14.16.2.17 governing signage in the C-2 zone. Off-premise signage is prohibited.

8. Setbacks: Building setbacks for each of the Tracts shall comply with the requirements set forth in the Zoning Code for C-2 zones.

9. Parking: All off-street parking requirements shall be as provided in Section 14-16-3-14 of the Zoning Code.

10. Pedestrian Access: Direct pedestrian access shall be provided from buildings to adjoining street frontages. Access shall be 6' clear minimum with trees where practical.

11. Employee Facilities: Businesses with 50 or more employees shall supply lockers. Showers are encouraged.

12. On-site and boundary fencing is not proposed with this site plan, but may be constructed of 8' high chainlink with security wiring at the discretion of the property owner.

**SIGNAGE AND SITE LIGHTING**

The size and placement of all free-standing and building-mounted signs will be regulated by the zoning code, Sections 14-16-3-5, and 14.16.2.17 governing signage in the C-2 zone. Off-premise signage is prohibited.

Free-standing lighting fixtures are allowed provided they ensure full cutoff lighting. Otherwise, the size, placement, and luminosity of all lighting fixtures will be as regulated by the zoning code, Section 14-16-3-9 AREA LIGHTING REGULATIONS. Building lighting shall be shielded to provide downward light emission to prevent light trespass and upward light "pollution".

**DRAINAGE**

A separate Site Development Plan for building permits will be submitted to the City for the development of Tract E-1-A, together with a site specific grading and drainage plan. The plat will provide a cross-lot drainage easement to be shared by both Tracts.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

Is an infrastructure List required? ( X ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way of for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
<i>Michael Holtz</i>	10/10/05
SOLID WASTE MANAGEMENT	DATE
DRB CHAIR, PLANNING DEPARTMENT	DATE

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188

**VALUE PLACE**  
 SITE PLAN FOR SUBDIVISION

SH: 1 OF 1

DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1"=40'
APP:	ACAD FILE:	
REV. NO.	FOD/VP	

PAUL T. BRASHER  
 NEW MEXICO  
 7282  
 REGISTERED PROFESSIONAL ENGINEER  
 10-10-05

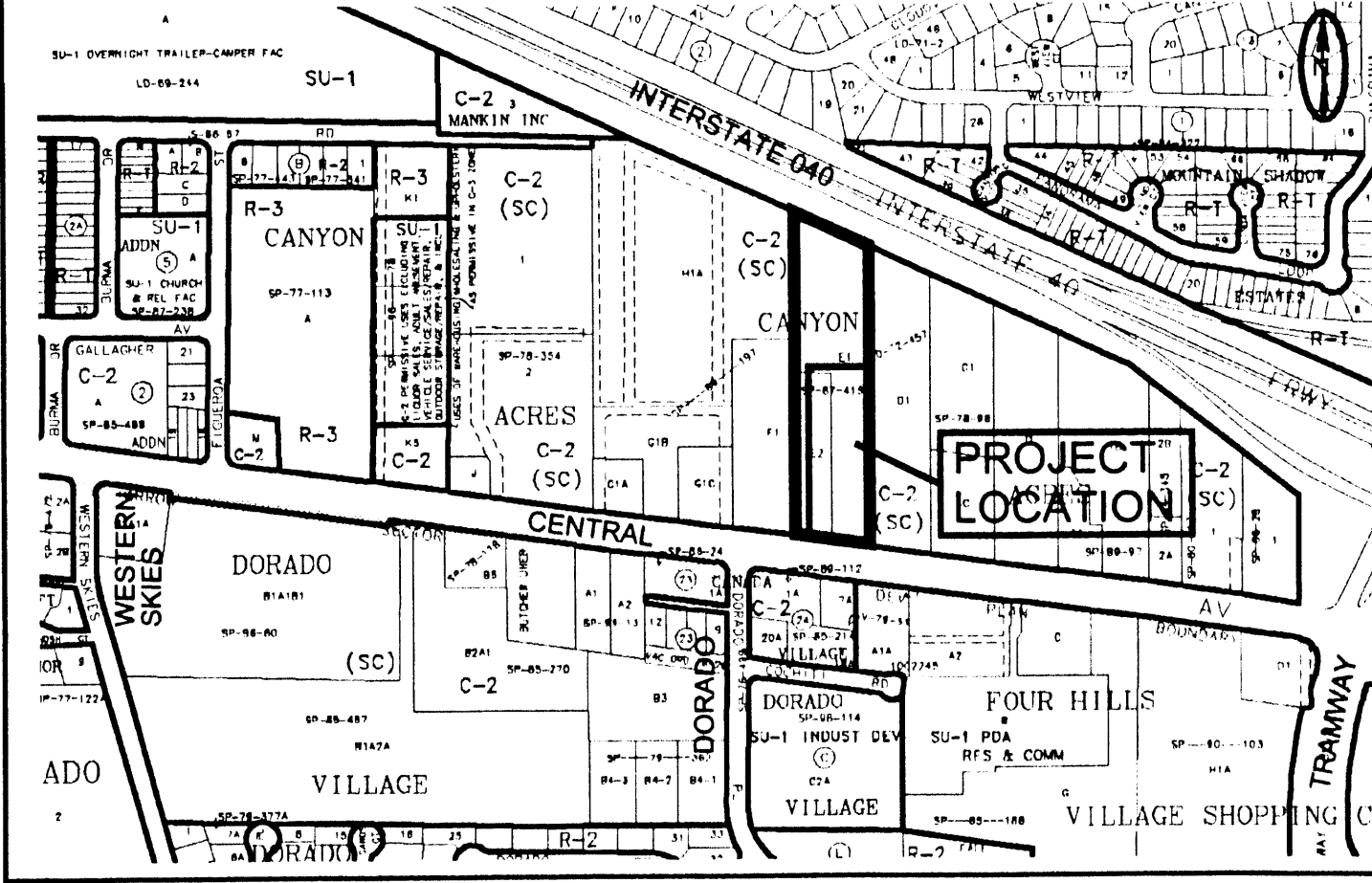
LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	--- 6"W ---	--- 6" W ---
SANITARY SEWER	--- 8"SAS ---	--- 8" SAS ---
STORM SEWER	--- 36"SD ---	--- 24" SD ---
FIRE HYDRANT	⊙	⊙
VALVE	⊕	⊕
WATER SERVICE (SINGLE)	⊕	⊕
WATER SERVICE (DOUBLE)	⊕	⊕
MANHOLE	⊕	⊕
SEWER SERVICE	⊕	⊕
POWER POLE (GUYED)	⊕	⊕
DROP INLET	⊕	⊕
OVERHEAD ELEC.	--- OHE ---	---
UNDERGROUND ELEC., GAS, TEL, TV	--- UGT ---	---
TEL. PEDESTAL	⊕	⊕
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---
CHAIN LINK FENCE	---	---
RETAINING WALL	---	---
DRAINAGE BASIN DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	× 16.7	× 87.26
HEADER CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	--- 5166 ---	--- 92 ---
CONT. (SUPPLEMENT)	---	---
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
LANDSCAPED AREA	---	---

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
  - EXISTING ASPHALT PAVING
  - NEW 8' WIDE TURNED DOWN SIDEWALK (6" STEP)
  - EXISTING 6' SIDEWALK
  - EXISTING PERIMETER CHAIN LINK FENCE
  - SIGN
  - NEW ASPHALT PAVING
  - NEW LANDSCAPING
  - NEW 6' SIDEWALK
  - NEW FIRE HYDRANT
  - NEW 6" CURB AND GUTTER
  - OUTDOOR BENCH SEATING
  - STRIPED CROSSWALK
  - NEW REFUSE ENCLOSURE (CITY STD. - DOUBLE ENCLOSURE)
  - HANDICAP RAMP (W/ SIGNS AT HANDICAP PARKING SPACES)
  - 3" WATER METER
  - EXISTING 4' RET. WALL (TO REMAIN)
  - BACKFLOW PREVENTER
  - 6" CONC. HEADER CURB
  - NEW CMU RETAINING WALL
  - NEW 8' CHAIN LINK FENCE (ON TOP OF RET. WALL)
  - MOTORCYCLE PARKING (WITH SIGN)
  - MOUNTABLE CURB DIVIDER (CONCRETE)
- This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission, dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied. Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_  
 DRB SITE DEVELOPMENT PLAN APPROVAL: \_\_\_\_\_  
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE \_\_\_\_\_  
 UTILITIES DEVELOPMENT DATE \_\_\_\_\_  
 PARKS AND RECREATION DEPARTMENT DATE \_\_\_\_\_  
 CITY ENGINEER DATE \_\_\_\_\_  
 \* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE \_\_\_\_\_  
 Michael Holton 10/10/05  
 SOLID WASTE MANAGEMENT DATE \_\_\_\_\_  
 DRB CHAIR, PLANNING DEPARTMENT DATE \_\_\_\_\_

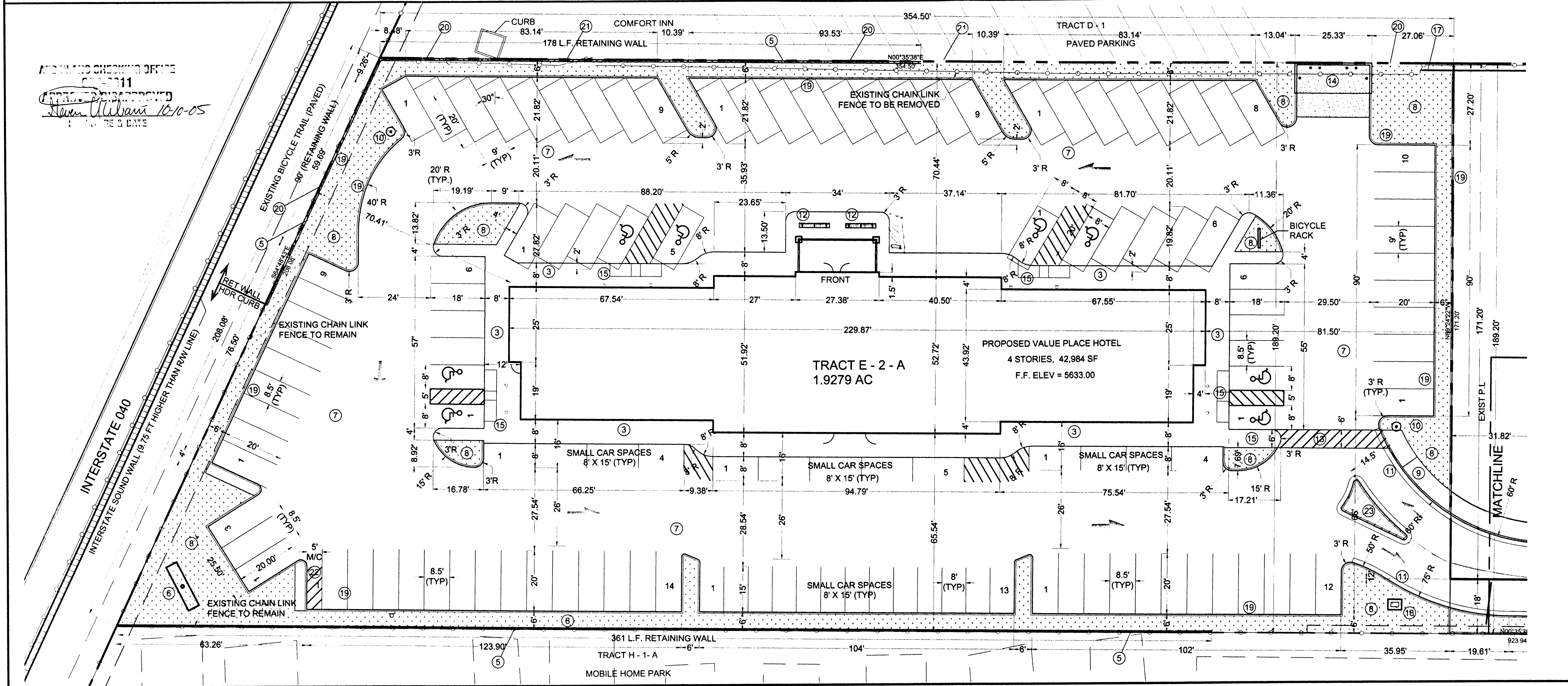
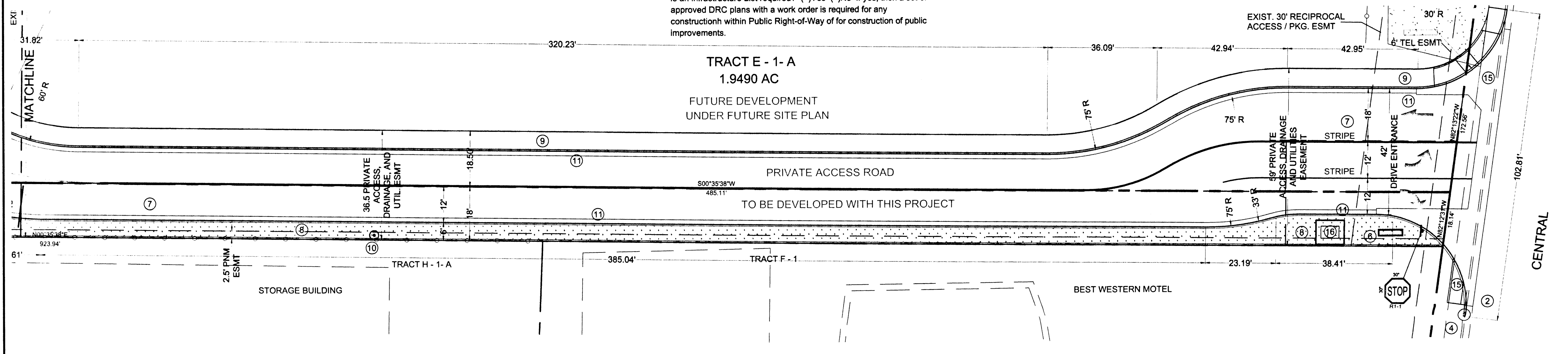
FUTURE DEVELOPMENT OF TRACT E-1-A REQUIRES SUBMITTAL OF A SITE DEVELOPMENT PLAN TO THE ENVIRONMENTAL PLANNING COMMISSION

DRAWING INDEX	
TITLE	SHEET NO.
SITE PLAN	1
LANDSCAPE PLAN	2
GRADING & DRAINAGE PLAN	3
GRADING AND DRAINAGE (2)	4
UTILITIES PLAN	5
BUILDING ELEVATIONS	6
DETAILS	7



L - 22 LOCATION MAP NTS

**PROJECT DATA**  
 EXISTING LEGAL DESCRIPTION:  
 TRACTS E - 1- AND E - 2, CANYON ACRES  
 PROPOSED LEGAL DESCRIPTION:  
 TRACTS E -1-A AND E - 2 - A, CANYON ACRES  
 PROPERTY ADDRESS:  
 TRACT E-1: 13013 CENTRAL AVE. NE  
 TRACT E-2: 13001 CENTRAL AVE. NE  
 SITE AREA:  
 EXISTING TRACT E-1: 2.8769 AC.  
 EXISTING TRACT E-2: 1.0000 AC.  
 PROPOSED TRACT E-1-A: 1.9490 AC. (84,899 SF)  
 PROPOSED TRACT E-2-A: 1.9279 AC. (83,977 SF)  
 TOTAL AREA: 3.8768 AC (168,876 SF)  
 ZONING: C-2 (SC). (No zone change is requested.)  
 DEVELOPMENT OF NEW TRACT E-1-A:  
 Tract E-1-A created with this plat will not be developed at the time of this planning action. A detailed Site Development Plan for Tract E-1-A shall be submitted to the Environmental Planning Commission for final review and to the Development Review Board for approval prior to development of any improvements on that Tract.  
 DEVELOPMENT OF NEW TRACT E-2-A:  
 Tract E-2-A created with this plat will be developed as a 121-room hotel, together with paving, landscaping, utilities, and drainage improvements.

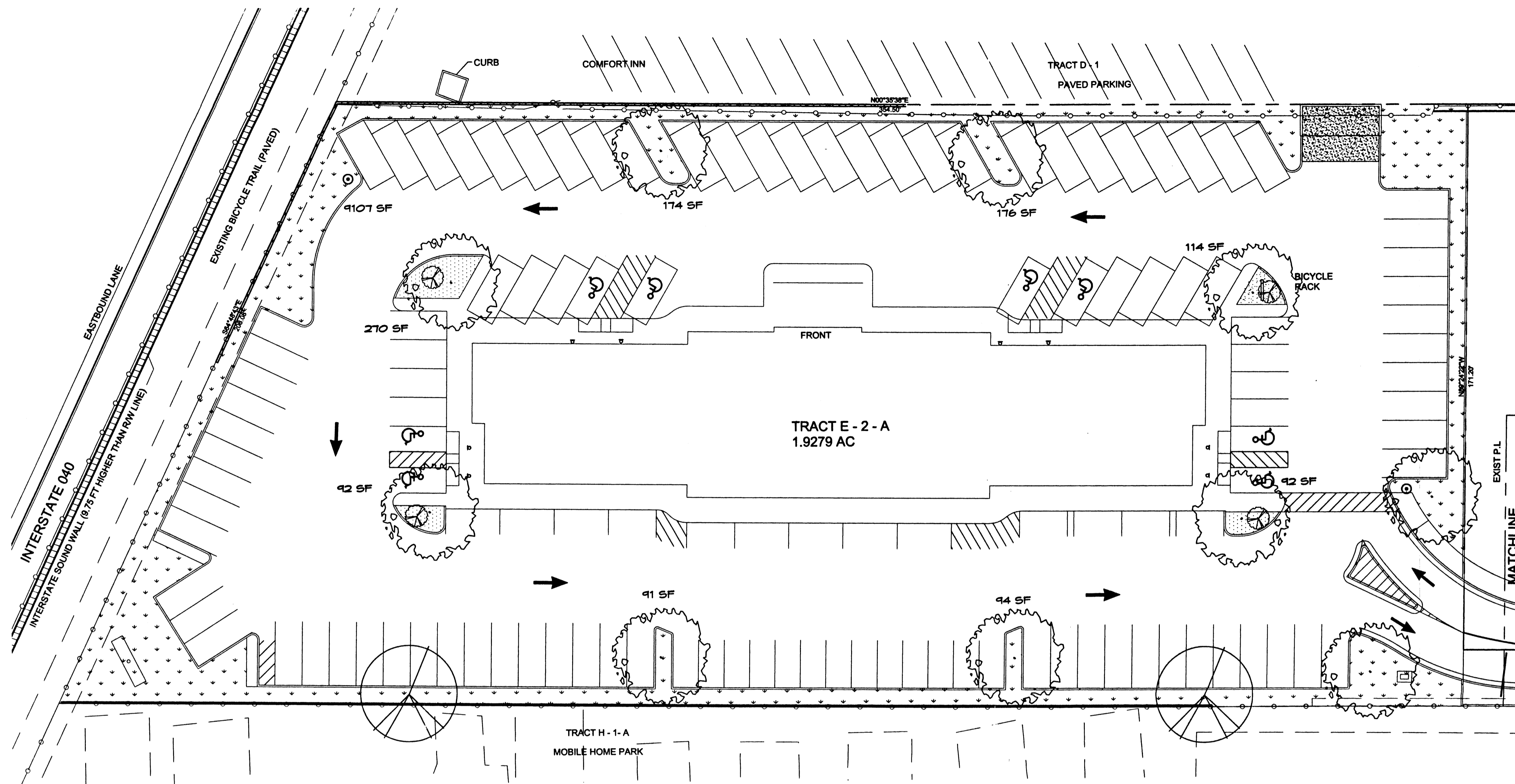


**SITE PLAN FOR BUILDING PERMIT FOR TRACT E-2-A:**  
 Site Plan for Building permit is presented for new Tract E-2-A. The plan shows a 121-room hotel a single building with parking, landscaping, signage, refuse containment, and access. The Tract is configured such that access to the hotel will be taken by connection to Central Ave. by paved road, to be shared by cross-access and drainage easement with Tract E-1-A. The access road will also be used by both properties for conveyance of storm water drainage. Subsequent development of Tract E-1-A will require a separate grading and drainage plan.  
**SIGNAGE AND LIGHTING**  
 Signage and lighting limitations are as regulated by the Zoning Code, Sections 14-16-3-5 and 14.16.2.17 governing signage in the C-2 zone. Site lighting will be full cutoff lighting fixtures mounted to the building. Off-premise signage is prohibited.  
**BUILDING HEIGHT AND SETBACKS**  
 Building heights and setback limitations are as regulated under C-2 zoning. The proposed hotel building will not exceed 55 feet in height above finished-floor elevation.  
**PARKING:**  
 TOTAL PARKING SPACES REQUIRED: 121 Spaces, including 6 accessible and 2 van accessible  
 BICYCLE SPACES REQUIRED: 8  
 PARKING PROVIDED: 89 SPACES  
 26 SMALL CAR SPACES @ 8' X 15'  
 6 REGULAR ACCESSIBLE SPACES  
 2 VAN ACCESSIBLE SPACES  
 1 MOTORCYCLE SPACE  
 TOTAL: 123 SPACES, PLUS 8 BICYCLE AND 1 MOTORCYCLE  
**LANDSCAPING:**  
 TOTAL AREA TRACT E-2-A: 83,977 SF  
 BUILDING FOOTPRINT: 10,686 SF  
 NET AREA LANDSCAPE BASE: 73,291 SF  
 LANDSCAPING REQUIRED @ 15% NET: 10,994 SF  
 LANDSCAPING PROVIDED: 12,476 SF (17.0 %)  
**STREETSCAPE IN ACCORDANCE WITH THE CITY MUNICIPAL CODE, ARTICLE 6.**  
 SHALL BE INSTALLED ALONG THE CENTRAL AVE. FRONTAGE

**BRASHER & LORENZ**  
 CONSULTING ENGINEERS  
 2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph 505-868-6088 Fax 505-868-6188

**VALUE PLACE**  
 SITE PLAN FOR BUILDING PERMIT  
 SHT: 1 OF 7  
 DRW: R.M  
 CKD: P.T.B  
 APP: \_\_\_\_\_  
 REV. NO. \_\_\_\_\_  
 TR: \_\_\_\_\_  
 OK: \_\_\_\_\_  
 ACAD FILE: \_\_\_\_\_  
 F/OD/VP  
 DATE: 10/03/05  
 SCALE: 1" = 20'





**PLANT LEGEND**

- TREES**
- ASH (M) OR HONEY LOCUST (M) 10  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Cal.
  - SYCAMORE (M+) 2  
Platanus wrightii  
2" Cal.
- SHRUBS**
- HALLS HONEYSUCKLE (M) 4  
Japonica 'Halliana'  
1 Gal. 199af  
Unstaked-Groundcover 532
- HARDSCAPES 36**
- SFB CRUSHERFINES WITH FILTER FABRIC
  - RAKED EARTH WITH HYDROSEED REVEGETATIVE SEED

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	89474	square feet
TOTAL BUILDINGS AREA	10746	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	78728	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10905	square feet
TOTAL BED PROVIDED	568	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	426	square feet
TOTAL GROUNDCOVER PROVIDED	568 (100%)	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL RAKED EARTH REVEGETATIVE SEED AREA	12716	square feet
TOTAL LANDSCAPE PROVIDED	13284	square feet

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Crusher Fines over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (3) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

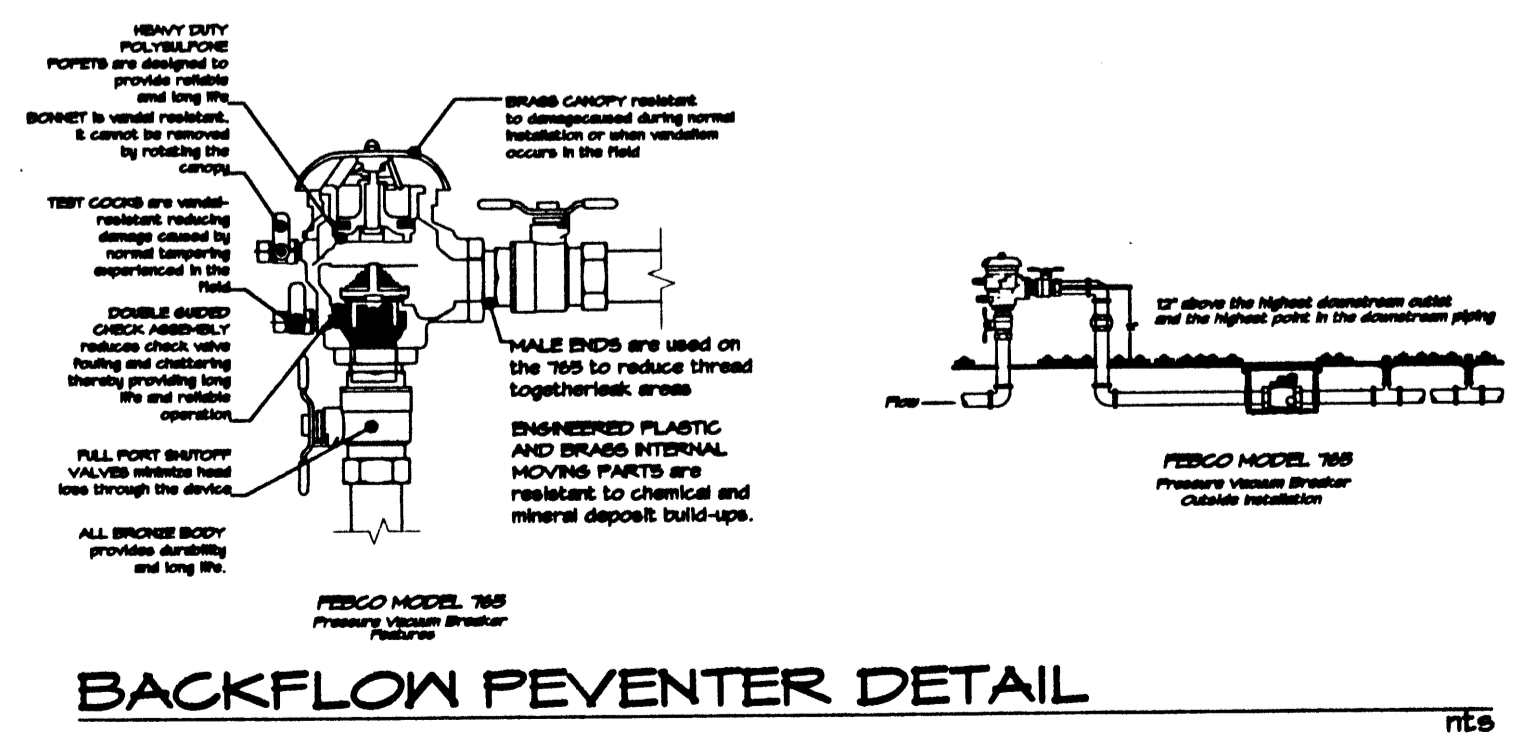
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

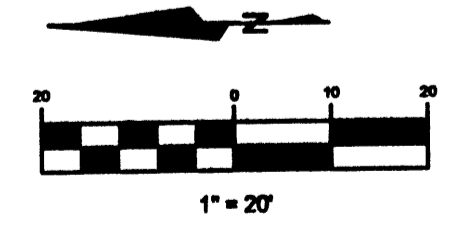
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



**BACKFLOW PREVENTER DETAIL**



**The Hilltop**  
 LANDSCAPE ARCHITECTS & CONTRACTORS  
 Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7737  
 cjohnson@hilltoplandscaping.com



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 Albuquerque, New Mexico 87110  
 Ph: 505-886-6088 Fax: 505-886-6188

**VALUE PLACE LANDSCAPING PLAN**

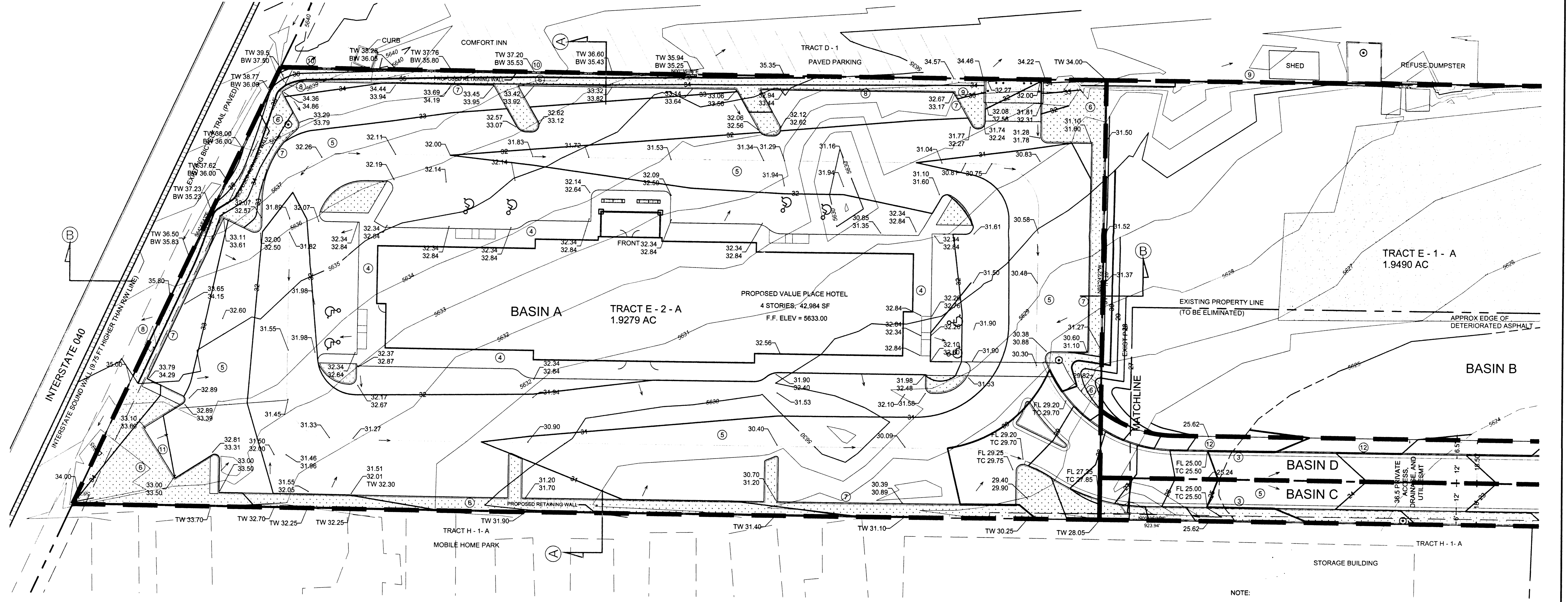
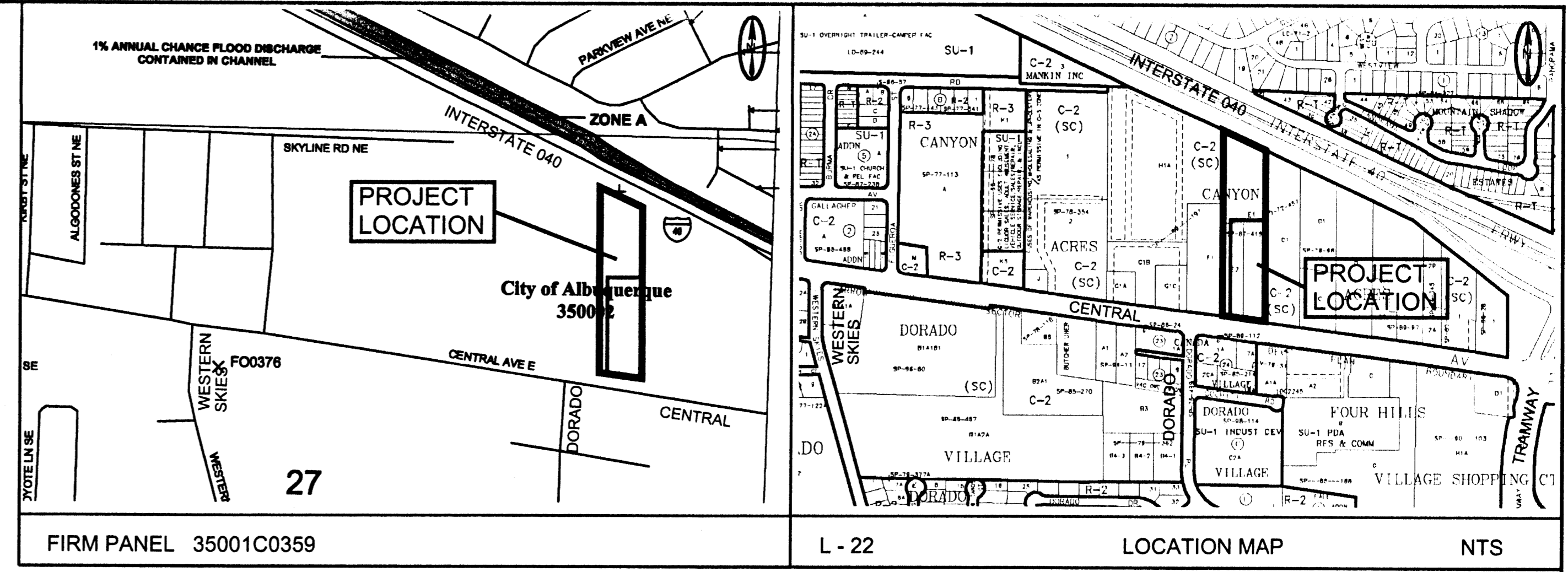
DRW: drr	TR:	DATE: 10/03/05
CKD: cmj	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO. 1	F/ODVP	

SHT: 2 OF 7

LEGEND		ITEM	EXISTING	PROPOSED
RIGHT OF WAY	---	CHAIN LINK FENCE	---	---
EASEMENT LINE	---	RETAINING WALL	---	---
PROPERTY LINE	---	DRAINAGE BASIN DIVIDE	---	---
CENTERLINE	---	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	×			
HEADER CURB	---			
FLOWLINE ELEV.	FL 0.14			
TOP OF CURB ELEV.	TC 99.3			
CONTOUR	5166			
CONT. (SUPPLEMENT)	5166			
SWALE	---			
DIRECTION OF FLOW	---			
WATER BLOCK	---			
LANDSCAPED AREA	---			

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
  - EXISTING ASPHALT PAVING
  - NEW CONC. CURB AND GUTTER
  - NEW 6" CONC. TURNDOWN SIDEWALK
  - NEW ASPHALT PAVEMENT
  - NEW LANDSCAPING
  - 6" CONC. HEADER CURB
  - NEW CMU RETAINING WALL
  - EXIST. CHAIN LINK FENCE
  - NEW 8" CHAIN LINK FENCE
  - NEW REFUSE ENCLOSURE
  - 6" SIDEWALK

PROJECT HYDROLOGY		TRACTS E-1-A AND E-2-A FOR VALUE PLACE (TRACT E-2-A)	
ZONE:	3		
P <sub>1</sub> HOUR:	2.60		
P <sub>24</sub> HR:	3.10		
UNDEVELOPED:			
BASIN	AREA (ac)	A (ac)	B (ac)
A	1.7278	0.00	0.00
B	0.2000	0.00	0.00
C	1.6917	0.00	0.00
D	0.2573	0.00	0.00
DEVELOPED:			
BASIN	AREA (ac)	A (ac)	B (ac)
A	1.7278	0.00	0.00
B	0.2000	0.00	0.00
C	1.6917	0.00	0.00
D	0.2573	0.00	0.00



**PURPOSE AND SCOPE**

This Grading and Drainage Plan is a component of a Site Plan for Subdivision, plat, and Site Development Plan initiated to reconfigure two existing tracts - Tracts E-1 and E-2, Canyon Acres Subdivision - into new Tracts E-1-A and E-2-A, respectively, for the immediate development of E-2-A as a hotel. Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling development runoff from the project site. Hydrology calculations are provided for both tracts; detailed grading is provided for Tract E-2-A only.

**EXISTING CONDITIONS**

The project site consists of 3.8768 acres, comprising existing Tracts E-1 and E-2 of Canyon Acres Subdivision. The site is located adjacent to the north side of Central, between Juan Tabo and Tramway. It is bounded on the north by the bike trail adjacent to Interstate 40, on the south by Central, on the east by the fully-developed Comfort Inn hotel, and on the west by a mobile home/trailer park. The site was originally developed as a motel which was demolished in 2002, leaving only deteriorating paving and landscaping features. At present, the combined site serves temporary storage of several unoccupied mobile homes. Much of the site is overgrown by native vegetation. Site topography slopes generally down from northeast to southwest. Grading of the adjoining properties is such that no runoff from adjacent development enters the site. The developed property to the east is elevated by a retaining wall running much of the length of the common property line. The site is graded such that apparently no runoff discharges west to the mobile home/trailer park. As a result, all runoff from the combined project site discharges to Central Ave. As shown by the attached FIRM Panel, the project site is not encumbered by a designated flood hazard zone.

**PROPOSED CONDITIONS**

A re-plot of existing Tracts E-1 and E-2 will create new Tracts E-1-A and E-2-A by reconfiguration of the lot lines. The total acreage will remain the same. As shown by the Plan, the project consists of the immediate development of a hotel to be constructed on new Tract E-2-A, towards the north end of the site. Tract E-1-A will be developed at some future date under a future site development planning action. Access to the hotel property will be taken directly from Central by means of a private paved entrance road. Although the new property line runs along the approximate centerline of the new access road, the full road improvement will be contained within a shared private access, drainage, and utilities easement. The hotel site (Tract E-2-A) will be fully paved and landscaped, with only minor grading to occur on Tract E-1-A as necessary along the adjoining property line. Otherwise, no improvements to new Tract E-1-A are proposed. All areas of Tract E-2-A that are not to be paved will be landscaped.

The grading plan for the hotel site provides for an inverted crown in the drive aisles to convey water from the site's northernmost reaches to the entrance road. The entrance road is graded to drain directly to Central, and into the existing closed-conduit storm sewer system downstream. As a result, all drainage from the hotel tract will be discharged directly to Central. New and existing retaining walls will be required along portions of the perimeter of the hotel site. The finished floor elevation was established to optimize necessary retaining wall heights, parking lot slopes, earthwork, and surface drainage conveyance. The proposed site improvements do not affect historical drainage patterns.

**EROSION CONTROL**

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

**CALCULATIONS**

Calculations are provided which define the 100-year/8 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

**PROJECT DATA**

**LEGAL DESCRIPTION:**  
TRACT E-2-A,  
CANYON ACRES SUBDIVISION

**PROPERTY ADDRESS:**  
13001 CENTRAL AVE. NE

**BENCHMARK:**  
TBM - C.O.A. CONTROL #6 - L-22  
TOP OF CURB OPP. SE CORNER TRACT E-1-A  
ELEVATION = 5620.06 MSL. (1929 DATUM)

**MAPPING:**  
TOPOGRAPHIC AND FIELD MEASUREMENTS  
BY PRECISION SURVEYS  
DATED JULY, 2005

**NOTE:**

The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

1" = 20'

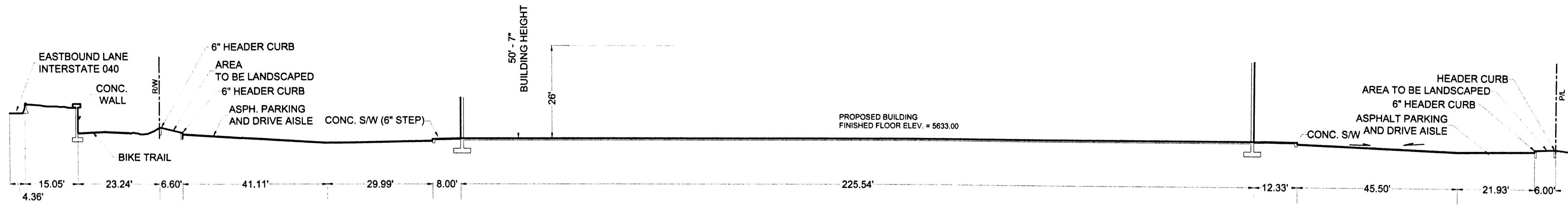
**BRASHER & LORENZ**  
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
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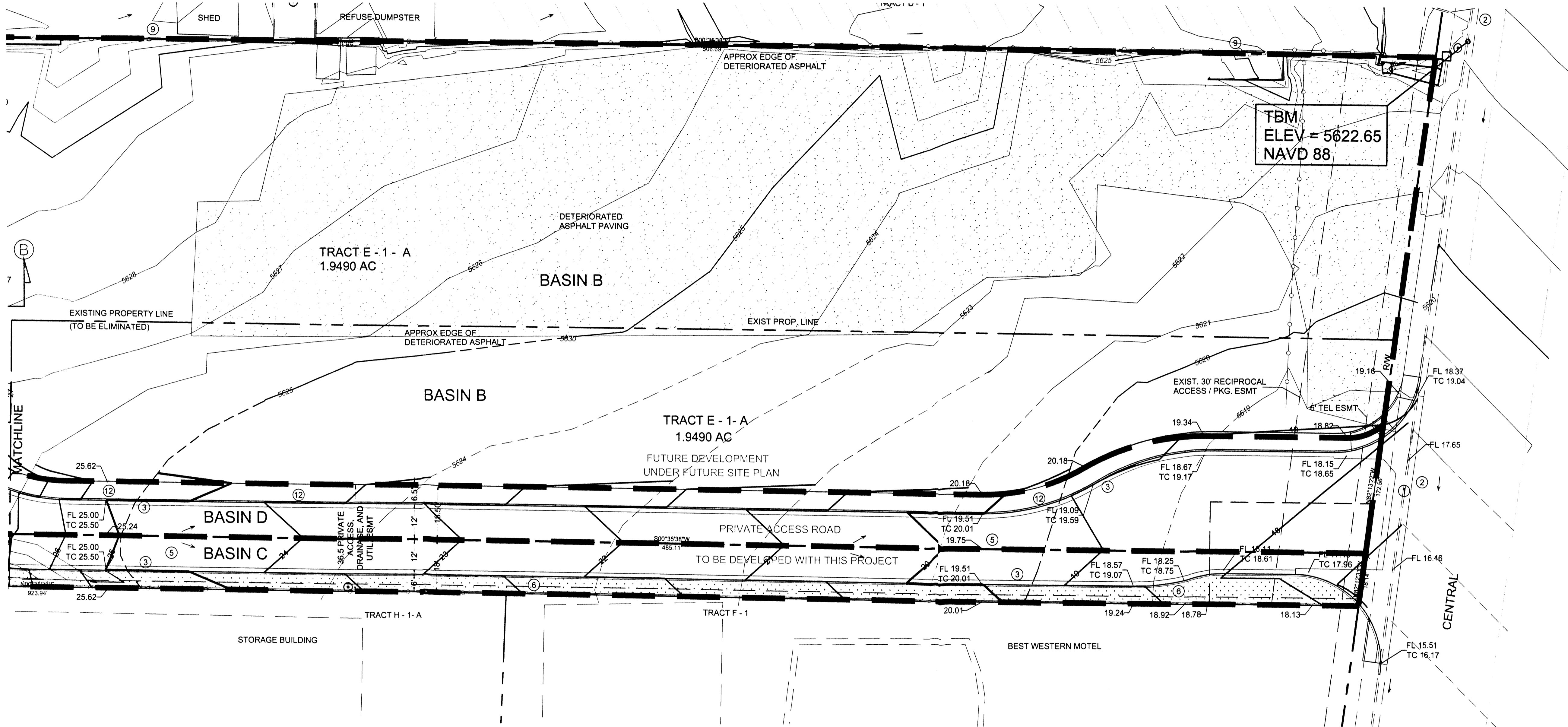
**VALUE PLACE**  
**GRADING AND DRAINAGE PLAN**

SHT: 3 OF 7

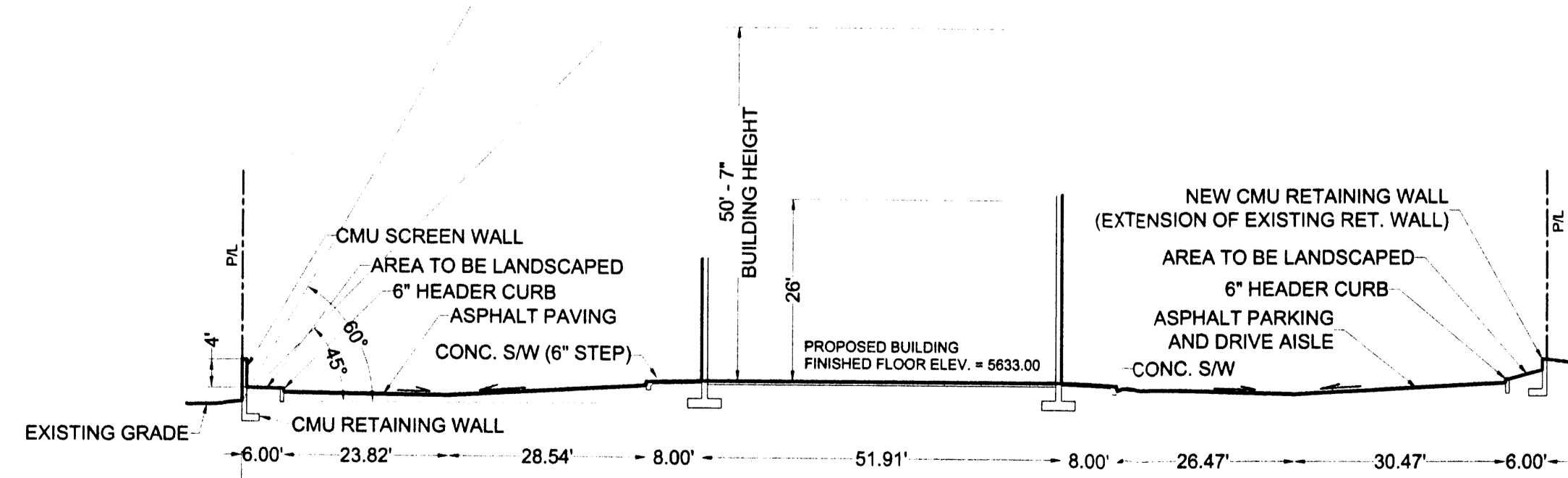
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CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	F/D/DVP	



SECTION B - B



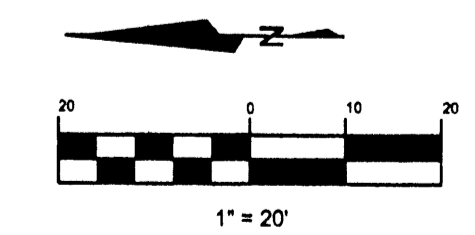
ITEM	LEGEND	
	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
CHAIN LINK FENCE	x---	x---
RETAINING WALL	-----	-----
DRAINAGE BASIN	---	---
DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	x 16.7	x 87.26
CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---



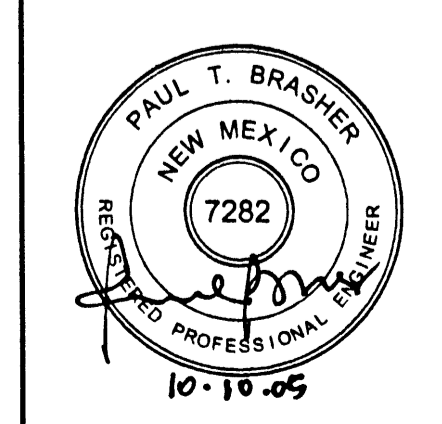
SECTION A - A

PROJECT DATA  
 LEGAL DESCRIPTION:  
 TRACT E-2-A,  
 CANYON ACRES SUBDIVISION  
 PROPERTY ADDRESS:  
 13001 CENTRAL AVE. NE  
 BENCHMARK:  
 TBM - C.O.A. CONTROL #6 - L-22  
 TOP OF CURB OPP. SE CORNER TRACT E-1-A  
 ELEVATION = 5620.06 MSL (1929 DATUM)  
 MAPPING:  
 TOPOGRAPHIC AND FIELD MEASUREMENTS  
 BY PRECISION SURVEYS  
 DATED JULY, 2005

NOTE:  
 The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.



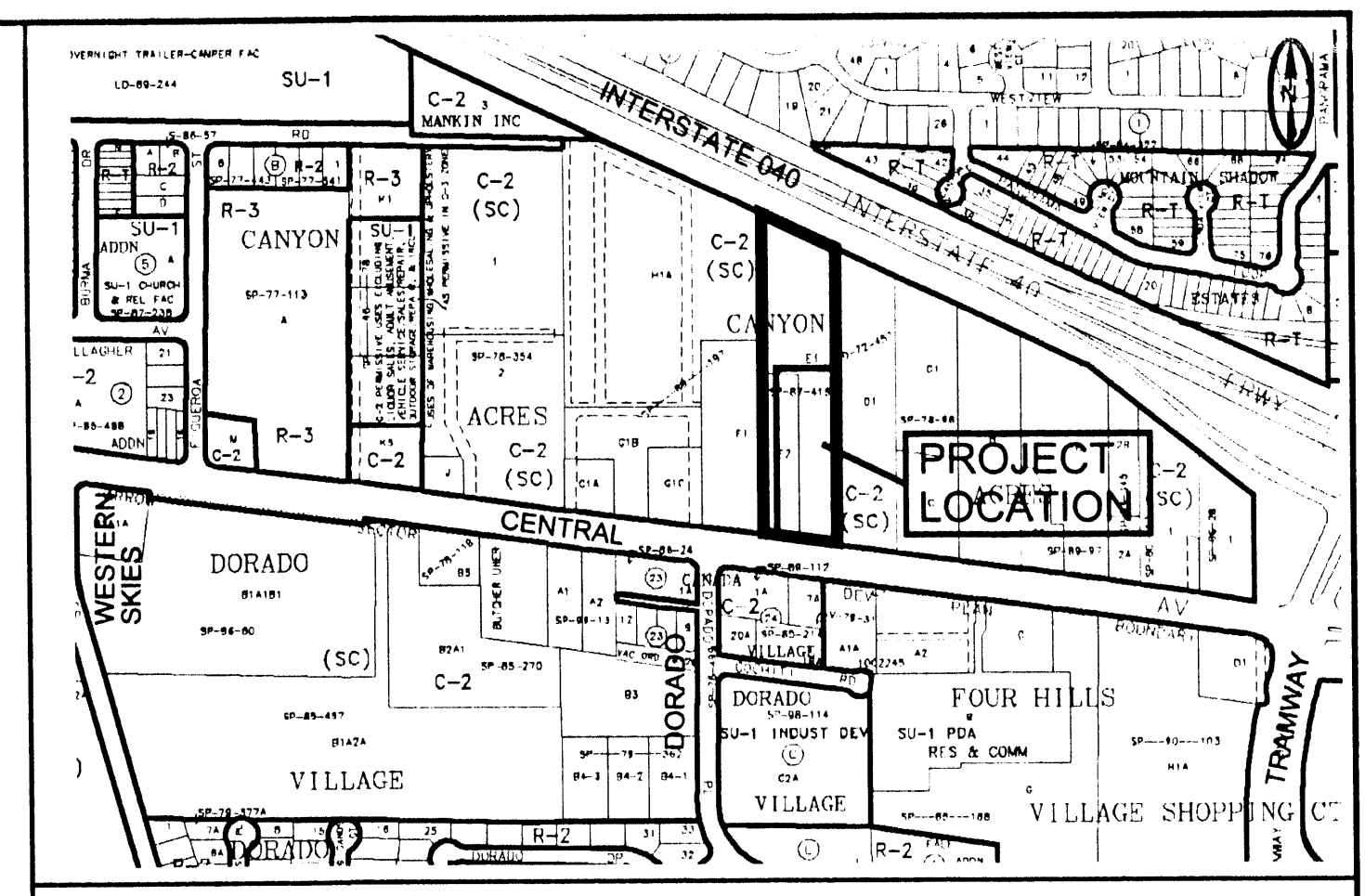
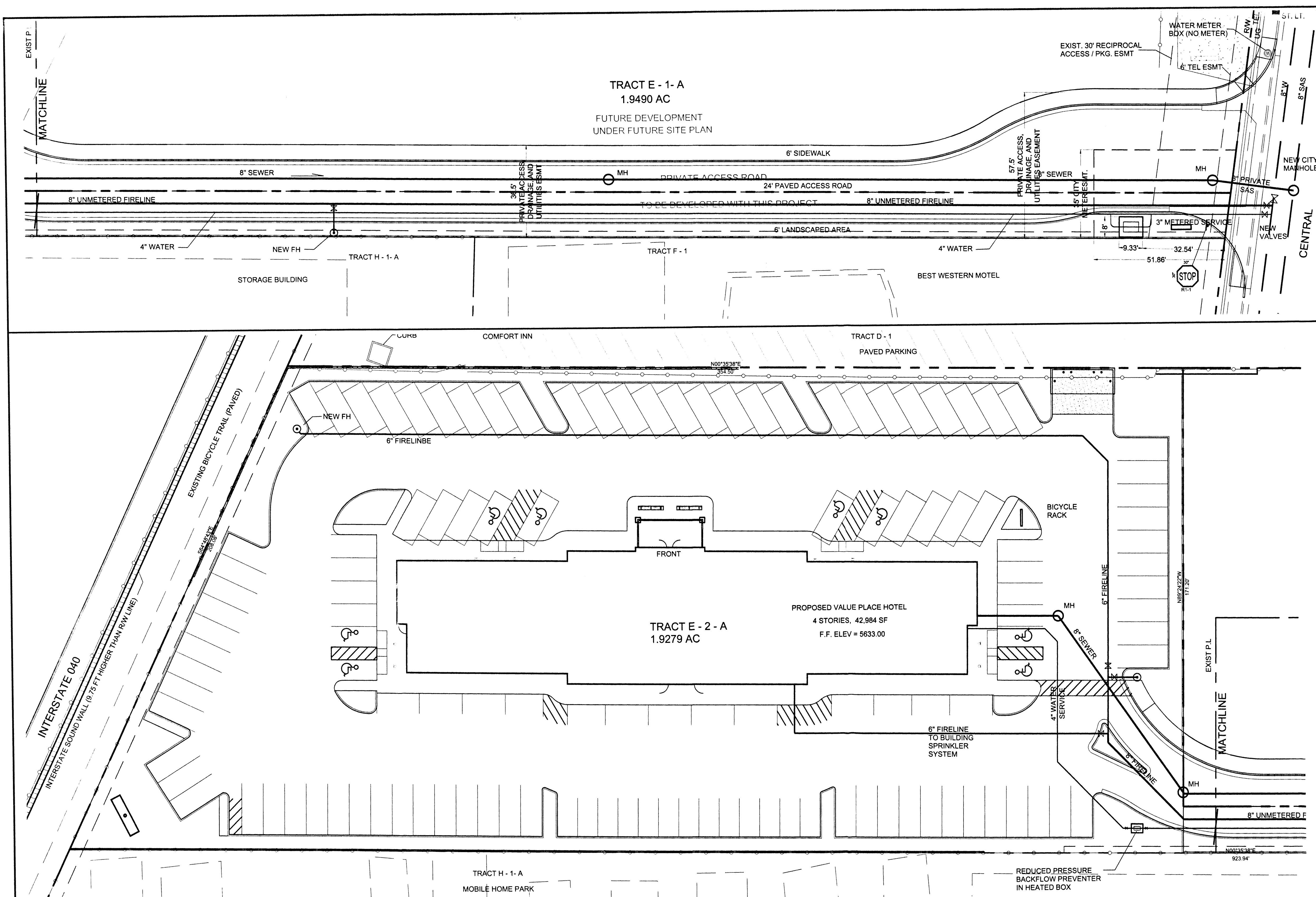
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 Albuquerque, New Mexico 87110  
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**VALUE PLACE**  
**GRADING AND DRAINAGE PLAN**

DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	F/D/N/P	

SHT: 4 OF 7



L-22 LOCATION MAP NTS

**PROJECT DATA**  
**EXISTING LEGAL DESCRIPTION:**  
 TRACTS E-1- AND E-2, CANYON ACRES  
**PROPOSED LEGAL DESCRIPTION**  
 TRACTS E-1-A AND E-2-A, CANYON ACRES  
**PROPERTY ADDRESS:**  
 TRACT E-1: 13013 CENTRAL AVE. NE  
 TRACT E-2: 13001 CENTRAL AVE. NE

**SITE AREA:**

EXISTING TRACT E-1: 2.8768 AC.  
 EXISTING TRACT E-2: 1.0000 AC.  
 PROPOSED TRACT E-1-A: 1.9278 AC. (83,975 SF)  
 PROPOSED TRACT E-2-A: 1.9490 AC. (84,506 SF)  
 TOTAL AREA: 3.8768 AC (168,481 SF)

**ZONING:** C-2 (SC). (No zone change is requested.)

**WATER SERVICE**

Water service to Tract E-2-A will be provided by connection to the existing 8" waterline in Central with 3" metered service. The meter will be set outside the Central right-of-way in a separate City meter easement. From the meter, a private waterline will be constructed to the building. Upstream of the building, a reduced pressure backflow preventer will be placed in the line. The metered service line will also serve landscaping irrigation.

**Fire protection** will be provided by connection to the existing 8" waterline in Central and extension of a private unmetered fire line north from Central into the site. The fire line will serve at least three private fire hydrants, and an internal fire protection sprinkler system. Based on the finished floor elevation of the proposed building on Tract E-2-A, the maximum static water pressure at floor elevation will not exceed 83 psi.

**SANITARY SEWER SERVICE**

There is an existing 8" sanitary sewerline in Central. Sanitary service to Tract E-2-A will be taken by extension of a private 8" sewerline within an easement and access road from Central, north into the site. A new City manhole will be constructed in the City line in Central at the point of connection.

Water and sewer service lines constructed on site for Tract E-2-A will be contained in a private access and utilities easement. Maintenance of that easement and the utilities contained therein is the responsibility of the property owners.

**LEGEND**

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
WATERLINE	--- 6"W ---	--- 8" W ---	CHAIN LINK FENCE	--- ○ ---	--- ○ ---
SANITARY SEWER	--- 8"SAS ---	--- 8" SAS ---	RETAINING WALL	--- ---	--- ---
STORM SEWER	--- 36"SD ---	--- 24" SD ---	DRAINAGE BASIN	--- ---	--- ---
FIRE HYDRANT	⊙	⊙	DIVIDE	--- ---	--- ---
VALVE	⊕	⊕	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
WATER SERVICE (SINGLE)	⊕	⊕	SPOT ELEV.	× 16.7	× 87.26
WATER SERVICE (DOUBLE)	⊕	⊕	HEADER CURB	---	--- TOP ASPH TOP CURB
MANHOLE	⊕	⊕	FLOWLINE ELEV.	FL 0.14	FL 0.14
SEWER SERVICE	⊕	⊕	TOP OF CURB ELEV.	TC 99.3	TC 99.31
POWER POLE (GUYED)	● PP	● PP	CONTOUR	--- 5166 ---	--- 92 ---
DROP INLET	⊕	⊕	CONT. (SUPPLEMENT)	--- 5166 ---	--- 92 ---
OVERHEAD ELEC	--- OHE ---	---	SWALE	---	---
UNDERGROUND ELEC, GAS, TEL, TV	--- UGT ---	---	DIRECTION OF FLOW	---	---
TEL. PEDESTAL	○ TEL	---	WATER BLOCK	---	---
RIGHT OF WAY	---	---	LANDSCAPED AREA	---	---
EASEMENT LINE	---	---			
PROPERTY LINE	---	---			
CENTERLINE	---	---			

BRASHER & LORENZ  
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2201 San Pedro NE Building 1 Suite 1200  
 Albuquerque, New Mexico 87110  
 Ph: 505-888-6088 Fax: 505-888-6188

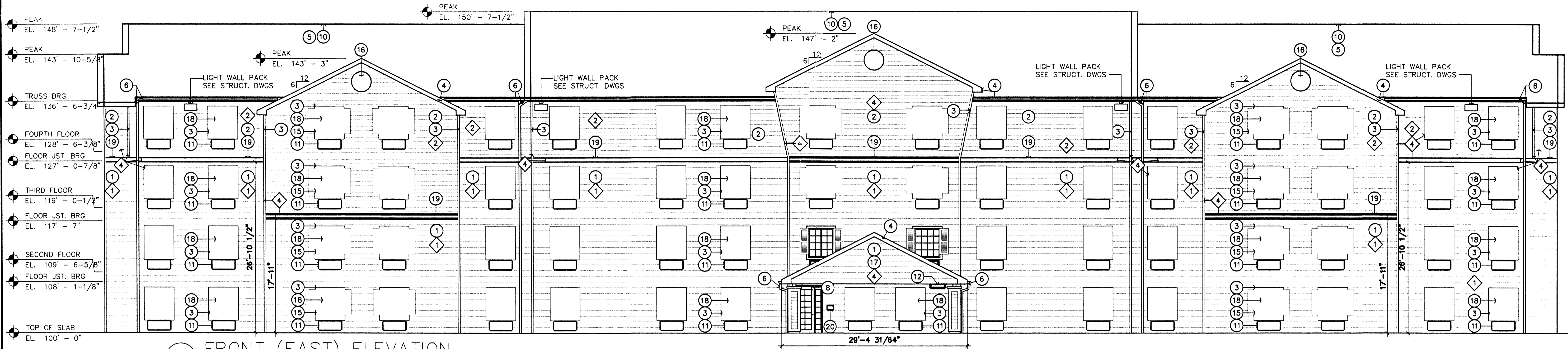
**VALUE PLACE UTILITIES PLAN**

SH: 5 OF 7

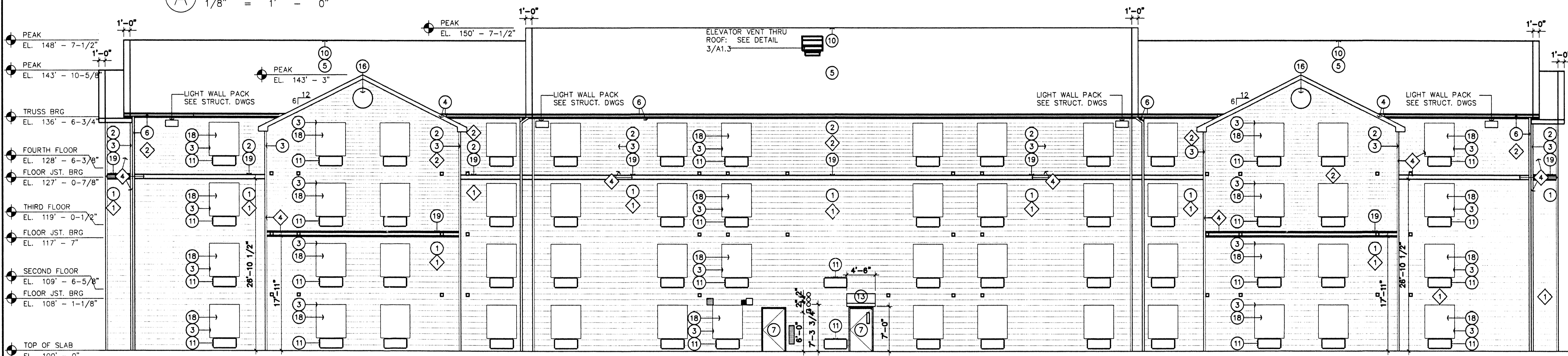
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 CKD: P.T.B  
 APP:  
 REV. NO.

TR:  
 OK:  
 ACAD FILE:  
 F/OD/V/P

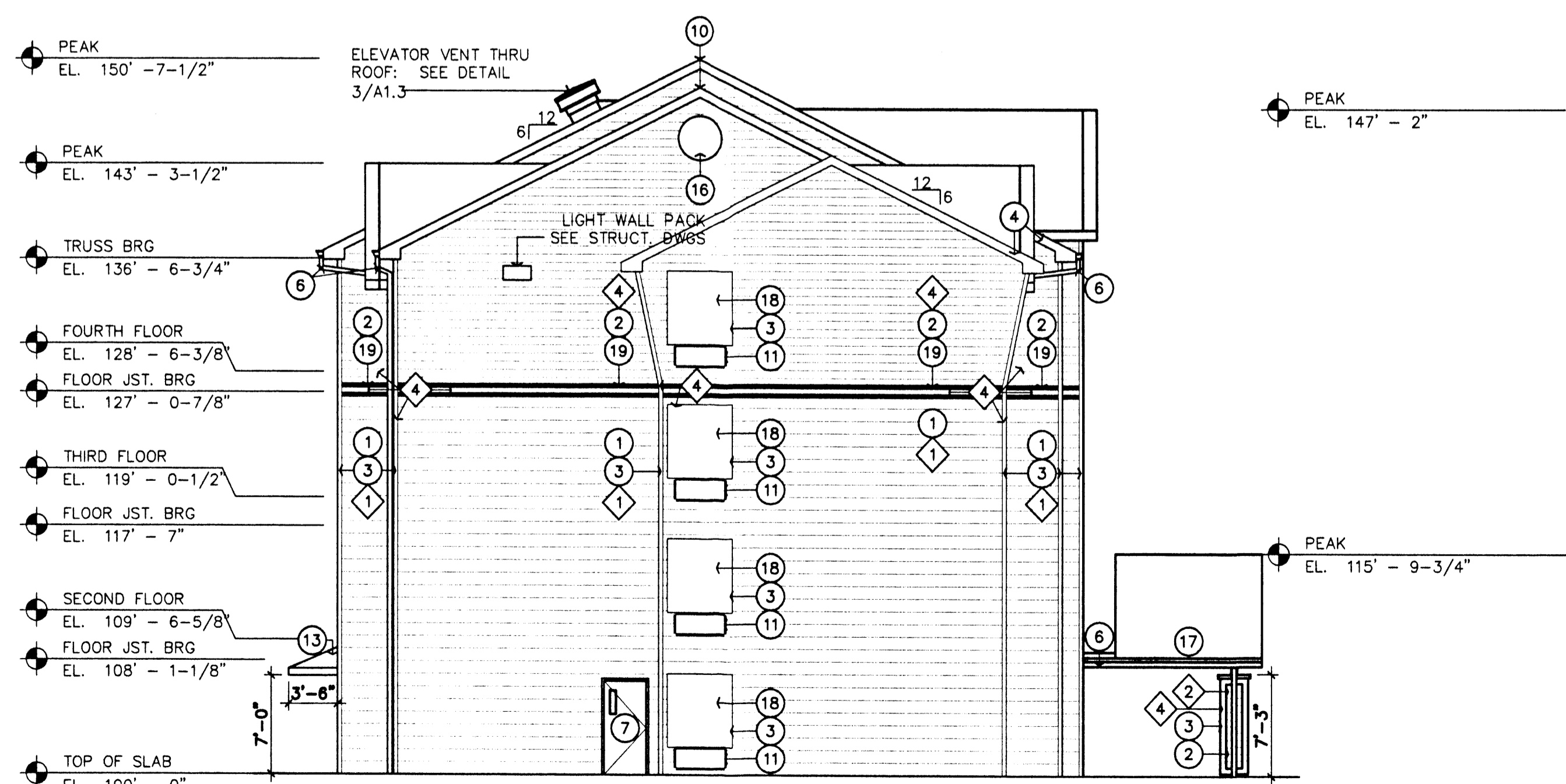
DATE: 10/03/05  
 SCALE: 1" = 20'



**(A) FRONT (EAST) ELEVATION**  
1/8" = 1' - 0"



**(B) REAR (WEST) ELEVATION**  
1/8" = 1' - 0"



**(C) END (NORTH AND SOUTH) ELEVATIONS**  
1/8" = 1' - 0"

**COLOR SCHEDULE**

1	COLOR: "C/M GREEN" PRODUCT #K33W153 GALLON FORMULA: G2-15, N1-8Y39, W1-2Y32
2	COLOR: "SW6148" PRODUCT #K33W151 GALLON FORMULA: L1-3+1, R3-7+1, Y3-25
3	NOT USED
4	COLOR: "WHITE" PRODUCT #K33W100 PACKAGE COLOR WHITE

**GENERAL NOTE**

"JAMES HARDIE" SIDING PRODUCTS ARE THE PREFERRED EXTERIOR CONCRETE SIDING. SUBSTITUTIONS ONLY WITH OWNERS WRITTEN AUTHORIZATION

**NOTE:**

COORDINATE DOWN SPOUTS WITH A/A1.3

**ELEVATION MATERIALS**

1	WALLS: 10" EXPOSURE "HARDIPLANK" LAP SIDING: SEE COLOR SCHEDULE
2	WALLS: 7" EXPOSURE "HARDIPLANK" LAP SIDING: SEE COLOR SCHEDULE
3	"HARDIPLANK" TRIM: 1/2" X 4": COLOR "GLACIER WHITE"
4	"HARDIPLANK" TRIM FASCIA: COLOR "GLACIER WHITE"
5	ROOF: COMPOSITION SHINGLES
6	ALUMINUM GUTTERS AND DOWN SPOUTS
7	HOLLOW METAL DOORS PAINTED TO MATCH ADJACENT WALL COLOR-TRIM TO BE WHITE
8	GLASS / ALUMINUM DOORS
9	NOT USED
10	RIDGE VENT: SEE ROOF PLAN A/A1.3 & DETAIL 1/A1.3
11	THRU-WALL HVAC UNIT
12	MECH. LOUVERS: SEE MECH. DWGS. FOR SIZE, ALSO REF. STRUCT. DWGS. FOR HEADER SIZE AND LOCATION: PAINT LOUVER TO MATCH ADJACENT SURFACE
13	NYLON DOOR CANOPY COLOR: BLACK
14	NOT USED
15	MOLDED PLASTIC SHUTTER: INTEGRAL COLOR - COLOR: BLACK
16	30" DIA. PLASTIC GABLE VENT, INTEGRAL COLOR W/ INSECT SCREEN: COLOR TO MATCH ADJACENT SURFACE: SEE SPECS
17	ENTRY PORTICO
18	SLIDING WINDOW TYP.: SEE SPECS
19	1/2" X 8" WIDE "HARDIPLANK" TRIM: COLOR "GLACIER WHITE": SEE DETAIL 1/A2.1 (NOTE: DIM. TO BTM. OF TRIM IS APPROX. - G.C. TO VERIFY IN FIELD TO KEEP FROM CUTTING SIDING AS MUCH AS POSSIBLE)
20	KNOX BOX - VERIFY SIZE, LOCATION, AND TYPE WITH LOCAL FIRE DEPARTMENT

VALUE PLACE

13001 CENTRAL AVE.  
ALBUQUERQUE, NEW MEXICO

AUGUST 02, 2005

LMO  
CP  
EXTERIOR ELEVATIONS

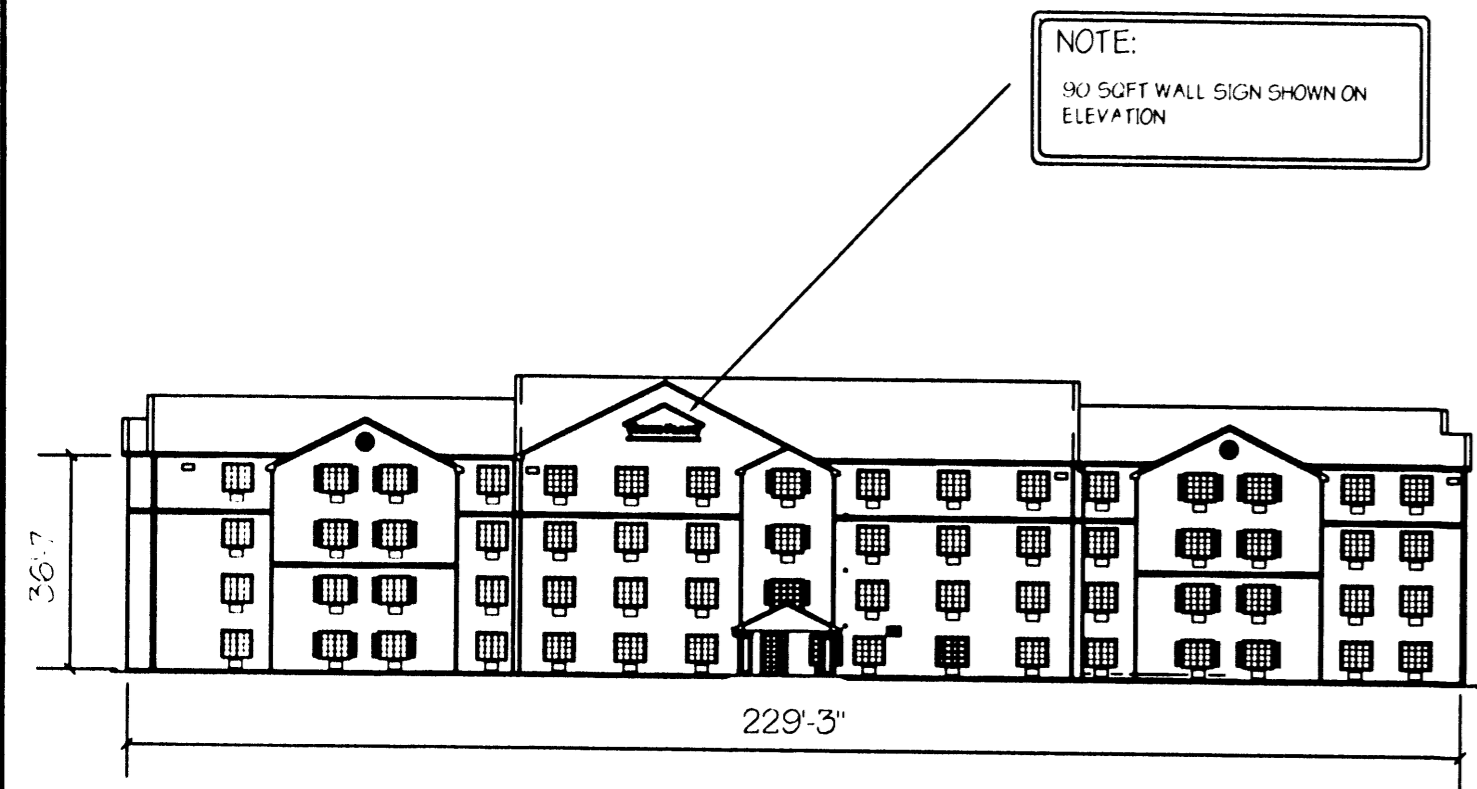
A2.1

2005

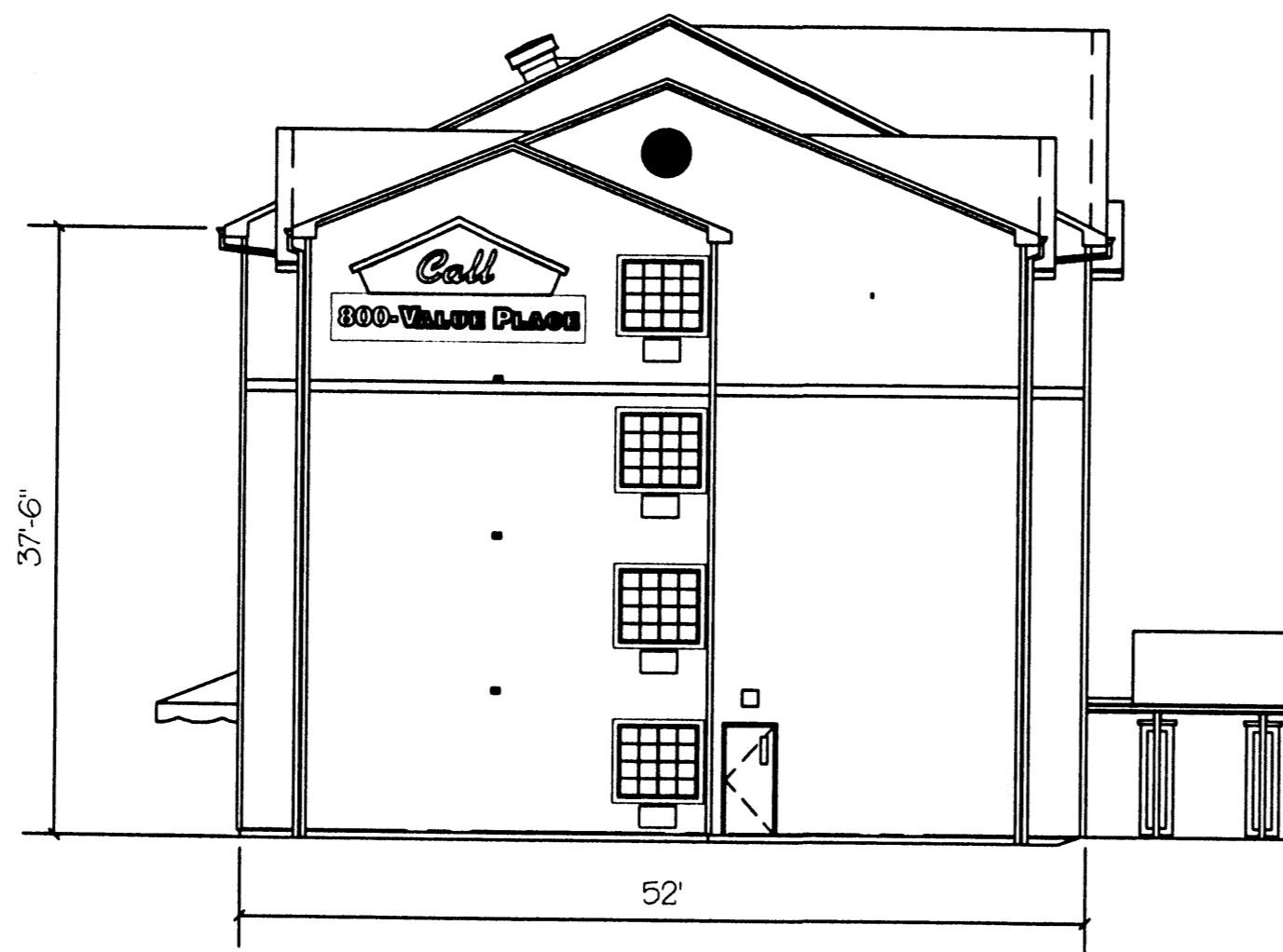
VALUE PLACE  
BUILDING ELEVATIONS

SHT. 6 OF 7

DATE: 10/03/05	SCALE: AS SHOWN
TR: OK: ACAD FILE: PDD/PP	REV. NO.
DRW: R.M	APP: P.T.B

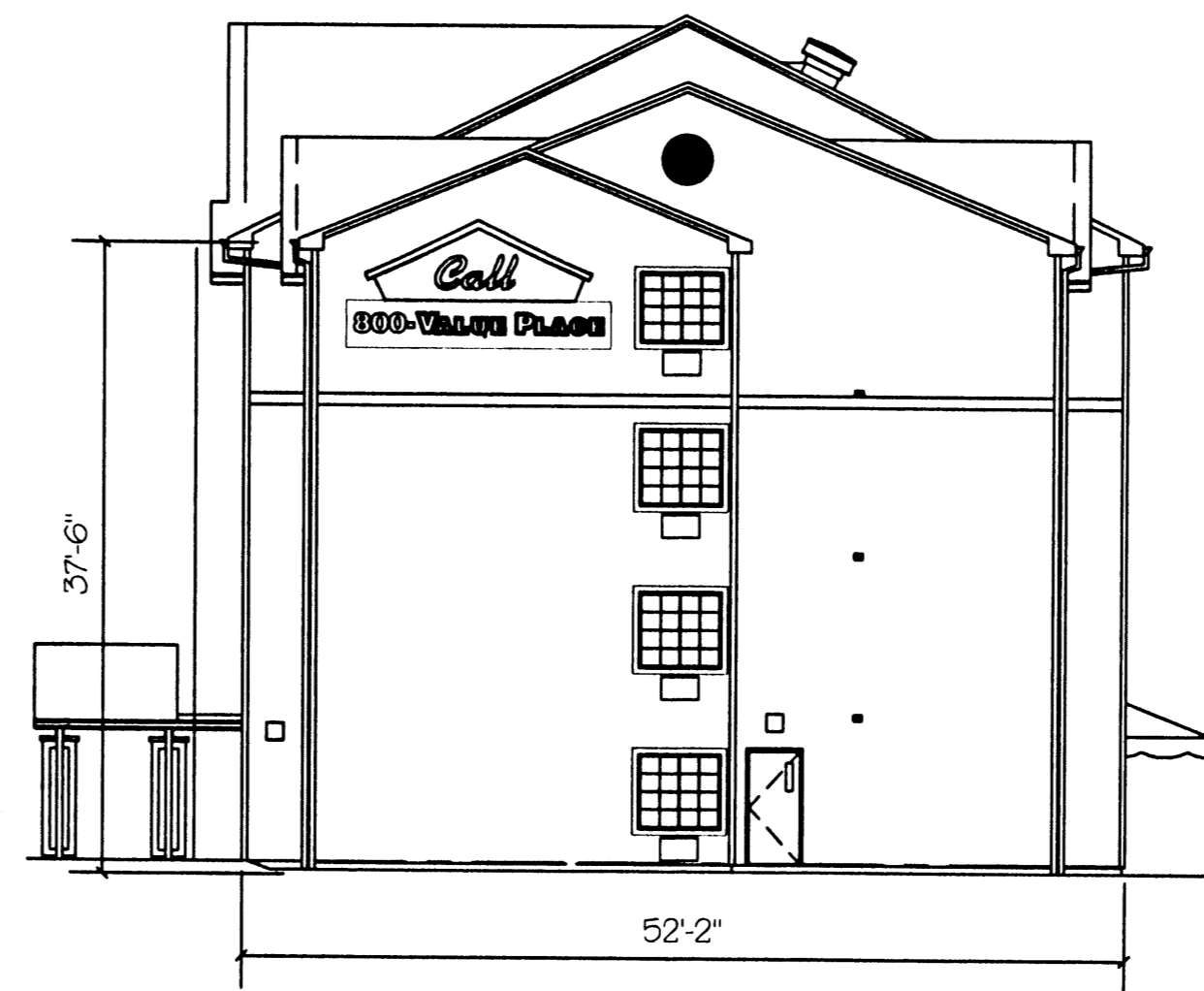


FRONT ELEVATION WITH WALL SIGN  
1/32" = 1'



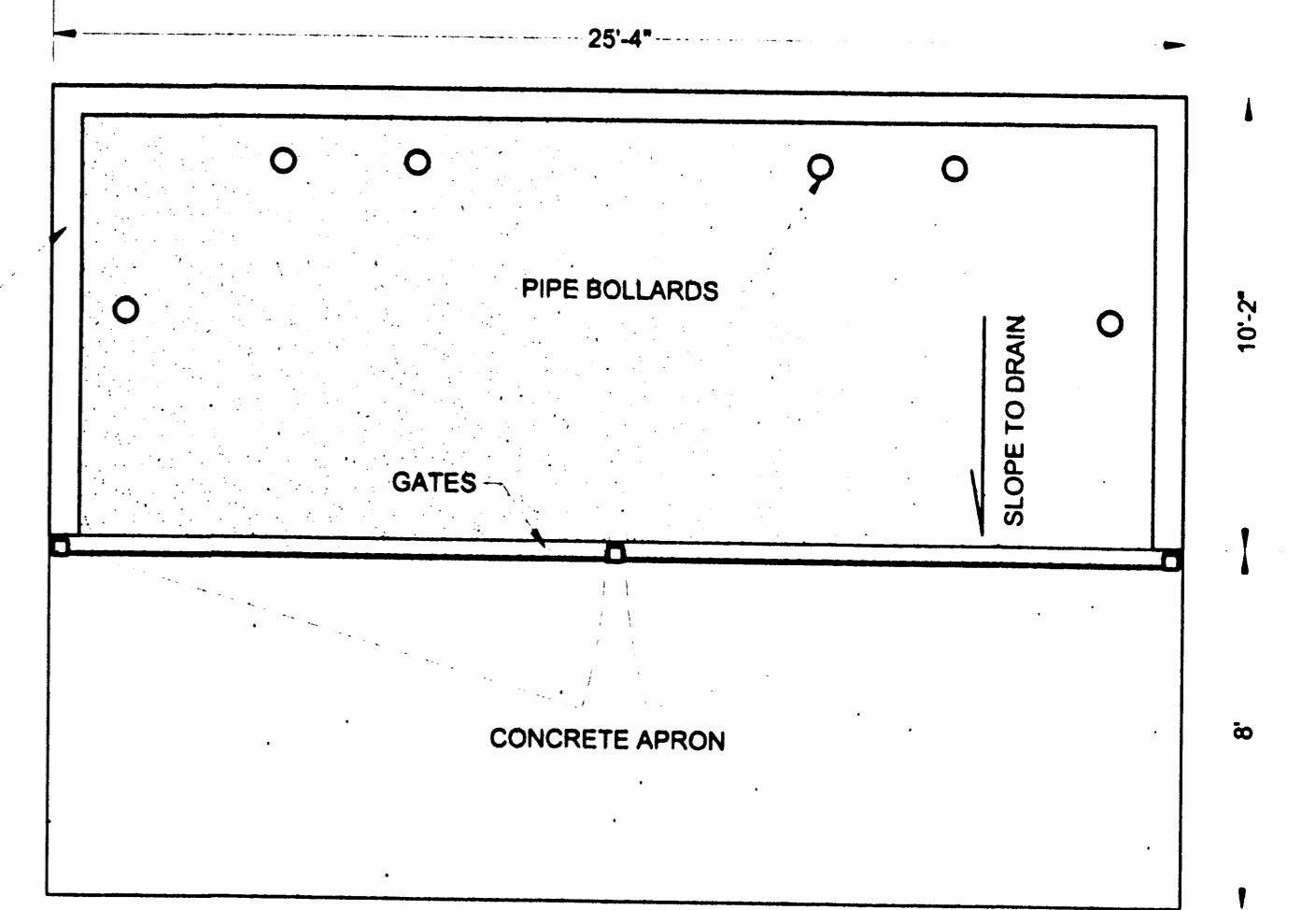
NORTH END ELEVATION WITH WALL SIGN  
3/32" = 1'

NOTE:  
ONE 125 SQFT WALL SIGN SHOWN ON EAST END ELEVATION.



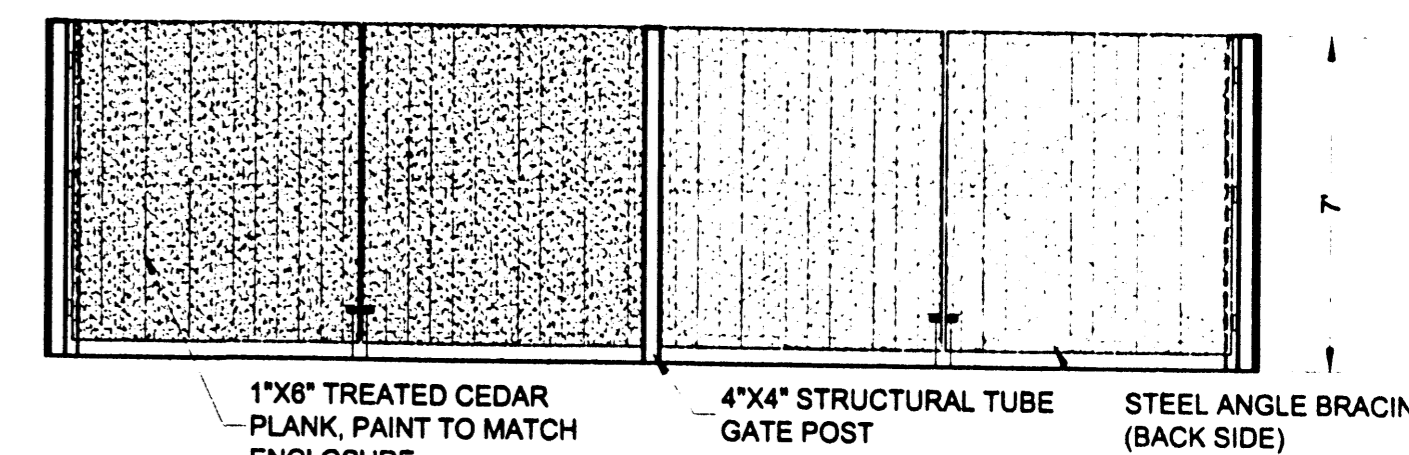
SOUTH END ELEVATION WITH WALL SIGN  
3/32" = 1'

NOTE:  
ONE 125 SQFT WALL SIGN SHOWN ON EAST END ELEVATION.

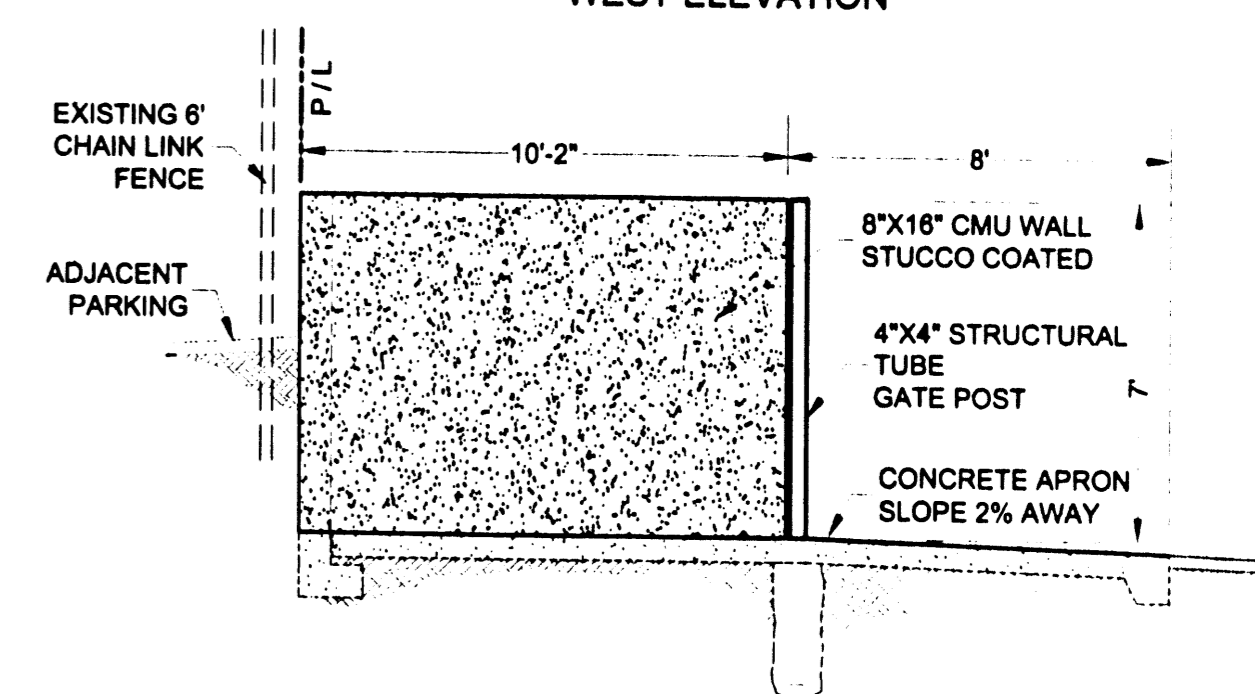


PLAN

8"X18" CMU WALL STUCCO TOP AND EXTERIOR



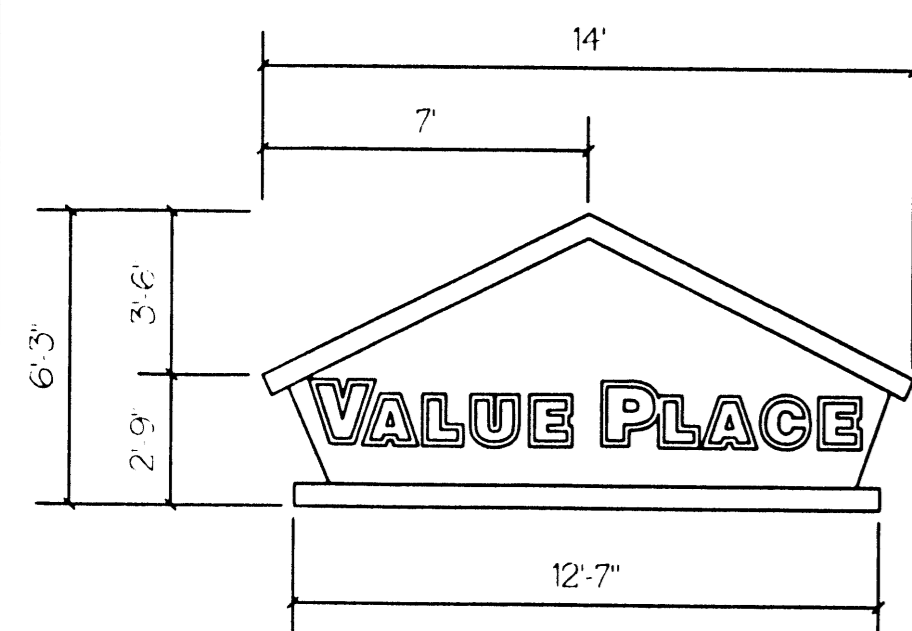
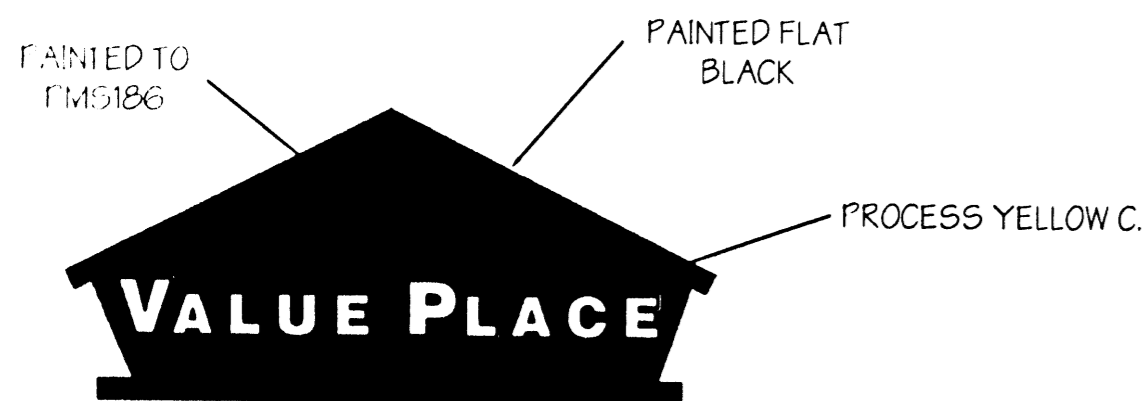
WEST ELEVATION



NORTH AND SOUTH ELEVATIONS

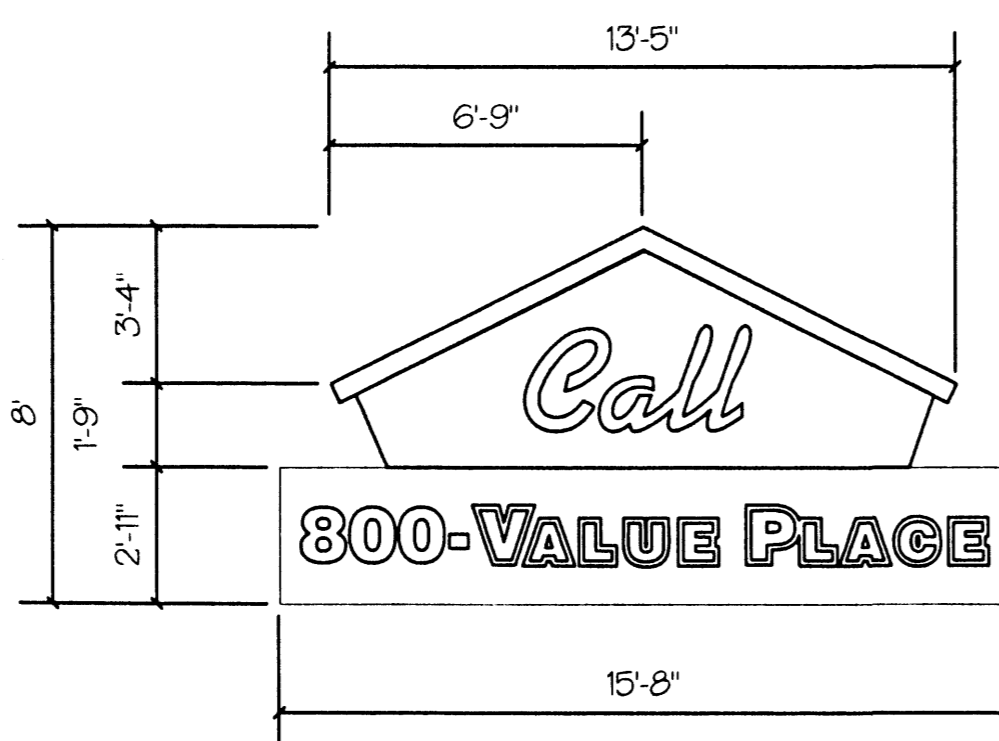
NOTES:  
THIS ENCLOSURE IS A CITY STANDARD DOUBLE-WIDE AND IS TO BE CONSTRUCTED TO THOSE DIMENSIONS  
ALL EXTERIOR COLORS OF THE ENCLOSURE ARE:  
"C/M" GREEN" PRODUCT #K33153  
(SHERWIN / WILLIAMS LIGHT SANDY GREEN)  
GALLON FORMULA: G2-15; N1 - 8Y39; W1 - 2Y32

REFUSE DUMPSTER ENCLOSURE  
SCALE: 1/4" = 1'



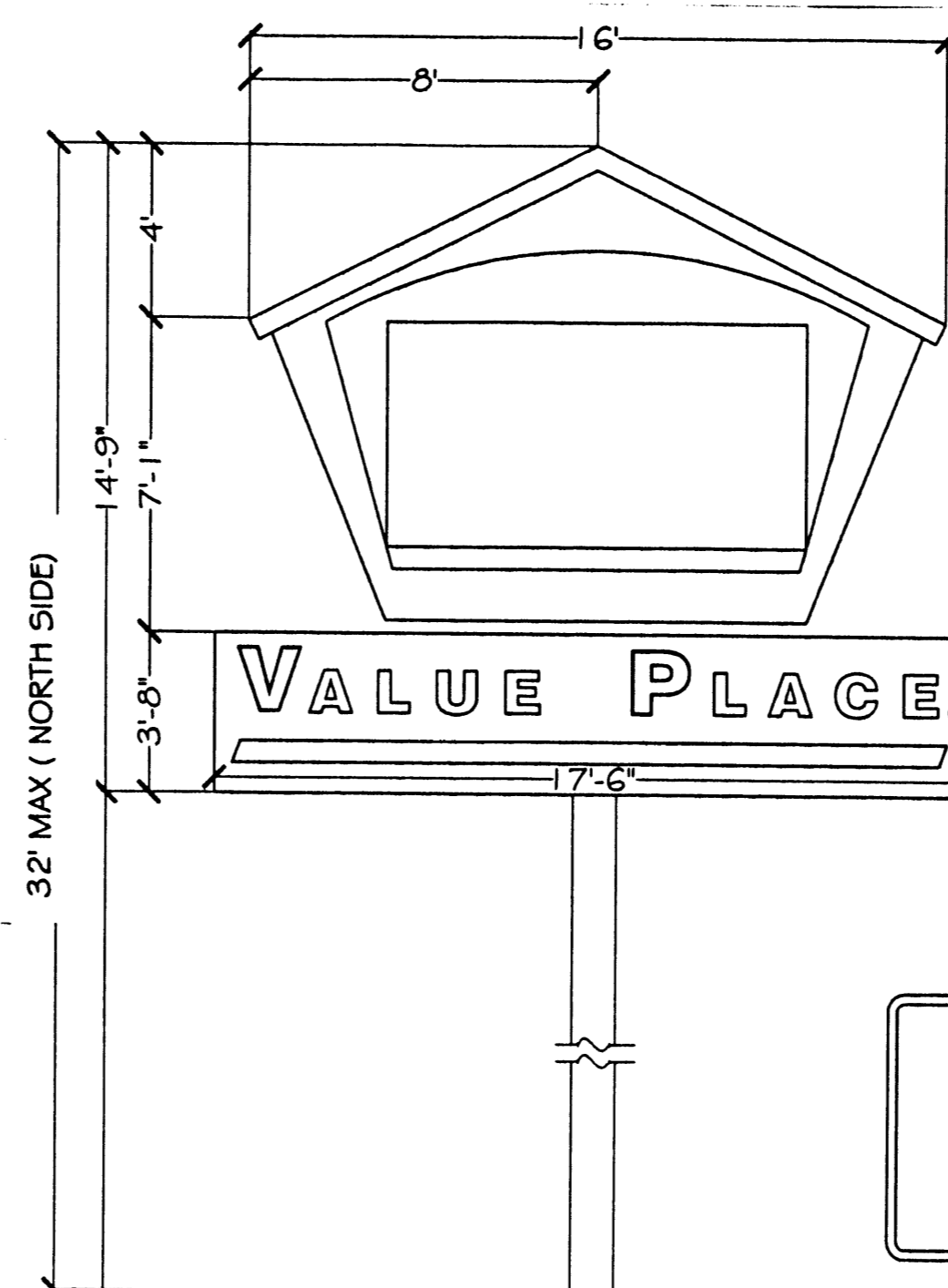
90 SQFT FRONT ELEVATION WALL SIGN  
1/4" = 1'

NOTE:  
FLAT METAL SIGNAGE TO BE LIT EXTERNALLY BY WALL MOUNTED LIGHTING



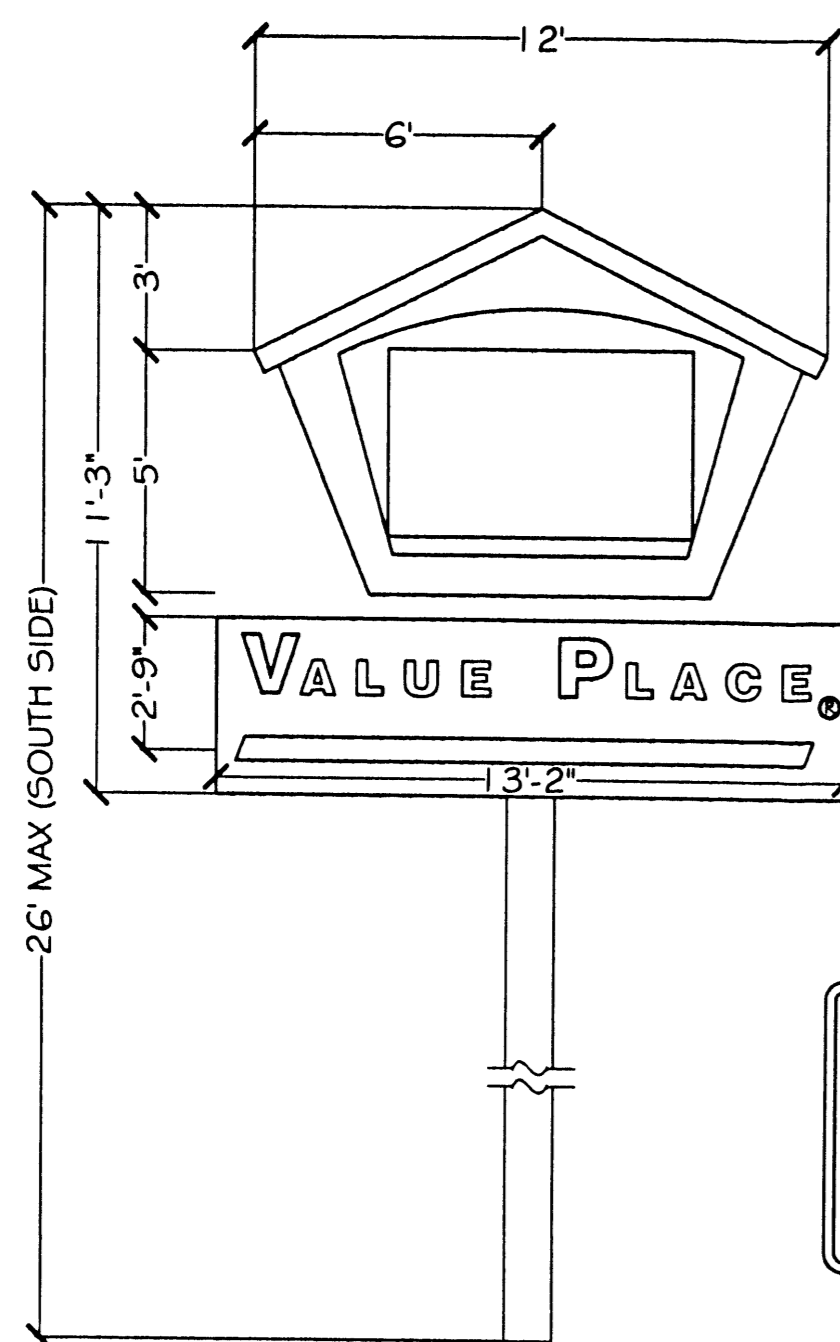
125 SQFT END ELEVATION WALL SIGN  
1/4" = 1'

NOTE:  
FLAT METAL SIGNAGE TO BE LIT EXTERNALLY BY WALL MOUNTED LIGHTING



250 SQFT Pylon Sign Elevation  
1/4" = 1'

NOTE:  
CABINET DEPTH AND FOUNDATION DESIGN TO BE DETERMINED UPON THE COMPLETION OF ENGINEERED POLE DESIGN FOR 50' HEIGHT.

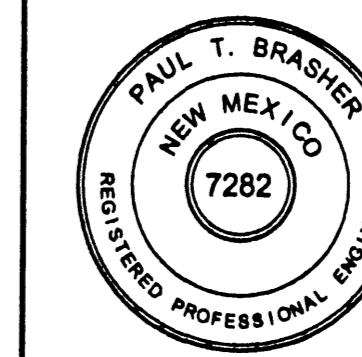


150 SQFT Pylon Sign Elevation  
1/4" = 1'

NOTE:  
CABINET DEPTH AND FOUNDATION DESIGN TO BE DETERMINED UPON THE COMPLETION OF ENGINEERED POLE DESIGN FOR 25' HEIGHT.



**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph: 505-886-8088 Fax: 505-886-8188



**VALUE PLACE**  
DETAILS

DRW: R.M	TR:	DATE: 09/19/05
CKD: P.T.B	OK:	SCALE: AS SHOWN
APP:	ACAD FILE:	
REV. NO.	FOD/VP	

SHT: 7 OF 7